

West Side Wastewater Treatment Plant Rehabilitation Bridgeport, Connecticut

Application to the Planning & Zoning Commission for Lot Line Change and Special Permit/Coastal Site Plan Review

Prepared by:

FHI Studio
416 Asylum Street
Hartford, CT 06103

CDM Smith
101 East River Drive, Suite 1A
East Hartford, CT 06108

Prepared for:

Water Pollution Control Authority, City of Bridgeport
205 Bostwick Avenue
Bridgeport, CT 06605

Date: May 15, 2024

Revised: N/A

Table of Contents

Planning & Zoning Commission Application Form

Coastal Site Plan Review Application Form

Project Description and Additional Narratives for Coastal Site Plan Review Application

Figure 1: Proposed Lot Line Addition to 205 Bostwick Avenue

Names and addresses of property owners within 100 feet of the property lines

Site Survey (8 sheets)

Selected Phase 1 Plans:

Cover Page for Phase 1 – Site Preparation Plans

C-01 General, Notes, Legend and Abbreviations

C-04 Removals Plan I (Phase 1)

C-05 Removals Plan II (Phase 1)

C-06 Erosion and Sedimentation Control Plan (Phase 1)

C-08 Grading and Drainage Plan (Phase 1)

C-09 Paving and Fencing Plan I (Phase 1)

C-12 Site Details

Selected Phase 2 Plans:

Cover Page for Phase 2 Improvements

C-1 Civil-General Notes, Legend and Abbreviations (Phase 2)

C-2 Existing Conditions Overall (depicts coastal regulatory resource elevations)

C-13 Overall Improvement Plan (Phase 2)

C-17 Paving & Fencing Plan 1 (Phase 2)

C-18 Paving & Fencing Plan 2 (Phase 2)

C-19 Paving & Fencing Plan 3 (Phase 2)

C-20 Grading & Drainage Plan 1 (Phase 2)

C-21 Grading & Drainage Plan 2 (Phase 2)

C-22 Grading & Drainage Plan 3 (Phase 2)

Selected Architectural Plans:

A-1 Architectural Abbreviations and Symbols

A-HW-4 Headworks Overall Floor Plan I

A-HW-5 Headworks Overall Floor Plan II

A-HW-6 Headworks Overall Floor Plan III
A-HW-7 Headworks Overall Floor Plan IV
A-HW-21 Headworks Overall Building Elevations
A-CB-2 Control Building First Floor Plan
A-CB-3 Control Building Second Floor Plan
A-CB-4 Control Building Third Floor Plan
A-CB-17 Control Building Elevations
A-CB-26 Control Building 3D Renderings



CITY OF BRIDGEPORT

File No. _____

**PLANNING & ZONING COMMISSION
APPLICATION**

1. **NAME OF APPLICANT:** City of Bridgeport Water Pollution Control Authority
2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 205 Bostwick Avenue, Bridgeport, CT 06605
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 329, Lot 1A and Block 328, Lot A-1 Lot No. _____
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): See attached Site Survey
7. Existing Zone Classification: Block 329, Lot 1A is Zoned P4 and Block 328, Lot A-1 is Zoned RX2
8. Zone Classification requested: A zone classification change is not requested.
9. Describe Proposed Development of Property: The proposed development for Phases 1 and 2 includes site preparation work and construction of new WWTP buildings in the north portion of the site. See attached project description.
Approval(s) requested: Change to lot lines & special permit/coastal site plan review

Signature: Lauren M Mappa Date: 5.10.2024
 Print Name: Lauren M Mappa

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
 Print Name: _____

Mailing Address: _____
 Phone: _____ Cell: _____ Fax: _____
 E-mail Address: _____

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Completed & Signed Application Form | <input checked="" type="checkbox"/> A-2 Site Survey | <input type="checkbox"/> Building Floor Plans |
| <input checked="" type="checkbox"/> Completed Site / Landscape Plan | <input type="checkbox"/> Drainage Plan | <input type="checkbox"/> Building Elevations |
| <input checked="" type="checkbox"/> Written Statement of Development and Use | <input checked="" type="checkbox"/> Property Owner's List | <input type="checkbox"/> Fee |
| <input type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) | | |

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Luis Burgos Print Owner's Name
[Signature] Owner's Signature
5.10.24. Date

 Print Owner's Name

 Owner's Signature

 Date

Application Form

Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions and submit it with the appropriate plans to appropriate **municipal agency**.

Section I: Applicant Identification

Applicant: _____	Date: _____
Address: _____	Phone: _____
Project Address or Location: _____	
Interest in Property: <input type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant:	
Name: _____	
Address: _____	
City/Town: _____	State: _____ Zip
Code: _____	
Business Phone: _____	
e-mail: _____	

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Stormwater treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description:

City or Town:

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

5. Indicate the area of the project site: _____ acres or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities

Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.

Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities
** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):*

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

Project Description and Additional Narratives for Coastal Site Plan Review Application Form

Part I: Site Information

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

The current land use at the 205 Bostwick Avenue parcel is municipal infrastructure that includes the wastewater treatment plant. The land use at the 68 Saint Stephen's Road parcel is commercial and educational, currently occupied by Captain's Cove restaurant/marina and the Bridgeport Regional Professional Aquaculture School. There are residential land uses to the north and west of both parcels. To the west of the 68 Saint Stephen's Road parcel is also recreational/open space use. To the east of the 205 Bostwick Avenue parcel land use is industrial/commercial.

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing, and method of proposed construction; and new uses and changes from existing uses.

Background

The Water Pollution Control Authority (WPCA), City of Bridgeport treats wastewater collected in municipal sewer systems in Bridgeport, Trumbull, and portions of Stratford and Fairfield immediately adjacent to Bridgeport. The collection systems lead to two treatment plants, the West Side Treatment Plant, located at 205 Bostwick Avenue, and the East Side Treatment Plant, located at 695 Seaview Avenue. The overall project includes modifications and upgrades to improve the reliability and capacity of the current wastewater treatment plants (WWTP) to meet permit limits and reduce untreated wastewater discharges to watercourses and Long Island Sound. The subject of this application includes improvements to the West Side WWTP only.

Proposed Project Improvements at West Side WWTP

The overall planned improvements at the West Side WWTP at 205 Bostwick Avenue include:

- New headworks facility
- New dual-use primary filtration facility

- Upgraded bioreactors for secondary treatment
- New solids handling facility
- New effluent pumping station
- New disinfection facilities
- Outfall improvements
- Two new odor control systems
- New control building with dedicated space for WPCA staff, operators, laboratory, locker rooms, and a maintenance shop
- Improved stormwater management systems, including green infrastructure
- New electrical service to the site and associated electrical infrastructure

Proposed Overall Construction Phasing

The West Side and East Side WWTPs upgrades are phased to break the proposed improvements into the following six construction phases:

Phase 1 – Site Preparation – West Side WWTP

Phase 2 – Preliminary and Primary Treatment – West Side WWTP

Phase 3 – Preliminary and Primary Treatment – East Side WWTP

Phase 4 – Demolition – West Side WWTP and East Side WWTP

Phase 5 – Solids Handling, Disinfection, Effluent Pumping and Outfall Improvements – West Side WWTP and East Side WWTP

Phase 6 – Biological Nutrient Removal – West Side WWTP and East Side WWTP

Phase 1 includes:

- site clearing and grubbing
- curb and pavement removal
- debris, deck, and fence removal
- tree pruning
- barrier wall/fence installation
- gravel access road construction
- contaminated soil removal
- seeding and landscaping installation, and
- grading and drainage improvements associated with these activities

Phase 2 includes:

- construction of the Headworks building (including primary treatment, odor control, grit removal, fine screening, coarse screening, and influent pump station)
- construction of the Control building
- installation of electrical switchgear and generators
- pavement and fence installation, and
- grading and drainage improvements associated with these activities

Only Phases 1 and 2 for the West Side WWTP are included in this Coastal Site Plan Review application, which includes work primarily on the northern portion of the site.

Activities that are the Subject of this Application

On March 20, 2024, the WPCA and the design team met with Mr. Paul Boucher and Mr. Nicholas Sampieri (City of Bridgeport Zoning) to discuss the direction of Zoning permitting for the overall project, specifically as it relates to Phases 1 and 2. It was recommended that a Planning & Zoning Commission application be submitted for:

- 1) proposed lot line changes to address varied zoning at the site
- 2) special permit/coastal site plan review because the project area is within the coastal boundary

The following describes these two activities which are the subject of this application.

Lot Line Change (for Phases 1 and 2)

Mr. Boucher suggested that with the current uses, moving the lot lines would be the best approach to pursue for the project. He suggested that the parcel lines for 205 Bostwick Avenue (Map 12, Block 329, Lot 1A) could be shifted to the west into the 68 St. Stephens Road parcel (Map 12, Block 328, Lot A-1) to include the areas for the proposed work in Phases 1 and 2. This would avoid a zone change on the existing West Side WWTP parcel, which would not allow the treatment plant use. Both parcels are owned by the City of Bridgeport. The proposed new lot configurations with the new lot lines are depicted on the attached Figure 1: Proposed Lot Line Addition to 205 Bostwick Avenue. The Planning & Zoning application is for this lot line change.

Special Permit/Coastal Site Plan Review (for Phases 1 and 2)

The use of the site will not change. The project includes modifications and upgrades to improve the reliability and capacity of the current WWTP to meet permit limits and reduce untreated wastewater discharges to watercourses and Long Island Sound. The proposed activities for Phases 1 and 2 are depicted on the attached site plans.

The project work for Phase 1 will result in a decrease in impervious cover of approximately 3,162 square feet (sf). The project work for Phase 2 will result in an increase in impervious

cover of approximately 99,428 sf. The net increase in impervious surfaces for Phases 1 and 2 combined is 96,266 sf. For both Phase 1 and 2 work, there will be an approximately 32% increase from the Phase 2 improvements, however stormwater management improvements will ensure that stormwater is retained on-site and issues from erosion and sedimentation are not anticipated. Details of the stormwater best management practices are described in Part II.B.

No work is proposed below the Mean High Water (MHW) or Coastal Jurisdiction Line (CJL) / High Tide Line (HTL) elevations. The MHW elevation is 6.99' (NAVD88) and the CJL/HTL is 5.0' (NAVD88). There is no work proposed within tidal wetlands.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes.

Several Best Management Practices (BMPs) design principles have been applied to the proposed development to manage stormwater runoff on-site while providing stormwater quality measures. The goal of the stormwater management system is to remove Total Suspended Solids (TSS) and other potential stormwater pollutants while preventing increases in the predevelopment peak runoff rates from the site.

The potential for erosion and sedimentation during construction will be minimized by implementation of the Erosion and Sedimentation Control Plans (see attached plan Sheets C-01, C-06 and C-12). Specifically, the following will be implemented:

- Prior to undertaking any work at the site, an erosion control plan will be prepared in accordance with the National Pollutant Discharge Elimination System (NPDES) standards. Phase II regulations for approval by the engineer to protect the site from erosion and prevent the movement of sediment and debris into drainage systems.
- During the construction period straw wattles will be installed around the entire limit of work for the soils removal.
- The construction entrance will be stabilized using anti-tracking pads, which will prevent sediment from leaving the site and entering roadways.

- Catch basin inlets will be protected during construction by use of catch basin filters.
- Sediment barriers will be inspected weekly and after storm events of 0.5 inch or greater and repaired as needed.
- Disturbed areas will be seeded to stabilize soils and prevent erosion as soon as possible after construction and excavation are complete.
- Upon completion of the work and soil stabilization all sediment control structures will be removed.

Due to the presence of contaminated soils at the site, stormwater infiltration cannot be used for retention and infiltration of stormwater runoff. Various rain gardens are planned through the site where areas are available. These areas will collect localized runoff from mainly vegetated areas and provide limited retention. Runoff from paved areas is not directed through the rain gardens. Due to the inability to infiltrate runoff, the first inch of stormwater cannot be fully retained on-site. After construction stormwater runoff will be collected within a storm drainage system consisting of a series of catch basins and conveyance piping. Collected stormwater will be conveyed through the system and discharge into the City's existing storm drainage system located within Saint Stephen's Road.

A hydrodynamic separator will be installed just prior to stormwater discharge to Saint Stephen's Road. This separator will be installed to reduce the Total Suspended Solids (TSS) by 80%, which meets the goals of the City. The existing stormwater drainage system collects runoff and discharges into the plant. There are no existing connections to the City's storm drain system. Once stormwater runoff from the site is removed from the plant and discharged to the City's storm drainage system, an increase in volume and rate of flow off-site will be realized. Based on the proximity of the site to Long Island Sound, the redevelopment of the site is exempt from flow control requirements as specified in the "City of Bridgeport Department of Public Facilities Stormwater Management Manual".

Part IV: Consistency of Applicable Coastal Resource Policies and Standards and Part IV: Consistency with Applicable Coastal Use Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards.

Explain how the proposed activity or use is applicable coastal use and activity policies and standards identified in Part V.

The following coastal resources are on-site in the project area and applicable to the project:

- General Coastal Resources

- Coastal Hazard Areas

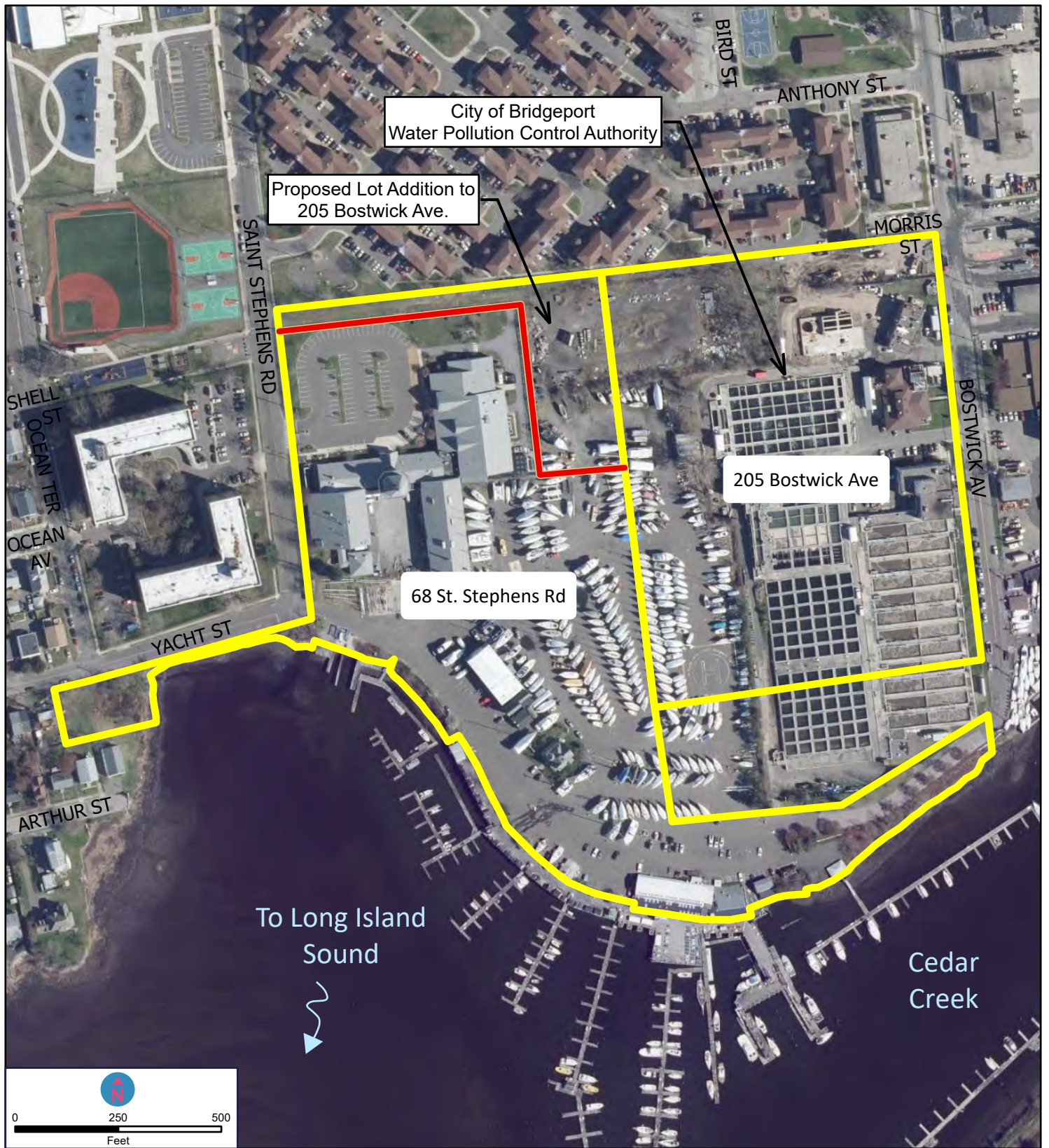
There are no other coastal resources within or adjacent to the project area for Phases 1 and 2. There are also no coastal resources that are off-site but within the influence of Phases 1 and 2.

General Coastal Resources: The General Coastal Resource policy is applicable to all proposed activities in the coastal zone. This policy covers several State statutes for environmental resources. Specifically, the general resources policy states, “To preserve and enhance coastal resources in accordance with the policies established by chapters 439 (Environmental Protection Department and State Policy), 440 (Wetlands and Watercourses), 446i (Water Resources), 446k (Water Pollution Control), 447 (State Parks and Forests), 474 (Pollution), and 477 (Flood Control and Beach Erosion).” The proposed project is consistent with the intent of these statutes and is therefore consistent with this policy.

Coastal Hazard Areas: The north portion of the project area is within the Federal Emergency Management Agency (FEMA) mapped 100-year floodplain (Zone AE) (see Sheet C-2: Existing Conditions Plan – Overall). Zone AE is considered a FEMA Coastal Special Flood Hazard Area. The majority of the proposed buildings for Phase 2 are outside the FEMA 100-year floodplain. The following project elements are within the FEMA 100-year floodplain:

- the entrance road from St. Steven’s Road;
- the east portion of the headworks building;
- the eastern substation, and;
- the east portion of the western substation.

The proposed buildings within the FEMA 100-year floodplain will be constructed to meet current flood proofing standards. The proposed activities associated with Phases 1 and 2 will be implemented so hazards to life and property are minimized or avoided. Therefore, the proposed project is consistent with this policy.



- Legend**
- Existing Lot Boundary
 - Proposed New Lot Boundary

West Side Wastewater Treatment Plant Bridgeport, CT

**Figure 1: Proposed Lot Line
Addition to 205 Bostwick
Avenue**

Map Produced: 5/2/2024

Data Source: FHI Studio, CT ECO, USGS The National Map, ESRI

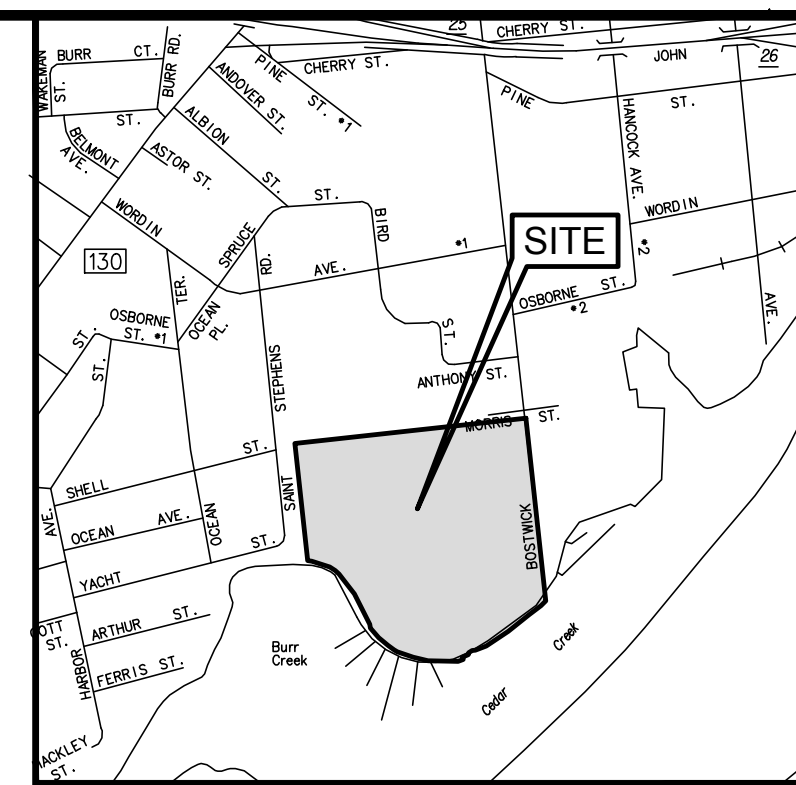
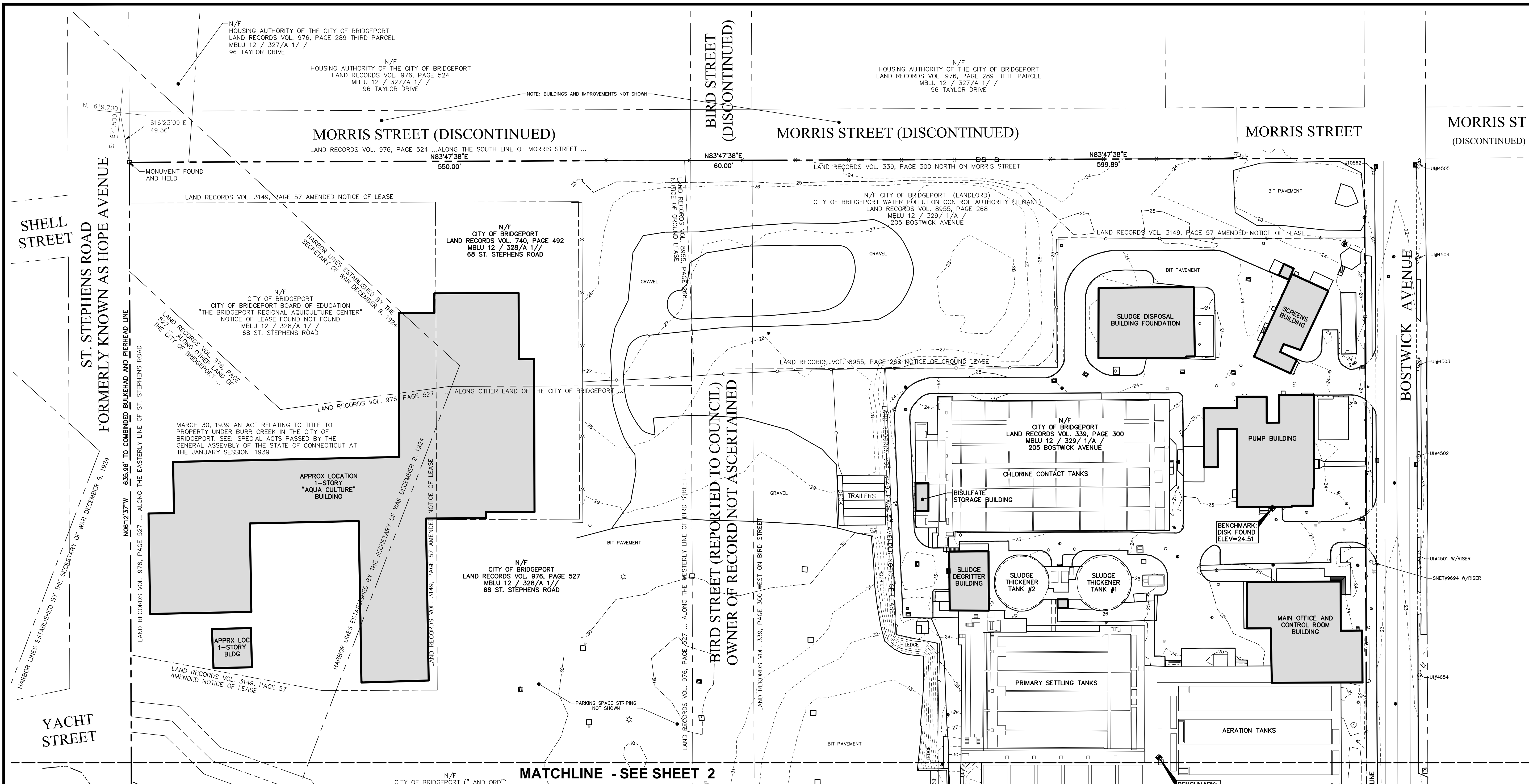
For Planning Purposes Only

Properties within 100 feet of Block 329, Lot 1A

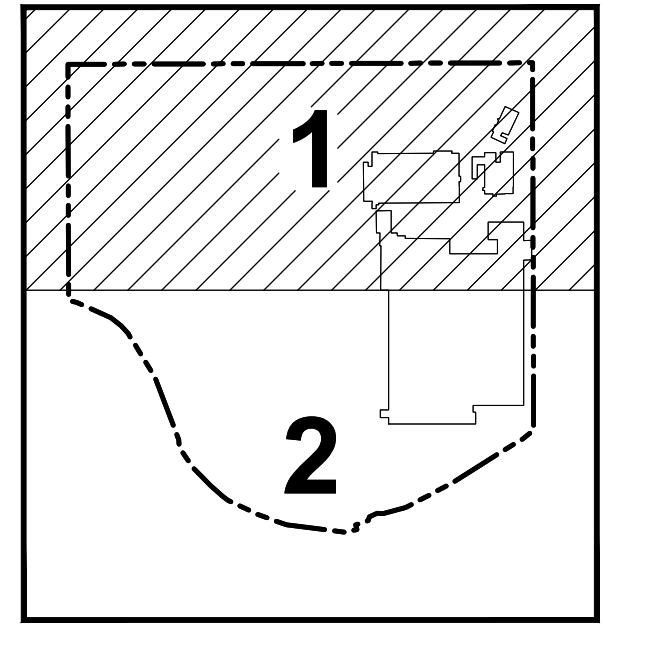
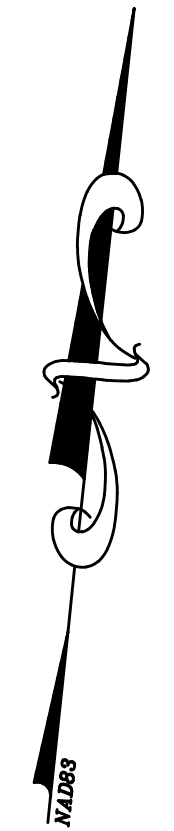
Parcel ID	Location	Owner Name	Owner Address	C/O Owner	City	State	Zip Code
329-1B	1 BOSTWICK AV	BRIDGEPORT CITY OF	EXEMPT PARCEL N/A		BRIDGEPORT	CT	00000
320-21	86 BOSTWICK AV	FRANK J GULIA REVOCABLE TRUST	86 BOSTWICK AVENUE	C/O CEDAR MANOR	BRIDGEPORT	CT	06605
328A-1	68 ST STEPHENS RD	BRIDGEPORT CITY OF PARK DEPT	EXEMPT PARCEL N/A		BRIDGEPORT	CT	00000
329-1A	205 BOSTWICK AV	BRIDGEPORT CITY OF PUBLIC WORKS	EXEMPT PARCEL N/A		BRIDGEPORT	CT	00000
320-18	260 BOSTWICK AV	O & G INDUSTRIES INC	PO BOX 907 N/A		TORRINGTON	CT	06790
323-10A	331 BOSTWICK AV	BRIDGEPORT CITY OF	EXEMPT PARCEL N/A	REDEVELOPMENT	BRIDGEPORT	CT	06604
320-1B	300 BOSTWICK AV	O & G INDUSTRIES INC	112 WALL ST		TORRINGTON	CT	06790
325-1							

Properties within 100 feet of Block 328, Lot A-1

Parcel ID	Location	Owner Name	Owner Address	C/O Owner	City	State	Zip Code
239-11	62 ARTHUR ST	LOWELL CYNTHIA	62 ARTHUR ST		BRIDGEPORT	CT	06605-3119
239-26	52 ARTHUR ST	RALEIGH MICHAEL R & MADELINE	52 ARTHUR STREET		BRIDGEPORT	CT	06605
239-12	38 ARTHUR ST	THOMAS SHERRY	38 ARTHUR ST		BRIDGEPORT	CT	06605
239-27B	34 ARTHUR ST	PEREZ ELIZABETH	34 ARTHUR ST		BRIDGEPORT	CT	06604
239-27A	32 ARTHUR ST	STURDIVANT EDWARD L II	32 ARTHUR ST		BRIDGEPORT	CT	06605
239-28	22 ARTHUR ST	BRIDGEPORT CITY OF	EXEMPT PARCEL N/A		BRIDGEPORT	CT	0
239-15B	106 YACHT ST	SAMSON BROSSET	70 PEPPERIDGE RD		STRATFORD	CT	06614
239-14A	116 YACHT ST	SORIA CLARA & EDGAR M SORIA (SURV)	116 YACHT STREET		BRIDGEPORT	CT	06605
239-14B	118 YACHT ST	WILSON EVERETT C	118 YACHT ST		BRIDGEPORT	CT	06605
239-13C	126 YACHT ST	APGAR JANE M ETAL	126 YACHT ST		BRIDGEPORT	CT	06605
329-1B	1 BOSTWICK AV	BRIDGEPORT CITY OF	EXEMPT PARCEL N/A		BRIDGEPORT	CT	00000
222-14A	111 YACHT ST	JURADO JAZZMINE LEE	2137 BRUCKNER BLVD #2F		BRONX	NY	10472
222-14B	113 YACHT ST	ONYILOGWU KENECHUKWU	113 YACHT STREET		BRIDGEPORT	CT	06605
222-15	123 YACHT ST #125	ALFORD HATTIE ET AL	123 YACHT ST		BRIDGEPORT	CT	06605
222-16A	133 YACHT ST	BLOUNT PHYLISS C	133 YACHT ST		BRIDGEPORT	CT	06605
222-16B	135 YACHT ST	BROWN PATRICIA A	135 YACHT ST		BRIDGEPORT	CT	06605
320-21	86 BOSTWICK AV	FRANK J GULIA REVOCABLE TRUST	86 BOSTWICK AVENUE	C/O CEDAR MANOR	BRIDGEPORT	CT	06605
238-3B	68 OCEAN TR	BRIDGEPORT TOWERS LLC	PO BOX 100897		BROOKLYN	NY	11210
328A-1	68 ST STEPHENS RD	BRIDGEPORT CITY OF PARK DEPT	EXEMPT PARCEL N/A		BRIDGEPORT	CT	00000
329-1A	205 BOSTWICK AV	BRIDGEPORT CITY OF PUBLIC WORKS	EXEMPT PARCEL N/A		BRIDGEPORT	CT	00000
248A-3	240 OCEAN TR	BRIDGEPORT CITY OF EDUCATION	EXEMPT PARCEL N/A		BRIDGEPORT	CT	06605



LOCATION MAP
NOT TO SCALE



KEY MAP
NOT TO SCALE

SURVEY NOTES:

- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20.
 - THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY.
 - THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY.
 - THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2, VERTICAL ACCURACY CLASS V-3, AND TOPOGRAPHIC ACCURACY CLASS T-2.
- THE ELEVATIONS DEPICTED HEREON ARE BASED ON THE CITY OF BRIDGEPORT VERTICAL DATUM NOTED HEREON (SEE VERTICAL DATUM TABLE.)
- THE BEARINGS DEPICTED HEREON ARE BASED UPON NAD83 DATUM.
- THE SUBJECT PARCEL PARTIALLY APPEARS TO LIE WITHIN FLOOD ZONE AE (EL 12) AS DEPICTED ON FEMA'S FLOOD INSURANCE RATE MAP (FIRM) ENTITLED: FAIRFIELD COUNTY, CT (ALL JURISDICTIONS); PANEL 0437 OF 0628; COMMUNITY-PANEL NUMBER 090002-0437-G; MAP NUMBER 09001C0437G; MAP REVISED: JULY 8, 2013. ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION DEPICTED HEREON IS APPROXIMATE ONLY AND DOES NOT IN ANY WAY CONSTITUTE AN OPINION OR REPRESENTATION OF ACTUAL FLOODPLAIN AND/OR FLOODWAY INFORMATION BY PEREIRA ENGINEERING, LLC (PE). PE DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION, AND MAKES NO REPRESENTATIONS UPON WHICH THE CLIENT SHOULD RELY IN CONNECTION WITH THE FLOOD ZONE OF THE SUBJECT PARCEL OR ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION DEPICTED HEREON.
- UTILITY INFORMATION DEPICTED HEREON IS APPROXIMATE AND IS BASED ON VISIBLE EVIDENCE OF SURFACE AND OVERHEAD STRUCTURE LOCATIONS AND AS COMPILED FROM EXISTING RECORD MAPPING AVAILABLE DURING THE PREPARATION OF THE SURVEY. ALL CONTRACTORS SHOULD CONTACT "CALL BEFORE YOU DIG" AT 1(800)922-4455 FOR VERIFICATION OF UTILITY INFORMATION PRIOR TO START OF ANY WORK.
- * INDICATES ELEVATIONS ARE FROM RECORD DRAWINGS, AND HAVE NOT BEEN FIELD VERIFIED (SEE SURVEY NOTE 5).
- COASTAL JURISDICTION LINE ELEVATIONS REFERENCED TO NAVD83 AND PUBLISHED BY CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION: BRIDGEPORT 5.0'.
- THE SOUTHEASTERLY, SOUTHERLY, AND SOUTHWESTERLY BOUNDARY LINES ALONG CEDAR CREEK AND BURR CREEK HAVE NOT BEEN ASCERTAINED.
- THE SUBJECT PARCEL APPEARS TO LIE WITHIN THE COASTAL BOUNDARY AS DELINEATED ON THE COASTAL BOUNDARY MAP OF THE CITY OF BRIDGEPORT. PARCELS LOCATED WITHIN THE COASTAL BOUNDARY MAY REQUIRE A COASTAL SITE PLAN REVIEW (CAM) APPLICATION.
- WATER SURFACE ELEVATIONS (WE) LOCATED ON 4/21/2020. To my knowledge and belief, this map is substantially correct as noted herein.

VERTICAL DATUM TABLE:

Elevations on Mean Lower Low Water	Station:	8467373, Black Rock Harbor, CT
Status:	Accepted (Mar 5 2004)	
Units:	Feet	
Control Station:	8467150 Bridgeport, CTT.M.: 75	
Epoch:	1983-2001	
Datum:	MLLW	Description
Datum Value:	7.34	Mean Higher-High Water
MHHW:	7.00	Mean High Water
MHW:	3.62	Mean Tide Level
MSL:	3.63	Mean Sea Level
DTL:	3.67	Mean Diurnal Tide Level
MLW:	0.25	Mean Low Water
MLLW:	0.00	Mean Lower-Low Water
NAVD83		
STND:	-7.18	Station Datum
GT:	7.34	Great Diurnal Range
MN:	6.75	Mean Range of Tide
DHQ:	0.34	Mean Diurnal High Water Inequality
DLQ:	0.25	Mean Diurnal Low Water Inequality
HWI:	3.81	Greenwich High Water Interval (in hours)
LWI:	10.15	Greenwich Low Water Interval (in hours)

7d1 Datum Analysis Periods
07/01/2003 - 09/30/2003

SOURCE:
<https://tidesandcurrents.noaa.gov/datum.html?id=8467373>

NOTE: THE CITY OF BRIDGEPORT VERTICAL DATUM FOR THE WEST SIDE WASTEWATER TREATMENT PLANT IS BASED ON THE TWO BENCHMARK: DISK FOUND AS INDICATED HEREON.

NOTE: A DIFFERENTIAL LEVEL LOOP USING A TRIMBLE DINI DIGITAL LEVEL AND BAR SCALE WAS PERFORMED ON JUNE 19, 2020, FOR MEAN LOWER LOW WATER MLLW VERTICAL DATUM TIDAL BENCH MARK BENCH MARK SHEET FOR 8467373, BLACK ROCK HARBOR CT WAS HELD. THE ADJUSTED RESULTS OF THE LEVEL LOOP ARE:

BENCHMARK DISK FOUND ELEV=37.395 MLLW=26.59
BENCHMARK DISK FOUND ELEV=24.51 MLLW=13.72

ABBREVIATIONS

APPROX	APPROXIMATE
BIT	BITUMINOUS CONCRETE
BM	BENCHMARK
CB	CATCH BASIN
CE	CHLORINATED EFFLUENT SAMPLE
CW	CITY WATER
CL	CHLORINE GAS
CLS	CHLORINE SOLUTION
CO	CLEAN OUT
CONC	CONCRETE
DR	DRAIN
ELEC	ELECTRICAL
ELEV	ELEVATION
EW	EFFLUENT WATER
EXIST	EXISTING
FF	FIRST FLOOR ELEVATION
FTE	FINAL SETTLING TANK EFFLUENT
GF	GARAGE FLOOR ELEVATION
JWB	JUNCTION BOX
HPW	HIGH PRESSURE EFFLUENT
INVT	INVERT
MH	MANHOLE
MS	MIXED SLUDGE
OF	OVERFLOW
PW	POTABLE WATER
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
SAN	SANITARY SEWER
SCD	SCRUBBER BLOWDOWN
SK	SKIMMINGS
SKD	SKIMMINGS DRAIN
SL	RAW SLUDGE
SN	SKIMMINGS SUBNATANT OR PUMP DISCHARGE
SW	SERVICE WATER (BACKFLOW PROTECTED PW)
TF	TOP OF FRAME
TO	THICKENER OVERFLOW
TOO	TOP OF CONCRETE
TS	THICKENER SLUDGE
TYP	TYPICAL
WC	WEIR CREST ELEVATION
WE	WEIR ELEVATION
WV	WEIR CREST AT VALLEY OF VEE TYPE WEIR
WU	WASTE MIXED LIQUOR
WWT	WASTEWATER TREATMENT PLANT
YD	YARD DRAIN

LEGEND

PROPERTY LINE	650	CONTOURS
RIGHT OF WAY	X 621.5	SPOT ELEVATION
EASEMENT LINE		CONIFEROUS TREE
STONE WALL		DECIDUOUS TREE
STRUCTURE		BUSH
EDGE OF PAVEMENT		CHAIN LINK FENCE
TEST BORING		WOOD FENCE
CATCH BASIN		GUIDERAIL
STORM MANHOLE		LIGHT POLE
SANITARY MANHOLE		UTILITY POLE
ELECTRIC MANHOLE		HYDRANT
MANHOLE (UNKNOWN)		WATER VALVE
WATER		GAS VALVE
GAS		MONUMENT FOUND
ELECTRIC		IRON PIPE OR PIN FOUND
TELEPHONE		DRILL HOLE FOUND
FIBER OPTIC LINE		
OVERHEAD WIRES		

AREA(S):
482,000 SF (11.1 AC) WEST OF BIRD STREET
66,650 SF (1.5 AC) BIRD STREET
648,200 SF (14.9 AC±) EAST OF BIRD STREET

MAP BLOCK LOT:
12/328/1/A
12/328/1/A1
12/329/1/A
12/329/1/B

DEED REFERENCE:
VOL 339 / PG 300
VOL 976 / PG 527
SPECIAL ACTS

MAP REFERENCE:
MAP VOL 16 / PG 2

NOTE: AREA(S) ARE SHOWN TO APPROXIMATE TOP OF EMBANKMENT OR NORTHERLY FACE OF BUILDINGS ALONG BURR CREEK AND CEDAR CREEK

PEREIRA ENGINEERING, LLC
Civil • Environmental • Land Surveying
One Enterprise Drive, Suite 312 Phone: (203) 944-9944
Shelton, CT 06484 Fax: (203) 944-9945

NO.	DATE	REVISIONS	REMARKS
1	06/08/20	MISC. ELEVATIONS	
2	06/26/20	VERTICAL DATUM TABLE AND NOTES	

IMPROVEMENT LOCATION SURVEY
205 BOSTWICK AVENUE
WEST SIDE WASTEWATER TREATMENT PLANT
BRIDGEPORT, CONNECTICUT
PREPARED FOR
WATER POLLUTION CONTROL AUTHORITY

COPYRIGHT © 2020
DATE: MAY 15, 2020
SCALE: 1"=50'
DWG: EFH FLD: BRY
SHEET 1 OF 8
CAD REF. NO. 1263SURV-W

YACHT STREET

MATCHLINE - SEE SHEET 1

N/F
CITY OF BRIDGEPORT ("LANDLORD")
CAPTAIN'S COVE MARINA OF BRIDGEPORT, INC. ("TENANT")
LAND RECORDS VOL. 3149, PAGE 57
MBLU 12 / 328/1/1
68 ST. STEPHENS ROAD

AUGUST 12, 1937 (H.R. 7766) BURR
CREEK, PORTION OF, BRIDGEPORT,
CONN., DECLARED NON NAVIGABLE

BURR CREEK

APPROX BUILDING
LOCATIONS

N/F
CITY OF BRIDGEPORT
CITY PARKS DEPARTMENT
NOTICE OF LEASE NOT FOUND
MBLU 12 / 328 / A1 /
68 ST. STEPHENS ROAD

BIRD STREET (REPORTED TO COUNCIL)
OWNER OF RECORD NOT ASCERTAINED

N/F
CITY OF BRIDGEPORT ("LANDLORD")
CAPTAIN'S COVE MARINA OF BRIDGEPORT, INC. ("TENANT")
LAND RECORDS VOL. 3148, PAGE 57
MBLU 12 / 329 / 1/4 /
205 BOSTWICK AVENUE

N/F
CITY OF BRIDGEPORT
LAND RECORDS VOL. 339, PAGE 300
MBLU 9 / 329 / 1/B
1 BOSTWICK AVENUE

LAND RECORDS VOL. 339, PAGE 300
SOUTH ON CEDAR CREEK, SO-CALLED

TIDAL BENCHMARK
FOUND "7373 C 2003"

BENCHMARK:
DISK FOUND
ELEV=37.395

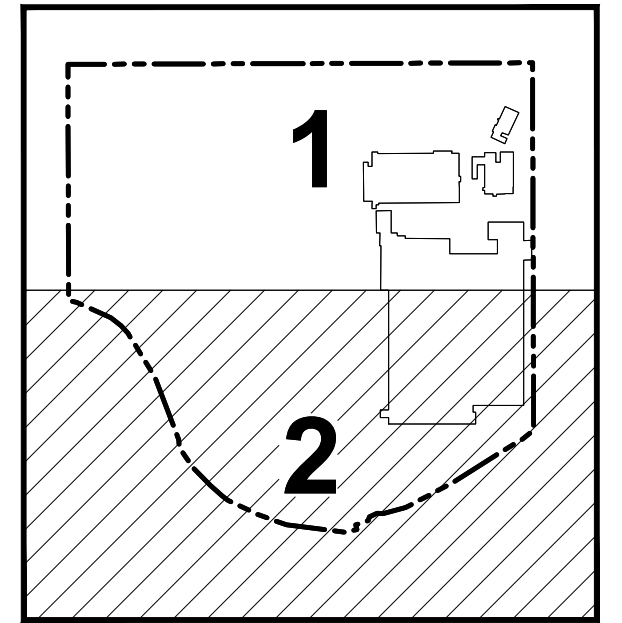
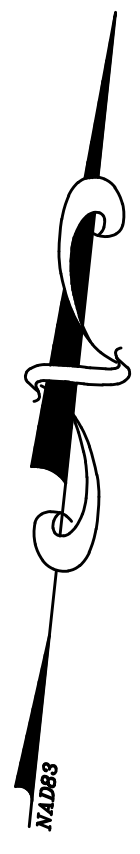
AERATION TANKS

FINAL SETTLING TANKS

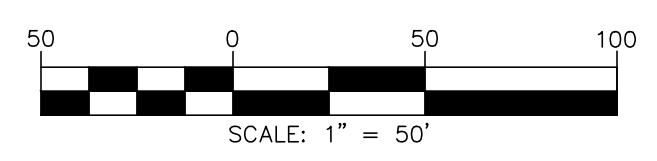
BISULFATE
STORAGE BUILDING

BOSTWICK AVENUE

CEDAR CREEK



KEY MAP
NOT TO SCALE



(SEE SHEET 1 OF 8 FOR SURVEY NOTES AND CERTIFICATION)

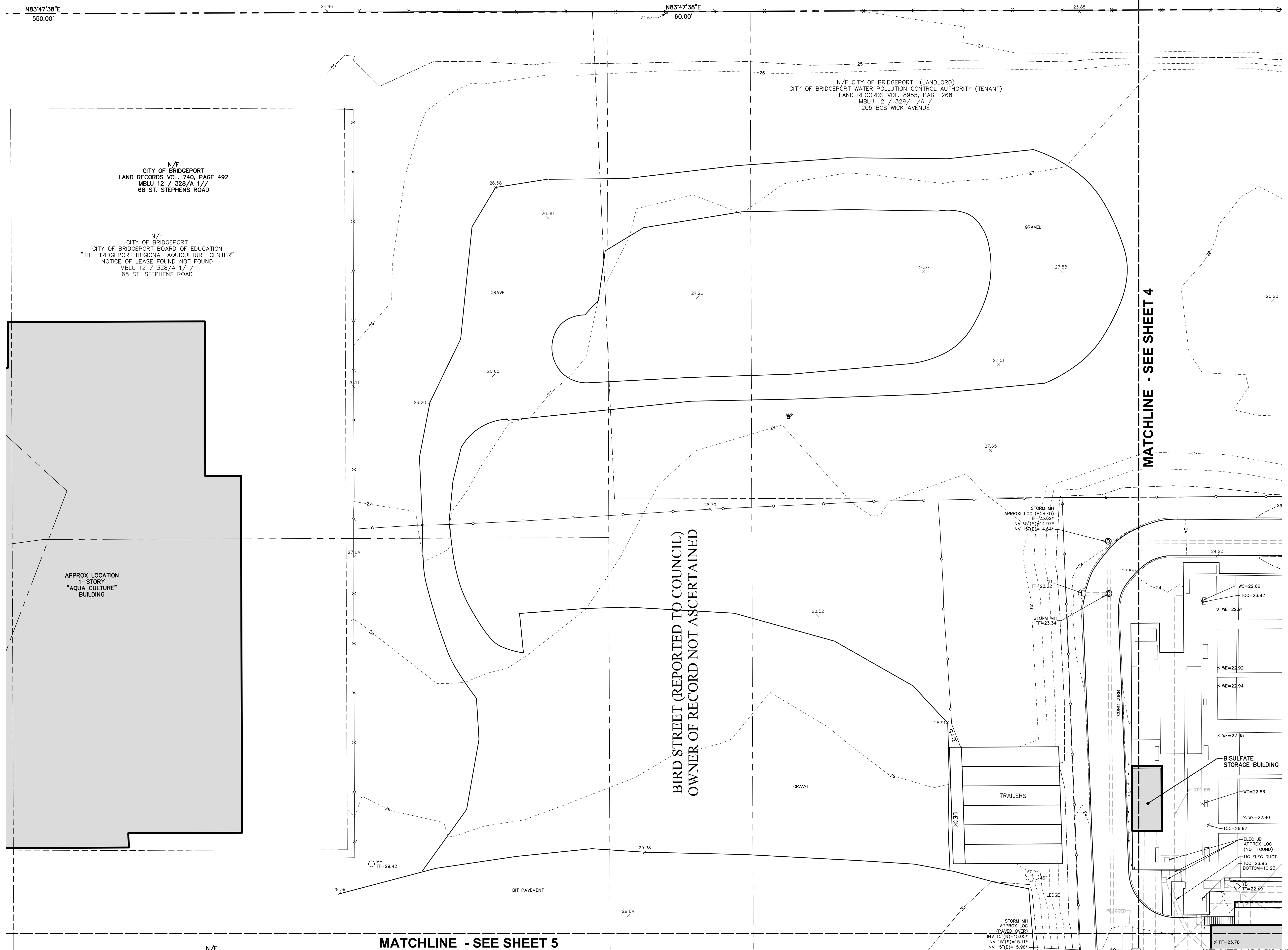
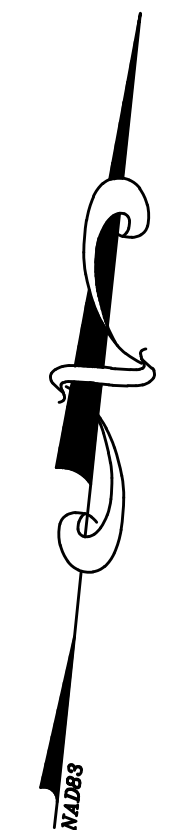


Civil • Environmental • Land Surveying
One Enterprise Drive, Suite 312 Phone: (203) 944-9944
Shelton, CT 06484 Fax: (203) 944-9945

REVISIONS		
NO.	DATE	REMARKS
1	06/08/20	MISC. ELEVATIONS
2	06/26/20	VERTICAL DATUM TABLE AND NOTES

IMPROVEMENT LOCATION SURVEY
205 BOSTWICK AVENUE
WEST SIDE WASTEWATER TREATMENT PLANT
BRIDGEPORT, CONNECTICUT
PREPARED FOR
WATER POLLUTION CONTROL AUTHORITY

COPYRIGHT © 2020
DATE: MAY 15, 2020
SCALE: 1"=50'
DWG: EFH FLD: BRY
S SHEET 2 OF 8
CAD REF. NO. 1263SURV-0



N/F
CITY OF BRIDGEPORT
LAND RECORDS VOL. 740, PAGE 492
MBLU 12 / 328/A 1//
68 ST. STEPHENS ROAD

N/F
CITY OF BRIDGEPORT
CITY OF BRIDGEPORT BOARD OF EDUCATION
"THE BRIDGEPORT REGIONAL AQUICULTURE CENTER"
NOTICE OF LEASE FOUND NOT FOUND
MBLU 12 / 328/A 1//
68 ST. STEPHENS ROAD

APPROX LOCATION
1-STORY
"AQUA CULTURE"
BUILDING

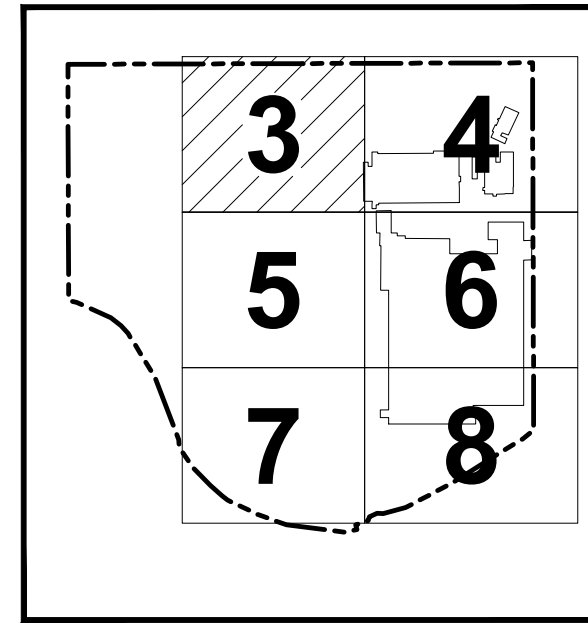
N/F CITY OF BRIDGEPORT (LANDLORD)
CITY OF BRIDGEPORT WATER POLLUTION CONTROL AUTHORITY (TENANT)
LAND RECORDS VOL. 8955, PAGE 268
MBLU 12 / 329/1/A /
205 BOSTWICK AVENUE

BIRD STREET (REPORTED TO COUNCIL)
OWNER OF RECORD NOT ASCERTAINED

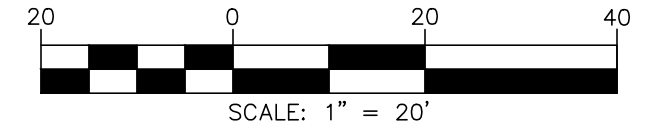
MATCHLINE - SEE SHEET 4

MATCHLINE - SEE SHEET 5

N/F
CITY OF BRIDGEPORT



KEY MAP
NOT TO SCALE

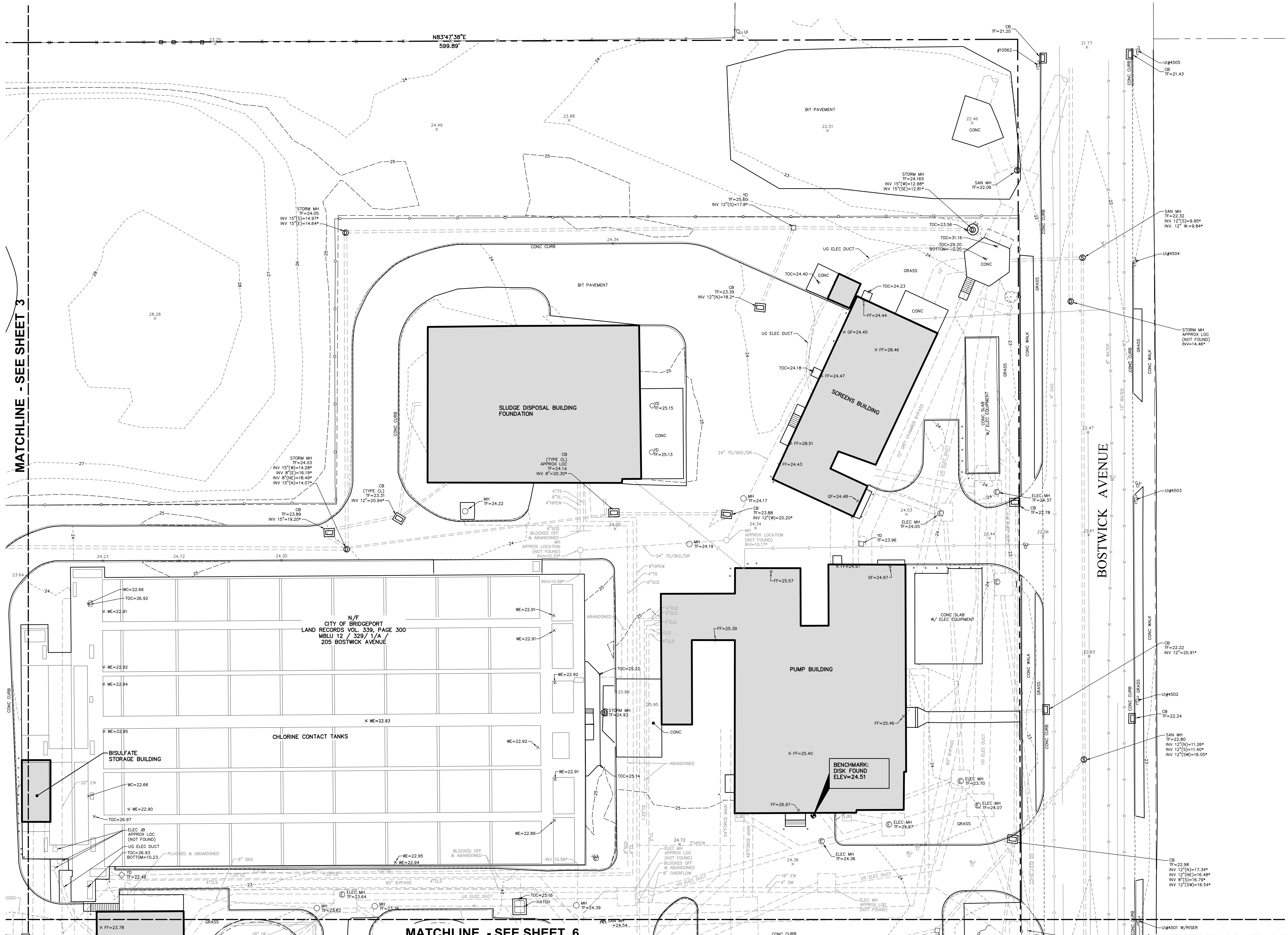
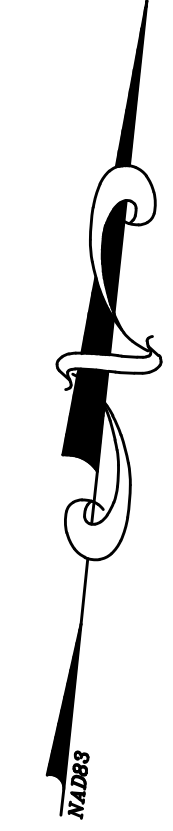


Civil • Environmental • Land Surveying
One Enterprise Drive, Suite 312 Phone: (203) 944-9944
Shelton, CT 06484 Fax: (203) 944-9945

NO.	DATE	REVISIONS	REMARKS
1	06/08/20	MISC. ELEVATIONS	
2	06/26/20	VERTICAL DATUM TABLE AND NOTES	

IMPROVEMENT LOCATION SURVEY
205 BOSTWICK AVENUE
WEST SIDE WASTEWATER TREATMENT PLANT
BRIDGEPORT, CONNECTICUT
PREPARED FOR
WATER POLLUTION CONTROL AUTHORITY

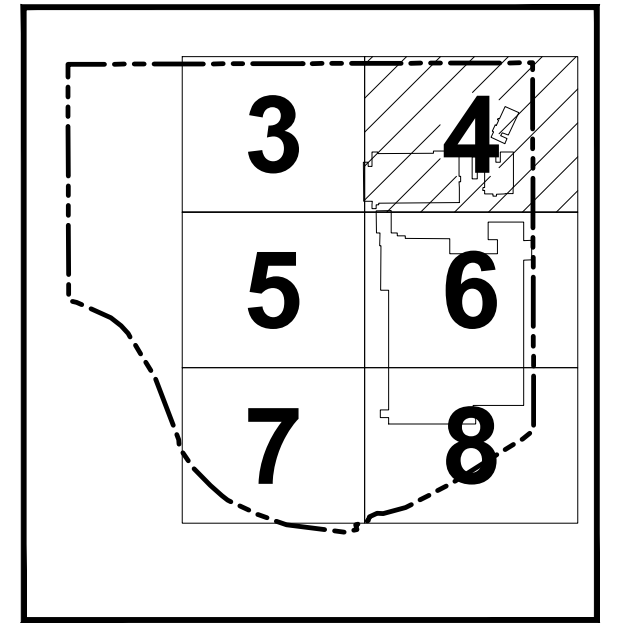
COPYRIGHT © 2020
DATE: MAY 15, 2020
SCALE: 1"=20'
DWG: EFH FLD: BRY
S SHEET 3 OF 8
CAD REF. NO. 1263SURV-W



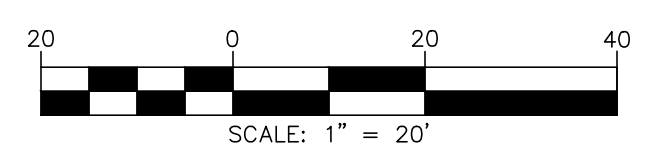
MATCHLINE - SEE SHEET 3

MATCHLINE - SEE SHEET 6

BOSTWICK AVENUE



KEY MAP
NOT TO SCALE



C:\283\Archive\200608-Final_Survey\R2\1263SUR-RV-WEST.dwg, S04, 6/30/2020, 9:37:38 AM, pfl: 1:1



Civil • Environmental • Land Surveying
One Enterprise Drive, Suite 312 Phone: (203) 944-9944
Shelton, CT 06484 Fax: (203) 944-9945

NO.	DATE	REVISIONS	REMARKS
1	06/08/20	MISC. ELEVATIONS	
2	06/26/20	VERTICAL DATUM TABLE AND NOTES	

IMPROVEMENT LOCATION SURVEY
205 BOSTWICK AVENUE
WEST SIDE WASTEWATER TREATMENT PLANT
BRIDGEPORT, CONNECTICUT
PREPARED FOR
WATER POLLUTION CONTROL AUTHORITY

COPYRIGHT © 2020
DATE: MAY 15, 2020
SCALE: 1"=20'
DWG: EFH FLD: BRY
SHEET 4 OF 8
CAD REF. NO. 1263SUR-W

MATCHLINE - SEE SHEET 3

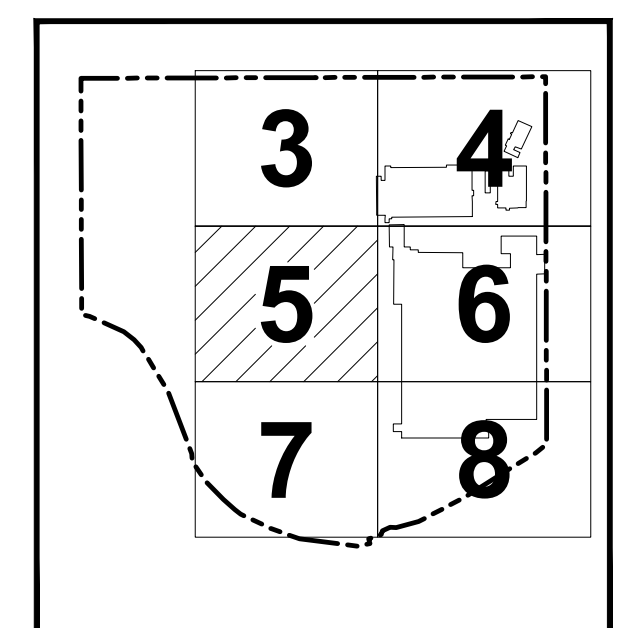
N/F
CITY OF BRIDGEPORT
LAND RECORDS VOL. 976, PAGE 527
MBLU 12 / 328/A 1//
68 ST. STEPHENS ROAD

N/F
CITY OF BRIDGEPORT ("LANDLORD")
CAPTAIN'S COVE MARINA OF BRIDGEPORT, INC. ("TENANT")
LAND RECORDS VOL. 3149, PAGE 57
MBLU 12 / 328/A 1//
68 ST. STEPHENS ROAD

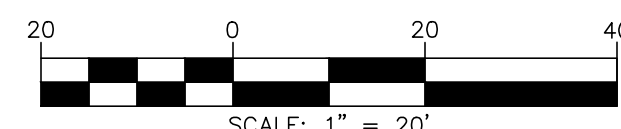
BIRD STREET (REPORTED TO COUNCIL)
OWNER OF RECORD NOT ASCERTAINED

MATCHLINE - SEE SHEET 6

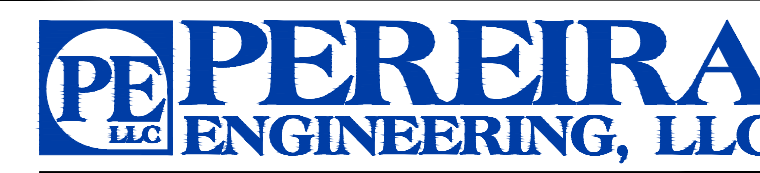
MATCHLINE - SEE SHEET 7



KEY MAP
NOT TO SCALE



(SEE SHEET 1 OF 8 FOR SURVEY NOTES AND CERTIFICATION)



Civil • Environmental • Land Surveying
One Enterprise Drive, Suite 312 Phone: (203) 944-9944
Shelton, CT 06484 Fax: (203) 944-9945

REVISIONS		
NO.	DATE	REMARKS
1	06/08/20	MISC. ELEVATIONS
2	06/26/20	VERTICAL DATUM TABLE AND NOTES

IMPROVEMENT LOCATION SURVEY
205 BOSTWICK AVENUE
WEST SIDE WASTEWATER TREATMENT PLANT
BRIDGEPORT, CONNECTICUT
PREPARED FOR
WATER POLLUTION CONTROL AUTHORITY

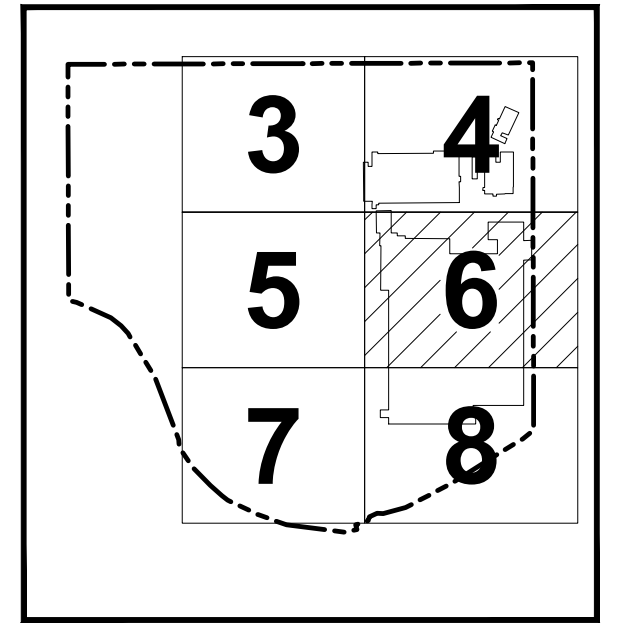
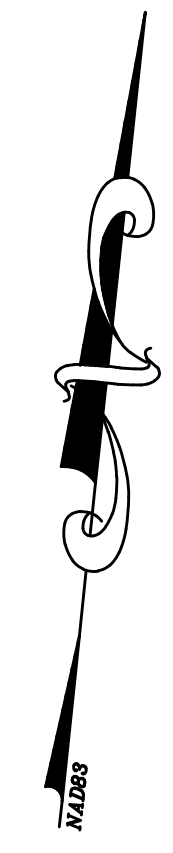
COPYRIGHT © 2020
DATE: MAY 15, 2020
SCALE: 1"=20'
DWG: EFH FLD: BRY
S SHEET 5 OF 8
CAD REF. NO. 1263SURV-W

G:\283\Archive\200608-Final_Survey\R2\1263SURV-WEST.dwg, S05, 6/30/2020, 9:37:51 AM, pfl, 1/1

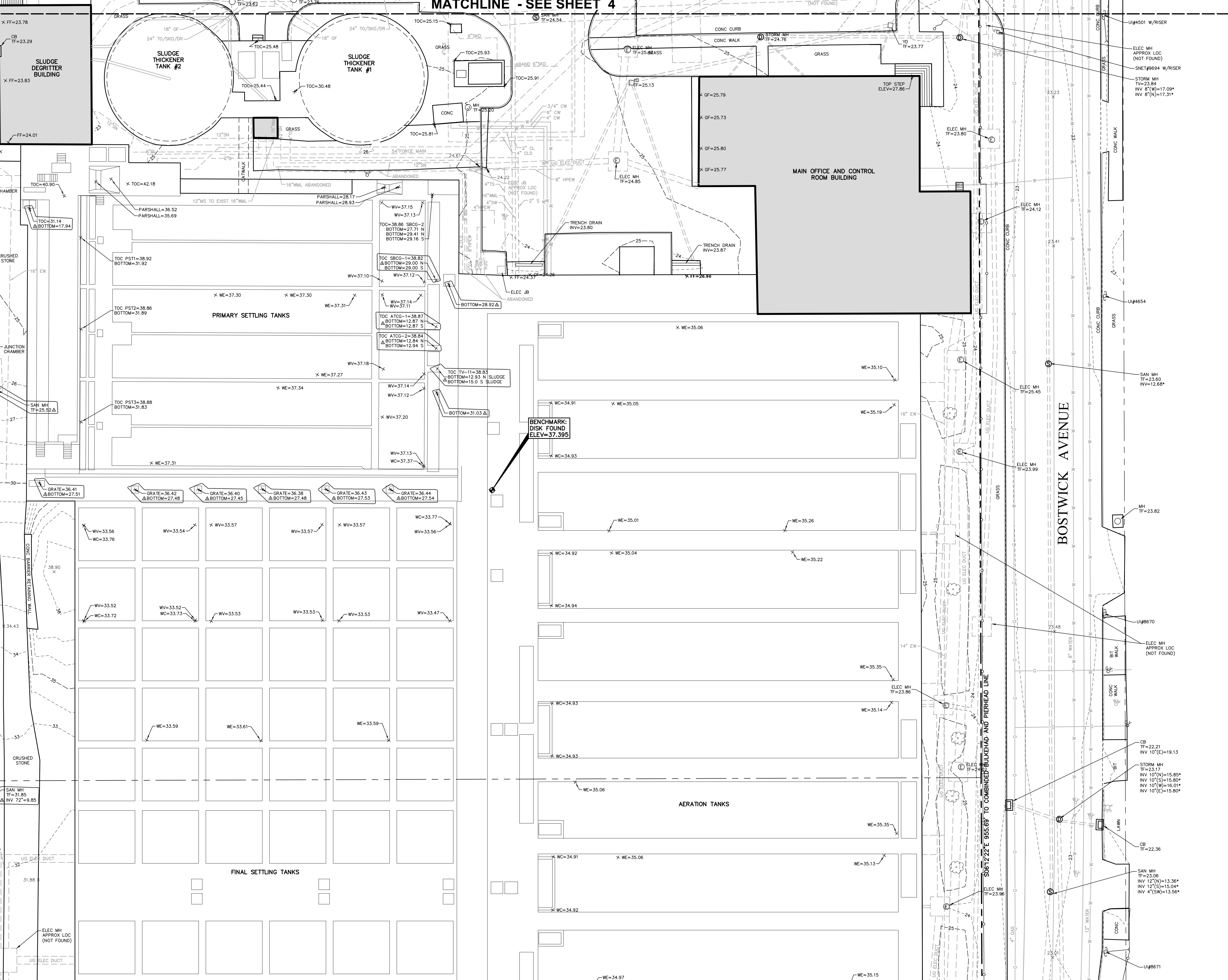
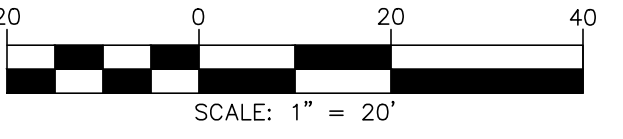
MATCHLINE - SEE SHEET 4

MATCHLINE - SEE SHEET 5

MATCHLINE - SEE SHEET 8



KEY MAP
NOT TO SCALE



C:\283\Archive\200608-Final Surveys-R2\1263SUR-WEST.dwg, S06, 6/20/2020, 9:38:04 AM, pfl: 1:1

PEREIRA
ENGINEERING, LLC

Civil • Environmental • Land Surveying

One Enterprise Drive, Suite 312 Phone: (203) 944-9944
Shelton, CT 06484 Fax: (203) 944-9945

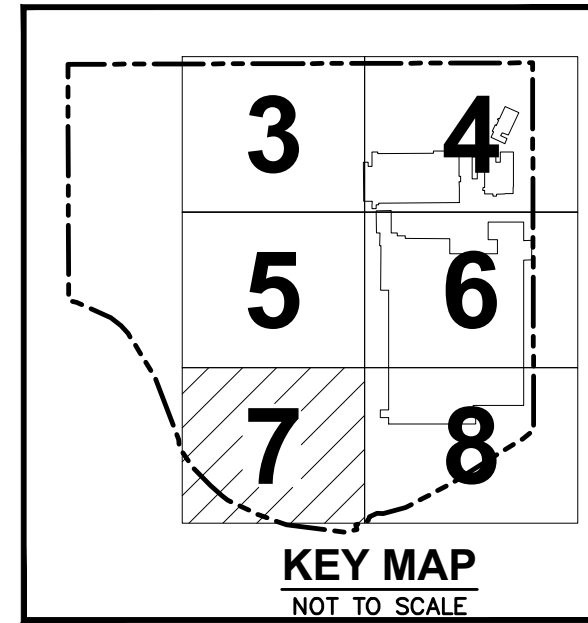
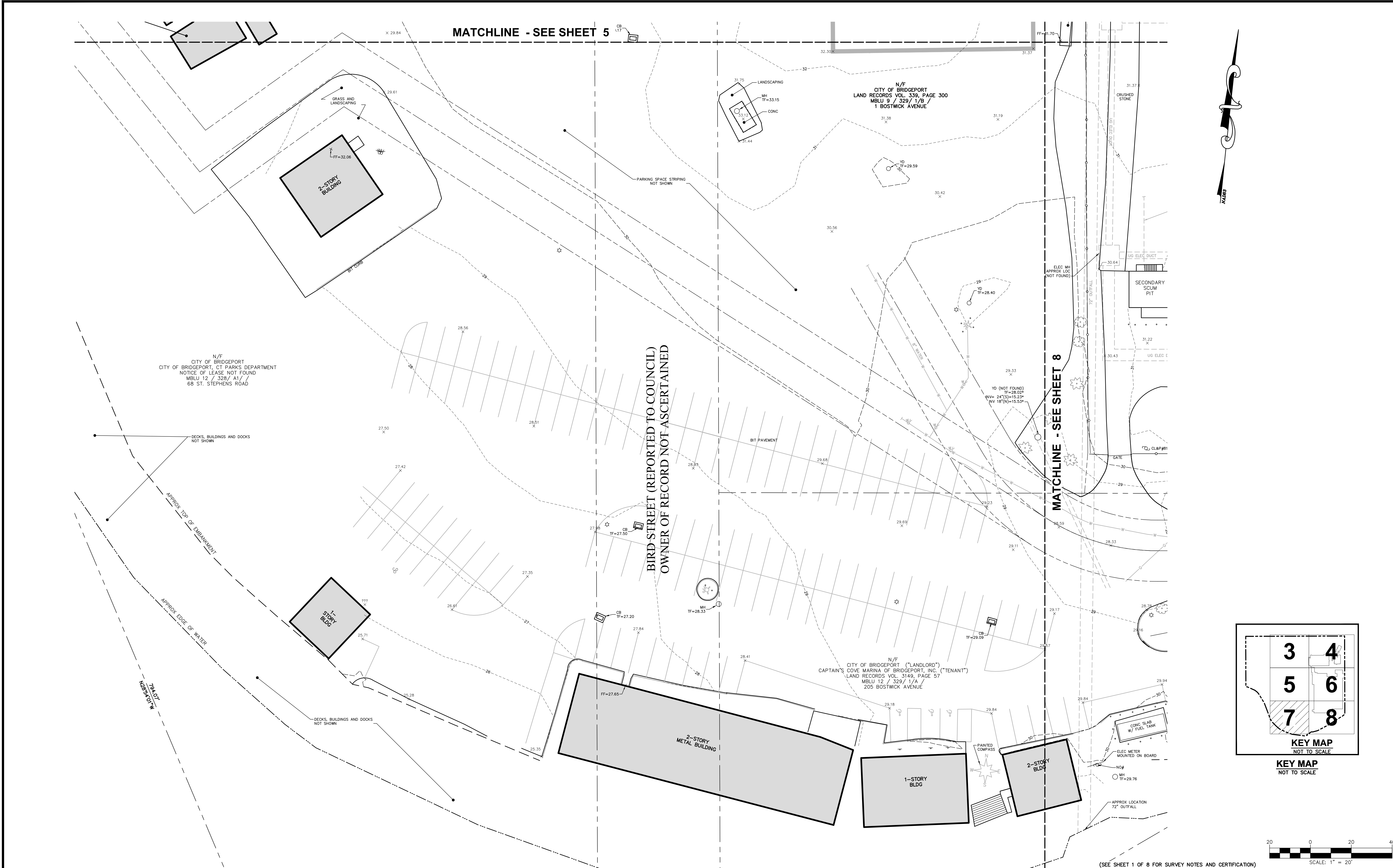
NO.	DATE	REVISIONS	REMARKS
1	06/08/20	MISC. ELEVATIONS	
2	06/26/20	VERTICAL DATUM TABLE AND NOTES	

IMPROVEMENT LOCATION SURVEY
205 BOSTWICK AVENUE
WEST SIDE WASTEWATER TREATMENT PLANT
BRIDGEPORT, CONNECTICUT
PREPARED FOR
WATER POLLUTION CONTROL AUTHORITY

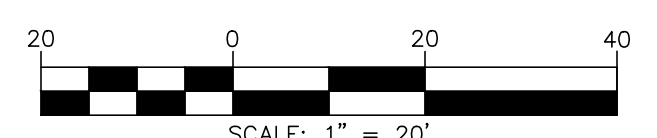
DATE: MAY 15, 2020
SCALE: 1"=20'
DWG: EFH FLD: BRY
SHEET 6 OF 8
CAD REF. NO. 1263SUR-W

(SEE SHEET 1 OF 8 FOR SURVEY NOTES AND CERTIFICATION)

G:\1263\Archives\200608-Final_Survey-R2\1263SURV-WEST.dwg, 507, 6/30/2020, 9:38:18 AM, pfl, 1/1



KEY MAP
NOT TO SCALE



(SEE SHEET 1 OF 8 FOR SURVEY NOTES AND CERTIFICATION)

MATCHLINE - SEE SHEET 5

MATCHLINE - SEE SHEET 8

BIRD STREET (REPORTED TO COUNCIL)
OWNER OF RECORD NOT ASCERTAINED

N/F
CITY OF BRIDGEPORT
CITY OF BRIDGEPORT, CT PARKS DEPARTMENT
NOTICE OF LEASE NOT FOUND
MBLU 12 / 328/ A1 /
68 ST. STEPHENS ROAD

N/F
CITY OF BRIDGEPORT ("LANDLORD")
CAPTAIN'S COVE MARINA OF BRIDGEPORT, INC. ("TENANT")
LAND RECORDS VOL. 3149, PAGE 57
MBLU 12 / 329 / 1/A
205 BOSTWICK AVENUE

N/F
CITY OF BRIDGEPORT
LAND RECORDS VOL. 339, PAGE 300
MBLU 9 / 329 / 1/B
1 BOSTWICK AVENUE



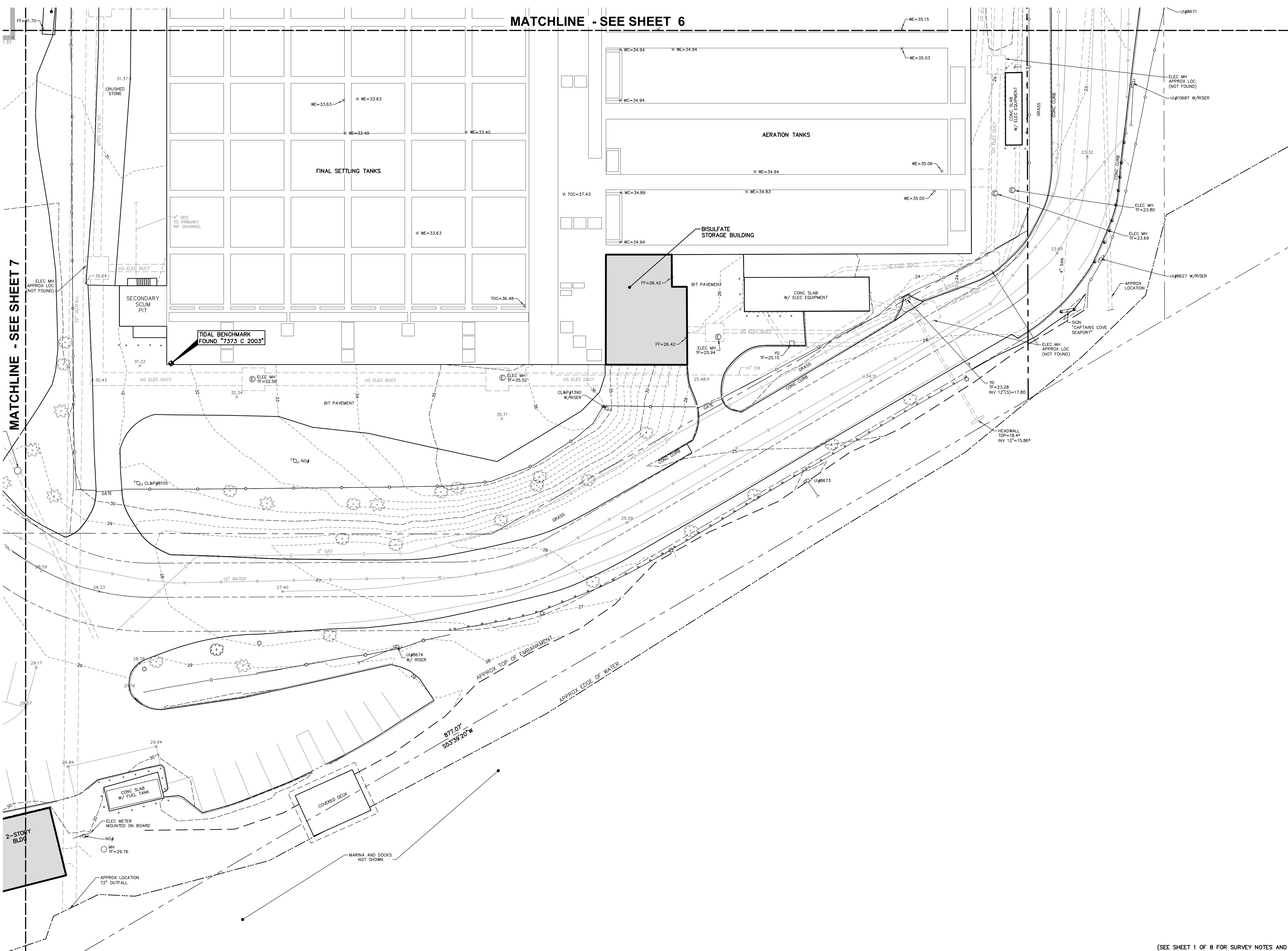
Civil • Environmental • Land Surveying
One Enterprise Drive, Suite 312 Phone: (203) 944-9944
Shelton, CT 06484 Fax: (203) 944-9945

REVISIONS		
NO.	DATE	REMARKS
1	06/08/20	MISC. ELEVATIONS
2	06/26/20	VERTICAL DATUM TABLE AND NOTES

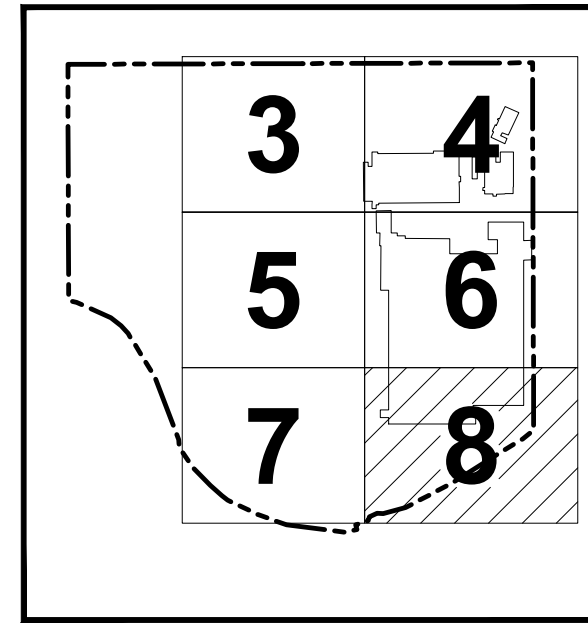
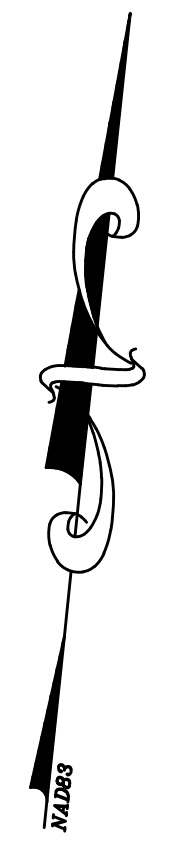
IMPROVEMENT LOCATION SURVEY
205 BOSTWICK AVENUE
WEST SIDE WASTEWATER TREATMENT PLANT
BRIDGEPORT, CONNECTICUT
PREPARED FOR
WATER POLLUTION CONTROL AUTHORITY

COPYRIGHT © 2020
DATE: MAY 15, 2020
SCALE: 1"=20'
DWG: EFH FLD: BRY
SHEET 7 OF 8
CAD REF. NO. 1263SURV-W

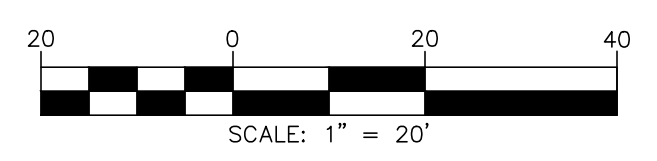
MATCHLINE - SEE SHEET 6



MATCHLINE - SEE SHEET 7



KEY MAP
NOT TO SCALE



(SEE SHEET 1 OF 8 FOR SURVEY NOTES AND CERTIFICATION)

C:\283\Archive\200608-Final Surveys-R2\126339-RV-WEST.dwg, 508, 6/20/2020, 9:38:30 AM, pfl: 1:1

PEREIRA ENGINEERING, LLC
 Civil • Environmental • Land Surveying
 One Enterprise Drive, Suite 312 Phone: (203) 944-9944
 Shelton, CT 06484 Fax: (203) 944-9945

REVISIONS		
NO.	DATE	REMARKS
1	06/08/20	MISC. ELEVATIONS
2	06/26/20	VERTICAL DATUM TABLE AND NOTES

IMPROVEMENT LOCATION SURVEY
 205 BOSTWICK AVENUE
 WEST SIDE WASTEWATER TREATMENT PLANT
 BRIDGEPORT, CONNECTICUT
 PREPARED FOR
 WATER POLLUTION CONTROL AUTHORITY

COPYRIGHT © 2020
 DATE: MAY 15, 2020
 SCALE: 1"=20'
 DWG: EFH FLD: BRY
S SHEET 8 OF 8
 CAD REF. NO. 126339RV-W

**WATER POLLUTION CONTROL AUTHORITY (WPCA)
CITY OF BRIDGEPORT, CONNECTICUT**

**WEST SIDE WASTEWATER TREATMENT PLANT IMPROVEMENTS
PHASE 1 - SITE PREPARATION**

CT DEEP PROJECT NO. CWF-XXX

LIST OF DRAWINGS

GENERAL

G-00 COVER SHEET

CIVIL

- C-01 GENERAL NOTES, LEGEND, AND ABBREVIATIONS
- C-02 EXISTING CONDITIONS AND SITE BORINGS - PLAN I
- C-03 EXISTING CONDITIONS AND SITE BORINGS - PLAN II
- C-04 REMOVALS PLAN I
- C-05 REMOVALS PLAN II
- C-06 CONFIRMATION SAMPLING PLAN
- C-07 EROSION AND SEDIMENTATION CONTROL PLAN
- C-08 GRADING AND DRAINAGE PLAN
- C-09 PAVING AND FENCING PLAN I
- C-10 PAVING AND FENCING PLAN II
- C-11 LANDSCAPING AND COMPLETION PLAN
- C-12 SITE DETAILS I
- C-13 SITE DETAILS II
- C-14 SITE DETAILS III
- C-15 SITE DETAILS IV



LOCATION PLAN
1 in = 500 ft

MARCH 2024

**PERMITTING REVIEW SET
NOT FOR CONSTRUCTION**

**CDM
Smith**

EAST HARTFORD, CONNECTICUT

Water

Environment

Transportation

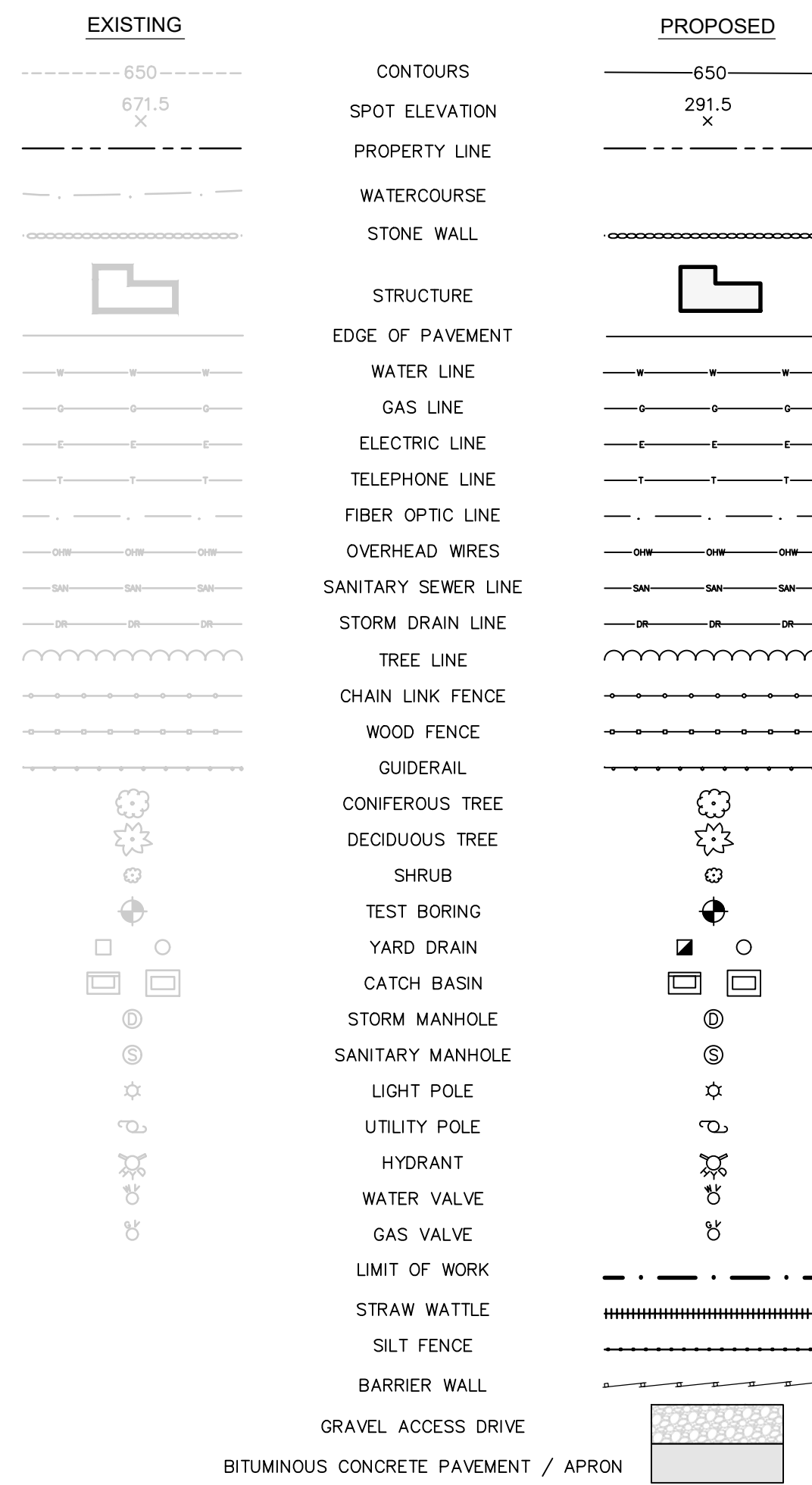
Energy

Facilities

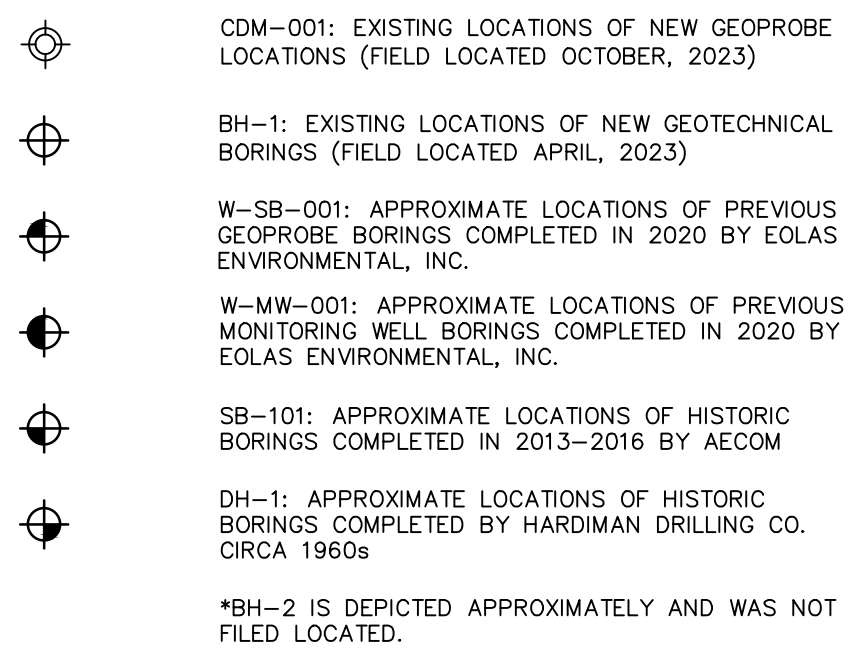
GENERAL NOTES:

- 1. ALL WORK SHALL CONFORM TO THE CITY OF BRIDGEPORT STANDARDS AND SPECIFICATIONS OR IN THE ABSENCE THEREOF TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 818 (OR LATEST EDITION).
- 2. IF (IN THE OPINION OF THE ENGINEER) CONFLICTS OR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT ITSELF IN DESCRIBING THE WORK; THE BETTER QUALITY, GREATER QUANTITY, OR MORE COSTLY OPTION FOR WORK SHALL BE INCLUDED IN THE CONTRACTOR'S (ORIGINAL) CONTRACT PRICE. THIS WORK SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CLARIFYING ANY CONFLICTS OR DISCREPANCIES IN THE WORK PRIOR TO SUBMITTING THE CONTRACT PRICE. THE CONTRACTOR SHALL NOT PROCEED WITH SUCH WORK UNTIL THE ENGINEER HAS BEEN CONTACTED FOR CLARIFICATION AND PROPER DIRECTION.
- 3. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS AND SHALL IMMEDIATELY REPORT ANY AND ALL DISCREPANCIES TO ENGINEER.
- 4. THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND APPURTENANCES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- 5. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (CBYD) LOCATING SERVICE AT 1-(800)-922-4455 AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION IN ORDER TO HAVE ALL UTILITIES LOCATED AND MARKED. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATING SERVICE (AT THEIR OWN EXPENSE) TO VERIFY AND/OR LOCATE ANY/ALL UTILITIES THAT CBYD DOES NOT LOCATE. ANY/ALL REFERENCES ON DRAWINGS TO "UTILITIES" INCLUDES ANY/ALL TYPES OF BUILDING AND/OR SITE "SERVICES" AS WELL.
- 6. SURVEY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM MAPS ENTITLED: "IMPROVEMENT LOCATION SURVEY; 205 BOSTWICK AVENUE; WEST SIDE WASTEWATER TREATMENT PLANT; BRIDGEPORT, CONNECTICUT; PREPARED FOR WATER POLLUTION CONTROL AUTHORITY" SHEETS 1 THROUGH 8; SCALE: VARIES; DATED MAY 15, 2020; LAST REVISED: MAY 9, 2023; PREPARED BY PEREIRA ENGINEERING, LLC.
- 7. TO PROVIDE CONSISTENCY WITH HISTORICAL DRAWINGS A SEPARATE DATUM WAS ESTABLISHED THAT IS SPECIFIC TO THE WASTEWATER TREATMENT PLANT (WWTP) SITE. ALL ELEVATIONS DEPICTED ON THE PROJECT DRAWINGS AND THE ABOVE REFERENCED SURVEY MAPS ARE BASED UPON THE BRIDGEPORT WEST SIDE WWTP DATUM, SEE DATUM CONVERSION TABLE BELOW.
- 8. NO STUMPS, BRUSH, BUILDING DEBRIS, OR UNSUITABLE MATERIALS ARE TO BE BURIED ONSITE. CONTRACTOR IS RESPONSIBLE FOR ANY/ALL COSTS ASSOCIATED WITH REMOVING ALL MATERIALS OFFSITE AT NO ADDITIONAL COST TO THE OWNER.
- 9. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S REQUIREMENTS AND STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE UTILITY RELATED WORK WITH THE RESPECTIVE UTILITIES. ALL COSTS, INCLUDING PERMIT FEES, SHALL BE INCLUDED IN THE PRICES BID FOR THE VARIOUS ITEMS OF WORK UNDER THIS CONTRACT.
- 10. CONTRACTOR IS RESPONSIBLE FOR DOING WORK THAT IS COMPLIANT WITH SECTION 504 OF THE REHABILITATION ACT OF 1973 AND TITLE II OF THE AMERICANS WITH DISABILITIES ACT AS AMENDED THROUGH LATEST VERSION.
- 11. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER DRAWINGS AND SPECIFICATIONS TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE.

SURVEY LEGEND



BORING LEGEND:



CONSTRUCTION NOTES:

- 1. ALL TREES TO BE CLEARED SHALL BE IDENTIFIED FOR REVIEW BY ENGINEER PRIOR TO CLEARING. REMOVE TREES AND VEGETATION NECESSARY TO COMPLETE THE WORK AS SHOWN. LIMIT OF CLEARING TO BE REVIEWED IN FIELD WITH ENGINEER PRIOR TO EXECUTION.
- 2. ALL DISTURBED AREAS OUTSIDE THE TEMPORARY ACCESS DRIVE AND PLANTING BEDS SHALL RECEIVE MIN. 4" LAYER LOAM AND SEED.
- 3. RETAIN A CONNECTICUT LICENSED LAND SURVEYOR TO CONFIRM AND STAKE ALL PROPERTY LINES BETWEEN CITY OWNED PROPERTY, PRIVATE PROPERTY, AND UTILITY EASEMENTS PRIOR TO START OF CONSTRUCTION ACTIVITIES.
- 4. ALL AREAS OUTSIDE THE LIMIT OF DISTURBANCE SHALL BE PROTECTED AT ALL TIMES UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ALL AREAS DISTURBED OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE IN A MANNER APPROVED BY THE ENGINEER AND ANY AFFECTED PARTY.
- 5. PRESERVE AND PROTECT ALL EXISTING GROUNDWATER MONITORING WELLS NOT IDENTIFIED TO BE DECOMMISSIONED OR REMOVED IN PHASE 1. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- 6. CONTRACTOR SHALL MAINTAIN VEHICULAR ACCESS AND ALL UTILITY SERVICES TO THE EXISTING TREATMENT PLANT AND ASSOCIATED FACILITIES THROUGHOUT THE DURATION OF THE CONTRACT, UNLESS OTHERWISE SPECIFIED.
- 7. EXISTING SURVEY MONUMENTS OR CONTROL POINTS SHALL BE FLAGGED AND PROTECTED THROUGHOUT THE CONSTRUCTION CONTRACT UNLESS OTHERWISE APPROVED BY THE ENGINEER. DAMAGED OR MISSING MONUMENTS OR CONTROL POINTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

ABBREVIATIONS

Table listing abbreviations such as APPROX, BC, BIT, BM, BS, CB, CLF, CO, CONC, DR, ELEV, EXIST, HD, HP, INV, LP, MAX, MH, MIN, NTS, OC, PVC, R, RCP, RD, SCH, STA MNS, STA SPS, TC, TF, TOC, TS, TYP, VF, W, WWTP and their corresponding full names.

EROSION CONTROL NOTES:

- 1. ALL WORK SHALL CONFORM TO CTDEEP GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL LATEST EDITION.
- 2. EROSION CONTROLS SHOWN ON DRAWINGS ARE THE MINIMUM REQUIRED. CONTRACTOR MAY BE REQUIRED TO ADJUST LOCATIONS AND ELEVATIONS OF SEDIMENTATION BARRIERS OR ADD ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED BY ENGINEER.
- 3. PRIOR TO UNDERTAKING ANY WORK AT THE SITE, PREPARE AN EROSION CONTROL PLAN IN ACCORDANCE WITH NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PHASE II REGULATIONS FOR APPROVAL BY THE ENGINEER TO PROTECT THE SITE FROM EROSION AND PREVENT THE MOVEMENT OF SEDIMENT AND DEBRIS INTO DRAINAGE SYSTEMS.
- 4. INSTALL STRAW WATTLES AT THE LIMITS OF WORK AS SHOWN ON THE PROJECT DRAWINGS PRIOR TO COMMENCEMENT OF WORK TO PREVENT EROSION OR SEDIMENTATION INTO ADJACENT DOWNGRADIENT PROPERTY, AS WELL AS INTO THE WORK AREA FROM ADJACENT UPLAND PROPERTY.
- 5. INSPECT SEDIMENT BARRIERS WEEKLY AND AFTER ALL STORM EVENTS OF 1/2-INCH OR GREATER. REPAIR AS NEEDED AND AS DIRECTED BY THE ENGINEER OR OWNER WITHIN 48 HOURS OF ANY STORM EVENT.
- 6. MAINTAIN THE SEDIMENTATION AND EROSION CONTROL SYSTEMS FOR THE DURATION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE CLEANING AND/OR REPLACING SYSTEMS THAT ARE NO LONGER FUNCTIONAL DUE TO SEDIMENT BUILD-UP AND DEGRADATION AS DETERMINED BY THE ENGINEER. BARRIERS SHALL BE LEFT IN PLACE UNTIL THE AREA IS PERMANENTLY STABILIZED.
- 7. PROVIDE EROSION PROTECTION FOR DRAIN INLETS AND STRUCTURES UPON INSTALLATION AND LEAVE IN PLACE UNTIL ADJACENT SURFACES ARE STABILIZED.
- 8. SEED DISTURBED AREAS TO STABILIZE SOILS AND PREVENT EROSION AS SOON AS POSSIBLE AFTER CONSTRUCTION AND EXCAVATION IS COMPLETE, AND WHEN NO FURTHER ALTERATION IS ANTICIPATED FOR 30 OR MORE DAYS. IN THE EVENT THAT THIS WORK IS TO TAKE PLACE OUTSIDE OF THE GROWING SEASON, PLACE SOIL COVERS OR MULCH OVER THESE AREAS TO MINIMIZE EROSION.
- 9. INSTALL EROSION CONTROL BLANKET ON ALL LOAM AND SEEDED SLOPES OF 4:1 (HORIZONTAL:VERTICAL) OR STEEPER TO MINIMIZE SOIL EROSION.
- 10. WORK SHALL PROCEED AS RAPIDLY AS POSSIBLE TO LIMIT THE EXPOSURE TIME OF DISTURBED SOILS TO WIND AND PRECIPITATION.
- 11. REFER TO SPECIFICATIONS SECTION 026110 EXCAVATION AND MANAGEMENT OF CONTAMINATED SOIL FOR REQUIREMENTS TO MINIMIZE DUST AND PREVENT SEDIMENT TRACKING OFFSITE.
- 12. REMOVE AND SATISFACTORILY DISPOSE OF ALL SEDIMENT CONTROL STRUCTURES UPON COMPLETION OF ALL WORK AND SOIL STABILIZATION AS DIRECTED BY THE ENGINEER AND OWNER.
- 13. CONTRACTOR SHALL INSTALL AND MAINTAIN CATCH BASIN FILTERS IN ALL PROPOSED CATCH BASINS UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED.

STORAGE AND STOCKPILE NOTES

- 1. ALL EQUIPMENT STORAGE, REFUELING AND ANY REQUIRED MINOR MAINTENANCE SHALL OCCUR IN AN AREA DEFINED BY A TEMPORARY CONSTRUCTION FENCE.
- 2. MAINTAIN A SUPPLY OF ALL PURPOSE OIL ABSORBENT MATERIAL WITH THE EQUIPMENT AND IN THE REFUELING AREA FOR THE CLEAN-UP OF ANY ACCIDENTAL SPILLS DURING REFUELING OR MAINTENANCE OPERATIONS. NOTIFY THE PROPER AUTHORITIES IN THE EVENT OF AN ACCIDENTAL RELEASE.
- 3. INSPECT ALL HYDRAULIC LINES ON ALL CONSTRUCTION EQUIPMENT AND VEHICLES AT THE BEGINNING AND END OF EACH WORKDAY.
- 4. STORE ALL OIL, HYDRAULIC FLUID, OR OTHER HAZARDOUS MATERIAL IN ORIGINAL CONTAINERS. FUEL SHALL BE STORED IN CLEARLY MARKED, TIGHTLY SEALED CONTAINERS. ALL SUCH MATERIAL SHALL BE STORED UNDER A ROOF OR IN A COVERED ENCLOSURE.
- 5. ALL TRUCKS, STORAGE BINS, AND CONTAINERS ENTERING OR LEAVING THE SITE SHALL BE COVERED.

GRADING NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING GRADES AND LOCATION OF UTILITIES. MAJOR DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 2. TO ESTABLISH PROPER GRADES, CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF GRADE STAKES. THE NUMBER AND LOCATION SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE ENGINEER.
- 3. ALL AREAS DISTURBED BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE IN A MANNER APPROVED BY THE ENGINEER.

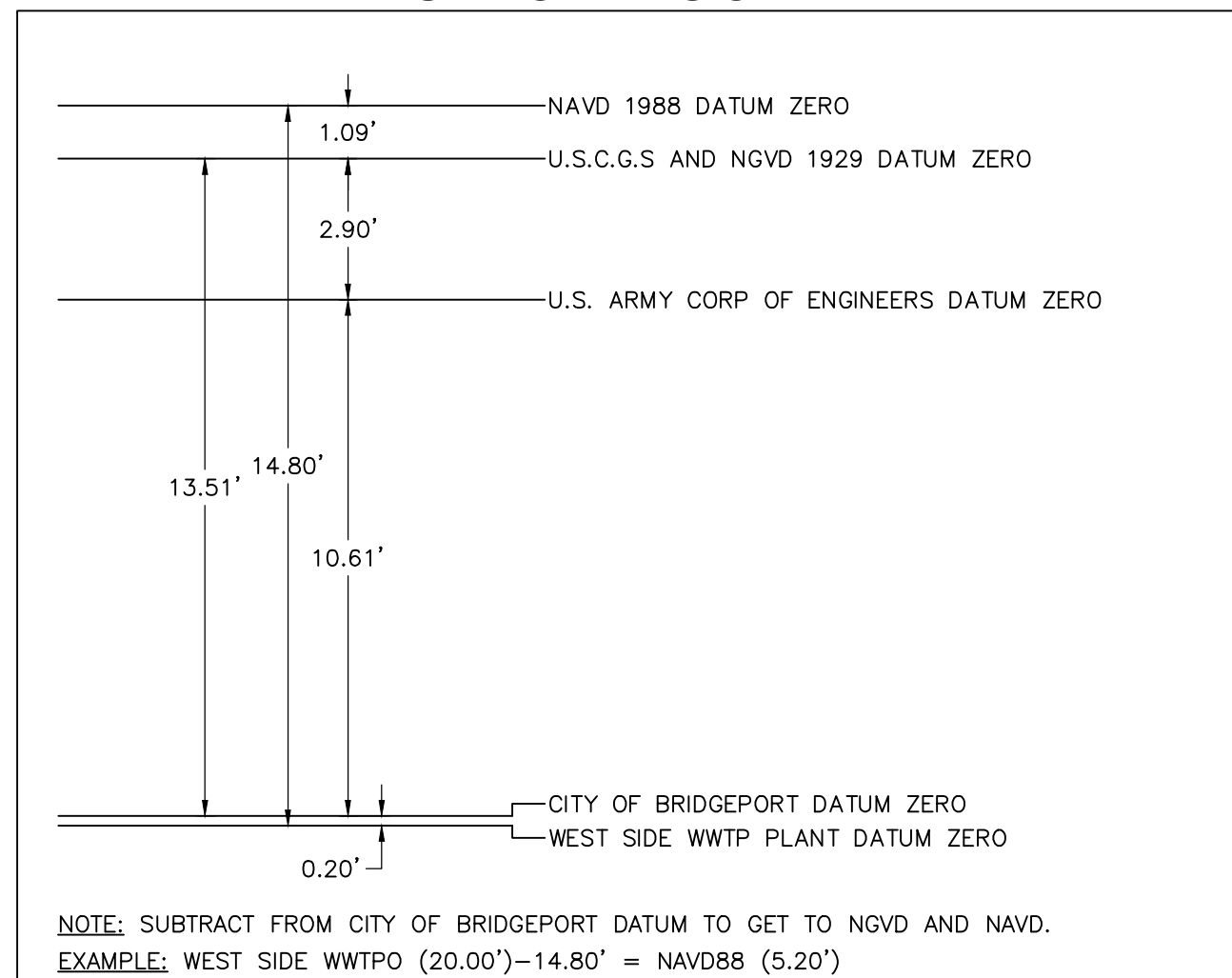
PLANTING NOTES:

- 1. ALL TREES SHALL BE UNIFORM AND WELL-BRANCHED SPECIMENS.
- 2. ALL PLANTS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- 3. ALL PLANTING BEDS AND SAUCERS SHALL HAVE A 3" DEEP LAYER OF SHREDDED BARK MULCH AS SPECIFIED.
- 4. ALL TREE AND PLANTING BED LOCATIONS SHALL BE STAKED IN THE FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- 5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- 6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS SHOWN ON THE DRAWINGS. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE DRAWINGS. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE DRAWINGS AND PLANT LABELS PRIOR TO BIDDING.
- 7. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- 8. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

PLANT MAINTENANCE NOTES:

- 1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE SEEDED AREAS, MULCHED BEDS AND PLANTINGS AS SPECIFIED. THE CONTRACTOR SHALL SUPPLY WATERING FOR PLANTINGS DURING THE PLANT MAINTENANCE AND GUARANTEE PERIOD.
- 2. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- 3. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- 4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- 5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS DURING AND AT THE END OF THE MAINTENANCE AND GUARANTEE PERIOD.

DATUM CONVERSION TABLE



WEST SIDE WWTP DATUM (FT)=NAVD88 (FT) +14.80 FT
WEST SIDE WWTP DATUM (FT)=CITY OF BRIDGEPORT DATUM (FT) +0.20 FT

Vertical text on the left margin: XREFs: [CDMS-2436_CFP000SS] Images: [] 8:56:29 PM... C:\Users\WARNERSH\Documents\CDM_Smith Inc\36438-241520 - Bridgeport WWTP West\Project_Files\02_Civil\0110_CADD\Phase 1\CO01P1GL.dwg © 2024 CDM SMITH ALL RIGHTS RESERVED. THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

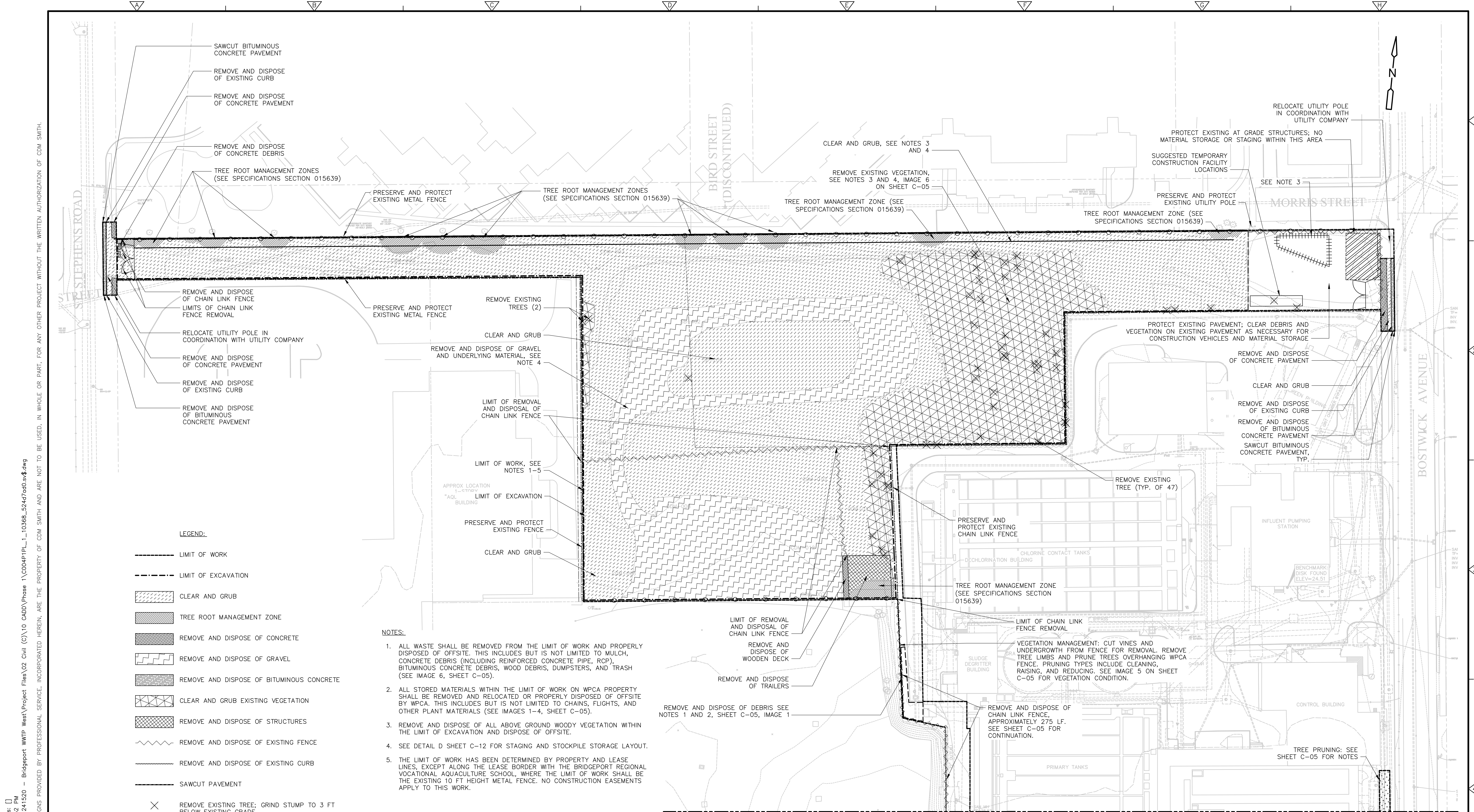
Table with columns: REV. NO., DATE, DRWN, CHKD, REMARKS. Includes design and drawing information for S. WARNER, J. HEIL, and MARCH 2024.

CDM Smith logo and address: 101 East River Drive, Suite 1A, East Hartford, CT 06108, Tel: (860) 529-7615

WATER POLLUTION CONTROL AUTHORITY (WPCA)
CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 1 - SITE PREPARATION

GENERAL NOTES, LEGEND, AND ABBREVIATIONS

Table with project information: PROJECT NO. 36438-241520, FILE NAME: CO01P1GL.dwg, SHEET NO. C-01



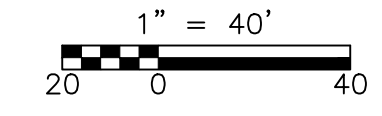
XREFs: [CDMS_2436_CEP000SS_CWP000PH] Images: []
 Last saved by: WARNERSH Time: 3/14/2024 12:26:52 PM
 C:\Users\WARNERSH\OneDrive\CDM Smith Inc\36438-241520 - Bridgeport WWP West\Project Files\02 Civil (C)\10 CADD\Phase 1\C004P1PL_1_10368_5247.dwg
 © 2024 CDM SMITH. ALL RIGHTS RESERVED.
 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

LEGEND:

- LIMIT OF WORK
- - - - - LIMIT OF EXCAVATION
- [Hatched Box] CLEAR AND GRUB
- [Hatched Box] TREE ROOT MANAGEMENT ZONE
- [Hatched Box] REMOVE AND DISPOSE OF CONCRETE
- [Hatched Box] REMOVE AND DISPOSE OF GRAVEL
- [Hatched Box] REMOVE AND DISPOSE OF BITUMINOUS CONCRETE
- [Hatched Box] CLEAR AND GRUB EXISTING VEGETATION
- [Hatched Box] REMOVE AND DISPOSE OF STRUCTURES
- [Hatched Box] REMOVE AND DISPOSE OF EXISTING FENCE
- [Hatched Box] REMOVE AND DISPOSE OF EXISTING CURB
- SAWCUT PAVEMENT
- ✕ REMOVE EXISTING TREE; GRIND STUMP TO 3 FT BELOW EXISTING GRADE
- - - - - APPROXIMATE LOCATION OF DEBRIS AND/OR STOCKPILED MATERIALS FOR REMOVAL

NOTES:

1. ALL WASTE SHALL BE REMOVED FROM THE LIMIT OF WORK AND PROPERLY DISPOSED OF OFFSITE. THIS INCLUDES BUT IS NOT LIMITED TO MULCH, CONCRETE DEBRIS (INCLUDING REINFORCED CONCRETE PIPE, RCP), BITUMINOUS CONCRETE DEBRIS, WOOD DEBRIS, DUMPSTERS, AND TRASH (SEE IMAGE 6, SHEET C-05).
2. ALL STORED MATERIALS WITHIN THE LIMIT OF WORK ON WPCA PROPERTY SHALL BE REMOVED AND RELOCATED OR PROPERLY DISPOSED OF OFFSITE BY WPCA. THIS INCLUDES BUT IS NOT LIMITED TO CHAINS, FLIGHTS, AND OTHER PLANT MATERIALS (SEE IMAGES 1-4, SHEET C-05).
3. REMOVE AND DISPOSE OF ALL ABOVE GROUND WOODY VEGETATION WITHIN THE LIMIT OF EXCAVATION AND DISPOSE OF OFFSITE.
4. SEE DETAIL D SHEET C-12 FOR STAGING AND STOCKPILE STORAGE LAYOUT.
5. THE LIMIT OF WORK HAS BEEN DETERMINED BY PROPERTY AND LEASE LINES, EXCEPT ALONG THE LEASE BORDER WITH THE BRIDGEPORT REGIONAL VOCATIONAL AQUACULTURE SCHOOL, WHERE THE LIMIT OF WORK SHALL BE THE EXISTING 10 FT HEIGHT METAL FENCE. NO CONSTRUCTION EASEMENTS APPLY TO THIS WORK.



REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: S. WARNER
 DRAWN BY: S. WARNER
 SHEET CHK'D BY: J. HEIL
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024



WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 1 - SITE PREPARATION

REMOVALS PLAN I
 SHEET NO. **C-04**

PROJECT NO. 36438-241520
 FILE NAME: C004P1PL.dwg
 SHEET NO. **C-04**

XREFS: [CDMS-2436_CEP000SS_CWP000PH] Images: [DEBRIS_1, DEBRIS_2, DEBRIS_3, DEBRIS_4, VEGETATION_1, VEGETATION_2]
 Last saved by: WARNERSH Time: 3/14/2024 2:24:44 PM
 C:\Users\WARNERSH\OneDrive\CDM Smith Inc\36438-241520 - Bridgeport WWP West\Project Files\02 Civil (C)\10 CADD\Phase 1\C004P1PL.dwg
 © 2024 CDM SMITH. ALL RIGHTS RESERVED. THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



IMAGE 1: DEBRIS NEXT TO WESTERN FENCE LINE



IMAGE 2: STORED REINFORCED CONCRETE PIPES NEXT TO WESTERN FENCE LINE



IMAGE 3: CONTAINER, REINFORCED CONCRETE PIPE, AND GENERATOR NEXT TO WESTERN FENCE LINE NEAR SOUTHERN GATE



IMAGE 4: MISCELLANEOUS STORED MATERIALS NEAR SOUTHERN FENCE LINE



IMAGE 5: VINES AND VEGETATION TO BE MANAGED ONLY TO REMOVE EXISTING FENCE (PHOTO FROM ADJACENT PROPERTY) ALONG FENCE AT PROPERTY LINE, SEE SHEET C-04



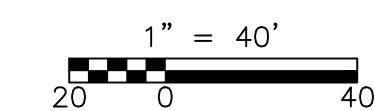
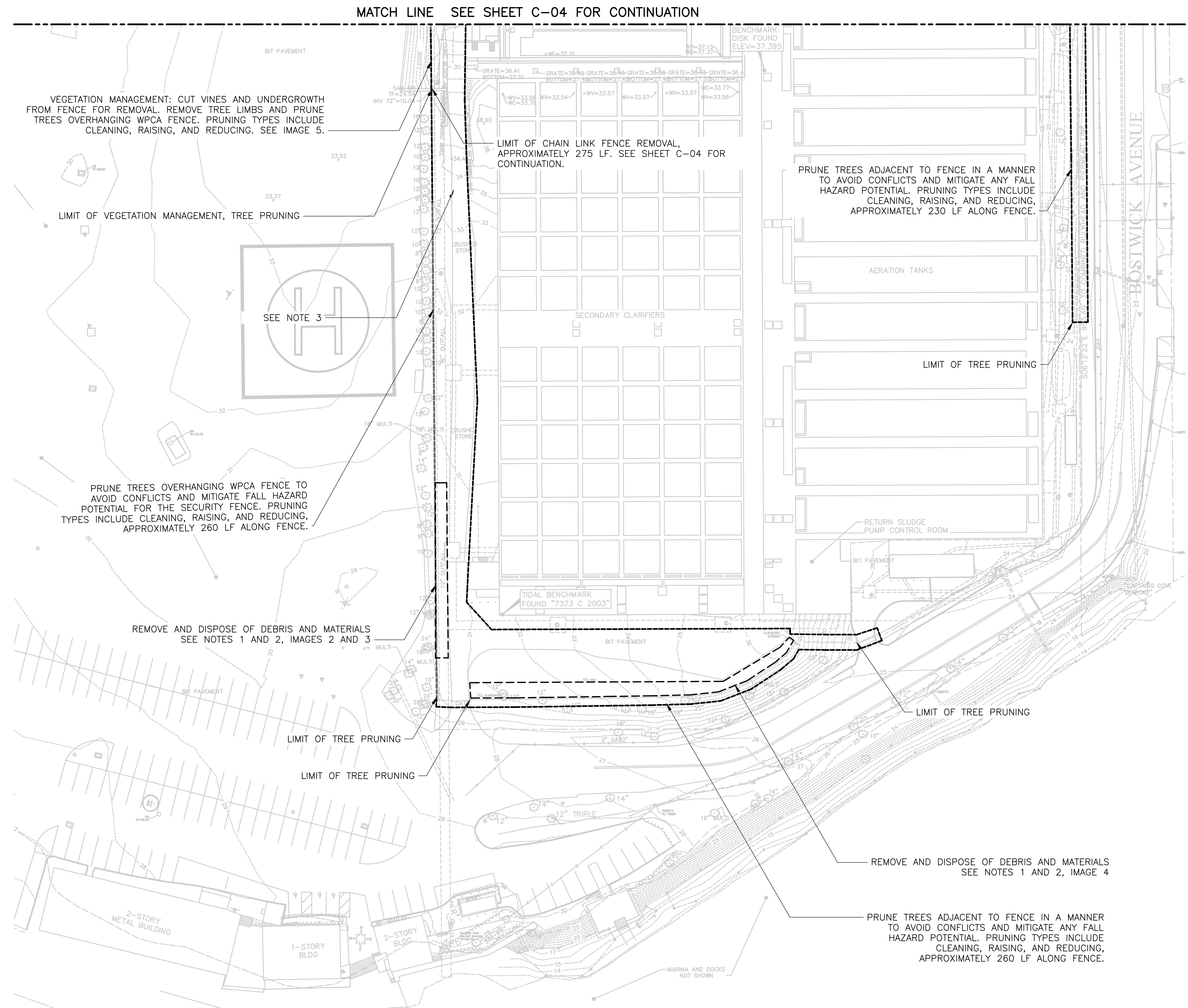
IMAGE 6: EXISTING VEGETATION TO BE CLEARED; SEE SHEET C-04

LEGEND:

- · — · — · LIMIT OF WORK
- - - - - APPROXIMATE LOCATION OF DEBRIS AND/OR STORED MATERIALS FOR REMOVAL
- ▨ VEGETATION MANAGEMENT
- ▩ TREE PRUNING

NOTES:

1. ALL DEBRIS SHALL BE REMOVED FROM THE LIMIT OF WORK. THIS INCLUDES BUT IS NOT LIMITED TO MULCH, CONCRETE DEBRIS, BITUMINOUS CONCRETE DEBRIS, WOOD DEBRIS, DUMPSTERS, AND TRASH.
2. ALL STORED MATERIALS WITHIN THE LIMIT OF WORK SHALL BE REMOVED AND RELOCATED OR PROPERLY DISPOSED OF OFFSITE.
3. THE FENCELINE MAY ONLY BE ACCESSED FROM WPCA PROPERTY. ACCESS TO THE SITE FOR DEBRIS AND MATERIALS REMOVAL, TREE PRUNING, AND VEGETATION MANAGEMENT SHALL NOT INTERFERE WITH WPCA PLANT OPERATIONS.



REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY:	S. WARNER
DRAWN BY:	S. WARNER
SHEET CHK'D BY:	J. HEIL
CROSS CHK'D BY:	X
APPROVED BY:	X
DATE:	MARCH 2024

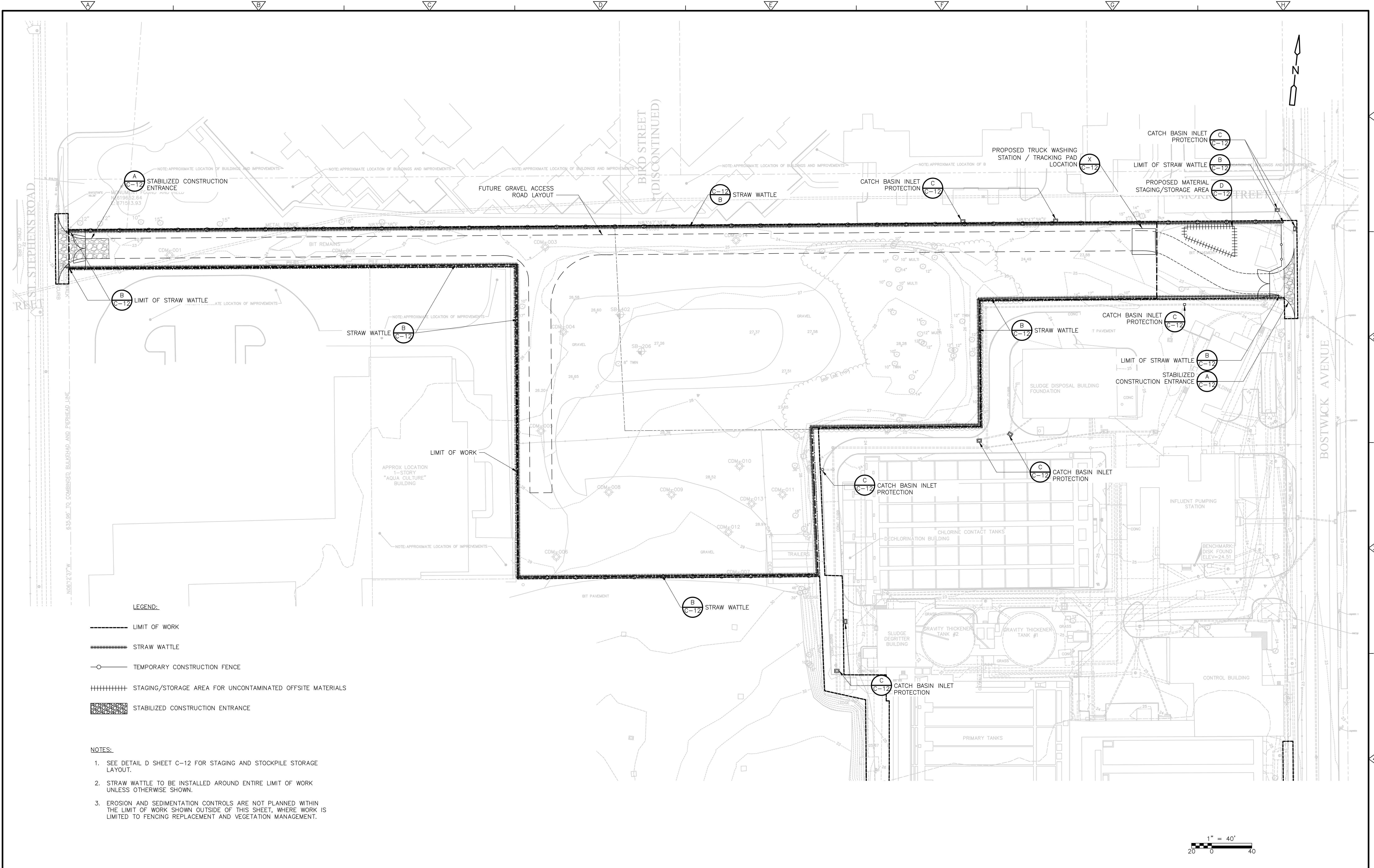
CDM Smith
 101 East River Drive, Suite 1A
 East Hartford, CT 06108
 Tel: (860) 529-7615

WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 1 - SITE PREPARATION

REMOVALS PLAN II

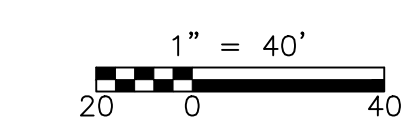
PROJECT NO. 36438-241520
FILE NAME: C004P1PL.dwg
SHEET NO.
C-05

XREFS: [CDMS-2436_CEP000SS_CWP000PH] Images: []
 Last saved by: WARNERSH Time: 3/13/2024 4:45:25 PM
 C:\Users\WARNERSH\AppData\Local\Temp\CDM_Smith Inc\36438-241520 - Bridgeport WTP West\Project Files\02 Civil (C)\10 CADD\Phase 1\C006P1PL.dwg
 © 2024 CDM SMITH ALL RIGHTS RESERVED.
 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



- LEGEND:**
- LIMIT OF WORK
 - ||||| STRAW WATTLE
 - TEMPORARY CONSTRUCTION FENCE
 - ||||| STAGING/STORAGE AREA FOR UNCONTAMINATED OFFSITE MATERIALS
 - ▨ STABILIZED CONSTRUCTION ENTRANCE

- NOTES:**
1. SEE DETAIL D SHEET C-12 FOR STAGING AND STOCKPILE STORAGE LAYOUT.
 2. STRAW WATTLE TO BE INSTALLED AROUND ENTIRE LIMIT OF WORK UNLESS OTHERWISE SHOWN.
 3. EROSION AND SEDIMENTATION CONTROLS ARE NOT PLANNED WITHIN THE LIMIT OF WORK SHOWN OUTSIDE OF THIS SHEET, WHERE WORK IS LIMITED TO FENCING REPLACEMENT AND VEGETATION MANAGEMENT.



REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: S. WARNER
 DRAWN BY: S. WARNER
 SHEET CHK'D BY: J. HEIL
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024

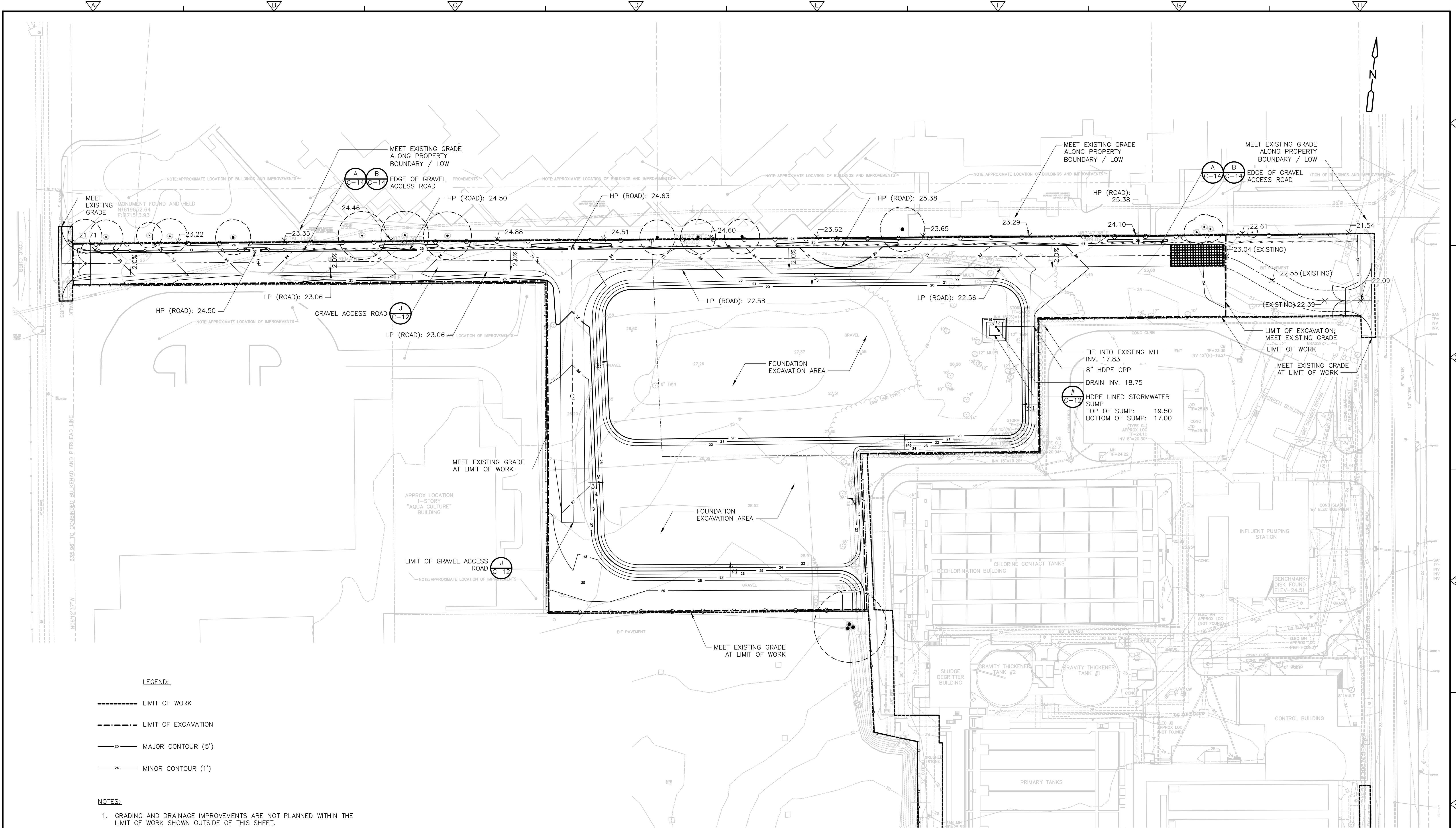


WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTW IMPROVEMENTS
PHASE 1 - SITE PREPARATION

EROSION AND SEDIMENTATION CONTROL PLAN

PROJECT NO. 36438-241520
 FILE NAME: C006P1PL.dwg
 SHEET NO.
C-06

XREFs: [CDMS_2436_CEP000SS_CWP000PH] Images: []
 Last saved by: WARNERSH Time: 3/13/2024 11:13:43 PM
 C:\Users\WARNERSH\AppData\Local\Temp\CDM Smith Inc\36438-241520 - Bridgeport WTP West\Project Files\02 Civil (C)\10 CADD\Phase 1\CO08P1PL.dwg
 © 2024 CDM SMITH. ALL RIGHTS RESERVED. REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



- LEGEND:**
- LIMIT OF WORK
 - LIMIT OF EXCAVATION
 - MAJOR CONTOUR (5')
 - MINOR CONTOUR (1')

- NOTES:**
1. GRADING AND DRAINAGE IMPROVEMENTS ARE NOT PLANNED WITHIN THE LIMIT OF WORK SHOWN OUTSIDE OF THIS SHEET.

REV. NO.	DATE	DRWN	CHKD	REMARKS

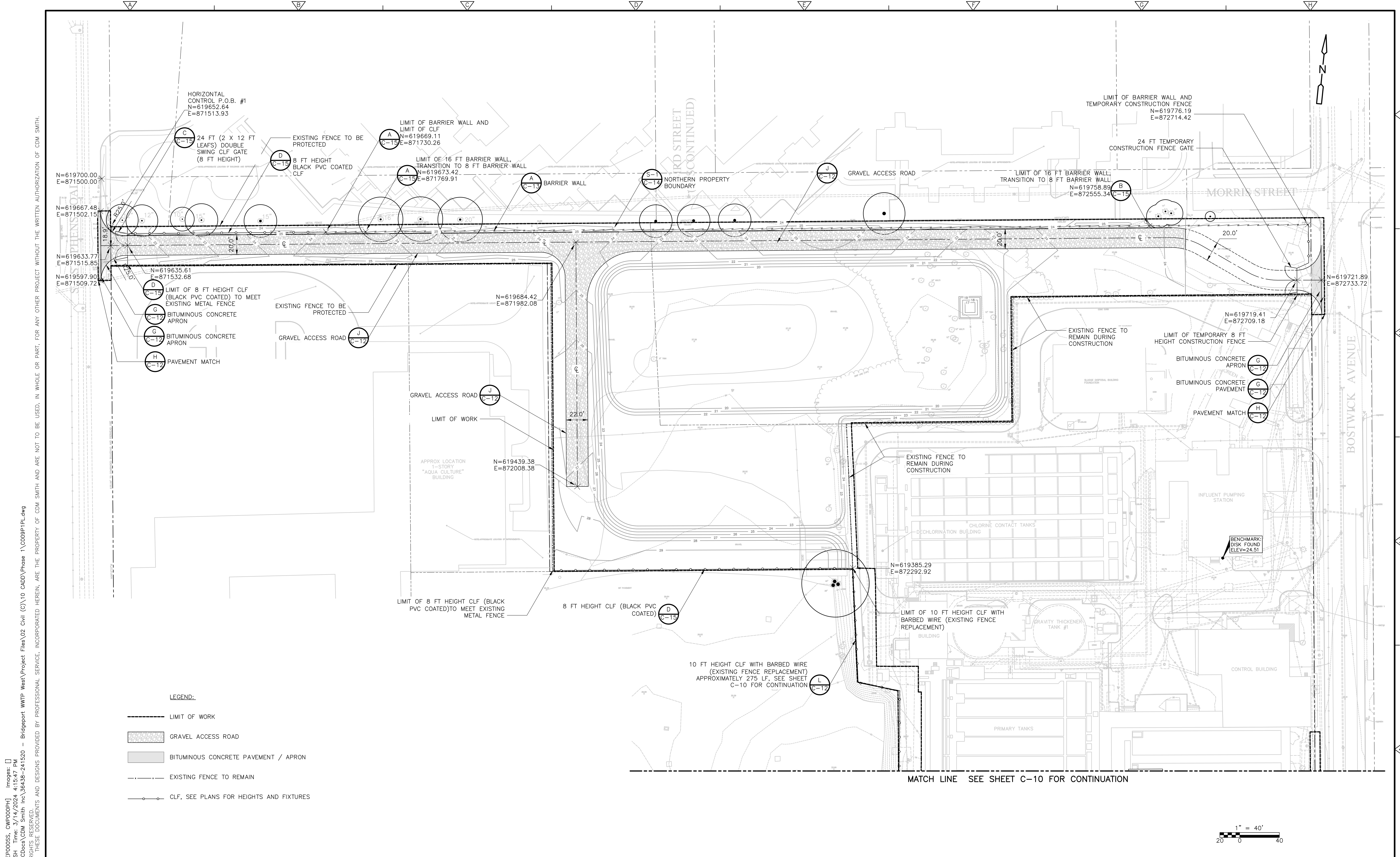
DESIGNED BY: S. WARNER
 DRAWN BY: S. WARNER
 SHEET CHK'D BY: J. LAWRENCE
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024



WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 1 - SITE PREPARATION

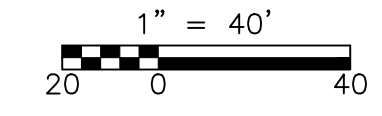
GRADING AND DRAINAGE PLAN
 SHEET NO. **C-08**

PROJECT NO. 36438-241520
 FILE NAME: CO08P1PL.dwg
 SHEET NO. **C-08**



XREFs: [CDMS-2436_CEP000SS_CWP000PH] Images: []
 Last saved by: WARNERSH Time: 3/14/2024 4:15:47 PM
 C:\Users\WARNERSH\AppData\Local\Temp\CDM Smith Inc\36438-241520 - Bridgeport WTP West\Project Files\02 Civil (C)\10 CADD\Phase 1\C009P1PL.dwg
 © 2024 CDM SMITH. ALL RIGHTS RESERVED.
 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

- LEGEND:**
- LIMIT OF WORK
 - ▨ GRAVEL ACCESS ROAD
 - ▨ BITUMINOUS CONCRETE PAVEMENT / APRON
 - - - - - EXISTING FENCE TO REMAIN
 - ○ ○ ○ ○ CLF, SEE PLANS FOR HEIGHTS AND FIXTURES



REV. NO.	DATE	DRWN	CHKD	REMARKS

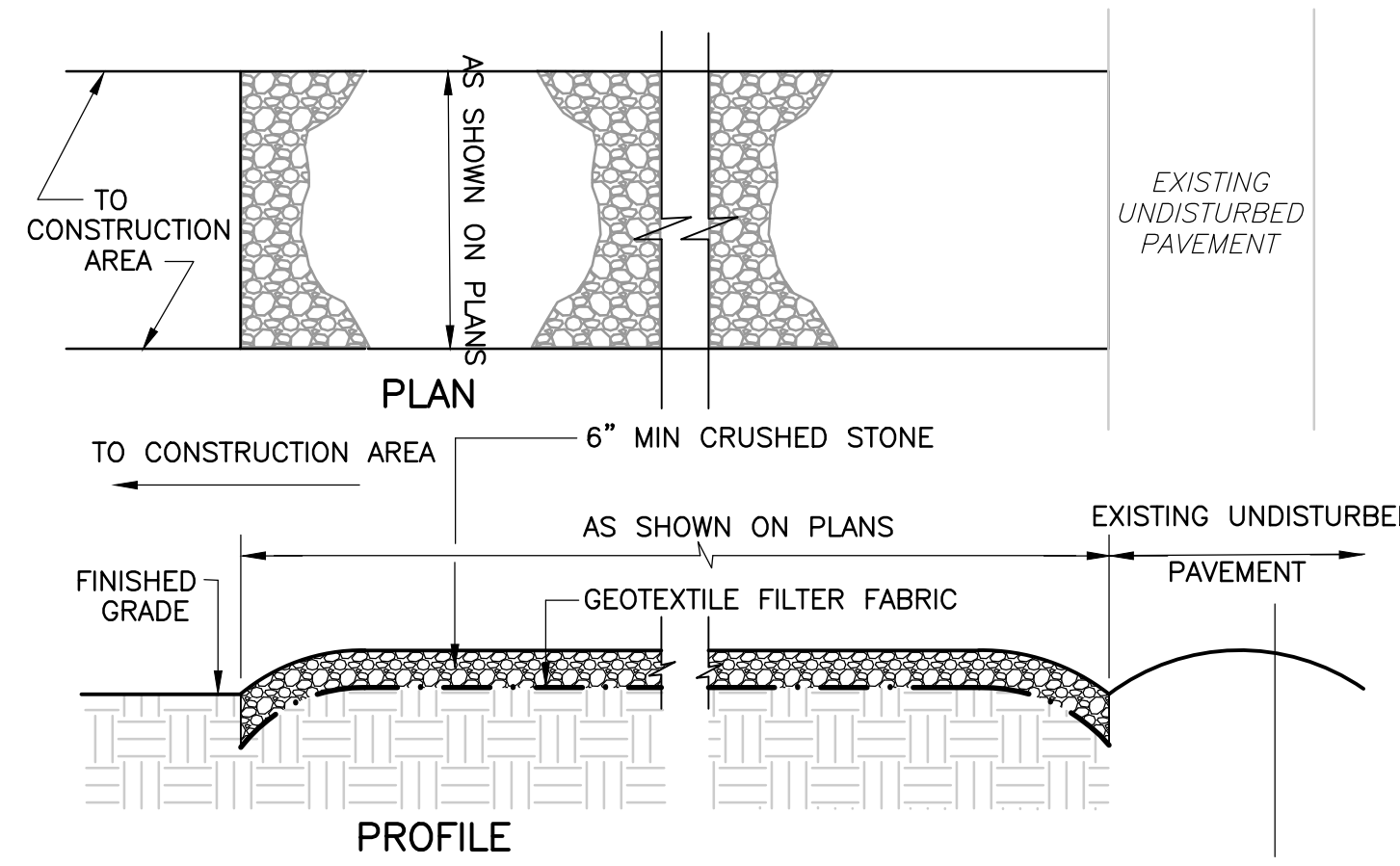
DESIGNED BY: S. WARNER
 DRAWN BY: S. WARNER
 SHEET CHK'D BY: J. LAWRENCE
 CROSS CHK'D BY: _____
 APPROVED BY: _____
 DATE: MARCH 2024



WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTp IMPROVEMENTS
PHASE 1 - SITE PREPARATION

PAVING AND FENCING PLAN I
 SHEET NO.
C-09

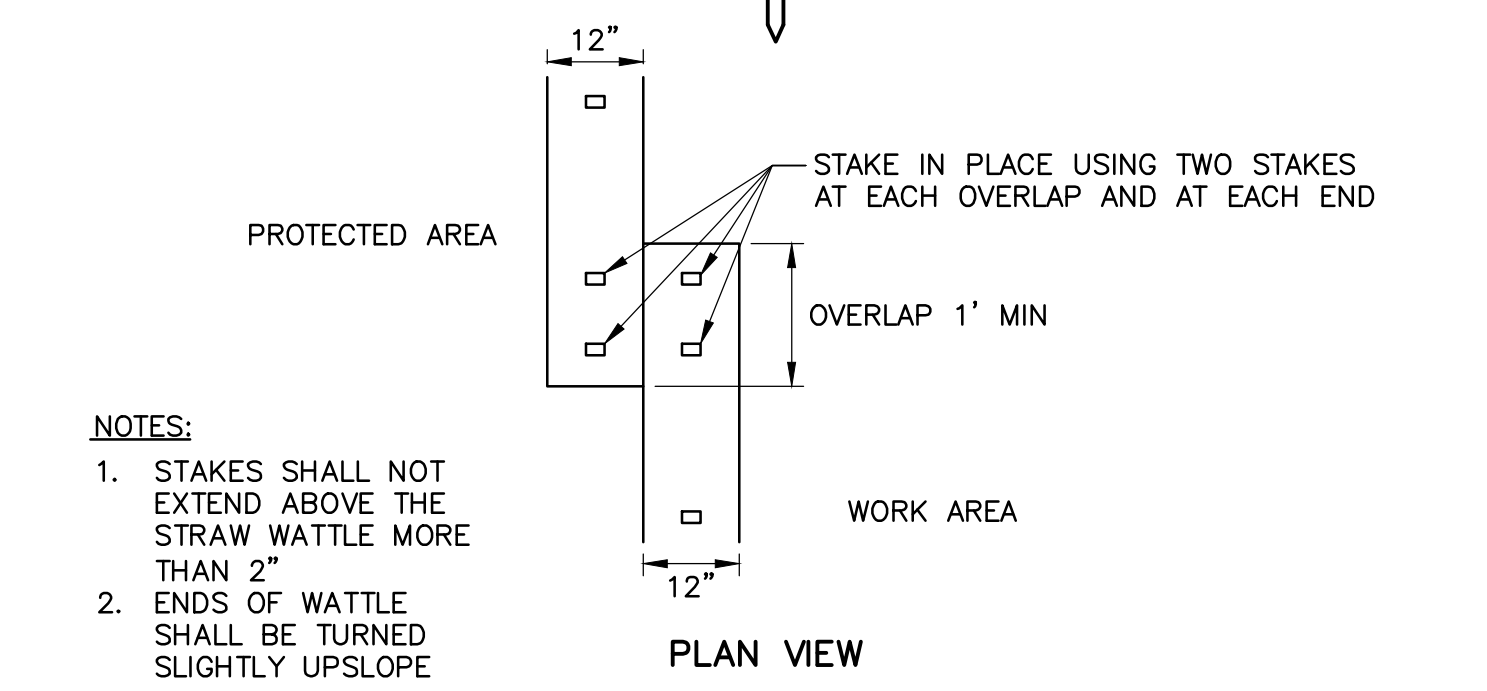
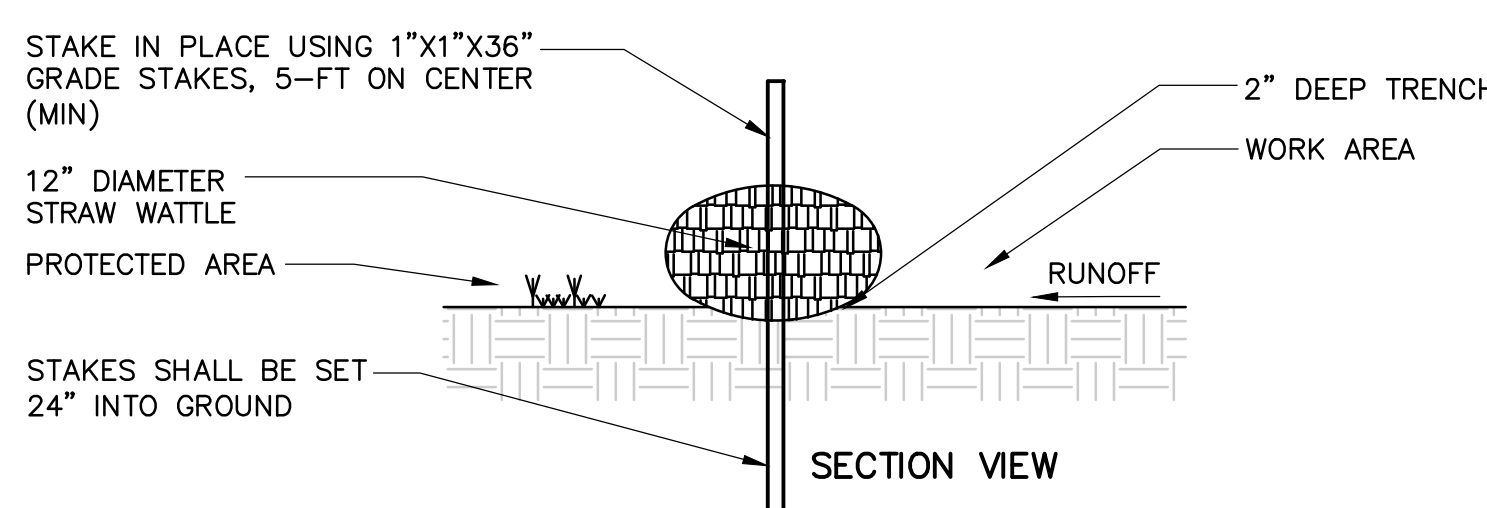
PROJECT NO. 36438-241520
 FILE NAME: C009P1PL.dwg
 SHEET NO.
C-09



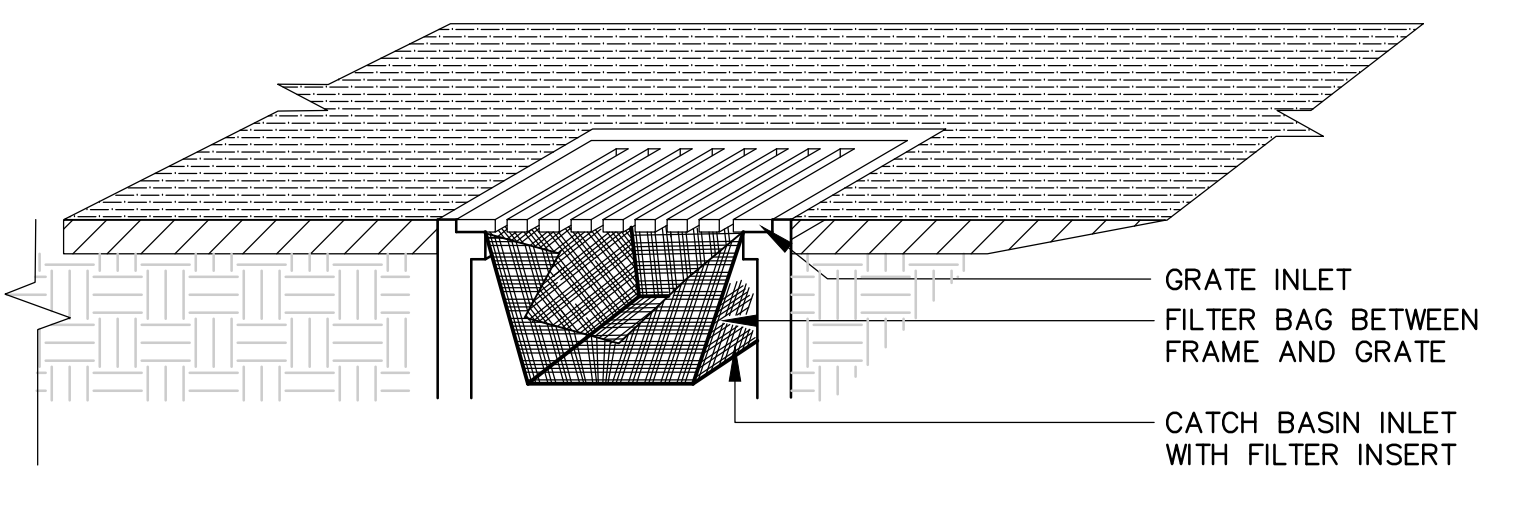
- NOTES:**
1. PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND UNDISTURBED PAVEMENT.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO UNDISTURBED PAVEMENT.
 3. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDING STONE TO THE LENGTH OF THE ENTRANCE.
 4. REPAIR AND CLEANOUT MEASURES USED TO TRAP SEDIMENT.
 5. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO UNDISTURBED PAVEMENT SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.

STABILIZED CONSTRUCTION ENTRANCE

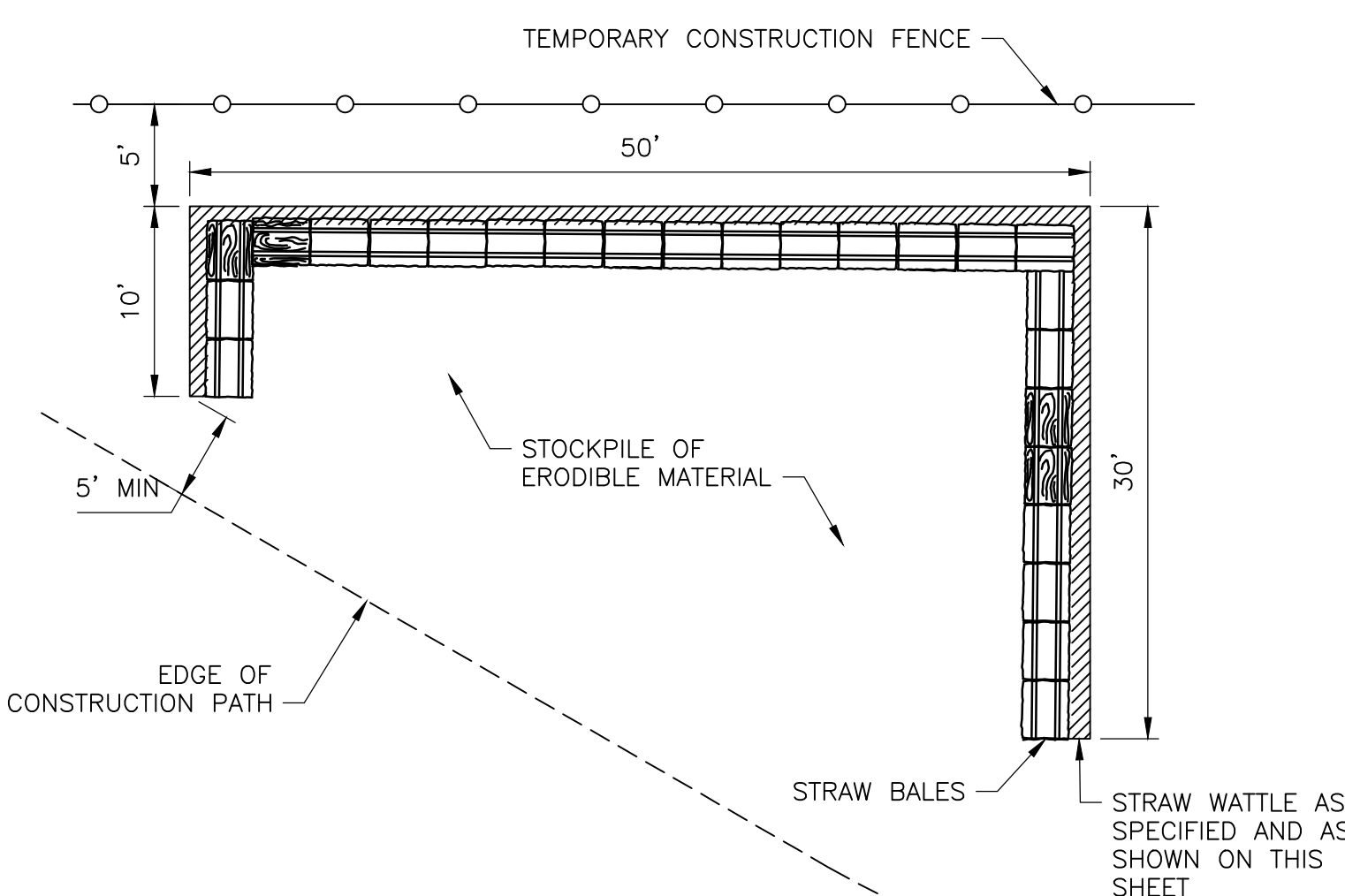
DETAIL A
NTS



12-IN STRAW WATTLE
DETAIL B
NTS



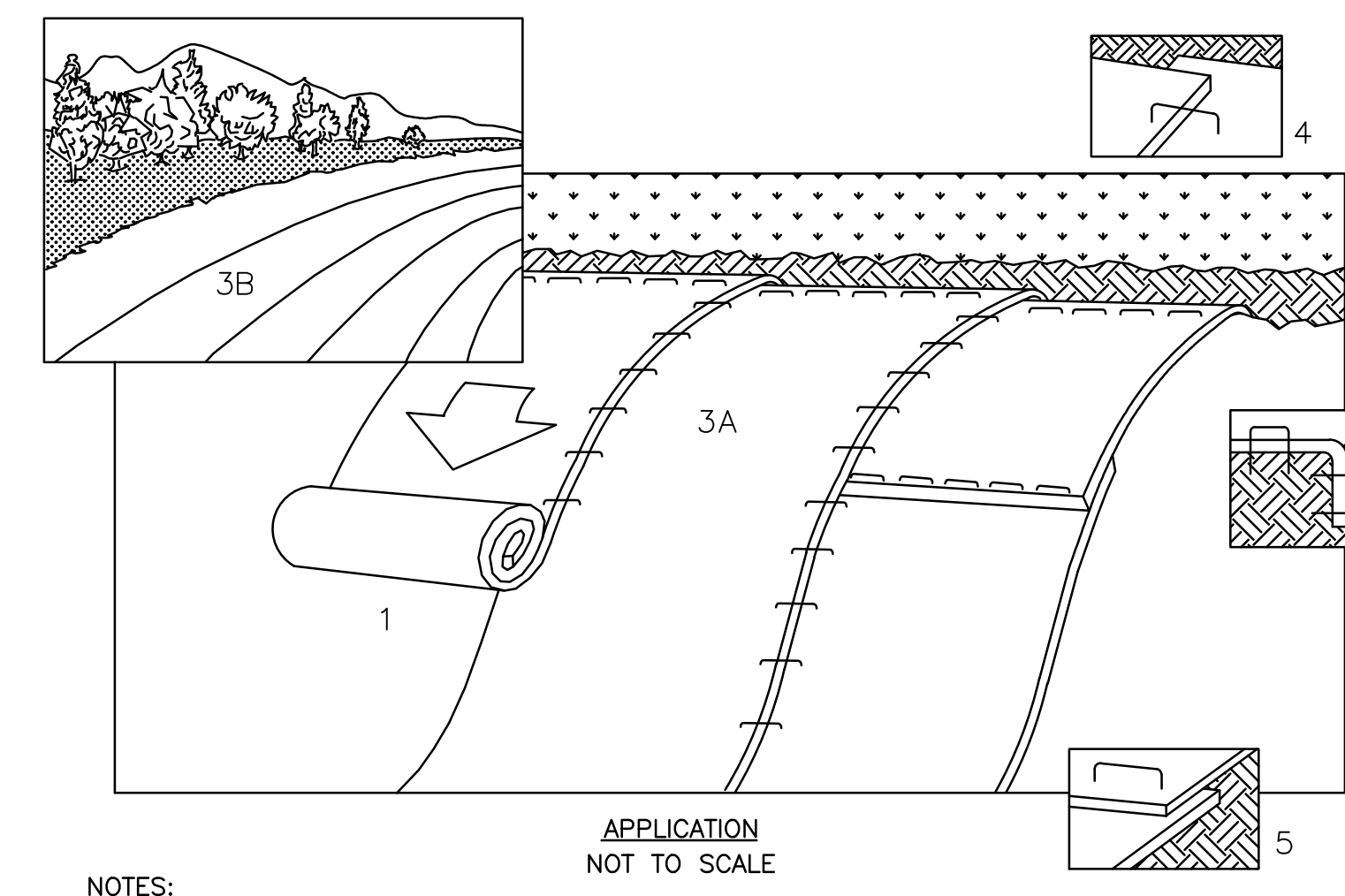
TEMPORARY CATCH BASIN FILTER
DETAIL C
NTS



- NOTES:**
1. DIMENSIONS ARE APPROXIMATE AND STOCKPILE AREA SHALL BE SIZED APPROPRIATELY FOR THE AMOUNT OF MATERIAL TO BE STOCKPILED
 2. SIDE SLOPES OF STOCKPILE SHALL BE A MAXIMUM OF 2:1.
 3. LIMIT OF DISTURBANCE SHALL NOT EXTEND BEYOND STRAW WATTLE
 4. THE STAGING AND STORAGE AREA SHALL NOT BE USED FOR CONTAMINATED SITE MATERIAL

CONSTRUCTION MATERIALS STAGING AND STORAGE AREA

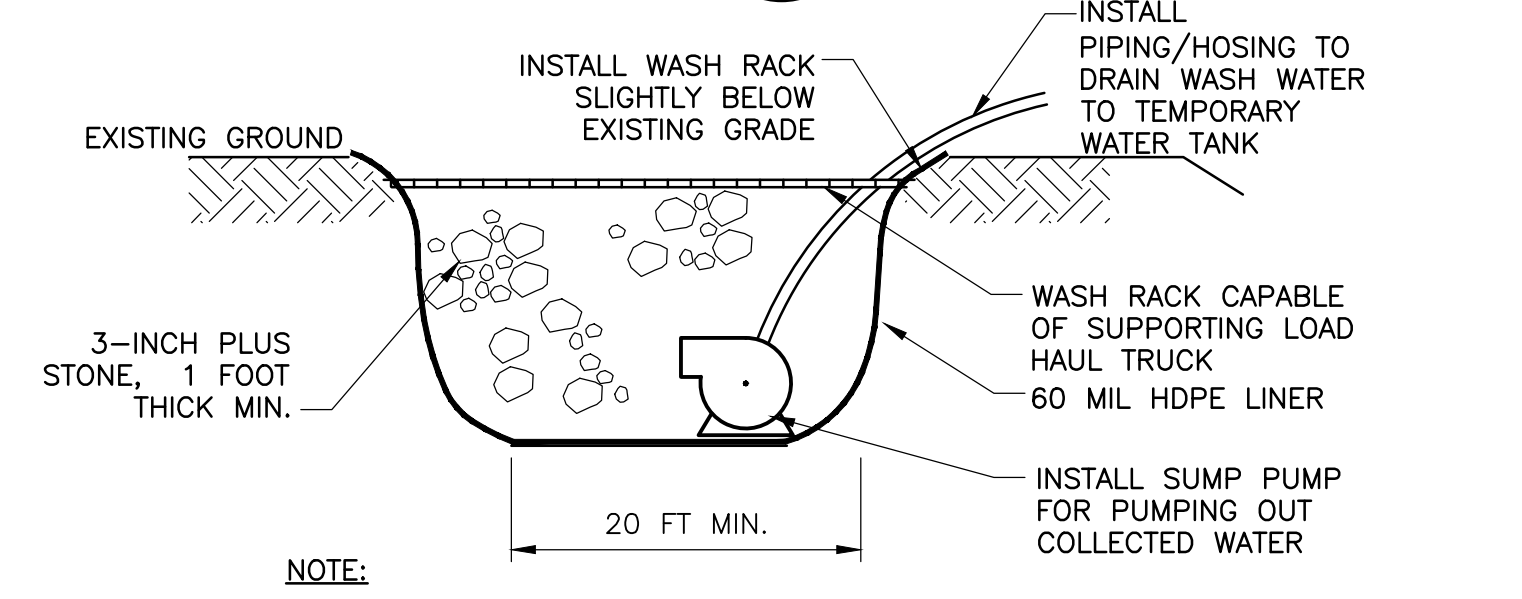
DETAIL D
NTS



- NOTES:**
1. PREPARE SOIL BEFORE INSTALLING MAT, INCLUDING APPLICATION OF MULCH, FERTILIZER, AND SEED.
 2. BEGIN BY ANCHORING THE MAT IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL THE MAT DOWN ACROSS THE SLOPE AND/OR ACROSS BASIN FLOOR.
 4. THE EDGES OF PARALLEL MATS MUST BE STAPLED WITH APPROXIMATELY 4" OVERLAP.
 5. WHEN MATS MUST BE SPLICED, PLACE MATS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

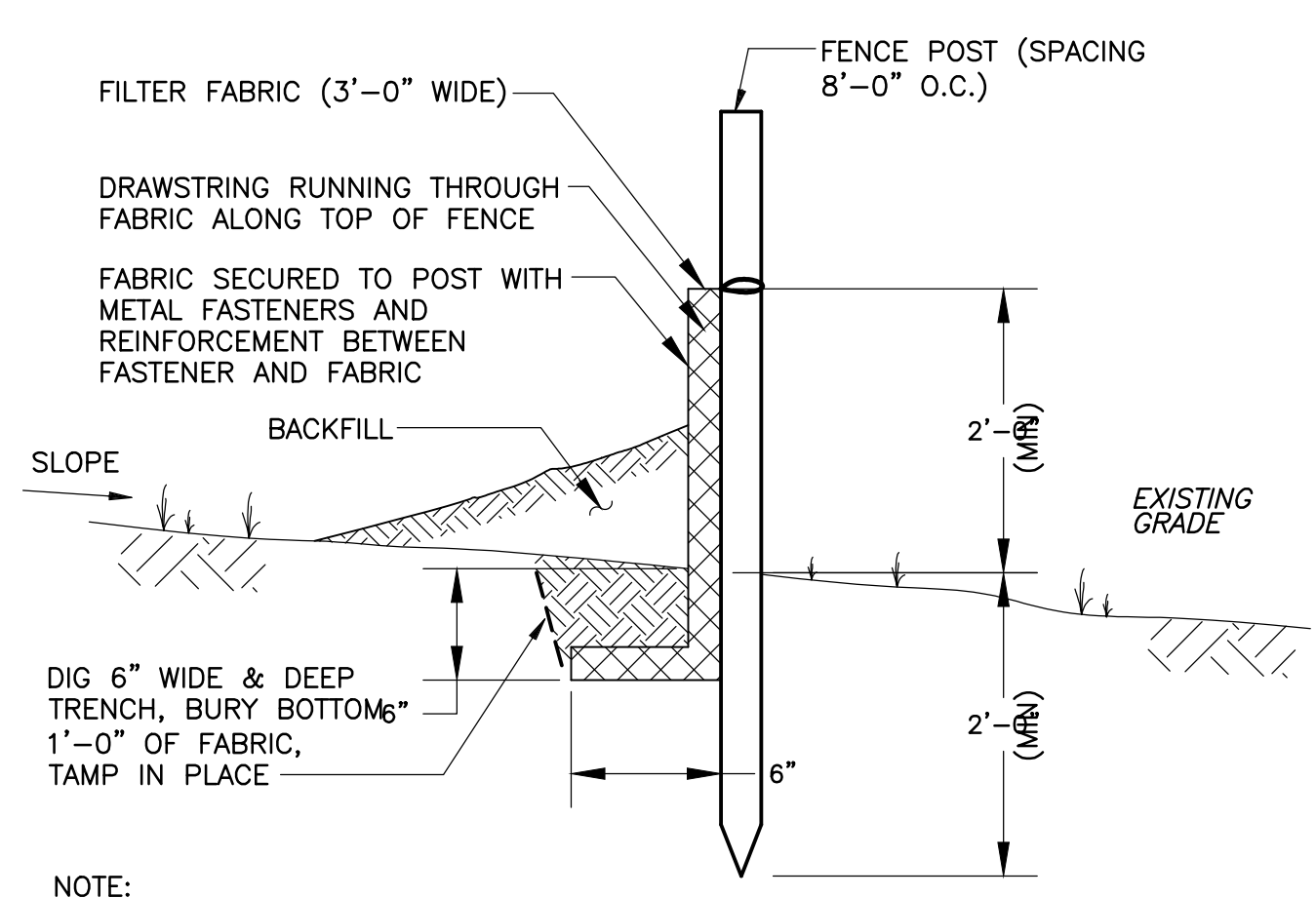
EROSION CONTROL BLANKET

DETAIL E
NTS



- NOTE:**
TEMPORARY DECONTAMINATION PAD TO BE INSTALLED BY CONTRACTOR IN ACCORDANCE WITH SECTION 01100-DECONTAMINATION STATION.

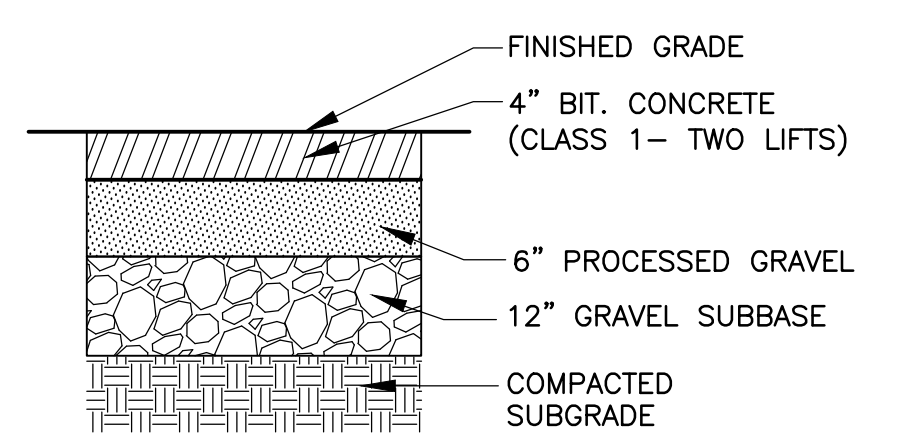
TEMPORARY DECONTAMINATION PAD
DETAIL F
NTS



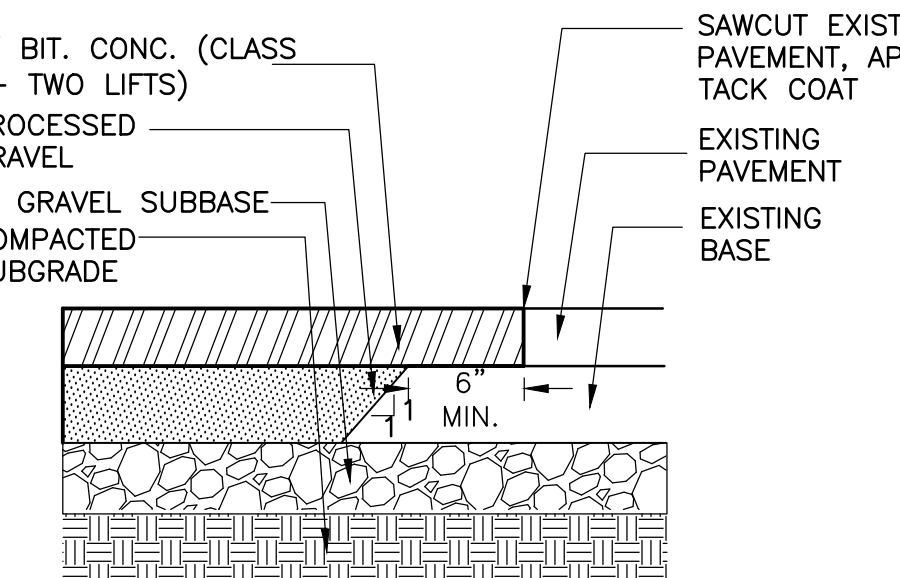
- NOTE:**
1. ALL SILT FENCES SHALL BE INSPECTED AND REMEDIAL MAINTENANCE PERFORMED BY THE CONTRACTOR WITHIN 24 HOURS AFTER EACH RAIN.

SEDIMENTATION / SILT FENCE

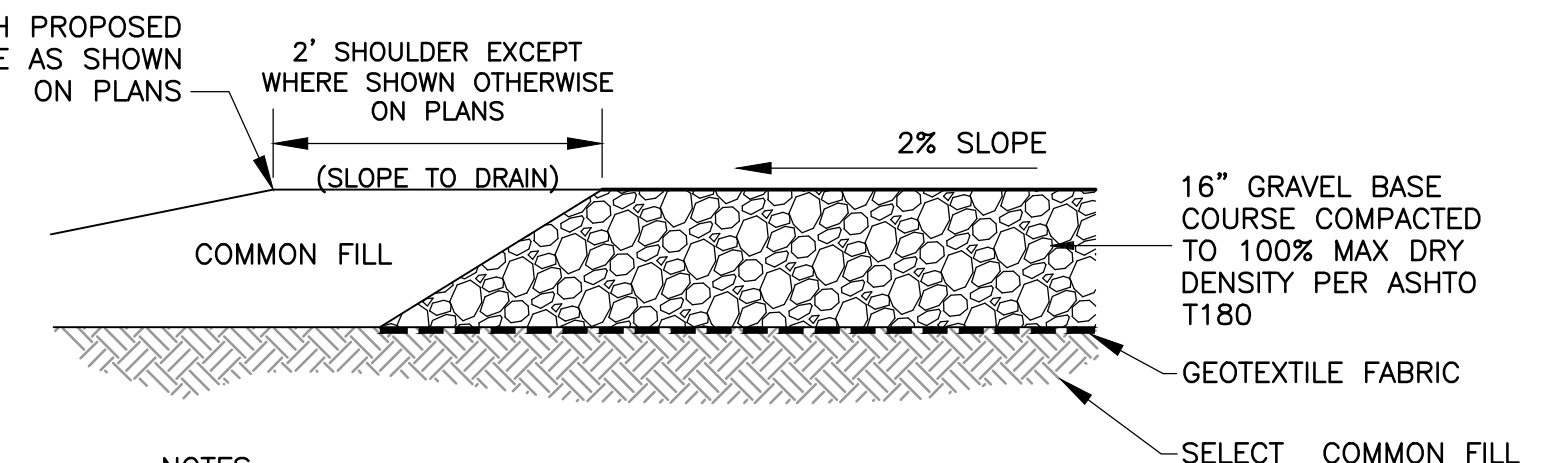
DETAIL F
NTS



BIT. CONC. PAVEMENT
DETAIL G
NTS

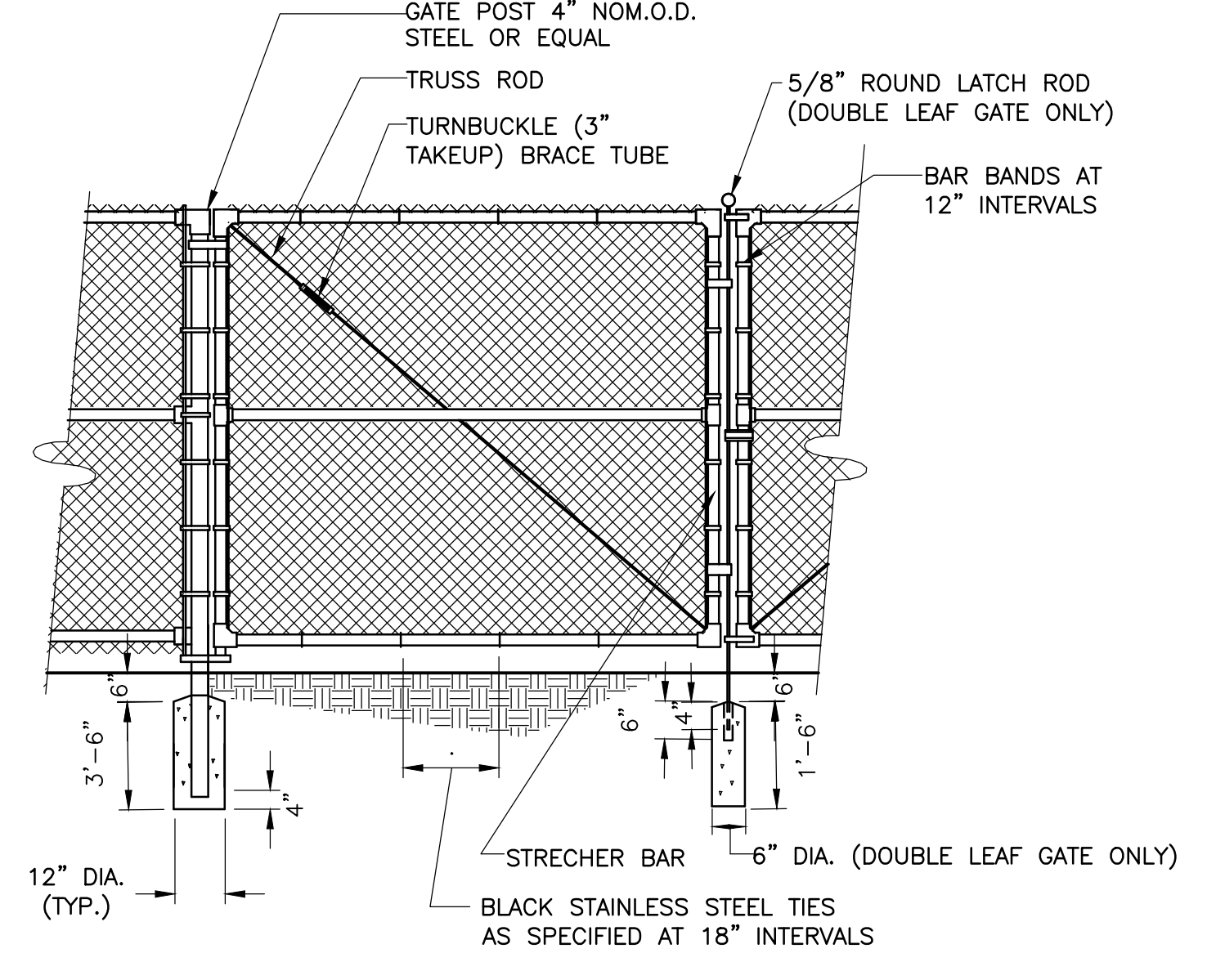


PAVEMENT MATCH
DETAIL H
NTS



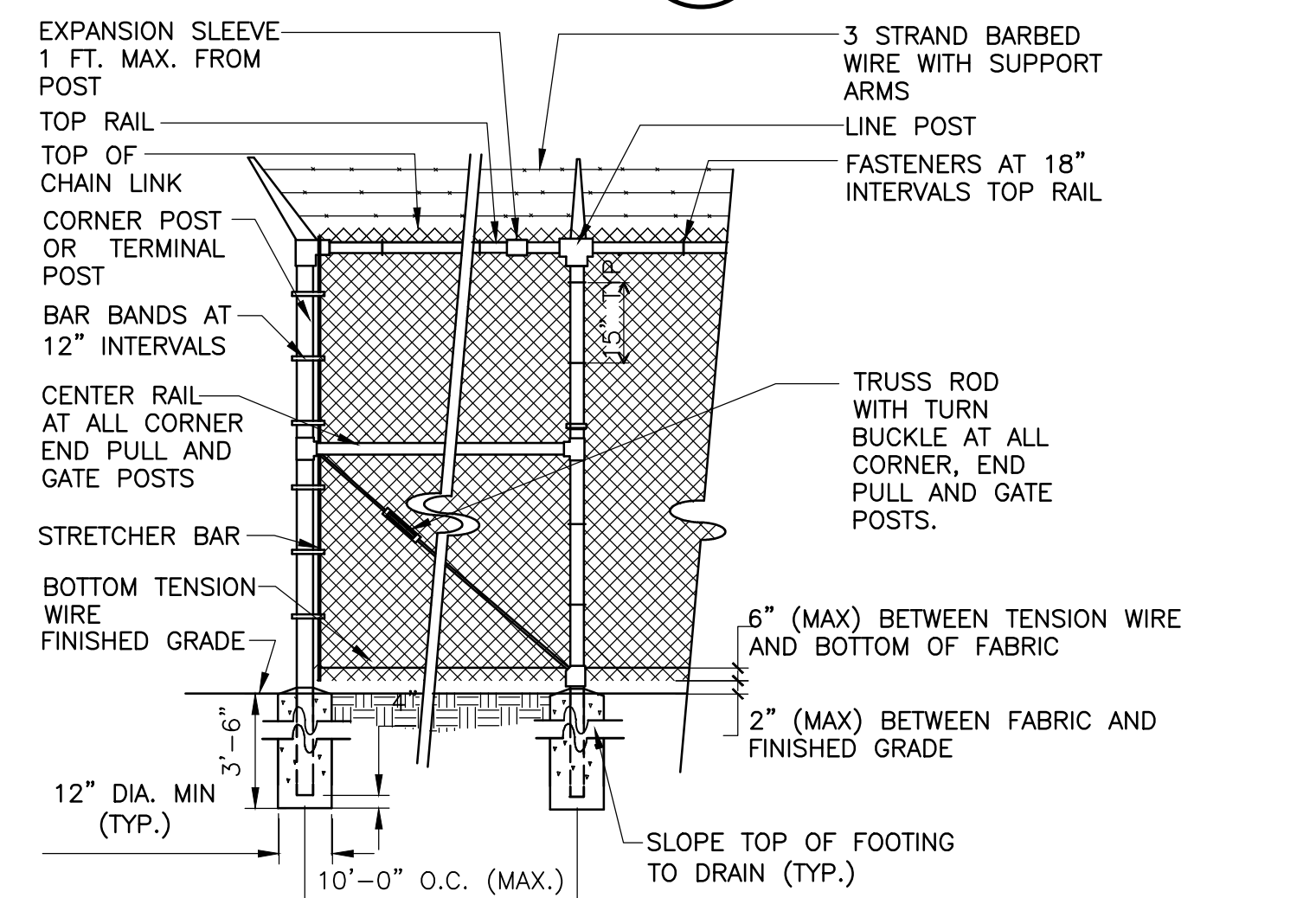
- NOTES:**
1. LOAM AND SEED SHOULDER AS REQUIRED IN SPECS.
 2. IN UNSUITABLE SOIL LOCATIONS ADD ADDITIONAL UNDER CUT OF 18" ABC STONE WITH PLACEMENT OF TENSAR BX-1100 GEOGRID (OR EQUAL)

GRAVEL ACCESS ROAD
DETAIL J
NTS



CHAIN LINK FENCE SWING GATE REPLACEMENT

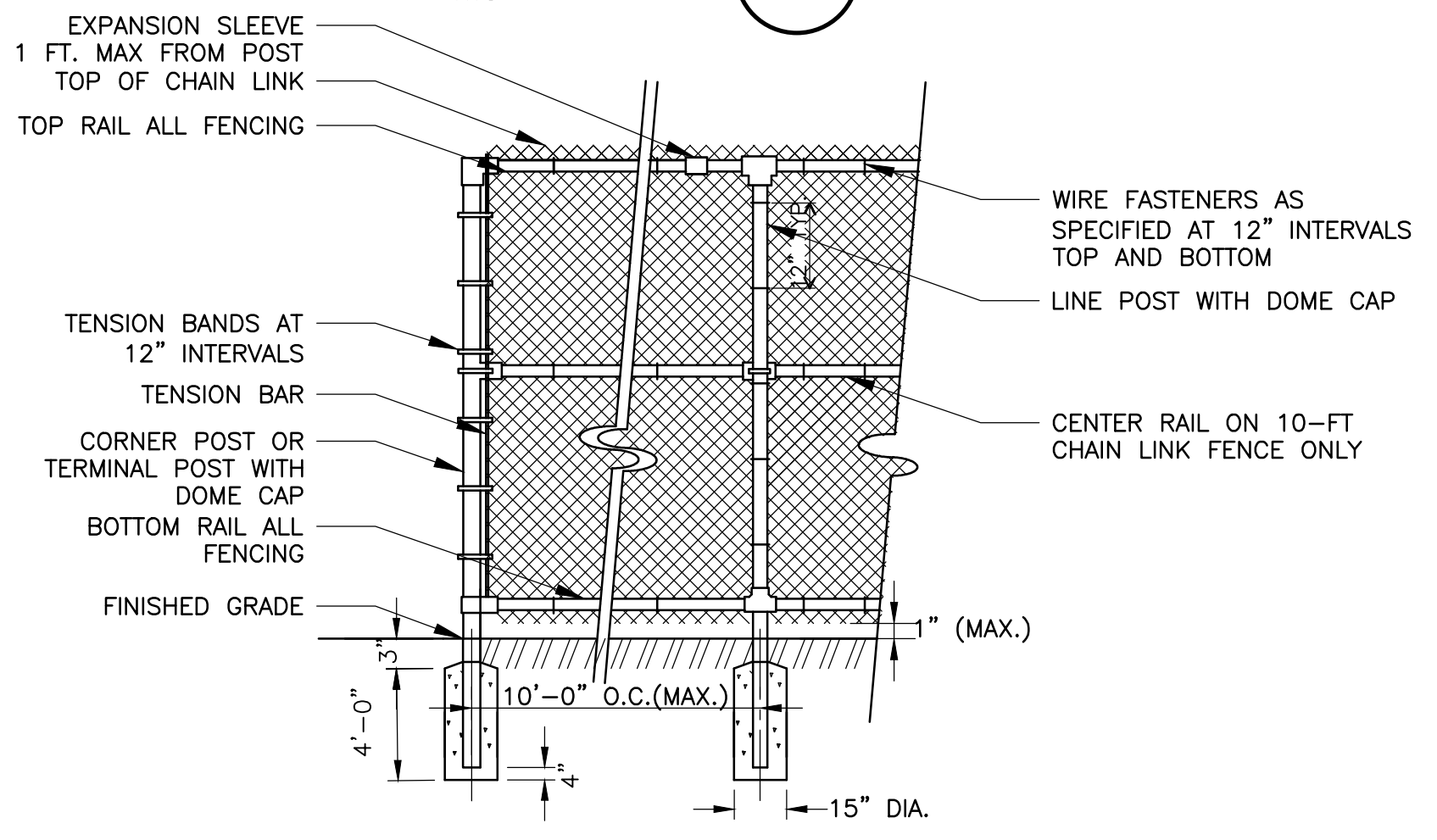
DETAIL K
NTS



- NOTES:**
1. FENCE HEIGHT SHALL BE AS INDICATED ON THE PLANS.
 2. FABRIC SHALL BE ON OUTSIDE OF FENCE.
 3. FABRIC SHALL HAVE KNUCKLED SELVAGES ALONG TOP EDGES BOTTOM TWISTED

CHAIN LINK FENCE WITH BARBED WIRE REPLACEMENT

DETAIL L
NTS



CHAIN LINK FENCE REPLACEMENT

DETAIL M
NTS

XREFS: [CDMS_2436] Images: []
 Last saved by: WARNERSH Time: 3/10/2024 4:51:32 PM
 C:\Users\WARNERSH\OneDrive\CDM Smith Inc\36438-241520 - Bridgeport WTP West\Project Files\02 Civil (C)\10 CADD\Phase 1\C012P1D1.dwg
 © 2024 CDM SMITH. ALL RIGHTS RESERVED.
 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY:	S. WARNER
DRAWN BY:	S. WARNER
SHEET CHK'D BY:	X
CROSS CHK'D BY:	X
APPROVED BY:	X
DATE:	MARCH 2024



WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 1 - SITE PREPARATION

SITE DETAILS I

PROJECT NO.	36438-241520
FILE NAME:	C012P1D1.dwg
SHEET NO.	C-12

WATER POLLUTION CONTROL AUTHORITY CITY OF BRIDGEPORT, CONNECTICUT WEST SIDE WWTP - PHASE 2 IMPROVEMENTS

CT DEEP PROJECT NO. CWF-XXX



LOCATION PLAN
NOT TO SCALE

MAY 2024

**60% SUBMITTAL
NOT FOR CONSTRUCTION**

**CDM
Smith**

EAST HARTFORD, CONNECTICUT

Water

Environment

Transportation

Energy

Facilities

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE CITY OF BRIDGEPORT STANDARDS AND SPECIFICATIONS OR IN THE ABSENCE THEREOF TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 818 (OR LATEST EDITION).
- IF (IN THE OPINION OF THE ENGINEER) CONFLICTS OR DISCREPANCIES OCCUR BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN EITHER DOCUMENT ITSELF IN DESCRIBING THE WORK; THE BETTER QUALITY, GREATER QUANTITY, OR MORE COSTLY OPTION FOR WORK WILL BE INCLUDED IN THE CONTRACTOR'S (ORIGINAL) CONTRACT PRICE. THIS WORK SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR CLARIFYING ANY CONFLICTS OR DISCREPANCIES IN THE WORK PRIOR TO SUBMITTING THE CONTRACT PRICE. THE CONTRACTOR SHALL NOT PROCEED WITH SUCH WORK UNTIL THE ENGINEER HAS BEEN CONTACTED FOR CLARIFICATION AND PROPER DIRECTION.
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE CONDITIONS AND SHALL IMMEDIATELY REPORT ANY AND ALL DISCREPANCIES TO ENGINEER.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND APPURTENANCES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" (CBYD) LOCATING SERVICE AT 1-(800)-922-4455 AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO THE START OF CONSTRUCTION IN ORDER TO HAVE ALL UTILITIES LOCATED AND MARKED. CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATING SERVICE (AT HIS OWN EXPENSE) TO VERIFY AND/OR LOCATE ANY/ALL UTILITIES THAT CBYD DOES NOT LOCATE. ANY/ALL REFERENCES ON DRAWINGS TO "UTILITIES" INCLUDES ANY/ALL TYPES OF BUILDING AND/OR SITE "SERVICES" AS WELL.
- SURVEY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM MAPS ENTITLED: "IMPROVEMENT LOCATION SURVEY; 205 BOSTWICK AVENUE; WEST SIDE WASTEWATER TREATMENT PLANT; BRIDGEPORT, CONNECTICUT; PREPARED FOR WATER POLLUTION CONTROL AUTHORITY" SHEETS 1 THROUGH 8; SCALE VARIES; DATED MAY 15, 2020; LAST REVISED: MAY 9, 2023; PREPARED BY PEREIRA ENGINEERING, LLC.
- TO PROVIDE CONSISTENCY WITH HISTORICAL DRAWINGS A SEPARATE DATUM WAS ESTABLISHED THAT IS SPECIFIC TO THE WWTP SITES. ALL ELEVATIONS DEPICTED ON THE PROJECT DRAWINGS AND THE ABOVE REFERENCED SURVEY MAPS ARE BASED UPON THE BRIDGEPORT EAST AND WEST SIDE WWTP DATUM, SEE DATUM CONVERSION TABLE BELOW.
- ANY AND ALL RETAINING WALLS REQUIRED SHALL BE DESIGNED AND CERTIFIED BY A LICENSED STRUCTURAL ENGINEER. WIDTHS OF RETAINING WALLS DEPICTED ON THESE PLANS ARE PROVIDED FOR INFORMATION PURPOSES ONLY. ACTUAL WIDTHS OF RETAINING WALLS SHALL BE DETERMINED BY WALL MANUFACTURER AND/OR STRUCTURAL ENGINEER BASED ON EXISTING CONDITIONS AND SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO START OF CONSTRUCTION.
- NO STUMPS, BRUSH, BUILDING DEBRIS, OR UNSUITABLE MATERIALS ARE TO BE BURIED ONSITE. CONTRACTOR IS RESPONSIBLE FOR ANY/ALL COSTS ASSOCIATED WITH REMOVING ALL MATERIALS OFFSITE AT NO ADDITIONAL COST TO THE OWNER.
- ALL UTILITY WORK TO BE DONE IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S REQUIREMENTS AND STANDARDS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE UTILITY RELATED WORK WITH THE RESPECTIVE UTILITIES. ALL COSTS, INCLUDING PERMIT FEES, SHALL BE INCLUDED IN THE PRICES BID FOR THE VARIOUS ITEMS OF WORK UNDER THIS CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR DOING WORK THAT IS COMPLIANT WITH SECTION 504 OF THE REHABILITATION ACT OF 1973 AND TITLE II OF THE AMERICANS WITH DISABILITIES ACT AS AMENDED THROUGH LATEST VERSION.
- DETECTABLE WARNING (TACTILE) STRIPS (TILES) SHALL BE INSTALLED AT ALL LOCATIONS AS REQUIRED PER ADA REQUIREMENTS. ALL DETECTABLE WARNING STRIPS SHALL BE CAST-IN-PLACE TYPE ONLY. SURFACE MOUNTING OF TACTILE TILES TO EXISTING CONCRETE IS NOT ACCEPTABLE. EXISTING CONCRETE SHALL BE SAW-CUT, REMOVED, AND REPLACED WITH CAST-IN-PLACE TACTILE STRIPS.
- ACCESSIBLE ROUTES SHALL CONNECT BUILDINGS, FACILITIES, ELEMENTS, SPACES, PARKING, PASSENGER LOADING ZONES, PUBLIC STREETS, AND SIDEWALKS. ACCESSIBLE ROUTES' SLOPES SHALL BE 1:20 (5%) OR LESS AND THE CROSS SLOPES SHALL NOT EXCEED 1:50 (2%). CHANGES IN LEVEL SHALL NOT BE GREATER THAN 1/4", AND SLOPES SHALL NOT BE GREATER THAN 1:20 UNLESS RAMPS OR LIFTS ARE PROVIDED. EXISTING SIDEWALKS LOCATED ALONG THE ACCESSIBLE ROUTE WHICH HAVE A CHANGE IN LEVEL GREATER THAN 1/4" FROM AN ABUTTING SIDEWALK SHALL BE REPLACED WITH NEW CONCRETE SIDEWALK (FROM JOINT TO JOINT). OPENINGS IN FLOOR OR GROUND SURFACES (INCLUDING EXPANSION & CONTROL JOINTS) SHALL NOT BE GREATER THAN 1/2".
- SIGNS SHALL CONFORM TO THE STATE TRAFFIC COMMISSION STANDARD DETAIL SHEETS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 DAYS FOR REVIEW.

LEGEND

EXISTING		PROPOSED
	CONTOURS	
	SPOT ELEVATION	
	PROPERTY LINE	
	WATERCOURSE	
	STONE WALL	
	STRUCTURE	
	EDGE OF PAVEMENT	
	WATER LINE	
	GAS LINE	
	ELECTRIC LINE	
	TELEPHONE LINE	
	FIBER OPTIC LINE	
	OVERHEAD WIRES	
	SANITARY SEWER LINE	
	STORM DRAIN LINE	
	TREE LINE	
	CHAIN LINK FENCE	
	WOOD FENCE	
	GUIDERAIL	
	CONIFEROUS TREE	
	DECIDUOUS TREE	
	SHRUB	
	TEST BORING	
	YARD DRAIN	
	CATCH BASIN	
	STORM MANHOLE	
	SANITARY MANHOLE	
	LIGHT POLE	
	UTILITY POLE	
	HYDRANT	
	WATER VALVE	
	GAS VALVE	
	GEOTEXTILE SILT FENCE	
	CONSTRUCTION ENTRANCE	
	GRADE TO DRAIN	

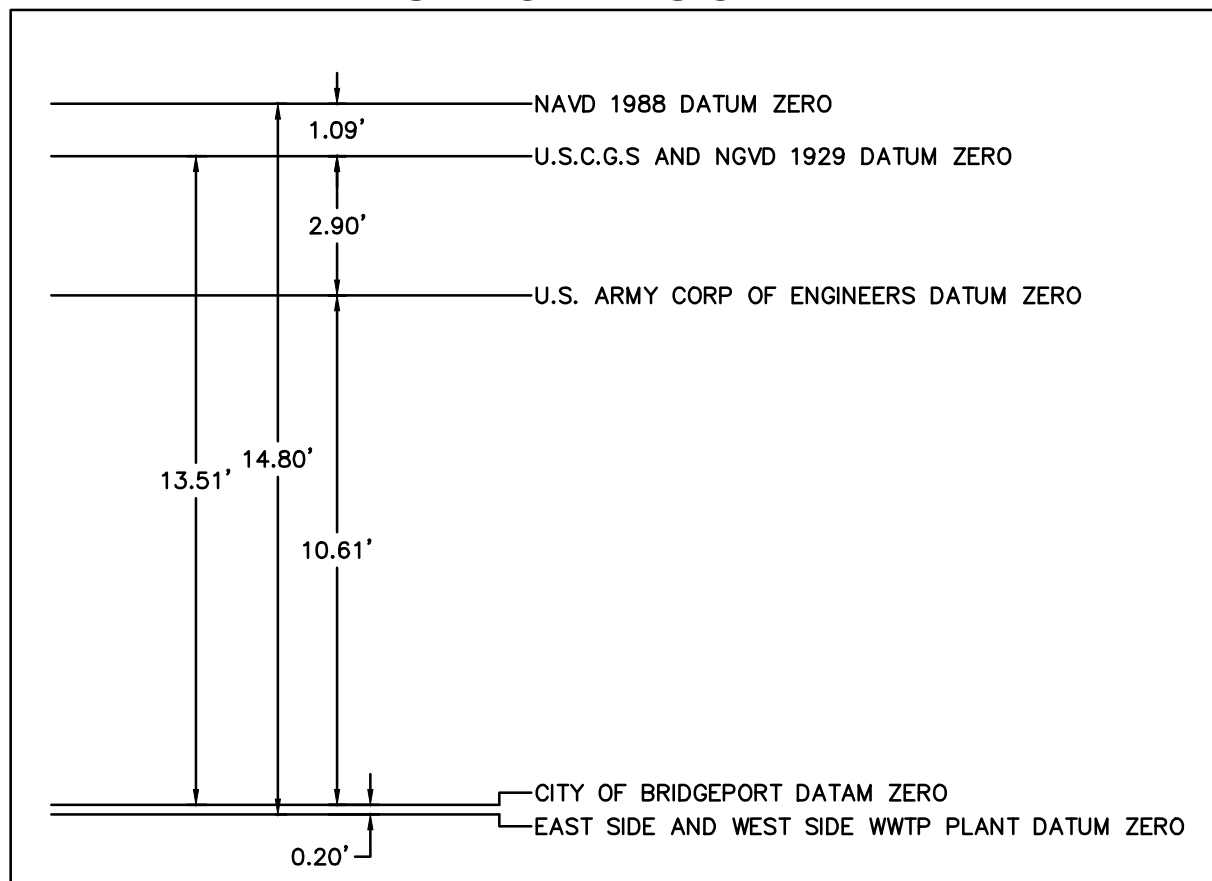
BORING LEGEND:

- CDM-001: EXISTING LOCATIONS OF NEW GEOPROBE LOCATIONS (FIELD LOCATED OCTOBER, 2023)
 - BH-1: EXISTING LOCATIONS OF NEW GEOTECHNICAL BORINGS (FIELD LOCATED APRIL, 2023)
 - W-SB-001: APPROXIMATE LOCATIONS OF PREVIOUS GEOPROBE BORINGS COMPLETED IN 2020 BY EOLAS ENVIRONMENTAL, INC.
 - W-MW-001: APPROXIMATE LOCATIONS OF PREVIOUS MONITORING WELL BORINGS COMPLETED IN 2020 BY EOLAS ENVIRONMENTAL, INC.
 - SB-101: APPROXIMATE LOCATIONS OF HISTORIC BORINGS COMPLETED IN 2013-2016 BY AECOM
 - DH-1: APPROXIMATE LOCATIONS OF HISTORIC BORINGS COMPLETED BY HARDIMAN DRILLING CO. CIRCA 1960s
- *BH-2 IS DEPICTED APPROXIMATELY AND WAS NOT FIELD LOCATED.

ABBREVIATIONS

APPROX	APPROXIMATE
BC	BOTTOM OF CURB ELEVATION
BIT	BITUMINOUS CONCRETE
BM	BENCHMARK
CB	CATCH BASIN
CP	CORRUGATED PLASTIC PIPE
CO	CLEAN OUT
CONC	CONCRETE
DR	DRAIN
ELEV	ELEVATION
EXIST	EXISTING
FE	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
GFE	GARAGE FLOOR ELEVATION
HCC	HANDICAP CURB CUT
HD	HEAVY DUTY
HH	HANDLE
HP	HIGH POINT
INV	INVERT
LP	LOW POINT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NTS	NOT TO SCALE
OC	ON CENTER
PERF	PERFORATED
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
SCH	SCHEDULE
TC	TOP OF CURB ELEVATION
TD	TRENCH DRAIN
TF	TOP OF FRAME ELEVATION
TOC	TOP OF CONCRETE ELEVATION
TYP	TYPICAL
VF	VERIFY IN FIELD
W/	WITH
YD	YARD DRAIN

DATUM CONVERSION TABLE



NOTE: SUBTRACT FROM CITY OF BRIDGEPORT DATUM TO GET TO NGVD AND NAVD.
EXAMPLE: EAST SIDE AND WEST SIDE WWTP (20.00')-14.80' = NAVD88 (5.20')

EAST SIDE AND WEST SIDE WWTP DATUM (FT)=NAVD88 (FT) +14.80 FT
EAST SIDE AND WEST SIDE WWTP DATUM (FT)=CITY OF BRIDGEPORT DATUM (FT) +0.20 FT

© 2024 CDM SMITH. ALL RIGHTS RESERVED. C:\Users\ERIC.PEREIRA\OneDrive\Documents\CDM Smith\mcr\36438-241520 - Bridgeport WWTP West\Project Files\02 Civil (C)\Pereira Engineering\Phase 2\C-1.dwg, Plot, 3/7/2024, 3:59:29 PM, etc. 1:1 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY:	X
DRAWN BY:	X
SHEET CHK'D BY:	X
CROSS CHK'D BY:	X
APPROVED BY:	X
DATE:	MARCH 2024

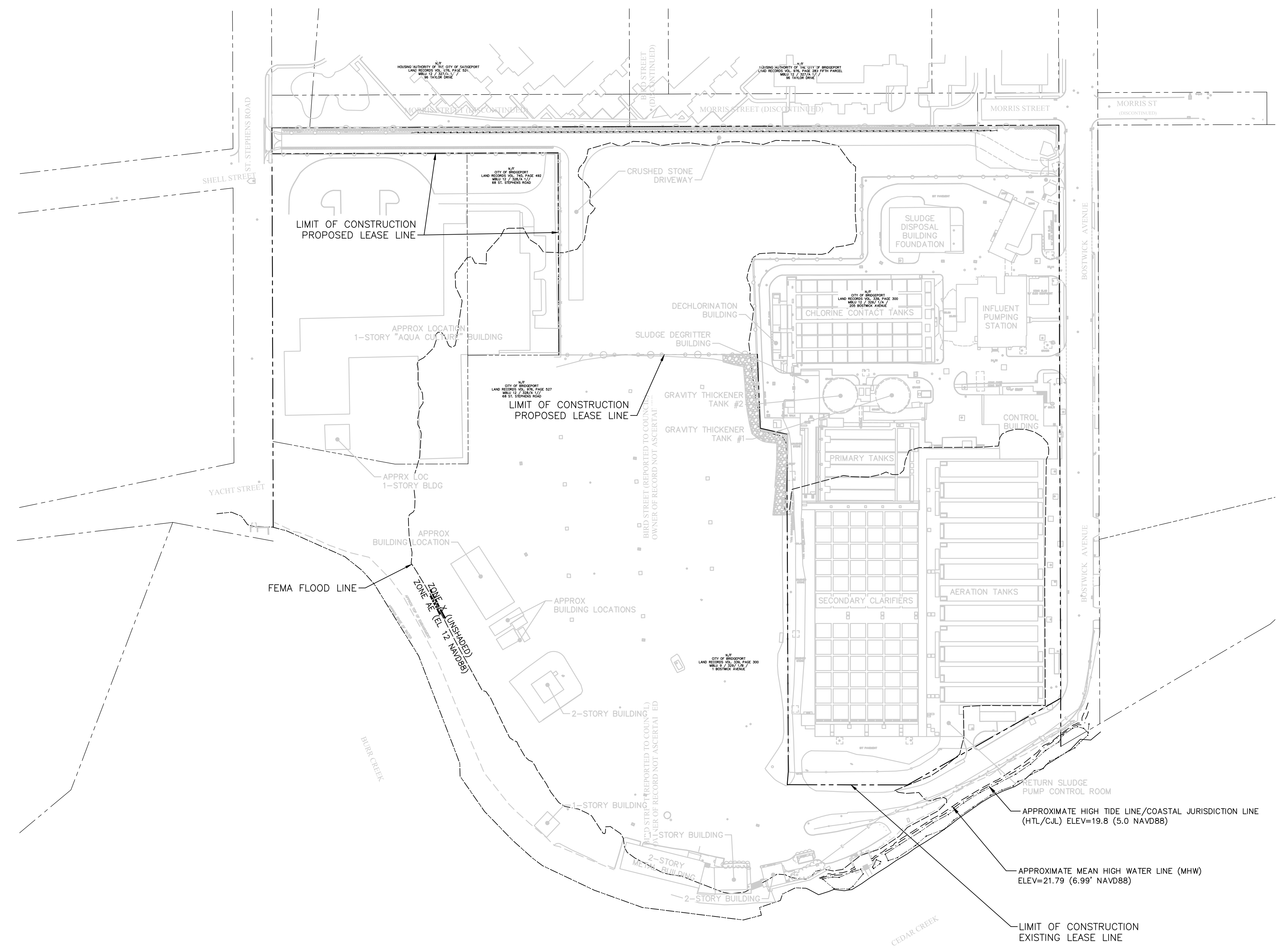
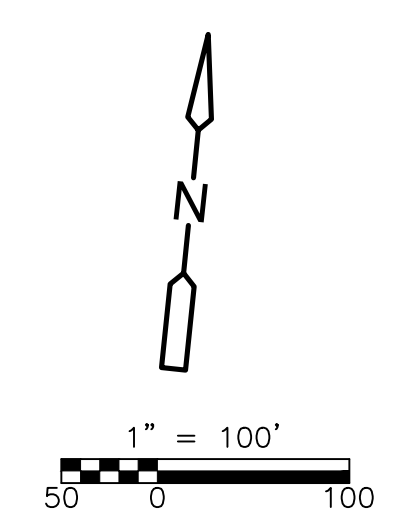
CDM Smith **PEREIRA ENGINEERING, LLC**
 Civil • Environmental • Land Surveying
 101 East River Drive, Suite 1A East Hartford, CT 06108 Tel: (860) 529-7615
 One Enterprise Drive, Suite 312 Shelton, CT 06484 Phone: (203) 944-9944 Fax: (203) 944-9945

WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 2

CIVIL
GENERAL NOTES, LEGEND, AND ABBREVIATIONS

PROJECT NO. 36438-241520
FILE NAME: C-1.dwg
SHEET NO. C-1

© 2024 CDM SMITH. ALL RIGHTS RESERVED. C:\Users\ERIC.PEREIRA\OneDrive\Work\Projects\WTP West\Project Files\02 Civil (C)\Pereira Engineering\Phase 2\C-2.dwg, Plot, 5/23/2024 3:50:57 PM, etc. 1:1
 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



NOTES:
 1. WORK PROPOSED IN PREVIOUS PHASES DEPICTED AS EXISTING CONDITION.

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: J. ROTONDO
 DRAWN BY: E. HOMBURG
 SHEET CHK'D BY: X
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024

CDM Smith
 101 East River Drive, Suite 1A
 East Hartford, CT 06108
 Tel: (860) 529-7615

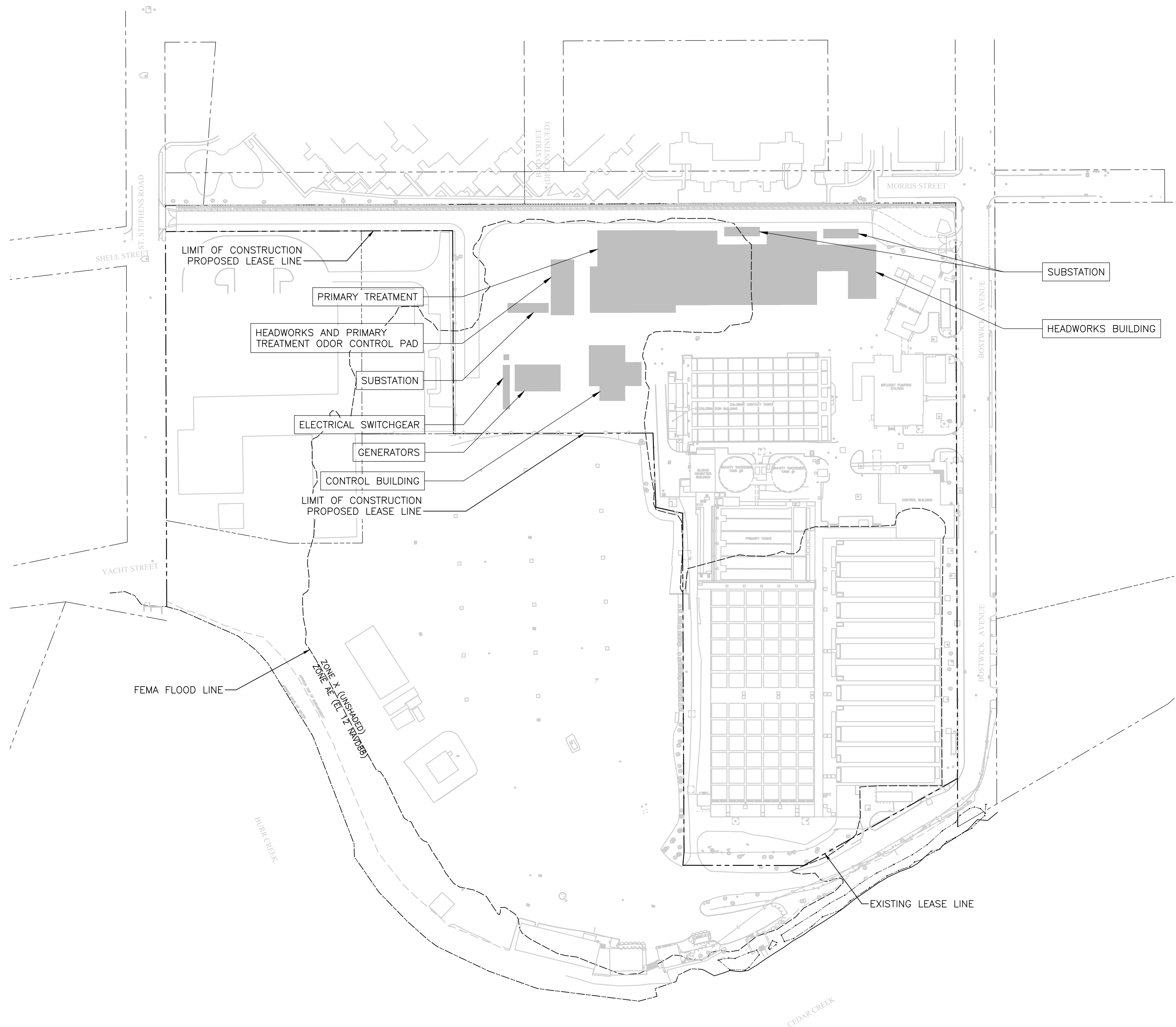
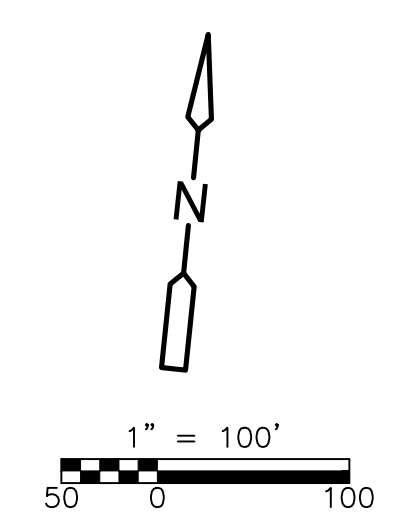
PEREIRA ENGINEERING, LLC
 Civil • Environmental • Land Surveying
 One Enterprise Drive, Suite 312 Phone: (203) 944-9944
 Shelton, CT 06484 Fax: (203) 944-9945

WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
**WEST SIDE WWTW IMPROVEMENTS
 PHASE 2**

EXISTING CONDITIONS PLAN - OVERALL

PROJECT NO. 36438-241520
 FILE NAME: C-2.dwg
 SHEET NO.
C-2

© 2024, CDM SMITH. ALL RIGHTS RESERVED. C:\Users\ERIC.PEREIRA\OneDrive\CDM Smith Inc\36438-241520 - Bridgeport WWTP West Side Improvements\10 CADD\Working\Sheets\G-13.dwg, Plot, 2/29/2024 5:32:15 PM, plot, 1:1
 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



NOTES:
 1. WORK PROPOSED IN PREVIOUS PHASES DEPICTED AS EXISTING CONDITION.

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: J. ROTONDO
 DRAWN BY: E. HOMBURG
 SHEET CHK'D BY: X
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024

CDM Smith
 101 East River Drive, Suite 1A
 East Hartford, CT 06108
 Tel: (860) 529-7615

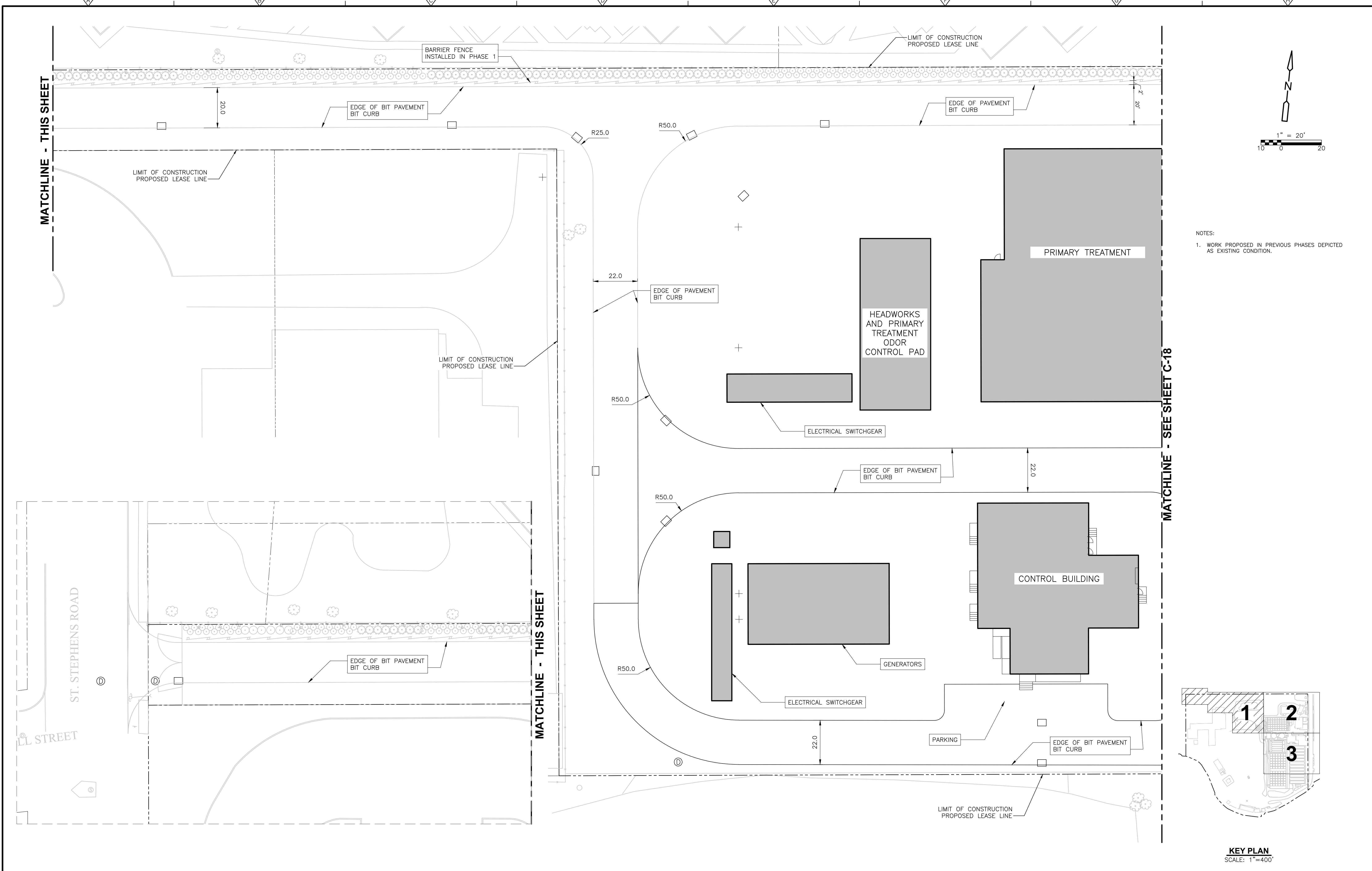
PEREIRA ENGINEERING, LLC
 Civil • Environmental • Land Surveying
 One Enterprise Drive, Suite 312 Phone: (203) 944-9944
 Shelton, CT 06484 Fax: (203) 944-9945

WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 2

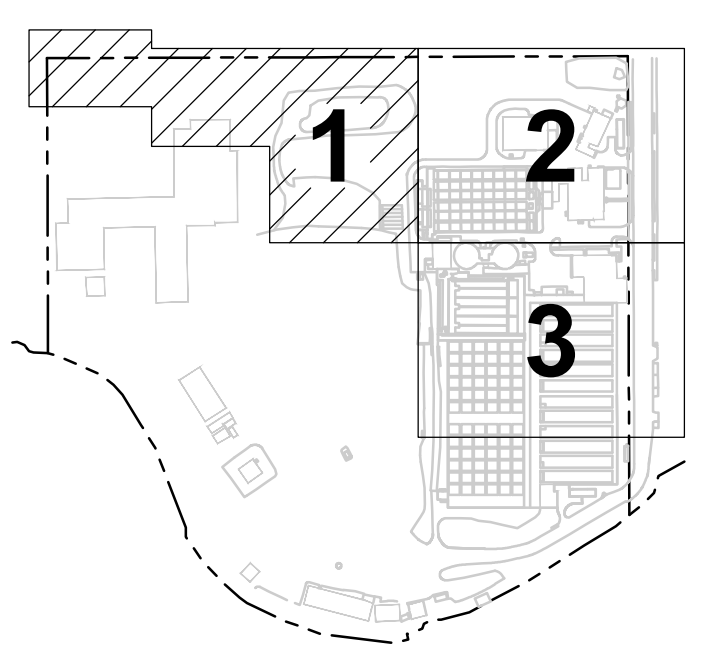
PHASE 2
OVERALL IMPROVEMENTS PLAN

PROJECT NO. 36438-241520
 FILE NAME: C-13.DWG
 SHEET NO.
C-13

© 2024, CDM SMITH. ALL RIGHTS RESERVED. C:\Users\ERIC.PEREIRA\OneDrive\CDM Smith Inc\36438-241520 - Bridgeport WWTP West\Project Files\02_Civil (C)\Pereira Engineering\Phase 2\C-17.dwg, Plot: 3/1/2024 9:43:12 AM, etc., 1:1
 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



NOTES:
 1. WORK PROPOSED IN PREVIOUS PHASES DEPICTED AS EXISTING CONDITION.



KEY PLAN
 SCALE: 1"=400'

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: J. ROTONDO
 DRAWN BY: E. HOMBURG
 SHEET CHK'D BY: X
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024

CDM Smith
 101 East River Drive, Suite 1A
 East Hartford, CT 06108
 Tel: (860) 529-7615

PEREIRA ENGINEERING, LLC
 Civil • Environmental • Land Surveying
 One Enterprise Drive, Suite 312
 Shelton, CT 06484
 Phone: (203) 944-9944
 Fax: (203) 944-9945

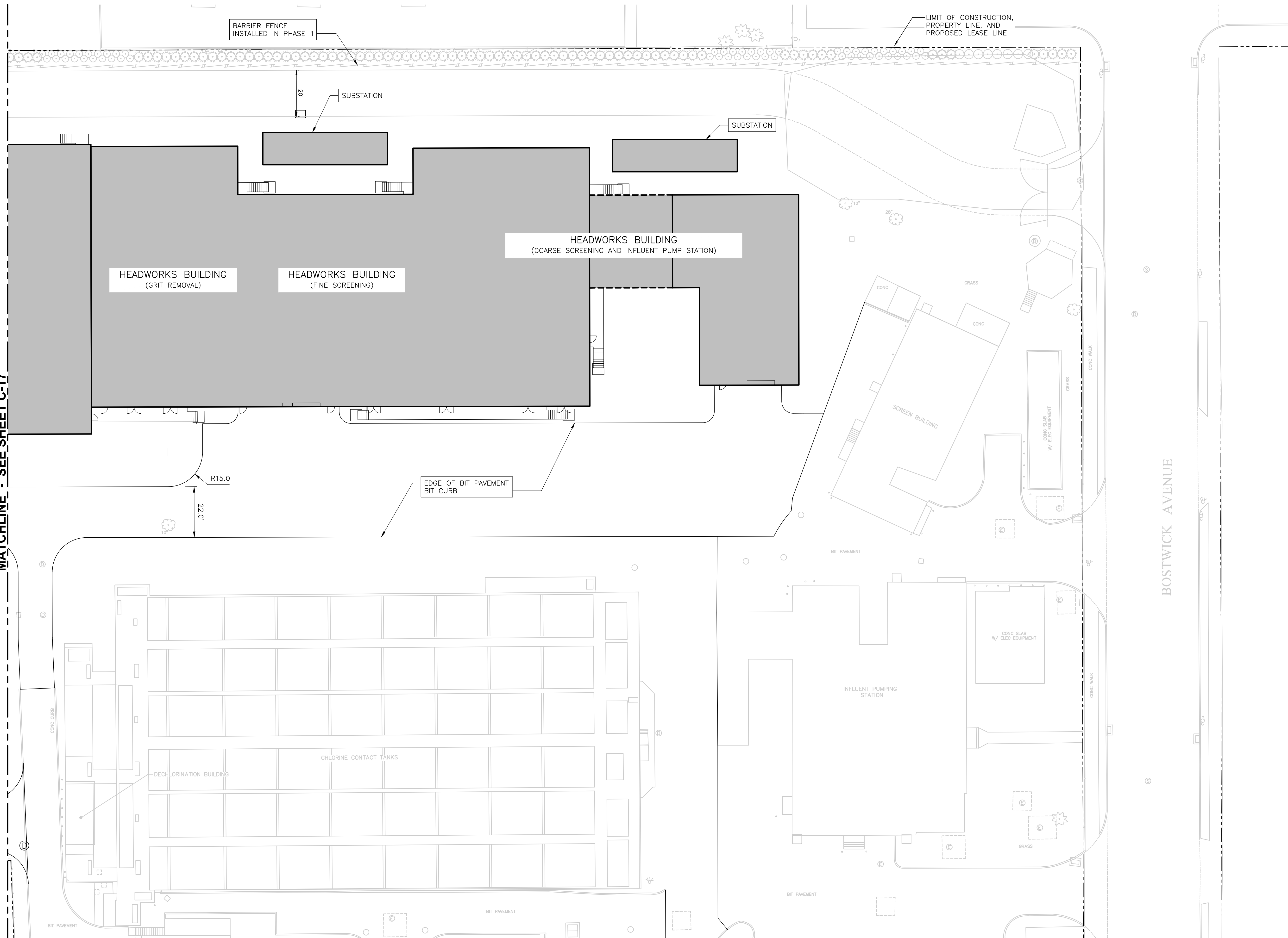
WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 2

PHASE 2
PAVING & FENCING PLAN 1

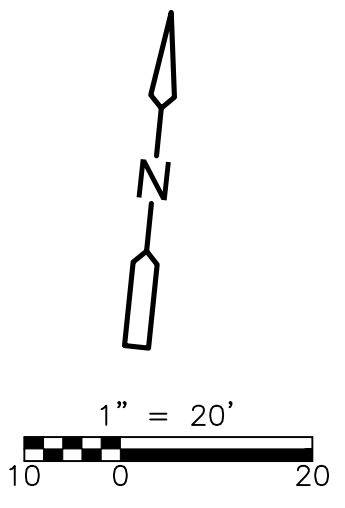
PROJECT NO. 36438-241520
 FILE NAME: C-17.dwg
 SHEET NO.
C-17

© 2024 CDM SMITH. ALL RIGHTS RESERVED. C:\Users\ERIC.PEREIRA\OneDrive\CDM Smith Inc\36438-241520 - Bridgeport WWTP West\Project Files\02 Civil (C)\Perira Engineering\Phase 2\C-18.dwg, Plot: 3/1/2024 9:45:09 AM, etc. 1:1
 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

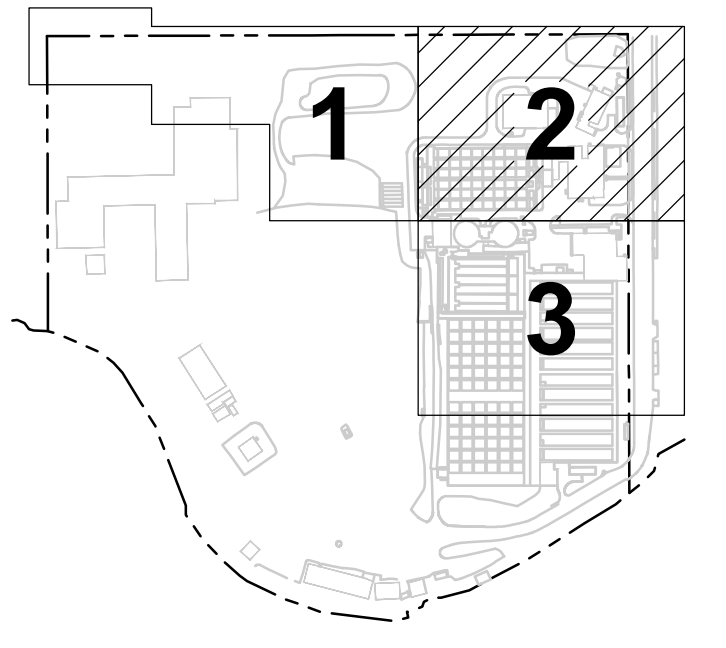
MATCHLINE - SEE SHEET C-17



MATCHLINE - SEE SHEET C-19



NOTES:
 1. WORK PROPOSED IN PREVIOUS PHASES DEPICTED AS EXISTING CONDITION.



KEY PLAN
 SCALE: 1"=400'

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: J. ROTONDO
 DRAWN BY: E. HOMBURG
 SHEET CHK'D BY: X
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024

CDM Smith
 101 East River Drive, Suite 1A
 East Hartford, CT 06108
 Tel: (860) 529-7615

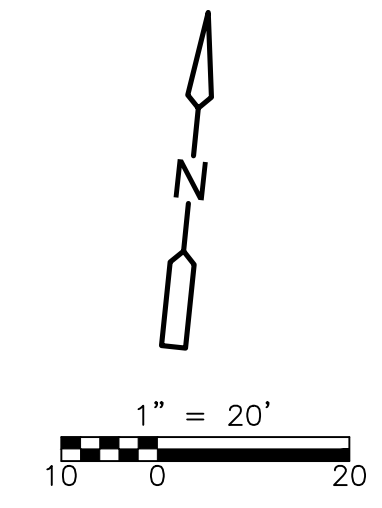
PEREIRA ENGINEERING, LLC
 Civil • Environmental • Land Surveying
 One Enterprise Drive, Suite 312
 Shelton, CT 06484
 Phone: (203) 944-9944
 Fax: (203) 944-9945

WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 2

PHASE 2
PAVING & FENCING PLAN 2

PROJECT NO. 36438-241520
 FILE NAME: C-18.dwg
 SHEET NO.
C-18

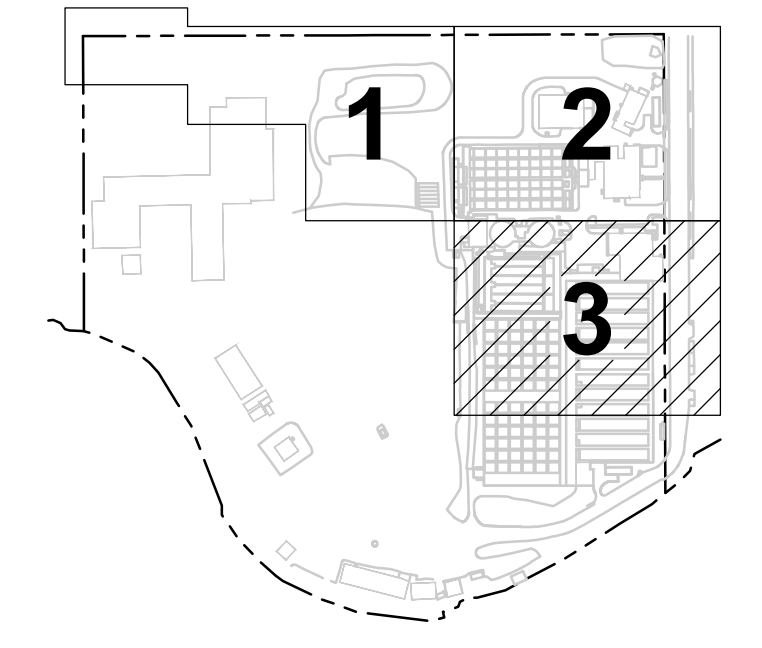
MATCHLINE - SEE SHEET C-18



NOTES:
1. WORK PROPOSED IN PREVIOUS PHASES DEPICTED AS EXISTING CONDITION.

LIMIT OF CONSTRUCTION PROPOSED LEASE LINE

LIMIT OF CONSTRUCTION, PROPOSED LEASE LINE, AND PROPERTY LINE



KEY PLAN
SCALE: 1"=400'

© 2024 CDM SMITH. ALL RIGHTS RESERVED. C:\Users\ERIC.PEREIRA\OneDrive\CDM Smith Inc\36438-241520 - Bridgeport WWP West\Project Files\02 Civil (C)\Pereira Engineering\Phase 2\C-19.dwg, Plot: 3/1/2024 9:51:51 AM, 1:1 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: J. ROTONDO
 DRAWN BY: E. HOMBURG
 SHEET CHK'D BY: X
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024

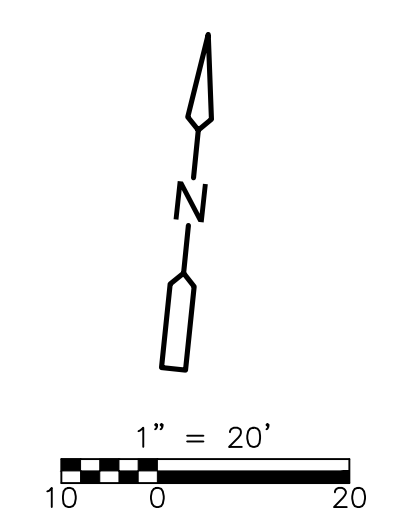
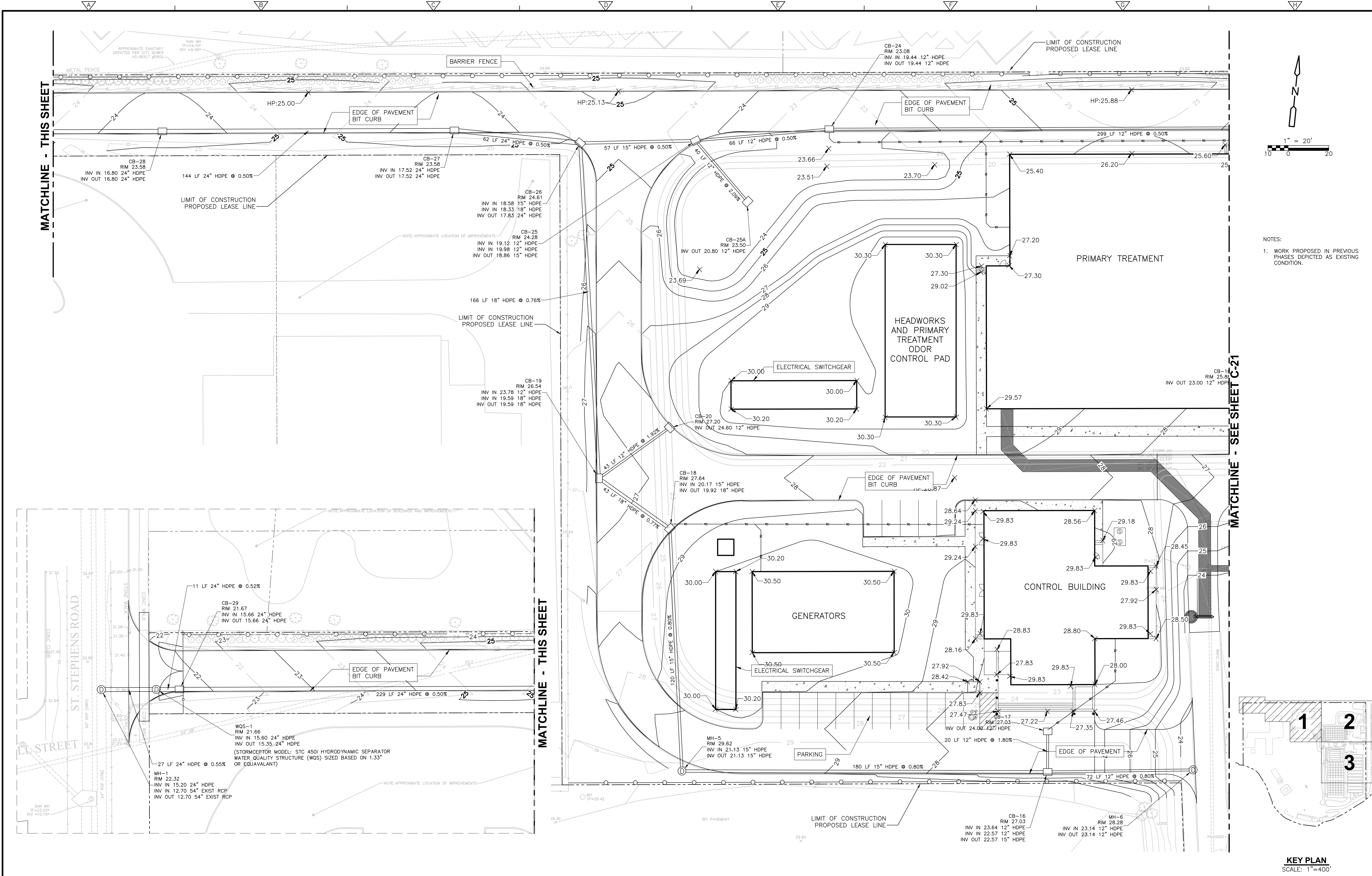
CDM Smith **PEREIRA ENGINEERING, LLC**
 Civil • Environmental • Land Surveying
 101 East River Drive, Suite 1A East Hartford, CT 06108 Tel: (860) 529-7615
 One Enterprise Drive, Suite 312 Shelton, CT 06484 Phone: (203) 944-9944 Fax: (203) 944-9945

WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 2

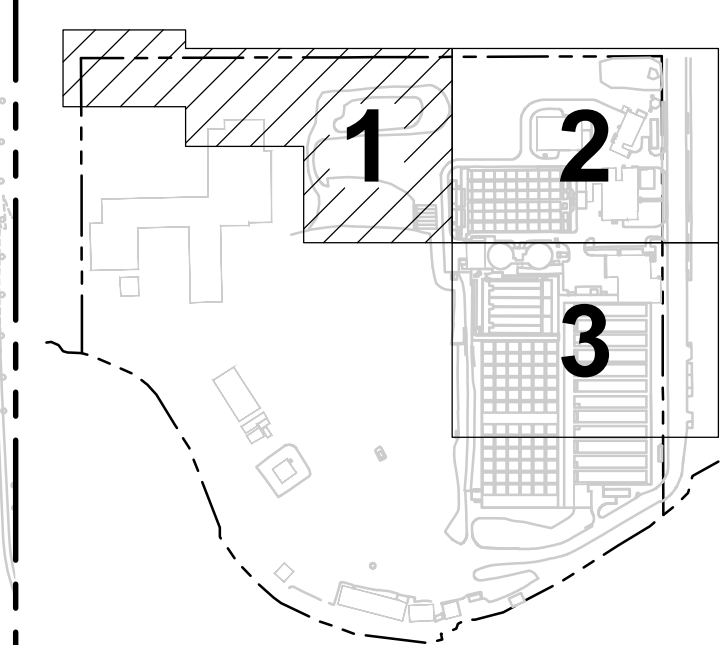
PHASE 2
PAVING & FENCING PLAN 3

PROJECT NO. 36438-241520
 FILE NAME: C-19.dwg
 SHEET NO.
C-19

© 2024 CDM SMITH. ALL RIGHTS RESERVED. C:\Users\ERIC.PEREIRA\OneDrive\CDM Smith\mcr\36438-241520 - Bridgeport WWP West\Project Files\02_Civil (C)\Pereira Engineering\Phase 2\C-20.dwg, Plot: 3/21/2024 10:12:28 AM, etc. 1:1
REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



NOTES:
1. WORK PROPOSED IN PREVIOUS PHASES DEPICTED AS EXISTING CONDITION.



KEY PLAN
SCALE: 1"=400'

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: J. ROTONDO
DRAWN BY: E. HOMBURG
SHEET CHK'D BY: X
CROSS CHK'D BY: X
APPROVED BY: X
DATE: MARCH 2024

CDM Smith
101 East River Drive, Suite 1A
East Hartford, CT 06108
Tel: (860) 529-7615

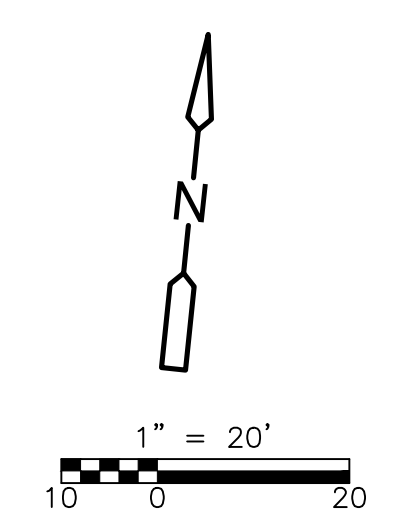
PEREIRA ENGINEERING, LLC
Civil • Environmental • Land Surveying
One Enterprise Drive, Suite 312
Shelton, CT 06484
Phone: (203) 944-9944
Fax: (203) 944-9945

WATER POLLUTION CONTROL AUTHORITY (WPCA)
CITY OF BRIDGEPORT, CT
WEST SIDE WWP IMPROVEMENTS
PHASE 2

PHASE 2
GRADING & DRAINAGE PLAN 1

PROJECT NO. 36438-241520
FILE NAME: C-20.dwg
SHEET NO.
C-20

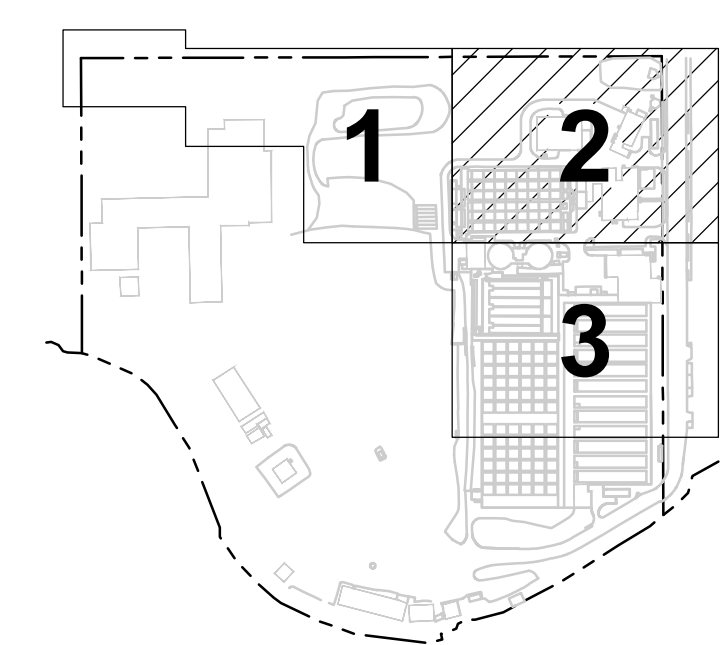
© 2024 CDM SMITH. ALL RIGHTS RESERVED. THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



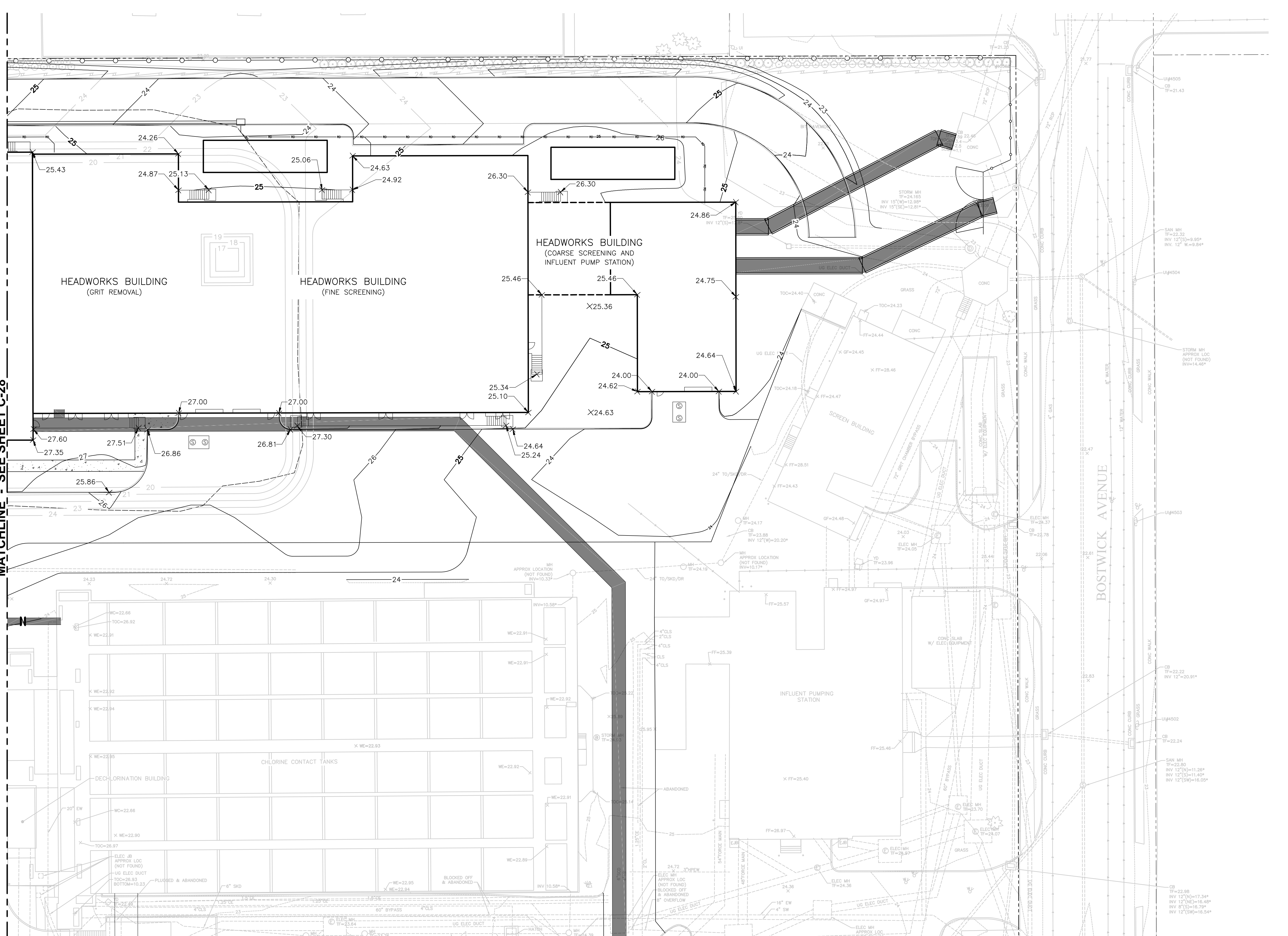
NOTES:
1. WORK PROPOSED IN PREVIOUS PHASES DEPICTED AS EXISTING CONDITION.

MATCHLINE - SEE SHEET C-28

MATCHLINE - SEE SHEET C-26



KEY PLAN
SCALE: 1"=400'



REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: J. ROTONDO
 DRAWN BY: E. HOMBURG
 SHEET CHK'D BY: X
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024

CDM Smith
 101 East River Drive, Suite 1A
 East Hartford, CT 06108
 Tel: (860) 529-7615

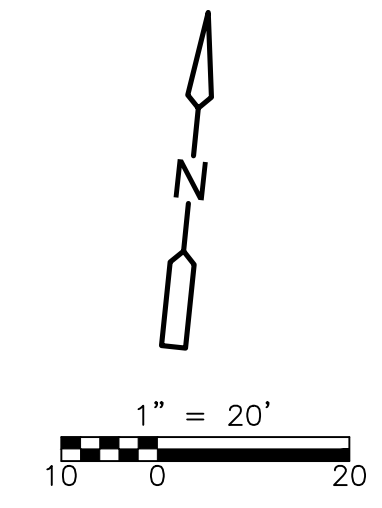
PEREIRA ENGINEERING, LLC
 Civil • Environmental • Land Surveying
 One Enterprise Drive, Suite 312
 Shelton, CT 06484
 Phone: (203) 944-9944
 Fax: (203) 944-9945

WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
WEST SIDE WWTP IMPROVEMENTS
PHASE 2

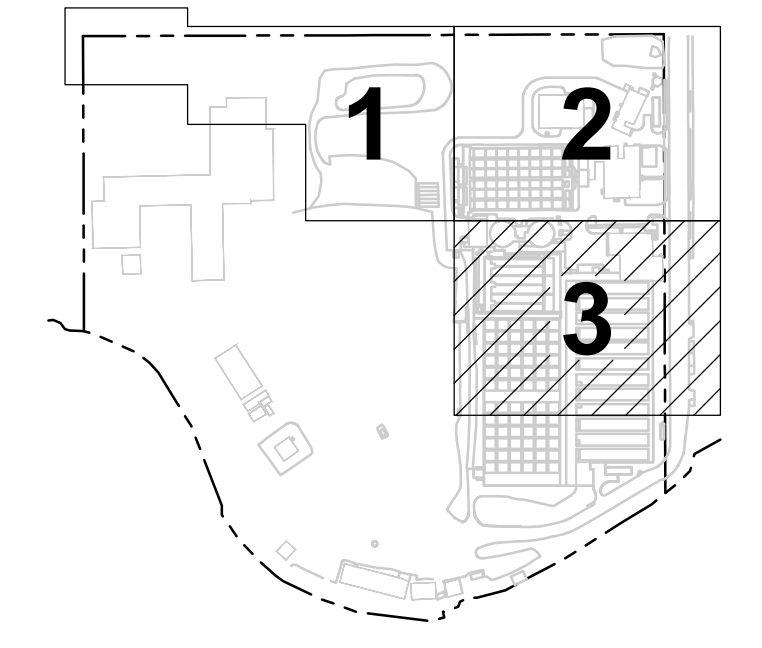
PHASE 2
GRADING & DRAINAGE PLAN 2

PROJECT NO. 36438-241520
 FILE NAME: C-21.dwg
 SHEET NO.
C-21

MATCHLINE - SEE SHEET C-21

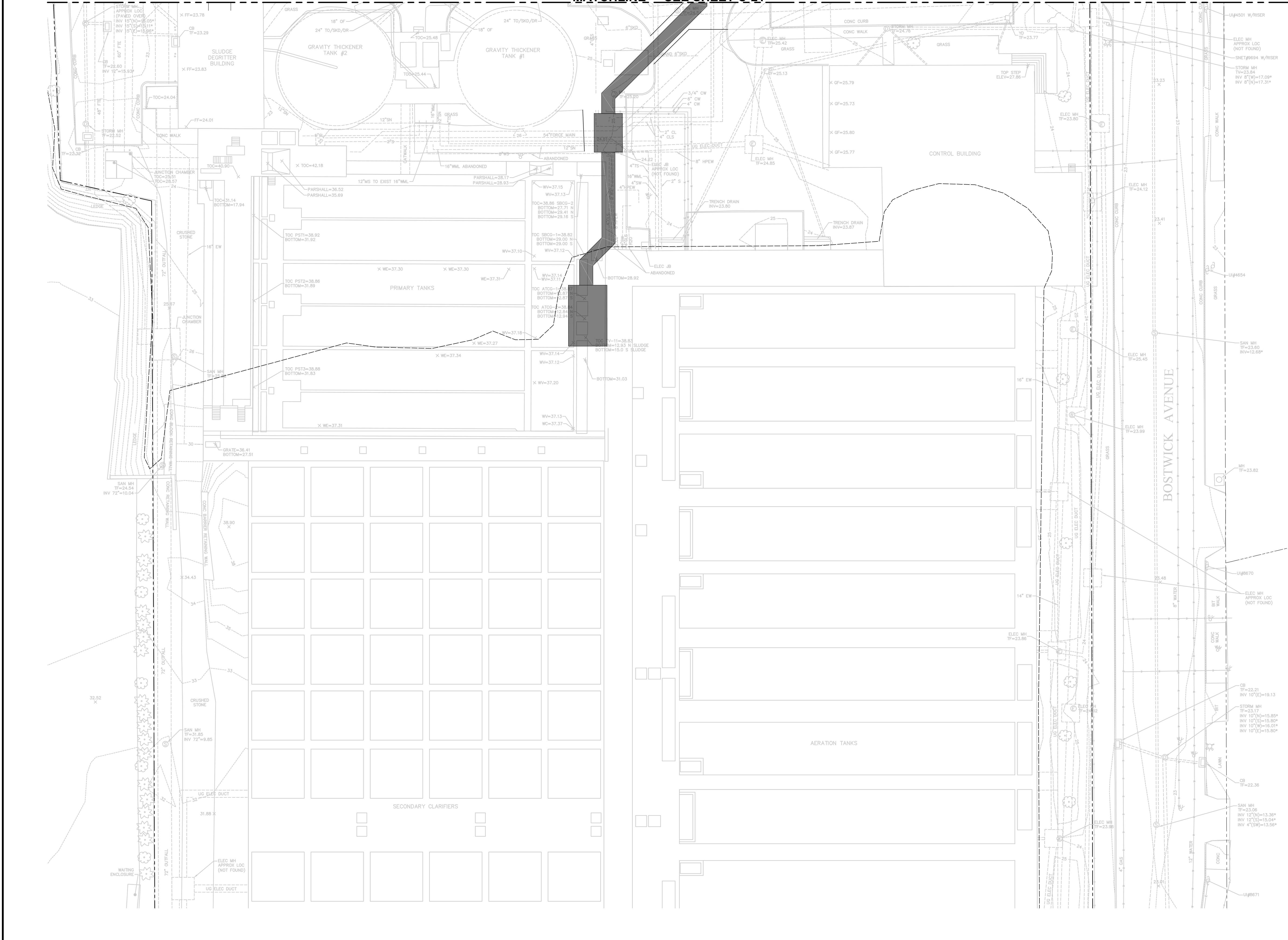


NOTES:
1. WORK PROPOSED IN PREVIOUS PHASES DEPICTED AS EXISTING CONDITION.



KEY PLAN
SCALE: 1"=400'

©2024 CDM SMITH. ALL RIGHTS RESERVED. C:\Users\ERIC.PEREIRA\OneDrive\Documents\CDM Smith\mcr_36438-241520 - Bridgeport WWP West\Project Files\02 Civil (C)\Perma Engineering\Phase 2\C-22.dwg, Plot: 3/1/2024 3:42:05 PM, etc. 1:1 REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: J. ROTONDO
 DRAWN BY: E. HOMBURG
 SHEET CHK'D BY: X
 CROSS CHK'D BY: X
 APPROVED BY: X
 DATE: MARCH 2024

CDM Smith **PEREIRA ENGINEERING, LLC**
 Civil • Environmental • Land Surveying
 101 East River Drive, Suite 1A East Hartford, CT 06108 Tel: (860) 529-7615
 One Enterprise Drive, Suite 312 Shelton, CT 06484 Phone: (203) 944-9946 Fax: (203) 944-9946

WATER POLLUTION CONTROL AUTHORITY (WPCA)
 CITY OF BRIDGEPORT, CT
 WEST SIDE WWTP IMPROVEMENTS
 PHASE 2

PHASE 2
 GRADING & DRAINAGE PLAN 3

PROJECT NO. 36438-241520
 FILE NAME: C-22.dwg
 SHEET NO.
C-22

ABBREVIATIONS

&	AND	GB	GLASS BLOCK	REF	ROOF EXHAUST FAN
<	ANGLE	GRT	GRATING	REFINF	REINFORCE (D. ING)
@	ANCHOR BOLT	GYP	GYPSUM	REQD	REQUIRED
AB	ABOVE	GWB	GYPSUM WALL BOARD	REV	REVISED
ACMU	ACOUSTICAL CONCRETE MASONRY UNIT	HARD	HARDENER	RF	ROOF FAN
AFF	ABOVE FINISHED FLOOR	HD	HEAVY DUTY	RFNG	ROOFING
AFG	ABOVE FINISHED GRADE	HDWD	HARDWOOD	RGH	ROUGH
AL_ALUM	ALUMINUM	HDWR	HARDWARE	RJ	REVEAL/RUSTICATION JOINT
AMP	ACOUSTICAL METAL PANELS	HGR	HANGER	RL	RAIN LEADER
ANOD	ANODIZED	HGT	HEIGHT	RLG	RAILING
ASSY	ASSEMBLY	HM	HOLLOW METAL	RM	ROOM
BBT	BIOSBASED TILE	HOR	HORIZONTAL	RO	ROUGH OPENING
BD	BOARD	HP	HIGH POINT	RT	RUBBER TILE
BEV	BEVEL(ED)	HR	HANDRAIL	RWL	RAIN WATER LEADER
BLDG	BUILDING	IN	INCH	S	STEEL S-SHAPED DESIGNATION
BLK	BLOCK	INST	INSTRUMENTATION	SAT	SUSPENDED ACOUSTICAL TILE
BLKG	BLOCKING	INSUL	INSULATION	SB	SEAMLESS BASE
BRG	BEARING	JC	JANITOR'S CLOSET	SCHD	SCHEDULE
BRK	BRICK	JT	JOINT	SCRN	SCREENED, (ING)
BRS	BRASS	JT FLR	JOINT FILLER	SECT	SECTION
BRZ	BRONZE	L	LINE OF STRUCTURAL ANGLE DESIGNATION	SF	SEAMLESS FLOORING
BTM	BOTTOM	LAB	LABORATORY	SGFT	STRUCTURAL GLAZED FACING TILE
C TO C	CENTER TO CENTER	LAD	LADDER	SHT	SHEET
CAB	CABINET	LAM	LAMINATED	SIM	SIMILAR
CEM	CEMENT	LAV	LAVATORY	SK	SINK
CF	COMPRESSIBLE FILLER	LG	LAMINATED GLASS	SL	SLOPE
CGFB	CEMENTITIOUS GLASS FIBER BOARD	LINO	LINOLEUM	SILT	SEALANT
CH	CONCRETE HARDENER	LKR	LOCKER	SPEC	SPECIFICATION, SPECIFIED
CHAM	CHAMFER	LNTL	LINTEL	SST	STAINLESS STEEL
CHAN	CHANNEL	LP	LOW POINT	STD	STANDARD
CIP	CAST IN PLACE	LT	LIGHT(S)	STL	STEEL
CJ	CONTROL JOINT	MAS	MASONRY	STOR	STORAGE
CL OR	CENTERLINE	MATL	MATERIAL	STRU	STRUCTURE(S, URAL)
CLG	CEILING	MAX	MAXIMUM	STWY	STAIRWAY
CLKG	CAULKING	MEMB	MEMBRANE	SUPT	SUPERINTENDENT
CMU	CONCRETE MASONRY UNIT	MFR	MANUFACTURER	SUSP	SUSPENDED
COL	COLUMN	MIN	MINIMUM	T	TREAD(S)
COMP	COMPRESSIBLE	MISC	MISCELLANEOUS	TBM	TRAFFIC BEARING MEMBRANE
CONC	CONCRETE	MO	MASONRY OPENING	T&G	TONGUE AND GROOVE
CONT	CONTINUOUS	MR	MOISTURE RESISTANT	TEMP	TEMPERATURE
CRPT	CARPET, CARPET TILE	MRAT	MOISTURE RESISTANT ACOUSTICAL TILE	TEMP	TEMPERED
CRS	COURSE(S)	MTD	MOUNTED	TEMP	TEMPORARY
CT	CERAMIC TILE	MTG	MOUNTING	TER	TERRAZZO
CET	DETAIL	MTL	METAL	TERB	TERRAZZO BASE
DF	DRINKING FOUNTAIN	NIC	NOT IN CONTRACT	THK	THICKNESS
DIA	DIAMETER	NOM	NONINAL	THR	THRESHOLD
DIAG	DIAGONAL	NTS	NOT TO SCALE	TKBD	TACKBOARD
DM	DIMENSION	OC	ON CENTER	TOB	TOP OF BRICK
DISP	DISPENSER	OH	OVERHANG	TOC	TOP OF CONCRETE
DN	DOWN	OPNG	OPENING	TOIL	TOILET
DP	DAMP/PROOFING	OPP HD	OPPOSITE HAND	TOM	TOP OF MASONRY
DR	DRAIN	ORD	OVERFLOW ROOF DRAIN	TOPG	TOPPING
ELEC	ELECTRICAL	OSB	ORIENTED STRAND BOARD	TOS	TOP OF STEEL
ELEV	ELEVATION	OY	OVER	TS	STRUCTURAL TUBING (STEEL UNLESS NOTED)
EQ	EQUAL(LY)	OVHD	OVERHEAD	TSL	TOP OF SLAB
EQPT	EQUIPMENT	PERIM	PERIMETER	TWF	THROUGH WALL FLASHING
EWC	ELECTRICAL WATER COOLER	PL	PLATE	TYP	TYPICAL
EXP	EXPOSED	PL	PROPERTY LINE	UC	UNDERCUT
EJ	EXPANSION JOINT	PLAS	PLASTER	UON	UNLESS OTHERWISE NOTED
EXIST. (E)	EXISTING	PLK	PLANK	UR	URINAL
FD	FLOOR DRAIN	PLYWD	PLYWOOD	VB	VAPOR BARRIER
FE	FIRE EXTINGUISHER	PM	PRESSED METAL	VCT	VINYL COMPOSITE TILE
FF	FACTORY FINISH	PR	PAIR	VERT	VERTICAL
FL	FIBERGLASS	PRD	PROMENADE ROOF DRAIN	VEST	VESTIBULE
FLG	FINISHED	PRCST	PRECAST	VTR	VENT THRU ROOF
FLS	FLASHING	PREFAB	PRE-FABRICATED	W	WITH
FL	FLOORING	PT	PRESSURE TREATED	W	WITH
FLR	FILLER	PRMLD	PREMOLDED	W/A	WHERE APPLICABLE
FR	FRAME	PSF	POUNDS PER SQUARE FOOT	W/O	WITHOUT
FRP	FIBERGLASS REINFORCED PLASTIC	PTD	PAINTED	WC	WATER CLOSET
FO	FRAME OPENING	QT	QUARRY TILE	WD	WOOD
FV	FIELD VERIFY	QTB	QUARRY TILE BASE	W/DW	WINDOW
FXD	FIXED	R	RISER(S)	WF	WIDE FLANGE
GA	GAGE, GAUGE	R-S	BACKER ROD & SEALANT	WPG	WATERPROOFING
GALV	GALVANIZED	RB	RUBBER BASE	WT	STEEL TEE-SHAPE DESIGNATION
GL	GLASS	RD	ROOF DRAIN	WWF	WELDED WIRE FABRIC
		RECT	RECEPTACLE		

GENERAL NOTES

- HEIGHT OF INTERIOR STUD AND CMU PARTITIONS ARE FROM FLOOR TO THE UNDERSIDE OF ROOF DECK UNLESS OTHERWISE NOTED. PROVIDE DEFLECTION HEADS AT TOP OF WALL (TYPICAL).
- NOT ALL EQUIPMENT IS SHOWN FOR CLARITY. REFER TO THE APPROPRIATE DISCIPLINE SHEETS FOR SPECIFIC EQUIPMENT LAYOUT AND OTHER REQUIREMENTS.
- SEE CIVIL SHEETS FOR SIDEWALK, ROAD PAVING AND FINISH GRADE ELEVATIONS.
- SEE STRUCTURAL SHEETS FOR SIZE AND LOCATION OF CONCRETE PADS, TRENCHES, VAULTS, SUMPS, ETC.
- SEE STRUCTURAL SHEETS FOR CONCRETE AND MASONRY REINFORCEMENT.
- ALL INTERIOR CMU WALLS SHALL BE PROVIDED WITH INSULATION INSERTS (SEE SPEC 04200)
- PATCH AND REPAIR ANY MATERIALS OR SURFACES DAMAGED DURING THE CONSTRUCTION PROCESS TO MATCH THE EXISTING ADJACENT SURFACES.
- ALL ITEMS TO BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL JOINTS, VOIDS AND PENETRATIONS THROUGH FIRE-RATED WALL SYSTEMS ARE TO BE FILLED/SEALED WITH UL APPROVED FIRESTOPPING MATERIALS TO ACHIEVE THE REQUIRED FIRE-RATING (REFER TO CODE DRAWINGS FOR LOCATIONS).
- DO NOT SCALE FROM THE DRAWINGS.
- NOTIFY ARCHITECT IF CONSTRUCTION DOCUMENTS DIFFER FROM ACTUAL FIELD CONDITIONS PRIOR TO FABRICATION OR NEW CONSTRUCTION.
- THIS DRAWING CONTAINS A GENERAL LIST OF SYMBOLS AND ABBREVIATIONS. NOT ALL ITEMS SHOWN HERE APPEAR ON THE CONTRACT DRAWINGS.

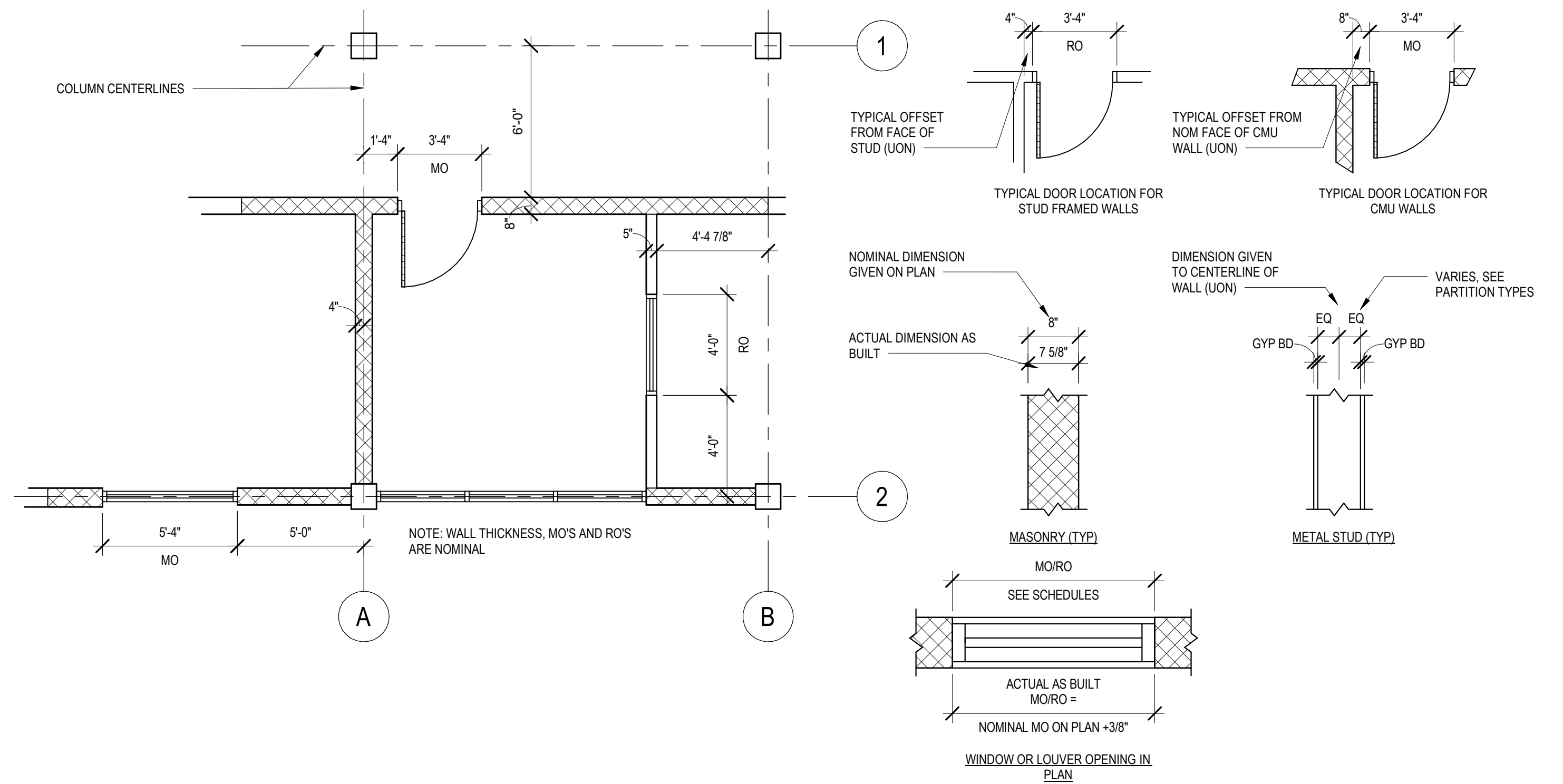
LINE TYPES

- CONTINUOUS - NEW CONSTRUCTION
- DASHED ON CONSTRUCTION PLAN/SHEETS - HIDDEN ELEMENTS BEYOND, ABOVE OR BELOW

MATERIAL SYMBOLS

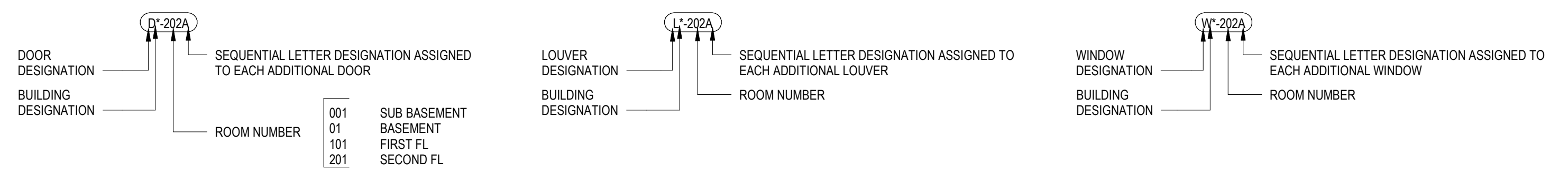
- EARTH
- GRAVEL
- BRICK
- CONCRETE MASONRY UNIT (CMU)
- PRECAST CONCRETE
- CAST-IN-PLACE CONCRETE
- WOOD BLOCKING
- WOOD FINISH
- PLYWOOD
- RIGID INSULATION
- BLANKET INSULATION
- STEEL
- ALUMINUM
- STUCCO / GROUT
- CAULK

DIMENSIONING SYSTEM

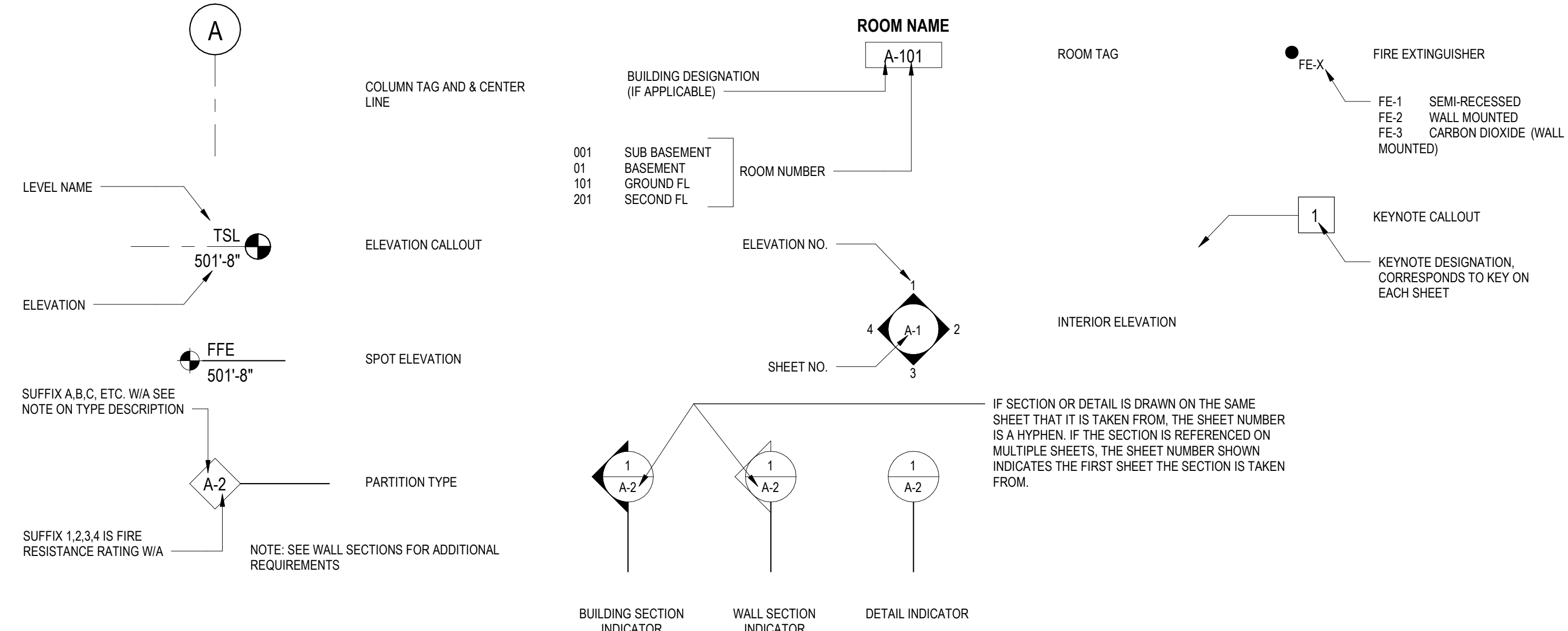


OPENINGS

USUALLY LABELED IN PLAN VIEW; HOWEVER, OPENINGS NOT SHOWN IN PLAN ARE LABELED ON ELEVATIONS



SYMBOLS



© 2018 CDM SMITH. ALL RIGHTS RESERVED. REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED, HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: _____	Designer
DRAWN BY: _____	Author
SHEET CHKD BY: _____	Checker
CROSS CHKD BY: _____	
APPROVED BY: _____	Approver
DATE: _____	DECEMBER 2023

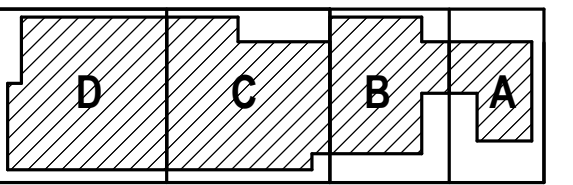
CDM Smith
 101 East River Drive, Suite 1A
 East Hartford, CT 06108
 Tel: (860) 529-7615

WPCA - CITY OF BRIDGEPORT
 205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
WEST SIDE WWTP IMPROVEMENTS

ARCHITECTURAL ABBREVIATIONS AND SYMBOLS

PROJECT NO.	36438-241520
FILE NAME:	AW2001HW
SHEET NO.	A-1

KEY PLAN



KEYNOTE LEGEND

VALUE	DESCRIPTION
23	PROCESS MECH EQUIPMENT, SEE "M" DWGS

PRIMARY TREATMENT

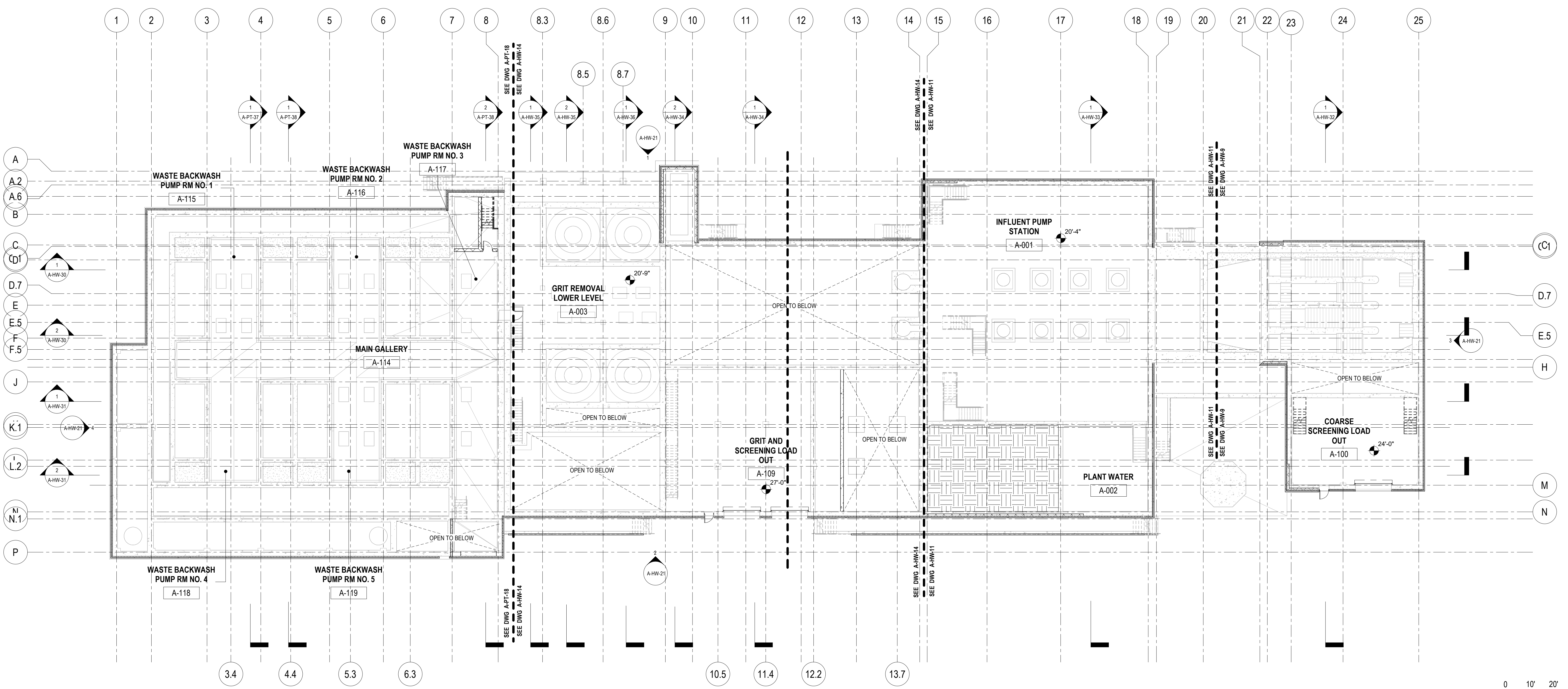
GRIT REMOVAL

FINE SCREENING

INFLUENT PUMPING

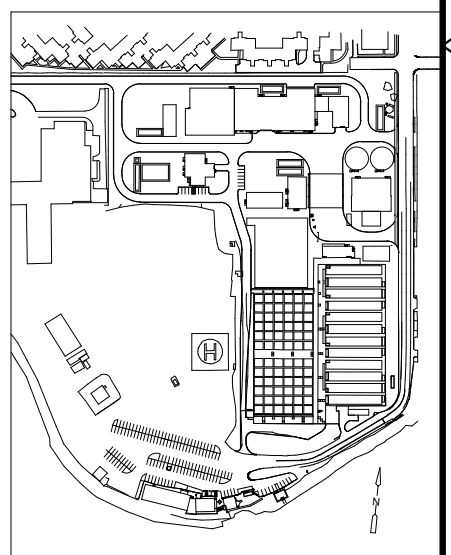
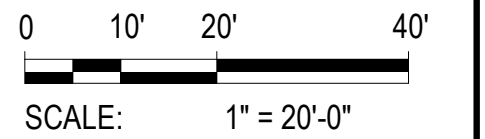
BREEZEWAY

COARSE SCREENING



HEADWORKS OVERALL FLOOR PLAN - EL 27.50

1/16" = 1'-0"



© 2024 CDM SMITH ALL RIGHTS RESERVED. REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

DESIGNED BY:	E ROSA
DRAWN BY:	R DREESE
SHEET CHK'D BY:	B GIORGI
CROSS CHK'D BY:	
APPROVED BY:	B GIORGI
DATE:	DECEMBER 2023

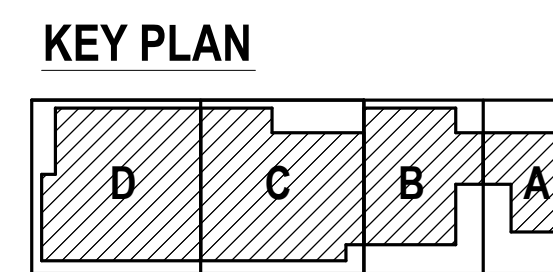
CDM Smith
 101 East River Drive, Suite 1A
 East Hartford, CT 06108
 Tel: (860) 529-7615

WPCA - CITY OF BRIDGEPORT
 205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
 WEST SIDE WWTP IMPROVEMENTS

HEADWORKS BUILDING
 OVERALL FLOOR PLAN I

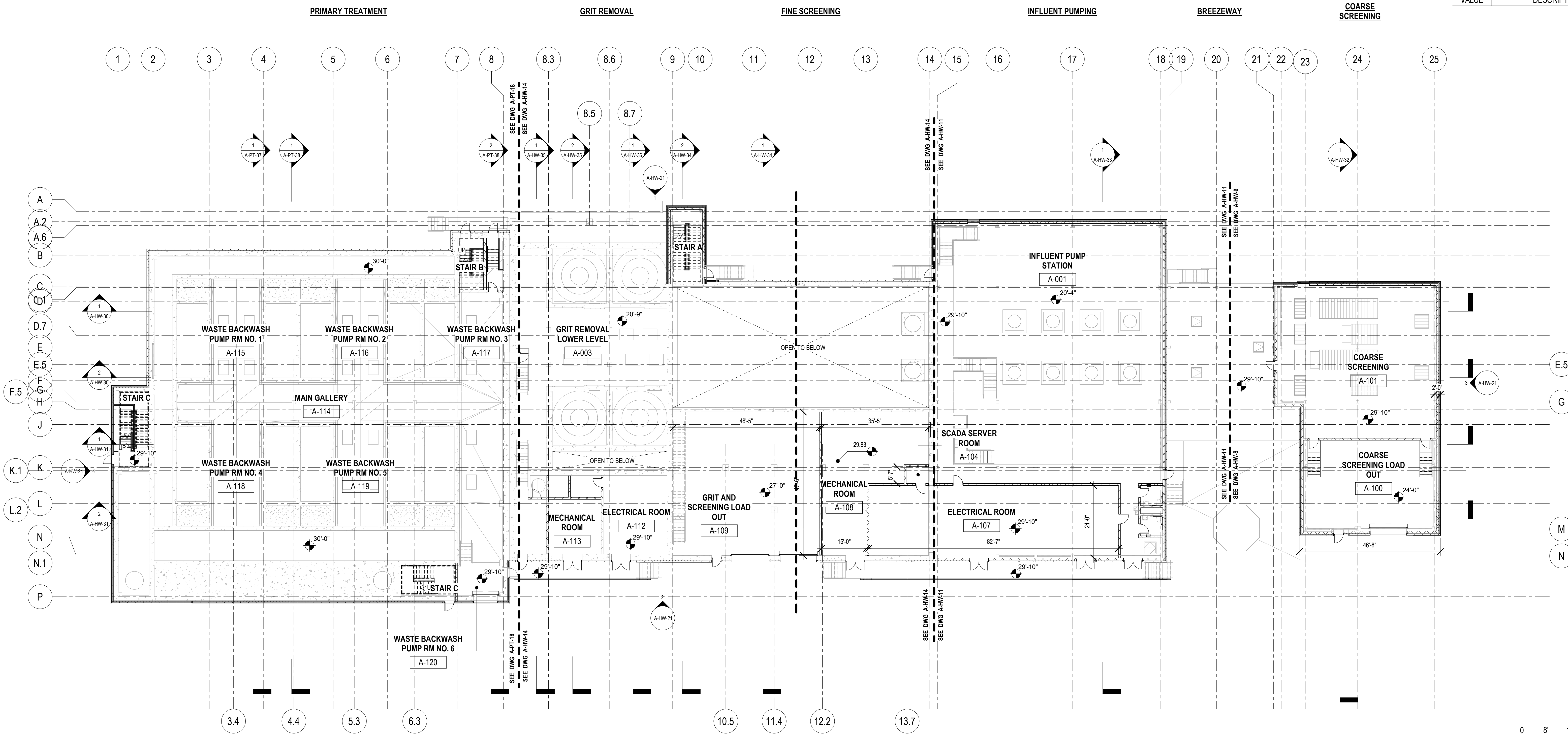
PROJECT NO.	36438-241520
FILE NAME:	AWZ001HW
SHEET NO.	A-HW-4

REV NO.	DATE	DRWN	CHKD	REMARKS

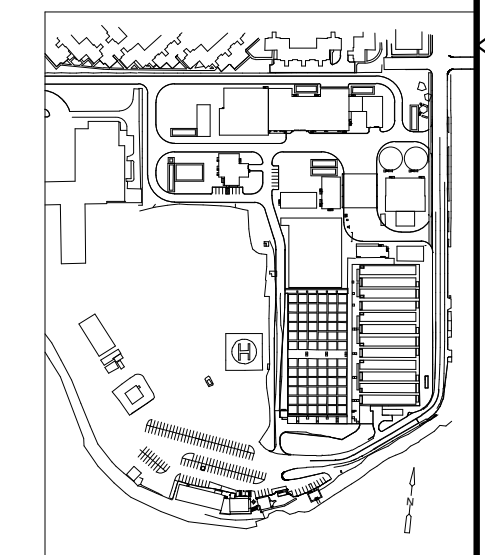
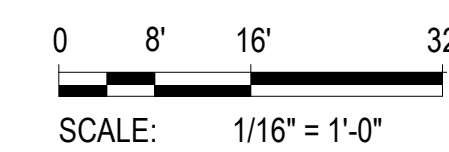


KEYNOTE LEGEND

VALUE	DESCRIPTION
1	
2	
3	



HEADWORKS OVERALL FLOOR PLAN - EL 32.83
1/16" = 1'-0"



© 2024 CDM SMITH ALL RIGHTS RESERVED. REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY:	E. ROSA
DRAWN BY:	R. DREESE
SHEET CHKD BY:	B. GIORGI
CROSS CHKD BY:	
APPROVED BY:	B. GIORGI
DATE:	DECEMBER 2023

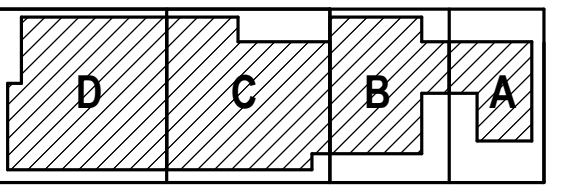
CDM Smith
101 East River Drive, Suite 1A
East Hartford, CT 06108
Tel: (860) 529-7615

WPCA - CITY OF BRIDGEPORT
205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
WEST SIDE WWTP IMPROVEMENTS

**HEADWORKS BUILDING
OVERALL FLOOR PLAN II**

PROJECT NO.	36438-241520
FILE NAME:	AWZ001HW
SHEET NO.	A-HW-5

KEY PLAN



KEYNOTE LEGEND

VALUE	DESCRIPTION
-------	-------------

PRIMARY TREATMENT

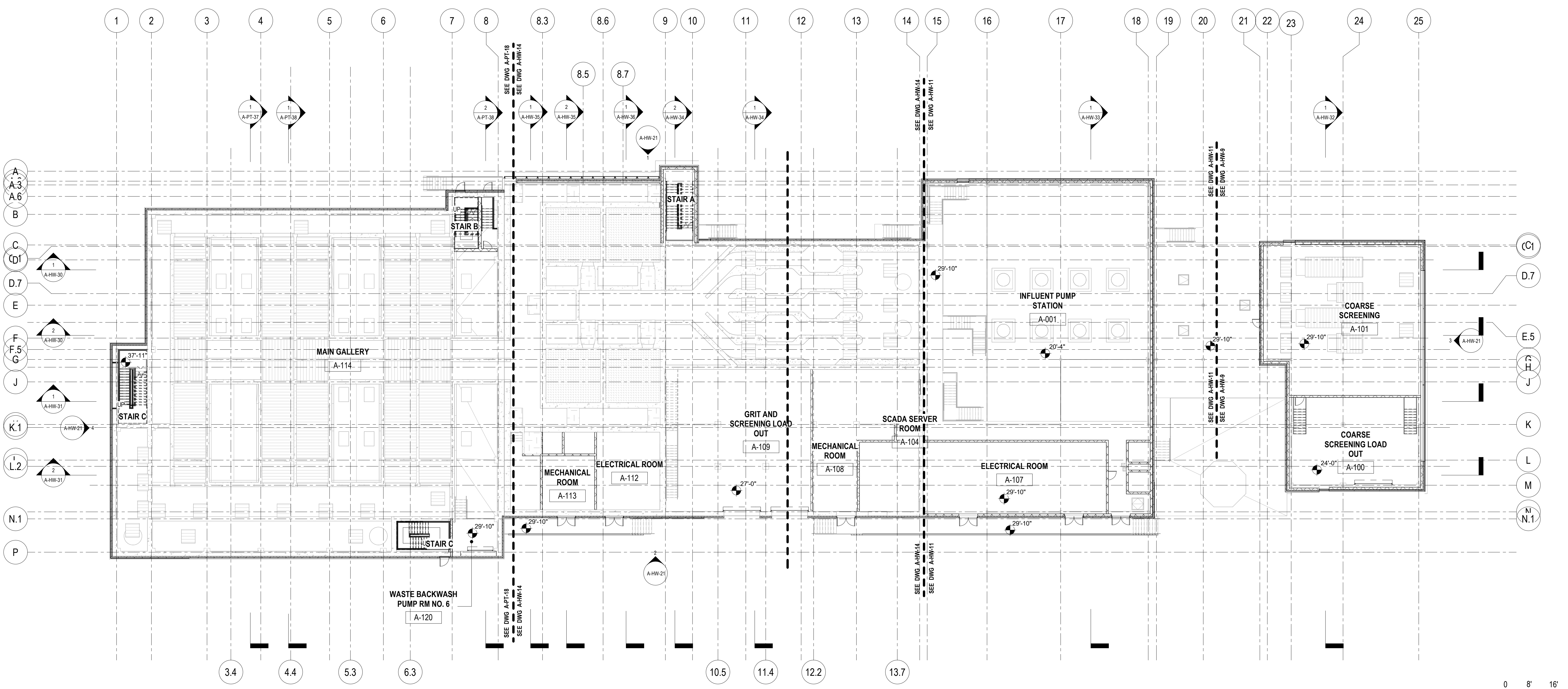
GRIT REMOVAL

FINE SCREENING

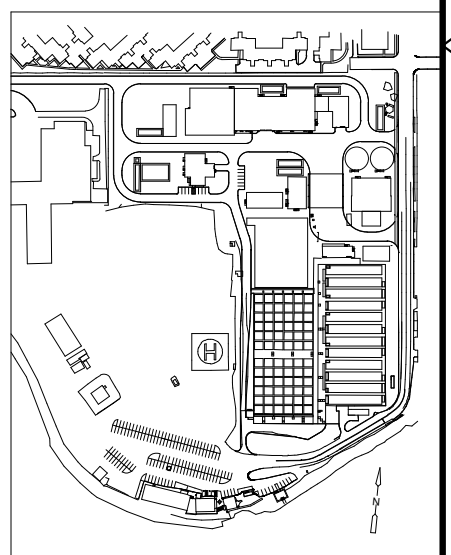
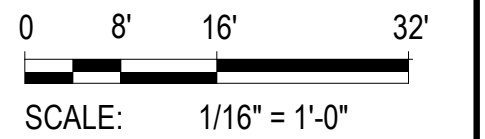
INFLUENT PUMPING

BREEZEWAY

COARSE SCREENING



HEADWORKS OVERALL FLOOR PLAN - EL 40.00
1/16" = 1'-0"



© 2024 CDM SMITH ALL RIGHTS RESERVED. REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY:	E. ROSA
DRAWN BY:	R. DREESE
SHEET CHKD BY:	B. GIORGI
CROSS CHKD BY:	
APPROVED BY:	B. GIORGI
DATE:	DECEMBER 2023

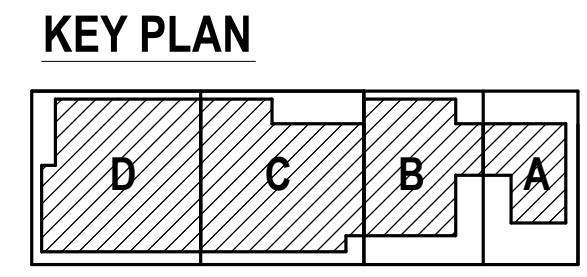
CDM Smith
101 East River Drive, Suite 1A
East Hartford, CT 06108
Tel: (860) 529-7615

WPCA - CITY OF BRIDGEPORT
205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
WEST SIDE WWTP IMPROVEMENTS

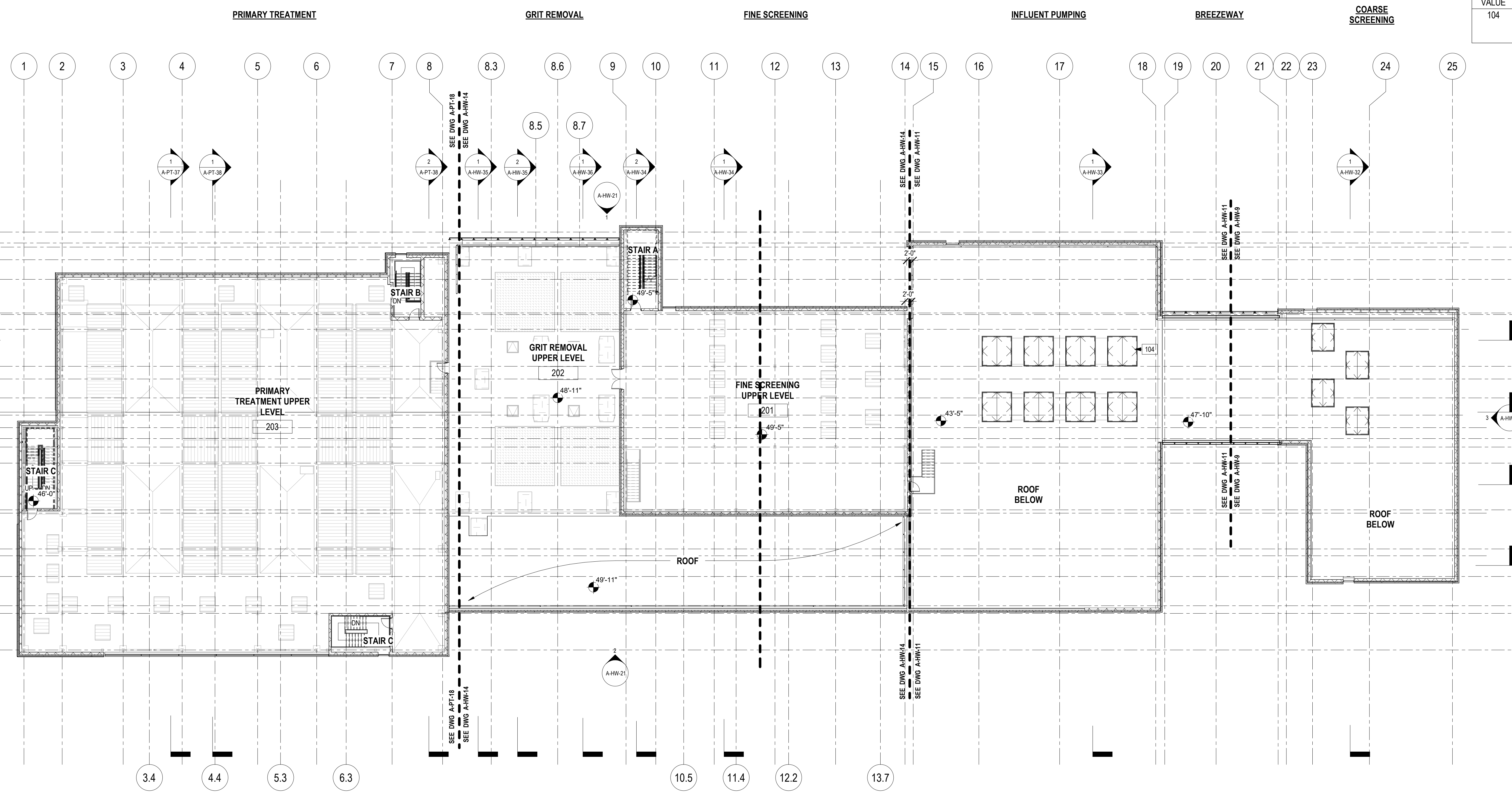
HEADWORKS BUILDING
OVERALL FLOOR PLAN III

PROJECT NO.	36438-241520
FILE NAME:	AWZ001HW
SHEET NO.	A-HW-6

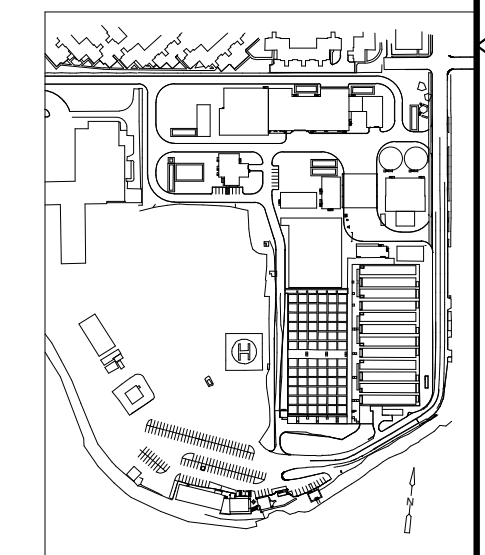
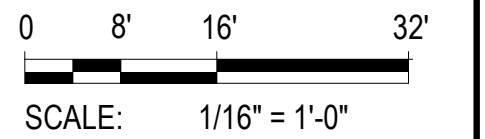
© 2024 CDM SMITH ALL RIGHTS RESERVED. REUSE OF DOCUMENTS: THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



VALUE	DESCRIPTION
104	MEMBRANE ROOFING OVER RIGID INSUL AND STRUCTURAL DECK (MIN R-30)



HEADWORKS OVERALL FLOOR PLAN - EL 52.39
1/16" = 1'-0"



REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: E ROSA	<p>101 East River Drive, Suite 1A East Hartford, CT 06108 Tel: (860) 529-7615</p>
DRAWN BY: R DREESE	
SHEET CHK'D BY: B GIORGI	
CROSS CHK'D BY: B GIORGI	
APPROVED BY: B GIORGI	
DATE: DECEMBER 2023	

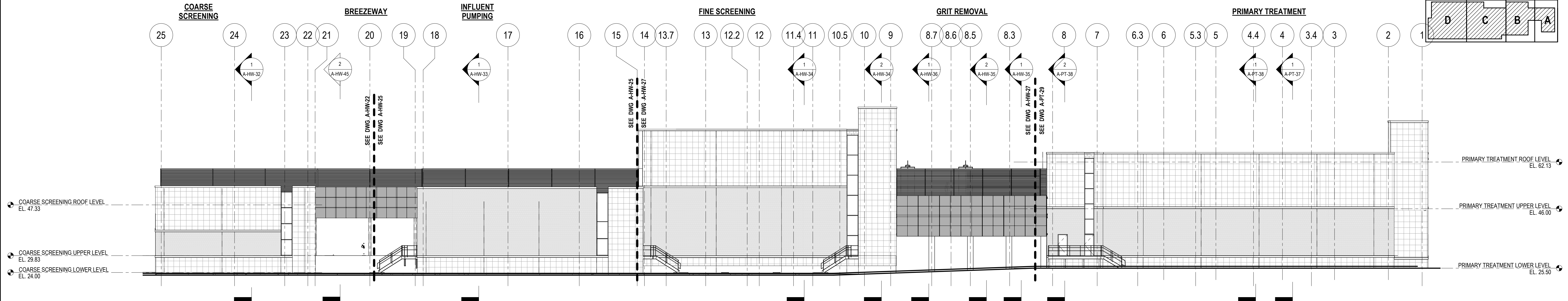
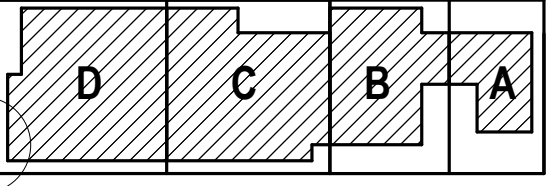
WPCA - CITY OF BRIDGEPORT
205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
WEST SIDE WWTP IMPROVEMENTS

HEADWORKS BUILDING
OVERALL FLOOR PLAN IV

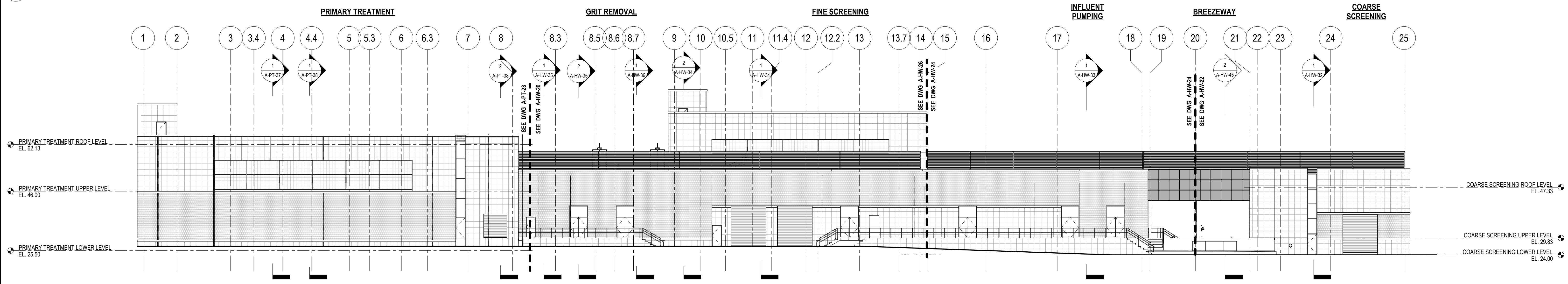
PROJECT NO. 36438-241520
FILE NAME: AWZ001HW
SHEET NO. A-HW-7

© 2024 CDM SMITH ALL RIGHTS RESERVED. REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

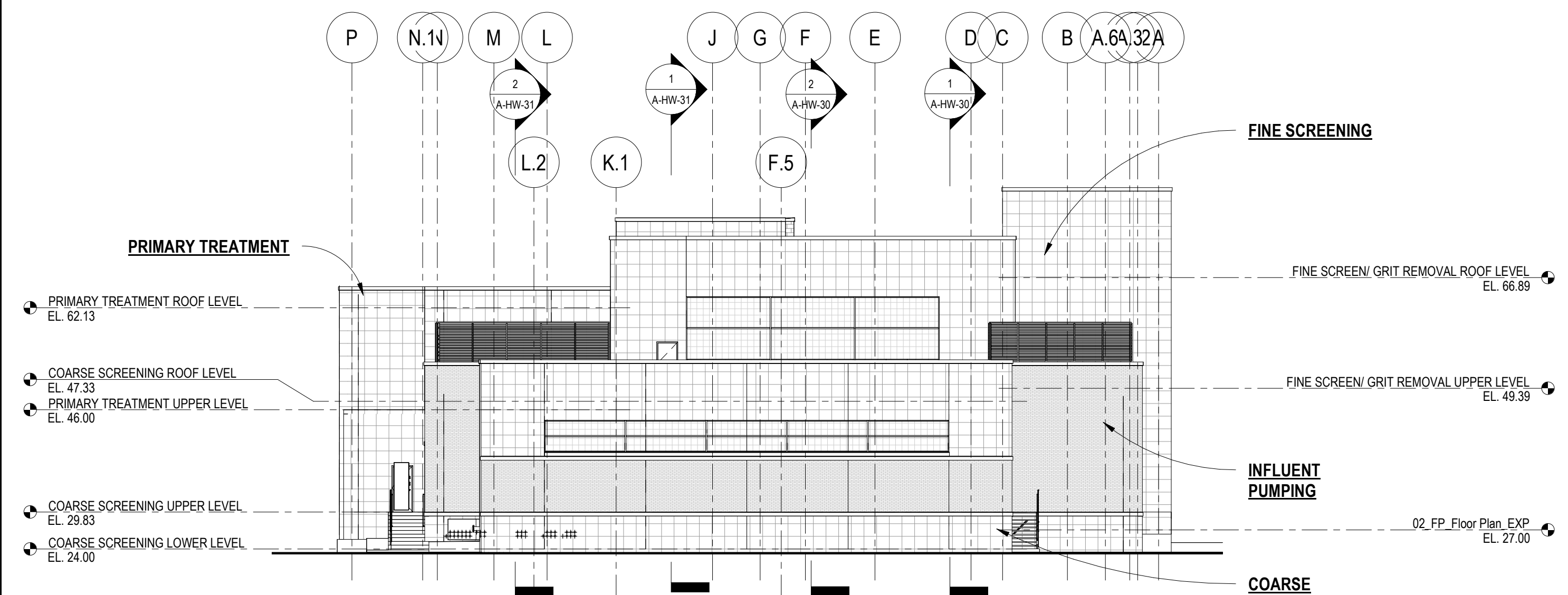
KEY PLAN



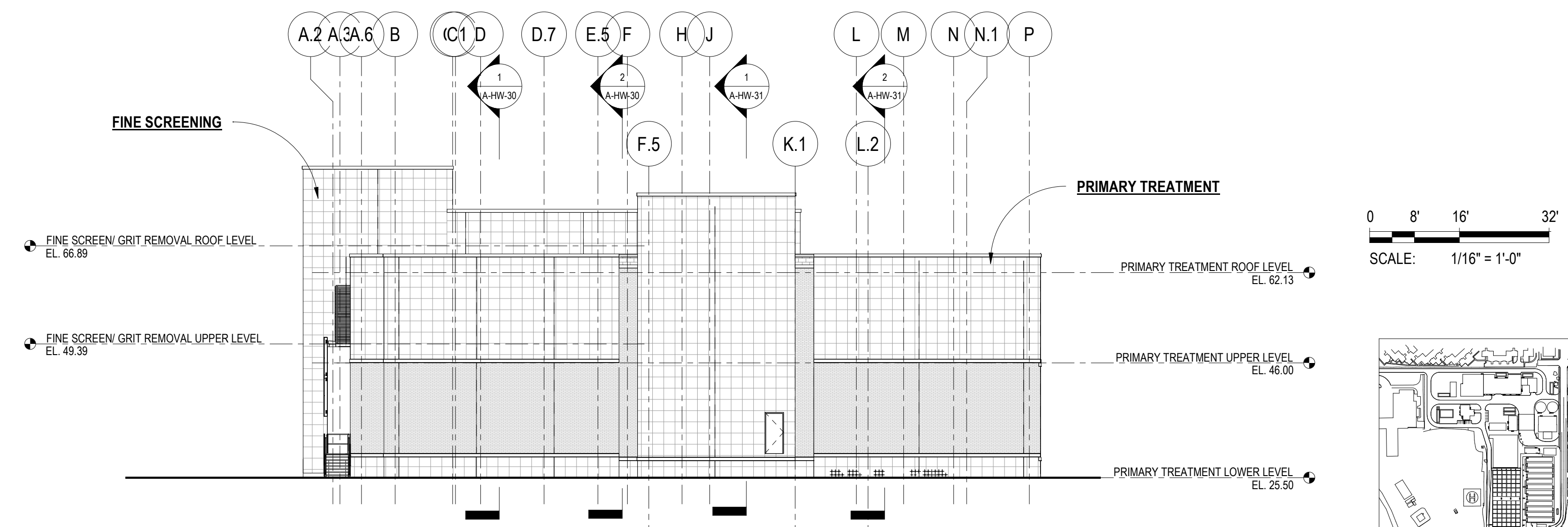
1 EXTERIOR BUILDING ELEVATION - NORTH
A-HW-4 1/16" = 1'-0"



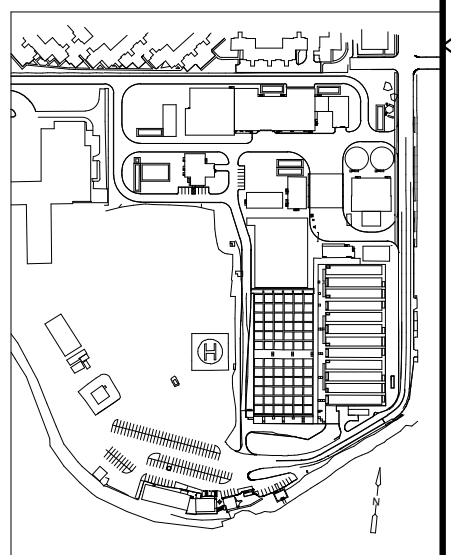
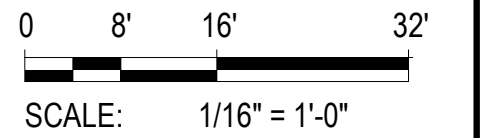
2 OVERALL EXTERIOR BUILDING ELEVATION - SOUTH
A-HW-4 1/16" = 1'-0"



3 OVERALL EXTERIOR BUILDING ELEVATION - EAST
A-HW-4 1/16" = 1'-0"



4 OVERALL EXTERIOR BUILDING ELEVATION - WEST
A-HW-4 1/16" = 1'-0"



REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: E ROSA
 DRAWN BY: R DREESE
 SHEET CHKD BY: B GIORGI
 CROSS CHKD BY: _____
 APPROVED BY: B GIORGI
 DATE: DECEMBER 2023

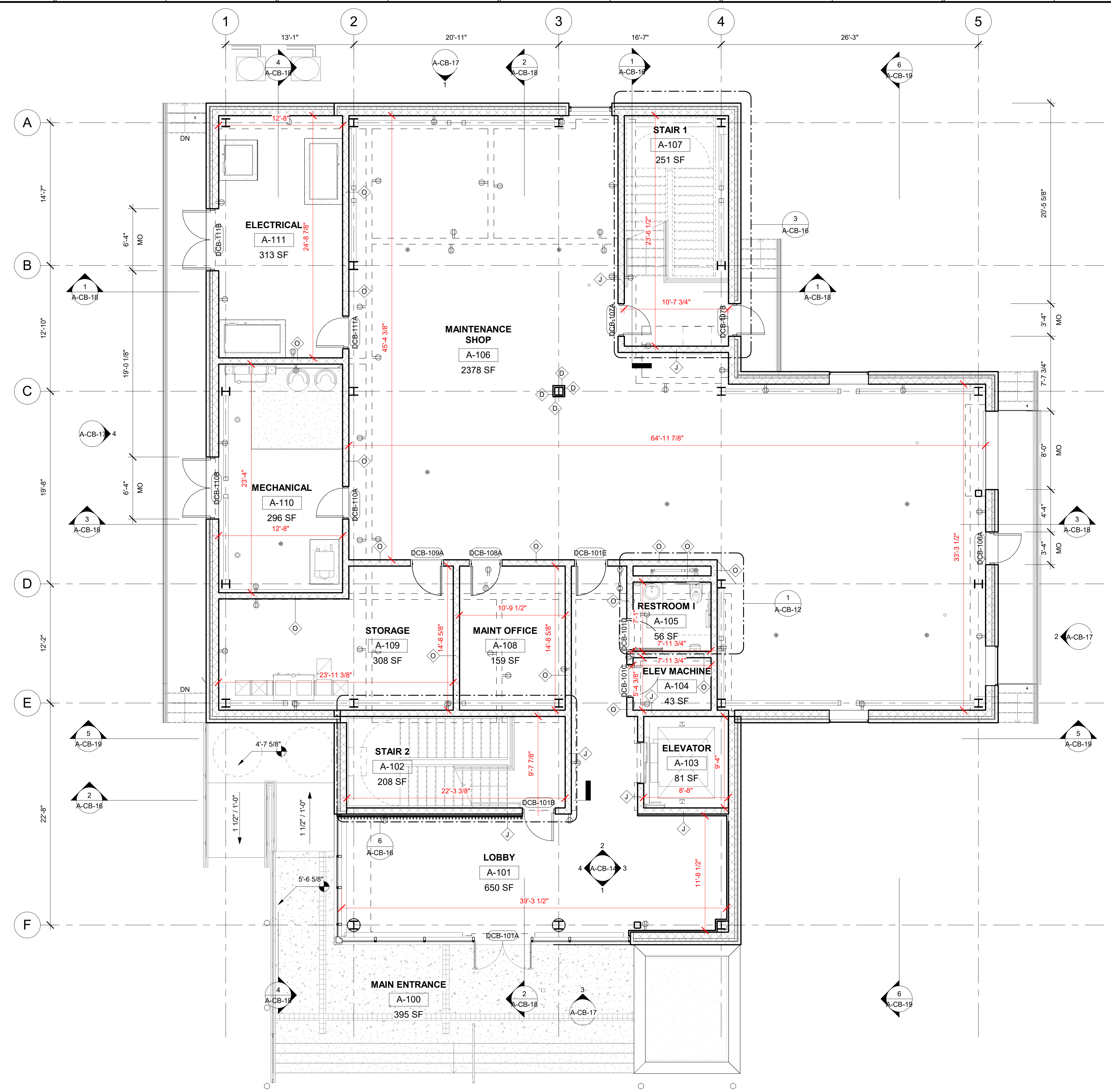
CDM Smith
 101 East River Drive, Suite 1A
 East Hartford, CT 06108
 Tel: (860) 529-7615

WPCA - CITY OF BRIDGEPORT
 205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
WEST SIDE WWTP IMPROVEMENTS

**HEADWORKS BUILDING
 OVERALL BUILDING ELEVATIONS**

PROJECT NO. 36438-241520
 FILE NAME: AWZ001HW
 SHEET NO. **A-HW-21**

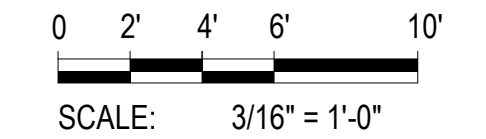
© 2024 CDM SMITH. ALL RIGHTS RESERVED. REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED, HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



GENERAL NOTES

- HEIGHT OF INTERIOR STUD AND CMU PARTITIONS ARE FROM FLOOR TO THE UNDERSIDE OF ROOF DECK UNLESS OTHERWISE NOTED. PROVIDE DEFLECTION HEADS AT TOP OF WALL (TYPICAL).
- NOT ALL EQUIPMENT IS SHOWN FOR CLARITY. REFER TO THE APPROPRIATE DISCIPLINE SHEETS FOR SPECIFIC EQUIPMENT LAYOUT AND OTHER REQUIREMENTS
- SEE CIVIL SHEETS FOR SIDEWALK, ROAD PAVING AND FINISH GRADE ELEVATIONS.
- SEE STRUCTURAL SHEETS FOR SIZE AND LOCATION OF CONCRETE PADS, TRENCHES, VAULTS, SUMPS, ETC
- SEE STRUCTURAL SHEETS FOR CONCRETE AND MASONRY REINFORCEMENT
- ALL INTERIOR CMU WALLS SHALL BE PROVIDED WITH INSULATION INSERTS (SEE SPEC 04200)
- PATCH AND REPAIR ANY MATERIALS OR SURFACES DAMAGED DURING THE CONSTRUCTION PROCESS TO MATCH THE EXISTING ADJACENT SURFACES.
- ALL ITEMS TO BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL JOINTS, VOIDS AND PENETRATIONS THROUGH FIRE-RATED WALL SYSTEMS ARE TO BE FILLED/SEALED WITH UL APPROVED FIRESAFING/FIRESTOPPING MATERIALS TO ACHIEVE THE REQUIRED FIRE-RATING (REFER TO CODE DRAWINGS FOR LOCATIONS).
- DO NOT SCALE FROM THE DRAWINGS
- NOTIFY ARCHITECT IF CONSTRUCTION DOCUMENTS DIFFER FROM ACTUAL FIELD CONDITIONS PRIOR TO FABRICATION OR NEW CONSTRUCTION
- THIS DRAWING CONTAINS A GENERAL LIST OF SYMBOLS AND ABBREVIATIONS. NOT ALL ITEMS SHOWN HERE APPEAR ON THE CONTRACT DRAWINGS.

1 CONTROL BUILDING -FIRST FLOOR PLAN
A-CB-16 3/16" = 1'-0"



REV. NO.	DATE	DRWN	CHKD	REMARKS

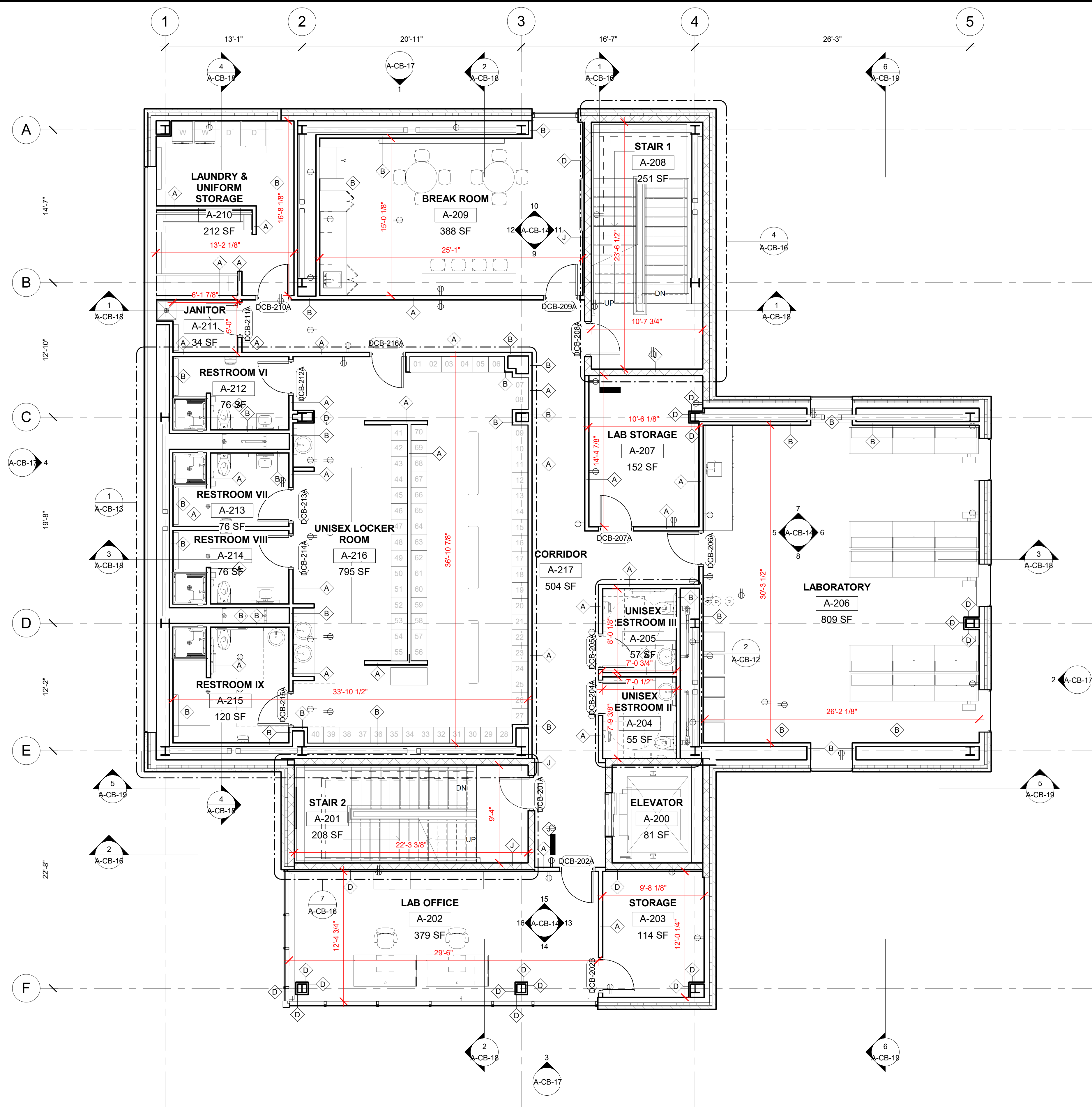
DESIGNED BY: Z KANE
 DRAWN BY: R.DREESE
 SHEET CHK'D BY: E.ROSA
 CROSS CHK'D BY: _____
 APPROVED BY: _____
 DATE: MARCH 2024



WPCA - CITY OF BRIDGEPORT
 205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
 WEST SIDE WWTP IMPROVEMENTS

**CONTROL BUILDING
 FIRST FLOOR PLAN**

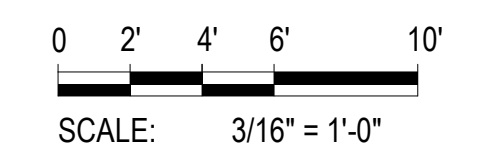
PROJECT NO. 36438-241520
 FILE NAME:
 SHEET NO. **A-CB-2**



GENERAL NOTES

- HEIGHT OF INTERIOR STUD AND CMU PARTITIONS ARE FROM FLOOR TO THE UNDERSIDE OF ROOF DECK UNLESS OTHERWISE NOTED. PROVIDE DEFLECTION HEADS AT TOP OF WALL (TYPICAL).
- NOT ALL EQUIPMENT IS SHOWN FOR CLARITY. REFER TO THE APPROPRIATE DISCIPLINE SHEETS FOR SPECIFIC EQUIPMENT LAYOUT AND OTHER REQUIREMENTS
- SEE CIVIL SHEETS FOR SIDEWALK, ROAD PAVING AND FINISH GRADE ELEVATIONS.
- SEE STRUCTURAL SHEETS FOR SIZE AND LOCATION OF CONCRETE PADS, TRENCHES, VAULTS, SUMPS, ETC
- SEE STRUCTURAL SHEETS FOR CONCRETE AND MASONRY REINFORCEMENT
- ALL INTERIOR CMU WALLS SHALL BE PROVIDED WITH INSULATION INSERTS (SEE SPEC 04200)
- PATCH AND REPAIR ANY MATERIALS OR SURFACES DAMAGED DURING THE CONSTRUCTION PROCESS TO MATCH THE EXISTING ADJACENT SURFACES.
- ALL ITEMS TO BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL JOINTS, VOIDS AND PENETRATIONS THROUGH FIRE-RATED WALL SYSTEMS ARE TO BE FILLED/SEALED WITH UL APPROVED FIRESAFING/FIRESTOPPING MATERIALS TO ACHIEVE THE REQUIRED FIRE-RATING (REFER TO CODE DRAWINGS FOR LOCATIONS).
- DO NOT SCALE FROM THE DRAWINGS
- NOTIFY ARCHITECT IF CONSTRUCTION DOCUMENTS DIFFER FROM ACTUAL FIELD CONDITIONS PRIOR TO FABRICATION OR NEW CONSTRUCTION
- THIS DRAWING CONTAINS A GENERAL LIST OF SYMBOLS AND ABBREVIATIONS. NOT ALL ITEMS SHOWN HERE APPEAR ON THE CONTRACT DRAWINGS.

1 CONTROL BUILDING - SECOND FLOOR PLAN
A-CB-16 3/16" = 1'-0"



© 2024 CDM SMITH. ALL RIGHTS RESERVED. REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

DESIGNED BY: Z. KANE
 DRAWN BY: R. DREESE
 SHEET CHKD BY: E. ROSA
 CROSS CHKD BY:
 APPROVED BY: *[Signature]*
 DATE: MARCH 2024

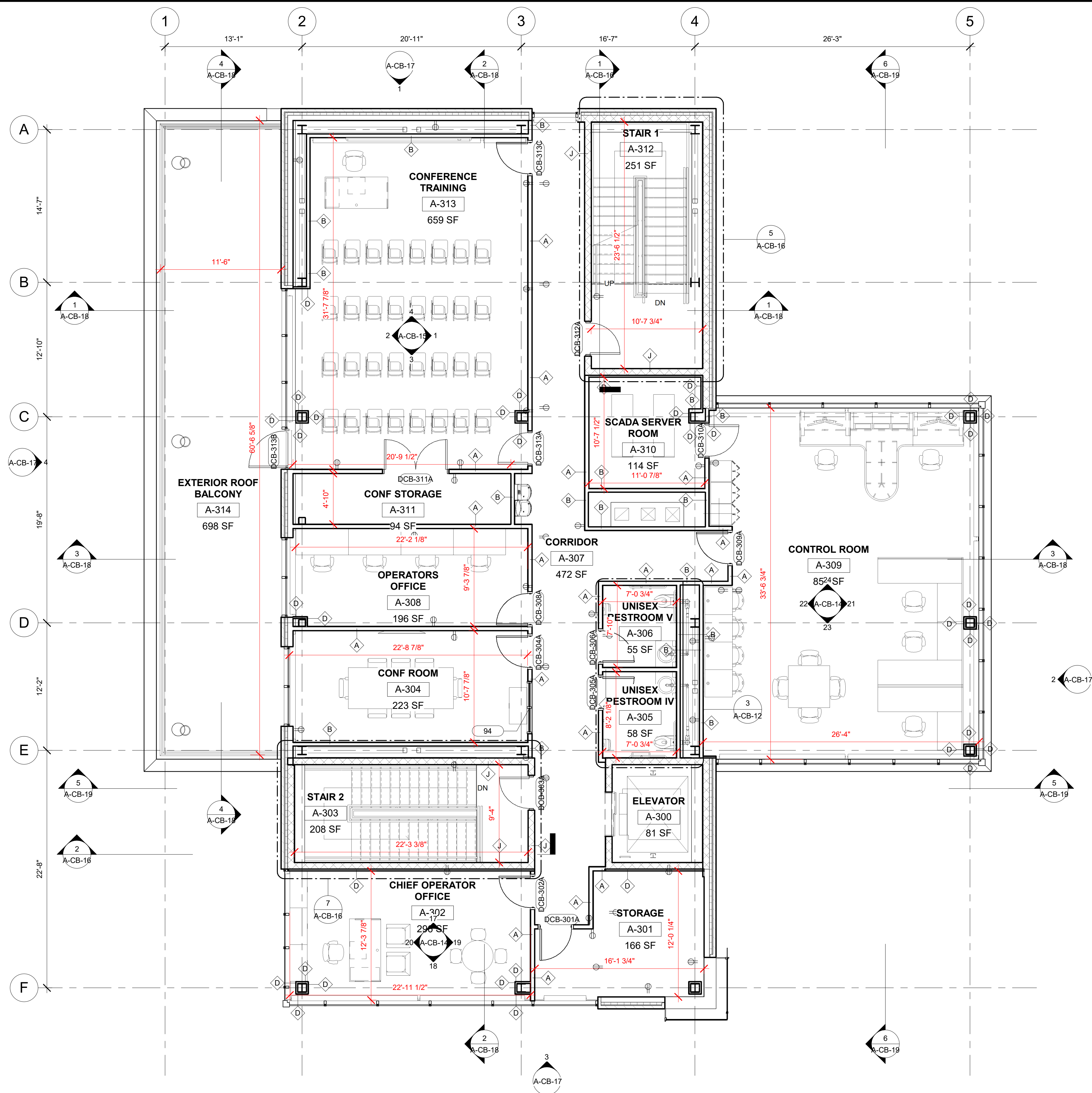


WPCA - CITY OF BRIDGEPORT
 205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
 WEST SIDE WWTP IMPROVEMENTS

**CONTROL BUILDING
 SECOND FLOOR PLAN**

PROJECT NO. 36438-241520
 FILE NAME:
 SHEET NO. **A-CB-3**

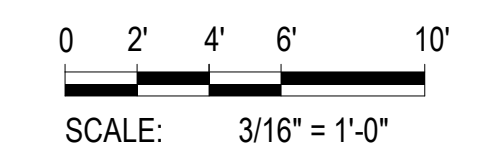
REV. NO.	DATE	DRWN	CHKD	REMARKS



GENERAL NOTES

- HEIGHT OF INTERIOR STUD AND CMU PARTITIONS ARE FROM FLOOR TO THE UNDERSIDE OF ROOF DECK UNLESS OTHERWISE NOTED. PROVIDE DEFLECTION HEADS AT TOP OF WALL (TYPICAL).
- NOT ALL EQUIPMENT IS SHOWN FOR CLARITY. REFER TO THE APPROPRIATE DISCIPLINE SHEETS FOR SPECIFIC EQUIPMENT LAYOUT AND OTHER REQUIREMENTS
- SEE CIVIL SHEETS FOR SIDEWALK, ROAD PAVING AND FINISH GRADE ELEVATIONS.
- SEE STRUCTURAL SHEETS FOR SIZE AND LOCATION OF CONCRETE PADS, TRENCHES, VAULTS, SUMPS, ETC
- SEE STRUCTURAL SHEETS FOR CONCRETE AND MASONRY REINFORCEMENT
- ALL INTERIOR CMU WALLS SHALL BE PROVIDED WITH INSULATION INSERTS (SEE SPEC 04200)
- PATCH AND REPAIR ANY MATERIALS OR SURFACES DAMAGED DURING THE CONSTRUCTION PROCESS TO MATCH THE EXISTING ADJACENT SURFACES.
- ALL ITEMS TO BE NEW UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL JOINTS, VOIDS AND PENETRATIONS THROUGH FIRE-RATED WALL SYSTEMS ARE TO BE FILLED/SEALED WITH UL APPROVED FIRESAFING/FIRESTOPPING MATERIALS TO ACHIEVE THE REQUIRED FIRE-RATING (REFER TO CODE DRAWINGS FOR LOCATIONS).
- DO NOT SCALE FROM THE DRAWINGS
- NOTIFY ARCHITECT IF CONSTRUCTION DOCUMENTS DIFFER FROM ACTUAL FIELD CONDITIONS PRIOR TO FABRICATION OR NEW CONSTRUCTION
- THIS DRAWING CONTAINS A GENERAL LIST OF SYMBOLS AND ABBREVIATIONS. NOT ALL ITEMS SHOWN HERE APPEAR ON THE CONTRACT DRAWINGS.

1 CONTROL BUILDING - THIRD FLOOR PLAN
 A-CB-16 3/16" = 1'-0"



© 2024 CDM SMITH. ALL RIGHTS RESERVED. REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED, HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.

DESIGNED BY: Z. KANE
 DRAWN BY: R. DREESE
 SHEET CHK'D BY: E. ROSA
 CROSS CHK'D BY:
 APPROVED BY: [Signature]
 DATE: MARCH 2024



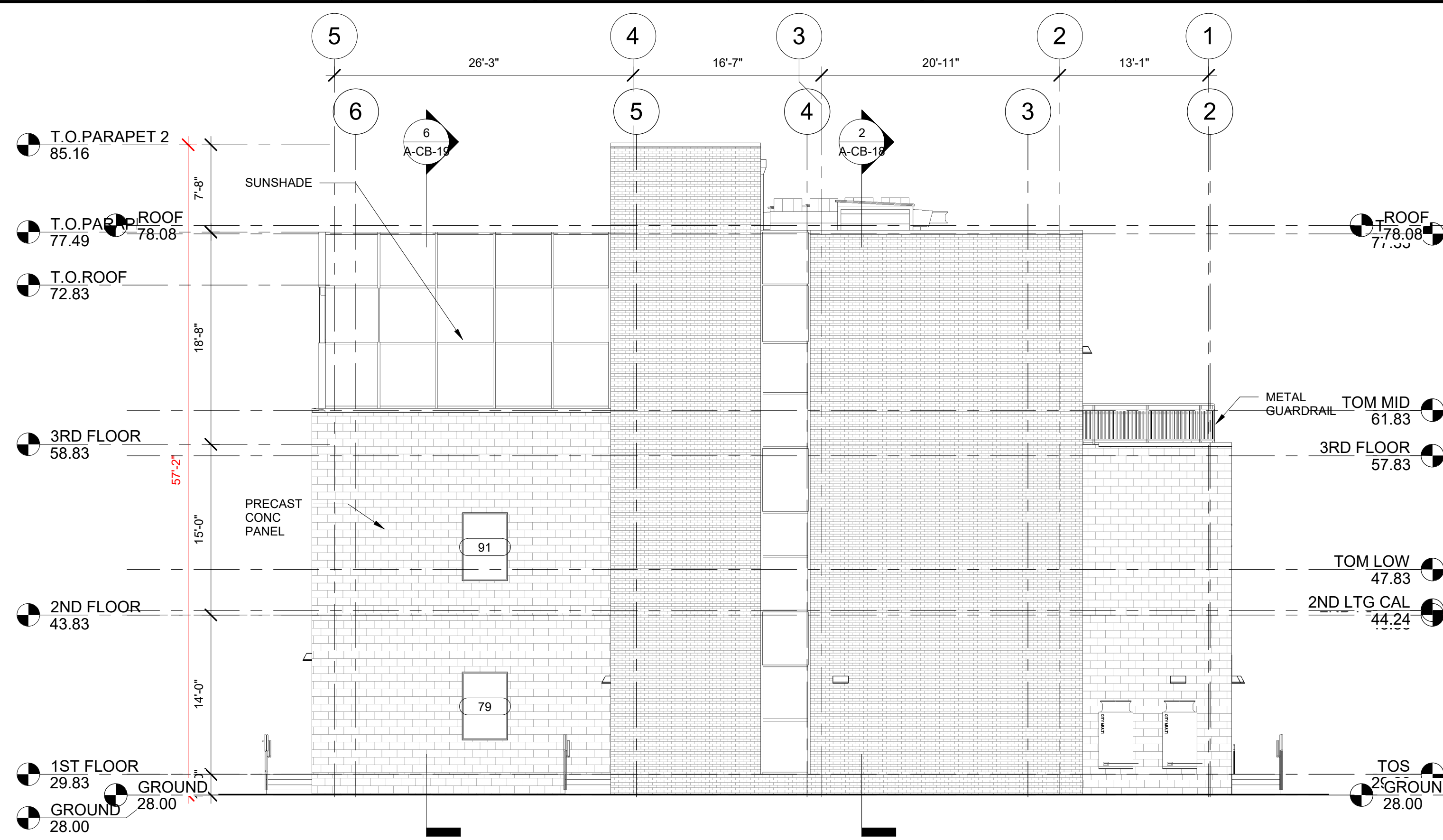
WPCA - CITY OF BRIDGEPORT
 205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
 WEST SIDE WWTP IMPROVEMENTS

CONTROL BUILDING
THIRD FLOOR PLAN

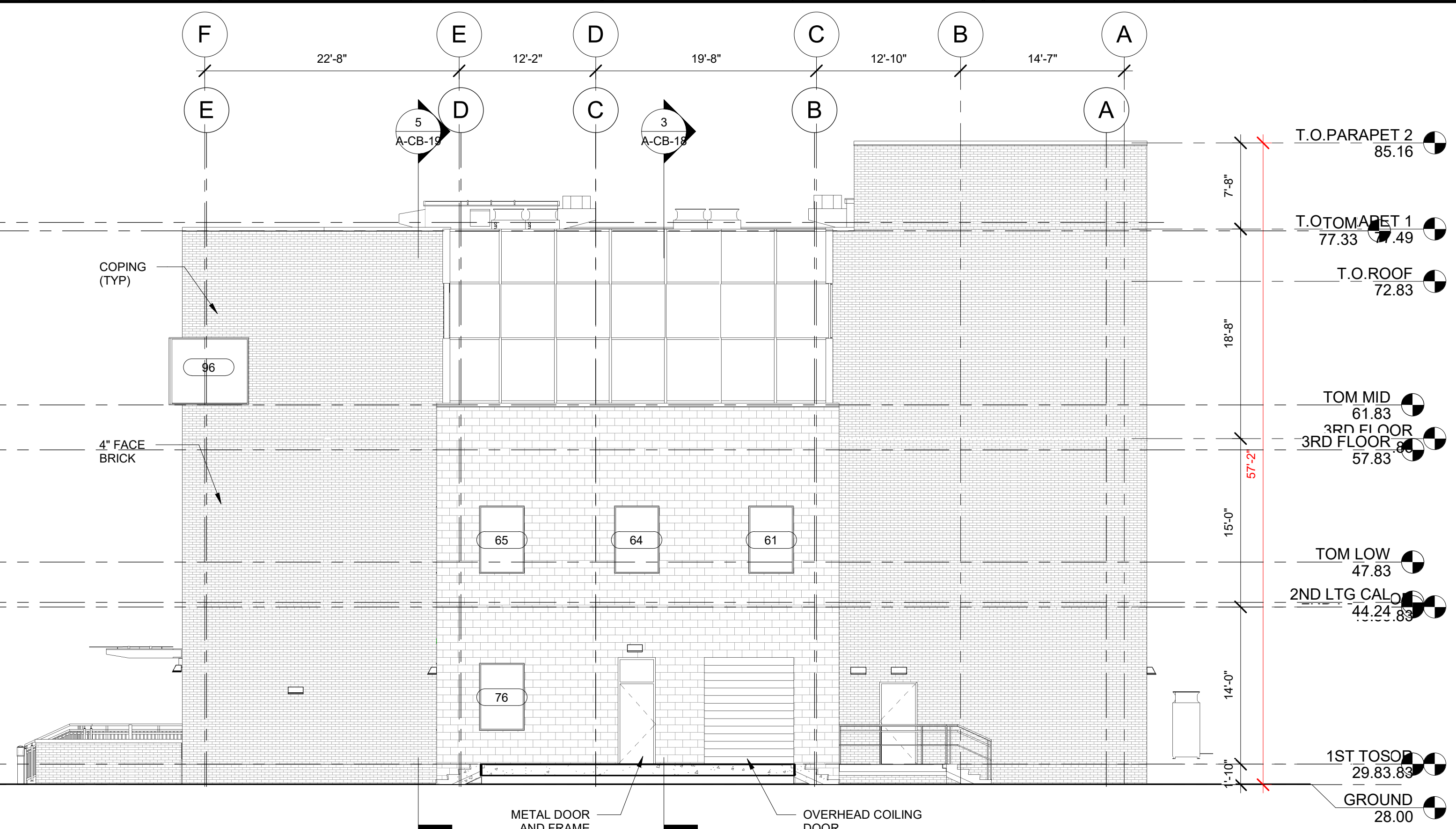
PROJECT NO. 36438-241520
 FILE NAME:
 SHEET NO. A-CB-4

REV. NO.	DATE	DRWN	CHKD	REMARKS

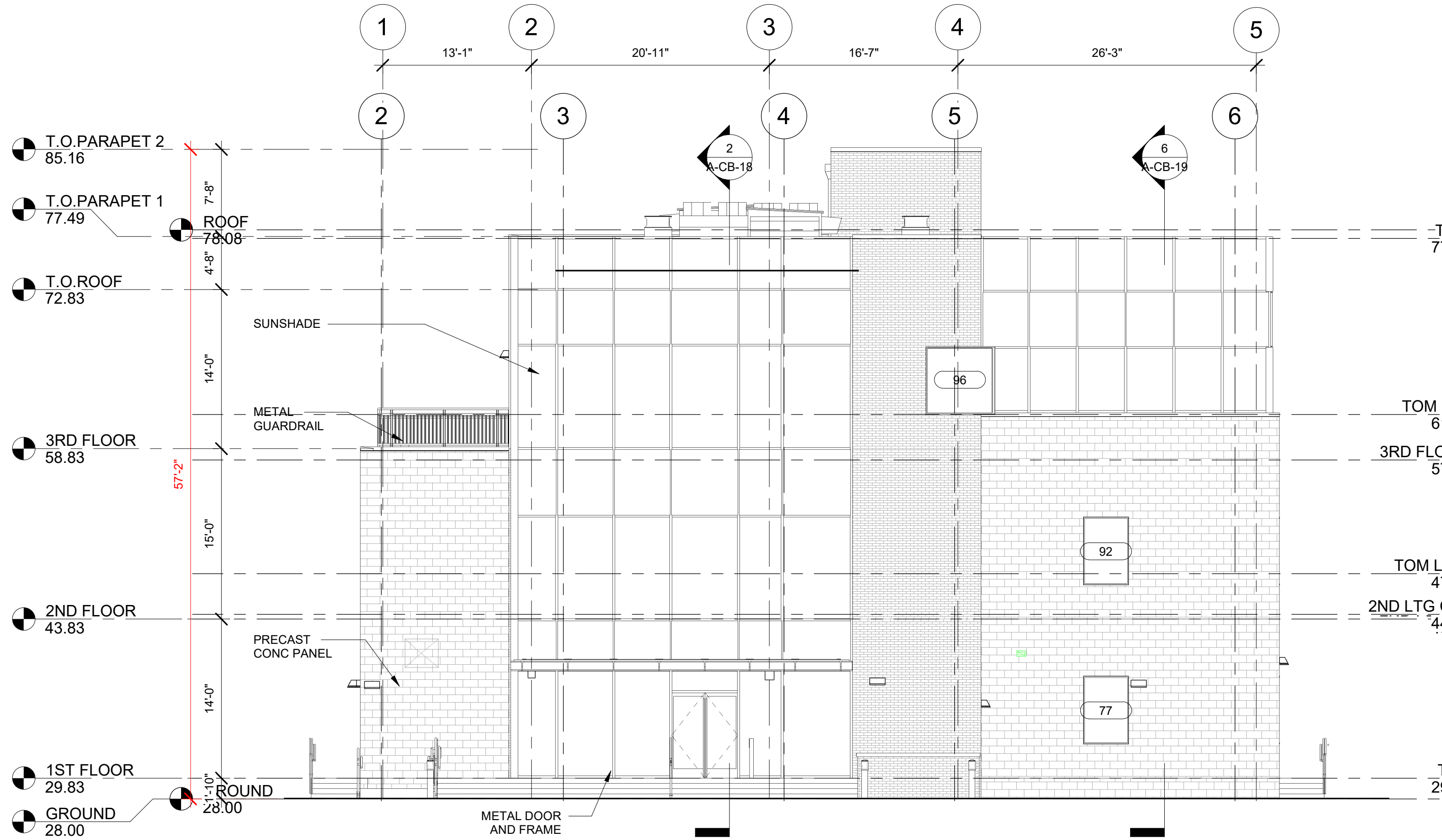
© 2024 CDM SMITH. ALL RIGHTS RESERVED. REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



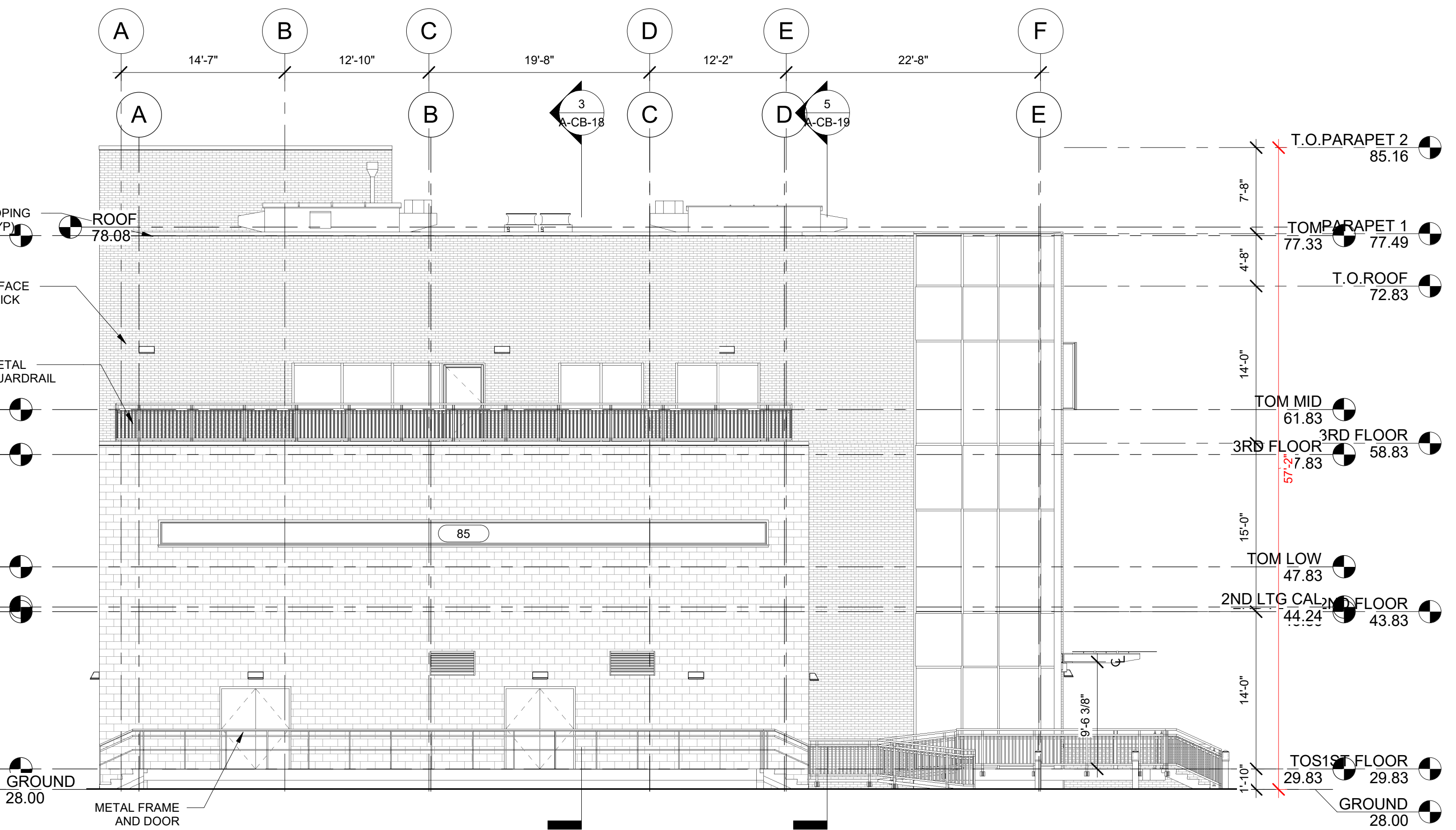
1 ELEVATION
NORTH
A-CB-2 1/8" = 1'-0"



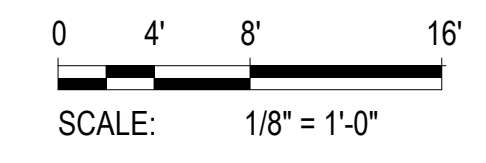
2 ELEVATION
EAST
A-CB-2 1/8" = 1'-0"



3 ELEVATION
SOUTH
A-CB-2 1/8" = 1'-0"



4 ELEVATION
WEST
A-CB-2 1/8" = 1'-0"



REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: Z. KANE
 DRAWN BY: R. DREESE
 SHEET CHK'D BY: E. ROSA
 CROSS CHK'D BY: _____
 APPROVED BY: _____
 DATE: MARCH 2024



WPCA - CITY OF BRIDGEPORT
 205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
 WEST SIDE WWTP IMPROVEMENTS

**CONROL BUILDING
 BUILDING ELEVATIONS I**

PROJECT NO. 36438-241520
 FILE NAME:
 SHEET NO. A-CB-17

© 2024 CDM SMITH. ALL RIGHTS RESERVED. REUSE OF DOCUMENTS, THESE DOCUMENTS AND DESIGNS PROVIDED BY PROFESSIONAL SERVICE, INCORPORATED HEREIN, ARE THE PROPERTY OF CDM SMITH AND ARE NOT TO BE USER, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CDM SMITH.



RENDER 01



RENDER 02



RENDER 03



RENDER 04



RENDER 05



RENDER 06



RENDER 07

REV. NO.	DATE	DRWN	CHKD	REMARKS

DESIGNED BY: Z. KANE
 DRAWN BY: R. DREESE
 SHEET CHK'D BY: E. ROSA
 CROSS CHK'D BY: _____
 APPROVED BY: APPROVER
 DATE: MARCH 2024



WPCA - CITY OF BRIDGEPORT
 205 BOSTWICK AVENUE, BRIDGEPORT CT 06605
 WEST SIDE WWTP IMPROVEMENTS

CONTROL BUILDING
 3D RENDERINGS

PROJECT NO. 36438-241520
 FILE NAME:
 SHEET NO.
A-CB-26

PETITION TO THE BOARD OF APPEALS
City of Bridgeport, Connecticut

The undersigned presents the following petition for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

371 & 378 East Main Street

Zone NX3 Row House
(Zone Classification)

On the South side of the Nichols street about 0 feet East & West from
(North, South, East, West) (North, South, East, West)

East Main Street

Block : 36/808
36/825

Lot: 2
21

Dimension of Lot in Question Nichols St. 483', Pembroke St. 45', State Highway Line, East Main St. 143' + Nichols St. 104', East Main St. 165', State Highway Line 184', State Highway Line 103'

1. NAME OF PETITIONER / BUSINESS Eaton Enterprises, LLC

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Developer

3. HAS ANY PREVIOUS PETITION BEEN FILED? No IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Sub-Divide site for Development of 29 lots for 2 bedroom Townhouses

5. THIS PETITION RELATES TO: Check all that Apply
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: Primary Street Wall of 85% min. for 4 of the 29 lots

6. USE TO BE MADE OF PROPERTY Townhouses on individual lots

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? The 85% primary street wall is not practicable when a driveway or other unusable land is incorporated in to the lot.

PETITIONER *Patrick M. Rose* / Patrick M. Rose DATE 7/12/2024
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) Architect / prose@rosetiso.com
(Email)

Mailing Address 35 Brentwood Avenue, Fairfield, CT 06825 203-610-6262
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail! (use separate sheet if necessary).
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for The Zoning Board of Appeals to process this petition.
NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____



ZONING BOARD OF APPEALS
APPLICATION CHECKLIST
CITY OF BRIDGEPORT
203-576-7217

Required Information

- All items must be submitted in sets of (11) Eleven
- All plans & drawings must be full size (24"x36"), drawn to scale and in a PROFESSIONAL manner and must include a title block noting the name, address & telephone number of preparer.
- Site Development Plan prepared in accordance with Sec. 14-2-3b of the Bridgeport Zoning Regulations. Include the Zone Development Standards table indicating both required as well as the proposed Standards.
- Elevation views of a proposed new structure or elevation views of an existing building where an addition or change is proposed.
- Floor plan of building(s) or section of building(s) being considered by the Board.
(All sets FOLDED DOWN to 8" x 12")
- A Design Standard submission for new developments.
- A written statement citing the specific provision(s) of the Regulations from which the variance is sought.
- A list of the names & addresses of all property owners within 100 ft of all property lines of the subject property. The Tax Assessor's Office (Room 105) can assist with this information or visit the COB website: <http://gis.cdm.com/BridgeportCT/map.htm>
- All applications must include the following:
 - a) Mailing address & zip code of petitioner or authorized agent.
 - b) Daytime telephone number of petitioner or authorized agent.
 - c) Signature of owner(s) & applicant(s)
 - d) Filing fee - cash, check or money order payable to the ZONING BOARD OF APPEALS or BPT. ZBA.
- All items submitted must be saved and properly installed on a USB flash drive. The information on the USB flash drive must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also must be labelled with the property address and the date of hearing. All plans and paper work that is submitted to the zoning office must be FOLDED (8"x12" or smaller) and Collated into 11 separate packets.

- Notes:
1. Applications that do not provide ALL of the above required information will be considered "incomplete" and will be not be accepted. Applications will be limited to the first 10 submitted, regardless of the submission deadline.
 2. No application will be assigned for a public hearing until such time as the City Engineering Department has reviewed and submitted comments to the Zoning Office.
 3. A Use Variance approval by the Z.B.A. requires a Site Plan Review by the Planning & Zoning Commission as set forth in Section 14-2-2. This approval may be in addition to other requirements of the Zoning Regulations. All required approvals must be obtained prior to the use and/or development of any parcel granted a Variance.
 4. Proposed signs are not accepted as part of any petition. Signage is regulated under Sec. 11-7 of the Zoning Regulations.

Applicant's Signature

Date

Reviewers Initials

Date



Multi-Family Housing, East Main Street & Nichols Street, Bridgeport, CT

Project Overview:

The project site is located in two parcels one at 378 East Main Street and one at 371 East Main Street in Bridgeport, Connecticut.

The proposed project involves the sub-division of the 1.769Ac. properties into 29 building lots for two bedroom Row Houses with common access to parking in the rear of the buildings. The Row Houses will be clustered in six, five, four and three unit Row House buildings. Development will include buildings, driveways, utilities and parking area. Project requires approval for Municipal Coastal Site Plan Review.

Current application:

The current Zone is NX3 Mixed Residential 1 Zone and the Building Type being used for Zone is Row Building. The Row House units shall have an entry at street level a minimum of 18" above grade, an entrance in the rear and garage entry in the rear. Each Row House shall be two bedroom, two and one half baths with a one car garage and parking space behind garage. Each lot shall be serviced by electrical, water, gas & sewer. Due to 3.70.4 Item 2 requires that 85% of the street frontage be occupied by a building we require a waiver for two townhouses that have a driveway adjacent and two townhouses that have extra land at the corner of East Main Street & Nichols Street due to the irregular shape of the lot in this location.

371 East Main Street

Parcel_ID	LOCATION	SLH_OWN_NA	SLH_CO_(SLH_OWN_AD	SLH_CITY	SLH_STT	SLH_ZIP
825-21	378 EAST MAIN ST	BLD-WF LLC	10 EAST MAIN ST STE 201	BRIDGEPORT	CT	06608
824-6	245 NICHOLS ST #247	RIVERA SAMUEL	245 NICHOLS ST #247	BRIDGEPORT	CT	06608-2708
824-3	432 EAST MAIN ST #438	432 EAST MAIN LLC	48 DELAWARE RD	EASTON	CT	06612
809-11A	439 EAST MAIN ST #449	2068 MAIN LLC	4403 15TH AVE SUITE 215	BROOKLYN	NY	11219
824-1	458 EAST MAIN ST #464	FOCUS POINTE LLC	24 LINDEN STREET	MANHASSETT	NY	11030

378 East Main Street

Parcel_ID	LOCATION	SLH_OWN_NA	SLH_CO_OWN	SLH_OWN_AD	SLH_CITY	SLH_STT	SLH_ZIP
839-3	353 NICHOLS ST #359	STILLMAN & NICHOLS LLC		565 ELLSWORTH AVE	NEW HAVEN	CT	06511
808-2	371 EAST MAIN ST #377	BLD-WF LLC		10 EAST MAIN STREET SUITE 201	BRIDGEPORT	CT	06608
839-2	444 PEMBROKE ST #446	RODRIGUEZ JOSE F JR	NATALIE ACEVEDO	444 PEMBROKE ST #446	BRIDGEPORT	CT	06608-2603
824-12	441 PEMBROKE ST	REBOIRA RAYMOND		441 PEMBROKE ST	BRIDGEPORT	CT	06608
809-10	411 EAST MAIN ST #425	EAST MAIN ST		320 QUINNIPIAC AVE SUITE 4F	NEW HAVEN	CT	06513
824-3	432 EAST MAIN ST #438	432 EAST MAIN LLC		48 DELAWARE RD	EASTON	CT	06612
824-7B	263 NICHOLS ST	HOUSING AUTHORITY CITY OF BPT		376 EAST WASHINGTON AVE	BRIDGEPORT	CT	06608
809-11A	439 EAST MAIN ST #449	2068 MAIN LLC		4403 15TH AVE SUITE 215	BROOKLYN	NY	11219
839/2A							

NOTES

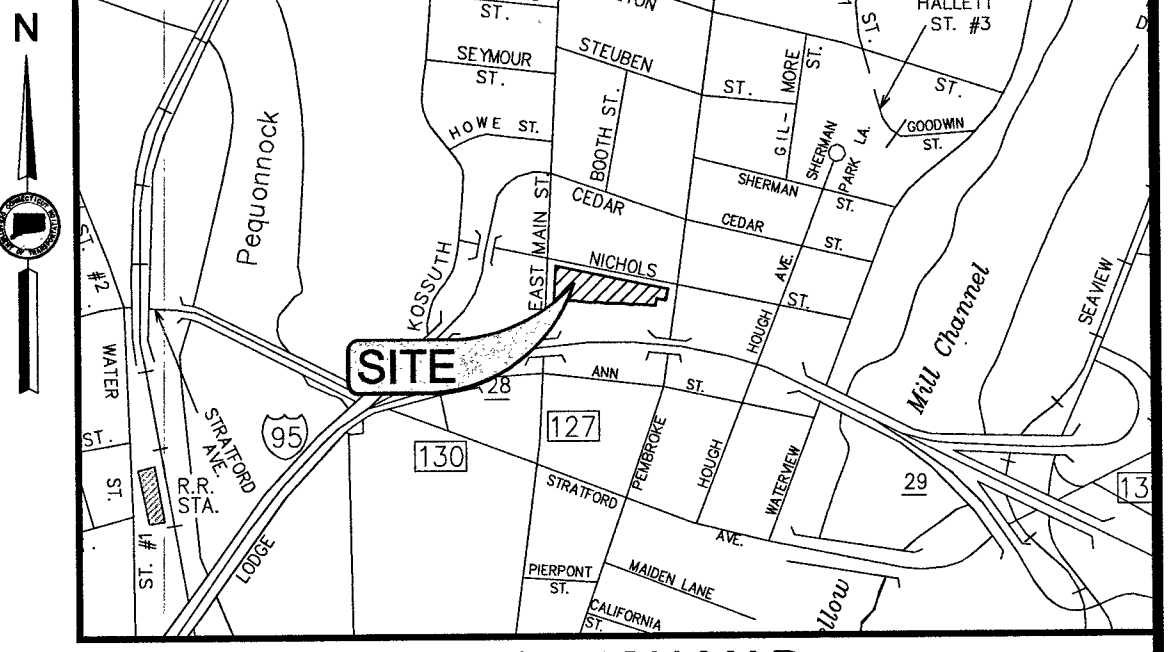
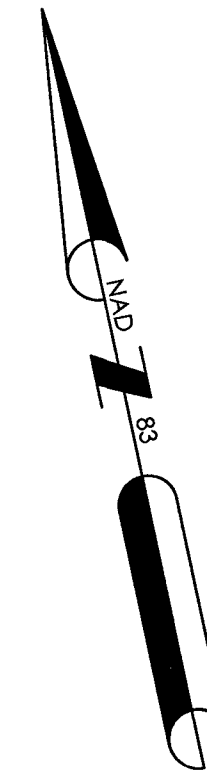
- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A **PROPERTY SURVEY** AND **TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND TOPOGRAPHIC ACCURACY CLASS **T-2** AND IS INTENDED FOR **CONVEYANCE** PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
- HORIZONTAL COORDINATES REFER TO THE CONNECTICUT COORDINATE SYSTEM OF 1983 (NAD83). ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - MAP ENTITLED "CONNECTICUT, DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS, RIGHT OF WAY MAP, TOWN OF BRIDGEPORT, CONNECTICUT TURNPIKE FROM THE FAIRFIELD-BRIDGEPORT TOWN LINE EASTERLY TO THE BRIDGEPORT-STRATFORD TOWN LINE" SCALE: 1" = 80', DATED AUGUST 19, 1974; LAST REVISED 12/20/96 PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AS MAP NUMBER 15-03, SHEET 7 OF 9 AND FOUND ON FILE IN THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION DISTRICT 3 SURVEYS.
 - MAP ENTITLED "TOWN OF BRIDGEPORT, MAP SHOWING LAND ACQUIRED FROM LEONARD RICCIO ET ALS. BY THE STATE OF CONNECTICUT, GREENWICH-KILLINGLY EXPRESSWAY, SCALE: 1" = 40', DATED JANUARY 1955, PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AS MAP NUMBER 15, PROJECT 31, SHEET 1 OF 1 AND FOUND ON FILE IN THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION DISTRICT 3 SURVEYS.
 - CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 825**

NOTES-Continued

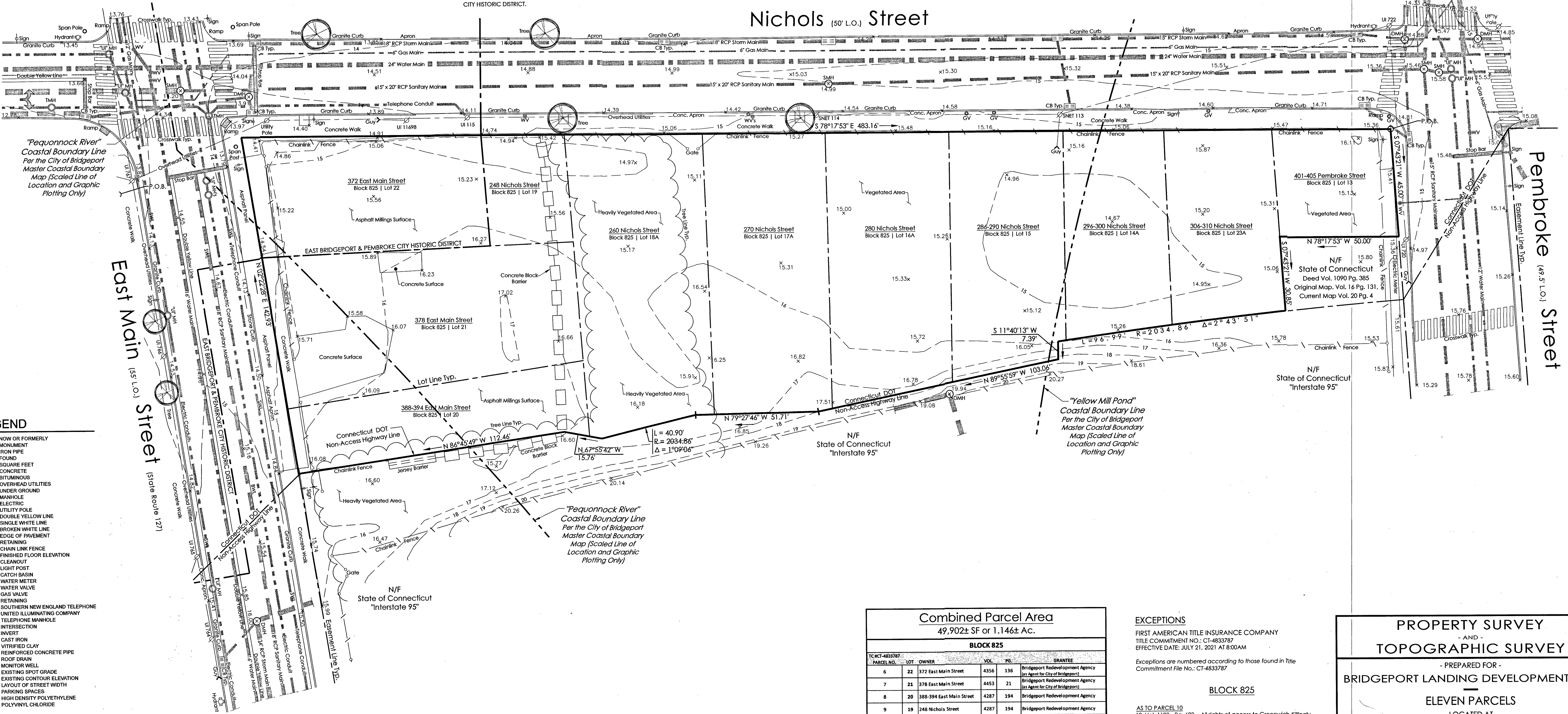
- REFERENCE TO OTHER INSTRUMENTS:
 - BLOCK 825**
VOL. 1123 PG. 623 260 NICHOLS STREET - WAIVE AND RELINQUISHES ALL RIGHTS OF ACCESS... (MAP VOL. 20 PG. 60) (LOT 18A)
VOL. 1113 PG. 29 270 NICHOLS STREET - DENIAL OF ACCESS TO EXPRESSWAY BY CERTIFICATE OF CONDEMNATION... (MAP VOL. 19 PG. 15) (LOT 17A)
VOL. 1120 PG. 537 280 NICHOLS STREET - WAIVE AND RELINQUISHES ALL RIGHTS OF ACCESS... (MAP VOL. 19 PG. 14) (LOT 16A)
VOL. 1122 PG. 65 296-300 NICHOLS STREET - WAIVE AND RELINQUISHES ALL RIGHTS OF ACCESS... (MAP VOL. 18 PG. 92) (LOT 14A)
VOL. 1145 PG. 630 306-310 NICHOLS STREET - DENIAL OF ACCESS TO EXPRESSWAY BY CERTIFICATE OF CONDEMNATION... (MAP VOL. 18 PG. 96) (LOT 23A)
 - ASSESSOR'S REFERENCE:
MAP 36 | BLOCK 825 | LOTS 13, 14A, 15, 16A, 17A, 18A, 19, 20, 21, 22, 23A
 - PARCEL IS LOCATED WITHIN THE **O-R** ZONING DISTRICT.
 - SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **441G** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF NUMBER **090022** PANEL **0411** SUPPLX G, MAP NUMBER **09010441G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)**.

NOTES-Continued

- PARCELS DEPICTED HEREON ARE LOCATED WITHIN THE PEQUONNOK RIVER AND THE YELLOW MILL CHANNEL COASTAL BOUNDARY - RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT SHEET 3 OF 4, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- RECORD MAPS, DEEDS, AND OTHER DRAWINGS IN THE FILES OF VARIOUS DEPARTMENTS OF THE CITY OF BRIDGEPORT EVIDENCE DISCREPANCIES, IN SOME CASES SIGNIFICANT, WITH RESPECT TO LINES OF TITLE (INCLUDING STREET LINES) DISCREPANCIES HAVE BEEN FOUND WITH THE LINES OF TITLE EVIDENCED IN THE DOCUMENTS REFERENCED HEREIN AND DO NOT NECESSARILY AGREE WITH PINS, PIPES, MONUMENTS, ETC., FOUND OR WITH OTHER PHYSICAL EVIDENCE FOUND. THE CITY OF BRIDGEPORT HAS ESTABLISHED STREET LINES IN THE SUBJECT AREA; HOWEVER, ORIGINAL MONUMENTATION HAS BEEN REMOVED OR NOT FOUND. THE PROPERTY LINES, INCLUDING THE STREET LINES DEPICTED AND NOTED HEREON REPRESENT THE APPARENT "BEST FIT" OF THESE CONFLICTING ELEMENTS AND ARE CONSIDERED TO BE THOSE WHICH ARE TO BE MOST LIKELY CORRECT AND ARE SUBJECT TO ANY REVISION OR CORRECTION WHICH MAY BE REQUIRED BY APPROPRIATE LEGAL PROCEEDINGS OR BY DISCOVERY OF ADDITIONAL INFORMATION.
- IT IS UNDERSTOOD THE PARCEL(S) DEPICTED HEREON MAY BE SUBJECT, BUT NOT LIMITED TO, ADDITIONAL EASEMENTS, COVENANTS, DECLARATIONS, RESTRICTIONS OF ANY KIND AND RIGHTS TO OTHERS AS MAY APPEAR ON RECORD AND/OR IN PRIVATE.
- LOT 22 IN BLOCK 825 IS LOCATED WITHIN THE EAST BRIDGEPORT AND PEMBROKE CITY HISTORIC DISTRICT.



LOCATION MAP
SCALE: 1" = 800'



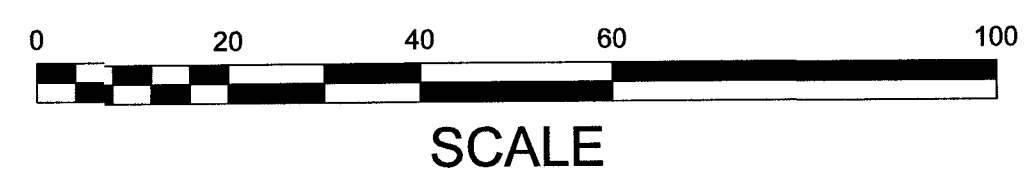
LEGEND

N/F	NOW OR FORMERLY
MON.	MONUMENT
I.P.	IRON PIPE
FND.	FOUND
S.F.	SQUARE FEET
CONC.	CONCRETE
BIT.	BITUMINOUS
OHU	OVERHEAD UTILITIES
UG	UNDER GROUND
MH	MANHOLE
ELEC.	ELECTRIC
U	UTILITY POLE
DYL	DOUBLE YELLOW LINE
SWL	SINGLE WHITE LINE
BWL	BROKEN WHITE LINE
EDP	EDGE OF PAVEMENT
RET.	RETAINING
CLF	CHAIN LINK FENCE
FFE	FINISHED FLOOR ELEVATION
C.O.	CLEANOUT
LP	LIGHT POST
CB	CATCH BASIN
WM	WATER METER
WV	WATER VALVE
GV	GAS VALVE
RET.	RETAINING
SNET	SOUTHERN NEW ENGLAND TELEPHONE
UI	UNITED ILLUMINATING COMPANY
TMH	TELEPHONE MANHOLE
INT.	INTERSECTION
INV.	INVERT
C.I.	CAST IRON
V.C.	VITRIFIED CLAY
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
MW	MONITOR WELL
x 8.65	EXISTING SPOT GRADE
-100-	EXISTING CONTOUR ELEVATION
L.O.	LAYOUT OF STREET WIDTH
(2)	PARKING SPACES
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYLCHLORIDE
(X)	EXISTING DECIDUOUS TREE
(O)	EXISTING CONIFER TREE

SCALE: 1"=20'
FIELD FILE: steelpointe_north_survey.rw5
PROJECT NO.: CD1478
DATE: February 2, 2021
CAD FILE: Steelpointe North PS.dwg
SHEET 1 OF 1
REV: Attorney Comments 09-22-2021



CERTIFICATION TO
This survey is made for the benefit of:
Title Company: First American Title Insurance Company
Additional Parties: Bridgeport Landing, LLC and BLD-WF, LLC
To the best of my knowledge and belief this map is substantially correct as noted here.



Combined Parcel Area
49,902± SF or 1.146± Ac.

BLOCK 825					
PARCEL NO.	LOT	OWNER	VDL	PG.	GRANTEE
6	22	372 East Main Street	4356	136	Bridgeport Redevelopment Agency (as Agent for City of Bridgeport)
7	21	378 East Main Street	4453	21	Bridgeport Redevelopment Agency (as Agent for City of Bridgeport)
8	20	388-394 East Main Street	4287	194	Bridgeport Redevelopment Agency
9	19	248 Nichols Street	4287	194	Bridgeport Redevelopment Agency (as Agent for City of Bridgeport)
10	18A	260 Nichols Street	4323	96	Bridgeport Redevelopment Agency (as Agent for City of Bridgeport)
11	17A	270 Nichols Street	4310	69	Bridgeport Redevelopment Agency
12	16A	280 Nichols Street	4299	197	Bridgeport Redevelopment Agency
13	15	286-290 Nichols Street	4299	195	Bridgeport Redevelopment Agency
14	14A	296-300 Nichols Street	4299	190	Bridgeport Redevelopment Agency
15	23A	306-310 Nichols Street	4299	188	Bridgeport Redevelopment Agency
16	13	401-405 Pembroke Street	4323	90	Bridgeport Redevelopment Agency (as Agent for City of Bridgeport)

EXCEPTIONS
FIRST AMERICAN TITLE INSURANCE COMPANY
TITLE COMMITMENT NO.: CT-4833787
EFFECTIVE DATE: JULY 21, 2021 AT 8:00AM

Exceptions are numbered according to those found in Title Commitment File No.: CT-4833787

BLOCK 825

AS TO PARCEL 10
13, Vol. 1123 PG. 623 All rights of access to Greenwich-Killingly Expressway relinquished (dated June 20, 1956)

AS TO PARCEL 11
14, Vol. 1113 PG. 29 Denial of access to Expressway by Certificate of Condemnation (dated June 6, 1956)

AS TO PARCEL 12
15, Vol. 1120 PG. 537 Denial of access (dated June 6, 1956)

AS TO PARCEL 14
16, Vol. 1122 PG. 65 Rights of access denied (dated August 22, 1956)

AS TO PARCEL 15
17, Vol. 1145 PG. 630 Denial of access to Greenwich-Killingly Expressway (dated August 20, 1957)

PROPERTY SURVEY
- AND -
TOPOGRAPHIC SURVEY

- PREPARED FOR -
BRIDGEPORT LANDING DEVELOPMENT, LLC

- LOCATED AT -
"STEELPOINTE NORTH"
EAST MAIN STREET (STATE ROUTE NO. 127),
NICHOLS STREET & PEMBROKE STREET
BRIDGEPORT, CONNECTICUT

- ASSESSOR'S REFERENCE -
MAP 36 | BLOCK 825 | LOTS 22, 21, 20, 19, 18A, 17A, 16A, 15, 14A, 23A & 13

SHEET 1 OF 1
FEBRUARY 2, 2021 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 20'

NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A **PROPERTY SURVEY** AND **TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS 1-2 AND IS INTENDED FOR **CONVEYANCE PURPOSES**.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
- HORIZONTAL COORDINATES REFER TO THE CONNECTICUT COORDINATE SYSTEM OF 1983 (NAD83). ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. MAP ENTITLED "PLOT PLAN PREPARED FOR AFFORDABLE HOUSING/CHAPMAN LIMITED PARTNERSHIP," SCALE: 1" = 10', DATED JANUARY 8, 1990; LAST REVISED 11/29/1990 PREPARED BY CODESPOT1 & ASSOCIATES.
 - B. MAP ENTITLED "CONNECTICUT, DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS, RIGHT OF WAY MAP, TOWN OF BRIDGEPORT, CONNECTICUT TURNPIKE FROM THE FAIRFIELD-BRIDGEPORT TOWN LINE EASTERLY TO THE BRIDGEPORT-STRAITFORD TOWN LINE," SCALE: 1" = 80', DATED AUGUST 19, 1974; LAST REVISED 12/20/96 PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AS **MAP NUMBER 15-03, SHEET 7 OF 9** AND FOUND ON FILE IN THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION DISTRICT 3 SURVEYS.
 - C. MAP ENTITLED "TOWN OF BRIDGEPORT MAP SHOWING LAND ACQUIRED FROM THE CITY OF BRIDGEPORT BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION FOR STEELPOINTE HARBOR ROADWAY IMPROVEMENTS," SCALE 1"=20', DATED SEPT. 20, 2011; LAST REVISED 4/9/12 PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AS **PROJECT NO. 015-000, SERIAL NO. 067, SHEET 9 OF 9** AND FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
 - D. MAP ENTITLED "TOWN OF BRIDGEPORT MAP SHOWING LAND EASEMENT & RIGHTS OF ACCESS ACQUIRED FROM EMPIRE REALTY CORP. BY THE STATE OF CONNECTICUT, GREENWICH-KILLINGSBY EXPRESSWAY," SCALE: 1"=40', DATED JUNE 1955; LAST REVISED JULY 1956 PREPARED BY THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION AS PROJECT NO. 31, SERIAL NO. 149, SHEET 1 OF 1 AND SHEET 2 OF 2 AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 19 PG. 84** AND **VOL. 19 PG. 87** RESPECTIVELY.
 - E. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 808**
- REFERENCE TO OTHER INSTRUMENTS:
 - BLOCK 808 ROAD INDEX** "EVITS LANE" - PRIVATE ROAD AS NOTED IN THE ROAD INDEX FOUND IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
 - VOL. 4287 PG. 196 75 & 81 EVITS LANE - PARCELS CONVEYED TOGETHER WITH FEE TO EVITS LANE AND RIGHT OF WAY FOR ALL PURPOSES OVER SAID EVITS LANE (LOT 7 & 1E)
 - VOL. 1292 PG. 422 75 & 81 EVITS LANE - PARCELS CONVEYED TOGETHER WITH FEE TO EVITS LANE AND RIGHT OF WAY FOR ALL PURPOSES OVER SAID EVITS LANE (LOT 7 & 1E)
 - VOL. 1121 PG. 323 81 EVITS LANE - TAKING AND DRAINAGE RIGHT OF WAY
 - VOL. 1128 PG. 479 81 EVITS LANE - FULL AND PERPETUAL DRAINAGE EASEMENT
 - VOL. 8587 PG. 115 379 EAST MAIN STREET - TAKING BY STATE OF CONNECTICUT
- ASSESSOR'S REFERENCE: MAP 36 | BLOCK 808 | LOTS 1E, 2, 2A, 3 & 7
- PARCEL IS LOCATED WITHIN THE **O-R** ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **441G** OF **426**, COMMUNITY **BRIDGEPORT**, CITY OF. NUMBER **090022** PANEL **041** SUFFIX **G**, MAP NUMBER **090010041G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)**.
- ALL PARCELS DEPICTED HEREON ARE LOCATED WITHIN THE PEQUONNOK RIVER COASTAL BOUNDARY - RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT SHEET 3 OF 4, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- RECORD MAPS, DEEDS, AND OTHER DRAWINGS IN THE FILES OF VARIOUS DEPARTMENTS OF THE CITY OF BRIDGEPORT EVIDENCE DISCREPANCIES, IN SOME CASES SIGNIFICANT, WITH RESPECT TO LINES OF TITLE (INCLUDING STREET LINES). DISCREPANCIES HAVE BEEN FOUND WITH THE LINES OF TITLE EVIDENCED IN THE DOCUMENTS REFERENCED HEREIN AND DO NOT NECESSARILY AGREE WITH PINS, PIPES, MONUMENTS, ETC. FOUND OR WITH OTHER PHYSICAL EVIDENCE FOUND. THE CITY OF BRIDGEPORT HAS ESTABLISHED STREET LINES IN THE SUBJECT AREA; HOWEVER, ORIGINAL MONUMENTATION HAS BEEN REMOVED OR NOT FOUND. THE PROPERTY LINES, INCLUDING THE STREET LINES DEPICTED AND NOTED HEREON REPRESENT THE APPARENT "BEST FIT" OF THESE CONFLICTING ELEMENTS AND ARE CONSIDERED TO BE THOSE WHICH ARE TO BE MOST LIKELY CORRECT AND ARE SUBJECT TO ANY REVISION OR CORRECTION WHICH MAY BE REQUIRED BY APPROPRIATE LEGAL PROCEEDINGS OR BY DISCOVERY OF ADDITIONAL INFORMATION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).
- PARCEL(S) DEPICTED HEREON MAY BE SUBJECT, BUT NOT LIMITED TO, ADDITIONAL EASEMENTS, COVENANTS, DECLARATIONS, RESTRICTIONS OF ANY KIND AND RIGHTS TO OTHERS AS MAY APPEAR ON RECORD AND/OR IN PRIVATE.
- LOT 2 AND LOT 2A IN BLOCK 808 ARE LOCATED WITHIN THE EAST BRIDGEPORT AND PEMBROKE CITY HISTORIC DISTRICT.

LEGEND

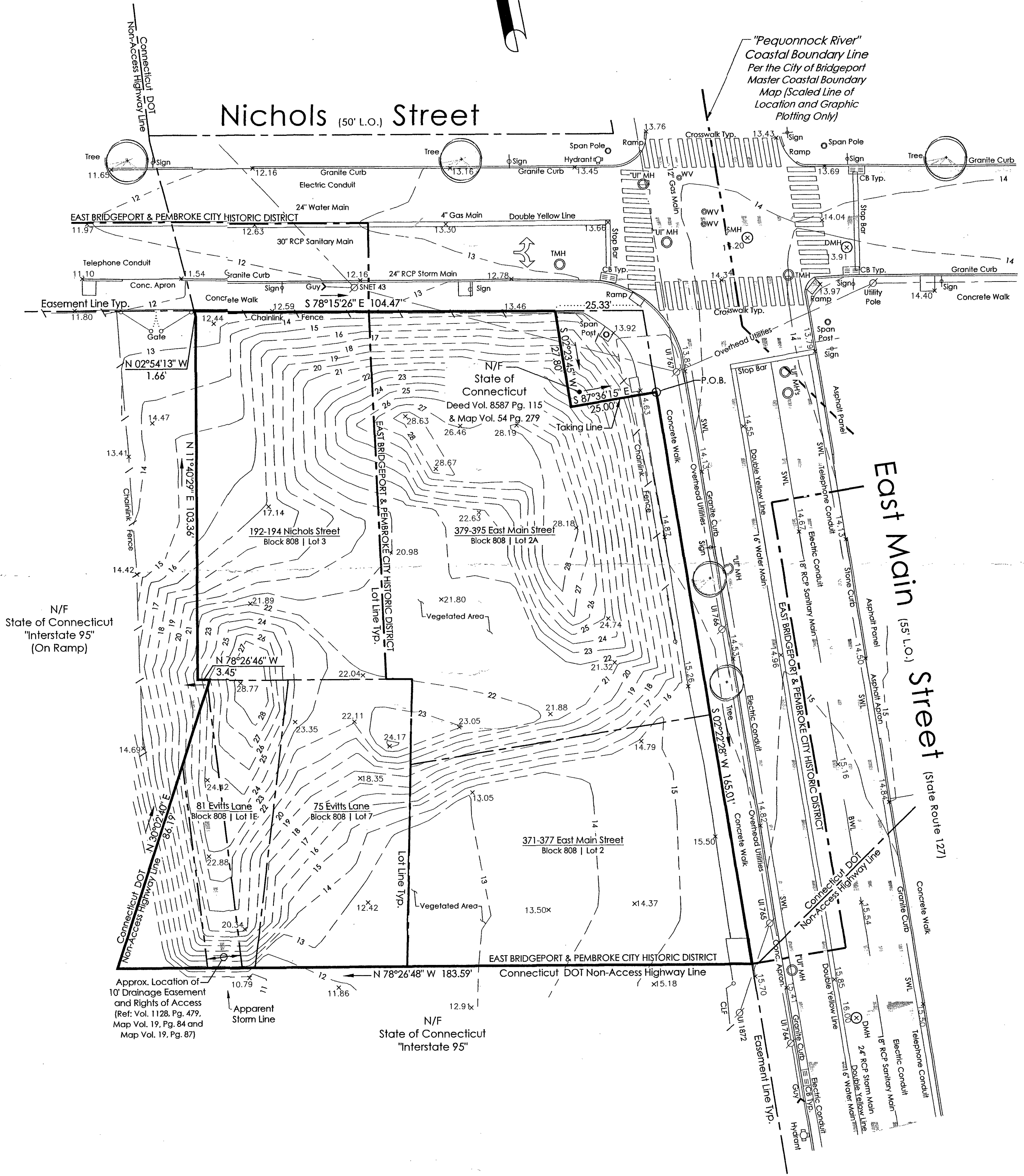
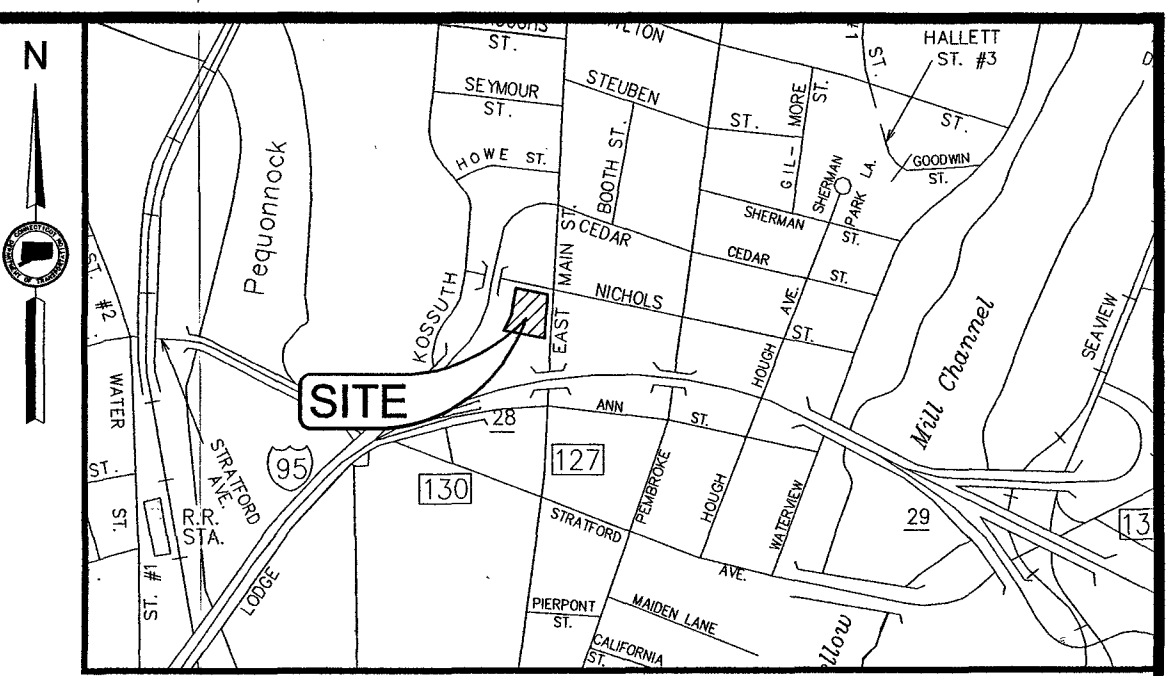
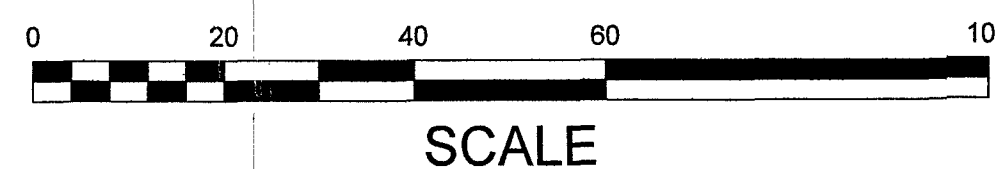
N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON	MONUMENT	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
FND	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UL	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	CI	CAST IRON
UPL	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	x 8.65	EXISTING SPOT GRADE
RET	RETAINING	-100-	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	(P)	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
(Tree)	EXISTING CONIFER TREE	(Circle)	EXISTING DECIDUOUS TREE

SCALE: 1"=20'
 FIELD FILE: steelpointe north survey.rw5
 PROJECT NO. CD1478
 DATE: February 2, 2021
 CAD FILE: Steelpointe North PS.dwg
 SHEET 1 OF 1
 REV: Attorney Comments 09-22-2021

CERTIFICATION TO

This survey is made for the benefit of:
Title Company: First American Title Insurance Company
Additional Parties: Bridgeport Landing, LLC and BLD-WF, LLC
 To the best of my knowledge and belief this map is substantially correct as noted here.

Washington Cabezas, Jr.
 WASHINGTON CABEZAS, JR. PEL 70210



LOCATION MAP
 SCALE: 1" = 800'

Combined Parcel Area
 27,154± SF or 0.623± Ac.

BLOCK 808					
PARCEL NO.	LOT	ADDRESS	VOL.	PG.	GRANTEE
1	3	192-194 Nichols Street	1782	313	City of Bridgeport
2	2A	379-395 East Main Street	4323	102	Bridgeport Redevelopment Agency (as Agent for City of Bridgeport)
3	1E	81 Evits Lane	4287	194	Bridgeport Redevelopment Agency
4	7	75 Evits Lane	4287	194	Bridgeport Redevelopment Agency
5	2	371-377 East Main Street	4323	99	Bridgeport Redevelopment Agency (as Agent for City of Bridgeport)

EXCEPTIONS
 FIRST AMERICAN TITLE INSURANCE COMPANY
 TITLE COMMITMENT NO. CT-4833787
 EFFECTIVE DATE: JULY 21, 2021 AT 8:00AM
 Exceptions are numbered according to those found in Title Commitment File No.: CT-4833787

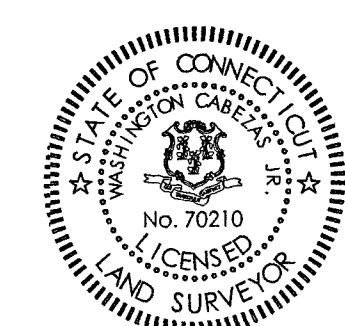
- BLOCK 808**
- AS TO PARCEL 2
 10. Vol. 2702 Pg. 131 Easement to Southern Connecticut Gas Company (dated January 17, 1997)
 - AS TO PARCEL 3 & 4
 Vesting deed contains appurtenant language regarding Evits Lane. Evits Lane has not been searched
 - AS TO PARCEL 5
 11. Vol. 2619 Pg. 153 Variance - waive regulation prohibiting a residential use in a Light Industrial Zone (dated January 30, 1989)

8-10

APPROVED: 12/7/2021
 CITY PLANNING & ZONING COMMISSION BPT, CT.
 ATTEST: *WAB* ZONING ADMIN. []

APPROVED FOR ZONING COMPLIANCE ONLY
 ZONING DEPARTMENT
 CITY OF BRIDGEPORT, CT
 BY: *[Signature]* DATE: 12-2-21

PROPERTY SURVEY
 - AND -
TOPOGRAPHIC SURVEY
 - PREPARED FOR -
BRIDGEPORT LANDING DEVELOPMENT, LLC
 - LOCATED AT -
"STEELPOINTE NORTH"
 EAST MAIN STREET (STATE ROUTE NO. 127) & NICHOLS STREET
 BRIDGEPORT, CONNECTICUT
 - ASSESSOR'S REFERENCE -
 MAP 36 | BLOCK 808 | LOTS 3, 2A, 2, 1E & 7
 SHEET 1 OF 1
 FEBRUARY 2, 2021 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 20'





PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** Global Partners, Inc.
2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 68 Hollister Avenue, Bridgeport, CT 06607
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 31/651 Lot No. 10
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 60' x 167.50' x 63.09' x 148.00'
7. Existing Zone Classification: NX2
8. Zone Classification requested: MX2
9. Describe Proposed Development of Property: The Applicant proposes to convert the Zone of the Property from NX2 to MX2 to permit the expansion of the existing retail gas station and construction of a fuel canopy and pumps and accessory improvements.

Approval(s) requested: Zone Change

Signature: _____ Date: 04/25/2024
Print Name: Chris Russo

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: _____

Mailing Address: 10 Sasco Hill Road, Fairfield, CT 06824
Phone: 203-254-7579 Cell: 203-528-0590 Fax: _____
E-mail Address: chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Completed & Signed Application Form | <input checked="" type="checkbox"/> A-2 Site Survey | <input type="checkbox"/> Building Floor Plans |
| <input checked="" type="checkbox"/> Completed Site / Landscape Plan | <input type="checkbox"/> Drainage Plan | <input type="checkbox"/> Building Elevations |
| <input checked="" type="checkbox"/> Written Statement of Development and Use | <input checked="" type="checkbox"/> Property Owner's List | <input type="checkbox"/> Fee |
| <input type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) | | |

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

_____ Print Owner's Name	_____ Owner's Signature	_____ Date
_____ Print Owner's Name	_____ Owner's Signature	_____ Date

Lisa S. Broder*
LBroder@russorizio.com

Liam S. Burke
Liam@russorizio.com

Colin B. Connor
Colin@russorizio.com

William J. Fitzpatrick, III
WFitzpatrick@russorizio.com

Amanda T. Heffernan
Amanda@russorizio.com

David K. Kurata
DKurata@russorizio.com

Stanton H. Lesser*
Stanton@russorizio.com

Victoria L. Miller*
Victoria@russorizio.com

Anthony J. Novella*
Anovella@russorizio.com



10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-254-7579 or 203-255-9928 Fax 203-576-6626

5 Brook St., Suite 2B
Darien, CT 06820
Tel 203-309-5500

299 Broadway, Suite 708
New York, NY 10007
Tel 646-357-3527

110 Merchants Row, Suite 3
Rutland, VT 05702
Tel 802-251-6556

www.russorizio.com

Leah M. Parisi
Leah@russorizio.com

William M. Petroccio*
WPetro@russorizio.com

Raymond Rizio*
Ray@russorizio.com

Christopher B. Russo
Chris@russorizio.com

Robert D. Russo*
Rob@russorizio.com

John J. Ryan+
John@russorizio.com

Jane Ford Shaw
Jane@russorizio.com

Vanessa R. Wambolt
Vanessa@russorizio.com

* Also Admitted in NY
* Also Admitted in VT
+ Of Counsel

April 29, 2024

Paul Boucher
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Zone Change – 68 Hollister Avenue

Dear Mr. Boucher:

Please accept the following narrative and enclosed application materials as part of an application for a zone change under the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 68 Hollister Avenue (the “Site”) to change the zone from NX2 to the MX2 to expand the existing retail gas station and construct an additional fuel pump canopy.

Narrative

The Site is located across from an entrance ramp for I-95. The Site abuts an existing fuel station with a fuel canopy and convenience store. A large industrial building and property are located to the east of the Site and a number of industrial properties are located in the vicinity. I-95 is located to the south of the Site. The Site is opposite the intersection of Hollister Avenue and Orange Street. An Auto sales and repair use is located on Orange Street across from the Site. The remainder of the properties across the street from the Site are vacant. A two-family dwelling is located to the north of the Site, but a commercial garage is located beyond that. The Site borders properties identified as 40 & 60 Hollister Avenue to its south, which is located in the MX2 Zone. This area is the location of the existing Global gas station, which was formerly known as Massey Fuel. It has been a longstanding use at this location.

The Applicant proposes to designate the portion of the Site identified as 68 Hollister Avenue within the MX2 Zone, so the Site is entirely within said Zone. Fuel pumps are permitted within the MX2 Zone under the Storefront Building type. The Applicant proposes to install an additional fuel canopy and pumps on the Site. To improve and provide proper truck access to the Site and the fuel pumps, the Applicant proposes to adjust existing curb cuts and add additional curb cuts. The Site will be exited solely onto Hollister Avenue. This one-way traffic flow will ensure smooth flow through the Site. There will be no need for trucks to turn around. They will proceed

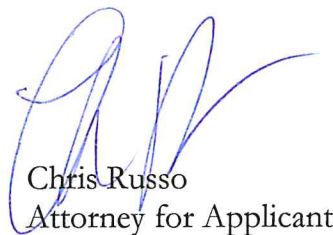
straight through the Site. The existing two-way curb cuts on the southern end of the Site and to the south of the existing building, which is predominantly utilized by smaller personal vehicles, will remain. Besides the fuel canopy expansion and Site adjustments, the Applicant proposes the installation of new fuel storage tanks, both underground and above ground, and a new dumpster enclosure. To screen the residential property to the North, the Applicant proposes the installation of a fence along the northern property line. In fact, the Applicant proposes a buffer that well exceeds the minimum buffer proposed in the current zone, which is only 2'. The Application proposes a 10' landscaped buffer with a fence, which widens to 18.5' in the area of the existing dwelling to the north of the Site. Therefore, it will feature more than adequate buffering.

Zone Change

The Petition satisfies the review and approval criteria for a zoning map amendment under Section 11.40.7 of the Regulations. The Petition is in conformity with the comprehensive plan as the Petition appropriately designates the Site within the MX2 Zone to which it conforms under the Regulations and the Site abuts the same Zone. The Site had been utilized as an office for the existing gas station. In conformity with Sec. 11.40.7 of the Regulations, the Application places the Site, which had been utilized in connection with the existing gas station use, in the same zone as the remainder of the properties utilized for the existing gas station. In addition, the Application creates room to create a significant buffer between the use and the neighboring residential areas. The existing zone permits a buffer of only 2', whereas the Applicant would be proposing a buffer of 18.5' in parts. The zone change locates the Site within the appropriate zone when the I zone and another automotive use are located across the street from the Site on both sides. There is also a commercial garage north of the Site. The proposed zone and use are in conformity with the surrounding neighborhood and the Regulations require sufficient buffering to ensure nearby residential uses are protected.

For the above-stated reasons, the Application satisfies all the applicable standards of the Regulations and the Applicant respectfully requests its approval.

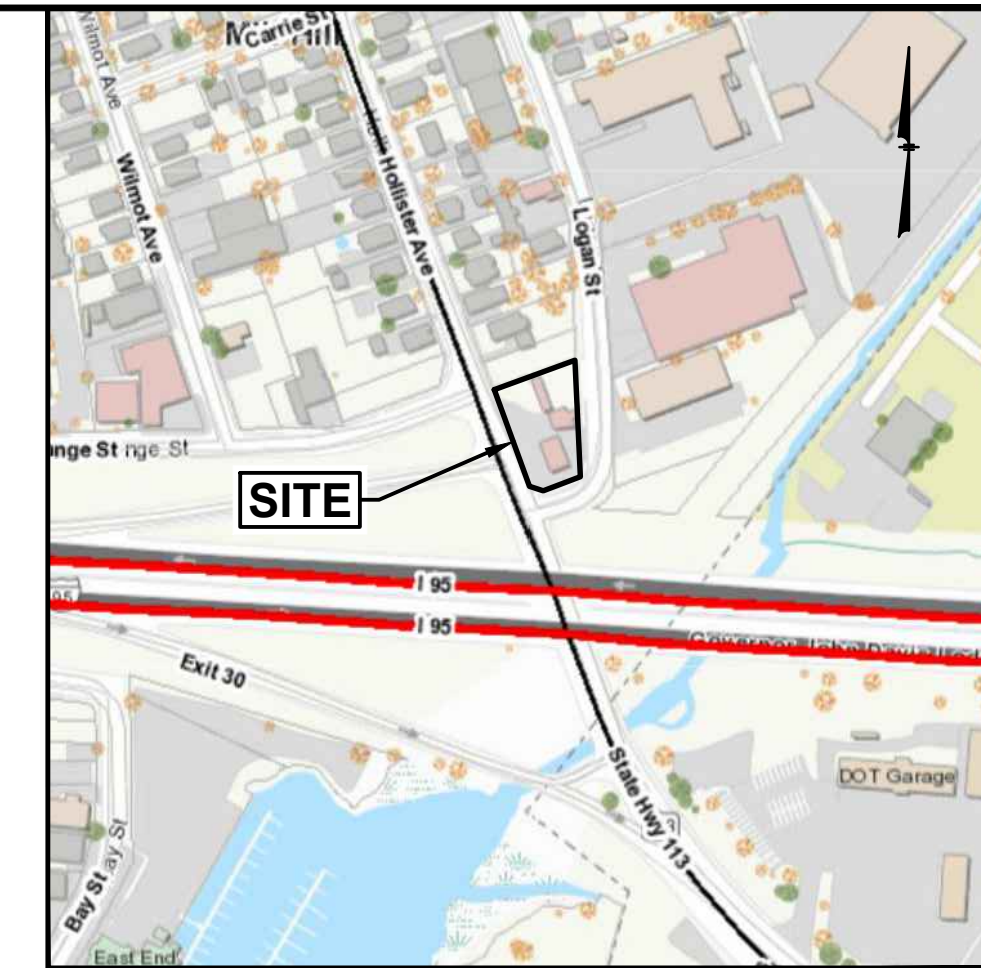
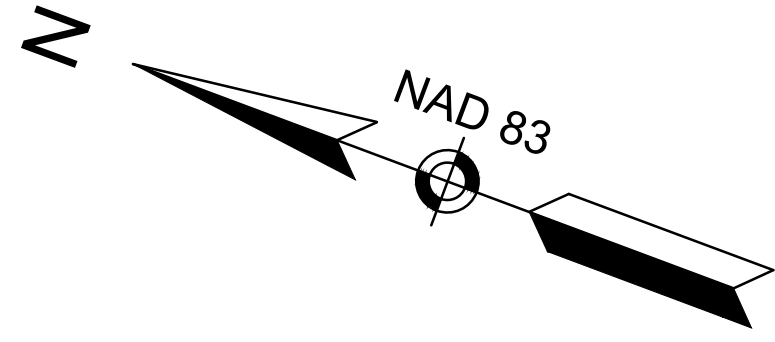
Sincerely,



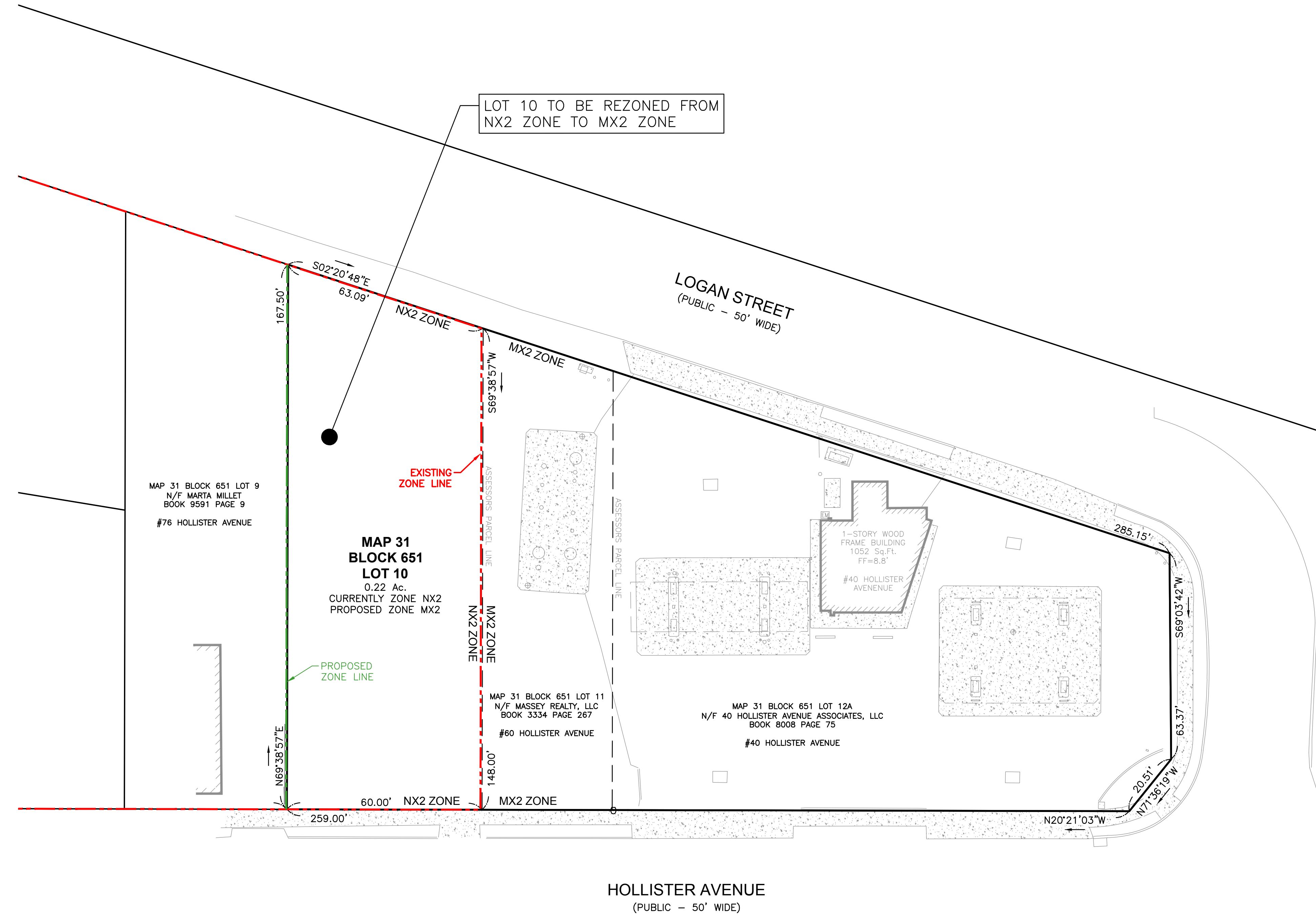
Chris Russo
Attorney for Applicant

PROPERTY OWNERS LOCATED WITHIN 100' OF 68 HOLLISTER AVENUE

LOCATION	OWNER NAME	ADDRESS	CITY	STATE	ZIP
40 HOLLISTER AV	40 HOLLISTER AVENUE ASSOC LLC	40 HOLLISTER AVENUE	BRIDGEPORT	CT	06607
67 HOLLISTER AV #REAR	73 HOLLISTER LLC	323 NORTH AVENUE	BRIDGEPORT	CT	06606
60 HOLLISTER AV	MASSEY REALTY L L C	40 HOLLISTER AVENUE	BRIDGEPORT	CT	06607
40 LOGAN ST	PEREIRA FAMILY INVESTMENT LLC	54 TRAILSIDE DRIVE	MONROE	CT	06468
68 HOLLISTER AV	MASSEY REALTY L L C	40 HOLLISTER AVE	BRIDGEPORT	CT	06607
73 HOLLISTER AV #75	73 HOLLISTER LLC	1057 BROAD STREET	BRIDGEPORT	CT	06605
70 LOGAN ST	LANTERN RIDGE ASSOCIATES LLC	54 TRAILSIDE DR	MONROE	CT	06468
76 HOLLISTER AV	MILLET MARTA	76 HOLLISTER AVENUE	BRIDGEPORT	CT	06607
88 HOLLISTER AV #90	LAIDLAW JERMAINE ET AL	88 HOLLISTER AVE	BRIDGEPORT	CT	06607
95 LOGAN ST	D ANDREA PIETRO ANTONIO ET AL	95 LOGAN ST	BRIDGEPORT	CT	06607
100 HOLLISTER AV	PETTWAY AUDREY LYNN & KAPEL PETTWAY SR	100 HOLLISTER AVE	BRIDGEPORT	CT	06607
133 LOGAN ST #135	JAMES R STUTZ & ROSEMARY G STUTZ TRUST	54 DRIFTWOOD LN	TRUMBULL	CT	06611
80 LOGAN ST	80 LOGAN LLC	323 NORTH AVE	BRIDGEPORT	CT	06606



LOCATION MAP
(NOT TO SCALE)



NOTES:

- 1) THE PURPOSE OF THIS PLAN IS TO ACCOMPANY AN APPLICATION TO REVISE THE ZONING DISTRICT OF MAP 31 BLOCK 651 LOT 10 FROM NEIGHBORHOOD MIX DISTRICT (NXZ) TO MIXED USE CENTERS DISTRICT (MXZ).
- 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN SEPTEMBER 15 AND OCTOBER 27, 2022.
- 3) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON SEPTEMBER 15, 2022.
- 4) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON SEPTEMBER 15, 2022.
- 5) LOCATIONS OF UNDERGROUND UTILITIES ARE NOT SHOWN.
- 6) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 09001C0441G, WITH AN EFFECTIVE DATE OF JULY 8, 2013.

MAP 31 BLOCK 651 LOT 10
SITE 778 - GLOBAL
40 HOLLISTER AVENUE
BRIDGEPORT, CONNECTICUT

DRAFT
4-23-24

REVISIONS

NO.	REVISION	DATE

APRIL 23, 2024

DRAWN/DESIGN BY HTN	CHECKED BY AKC
------------------------	-------------------

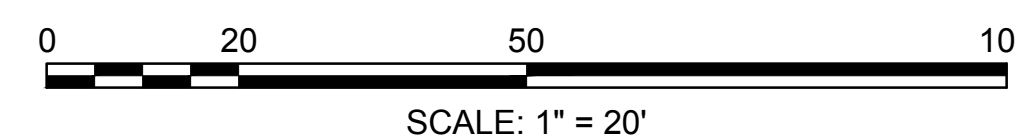
ZONE CHANGE PLAN

SCALE: 1"=20'

PROJECT NO.
NEX-2200217

PLAN REFERENCES:
TOWN OF BRIDGEPORT LAND RECORDS DEPARTMENT

- 1) VOLUME 54 PAGE 255
- 2) VOLUME 51 PAGE 118
- 3) VOLUME 4 PAGE 28
- 4) TOWN OF BRIDGEPORT MAP 651



OWNER OF RECORD:

MAP 34 BLOCK 651 LOT 10
N/F MASSEY, LLC
40 HOLLISTER AVE
BRIDGEPORT, CT 06607
BOOK 3334 PAGE 265



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: BATRA HOMES, LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X _____
3. Address of Property: 222 & 260 Greenfield Drive, Bridgeport, CT 06606
4. Assessor's Map Information: Block No. 58/2250 Lot No. 24
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
6. Description of Property (Metes & Bounds): 100' x 100' x 100' x 100'
7. Existing Zone Classification: N2
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: The Applicant proposes to revise the existing lot lines and construct two (2) two-family dwelling units.

Approval(s) requested: Special Permit and Site Plan Review

Signature: _____ Date: 06/27/2024
Print Name: Chris Russo

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____ Print Name: Chris Russo

Mailing Address: 10 Sasco Hill Road, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-528-0590 Fax: _____
E-mail Address: chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

BATRA HOMES, LLC 06/27/2024
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date

Lisa S. Broder*
LBroder@russorizio.com

Liam S. Burke
Liam@russorizio.com

Colin B. Connor
Colin@russorizio.com

William J. Fitzpatrick, III
WFitzpatrick@russorizio.com

Amanda T. Heffernan
Amanda@russorizio.com

David K. Kurata
DKurata@russorizio.com

Stanton H. Lesser*
Stanton@russorizio.com

Victoria L. Miller*
Victoria@russorizio.com

Anthony J. Novella*
Anovella@russorizio.com



10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-254-7579 or 203-255-9928 Fax 203-576-6626

5 Brook St., Suite 2B
Darien, CT 06820
Tel 203-309-5500

299 Broadway, Suite 708
New York, NY 10007
Tel 646-357-3527

110 Merchants Row, Suite 3
Rutland, VT 05702
Tel 802-251-6556

www.russorizio.com

Leah M. Parisi
Leah@russorizio.com

William M. Petroccio*
WPetro@russorizio.com

Raymond Rizio*
Ray@russorizio.com

Christopher B. Russo
Chris@russorizio.com

Robert D. Russo*
Rob@russorizio.com

John J. Ryan*
John@russorizio.com

Jane Ford Shaw
Jane@russorizio.com

Vanessa R. Wambolt
Vanessa@russorizio.com

* Also Admitted in NY
* Also Admitted in VT
+ Of Counsel

June 27, 2024

Paul Boucher
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Special Permit and Site Plan Review – 222 & 260 Greenfield Drive

Dear Mr. Boucher:

Please accept, on behalf of my client, BATRA Homes, LLC (the “Petitioner”), the following narrative and enclosed application materials as part of a Petition for the Special Permit and Site Plan Review under the Bridgeport Zoning Regulations (the “Regulations”) for the properties located at 222 & 260 Greenfield Drive (the “Site”) to permit the construction of two (2) two-family dwellings with associated Site improvements in the N2 Zone.

Narrative

The Petitioner requests special permit and site plan review in order to construct two (2) separate two-family dwellings on conforming building lots in N2 Zone. The Petitioner proposes to revise the lot lines between the two (2) existing properties that constitute the Site to create two (2) fully-conforming building lots. The Petitioner is permitted via Special Permit to construct a two-family dwelling in the N2 Zone. This block of Greenfield Drive is a mixture of single- and two-family dwellings.

Each dwelling is proposed to be 32' x 45' with side-by-side units. The dwellings will have the appropriate setbacks under the Regulations. The Applicant proposes a roofed porch at the front of each dwelling, which provides a porch area for each dwelling unit, as well as their own 6' x 8' rear deck. The Petitioner proposes a driveway in proximity to each dwelling unit. Therefore, each building lot will have two (2) driveways. Greenfield Drive is a narrow two-way street. It pinches particularly close in front of the Site as shown on the

submitted site plan. On-street parking is also permitted on Greenfield Drive, which essentially converts the street into a single lane for vehicles going opposite directions to navigate. There is also no curbing. For proper traffic flow, vehicles should park on-Site.

For these reasons, the Petitioner proposes to locate two (2) driveways on each building lot, which will ensure there is sufficient on-street parking to alleviate the parking problem on Greenfield Drive. Another two-family dwelling, diagonal from the Site, has the same layout. In addition, that existing two-family dwelling also contains a covered porch for the same width as proposed for the dwellings in the Petition.

Special Permit and Site Plan Review

The Application has received all necessary variances and, therefore, satisfies all standards under the Regulations. For those reasons, the Application satisfies Sec. 11.70 of the Regulations regarding site plan review.

With regards to the standards for Special Permit in Sec. 11.50.6 of the Regulations, the Application satisfies all standards. The Application satisfies the Master Plan of Conservation and Development with the construction of new housing. In an area with dated dwellings, the Application presents an opportunity for new-construction housing and to revitalize the housing stock. As stated above, the Application satisfies the standards of the Regulations having received the necessary variances. The proposed development will also not impair the future development of the surrounding area. The Application creates off-street parking to service each proposed dwelling unit, which will alleviate any pressure on the narrow Greenfield Drive. In addition, the housing in the immediate area is dominated by two-family dwellings, so the Application is in conformity with the neighborhood. The height and scale of the building are in accordance with the Regulations. The proposed setbacks will ensure appropriate buffering to neighboring properties. This new construction housing will increase the value of nearby properties as an area for redevelopment. The Application will have no impact on Long Island Sound as it is a considerable distance from any coastal waters.

For the reasons stated above, the Applicant respectfully requests approval of the Petition for Special Permit and Site Plan Review.

Sincerely,


Christopher Russo

BATRA HOMES, LLC ACTIVE

90 SALEM ROAD, TRUMBULL, CT, 06611, United States

BUSINESS DETAILS ▼

Business Details ▲

General Information —

Business Name
BATRA HOMES, LLC

Business status
ACTIVE

Citizenship/place of formation
Domestic/Connecticut

Business address
90 SALEM ROAD, TRUMBULL, CT, 06611, United States

Annual report due
3/31/2025

NAICS code
Commercial and Institutional Building Construction (236220)

Business ALEI
2905488

Date formed
12/13/2023

Business type
LLC

Mailing address
90 SALEM ROAD, TRUMBULL, CT, 06611, United States

Last report filed
2024

NAICS sub code

Principal Details —

Principal Name
RANJEETA BATRA

Principal Title

MEMBER

Principal Business address

90 SALEM ROAD, TRUMBULL, CT, 06611, United States

Principal Residence address

90 SALEM ROAD, TRUMBULL, CT, 06611, United States

Principal Name

TEJINDER BATRA

Principal Title

MEMBER

Principal Business address

90 SALEM ROAD, TRUMBULL, CT, 06611, United States

Principal Residence address

90 SALEM ROAD, TRUMBULL, CT, 06611, United States

Agent details



Agent name

TEJINDER BATRA

Agent Business address

90 SALEM ROAD, TRUMBULL, CT, 06611, United States

Agent Mailing address

90 SALEM ROAD, TRUMBULL, CT, 06611, United States

Agent Residence addresss

90 SALEM ROAD , TRUMBULL, CT, 06611, United States

Filing History



(<https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/8y0000055qj0/4WpoJSaTYwBoiXJ8JNfWbX4Fy2BRxbagAMNRRANTimu0>)

Business Formation - Certificate of Organization 0012493418

Filing date: 12/13/2023
Filing time: 02:43 PM

Volume Type

Volume

Start page

Pages

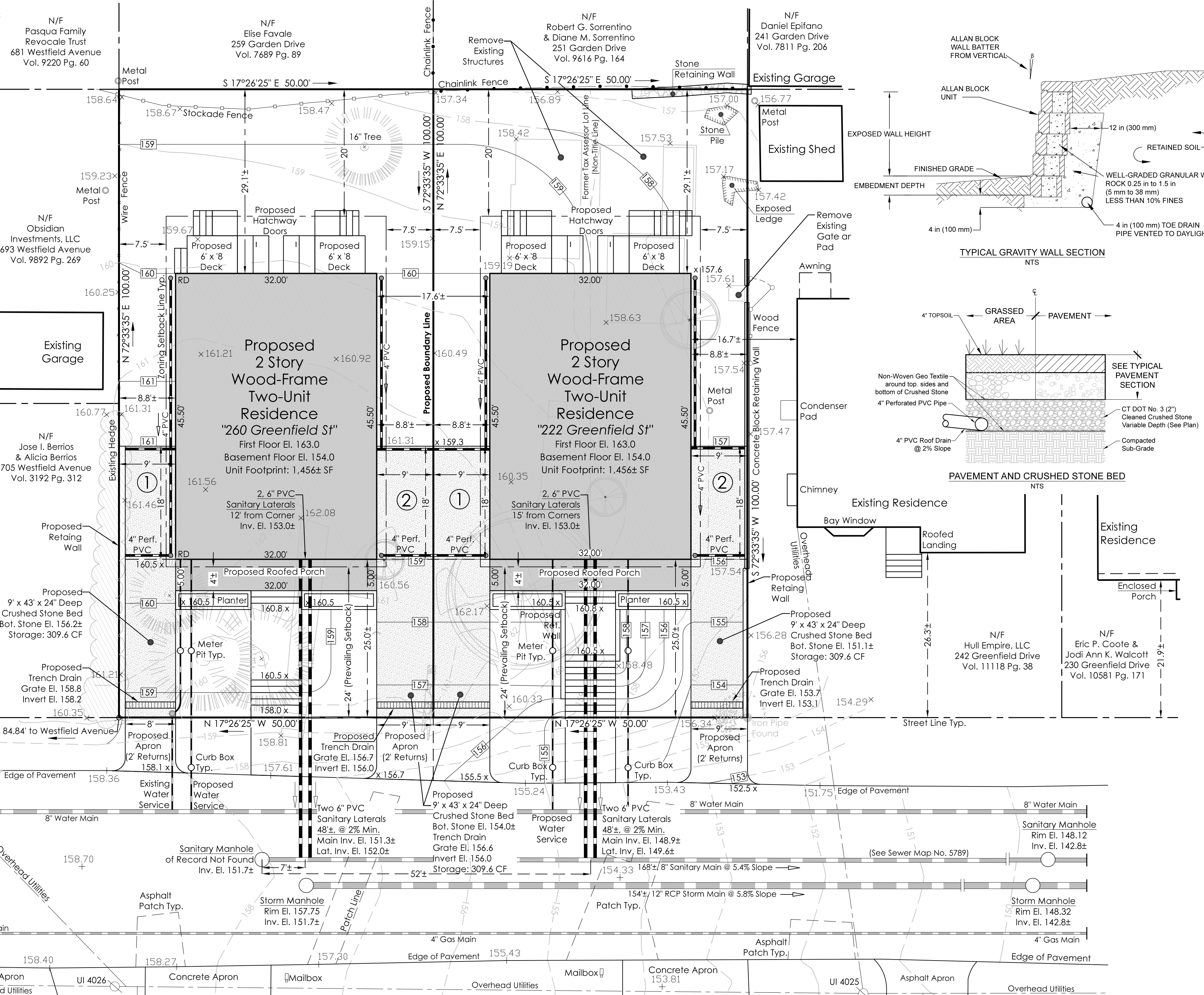
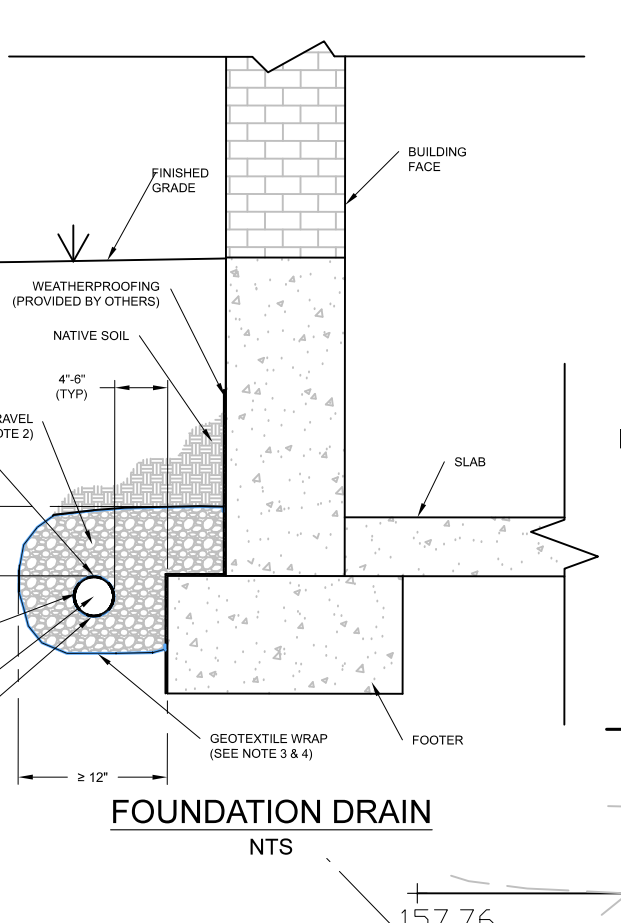
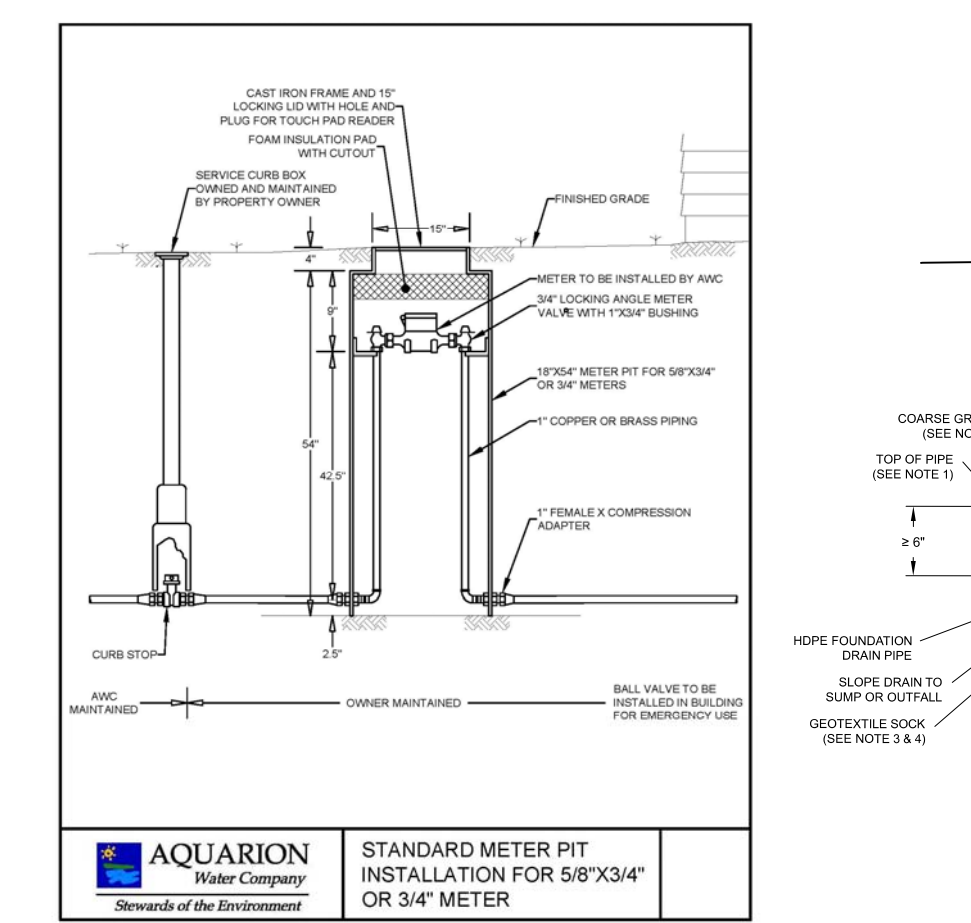
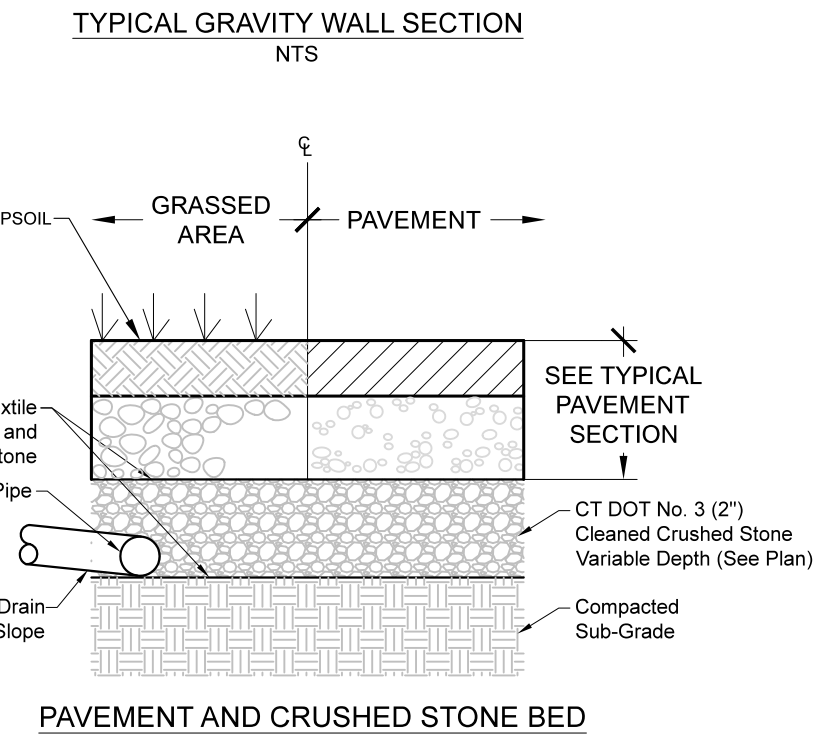
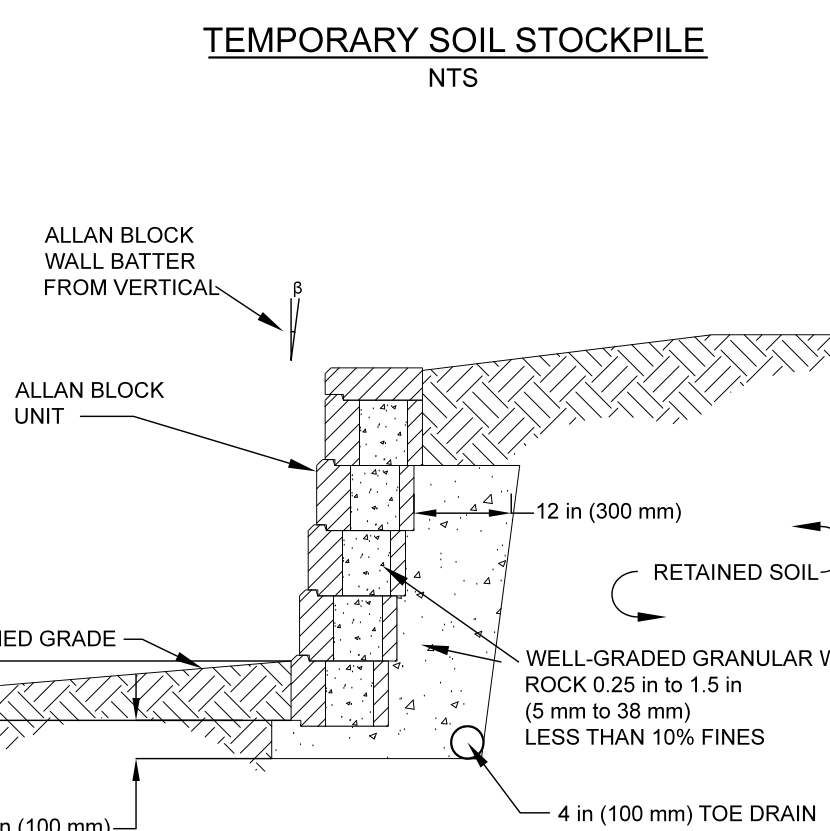
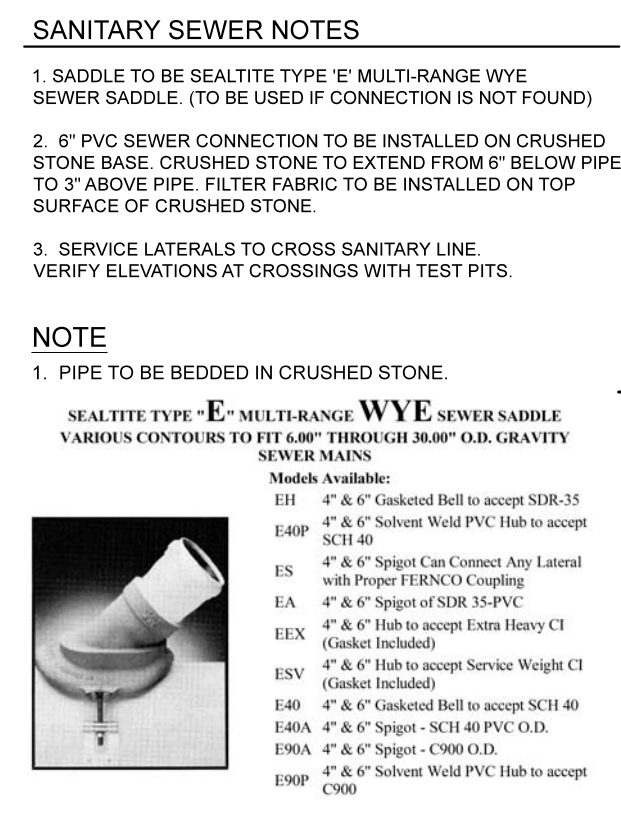
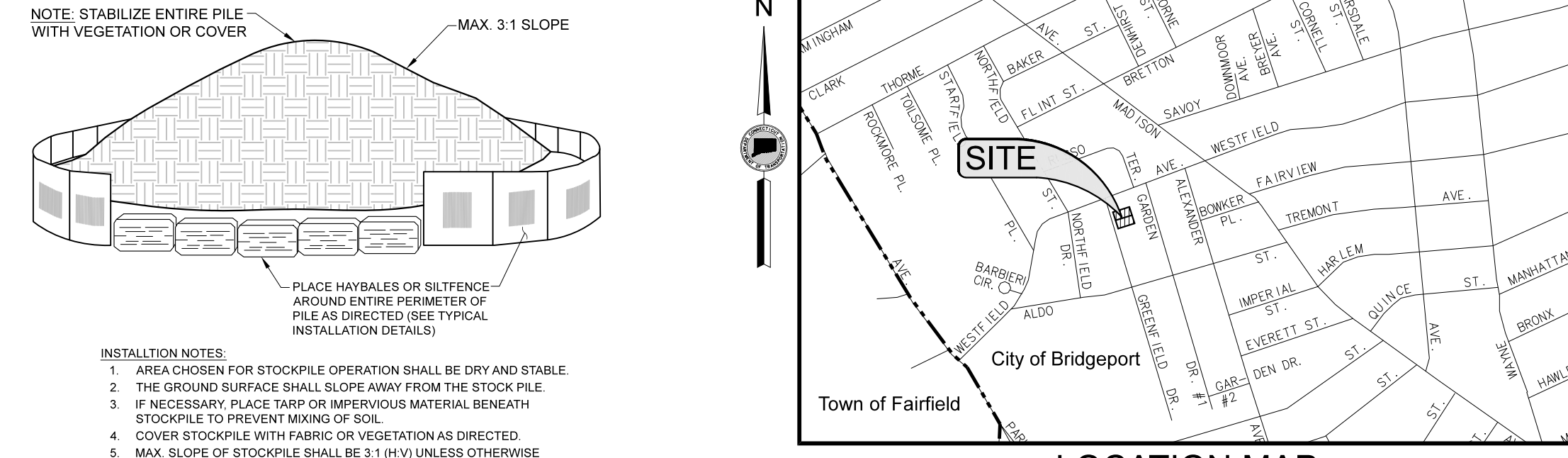
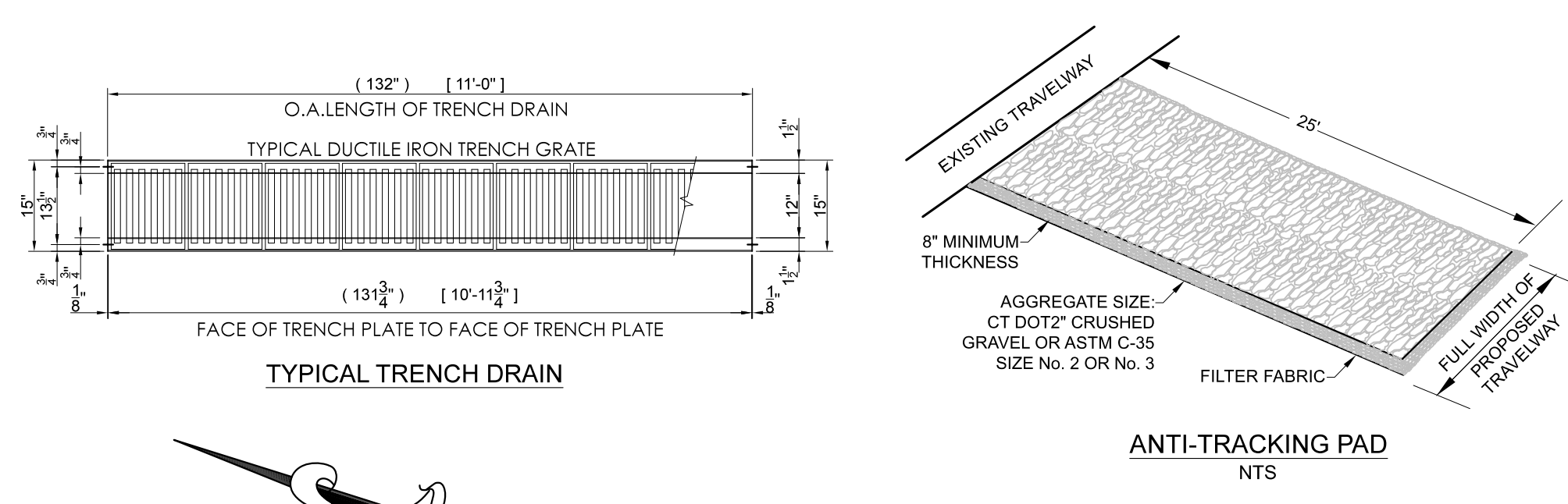
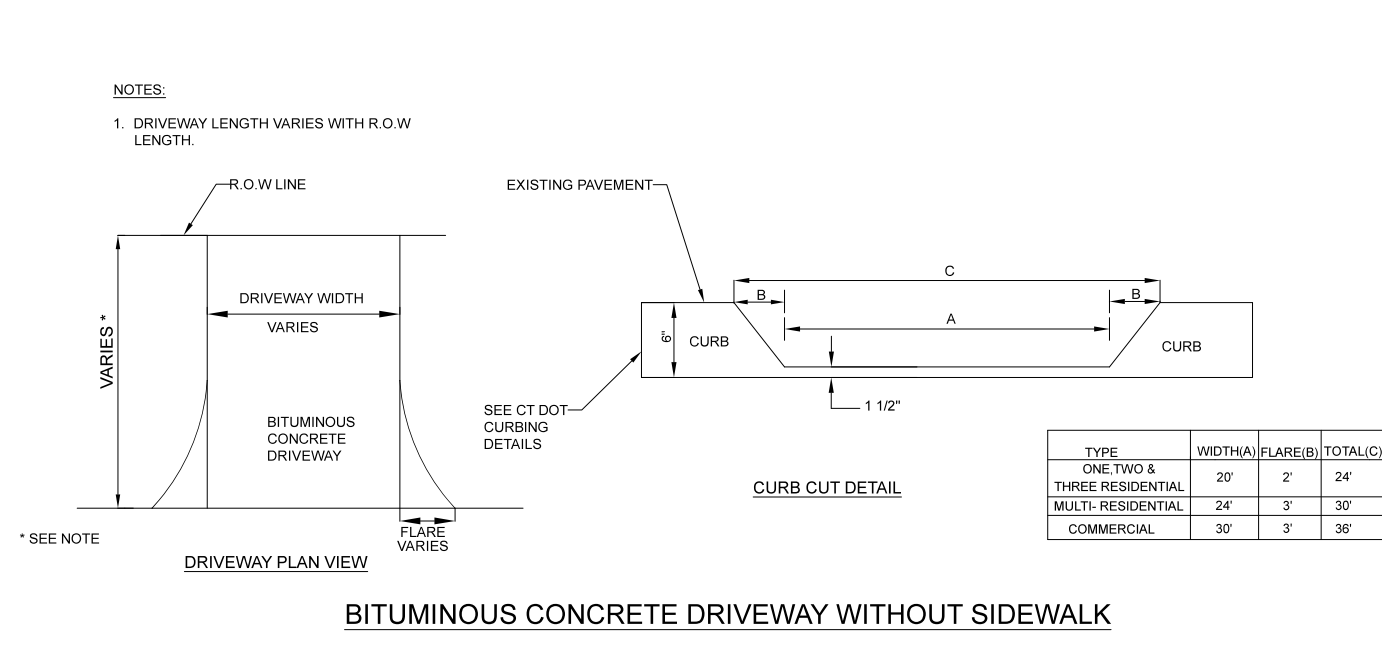
Date generated

220-260 GREENFIELD DR - 100' ABUTTERS LIST

LOCATION	OWNER	OWNER ADDRESS	CITY	STATE	ZIP
225 GREENFIELD DR	FRASER GREGORY C ET AL	225-227 GREENFIELD DR	BRIDGEPORT	CT	06606
235 GREENFIELD DR	SCOTT RAINFORD & JACQUELINE	235 GREENFIELD DR	BRIDGEPORT	CT	06606
230 GREENFIELD DR #232	COOTE ERIC P & JODI ANN K WALCOTT	230 GREENFIELD DR #232	BRIDGEPORT	CT	06606
225 GARDEN DR	KRIEWALD SUSAN M	225 GARDEN DR	BRIDGEPORT	CT	06606
242 GREENFIELD DR	HULL EMPIRE LLC	242 GREENFIELD DRIVE	BRIDGEPORT	CT	06606
222 GREENFIELD DR	BATRA HOMES LLC	222 GREENFIELD DR	BRIDGEPORT	CT	06606
241 GARDEN DR	EPIFANO DANIEL	2490 BLACK ROCK ROCK TPKE #359	FAIRFIELD	CT	06825
251 GARDEN DR #253	SORRENTINO ROBERT G ET AL	251 GARDEN DR	BRIDGEPORT	CT	06606
260 GREENFIELD DR	BATRA HOMES LLC	222 GREENFIELD DR	BRIDGEPORT	CT	06606
259 GARDEN DR #261	FAVALE ELISE & ETAL	259 GARDEN DRIVE	BRIDGEPORT	CT	06606
723 WESTFIELD AV	ALESSI CAROL A	168 MIRO STREET	FAIRFIELD	CT	06825
705 WESTFIELD AV	BERRIOS JOSE I & ALICIA	705 WESTFIELD AVE	BRIDGEPORT	CT	06606
693 WESTFIELD AV	OBSIDIAN INVESTMENTS TRUST	14 ARROWHEAD WAY	WESTON	CT	06883
681 WESTFIELD AV	PASQUA FAMILY REV TRUST UTD	681 WESTFIELD AVENUE	BRIDGEPORT	CT	06606
673 WESTFIELD AV	STYLE MAGARETTA	4120 HUTCHINSON RIVER PKWY E #13C	BRONX	NY	10475
218 GREENFIELD DR	MILFORT MAGUEDA J	218 GREENFIELD DR	BRIDGEPORT	CT	06606

NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A **LIMITED PROPERTY/BOUNDARY SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND TOPOGRAPHIC ACCURACY CLASS **T-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEOID03 AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60'). LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983. AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORS96). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **DECEMBER 7, 2017** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:
STATION: ORANGE
NORTHING: 658307.101, EASTING: 930968.510
LATITUDE: 41°13'13.00" N, LONGITUDE: 73°00'03.7733" W
ELLIPSOID: 65047.
- MAP REFERENCES
 A. SAVOY GARDENS, BRIDGEPORT, CT. SCALE: 1" = 60'. NOV. 1, 1916. PREPARED BY SCOFIELD & FORD ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERKS OFFICE AS **MAP VOLUME 7 PAGE 25**.
 B. GREENFIELD DRIVE SEWER MAP "ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT AS **MAP NO. 5789**".
 C. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 2276**.
- PARCEL INFORMATION:
 A. **222 GREENFIELD DRIVE (PARCEL ONE)**
 A. ASSESSOR'S REFERENCE: MAP 58 | BLOCK 2250 | LOT 24
 B. RECORD PARCEL AREA: 2,500± SQ. FT., 0.057± AC.
 C. RECORD OWNER: BATRA HOMES, LLC; VOL. 11126 PG. 18
 B. **260 GREENFIELD DRIVE (PARCEL TWO)**
 A. ASSESSOR'S REFERENCE: MAP 58 | BLOCK 2250 | LOT 2
 B. RECORD PARCEL AREA: 7,500± SQ. FT., 0.172± AC.
 C. RECORD OWNER: BATRA HOMES, LLC; VOL. 11126 PG. 18
- PARCEL IS LOCATED WITHIN THE **N2** ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT [ALL JURISDICTIONS], **PANEL 429** OF 626, **COMMUNITY BRIDGEPORT, CITY OF, NUMBER 090002** PANEL **0429** SUFFIX **G**, MAP NUMBER **09001C0429G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)**.
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).



N2 Zone Development Standards House 'B' Building Type			
3.100.4. BUILDING LOCATION SEE FIGURE 3.100-B	REQUIRED	PROPOSED 260 GREENFIELD DRIVE	PROPOSED 222 GREENFIELD DRIVE
MULTIPLE PRINCIPAL BUILDINGS	ALLOWED PER 3.100.10.A	N/A	N/A
1) LOT WIDTH PER PRINCIPAL BUILDING	45 FT MINIMUM	50.00 FT PROPOSED	50.00 FT PROPOSED
LOT SIZE	NO MINIMUM	5,000± SF	5,000± SF
2) PRIMARY STREET WALL	NO MAX FOR 1-UNIT; 50 FT MAX FOR 2-UNIT (MEASURED AT MINIMUM SETBACK ALONG ANY PRIMARY STREET)	32 FT FOR 2 UNITS	32 FT FOR 2 UNITS
3) PRIMARY STREET SETBACK 24.1 FT PREVAILING SETBACK	20 FT MINIMUM; 30 FT MAXIMUM (PREVAILING SETBACK SHALL BE 14.2± FOR MEASURING. SEE 3.100.10 FOR ALLOWED ENCROACHMENTS)	25.0± (24' PREVAILING)	25.0± (24' PREVAILING)
4) PORCH, STEPS, BAY ENCROACHMENT	8 FT MAX; PORCH OR BAY WIDTH OF 16 FT MAX	4± FT; 32 FT WIDE (WAIVER REQ.)	4± FT; 32 FT WIDE (WAIVER REQ.)
5) NON-PRIMARY STREET SETBACK	12 FT MINIMUM	N/A	N/A
6) SIDE SETBACK	6 FT MIN; MIN 15 FT TOTAL BOTH SIDES;	8.8± FT; 17.6± FT TOTAL	8.8± FT; 17.6± FT TOTAL
SPACE BETWEEN ADJACENT BUILDINGS	15 FT MIN.	17.6± FT	16.7± FT
7) REAR SETBACK	20 FT MINIMUM	29.1± FT	29.1± FT
8) SITE COVERAGE	65% (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	58%	58%

3.100.5. PARKING AND ACCESSORY STRUCTURES SEE FIGURE 3.100-C			
1) PARKING AND DRIVEWAY ACCESS	MAX. 9 FT. WIDTH AT PRIMARY STREET LOT LINE; MAX ONE DRIVEWAY PER BUILDING (SEE 8.0 FOR PARKING)	9 FT MAX; 2 DRIVEWAYS (WAIVER REQ.)	9 FT MAX; 2 DRIVEWAYS (WAIVER REQ.)
2) ATTACHED GARAGE SETBACK	20 FT MIN. BEHIND PRIMARY FACADE	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	REAR FACADE, STREET SIDE FACADE	N/A	N/A
3) SURFACE PARKING AND ACCESSORY STRUCTURE LOCATION	REAR YARD ONLY (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A
STREET SIDE SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A
SIDE AND REAR SETBACK	3 FT. MIN. (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A

3.100.6. HEIGHT SEE FIGURE 3.100-D			
1) HEIGHT	1 STORY MIN; 2 STORIES MAX. (SEE 14.20.10 FOR MEASURING HEIGHT; SEE 3.100.10 FOR BASEMENT GARAGE ALLOWANCE)	2 STORIES	2 STORIES
2) STORY HEIGHT	8 FT. MIN; 9 FT. MAX. (MEASURED FLOOR-TO-FLOOR)	9 FT	9 FT
3) HEIGHT TO EAVES	16 FT. MAX. (HEIGHT TO EAVE IS MEASURED FROM THE FIRST FLOOR TO THE BOTTOM OF THE EAVE. SEE 14.20.10 FOR MEASURING EAVES.)	17± FT	17± FT

3.100.7. ROOFS SEE FIGURE 3.100-D			
1) ROOF TYPES	PITCHED (SEE 6.20 FOR ROOF TYPES)	PITCHED	PITCHED
2) TOWER	NOT ALLOWED	N/A	N/A

3.100.9. ALLOWED USES SEE ARTICLE 40 FOR USE DEFINITIONS, SPECIFIC USE LIMITATIONS, AND OTHER USE-RELATED REGULATIONS			
RESIDENTIAL			
NUMBER OF PRINCIPAL UNITS	1 IN HOUSE, 2 WITH SPECIAL PERMIT	2 UNITS	2 UNITS
NUMBER OF ACCESSORY APARTMENTS	1 IN BACKYARD COTTAGE WITH SPECIAL PERMIT	N/A	N/A
HOUSEHOLD LIVING	ALLOWED	COMPLIES	COMPLIES

LEGEND			
NF	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	WM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND.	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	CI.	CAST IRON
Ø	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL.	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	X 8.65	EXISTING SPOT GRADE
RET.	RETAINING	---100---	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	Ø	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
L.P.	LIGHT POST	PVC	POLYVINYL CHLORIDE
Ø	EXISTING CONIFER TREE	Ø	EXISTING DECIDUOUS TREE

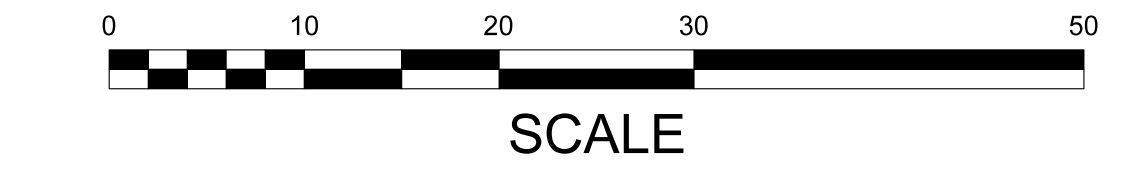
Cabezas DeAngelis
 ENGINEERS & SURVEYORS
 78 ELM STREET, BRIDGEPORT, CT 06604
 P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=10'
 FIELD FILE: greenfield_survey.nw5
 PROJECT NO. CD1758
 DATE: April 18, 2024
 CAD FILE: 222&260 Greenfield Dr-ILS.dwg
 SHEET 1 OF 1
 REV:

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Washington Cabezas, Jr.

WASHINGTON CABEZAS, JR., PEL 70210
 PROFESSIONAL ENGINEER & LAND SURVEYOR



Percolation Test Results			
Time	Measurement to Water Surface	Drop in Water Level (0.01")	Rate (Min./Inch)
1:11 PM	1.22		
1:14 PM	1.33	0.11	1.52
1:17 PM	1.42	0.09	2.78
1:20 PM	1.49	0.07	3.57
1:23 PM	1.54	0.05	5.00
1:26 PM	1.58	0.04	6.25
1:29 PM	1.60	0.02	12.50
Overall Percolation Rate (Min/Inch)		3.07	
Minimum Percolation Rate (Min/Inch)		12.50	
Minimum Percolation Rate (Inches/Hour)		4.80	
Based on minimum percolation rate, a 24" tall system will drain in (Hours):		5.0	

IMPROVEMENT LOCATION SURVEY
 - AND -
TOPOGRAPHIC SURVEY
 - PREPARED FOR -
BATRA HOMES, LLC
 222 GREENFIELD DRIVE
 ASSESSOR'S REFERENCE: MAP 58 | BLOCK 2250 | LOT 24
 - AND -
 260 GREENFIELD DRIVE
 ASSESSOR'S REFERENCE: MAP 58 | BLOCK 2250 | LOT 2
BRIDGEPORT, CONNECTICUT

SHEET 1 OF 1
 APRIL 18, 2024 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'



FRONT ELEVATION
SCALE 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



REAR ELEVATION
SCALE 1/4" = 1'-0"

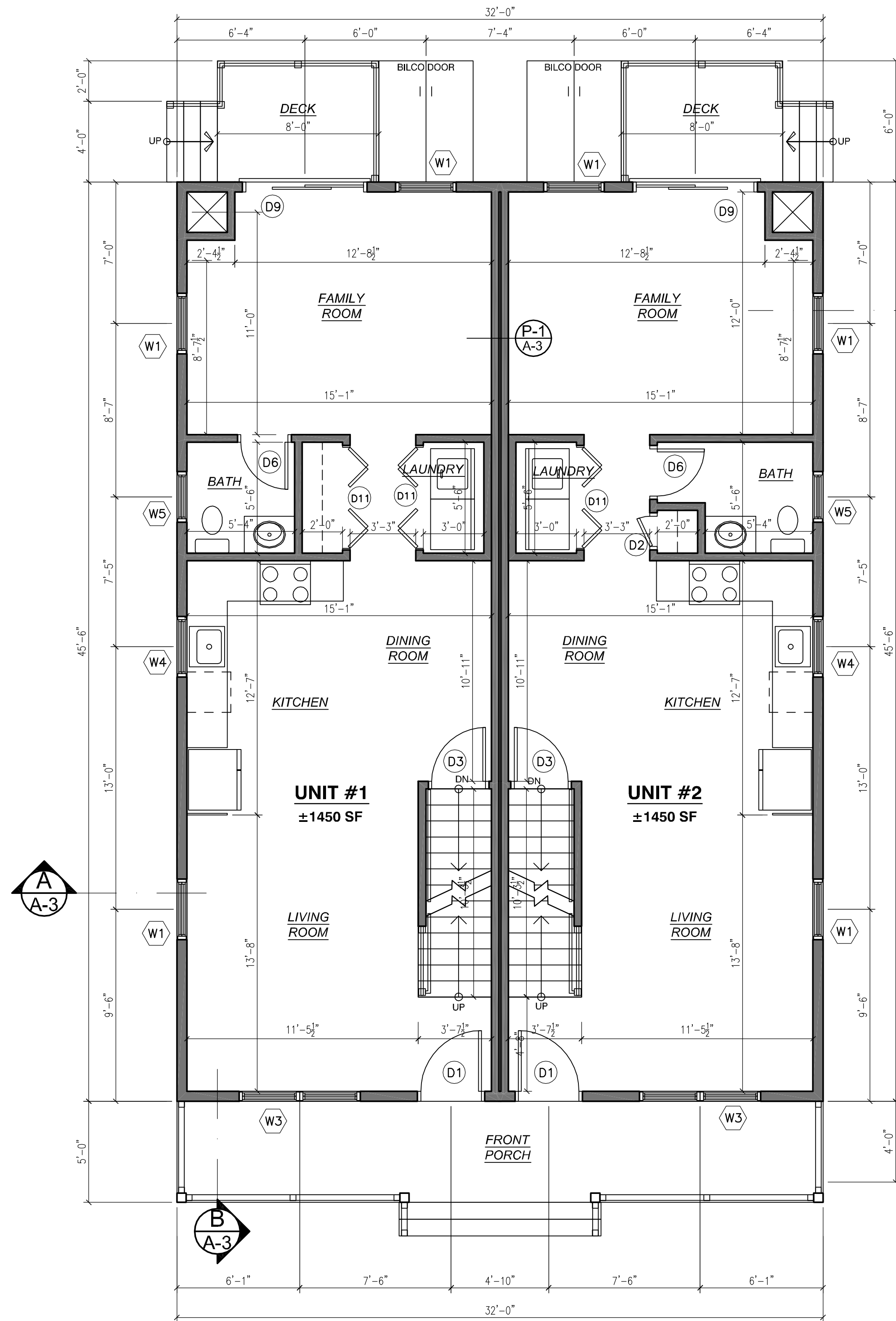
--	--	--	--	--	--

1	2	3	4	5	6
REVISIONS					

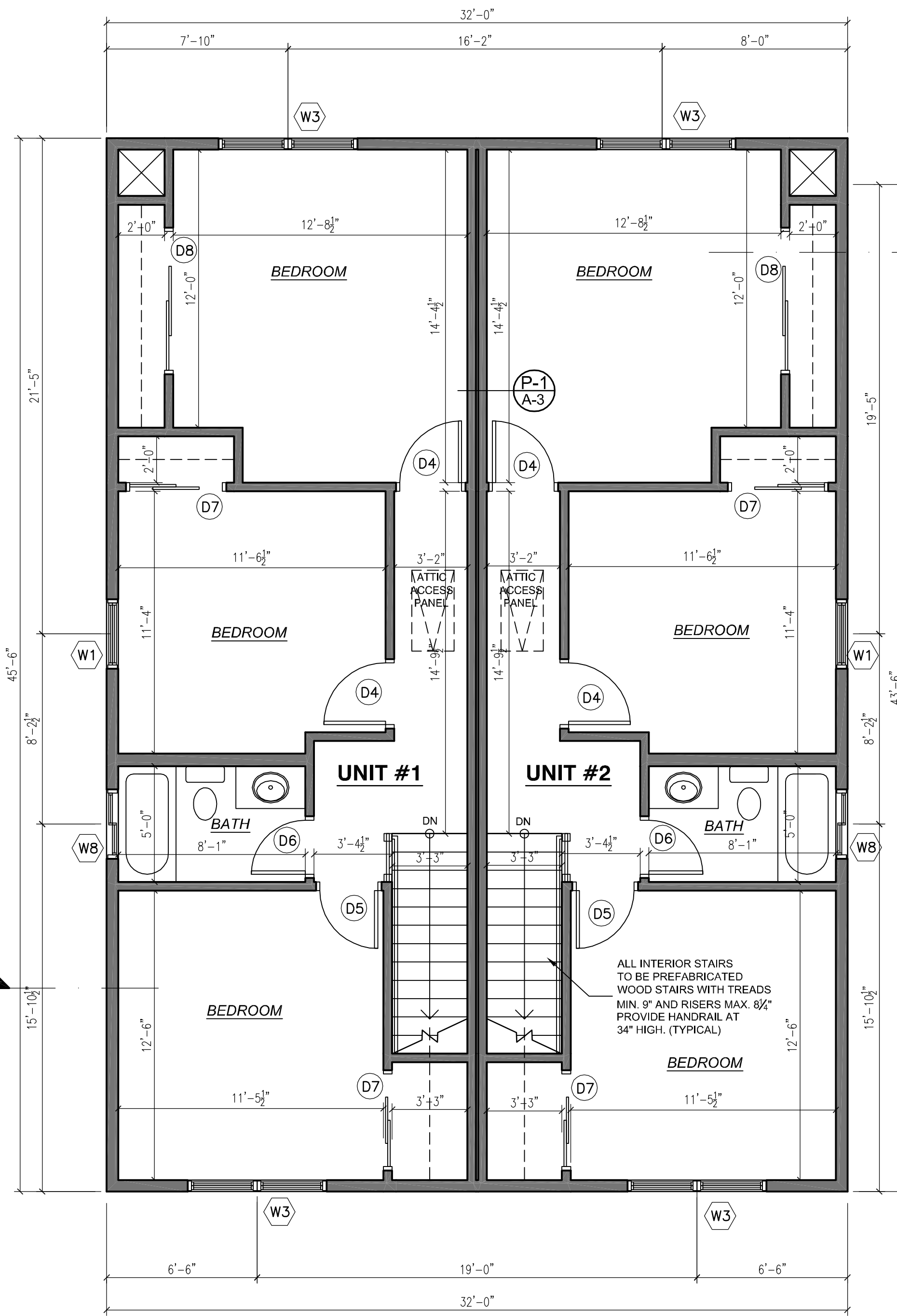
NEW TWO FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
222-260 GREENFIELD STREET, BRIDGEPORT, CT

ELEVATIONS	date: 03-10-2024	scale: AS NOTED
	drawn: M. REINHEIMER 203-449-6137	project #: MCR-2024-114
E-Mail: marcosprimrose@yahoo.com		

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.



1ST FLOOR PLAN
SCALE 1/4" = 1'-0"



2ND FLOOR PLAN
SCALE 1/4" = 1'-0"

DOOR SCHEDULE		
	SIZE	REMARKS
D1	3'-0" x 6'-8" x 1-3/4" EXTERIOR DOOR FULLY WEATHERSTRIPPED, ALUM. SILL	INSULATED
D2	1'-6" x 6'-8" x 1-3/8"	
D3	2'-8" x 6'-8" x 1-3/4"	INSULATED
D4	2'-8" x 6'-8" x 1-3/8"	
D5	2'-6" x 6'-8" x 1-3/8"	
D6	2'-4" x 6'-8" x 1-3/8"	
D7	4'-0" x 6'-8"	SLIDING CLOSET DOOR
D8	6'-0" x 6'-8"	SLIDING CLOSET DOOR
D9	6'-0" x 6'-8"	EXTERIOR SLIDING PATIO DOOR
D10	9'-0" x 8'-0" INSULATED OVERHEAD GARAGE DOOR	
D11	5'-0" x 6'-8"	BI-FOLD DOOR
D12	2'-0" x 6'-8" x 1-3/8"	

WINDOW SCHEDULE			
	ROUGH OPENING	NOMINAL SIZE	REMARKS
W1	SEE MFR.'S SPECIFICATIONS	3'-0" x 5'-0"	D.H. (EGRESS)
W2	SEE MFR.'S SPECIFICATIONS	2'-6" x 4'-0"	D.H.
W3	SEE MFR.'S SPECIFICATIONS	6'-0" x 5'-0"	DOUBLE D.H. (EGRESS)
W4	SEE MFR.'S SPECIFICATIONS	3'-0" x 3'-2"	D.H.
W5	SEE MFR.'S SPECIFICATIONS	2'-6" x 3'-6"	D.H.
W6	SEE MFR.'S SPECIFICATIONS	3'-0" x 1'-6"	SLIDING BASEMENT
W7	SEE MFR.'S SPECIFICATIONS	2'-0" x 2'-0"	AWNING WINDOW
W8	SEE MFR.'S SPECIFICATIONS	3'-0" x 2'-0"	SAFETY GLAZING
W9			

1	2	3	4	5	6
---	---	---	---	---	---

1	2	3	4	5	6
---	---	---	---	---	---

NEW TWO FAMILY HOME PLANS
PREPARED FOR PROPERTY LOCATED AT
222-260 GREENFIELD STREET, BRIDGEPORT, CT

1ST & 2ND FLOOR PLANS
SCHEDULES & NOTES

date: 03-10-2024
drawn: M. REINHEIMER 203-449-6137
E-Mail: marcosprimrose@yahoo.com

scale: AS NOTED
project #: MCR-2024-114

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

A-1



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: The Jewish Home for the Elderly of Fairfield County, Inc.
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 2977 Madison Avenue, Bridgeport, CT 06606
4. Assessor's Map Information: Block No. 72/2510 Lot No. 3/A
5. Amendments to Zoning Regulations: (indicate) Article: Section:
6. Description of Property (Metes & Bounds): 434.37' x 583.41' x 433.62' x 35.67' x 115.96' x 57.16' x 587.20'
7. Existing Zone Classification: RX2
8. Zone Classification requested: RX2
9. Describe Proposed Development of Property: The Applicant proposes to install a non-accessory parking area at the rear of the Property to support the neighboring property at 4200 Park Avenue with associated site improvements.

Approval(s) requested: Special Permit and Site Plan Review

Signature: Print Name: Chris Russo

Date: [Handwritten Signature]

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Print Name:

Mailing Address: 10 Sasco Hill Road, Fairfield, CT 06824
Phone: 203-254-7579 Cell: 203-528-0590 Fax:
E-mail Address: chris@russorizio.com

\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

City of Bridgeport 07/05/2024
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date

Lisa S. Broder*
LBroder@russorizio.com

Liam S. Burke
Liam@russorizio.com

Colin B. Connor
Colin@russorizio.com

William J. Fitzpatrick, III
WFitzpatrick@russorizio.com

Amanda T. Heffernan
Amanda@russorizio.com

David K. Kurata
DKurata@russorizio.com

Stanton H. Lesser*
Stanton@russorizio.com

Victoria L. Miller*
Victoria@russorizio.com

Anthony J. Novella*
Anovella@russorizio.com



10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-254-7579 or 203-255-9928 Fax 203-576-6626

5 Brook St., Suite 2B
Darien, CT 06820
Tel 203-309-5500

299 Broadway, Suite 708
New York, NY 10007
Tel 646-357-3527

110 Merchants Row, Suite 3
Rutland, VT 05702
Tel 802-251-6556

www.russorizio.com

Leah M. Parisi
Leah@russorizio.com

William M. Petroccio*
WPetro@russorizio.com

Raymond Rizio*
Ray@russorizio.com

Christopher B. Russo
Chris@russorizio.com

Robert D. Russo*
Rob@russorizio.com

John J. Ryan*
John@russorizio.com

Jane Ford Shaw
Jane@russorizio.com

Vanessa R. Wambolt
Vanessa@russorizio.com

* Also Admitted in NY

◆ Also Admitted in VT

+ Of Counsel

June 27, 2024

Paul Boucher
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Special Permit and Site Plan Review – 2977 Madison Avenue

Dear Mr. Boucher:

Please accept, on behalf of The Jewish Home for the Elderly of Fairfield County, Inc. (the “Applicant”), the following narrative and enclosed application materials as part of an application for Special Permit and Site Plan Review under the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 2977 Madison Avenue (the “Site”) to install a non-accessory parking area to support the property located at 4200 Park Avenue in Bridgeport, CT (“4200 Park”) in the RX2 Zone.

Narrative

The Petitioner requests approval under the Regulations to install a non-accessory parking area on the rear portion of the Site. The Site is located on Madison Avenue and contains the existing A.B. Skane school building. It is located in the RX2 Zone, which permits Civic Building types. Said existing building and use contain their own parking area, which has been sufficient for supporting the use. However, the Site is very large containing 7.8 acres with a significant amount of excess developable area.

The Site borders 4200 Park, which contains the Jewish Home for the Elderly senior living facility, along its rear property line. 4200 Park is also located in the RX2 Zone. The use is very popular and there is significant parking demand. The Applicant seeks to utilize a portion of the developable land at the rear of the Site to install a non-accessory parking area. It is non-accessory as the parking will not support the school building on the Site and it will exclusively support the senior living facility on 4200 Park. This parking area will contain fifty-seven (57) spaces interspersed with landscaped islands. It will be exclusively accessed from the rear of 4200 Park. The Applicant proposes to install the necessary grading, drainage and stormwater management to support the new

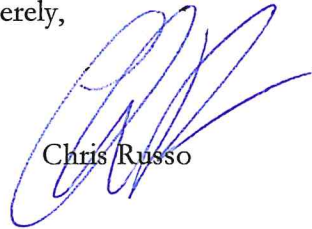
parking area. The Application has been reviewed by the City and it does not require an IWWA permit.

Special Permit and Site Plan Review

The Application satisfies all Special Permit and Site Plan Review standards. The Petition satisfies the objectives and policies of the POCD by providing sufficient parking to support the use on 4200 Park. The Regulations put the onus on the determination of parking needs on the owners and users of properties. The Applicant has had extensive conversations and planning with the City regarding this proposal. The City has determined it has sufficient parking for the Skane School on the Site with the existing parking areas. The Applicant has determined that there is a need for additional parking to support the senior living facility on 4200 Park. The parties have worked together to utilize this portion of the Site, which is developable, and provides a perfect opportunity to provide overflow parking. The proposed parking area will not impair future development of the surrounding area. In fact, additional off-street parking to support the senior living facility use will only benefit the neighborhood by ensuring the use is sufficiently parked. It also ensures these parking areas are accessed from the existing curb cut to 4200 Park. This Application will not generate traffic on Madison Avenue as the proposed parking area will not be accessible from that street. The Application will not reduce the view of significant natural or local features and will obviously not have any impact on the Long Island Sound.

For the reasons stated above, the Petitioner respectfully requests approval of this Application.

Sincerely,



Chris Russo

THE JEWISH HOME FOR THE ELDERLY OF FAIRFIELD COUNTY, INC. ACTIVE

4200 PARK AVENUE, BRIDGEPORT, CT, 06604, United States

BUSINESS DETAILS ▼

Business Details ▲

General Information —

Business Name

THE JEWISH HOME FOR THE ELDERLY OF FAIRFIELD COUNTY, INC.

Business status

ACTIVE

Citizenship/place of formation

Domestic/Connecticut

Business address

4200 PARK AVENUE, BRIDGEPORT, CT, 06604, United States

Annual report due

8/14/2024

NAICS code

Nursing Care Facilities (Skilled Nursing Facilities) (623110)

Business ALEI

0062194

Date formed

8/14/1967

Business type

Non-Stock

Mailing address

4200 PARK AVENUE, BRIDGEPORT, CT, 06604, United States

Last report filed

2023

NAICS sub code

623110

Principal Details —

Principal Name

Emil Meshberg

Principal Title
Vice Chairperson

Principal Business address
4200 PARK AVENUE, BRIDGEPORT, CT, 06604, United States

Principal Residence address
4200 PARK AVENUE, BRIDGEPORT, CT, 06604, United States

Principal Name
ANDREW H.BANOFF

Principal Title
President/CEO

Principal Business address
4200 PARK AVE, BRIDGEPORT, CT, 06604, United States

Principal Residence address
4200 PARK AVE, BRIDGEPORT, CT, 06604, United States

Principal Name
JON AUGUST

Principal Title
Chairperson

Principal Business address
4200 PARK AVE, BRIDGEPORT, CT, 06604, United States

Principal Residence address
4200 PARK AVE, BRIDGEPORT, CT, 06604, United States

Agent details



Agent name
ANDREW H. BANOFF

Agent Business address
4200 PARK AVENUE, BRIDGEPORT, CT, 06604, United States

Agent Residence address
4200 PARK AVENUE , BRIDGEPORT, CT, 06604, United States

Filing History



Annual Report(1994)
0000466304

Filing date: Filing time:

Volume Type

Volume

Start page

Pages

Date generated



Business Formation - Certificate of Incorporation

0000314865

Filing date: 8/14/1967

Filing time:

Volume Type

C

Volume

650

Start page

757

Pages

0

Date generated

8/14/1967



First Report - Organization and First Report

0000314866

Filing date: 10/16/1967

Filing time:

Volume Type

C

Volume

0

Start page

0

Pages

0

Date generated

10/16/1967



Amendment - Amend Name

0000991977

Filing date: 1/8/1970

Filing time:

Volume Type

C

Volume

730

Start page

138

Pages

0

Date generated
1/8/1970



Amendment - Amend

0000466302

Filing date: 9/5/1989

Filing time:

Volume Type
C

Volume
11460

Start page
3498

Pages
0

Date generated
9/5/1989



Administrative Dissolution - Notice of Intent to

Dissolve/Revoke

0000466303

Filing date: 4/5/1991

Filing time:

Volume Type
C

Volume
11790

Start page
1050

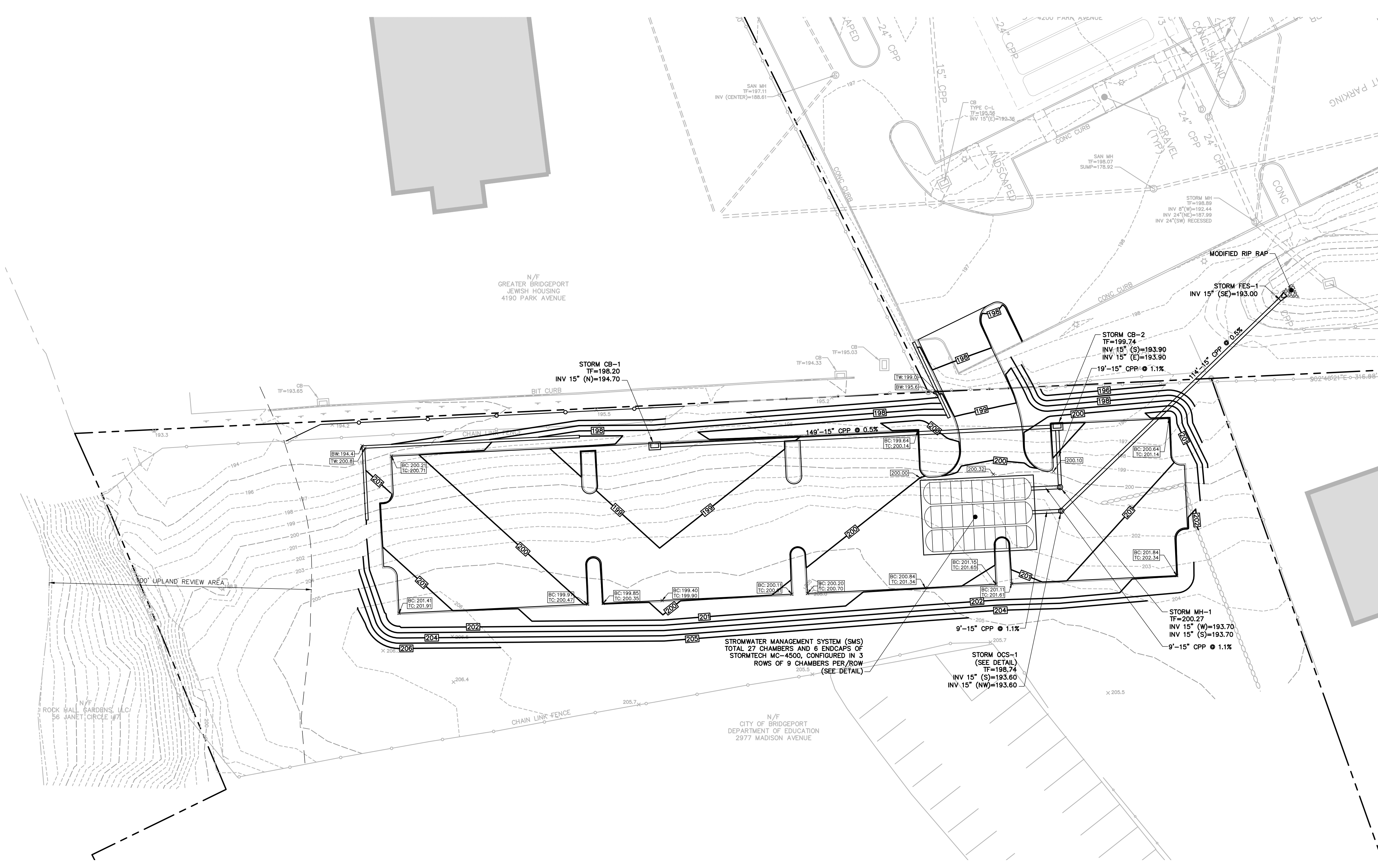
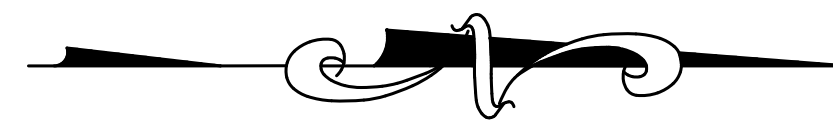
Pages
0

Date generated
4/5/1991

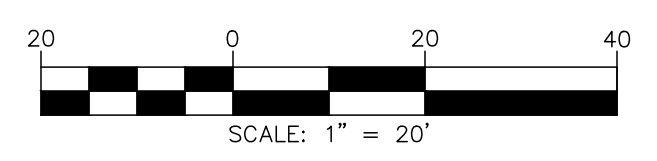


https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t0000000rove/ZtdFr.DdJ.3BFWyGkQp57ZqC7095M7XoxTIYz1U_Y4c

**Annual
Report(1996)**
0001658404
Filing Filing
date: time:
8/26/1996



PROGRESS PRINT FOR REVIEW ONLY-7/21/23



Civil • Environmental • Land Surveying
 One Enterprise Drive, Suite 312 Phone: (203) 944-9944
 Shelton, CT 06484 Fax: (203) 944-9945

CERTIFICATION				REVISIONS		DES
NO.	BY	DATE	REVISIONS	REMARKS		
						EFH
						EFH
						JCP

PREPARED FOR
MOZAIK SENIOR LIFE
 FOR PROPERTY LOCATED AT
 4200 PARK AVENUE
 BRIDGEPORT, CONNECTICUT

**PROPOSED SITE IMPROVEMENT PLANS
 OVERFLOW PARKING
 GRADING AND UTILITIES PLAN**
 SCALE: 1"=20'

COPYRIGHT © 2023
 DATE _____ DATE _____
 C SHEET 3 of 8
 CAD REF. NO. 0826CBASE



PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: GILMAN M ZOCOLI
 2. Is the Applicant's name Trustee of Record? Yes _____ No _____
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
 3. Address of Property: 2380 MAIN ST BRIDGEPORT CT 06606
(number) (street) (state) (zip code)
 4. Assessor's Map Information: Block No. 2111 Lot No. 10
 5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
 6. Description of Property (Metes & Bounds): 220 x 118.03 x 120 x 20 x 100 x 98p.
 7. Existing Zone Classification: MX4
 8. Zone Classification requested: _____
 9. Describe Proposed Development of Property: GROCERY BEER PERMIT
JUST SELL CARRY OUT BEER
- Approval(s) requested: _____

Signature: Gilman M Zocoli Date: 05/26/2024
 Print Name: GILMAN M ZOCOLI

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
 Print Name: _____

Mailing Address: 2380 MAIN ST BRIDGEPORT CT 06606
 Phone: 203 727 2698 Cell: 203 727 2698 Fax: _____
 E-mail Address: GILMARUGA10@OUTLOOK.COM

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

Marguerite Mary Marguerite Mary 4/23/2024
 Print Owner's Name Owner's Signature Date

 Print Owner's Name Owner's Signature Date

NEW COLONY DINER OF BPT
2321 MAIN ST

2328 MAIN LLC
4403 15TH AVE STE 215

2336 MAIN LLC
4403 15TH AVE SUITE 215

2351 MAIN STREET LLC
54 WINTHROP WOODS RD

WELLS CHARLES LLC
4403 15TH AVE SUITE 215

2365 MAIN STREET LLC
54 WINTHROP WOODS ROAD

PAIVA ALBERTINA ETAL
49 BLACKS HILL ROAD

PAIVA ALBERTINA ET AL
49 BLACKS HILL ROAD

ALEXIS JOEL & CHANTALE
P O BOX 5106

PEREZ JOSE SR ET AL
61 FIRST ST

BRIDGEPORT CITY OF
202 STATE ST

CHUQUI EDUARDO D P ET AL
561 W 141 ST APT #58

FERRO BLANCA
132 CHARLES ST #134

MAINS MARGUERITE L
11 FOX RUN RD

DANMARK ASSOCIATES LLC
2403 MAIN ST #2409

HINDS CARLINGTON
383 WELLS ST

MAINS MARGUERITE L
11 FOX RUN RD

HARDISON DENNIS K & DORA
385 WELLS ST

2400 MAIN STREET LLC
375 MOUNTAIN GROVE ST

2400 MAIN STREET LLC
375 MOUNTAIN GROVE ST

2400 MAIN STREET LLC
375 MOUNTAIN GROVE ST

2400 MAIN STREET LLC
375 MOUNTAIN GROVE ST

MY NAME IS GILMAR ZOCOLI, I AM
THE OWNER OF EV BRASIL MEAT MARKET
AT 2380 MAIN ST BRIDGEPORT CT
06606

I AM REQUESTING APPROVED FOR MY
CROCKERY STORE TO OBTAIN PERMIT TO
SELL CARRY OUT BEER

ASS: Gilmar M Zocoli

PRIMARY ENTRANCE
66 FEDERAL ST
(HOLY TRINITY CHURCH)
475' ENTRANCE TO ENTRANCE

PRIMARY ENTRANCE
2380 MAIN ST
(GV BRAZIL MEAT MARKET)
APPLICANT ENTRANCE

PRIMARY ENTRANCE
2372 MAIN ST
(PRIME TIME CHURCH)
12' ENTRANCE TO ENTRANCE

PRIMARY ENTRANCE
226 CHARLES ST
(GOSPEL LIGHT CHURCH)
287' ENTRANCE TO ENTRANCE



1. ALL PARCELS SHOWN HEREIN WERE DERIVED FROM THE CITY OF BRIDGEPORT'S GIS DATA.

2. DISTANCES SHOWN FROM SUBJECT PARCEL FRONT ENTRANCE TO NEIGHBORING PARCELS FRONT ENTRANCE WERE OBTAINED BY A SURVEY PERFORMED ON FEBRUARY 15, 2024.

3. THIS MAP IS TO SHOW THE FRONT ENTRANCE OF ALL PROTECTED USE PARCELS WITHIN 750' OF THE FRONT ENTRANCE OF THE SUBJECT PARCEL.

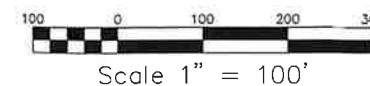
4. PROTECTED USE IS DEFINED IN THE CITY OF BRIDGEPORT'S ZONING REGULATIONS AS "All religious assembly, school, hospital, and commercial day care center uses."


LOCATION AND ELEVATION OF CORNER MARKS
SHOWN ON THIS PLAN WERE OBTAINED BY
UNKNOWN AND SHOULD BE FIELD VERIFIED BY
CONTRACTOR PRIOR TO CONSTRUCTION

ANY USE OR REUSE OF ORIGINAL OR ALTERED
CADD DESIGN MATERIALS BY THE CLIENT,
CONTRACTOR OR OTHER PARTIES WITHOUT THE
WRITTEN AND EXPRESS APPROVAL OF AN
AUTHORIZED REPRESENTATIVE OF NAFIS &
YOUNG ENGINEERS, INC. SHALL BE AT THE
SOLE RISK OF CLIENT, CONTRACTOR OR
OTHER PARTY AGREE TO WAIVER, INDEMNIFY,
AND HOLD NAFIS & YOUNG ENGINEERS, INC.
HARMLESS FROM ALL CLAIMS, DAMAGES,
LOSSES, EXPENSES AND ATTORNEY'S
FEES ARISING OUT OF THE REPRODUCTION
OR REUSE OF THESE MATERIALS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS
SUBSTANTIALLY CORRECT AS NOTED HEREON.

DAVID L. NAFIS, L.S. #22924



2380 MAIN ST (2350 MAIN ST) 52 / 2111 BRIDGEPORT, CT	
<small>PREPARED FOR: GV BRAZIL MEAT MARKET 2380 MAIN ST BRIDGEPORT, CT</small>	<small>PROPERTY OWNER: MAINS MARGUERITE L 11 FOX RUN RD W REDDING, CT 06896</small>
ABUTTERS MAP	
 NAFIS & YOUNG ENGINEERS, INC. <small>1355 Middletown Avenue Northford, Connecticut 06472 Phone: (203) 484-2793 Fax: (203) 484-7343 Email: nyang@nafisandyoung.com</small>	
<small>DATE: FEBRUARY 16, 2024</small>	
<small>JOB NO. 2024-014</small>	<small>SHET NO. 01</small>

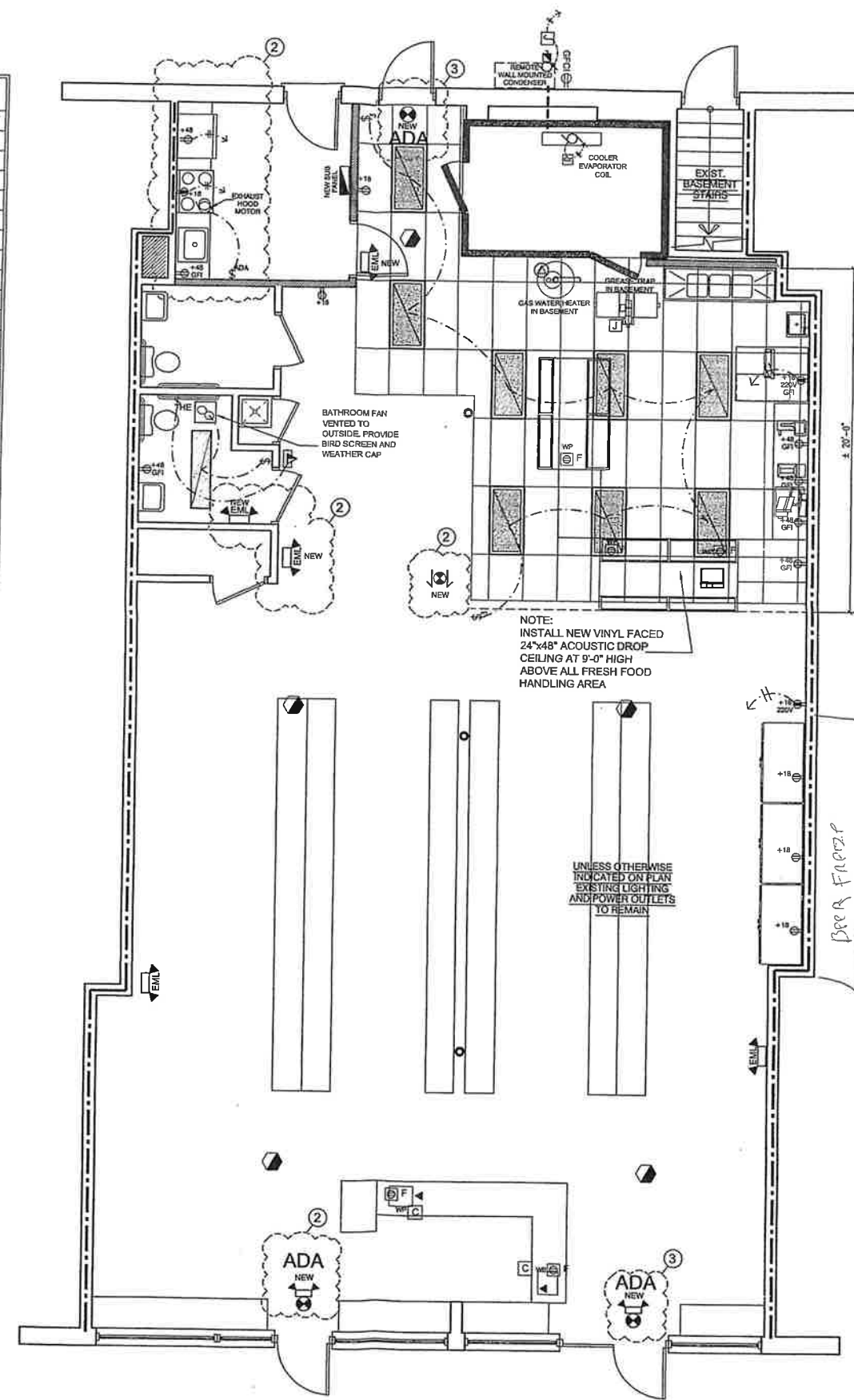
ELECTRICAL SYMBOLS			
SW	SWITCH	RL	RECESSED LIGHTING FIXTURE
3SW	3-WAY SWITCH	WML	WALL MOUNTED LIGHTING FIXTURE
4SW	4-WAY SWITCH	WL	WALL MOUNTED LUMINAIRE
DS	DIMMER SWITCH	CL	CANOPY LIGHTING - SURFACE MOUNT 150W HP
HE	HANDICAP EMERGENCY PULL SWITCH W/ CORD	2x2	2x2 RECESSED GRID-TYPE TROFFER FLUOR. FIXTURE CLEAR ACRYLIC PRISMATIC LENS
EM	EMERGENCY SWITCH	2x4	2x4 RECESSED GRID-TYPE TROFFER FLUOR. FIXTURE CLEAR ACRYLIC PRISMATIC LENS
FD	FUSED DISCONNECT SWITCH		
UNFD	UNFUSED DISCONNECT SWITCH		
JB	JUNCTION BOX		
BFF	BATHROOM FAN / LIGHT COMB.	1x4	1x4 RECESSED GRID-TYPE TROFFER FLUOR. FIXTURE CLEAR ACRYLIC PRISMATIC LENS, NIGHT LIGHT
BEF	BATHROOM EXHAUST FAN	SM	SURFACE MOUNT WRAPAROUND FLUOR. LIGHTING FIXTURE
EF	EXHAUST FAN	SE	SURFACE MOUNT ENCLOSED VAPOR & DUST-PROOF LUMINAIRE FOR WET LOCATION
IFB	INLINE FAN BOOST	WV	WALL MOUNTED or CEILING MOUNTED VAPOR PROOF LIGHT FIXTURE
EMLU	EMERGENCY LIGHT UNIT	EP	EXPLOSION-PROOF LIGHTING FIXTURE
CEML	CEILING MOUNTED EMERGENCY LIGHT	HA	HANDICAP AUDIO AND VISUAL ALARM
CEMF	COMBINATION EMERGENCY / EXIT FIXTURE	SD	SMOKE DETECTOR AC/DC
ES	EXIT SIGN - SINGLE or DOUBLE FACE W/ BATTERY BACK-UP	HD	HEAT DETECTOR AC/DC
ESD	EXIT SIGN - SINGLE OR DOUBLE FACE and DIRECTIONAL-CHEVRONS W/ BATTERY BACK-UP	DS	DUCT SMOKE DETECTOR AC/DC
ESM	OUTDOOR EMERGENCY LIGHTING - WALL MOUNT	CD	HVAC CEILING DISPUSER
EWML	EXTERIOR WALL MOUNT FIXTURE, GASKETED	HR	HVAC SYSTEM CEILING RETURN AIR GRILLE
WP1	WALL PACK FOR BUILDING, GARAGE, WALKWAY ENTRANCES, 175W MH	T	THERMOSTAT
WP2	EXTERIOR HID HEAVY-DUTY WALL PACK - 250W MH	H	HOMERUN TO PANEL
CEML	CEILING MOUNTED LIGHTING FIXTURE	DO	DUPLX RECEPTACLE OUTLET
		QDO	QUADRUPLEX RECEPTACLE OUTLET
		SS	SURGE SUPPRESSION RECEPTACLE
		CO	CEILING DUPLX OUTLET
		SO	SPECIAL OUTLET - 115 / 120 VOLT
		SO2	SPECIAL OUTLET - 208 / 240 VOLT
		FO	FLOOR DUPLX OUTLET
		FSO	FLOOR SPECIAL OUTLET - 208 / 240 VOLT
		CO	COMPUTER CAT5 OUTLET
		TJ	TELEPHONE JACK
		WC	WATER HEATER CONNECTION
		CM	CONNECT TO MOTOR
		FA	FIRE ALARM MANUAL PULL STATION
		AV	AUDIBLE & VISIBLE ALARM DEVICE
		ESP	ELECTRICAL SERVICE PANELS
		WP	WEATHERPROOF
		GFCI	GROUND FAULT CIRCUIT INTERRUPTER
		ADA	ADA LUMINATED EXIT SIGN W / BATTERY BACK-UP
		AS	ACCESSIBLE SWITCH

GENERAL ELECTRICAL NOTES -

- 1) ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE, THE 2017 NFPA 70 NATIONAL ELECTRICAL CODE, ALL STATE AND LOCAL BUILDING CODES, AND ALL OTHER APPLICABLE CODES IN EFFECT.
- 2) PERMITS AND CERTIFICATES - AT ELECTRICAL CONTRACTOR'S EXPENSE, PROVIDE ALL NECESSARY CERTIFICATES AND APPROVALS. ALL PERMITS AND LICENCES COVERING THE COMPLETE INSTALLATION OF ELECTRICAL WORK SHALL BE OBTAINED AND PAID FOR BY THE ELECTRICAL CONTRACTOR.
- 3) LAYOUT AND WIRING SHOWN ON THESE DRAWINGS ARE DIAGRAMMATIC ONLY. EXACT LOCATIONS OF EQUIPMENT AND WIRING SHALL BE DETERMINED IN THE FIELD.
- 4) ALL TRENCHING AND BACKFILL REQUIRED FOR ELECTRICAL WORK SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
- 5) PROVIDE PROOF OF LIABILITY AND PROPERTY INSURANCE TO THE OWNER BEFORE COMMENCING WITH WORK. ALL DEDUCTIBLE SHALL BE PAID FOR BY THE CONTRACTOR IN CASE OF A CLAIM.
- 6) CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH OWNER, UTILITY, AND OTHER TRADES.
- 7) ELECTRICAL CONTRACTOR SHALL SEAL ALL ELECTRICAL PENETRATIONS BY CABLES, WIRES, CONDUITS, PIPES, ETC; THROUGH FIRE RATED PARTITIONS, FLOOR ASSEMBLIES SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM. THROUGH-PENETRATION FIRESTOP SYSTEM SHALL BE TESTED IN ACCORDANCE WITH ASTM E814 AND PER UL (UNDERWRITERS LABORATORIES INC.) FIRE RESISTANCE - VOLUMN 2 / 2001..
- 8) UNLESS OTHERWISE NOTED THE MECHANICAL EQUIPMENT SHOWN ON THESE DRAWINGS WILL BE FURNISHED AND INSTALL BY THE MECHANICAL CONTRACTOR AND WIRED BY THE ELECTRICAL CONTRACTOR. THE EXACT LOCATION OF THE EQUIPMENT SHALL BE IN THE FIELD BY THE MECHANICAL CONTRACTOR.
- 10) OUTLETS SHOWN BACK TO BACK ON PARTITION WALL SHALL BE OFFSET 1'-0", MAXIMUM, OR MOUNTED AT DIFFERENT HEIGHTS IF INDICATED OR OTHERWISE INDICATED.
- 11) COORDINATE ALL WORK RELATED TO EQUIPMENT WITH MANUFACTURER'S RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.
- 12) ALL HOMERUNS GREATER THAN 100 FEET SHALL BE #10 WIRE MINIMUM.
- 13) THE ELECTRICAL CONTRACTOR SHALL PROVIDE POWER WIRING FOR MECHANICAL EQUIPMENT AND ALL LOW VOLTAGE WIRING FOR THERMOSTAT.

GENERAL ELECTRICAL SPECIFICATIONS -

- 1) ALL WIRE SHALL BE 600V RATED COPPER. WIRE SIZE #14 THRU #3 / 0 SHALL BE TYPE THHN OR THWN #14 / 0 AND LARGER SHALL BE TYPE THHN OR XHHW. WIRE SIZE #14 THRU #10 SHALL BE SOLID. #8 AND LARGER SHALL BE STRANDED. ALL POWER WIRING FOR MECHANICAL EQUIPMENT SHALL BE A MINIMUM OF THREE (3) #10's. ALL CONTROL WIRING SHALL BE A MINIMUM OF TWO (2) #14's LIGHTING AND POWER HOMERUNS SHALL BE A MINIMUM OF THREE (3) #10's. ALL OTHER WIRING SHALL BE A MINIMUM OF THREE (3) #12's.
- 2) ALL CURRENT CARRYING MATERIAL USED SHALL BE COPPER.
- 3) ALL NEW RACEWAY SHALL BE METALLIC OF SIZE AS NOTED ON THE DRAWINGS OR AS DICTATED BY THE CODES IN EFFECT. THE CONTRACTOR MAY CHOOSE TO INCREASE THE SIZE OF THE RACEWAY AT HIS DISCRETION BUT WITH NO ADDITIONAL COST TO THE OWNER. MINIMUM CONDUIT SIZE SHALL BE 3/4" . WHERE NOT SUSCEPTIBLE TO PHYSICAL DAMAGE, THE CONTRACTOR MAY CHOOSE TO RUN MC CABLE CONCEALED IN WALLS FOR BRANCH CIRCUITS, NO MORE THAN 12' TO A RECEPTACLE AND 6' TO A LIGHT FIXTURE. EMT SHALL BE USED FOR EXPOSED BRANCH CIRCUITS. MINIMUM CONDUIT SIZE BE 3/4" . THE CONTRACTOR MAY CHOOSE TO RUN ARMORED FIRE ALARM / CONTROL CABLE AS MANUFACTURED BY AFC CABLE SYSTEMS OR EQUAL WHERE CONCEALED IN WALLS OR ABOVE CEILINGS.
- 4) ALL MATERIAL SHALL BE NEW AND U/L APPROVED / LABELED.
- 5) FURNISH GROUNDING / BONDING BUSHING ONTO ALL CONDUIT ENTERING / LEAVING BOXES.
- 6) FURNISHED AND INSTALL ALL LUGS FOR ANY AND ALL ELECTRICAL EQUIPMENT REQUIRED, INCLUDING OWNER FURNISHED EQUIPMENT.
- 7) ALL RECEPTACLES SHALL BE FLUSH MOUNTED 18" A.F.F. AND LIGHT SWITCHES SHALL BE FLUSH MOUNTED 48" A.F.F. UNLESS NOTED OTHERWISE. DIMENSIONS SHALL BE TO CENTER TO DEVICE. CONTRACTOR SHALL COORDINATE WITH OTHER TRADES AND SHALL MODIFY MOUNTING HEIGHTS AND LOCATIONS AS DIRECTED BY THE ARCHITECT TO AVOID CONFLICTS WITH OTHER WORK.
- 8) ALL GROUND CONDUCTORS SHALL BE GREEN, NEUTRAL CONDUCTORS SHALL BE WHITE.
- 9) ALL POWER AND FIRE ALARM DEVICES SHALL BE FLUSH MOUNTED WITH BACK BOX CONCEALED IN THE WALL. NO SURFACE MOUNTED GEM OR HANDY BOXES SHALL BE PERMITTED.
- 10) ALL FIRE ALARM WIRING SHALL BE CONCEALED IN WALLS OR ABOVE CEILINGS. CONTRACTOR SHALL SNAKE CONDUIT AND WIRE OR ARMORED FIRE ALARM CABLE THROUGH WALLS TO NEW DEVICE LOCATIONS AS REQUIRED AND SHALL REPAIR ANY DAMAGE TO THE WALL OR CEILING TO MATCH SURROUNDING CONDITION. NO WIRING PENETRATIONS SHALL BE PERMITTED INTO STAIRS EXCEPT CIRCUITS SERVING STAIR AREA.
- 11) ELECTRICAL CONTRACTOR SHALL SEAL ALL ELECTRICAL PENETRATIONS BY CABLES, WIRE, CONDUITS, PIPES, ETC ; THROUGH FIRE RATED PARTITIONS, FLOOR ASSEMBLIES SHALL BE PROTECTED BY AN APPROVED THROUGH-PENETRATION FIRESTOP SYSTEM. THROUGH-PENETRATION FIRESTOP SYSTEM SHALL BE TESTED IN ACCORDANCE WITH ASTM E814 AND PER UL (UNDERWRITERS LABORATORIES INC.) FIRE RESISTANCE - VOLUMN 2 / 2005
- 12) WHERE TWO OR MORE LIGHT SWITCHES OCCUR AT THE SAME LOCATION, THE SWITCHES SHALL BE GANGED UNDER ONE CONTINUOUS COVERPLATE.



ELECTRICAL PLAN
SCALE 1/4" = 1'-0"



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without the consent of the architect. Method of construction shown on the drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.



1	08-03-20	BUILDING PERMIT REVIEW 10-26-20
2		BUILDING PERMIT REVIEW 11-25-20
3		
4		
5		
6		

GUEDES ASSOCIATES, INC.
 Designers, Architects & Project Managers
 1425 Noble Avenue, Bpt., CT. 06610
 Tel. 203-967-5180 Fax. 203-967-4961

PROPOSED LAYOUT	Scale: AS NOTED
NEW PARTITION DETAILS	Project #: 2020-104
NEW EQUIPMENT LIST	Date: 08-15-20
PLUMBING PLAN	Drawn: M.R.