

**PETITION TO THE BOARD OF APPEALS
City of Bridgeport, Connecticut**

The undersigned presents the following petition for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

24 Gaspee Road Zone N4
(Number) (Street) (Zone Classification)

On the West side of the street about 90 feet South from
(North, South, East, West) (North, South, East, West)

Ranch Drive Block : _____ Lot: _____
(Street)

Dimension of Lot in Question 60'x166'x47'x84'x15'x95'
(Specify)

1. NAME OF PETITIONER / BUSINESS Eduardo Maldonado
(Print)

2. PETITIONERS INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner

3. HAS ANY PREVIOUS PETITION BEEN FILED? No IF SO, GIVE DATE OF HEARING _____
(Yes or No)

4. DESCRIBE PROPOSED DEVELOPMENT Addition of a second floor over the existing first floor and existing foundation, and a rear deck

5. THIS PETITION RELATES TO: Check all that Apply

Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY Single-family residence

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? Per the new regulations, the sloped soil at the front of the house counts as a half story that is part of the height of the existing house, so the addition exceeds the listed allowance of two stories

PETITIONER Eduardo W Maldonado Eduardo Maldonado DATE 6-5-2024
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ / WMJuntos1994@gmail.com
(Email)

Mailing Address 24 Gaspee Road, Bridgeport, CT 06606 203-440-7070
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____ 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS PETITION

All questions must be answered in detail (use separate sheet if necessary).
The Petitioner or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this petition.
NO PETITION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____, 20____ Clerk: _____

Eduardo Maldonado
24 Gaspee Road
Bridgeport, CT 06606

June 5, 2024

Zoning Board of Appeals
City of Bridgeport
Room 206
45 Lyon Terrace
Bridgeport, CT 06604

Re: 24 Gaspee Road
Bridgeport, Connecticut

Dear Sir or Madam:

I am requesting a variance for the height at my residence so that I can build a second floor; my home only has one bedroom and one and a half baths on the first floor.

The Zoning Ordinance allows for a 2-story house, but the lot slopes up from the street and under the ordinance the slope is considered a half story so the house is one and a half stories as existing. The addition of the second floor will make the house two and a half stories requiring a variance for the height.

I am respectfully requesting your support, and if you should you have any questions or require any additional information, please allow me the opportunity to respond.

Respectfully Submitted



Eduardo Maldonado

24 Gaspee Road
Bridgeport, CT

Abutting properties within 100'-0"

Property	Property Owner
36 Gaspee Road	Nieves Estevan & Cynthia 36 Gaspee Road Bridgeport, CT 06606
48 Gaspee Road	Lares Jose J. & Patricia 48 Gaspee Road Bridgeport, CT 06606
45 Gaspee Road	Mayuga Michael 45 Gaspee Road Bridgeport, CT 06606
27 Gaspee Road	Russo John & Civita 27 Gaspee Road Bridgeport, CT 06606
173 Ranch Drive	Cavalho Fernando & Melisa P. 173 Ranch Drive Bridgeport, CT 06606
199 Ranch Drive	Felicio Jeol W. 29 Dolsen Place Stamford, CT 06901
221 Ranch Drive	Moulton Deborah M. 221 Ranch Drive Bridgeport, CT 06606
157 Ranch Drive	ON PHU V. & LIHN T. 157 Ranch Drive Bridgeport, CT 06606

THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY. THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

DO NOT SCALE DRAWINGS. REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT.

CONSTRUCTION DOCUMENT

PRINTED
06-05-2024



(SEAL)

RENOVATION OF A SINGLE-FAMILY RESIDENCE

24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT

SCHEMATIC SITE PLAN AND ZONE STANDARDS

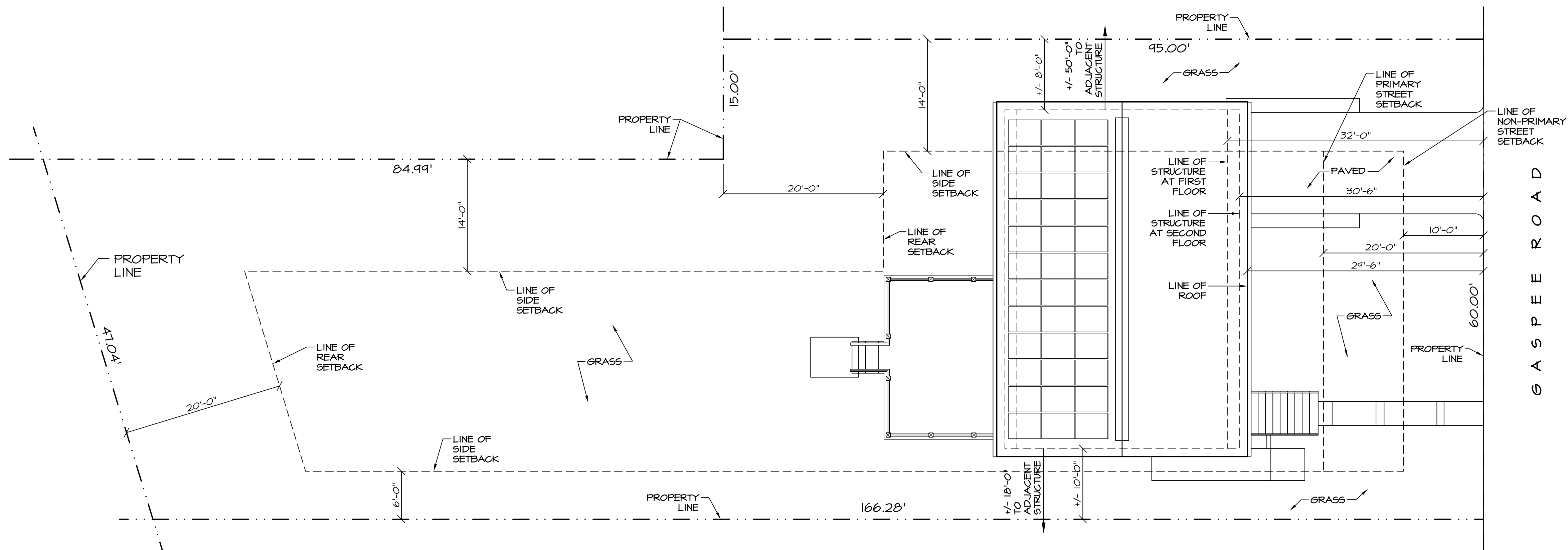
SCALE: SCALED AS NOTED

REVISIONS

No.	DATE	DESCRIPTION

DATE: JUNE 5, 2024

ST-1



1 SCHEMATIC SITE PLAN
SCALE: 1/8" = 1'-0"

ZONE STANDARDS ZONE N-4		
STANDARD	REQUIRED	PROVIDED
LOT WIDTH	60 ft. min.	60 ft.
LOT SIZE	7,500 sq. ft. min.	9,216 sq. ft.
PRIMARY STREET SETBACK	20 ft. min.	N/A
PORCH, STEPS, BAY PRIMARY ENCROACHMENT	8 ft. max.	N/A
NON-PRIMARY STREET SETBACK	10 ft. min.	34 ft. (EXISTING)
SIDE SETBACK SPACE BETWEEN ADJACENT BUILDINGS	6 ft. min. 20 ft. total both sides 12 ft. min.	8 ft. & 10 ft. (EXISTING) +/- 18 ft. & 50 ft. (EXISTING)
REAR SETBACK	20 ft. min.	20 ft. (OVER) (EXISTING)
SITE COVERAGE	65%	25.5% (2,346 sf.) (EXISTING)

NOTES:

- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
- ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL COMPONENTS OF THE DOCUMENTS. TYPICAL UNDER ALL CONDITIONS.
- THE SCHEMATIC SITE PLAN IS FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. TYPICAL.

THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY. THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

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CONSTRUCTION DOCUMENT
 PRINTED 09-01-2023

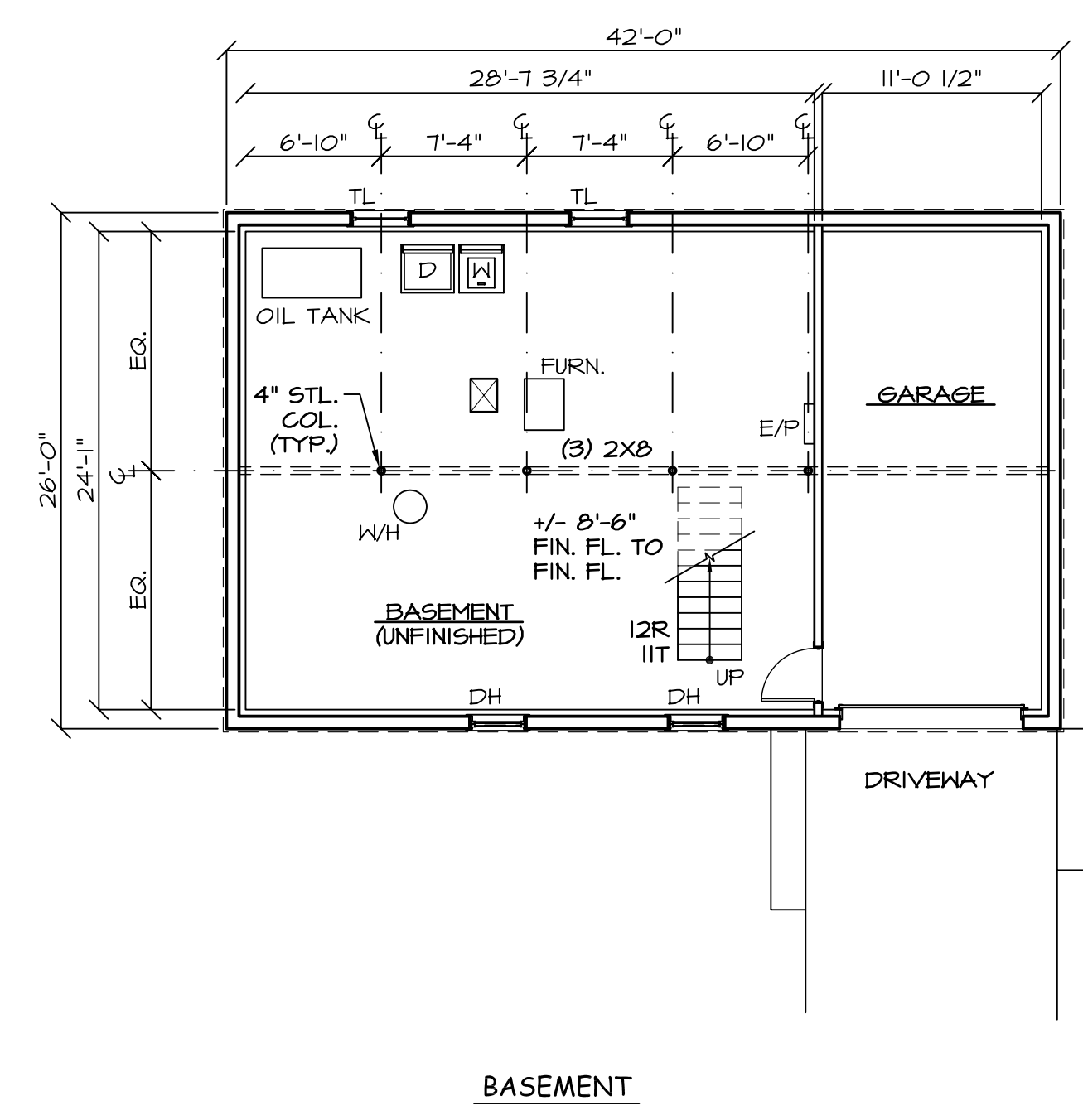


RENOVATION OF A SINGLE-FAMILY RESIDENCE
 24 GASPEE ROAD
 BRIDGEPORT, CONNECTICUT

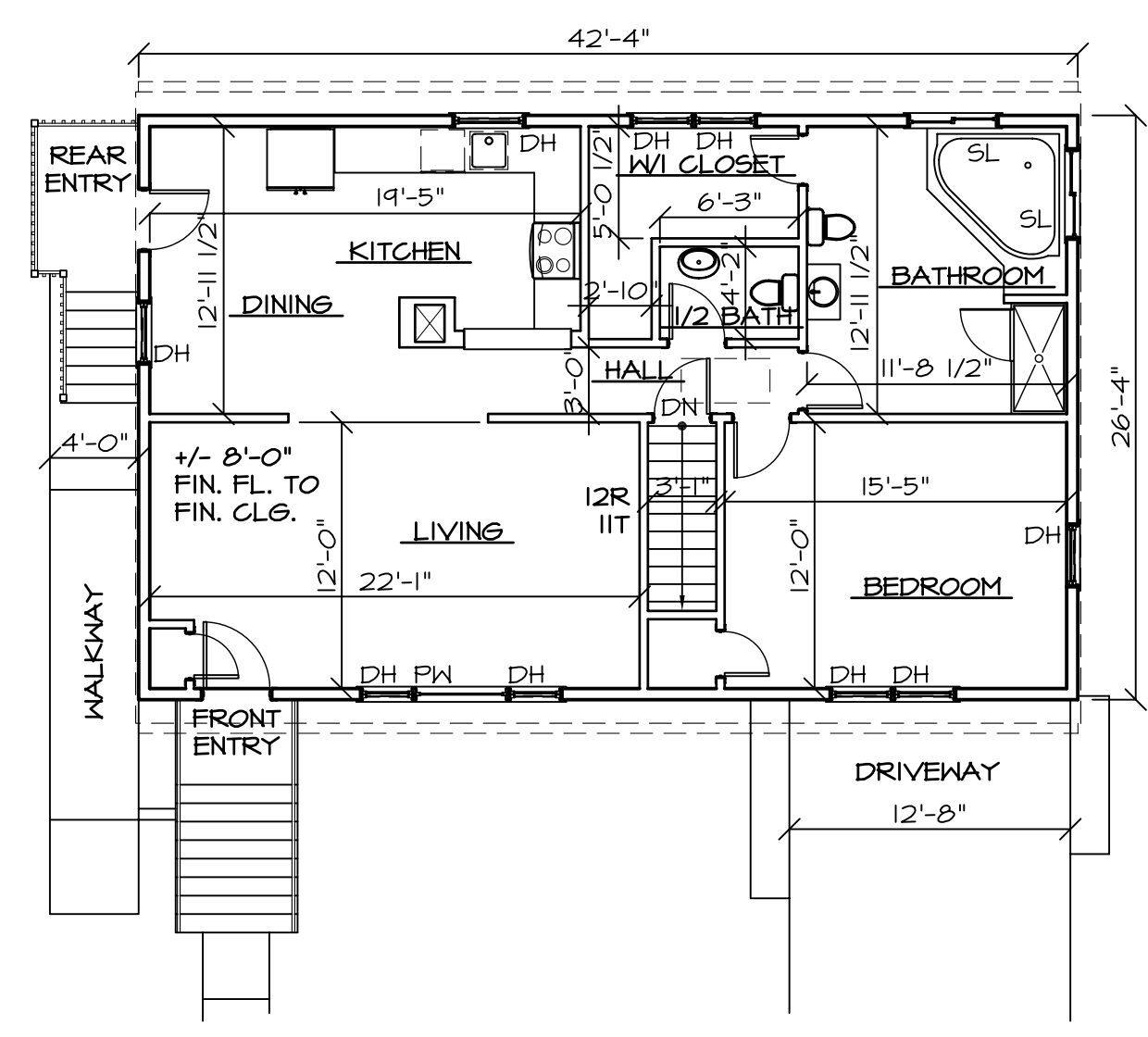
EXISTING CONDITIONS FLOOR PLANS, ELEVATIONS & NOTES

REVISIONS		
No.	DATE	DESCRIPTION
1	3-22-2024	B.O. COMMENTS - 9-18-2023
2	3-22-2024	OWNER REQUEST - 1-15-2024

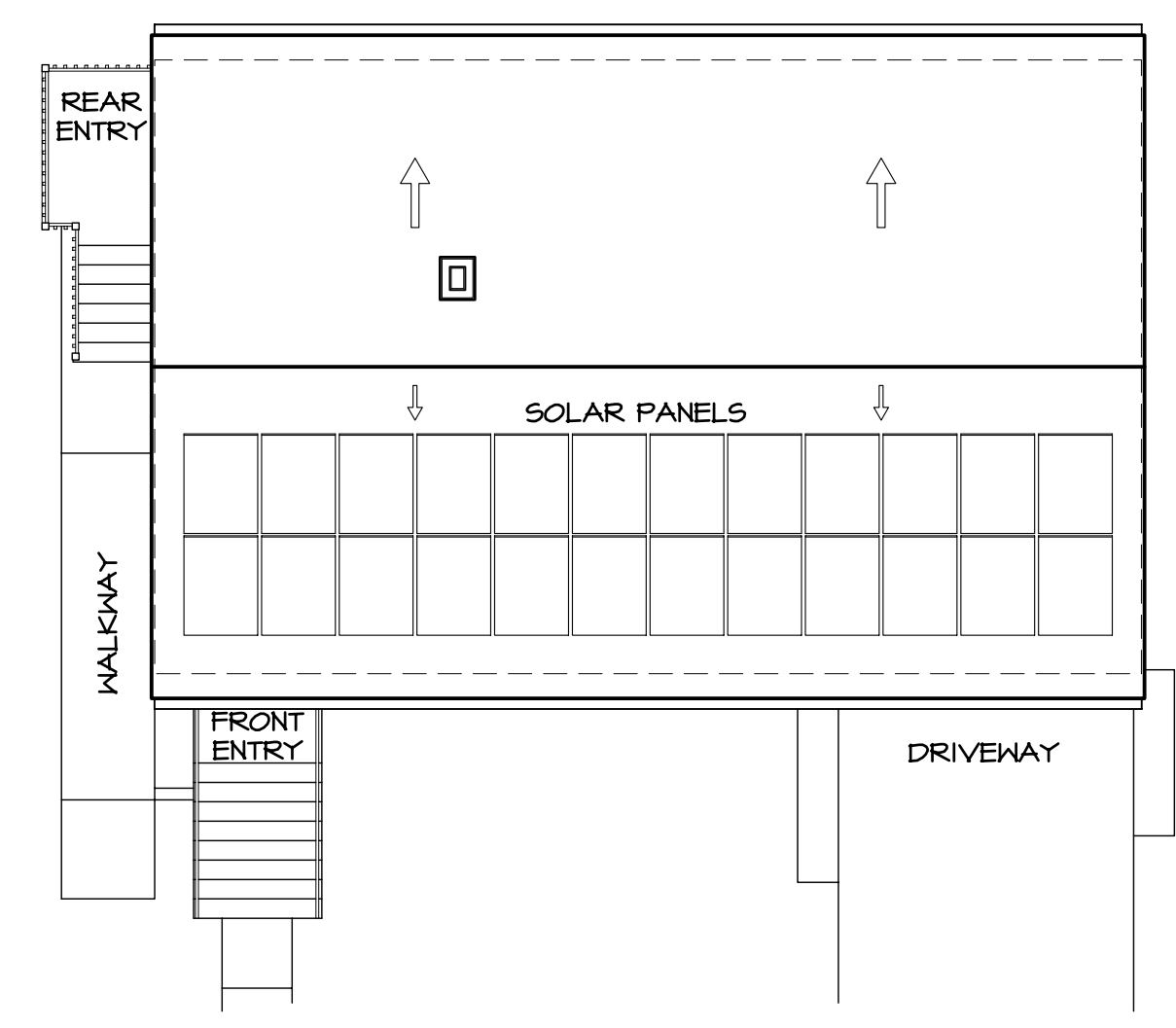
DATE: SEPTEMBER 1, 2023



BASEMENT



FIRST FLOOR



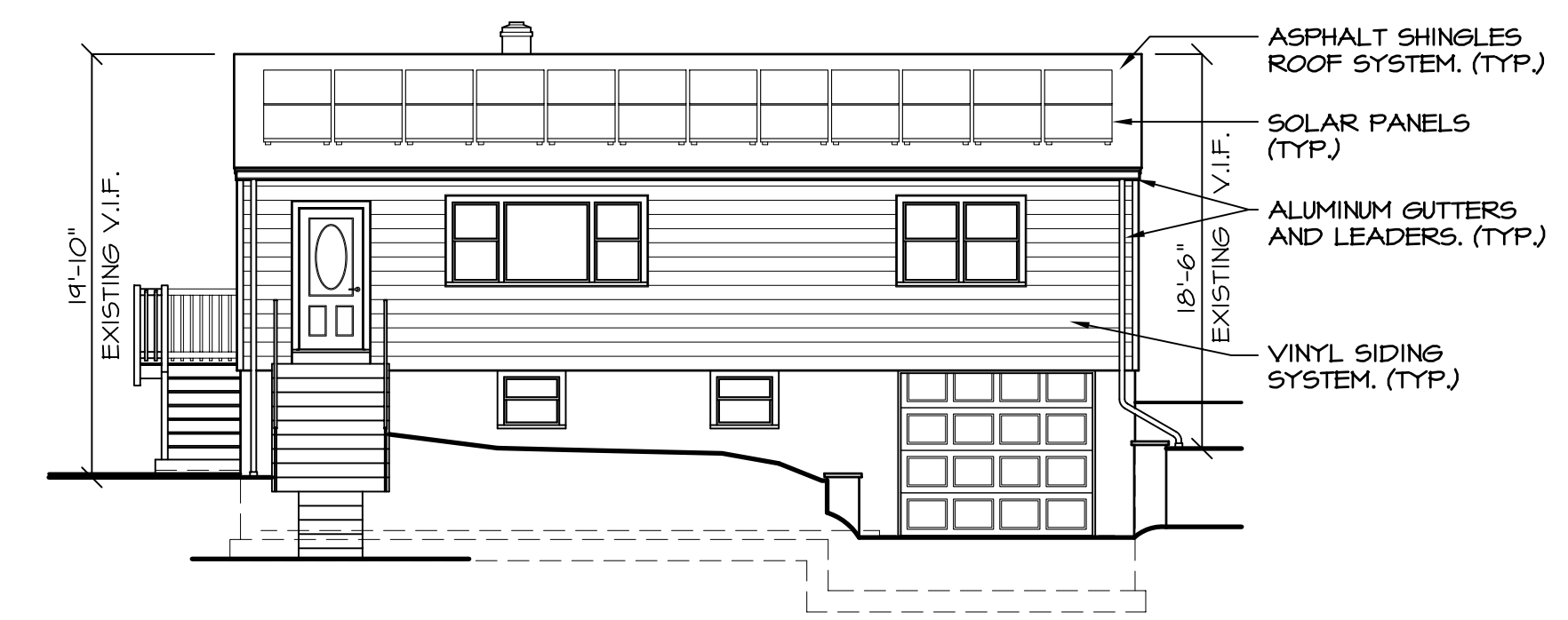
ROOF



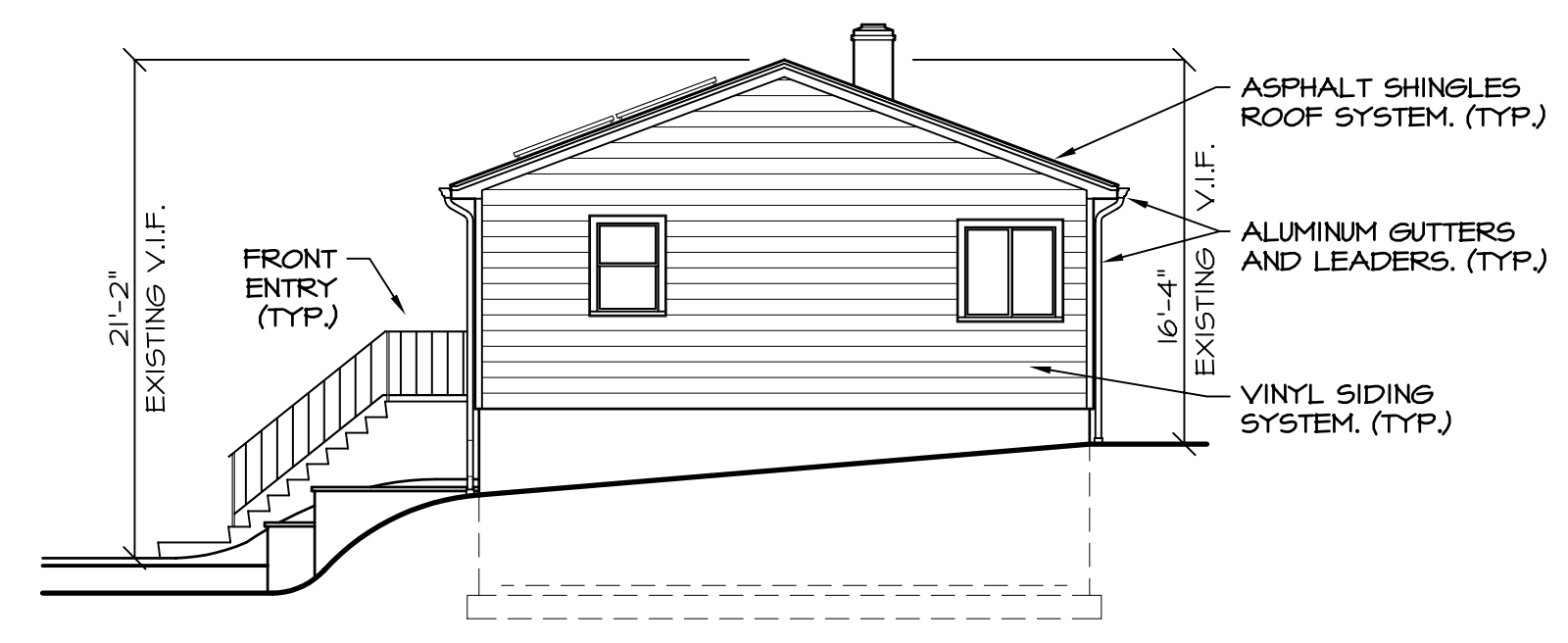
1 EXISTING CONDITIONS FLOOR PLANS
 SCALE: 1/8" = 1'-0"

NOTES:

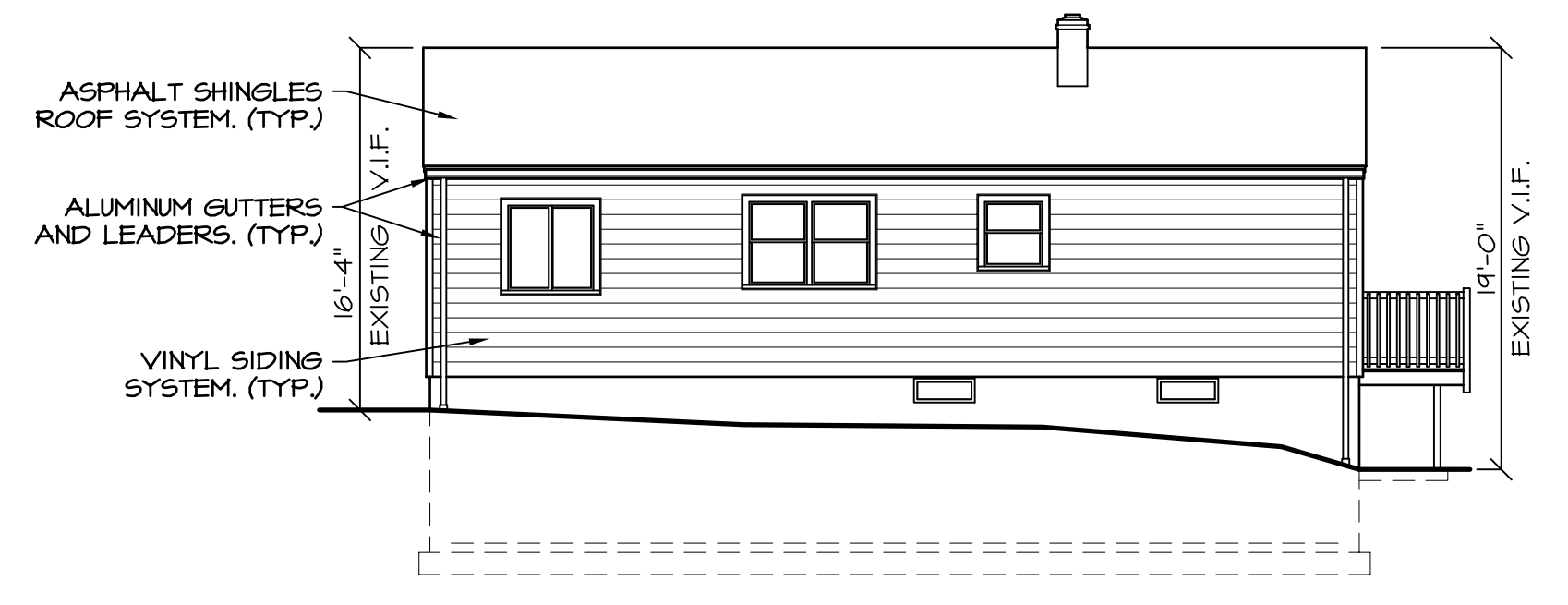
- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
- ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL COMPONENTS OF THE DOCUMENTS. TYPICAL UNDER ALL CONDITIONS.
- THE EXISTING CONDITIONS ARE FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. TYPICAL.
- ALL WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH ALL CODES, ORDINANCES, REGULATIONS AND LAWS FROM ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION. THE DESIGN BASIS IS THE 2021 INTERNATIONAL RESIDENTIAL CODE PART OF THE 2022 CONNECTICUT STATE BUILDING CODE. TYPICAL FOR ALL CONDITIONS.
- ALL DIMENSIONS ARE APPROXIMATE AND ORIGINATE FROM FINISHED EXISTING COMPONENTS OR AS NOTED. PROVIDE ADJUSTMENTS PER SITE CONDITIONS THROUGHOUT CONSTRUCTION. VERIFY ALL CONDITIONS IN THE FIELD. TYPICAL FOR ALL LOCATIONS UNDER ALL CONDITIONS.
- COORDINATE ALL NEW WORK AND ANY MINOR COINCIDENTAL DEMOLITION WORK WITH THE EXISTING CONDITIONS IN THE FIELD. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. TYPICAL FOR ALL CONDITIONS.



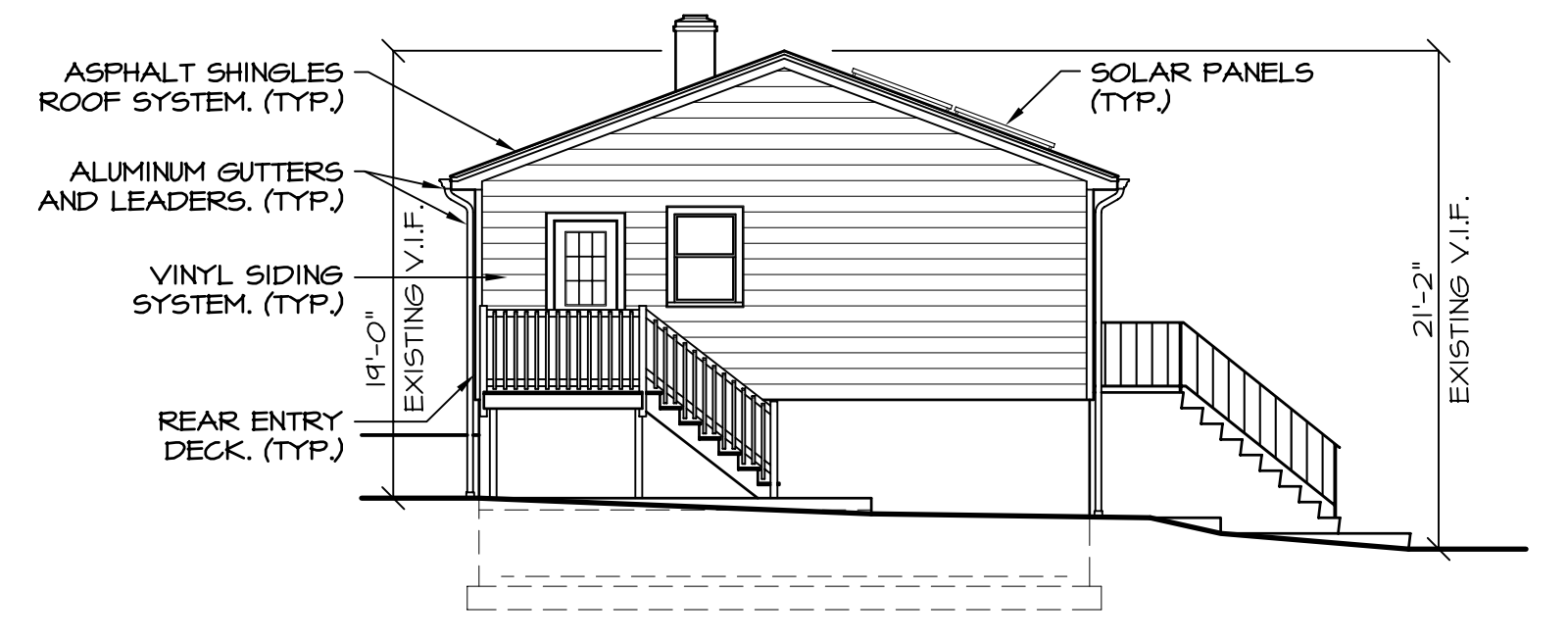
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

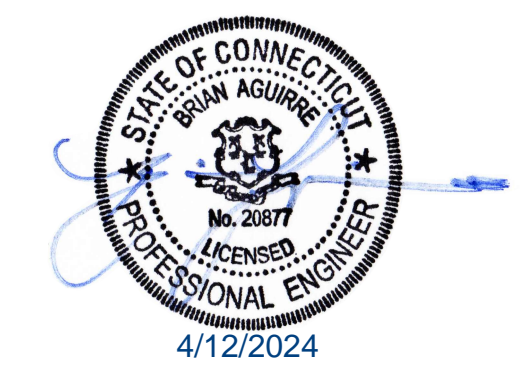


SOUTH ELEVATION

SYMBOLS LEGEND:

- (X) WINDOW TYPE
- (X) DOOR TYPE
- (X) WALL TYPE
- (X XX) ELEVATION No. SHEET No. ELEVATION KEY
- (X XX) SECTION No. SHEET No. SECTION KEY
- (SD) SMOKE DETECTOR
- (CO) CO DETECTOR

2 EXISTING CONDITIONS ELEVATIONS
 SCALE: 1/8" = 1'-0"



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AND CLARIFICATIONS TO
THE ARCHITECT

CONSTRUCTION DOCUMENT

PRINTED
09-01-2023



(SEAL)

RENOVATION
OF A
SINGLE-FAMILY
RESIDENCE

24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT

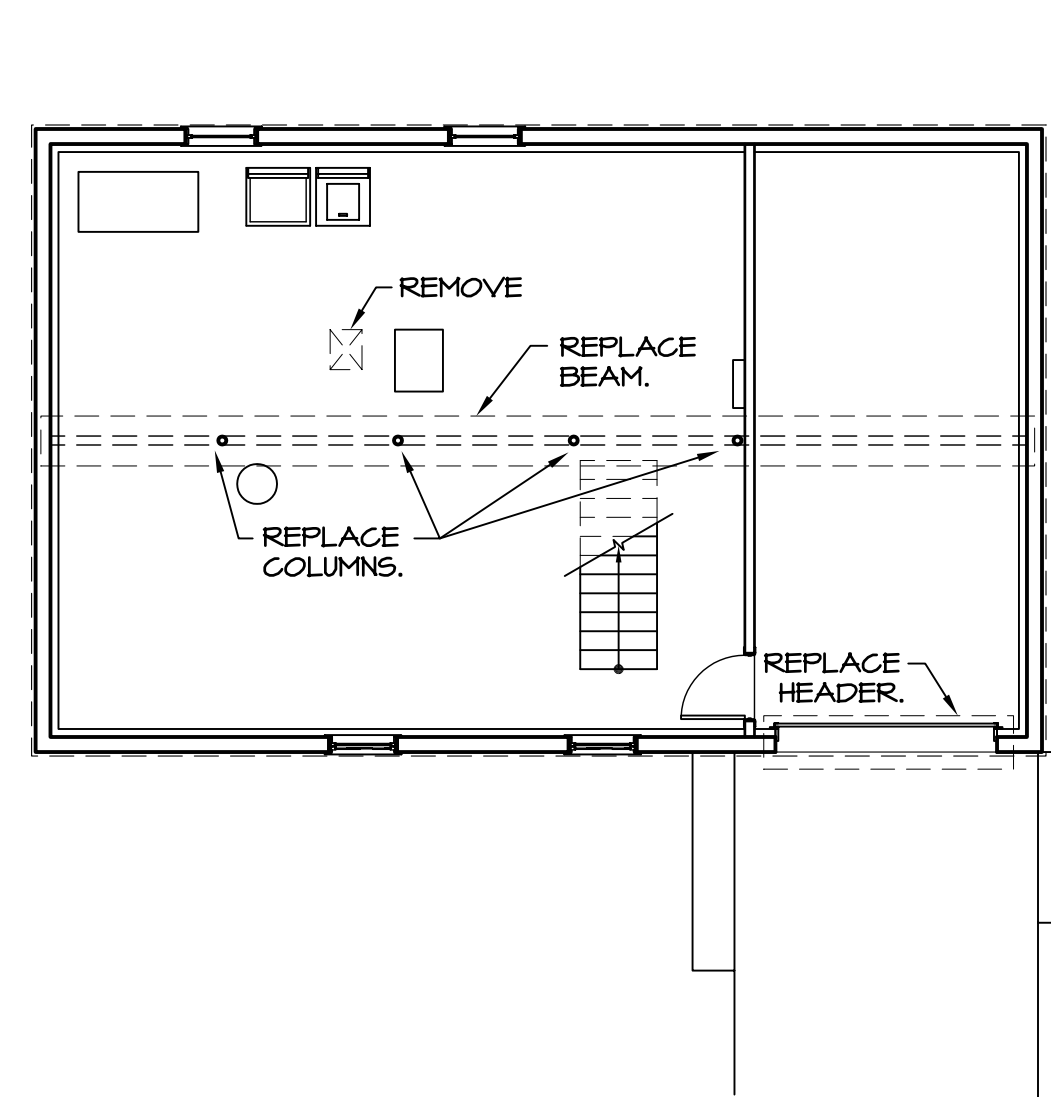
SCHEMATIC
DEMOLITION
FLOOR PLANS,
ELEVATIONS
& NOTES

SCALE: SCALED AS NOTED

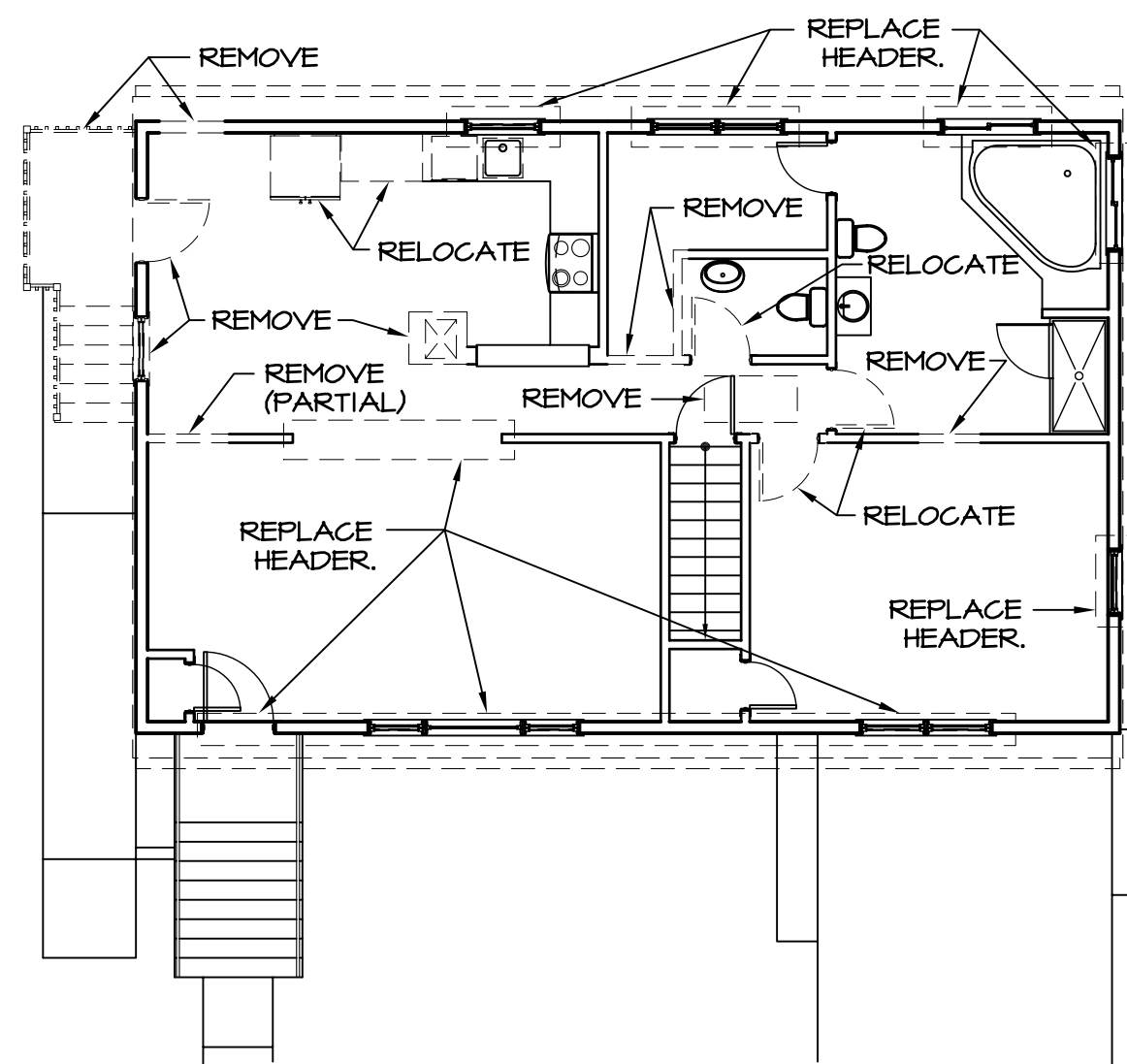
REVISIONS		
No.	DATE	DESCRIPTION
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DATE: SEPTEMBER 1, 2023

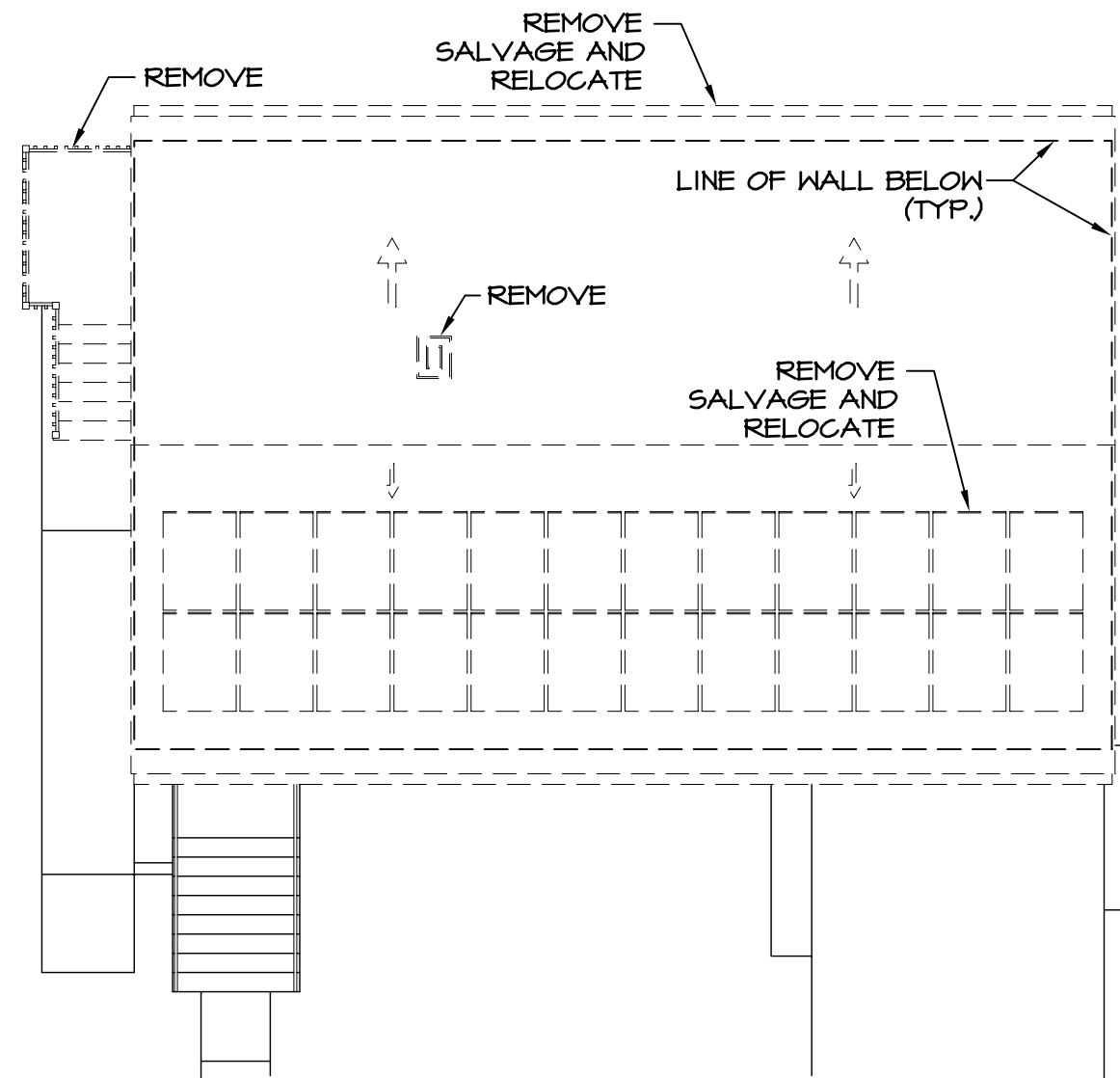
A-2.0



BASEMENT



FIRST FLOOR



ROOF

LEGEND

	NEW WALL AND OR COMPONENT
	EXISTING WALL OR COMPONENT TO REMAIN
	EXISTING COMPONENT TO BE REMOVED



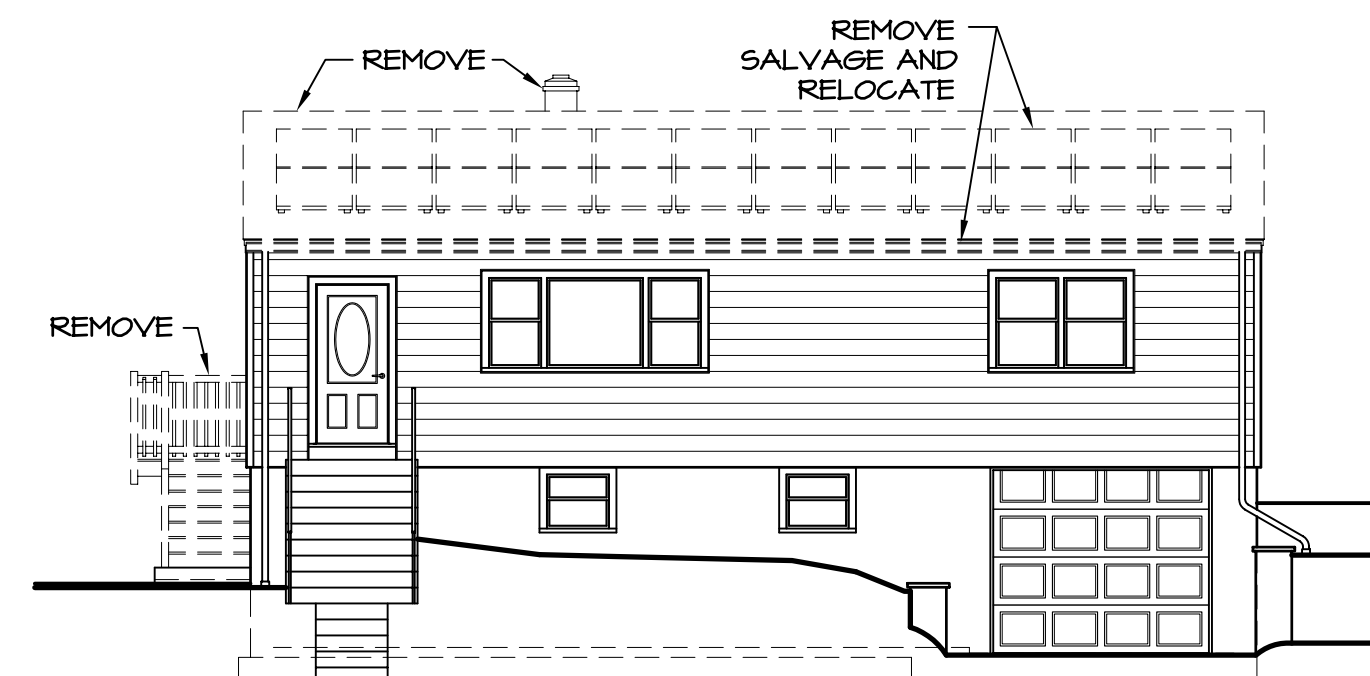
PROJECT NORTH

1 SCHEMATIC DEMOLITION PLANS

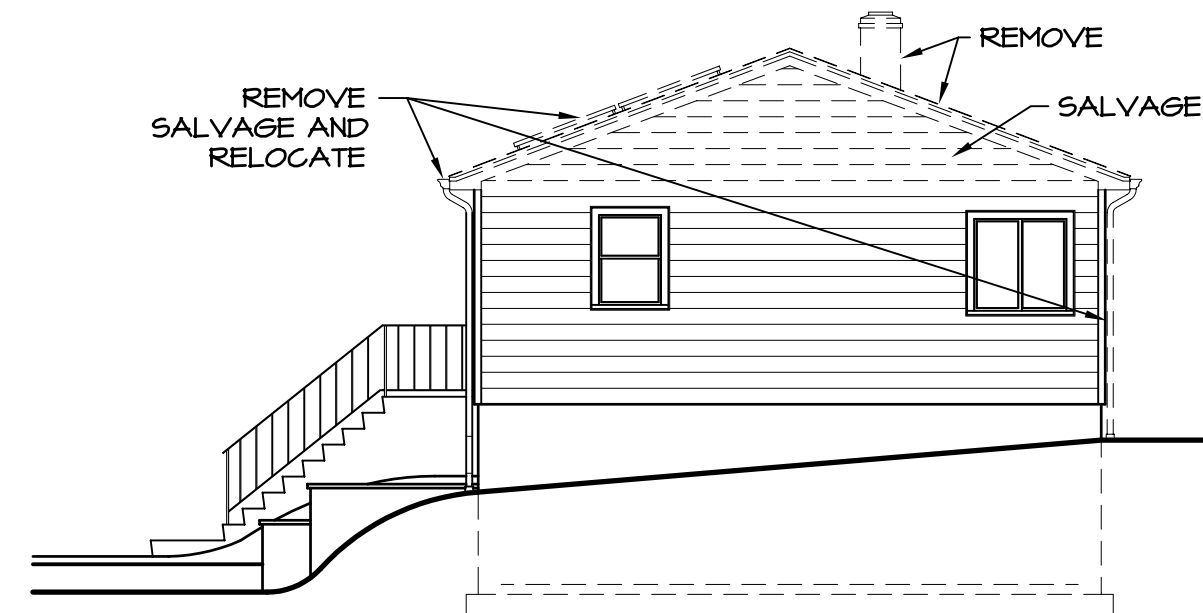
SCALE: 1/8" = 1'-0"

NOTES:

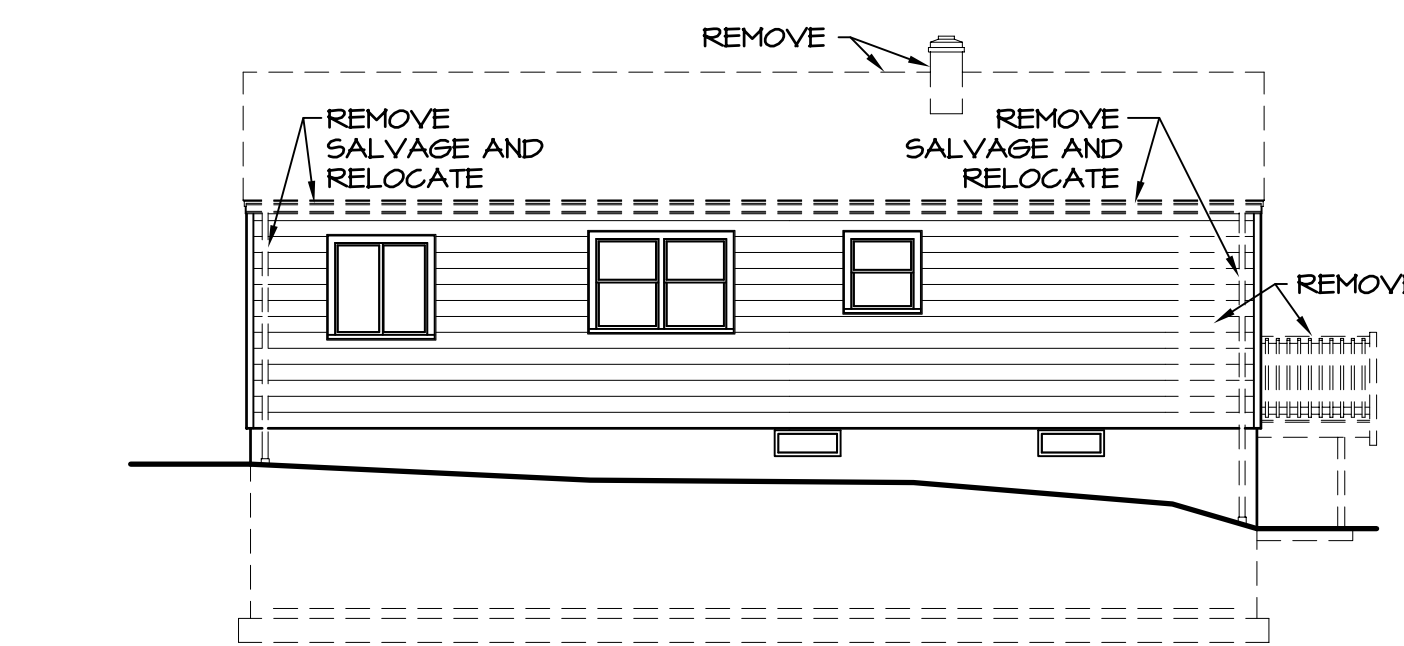
- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
- THE DEMOLITION DRAWINGS ARE SCHEMATIC IN NATURE AND ARE INCLUDED AS A REFERENCE TO FACILITATE THE COORDINATION OF THE AMOUNT OF EXISTING COMPONENTS THAT ARE TO BE REMOVED WITH THE COMPONENTS TO REMAIN AND THE NEW COMPONENTS TO BE PROVIDED BY THE CONTRACTOR. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAKE PROVISIONS FOR ALL REQUIRED DEMOLITION OF ANY AND ALL EXISTING COMPONENTS, THE PREPARATION OF ANY AND ALL SURFACES TO RECEIVE NEW WORK AND THE COORDINATION OF ALL NEW WORK WITH ALL DEMOLITION WORK. TYPICAL FOR ALL CONDITIONS AT ALL LOCATIONS.
- ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL ASPECTS OF THE PROJECT. COORDINATE ALL NOTED REQUIREMENTS WITH ALL NEW WORK.
- PROVIDE BRACING AND SHORING, AS NEEDED, TO ACCOMMODATE ALL DEMOLITION ACTIVITIES IN FULL COORDINATION WITH ALL THE NEW WORK TO BE PROVIDED. ALL BRACING AND SHORING SHALL COMPLY WITH ANY AND ALL APPLICABLE CODES, REGULATIONS AND OR LAWS FROM ANY AND ALL AGENCIES, LOCAL, STATE AND FEDERAL HAVING JURISDICTION. TYPICAL FOR ALL CONDITIONS AT ALL LOCATIONS.
- PROVIDE CUTTING AND PATCHING TO ACCOMMODATE ANY AND ALL PARTS, PORTIONS AND OR COMPONENTS TO ACCOMMODATE ALL NEW CONSTRUCTION REQUIREMENTS AS NOTED. COORDINATE ALL CUTTING AND PATCHING WITH ALL NEW WORK. TYPICAL.
- MAKE PROVISIONS TO PROTECT ALL ADJACENCIES. PROTECT ANY AND ALL EXISTING MATERIALS TO REMAIN. IF DAMAGE IS EMINENT NOTIFY THE ARCHITECT AND THE OWNER BEFORE PROCEEDING. TYPICAL AT ALL LOCATIONS FOR ALL CONDITIONS.
- MAKE PROVISIONS TO PROTECT ALL TRAFFIC WAYS. DO NOT BLOCK ACCESS TO ANY EMERGENCY ACCESS WAY AND OR PEDESTRIAN ACCESS WALKWAY. IF REQUIRED, NOTIFY THE ARCHITECT AND THE OWNER AND SECURE ANY REQUIRED PERMIT OR WRITTEN PERMISSION FROM ANY AGENCY HAVING JURISDICTION. DO NOT PROCEED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT AND OR THE OWNER. TYPICAL UNDER ALL CONDITIONS.
- THE CONTRACTOR SHALL RESTORE ALL AREAS AND ADJACENCIES THAT ARE DISTURBED BY ANY PART OR PORTION OF THE WORK TO A CONDITION THAT IS EQUAL OR BETTER THAN BEFORE ANY WORK WAS DONE. NOTIFY THE ARCHITECT AND THE OWNER OF ANY AND ALL DISCREPANCIES. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS.
- THE CONTRACTOR SHALL SECURE ALL WORK AREAS AND DEMOLITION WORK AREAS TO RESTRICT ACCESS TO NON-CONSTRUCTION PERSONNEL. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY AND ALL DISCREPANCIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS.
- THE OWNER RESERVES THE RIGHT TO SALVAGE ANY PORTION, PART, ACCESSORY AND OR COMPONENT OF ANY AND ALL ITEMS SCHEDULED FOR AND OR REQUIRED DEMOLITION. THE CONTRACTOR SHALL PROVIDE THE REMOVAL AND SHALL STORE AND OR DELIVER ANY SAID PORTIONS, PARTS, ACCESSORY AND OR COMPONENT AS DIRECTED BY THE OWNER AND OR THE ARCHITECT. TYPICAL UNDER ALL CONDITIONS.
- THE CONTRACTOR SHALL REMOVE ANY AND ALL DEBRIS THAT IS GENERATED BY ALL DEMOLITION AND OR CONSTRUCTION ACTIVITIES DAILY FROM THE CONSTRUCTION SITE. THE DEBRIS MAY BE STORED IN DUMPSTERS OUTSIDE IN COMPLIANCE WITH THESE NOTES AND AS APPROVED BY THE OWNER AND THE ARCHITECT. ALL DEBRIS GENERATED BY THE DEMOLITION AND OR CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF LEGALLY FROM THE SITE. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FROM ANY AND ALL AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVIDE WRITTEN CONFIRMATION OF ALL DISPOSED MATERIALS TO THE OWNER. THE CONTRACTOR SHALL NOT STORE ANY DEBRIS AT THE SITE FOR A PERIOD OF MORE THAN THREE DAYS UNLESS DIRECTED OTHERWISE IN WRITING BY THE OWNER OR THE ARCHITECT. TYPICAL FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL COMPLY IN FULL WITH ANY AND ALL REQUIREMENTS FOR SURFACE PREPARATION FOR ANY AND ALL NEW MATERIALS TO BE PROVIDED IN ACCORDANCE WITH ALL RESPECTIVE MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS FOR EACH SPECIFIC AND RESPECTIVE MATERIALS.
- MAKE PROVISIONS FOR ANY AND ALL THROUGH-ROOF PENETRATIONS TO ACCOMMODATE ANY NEW WORK. PATCH AND REPAIR THE EXISTING FIRST FLOOR CEILING TO REMAIN. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS.
- SELECTIVELY REMOVE AND SALVAGE THE EXISTING EXTERIOR DOOR AND EXISTING WINDOWS AS NOTED. COORDINATE THE REMOVAL OF EXISTING WALL PORTIONS SCHEDULED TO RECEIVE NEW WORK. REFER TO PLANS. SALVAGED MATERIALS AND OR COMPONENTS SHALL BE STORED AS DIRECTED BY THE OWNER. TYPICAL AT ALL LOCATIONS.
- AT THE BASEMENT, REMOVE THE EXISTING BEAM AND COLUMNS AND REPLACE AS NOTED. REFER TO PLANS. PROVIDE BRACING AND SHORING. TYPICAL.
- MAKE PROVISIONS TO REMOVE AND REPLACE ALL EXISTING HEADERS AT ALL EXTERIOR WALL AT ALL LEVELS AS NOTED, AND AT ALL INTERIOR LOCATIONS AS NOTED. REFER TO PLANS. TYPICAL.
- REMOVE, SALVAGE AND RELOCATE ALL INTERIOR DOORS AS NOTED. REFER TO PLANS. TYPICAL.
- REMOVE, SALVAGE AND RELOCATE THE EXISTING REFRIGERATOR AND PANTRY CABINET AS NOTED. REFER TO PLANS. TYPICAL.
- SELECTIVELY REMOVE AND SALVAGE ALL EXISTING VINYL SIDING SYSTEM FROM ALL LOCATIONS AS NOTED AND OR REQUIRED FOR FUTURE RE-USE. NOTE THAT THIS MATERIAL WILL BE RE-USED TO PATCH AND REPAIR THE EXISTING VINYL SIDING SYSTEM ALONG THE ENTIRE FIRST LEVEL OF THE HOUSE. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS.
- SELECTIVELY REMOVE, SALVAGE AND RELOCATE THE EXISTING SOLAR PANELS. COORDINATE THEIR REMOVAL, RELOCATION AND RE-INSTALLATION WITH ANY AND ALL OTHER EXISTING AND NEW ELECTRICAL REQUIREMENTS. NOTE THAT THE REMOVAL, STORAGE AND RE-INSTALLATION OF THE EXISTING SOLAR PANELS AS WELL AS THE POSSIBLE PROVISION OF NEW SOLAR PANELS SHALL BE DONE UNDER A SEPARATE PERMIT, AND SAID PERMIT SHALL BE SECURED BY THE OWNER'S APPROVED SOLAR COMPANY. TYPICAL.
- REMOVE THE EXISTING STEPS AND DECK AT THE SOUTH ENTRY. REFER TO FLOOR PLANS. NOTE THAT THE EXISTING WALKWAY WILL REMAIN. TYPICAL.
- AT THE ROOF, REMOVE THE EXISTING ROOF WITHOUT DAMAGING THE EXISTING GYPSUM WALL BOARD CEILING TO REMAIN. THE EXISTING BOTTOM CHORD OF THE EXISTING ROOF TRUSSES IS TO REMAIN, CUT OR OTHERWISE DISCONNECT THE BOTTOM CHORD OF THE TRUSSES AND ALL THE WEB COMPONENTS. REMOVE ALL REMAINING EXISTING ROOF COMPONENTS. THE EXISTING ROOF TRUSS BOTTOM CHORDS ARE TO BE ABANDONED IN PLACE AND SECURED TO THE NEW FLOOR/CEILING ASSEMBLY. REFER TO THE PLANS, SECTIONS AND DETAILS. PREPARE THE ENTIRE AREA TO RECEIVE THE NEW WORK. PROVIDE BRACING AND SHORING. TYPICAL AT ALL LOCATIONS.



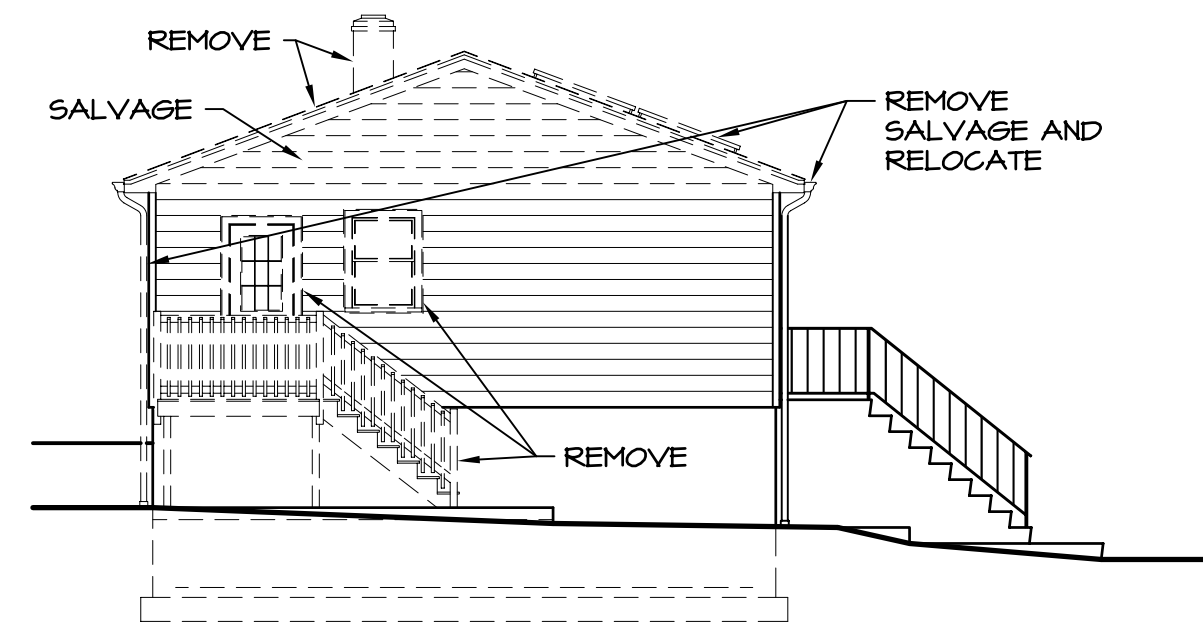
EAST ELEVATION



NORTH ELEVATION



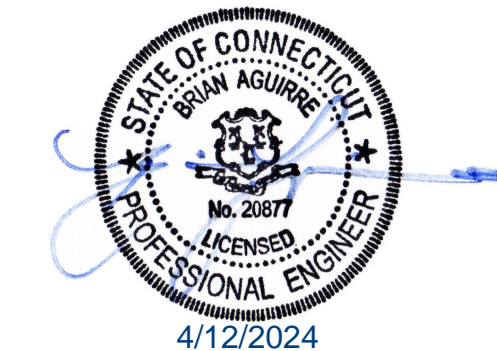
WEST ELEVATION



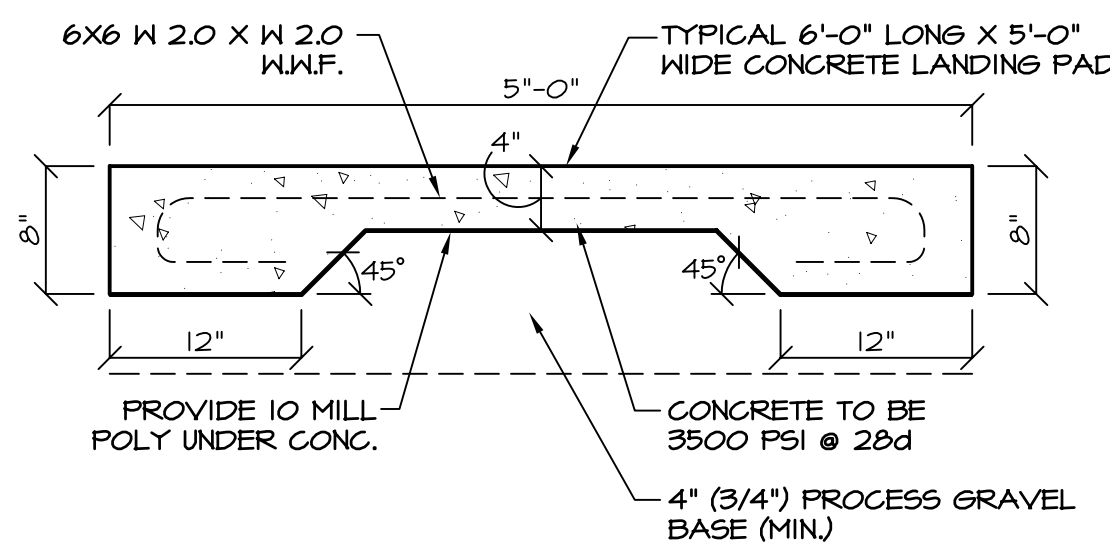
SOUTH ELEVATION

2 SCHEMATIC DEMOLITION ELEVATIONS

SCALE: 1/8" = 1'-0"



4/12/2024

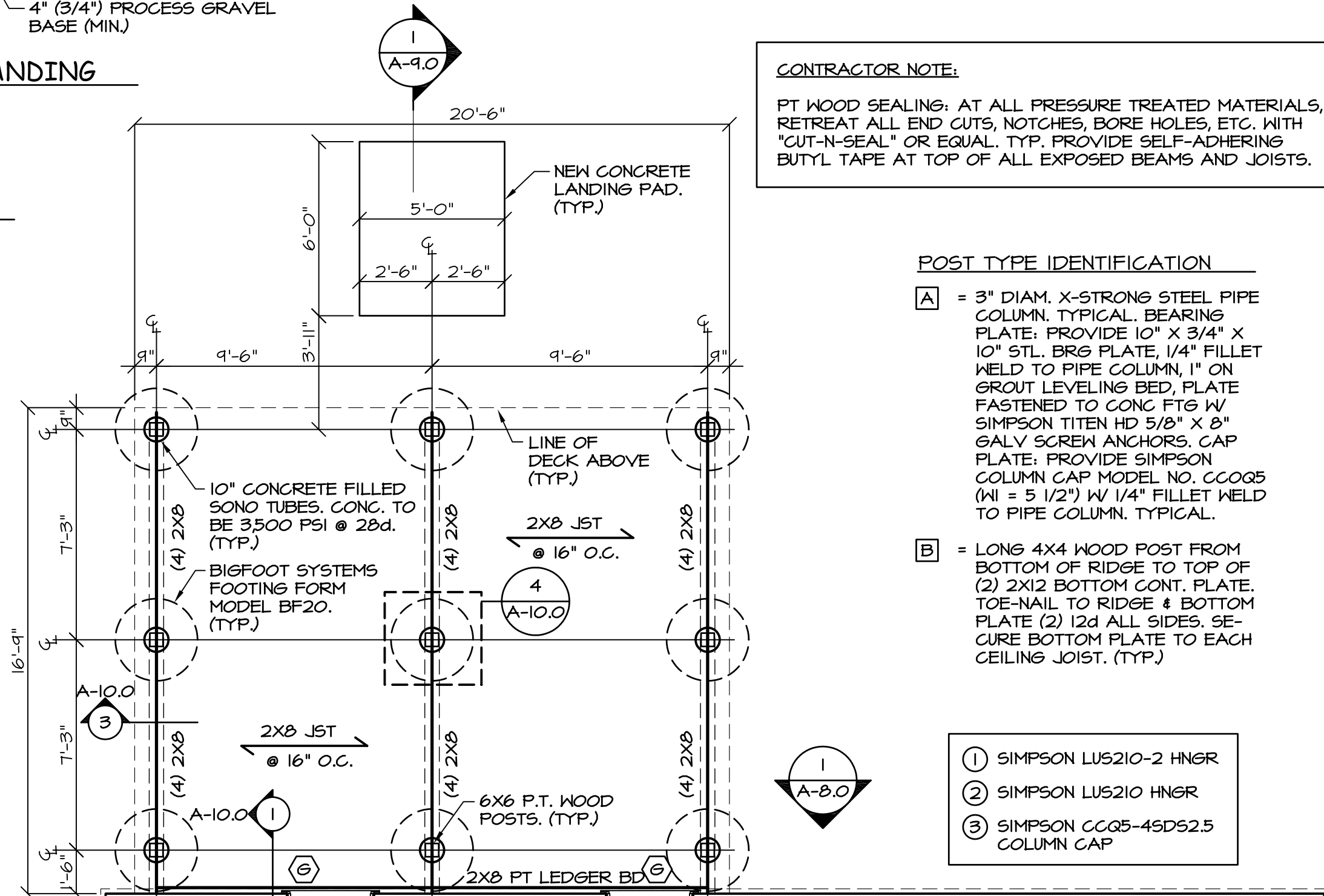


2 TYPICAL CONCRETE LANDING
SCALE: 1" = 1'-0"

INTERIOR PIER FOOTING TYPE

(A) = CONCRETE: 3500 PSI @ 28d
36" X 36" X 12" WITH
(4) #4 EA WAY TYP.
SEE DETAIL ON THIS SHEET

NOTE:
ALL JOISTS HANGERS SHALL
BE SIMPSON HJ OR EQUAL.
(TYP. AT ALL LOCS.)



CONTRACTOR NOTE:
PT WOOD SEALING: AT ALL PRESSURE TREATED MATERIALS, RETREAT ALL END CUTS, NOTCHES, BORE HOLES, ETC. WITH "CUT-N-SEAL" OR EQUAL. TYP. PROVIDE SELF-ADHERING BUTYL TAPE AT TOP OF ALL EXPOSED BEAMS AND JOISTS.

POST TYPE IDENTIFICATION

- (A) = 3" DIAM. X-STRONGS STEEL PIPE COLUMN. TYPICAL BEARING PLATE: PROVIDE 10" X 3/4" X 10" STL BRG PLATE, 1/4" FILLET WELD TO PIPE COLUMN, 1" ON GROUT LEVELING BED, PLATE FASTENED TO CONC FTG W/ SIMPSON TITEN HD 5/8" X 8" GALV SCREW ANCHORS. CAP PLATE: PROVIDE SIMPSON COLUMN CAP MODEL NO. CCG05 (N1 = 5 1/2" W/ 1/4" FILLET WELD TO PIPE COLUMN. TYPICAL.
- (B) = LONG 4X4 WOOD POST FROM BOTTOM OF RIDGE TO TOP OF (2) 2X12 BOTTOM CONT. PLATE. TOE-NAIL TO RIDGE & BOTTOM PLATE (2) 12d ALL SIDES. SECURE BOTTOM PLATE TO EACH CEILING JOIST. (TYP.)

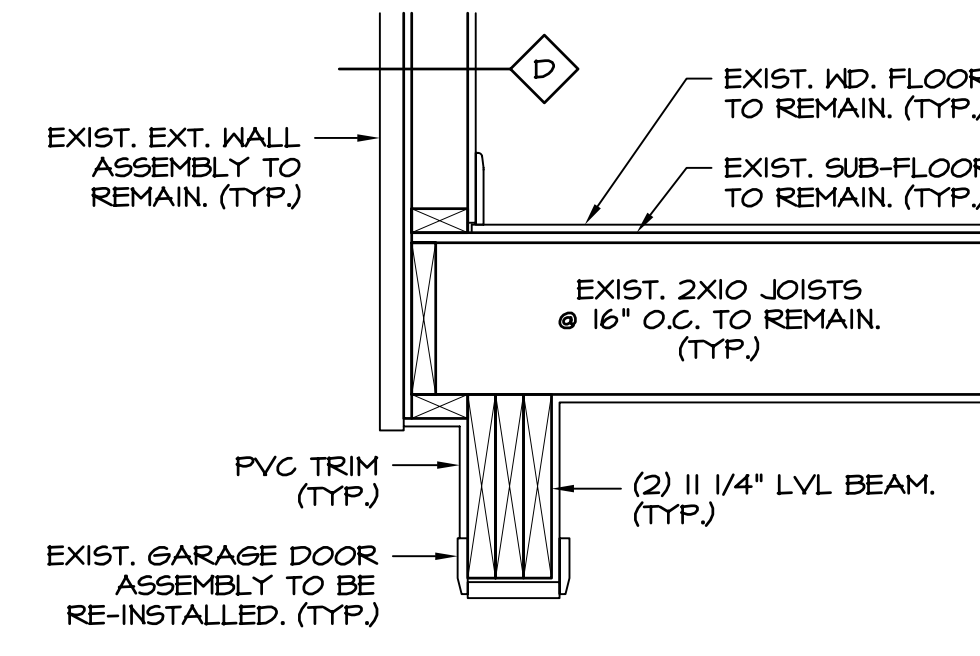
- (1) SIMPSON LUS210-2 HNGR
- (2) SIMPSON LUS210 HNGR
- (3) SIMPSON CCG05-4SDS25 COLUMN CAP

NOTES:
ALL GYPSUM WALL BOARD TO BE PROVIDED AT THE EXISTING GARAGE SHALL BE 5/8" NOMINAL TYPE "X" FIRE RATED GYPSUM WALL BOARD. (TYPICAL)
PROVIDE 5/8" NOMINAL TYPE "X" FIRE RATED GYPSUM WALL BOARD TO WRAP NEW LVL BEAM AT EXISTING GARAGE. (TYPICAL)

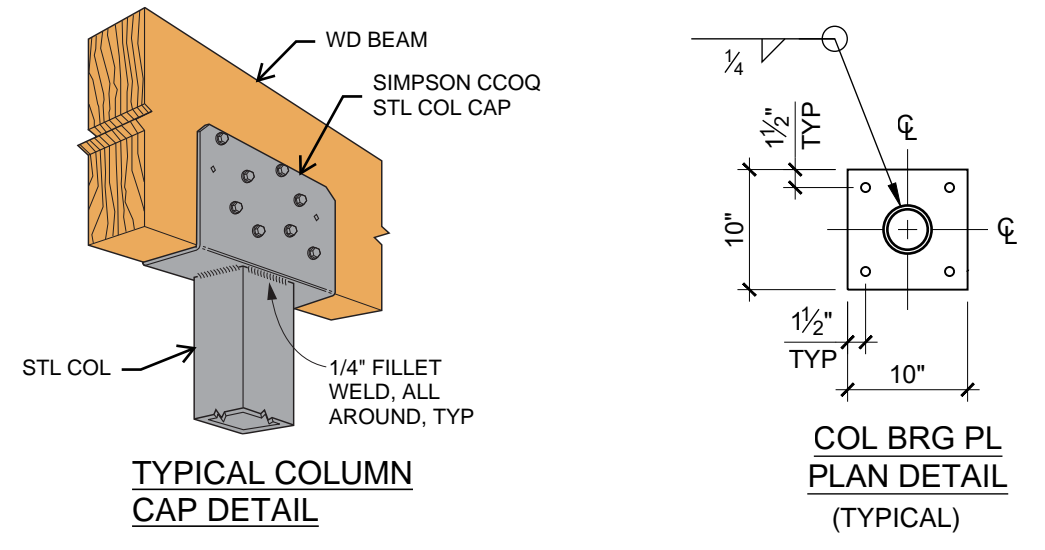
1 BASEMENT FLOOR PLANS
SCALE: 1/4" = 1'-0"

LEGEND

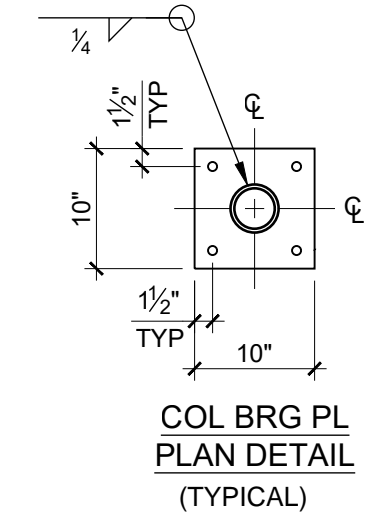
- NEW WALL AND OR COMPONENT
- EXISTING WALL OR COMPONENT TO REMAIN
- EXISTING COMPONENT TO BE REMOVED
- DENOTES IDENTIFYING MARK FOR STRUCTURAL MEMBER. REFERENCE STRUCTURAL MEMBER CALCULATION FOR DESIGN INFORMATION.



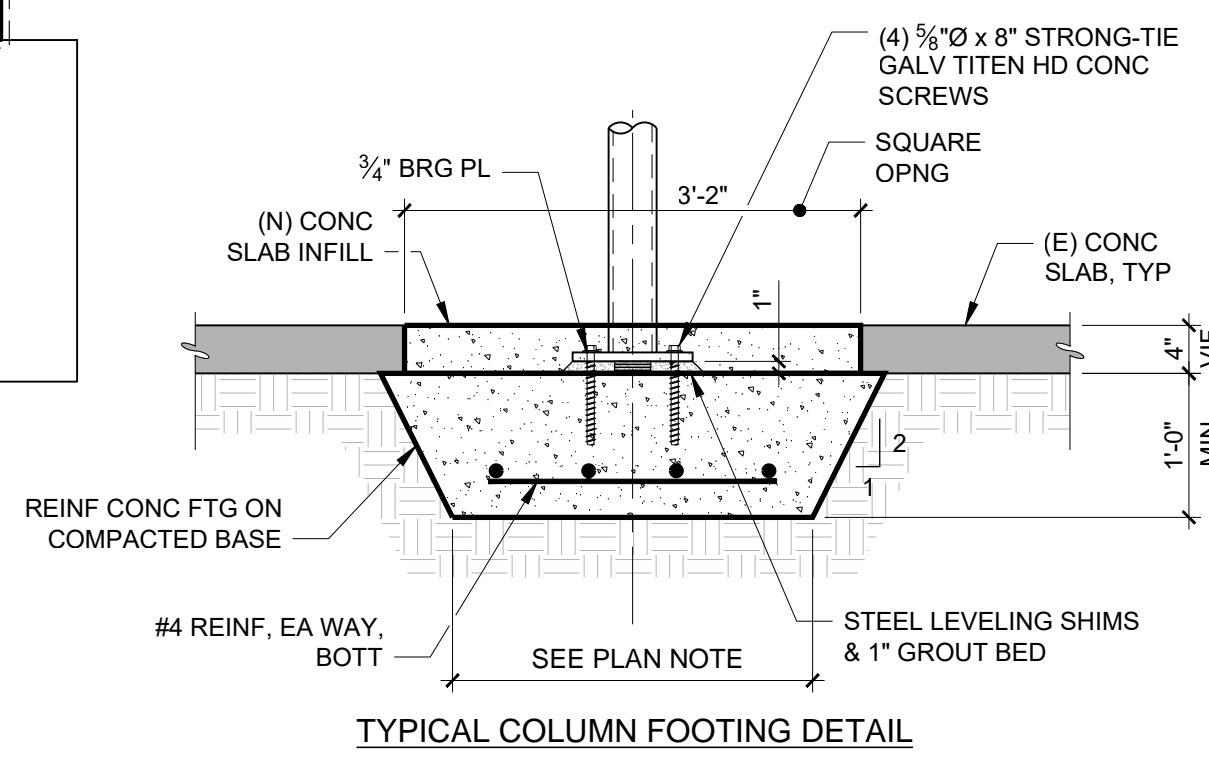
3 TYPICAL BEAM AT GARAGE
SCALE: 1" = 1'-0"



TYPICAL COLUMN CAP DETAIL



COL BRG PL PLAN DETAIL (TYPICAL)

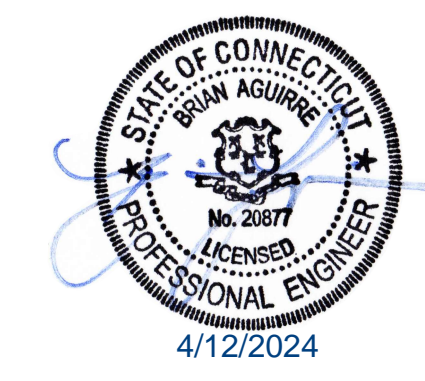


TYPICAL COLUMN FOOTING DETAIL

NOTES:

1. DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
2. ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL ASPECTS OF THE PROJECT. COORDINATE ALL NOTED REQUIREMENTS WITH ALL NEW WORK.
3. ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE REFERENCED TO EXISTING FINISHED COMPONENTS. NEW FINISHED COMPONENTS OR EXISTING TO REMAIN REFURISHED COMPONENTS. VERIFY ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS.
4. THE CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH ANY AND ALL REQUIRED DEMOLITION WORK AND OR ANY OTHER REQUIRED COINCIDENTAL WORK NOT SPECIFICALLY MENTIONED AND OR LISTED, BUT REQUIRED FOR THE FULL, COMPLETE AND SUCCESSFUL COMPLETION OF ALL NEW WORK AND SHALL COMPLY WITH ANY AND ALL CODES, REGULATIONS AND OR LAWS FROM ANY AND ALL AGENCIES, LOCAL, STATE AND OR FEDERAL HAVING JURISDICTION. NOTIFY THE ARCHITECT AND THE OWNER OF ANY AND ALL DISCREPANCIES AND OR CONFLICTS IMMEDIATELY. ALL NOTIFICATIONS SHALL BE DONE IN WRITING. TYPICAL UNDER ALL CONDITIONS FOR THE DURATION OF THE PROJECT.
5. COORDINATE ALL NEW WORK WITH ALL REQUIRED DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL COMPLY IN FULL WITH ANY AND ALL REQUIREMENTS FOR SURFACE PREPARATION FOR ANY AND ALL NEW MATERIALS TO BE PROVIDED IN ACCORDANCE WITH ALL RESPECTIVE MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS FOR EACH SPECIFIC AND RESPECTIVE MATERIALS.
6. PROVIDE BRACING AND SHORING AS NEEDED FOR ALL NEW WORK. ALL BRACING AND SHORING SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES. BRACING AND SHORING SHALL REMAIN IN-PLACE UNTIL PERMANENT SUPPORT WORK IS COMPLETED. BEARING FOR BRACING AND SHORING SHALL BE CONTIGUOUS THROUGH ALL LEVELS TO BASEMENT. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS.
7. PROVIDE CUTTING AND PATCHING TO ACCOMMODATE ALL PARTS, PORTIONS AND OR COMPONENTS FOR ALL NEW WORK. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS.
8. THE CONTRACTOR SHALL SECURE ALL WORK AREAS TO RESTRICT ACCESS TO NON-CONSTRUCTION PERSONNEL. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY AND ALL DISCREPANCIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS FOR THE DURATION OF THE PROJECT.
9. MAKE PROVISIONS TO PROTECT ALL TRAFFIC WAYS. DO NOT BLOCK ACCESS TO ANY EMERGENCY ACCESS WAY AND OR PEDESTRIAN ACCESS WALKWAY. IF REQUIRED, NOTIFY THE ARCHITECT AND THE OWNER AND SECURE ANY REQUIRED PERMIT OR WRITTEN PERMISSION FROM ANY AGENCY HAVING JURISDICTION. DO NOT PROCEED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT AND OR THE OWNER. TYPICAL UNDER ALL CONDITIONS FOR THE DURATION OF THE PROJECT.
10. MAKE PROVISIONS, AS REQUIRED AND NECESSARY, TO PROTECT ANY AND ALL ADJACENCIES. PROTECT ANY AND ALL EXISTING MATERIALS TO REMAIN. IF DAMAGE IS EMINENT. STOP, AND NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY. DO NOT PROCEED WITHOUT WRITTEN AUTHORIZATION. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS FOR THE DURATION OF THE PROJECT.
11. THE CONTRACTOR SHALL RESTORE ALL AREAS AND ADJACENCIES, BOTH INTERIOR AND EXTERIOR, THAT ARE DISTURBED BY ANY PART OR PORTION OF THE WORK TO A CONDITION THAT IS BETTER THAN OR EQUAL TO BEFORE ANY WORK WAS DONE. NOTIFY THE OWNER AND THE ARCHITECT WITH ANY AND ALL DISCREPANCIES. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS.
12. THE CONTRACTOR SHALL REMOVE ANY AND ALL DEBRIS THAT IS GENERATED BY ALL CONSTRUCTION ACTIVITIES DAILY FROM THE CONSTRUCTION SITE. THE DEBRIS MAY BE STORED IN DUMPSTERS OUTSIDE IN COMPLIANCE WITH THESE NOTES AND AS APPROVED BY THE OWNER AND THE ARCHITECT. ALL DEBRIS GENERATED BY THE CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF LEGALLY FROM THE SITE. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FROM ANY AND ALL AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVIDE WRITTEN CONFIRMATION OF ALL DISPOSED MATERIALS TO THE OWNER. THE CONTRACTOR SHALL NOT STORE ANY DEBRIS AT THE SITE FOR A PERIOD OF MORE THAN THREE DAYS UNLESS DIRECTED OTHERWISE IN WRITING BY THE OWNER OR THE ARCHITECT. TYPICAL FOR THE ENTIRE DURATION OF THE PROJECT.
13. THE CONTRACTOR SHALL SUBMIT MATERIAL SAFETY DATA SHEETS (MSDS) AND MATERIAL DATA SHEETS (MDS) FOR ALL MATERIALS AND PRODUCTS REQUIRED AND SPECIFIED FOR THE FULL EXECUTION OF ALL PART AND COMPONENTS OF THE CONSTRUCTION INCLUDING DEMOLITION ACTIVITIES, AND FOR ANY AND ALL OTHER COINCIDENTAL PRODUCTS AND MATERIALS NOT SPECIFICALLY LISTED AND OR SPECIFIED, BUT REQUIRED FOR THE SUCCESSFUL COMPLETION OF ALL THE WORK OUTLINED THROUGHOUT THE FULL SET OF CONSTRUCTION DOCUMENTS. ALL MSDS AND MDS SHEETS SHALL BE SUBMITTED TO THE OWNER AND THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN A FULL SET OF MSDS AND MDS SHEETS AT THE SITE AT ALL TIMES FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY FINE THAT MAY BE ISSUED BY ANY AGENCY HAVING JURISDICTION FOR FAILURE TO HAVE AND MAINTAIN THE REQUIRED MSDS AND MDS SHEETS. TYPICAL UNDER ALL CONDITIONS FOR THE DURATION OF THE PROJECT.
14. PROVIDE CONCRETE AT ALL LOCATIONS NOTED. REFER TO PLANS, SECTIONS AND DETAILS. ALL CONCRETE SHALL BE 3500 PSI @ 28d OR AS NOTED. THE CONTRACTOR SHALL PROVIDE THE CONCRETE SUPPLIER INFORMATION AND THE CONCRETE INSTALLER INFORMATION TO THE ARCHITECT AND TO THE BUILDING DEPARTMENT IN COMPLIANCE WITH PUBLIC ACT #16-45. TYPICAL.

NOTE:
REFERENCE STRUCTURAL DRAWINGS FOR BEAM & BRACEWALL CALCULATIONS. REFERENCE STRUCTURAL NOTES AND DESIGN BASIS ON S1.1.

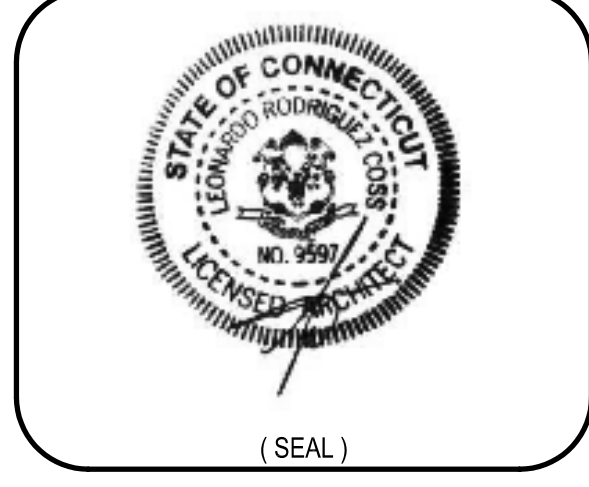


THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT

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RENOVATION OF A SINGLE-FAMILY RESIDENCE
24 GASPEE ROAD BRIDGEPORT, CONNECTICUT

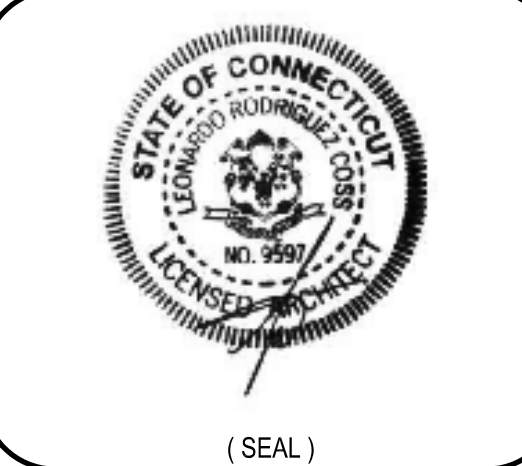
FLOOR PLANS, DETAILS & NOTES

REVISIONS	
No.	DESCRIPTION
1	3-22-2024 B.O. COMMENTS - 9-18-2023
2	3-22-2024 OWNER REQUEST - 1-15-2024

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24 GASPEE ROAD BRIDGEPORT, CONNECTICUT

FLOOR PLANS, DETAILS & NOTES

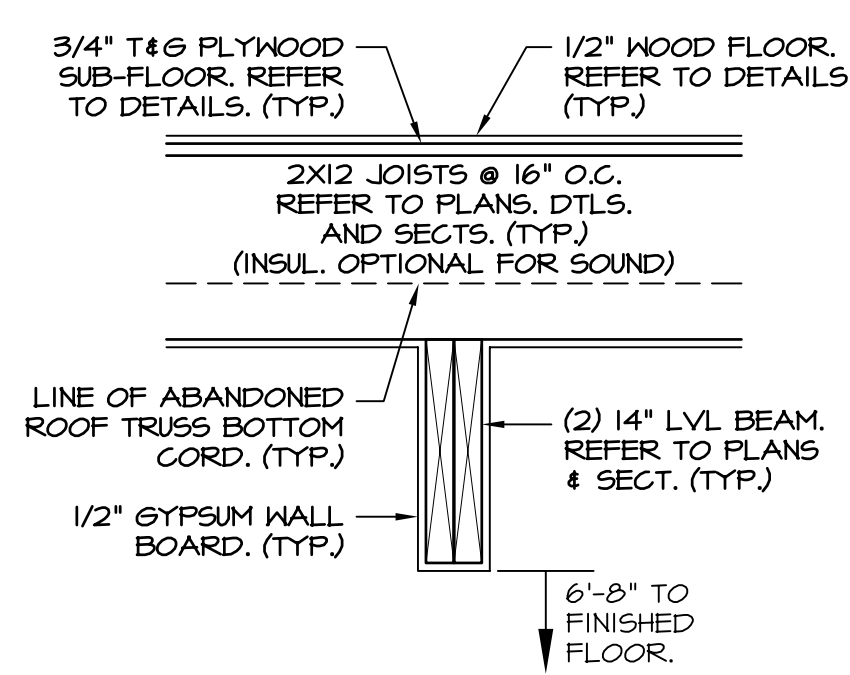
REVISIONS		
No.	DATE	DESCRIPTION
1	3-22-2024	B.O. COMMENTS - 9-18-2023
2	3-22-2024	OWNER REQUEST - 1-15-2024

DATE: SEPTEMBER 1, 2023

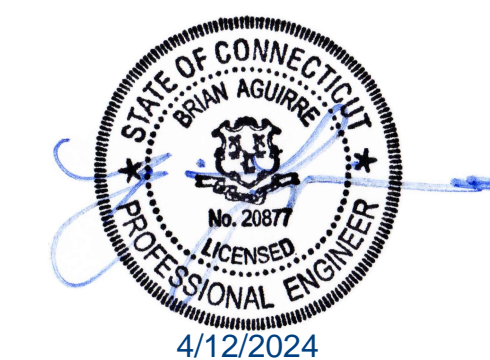
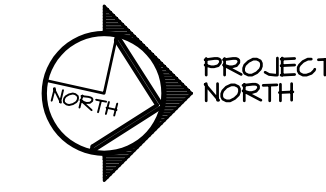
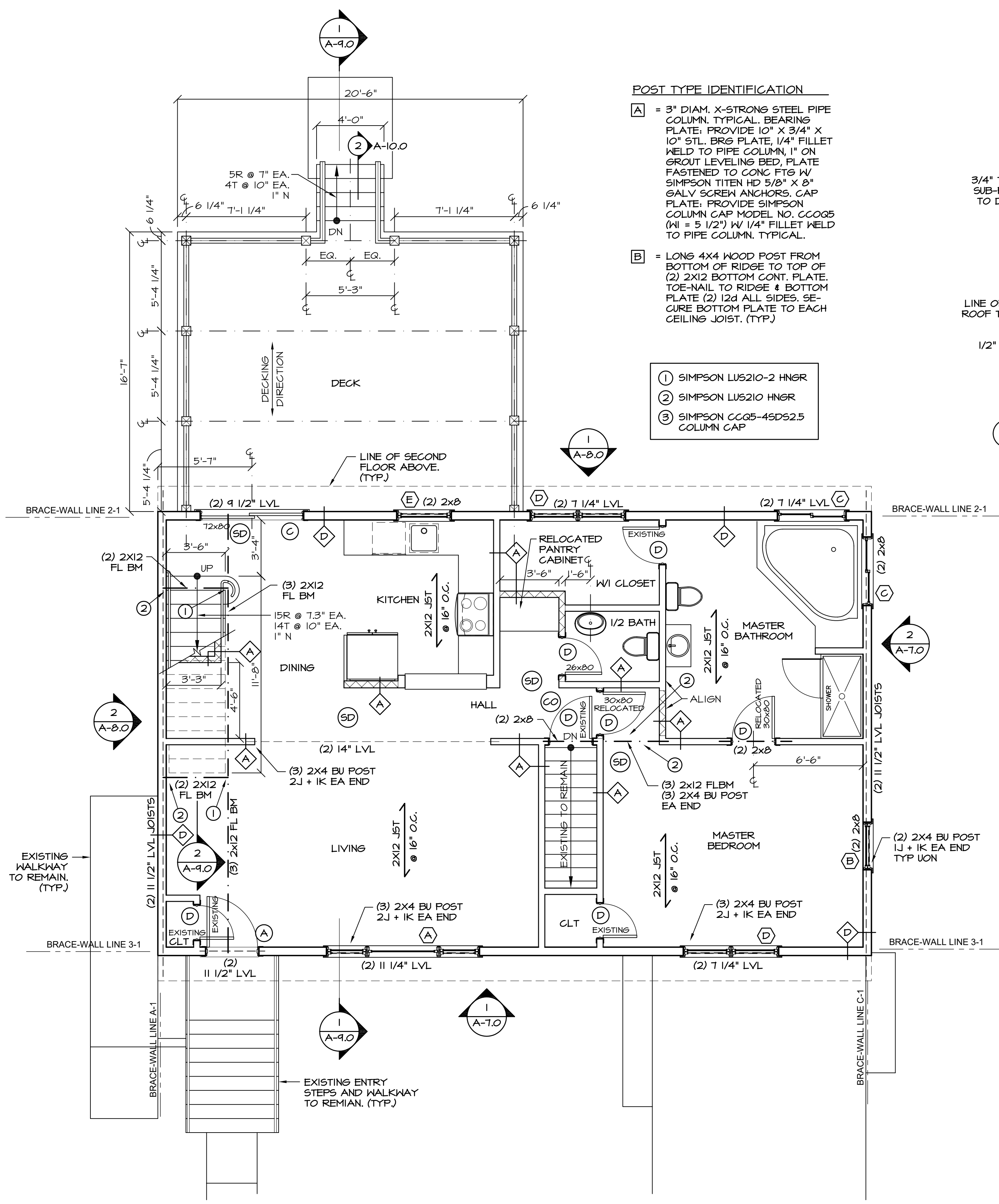
A-4.0

- LEGEND**
- NEW WALL AND OR COMPONENT
 - EXISTING WALL OR COMPONENT TO BE MAINTAINED
 - EXISTING COMPONENT TO BE REMOVED
 - ST-#** DENOTES IDENTIFYING MARK FOR STRUCTURAL MEMBER, REFERENCE STRUCTURAL MEMBER CALCULATION FOR DESIGN INFORMATION.

- NOTES:**
- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
 - ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL ASPECTS OF THE PROJECT. COORDINATE ALL NOTED REQUIREMENTS WITH ALL NEW WORK.
 - WHENEVER A PRODUCT AND OR MATERIAL IS LISTED BY NAME AND IS LABELED AS NO SUBSTITUTION THE CONTRACTOR SHALL PROVIDE THE PRODUCT AND OR MATERIAL INDICATED. WHENEVER A MATERIAL AND OR PRODUCT IS LISTED WITHOUT THE NO SUBSTITUTION LABEL ANY REQUEST FOR SUBSTITUTION SHALL BE A 100% MATCH OR SHALL EXCEED THE LISTED MATERIAL AND OR PRODUCT. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE ALL MATERIALS AND DATA REQUIRED TO EVALUATE THE PROPOSED SUBSTITUTION. IT MUST BE NOTED THAT THE SUBMISSION OF A MATERIAL AND OR PRODUCT FOR CONSIDERATION AS A SUBSTITUTION SHALL NOT BE UNDERSTOOD AS AN APPROVAL, PRELIMINARY OR OTHERWISE OF SAID MATERIAL AND OR PRODUCT PRIOR TO FULL EVALUATION AND APPROVAL BY THE ARCHITECT AND THE OWNER AT THEIR SOLE DISCRETION. ALL APPROVED SUBSTITUTIONS SHALL BE DONE IN WRITING. FAILURE BY THE CONTRACTOR TO SUBMIT THE REQUIRED DATA AND INFORMATION WILL RESULT IN THE DISQUALIFICATION OF THE REQUESTED SUBSTITUTION. ADDITIONALLY, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO SECURE THAT ANY APPROVED SUBSTITUTION FOR ANY MATERIAL AND OR PRODUCT WILL NOT POSE A CONFLICT WITH ANY OTHER ADJACENT AND OR ABUTTING MATERIAL AND OR PRODUCT. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS FOR THE ENTIRE DURATION OF THE PROJECT.
 - THE CONTRACTOR SHALL PROVIDE ALL SUBMITTALS, AS REQUESTED AND AS NOTED. THE ARCHITECT MAY HAVE AND OR ALTER ANY SUBMITTAL REQUIREMENT AT HIS SOLE DISCRETION OR MAY REQUIRE ADDITIONAL INFORMATION BASED ON SUBMITTED AND OR REQUESTED INFORMATION. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 3 COPIES OF EACH SUBMITTAL TO THE ARCHITECT. THE CONTRACTOR MAY SUBMIT ALL SUBMITTALS DIGITALLY ON A PDF FORMAT IF PRE-APPROVED BY THE ARCHITECT. THE CONTRACTOR SHALL SUBMIT ACTUAL SAMPLES AND COLOR PALLETS FOR ANY AND ALL ITEMS, ACCESSORIES AND OR COMPONENTS REQUIRING A COLOR SELECTION. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE ALL SUBMITTALS IN A TIMELY MANNER TO AVOID ANY DELAYS IN REVIEW, APPROVAL AND CONSTRUCTION. THE SUBMISSION OF A SUBMITTAL DOES NOT CONSTITUTE AN APPROVAL. ALL APPROVALS SHALL BE DONE IN WRITING. TYPICAL UNDER ALL CONDITIONS.
 - THE LIST OF SUBMITTALS BELOW IS NOT IN ANY SPECIFIC ORDER. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PRIORITIZE THE REQUIRED SUBMITTALS IN ORDER TO AVOID ANY DELAYS IN REVIEW AND APPROVAL. THE LIST OF SUBMITTALS BELOW IS NOT A FULL REFLECTION OF ALL THE REQUIRED SUBMITTALS. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE ALL REQUIRED SUBMITTALS IN FULL COMPLIANCE WITH THE DOCUMENTS. THE CONTRACTOR SHALL PROVIDE FULL AND COMPREHENSIVE SUBMITTALS FOR ALL THE FOLLOWING ITEMS:
 ALL MATERIAL TESTING DATA SHEET
 ALL MATERIAL DATA SHEETS
 SURFACE PREPARATION MATERIALS
 ALL FLOORING AT ALL LOCATIONS
 GYPSUM WALL BOARD AND ACCESSORIES
 ALL INSULATION MATERIALS
 ALL SEALANT AND ADHESIVES
 WINDOWS AND WINDOW HARDWARE (NEW AND REPLACEMENT ONLY)
 DOORS AND FRAMES (NEW AND REPLACEMENT ONLY)
 DOOR HARDWARE AND KEYING (NEW AND REPLACEMENT ONLY)
 ALL PAINTS, PRIMERS AND FILLERS
 ALL FLASHING MATERIALS FOR ALL COMPONENTS
 PLASTIC LAMINATE OR COUNTERTOP MATERIAL
 ALL PVC COMPONENTS AND ACCESSORIES
 CONCRETE FORMULA
 ALL MILLWORK FOR ALL LOCATIONS
 ALL FASTENERS, AS REQUIRED
 ALL DIMENSIONAL LUMBER, INCLUDING LAYERED MATERIALS
 BLOCKING MATERIAL AND SCHEDULE
 FAILURE BY THE CONTRACTOR TO PROVIDE ANY REQUIRED INFORMATION IN A TIMELY MANNER OR OTHERWISE, SHALL NOT PROVIDE A REASON TO DELAY THE DELIVERY OF THE PROJECT TO THE OWNER. TYPICAL UNDER ALL CONDITIONS.
 - PROVIDE SURFACE PREPARATION FOR ALL EXTERIOR AND INTERIOR, NEW AND EXISTING ITEMS, COMPONENTS AND ACCESSORIES, SCHEDULED TO RECEIVE NEW FINISHES AT ALL LOCATIONS. SURFACE PREPARATION SHALL BE IN FULL COORDINATION AND COMPLIANCE WITH EACH INDIVIDUAL AND RESPECTIVE SCHEDULED FINISHED MATERIAL AND OR PRODUCT MANUFACTURER'S REQUIREMENTS AND OR SITE SPECIFIC RECOMMENDATIONS. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS.
 - PROVIDE SURFACE PREPARATION FOR ALL FLOOR SURFACES AT ALL LOCATIONS. SURFACE PREPARATION SHALL BE IN FULL COORDINATION AND COMPLIANCE WITH EACH INDIVIDUAL RESPECTIVE FINISHED MATERIAL AND OR PRODUCT MANUFACTURER'S REQUIREMENTS AND OR SITE SPECIFIC RECOMMENDATIONS. PROVIDE LEVELING MATERIALS AS REQUIRED AND OR RECOMMENDED. TYPICAL AT ALL LOCATIONS FOR ALL CONDITIONS.
 - THE CONTRACTOR SHALL PROVIDE THE INITIAL CLEANING FOR ALL FINISHED MATERIALS, ACCESSORIES AND COMPONENTS FOR THE ENTIRE PROJECT IN FULL COMPLIANCE WITH EACH RESPECTIVE MANUFACTURER'S REQUIREMENTS AND SITE SPECIFIC RECOMMENDATIONS. THE CONTRACTOR SHALL PROVIDE WRITTEN CLEANING AND MAINTENANCE INSTRUCTIONS FOR ALL FINISHED MATERIALS, ACCESSORIES AND COMPONENTS TO THE OWNER. WRITTEN INSTRUCTIONS SHALL INCLUDE ALL ALLOWABLE CLEANING MATERIALS AND PRODUCTS AS WELL AS RECOMMENDATIONS RELATED TO THE CLEANING INTERVALS FOR EACH SPECIFIC FINISHED MATERIAL, ACCESSORY AND COMPONENT. TYPICAL.



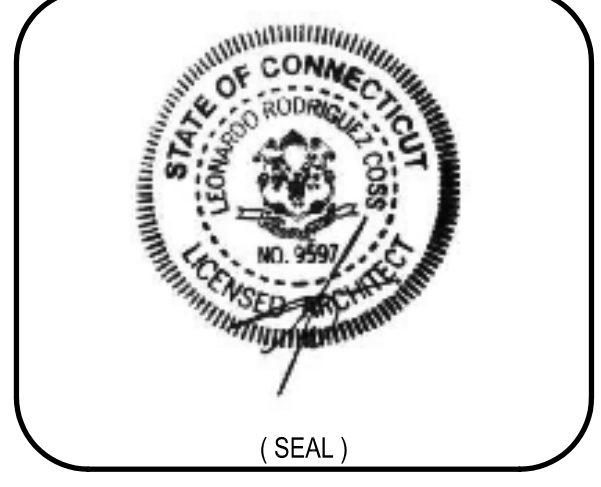
- POST TYPE IDENTIFICATION**
- A** = 3" DIAM. X-STRONG STEEL PIPE COLUMN. TYPICAL BEARING PLATE: PROVIDE 10" X 3/4" X 10" STL. BRG PLATE, 1/4" FILLET WELD TO PIPE COLUMN, 1" ON GROUT LEVELING BED, PLATE FASTENED TO CONC FTG W/ SIMPSON TITEN HD 5/8" X 3" GALV SCREW ANCHORS. CAP PLATE: PROVIDE SIMPSON COLUMN CAP MODEL NO. CCG05 (W/ = 5 1/2") W/ 1/4" FILLET WELD TO PIPE COLUMN. TYPICAL.
 - B** = LONG 4X4 WOOD POST FROM BOTTOM OF RIDGE TO TOP OF (2) 2X12 BOTTOM CONT. PLATE. TOE-NAIL TO RIDGE & BOTTOM PLATE (2) 12d ALL SIDES. SECURE BOTTOM PLATE TO EACH CEILING JOIST. (TYP.)
- 1 SIMPSON LUS210-2 HNGR
 - 2 SIMPSON LUS210 HNGR
 - 3 SIMPSON CCG05-45D52.5 COLUMN CAP



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RENOVATION OF A SINGLE-FAMILY RESIDENCE
24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT

FLOOR PLANS, DETAILS & NOTES

REVISIONS		
No.	DATE	DESCRIPTION
1	3-22-2024	B.O. COMMENTS - 9-18-2023
2	3-22-2024	OWNER REQUEST - 1-15-2024

DATE: SEPTEMBER 1, 2023

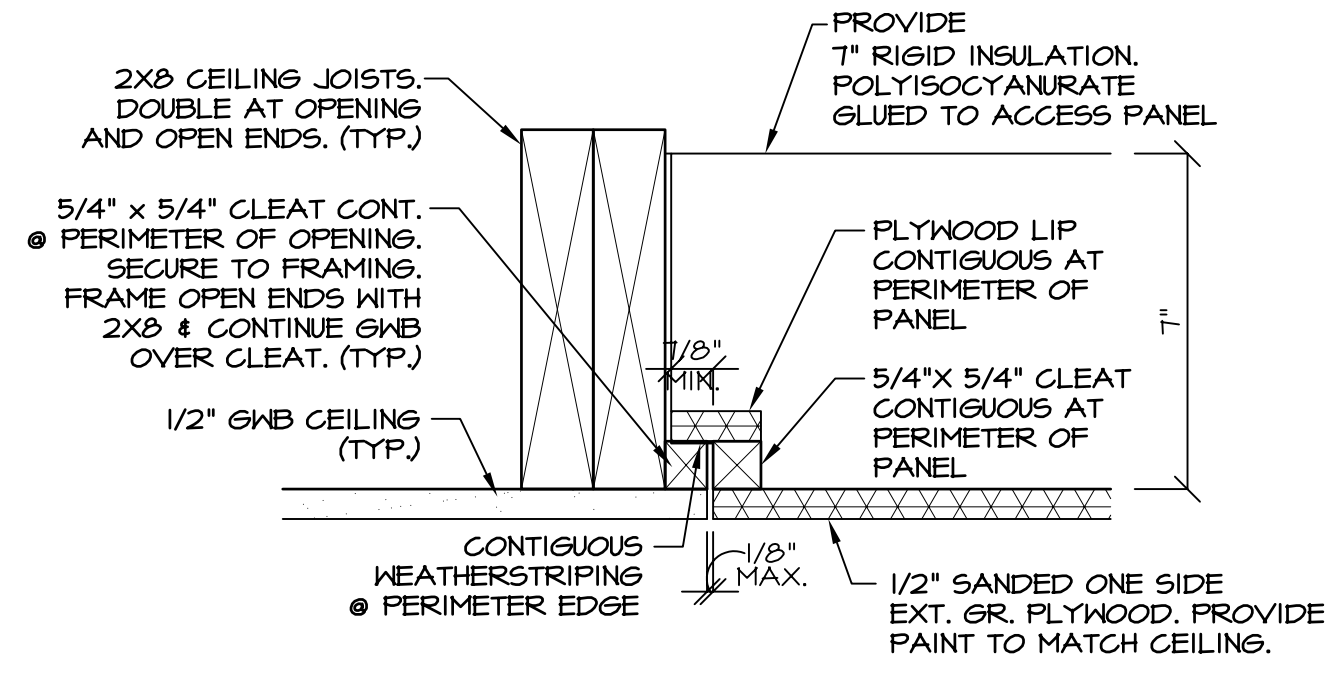
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NOTES:

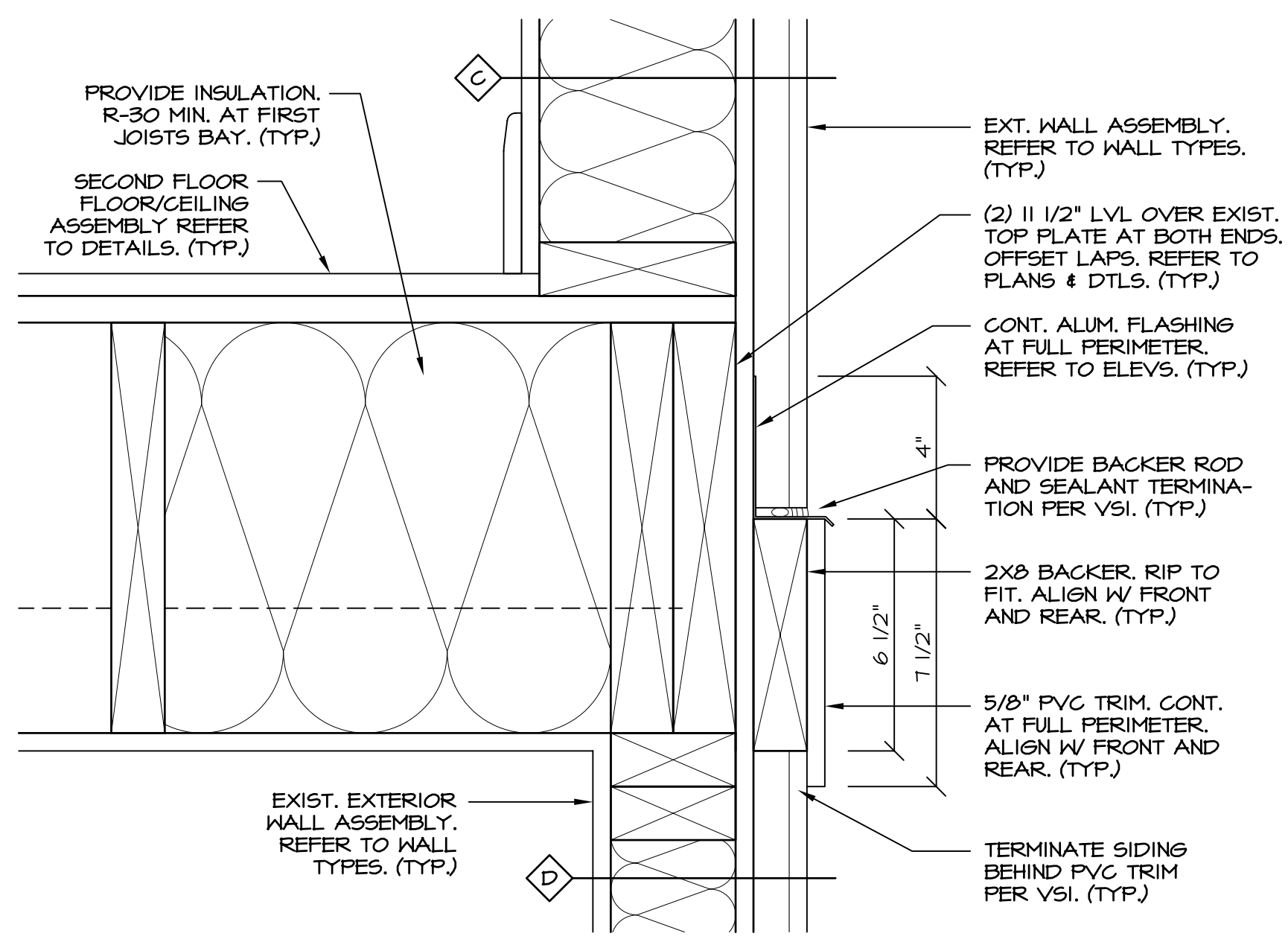
- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
- ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL ASPECTS OF THE PROJECT. COORDINATE ALL NOTED REQUIREMENTS WITH ALL NEW WORK.
- PROVIDE DIMENSIONAL LUMBER. REFER TO WALL TYPES. ALL DIMENSIONAL LUMBER (2X4, 2X6) SHALL BE NO. 1 DOUGLAS FIR-LARCH OR BETTER UNLESS NOTED OTHERWISE. ALL DIMENSIONAL LUMBER FOR HORIZONTAL FRAMING (2X6, 2X8, 2X10, 2X12) SHALL BE S5 DOUGLAS FIR-LARCH OR BETTER UNLESS NOTED OTHERWISE. PROVIDE LINTELS AT ALL OPENINGS AT INTERIOR END EXTERIOR WALLS FOR DOORS AND WINDOWS FOR NEW OPENINGS AND EXISTING MODIFIED OPENINGS. REFER TO DETAILS. ALL DIMENSIONAL LUMBER FOR ALL LINTELS SHALL BE S5 DOUGLAS FIR-LARCH OR BETTER UNLESS NOTED OTHERWISE. ALL STUD WALLS SHALL BE FRAMED AT 16 INCHES ON CENTER UNLESS NOTED OTHERWISE. ANY AND ALL OTHER FRAMING AND OR STRUCTURAL LUMBER (LVL, PSL) SHALL BE OF SIZES NOTED. REFER TO PLANS, SECTIONS AND DETAILS. TYP. AT ALL LOCS. FOR ALL CONDITIONS.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL EXTERIOR DECK COMPONENTS AS NOTED. REFER TO PLANS SECTIONS AND DETAILS. ALL LUMBER SHALL BE PRESSURE TREATED AND CONSISTANT WITH NO. 1 DOUGLAS FIR-LARCH FOR ALL COMPONENTS. ALL FASTENERS FOR ALL PRESSURE TREATED COMPONENTS SHALL BE STAINLESS STEEL OR AS NOTED AND OR REQUIRED BY EACH COMPONENT MANUFACTURER'S REQUIREMENTS. RE-TREAT ALL FIELD CUTS, NOTCHES, BORE HOLES, ETC. WITH CUT-N-SEAL OR APPROVED EQUAL. TYPICAL AT ALL LOCATIONS.
- PROVIDE SEALANT IN COMPLIANCE WITH EACH RESPECTIVE MATERIAL AND OR COMPONENT MANUFACTURER'S REQUIREMENTS. SURFACE PREPARATION SHALL BE IN COMPLIANCE WITH THE SEALANT MANUFACTURER'S REQUIREMENTS. UNLESS OTHERWISE REQUIRED PROVIDE ASI 502 BY AMERICAN SEALANT INC. OR NOVAFLEX 1000 TYPE 2 GLAZING AND BUILDING SEALANT BY NOVAGUARD SOLUTIONS. TYPICAL
- PROVIDE GYPSUM WALL BOARD AT ALL WALLS, CEILINGS AND RELATED COMPONENTS AS NOTED. ALL GYPSUM WALL BOARD SHALL BE AS MANUFACTURED BY USG. SURFACE PREPARATION, INSTALLATION, MATERIAL HANDLING, STORAGE AND PROTECTION OF FINISHED WORK SHALL BE IN FULL COMPLIANCE WITH THE MANUFACTURER'S REQUIREMENTS. PROVIDE 5/8" NOMINAL TYPE "X" FIRE RATED GNB AS NOTED. REFER TO PLANS, SECTIONS, WALL TYPES AND DETAILS. PROVIDE WATERPROOFED GNB AT ALL WET LOCATIONS. PROVIDE 1/2" NOMINAL GNB AT ALL OTHER LOCATIONS. TYPICAL AT ALL LOCATIONS.
- PROVIDE INSULATION OF R-VALUES AS NOTED. REFER TO PLANS, SECTIONS, WALL TYPES AND DETAILS. PROVIDE INSULATION BY OWENS CORNING OR APPROVED EQUAL. TYPICAL.
- PROVIDE CELLULOSE INSULATION AT ATTIC SPACES AS NOTED. REFER TO PLANS, SECTIONS AND DETAILS. APPLICATION SHALL BE LOOSE LAID TO A SETTLED DEPTH AS NOTED. CELLULOSE INSULATION SHALL BE CELLULOSE FIBER WITH ALL BORATE FIRE RETARDANT, CLASS 1 MATERIAL. PROVIDE NU-WOOL WALL SEAL BY NATIONAL FIBER OR APPROVED EQUAL. TYPICAL AT ALL LOCATIONS.
- ALL EXISTING GUTTERS AND LEADERS SHALL REMAIN. ADJUST AND MODIFY AS NOTED. ANY AND ALL NEW GUTTERS AND LEADERS SHALL BE ALUMINUM OF SIZE AND PROFILE TO MATCH EXISTING. TYPICAL AT ALL LOCS.
- PROVIDE SOLID WOOD BLOCKING FOR ANY AND ALL ACCESSORIES AND COMPONENTS REQUIRING WOOD BLOCKING. COORDINATE WITH ALL NEW WORK. TYPICAL AT ALL LOCATIONS FOR ALL CONDITIONS.
- PROVIDE NEW VINYL SIDING SYSTEM TO MATCH EXISTING. PROVIDE RIGID INSULATION TO MATCH EXISTING. REFER TO PLANS, SECTIONS AND WALL TYPES. TYPICAL AT ALL LOCATIONS.
- PROVIDE NEW SHEATHING AT NEW SECOND FLOOR EXTERIOR WALLS AND NEW ROOF. NEW SHEATHING TO BE 1/2" ZIP SYSTEM WALL SHEATHING AS MANUFACTURED BY ADVANTECH. INSTALLATION SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. TYPICAL.

LEGEND

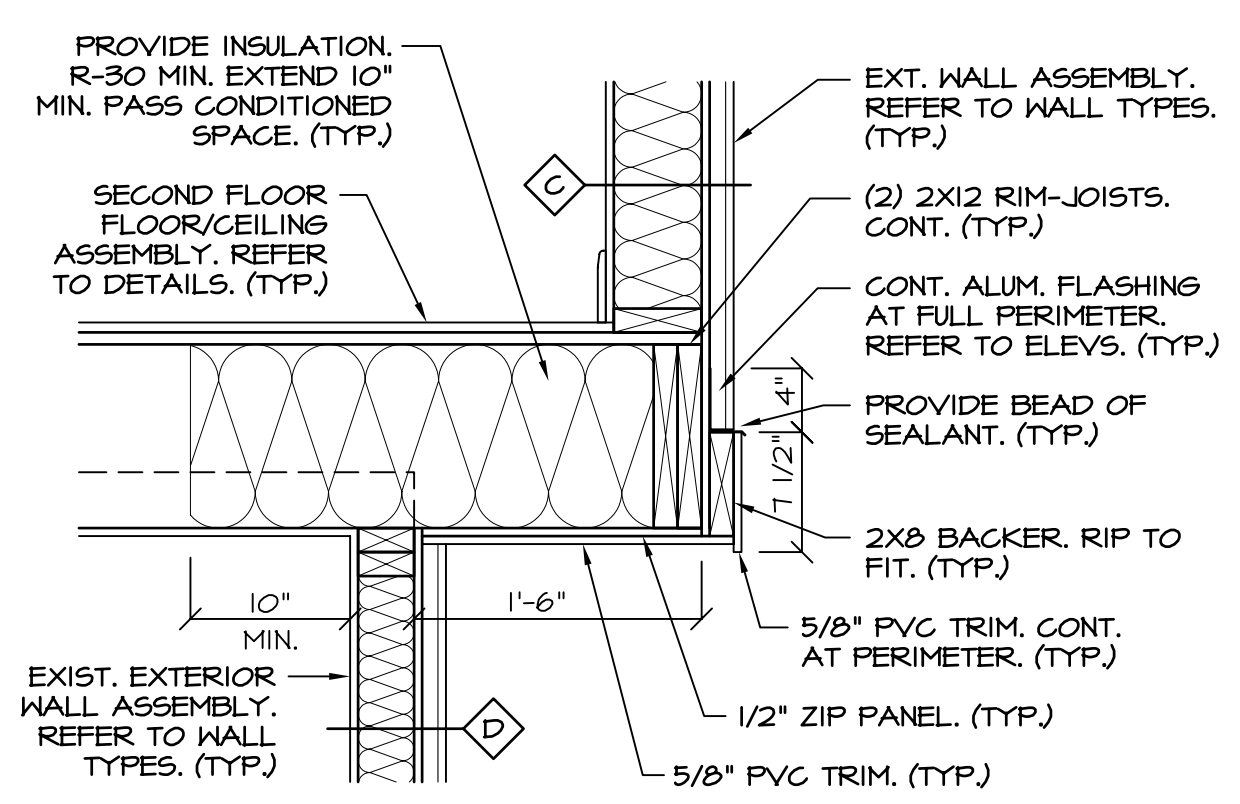
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 EXISTING WALL OR COMPONENT TO REMAIN
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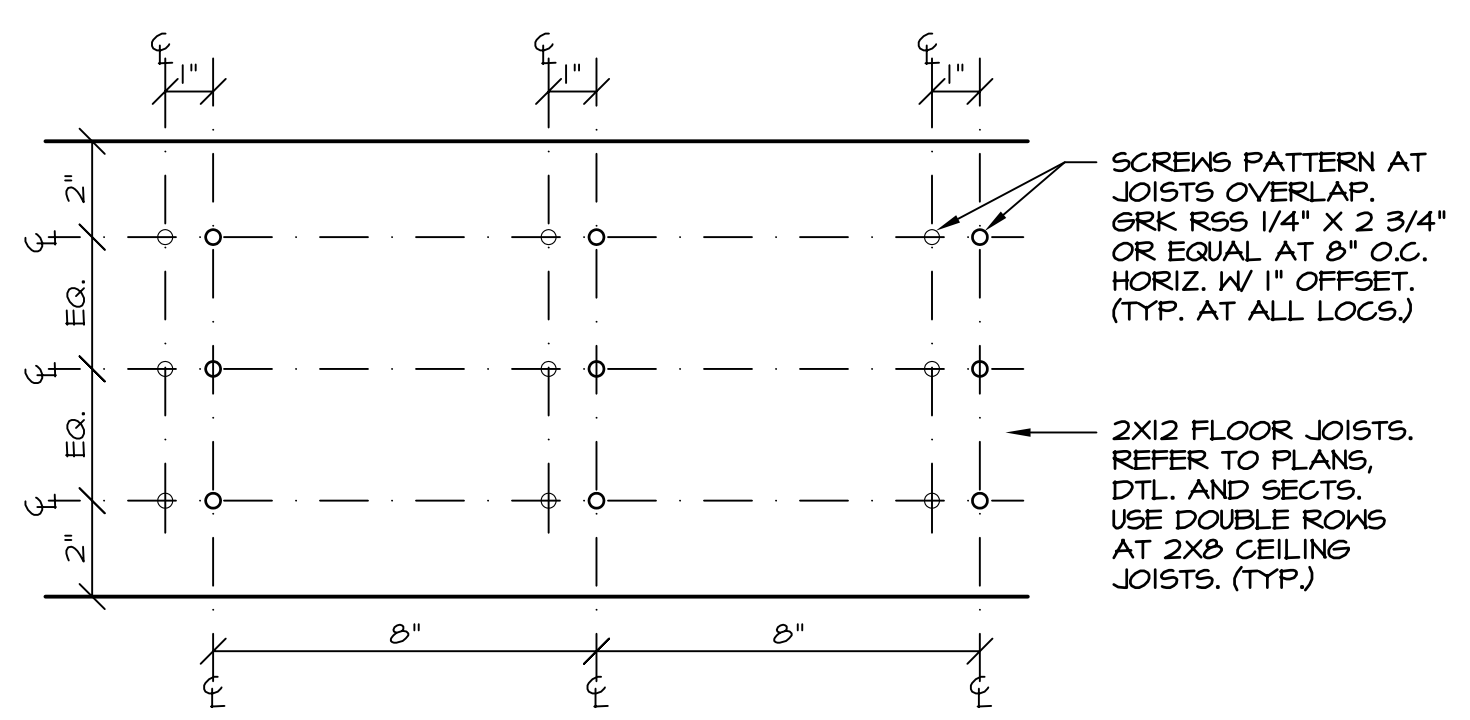
2 TYPICAL ATTIC ACCESS PANEL
SCALE: 1" = 1'-0"



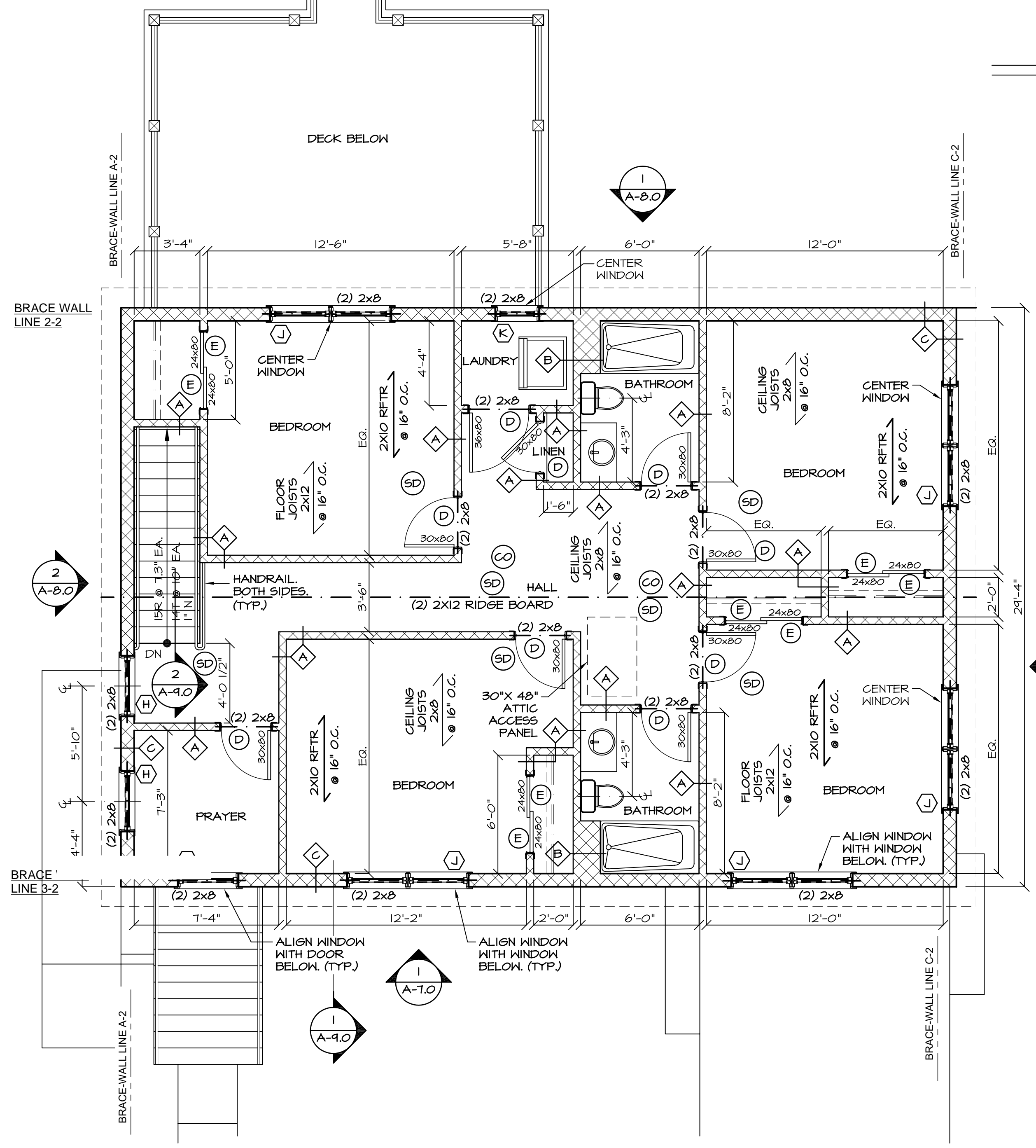
3 TYP. 1ST. FL. TO 2ND. FL. SIDING TRANSITION
SCALE: 3" = 1'-0"



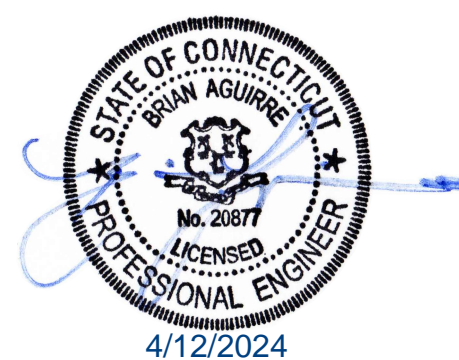
4 TYPICAL OVERHANG
SCALE: 1" = 1'-0"



5 TYPICAL FASTENING PATTERN
SCALE: 3" = 1'-0"



1 SECOND FLOOR PLANS
SCALE: 1/4" = 1'-0"

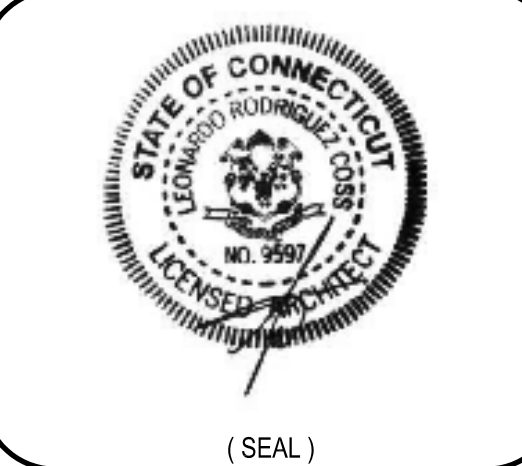


4/12/2024

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24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT

FLOOR PLANS, DETAILS & NOTES

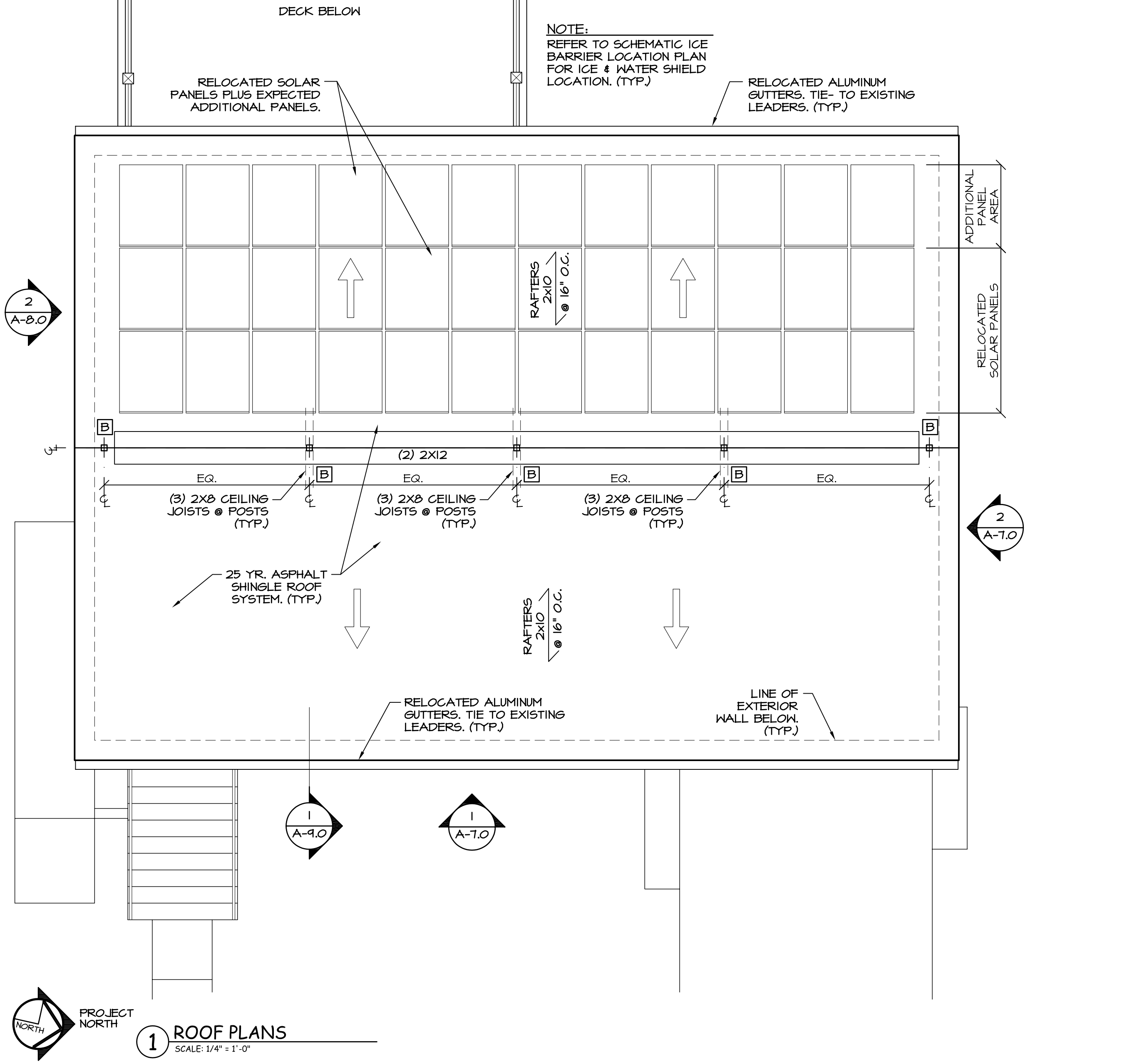
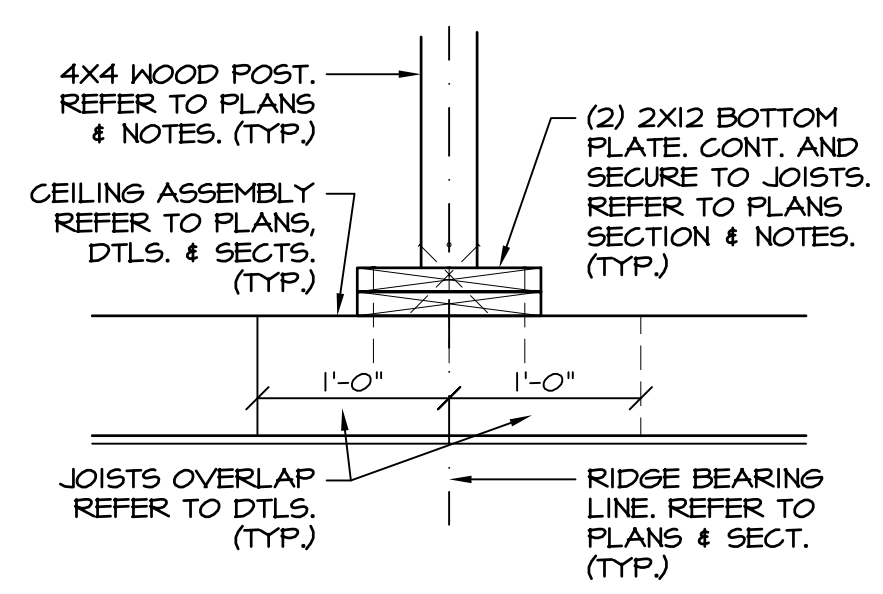
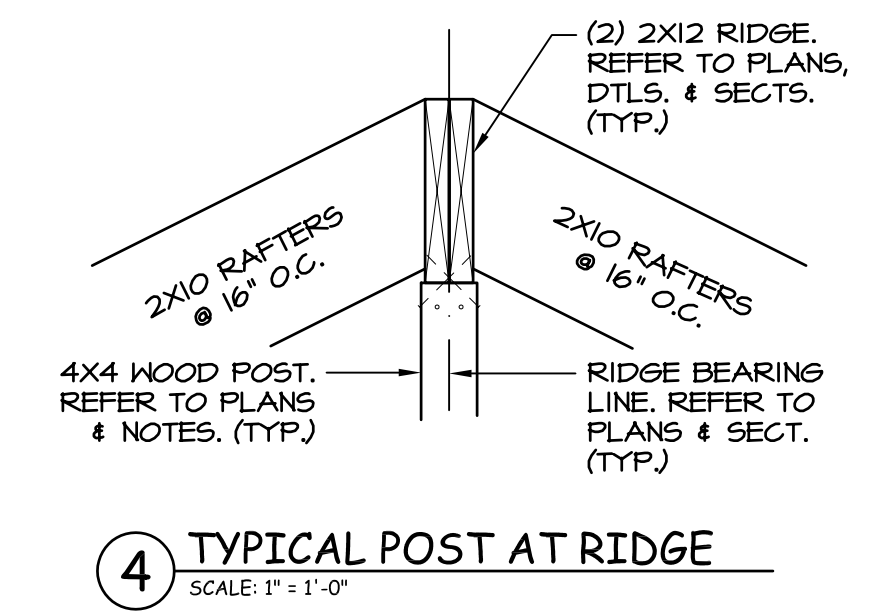
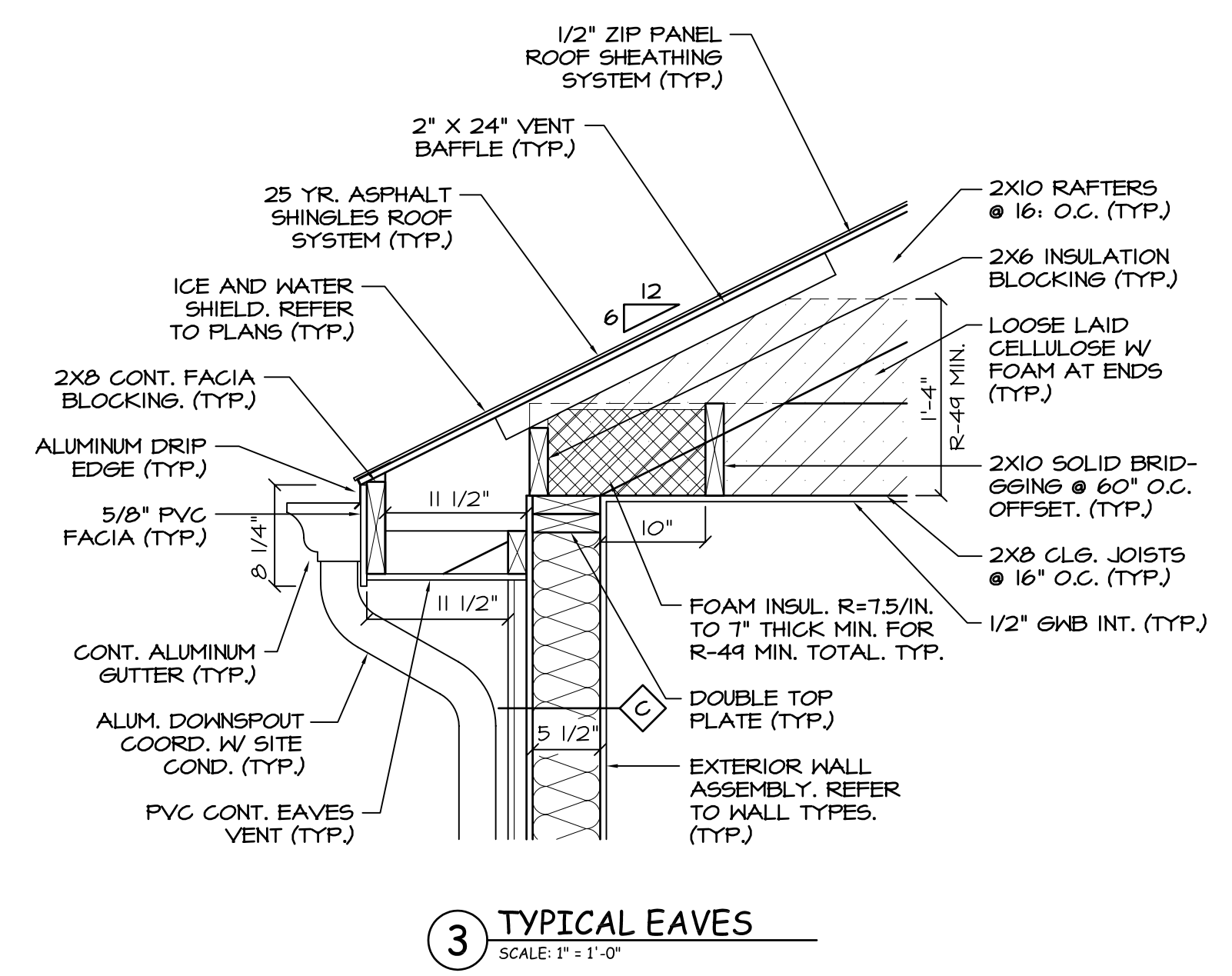
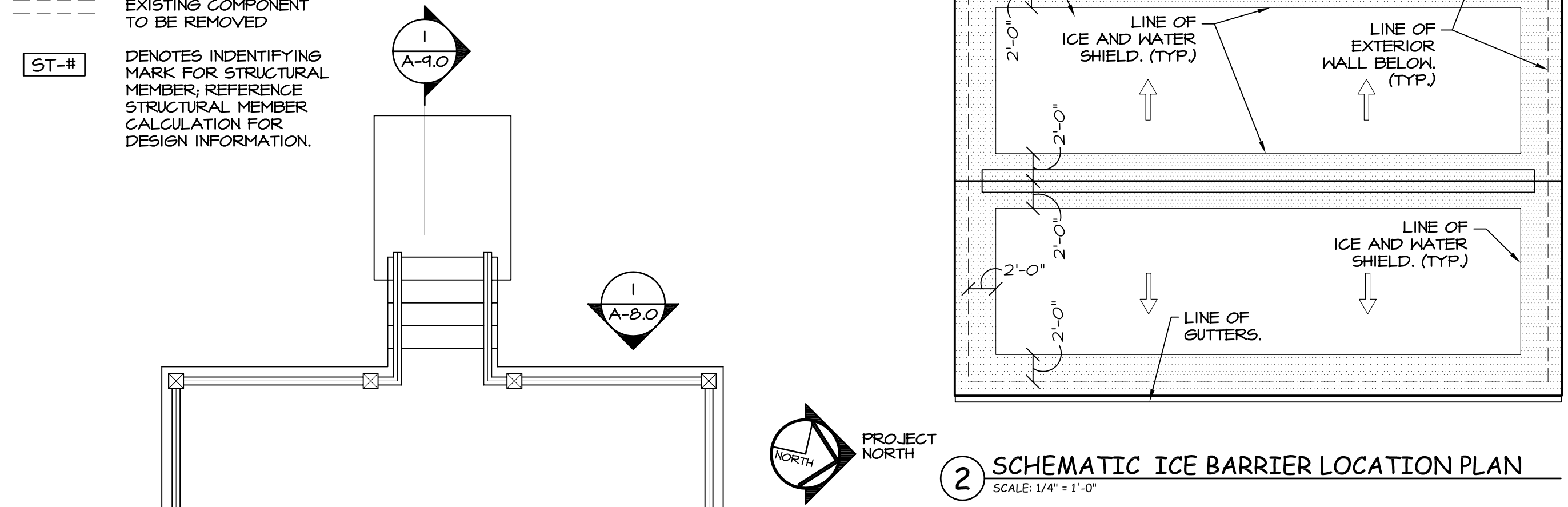
SCALE: SCALED AS NOTED

REVISIONS		
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DATE: SEPTEMBER 1, 2023

A-6.0

- LEGEND**
- NEW WALL AND OR COMPONENT
 - EXISTING WALL OR COMPONENT TO REMAIN
 - EXISTING COMPONENT TO BE REMOVED
 - DENOTES IDENTIFYING MARK FOR STRUCTURAL MEMBER; REFERENCE STRUCTURAL MEMBER CALCULATION FOR DESIGN INFORMATION.



NOTES:

- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
- ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL ASPECTS OF THE PROJECT. COORDINATE ALL NOTED REQUIREMENTS WITH ALL NEW WORK.
- PROVIDE NEW 25 YR ASPHALT SHINGLE ROOF SYSTEM OVER ALL ROOF AREAS. REFER TO PLANS, SECTIONS, ELEVATIONS AND DETAILS. ASPHALT ROOF SYSTEM TO BE AS MANUFACTURED BY GAF OR APPROVED EQUAL. SHINGLES TO BE TIMBERLINE HDZ SHINGLES. UNDERLAYMENT TO BE DECK-ARMOR UNDERLAYMENT. ICE AND WATER SHIELD TO BE STORMGUARD LEAK BARRIER. STARTING SHINGLES TO BE WEATHERBLOCKER STARTER STRIP. RIDGE VENT TO BE COBRA SNOWCOUNTRY RIDGE VENT. RIDGE SHINGLES TO BE RIDGE GAP SHINGLES. PROVIDE ANY AND ALL REQUIRED ACCESSORIES AND COMPONENTS AS REQUIRED BY THE MANUFACTURER. INSTALLATION SHALL BE IN FULL COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS. TYPICAL AT ALL LOCATIONS.
- RE-INSTALL THE SALVAGED EXISTING SOLAR PANELS INCLUDING ANY AND ALL ACCESSORIES AND COMPONENTS. NOTE THE SOLAR PANELS LOCATION AND THE AVAILABLE AREA FOR ADDITIONAL PANEL CAPACITY. RE-INSTALLATION SHALL BE IN FULL COMPLIANCE WITH THE PANEL MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS. NOTE THAT THE AREA OF THE ROOF WHERE THE PANELS WILL BE RE-INSTALLED, INCLUDING THE ADDITIONAL AREA FOR ADDITIONAL SOLAR PANEL CAPACITY ARE TO RECEIVE ICE AND WATER SHIELD OVER THE ENTIRE SURFACE OF THE ROOF UNLESS IN CONFLICT WITH THE SOLAR PANEL MANUFACTURER. REFER TO PLANS, ELEVATIONS, SECTIONS AND DETAILS. TYPICAL AT ALL LOCATIONS.
- PROVIDE RE-FINISHING OF THE EXISTING WOOD FLOOR TO REMAIN AT THE FIRST FLOOR AND PROVIDE NEW WOOD FLOORING TO MATCH THE EXISTING AT ALL OTHER AREAS. WOOD FLOOR FINISH THROUGHOUT SHALL BE CONSISTANT. ALL FINISHES SHALL BE AS SELECTED BY THE OWNER. SURFACE PREPARATION, INSTALLATION AND PROTECTION OF FINISHED WORK SHALL BE IN COMPLIANCE WITH THE WOOD FLOORING MANUFACTURER. TYPICAL AT ALL LOCATIONS.
- A COLOR CHANGE OR A MATERIAL CHANGE IN FLOOR FINISH SHALL BE ALIGNED AT THE CENTER OF THE DOOR PER EACH RESPECTIVE LOCATION OR TIGHT AGAINST THE THRESHOLD. TYPICAL AT ALL LOCATIONS.
- ANY AND ALL SURPLUS MATERIALS FOR ALL ITEMS, ACCESSORIES AND OR COMPONENTS THAT ARE IN FULL SIZES AND OR ORIGINAL CONTAINERS AND OR AS REASONABLY REQUESTED BY THE OWNER SHALL BE TURNED OVER TO THE OWNER AT A LOCATION AS DIRECTED BY THE ARCHITECT AND OR THE OWNER. TYPICAL UNDER ALL CONDITIONS.
- PROVIDE A PAINTED FINISH FOR ALL NEW EXPOSED SURFACES AND ALL EXIST. AND DISTURBED SURFACES AT ALL INTERIOR AND EXTERIOR LOCATIONS AND AS NOTED. ALL PAINT MATERIAL SHALL BE AS MANUFACTURED BY SHERWIN WILLIAMS. SUBSTITUTIONS BY OWNER. PRIMER TO BE PRO-MAR 200. ONE COAT. THICKNESS TO BE AS RECOMMENDED BY THE MANUFACTURER. PAINT TO BE PRO-MAR 400. TWO COATS. THICKNESS TO BE AS RECOMMENDED BY THE MANUFACTURER. PROVIDE PRIMER AND PAINT FOR ALL METAL COMPONENTS AND ACCESSORIES. PRIMER TO BE B5020004 KEM BOND HS HIGH SOLIDS ALKID UNIVERSAL METAL PRIMER OR AS RECOMMENDED BY THE MANUFACTURER. ONE COAT. THICKNESS TO BE AS RECOMMENDED BY THE MANUFACTURER. PAINT TO BE B54K0015I PRO INDUSTRIAL URETHANE ALKID ENAMEL OR AS RECOMMENDED BY THE MANUFACTURER. TWO COATS. THICKNESS TO BE AS RECOMMENDED BY THE MANUFACTURER. TYPICAL AT ALL LOCATIONS FOR ALL CONDITIONS.
- ALL PAINT FINISHES SHALL BE AS FOLLOWS: ALL INTERIOR CEILINGS SHALL BE ULTRA PURE WHITE WITH A FLAT FINISH. ALL INTERIOR TRIM SHALL BE ULTRA PURE WHITE WITH A SEMI-GLOSS FINISH. ALL INTERIOR WALLS SHALL BE SATIN FINISH. ANY AND ALL COLORS FOR ALL SURFACES AT ALL LOCATIONS SHALL BE AS SELECTED BY THE ARCHITECT AND THE OWNER. PROVIDE COLOR FAN PALLET FOR SECTION. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS.
- PLASTIC LAMINATE AT ALL LOCATIONS SHALL BE AS MANUFACTURED BY WILSONART OR APPROVED EQUAL. ALL COLORS AND FINISHES SHALL BE AS SELECTED BY THE ARCHITECT AND OR THE OWNER. PROVIDE A FULL SAMPLE CHAIN OF ALL AVAILABLE OPTIONS FOR SELECTION. TYPICAL AT ALL LOCATIONS.
- ALL INTERIOR AND EXTERIOR DOORS SHALL BE AS NOTED AND AS SELECTED BY THE OWNER AND OR THE ARCHITECT. REFER TO DOOR TYPES. FINISH FOR ALL DOORS SHALL COMPLY WITH THE PAINT REQUIREMENTS NOTED. ALL HARDWARE SHALL BE AS SELECTED BY THE OWNER. TYPICAL AT ALL LOCATIONS.



THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT

CONSTRUCTION DOCUMENT
PRINTED 09-01-2023

STATE OF CONNECTICUT
RODRIGUEZ ASSOCIATES, L.L.C.
LICENSED ARCHITECT
(SEAL)

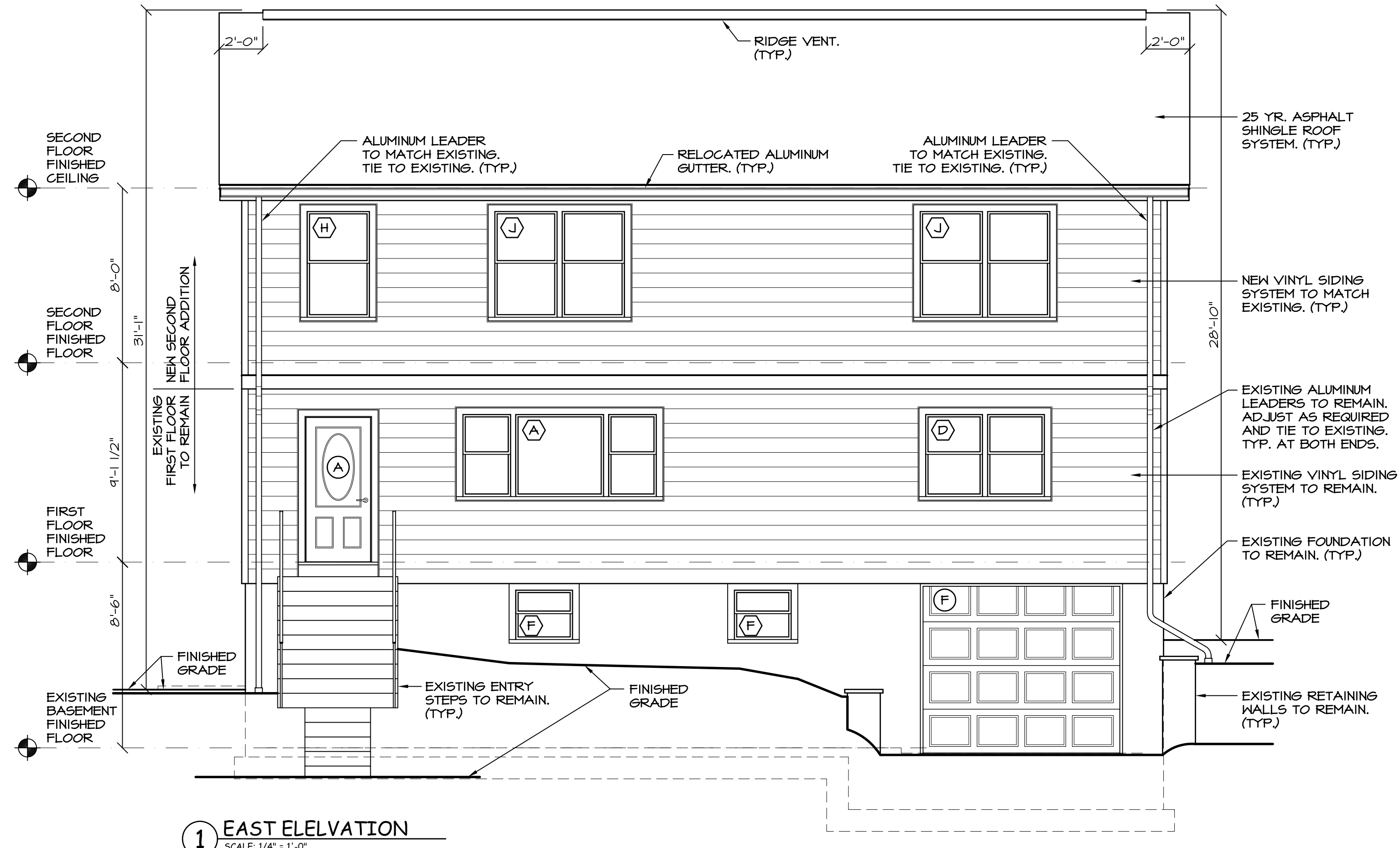
RENOVATION OF A SINGLE-FAMILY RESIDENCE
24 GASPEE ROAD BRIDGEPORT, CONNECTICUT

ELEVATIONS, DETAILS & NOTES

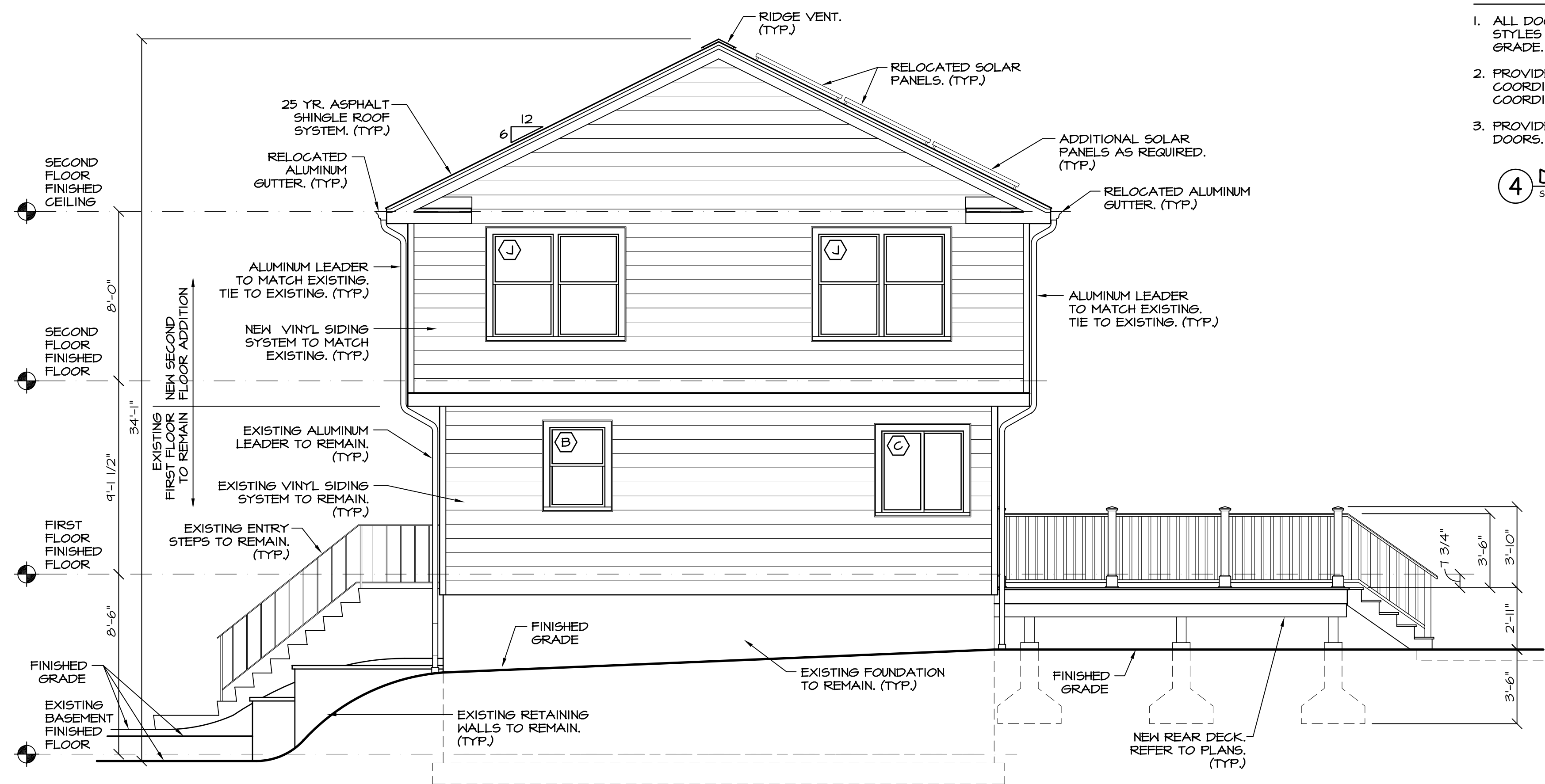
REVISIONS	
No.	DESCRIPTION
1	3-22-2024 B.O. COMMENTS - 9-18-2023
2	3-22-2024 OWNER REQUEST - 1-15-2024

DATE: SEPTEMBER 1, 2023

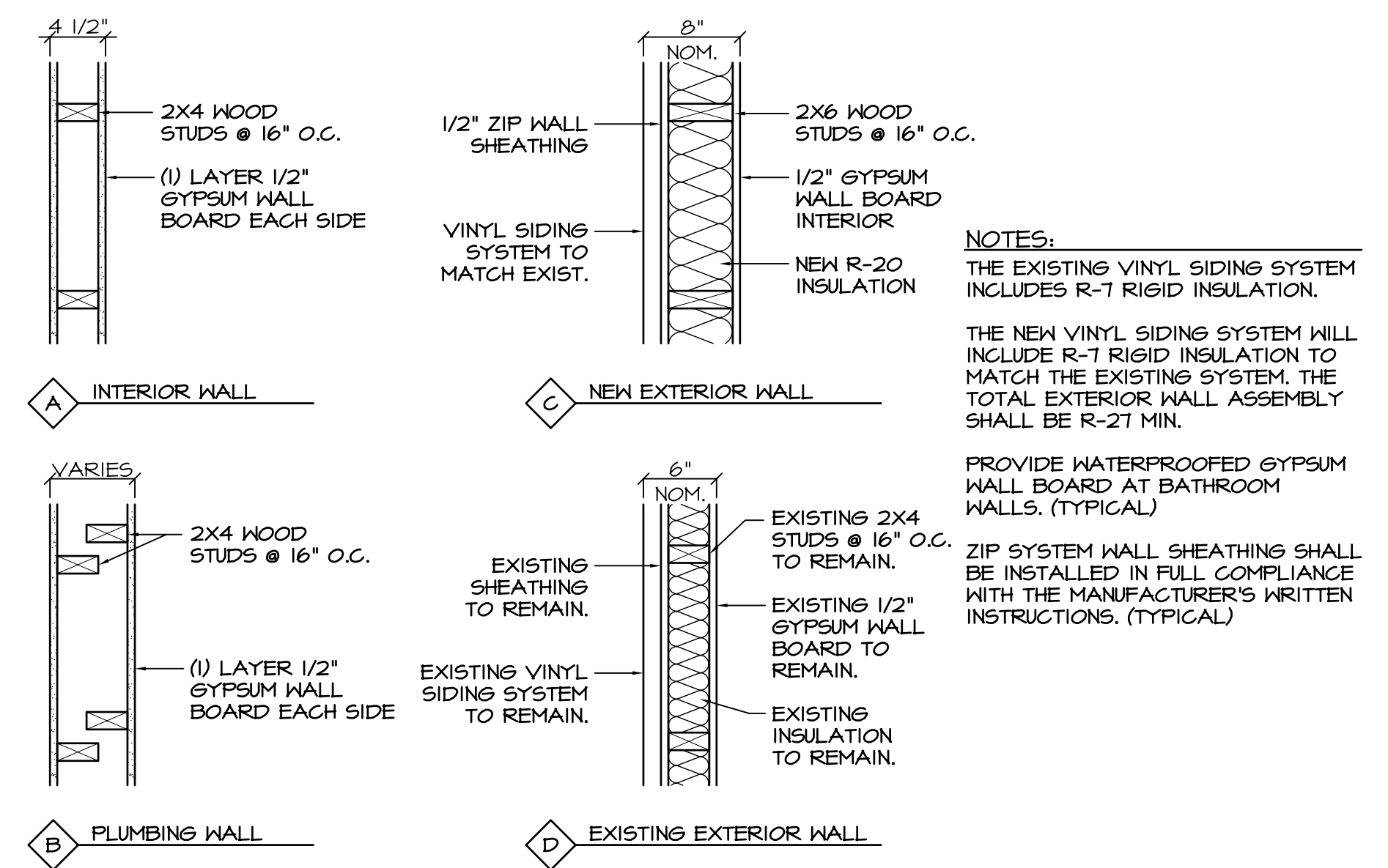
A-7.0



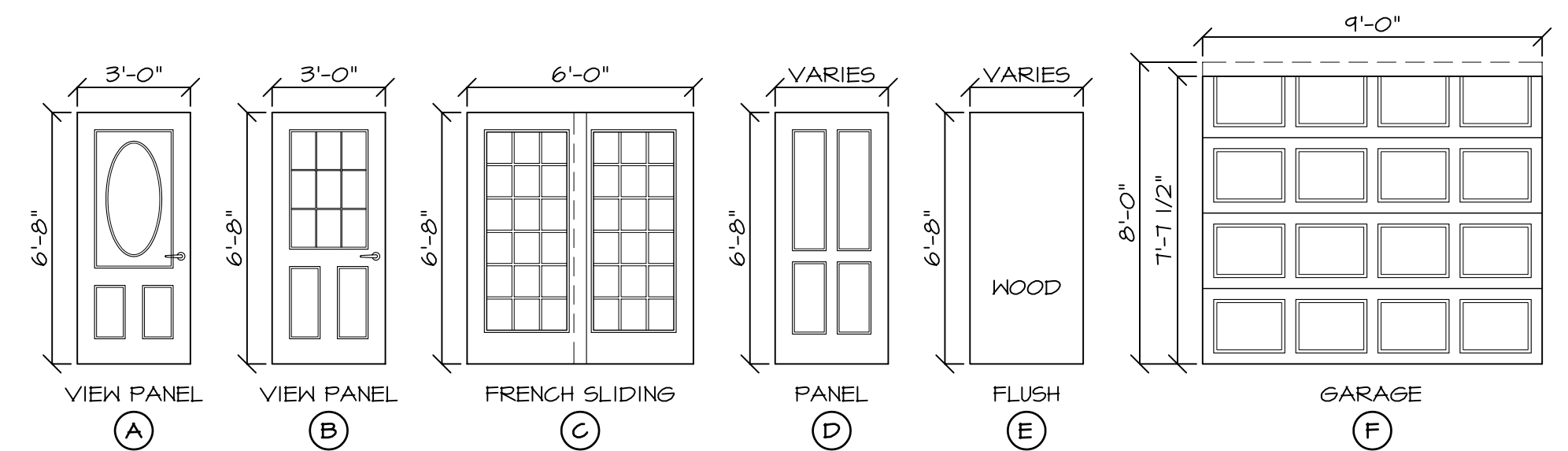
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

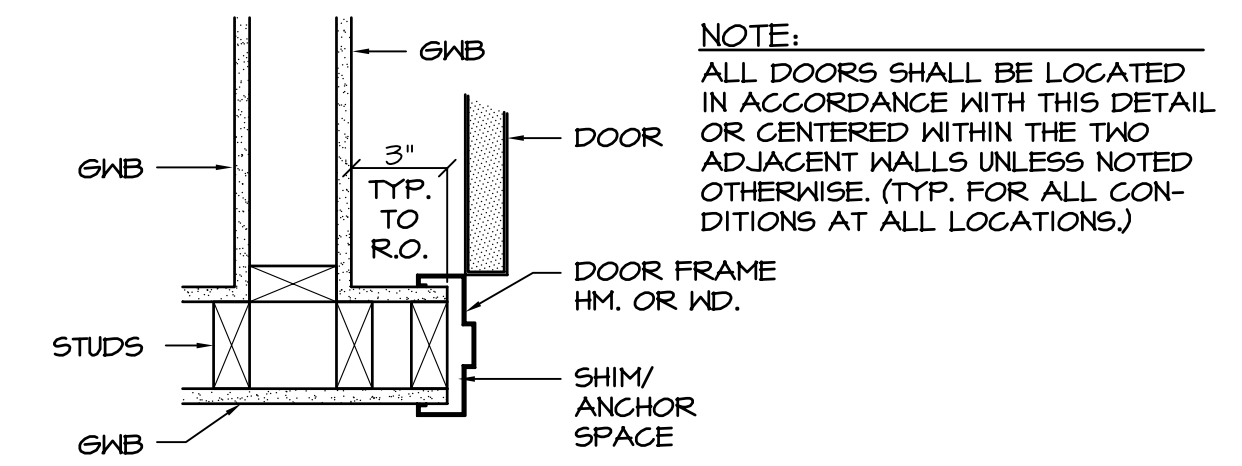


3 WALL TYPES
SCALE: 1" = 1'-0"



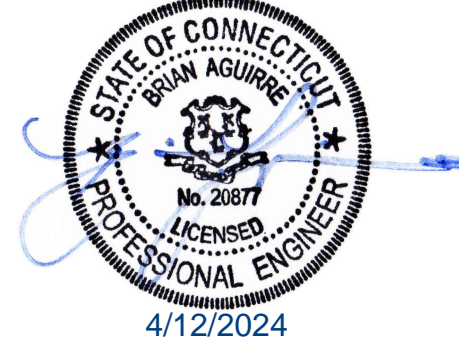
- NOTES:
- ALL DOORS TO BE SOLID WOOD CORE WITH SOLID STYLES & RAILS TO FIT HARDWARE, PAINTABLE GRADE, UNLESS NOTED OTHERWISE.
 - PROVIDE PRE-HUNG UNITS AT ALL LOCATIONS. COORDINATE PAIRS WITH FLOOR PLANS AND COORDINATE ROUGH OPENINGS AS REQUIRED.
 - PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
 - PROVIDE FOAM INSULATION TO FILL ALL GAPS AND CAVITIES AT PERIMETER OF ALL EXTERIOR DOORS.
 - ALL EXTERIOR DOORS TO BE 1 3/4" THICK. ALL INTERIOR DOORS TO BE 1 3/8" THICK, MINIMUM.

4 DOOR TYPES
SCALE: 1/4" = 1'-0"



5 TYPICAL DOOR PLACEMENT
SCALE: 1 1/2" = 1'-0"

- NOTES:
- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.

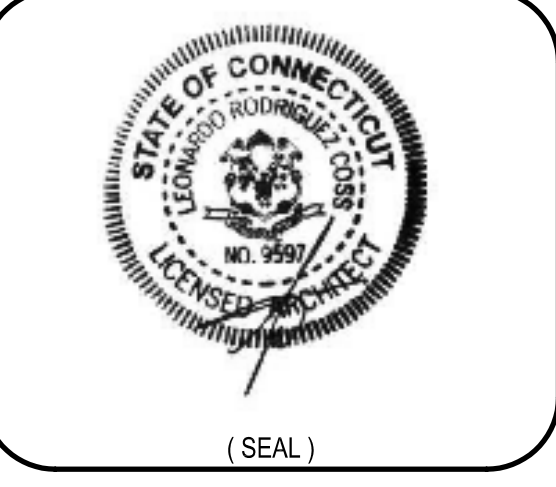


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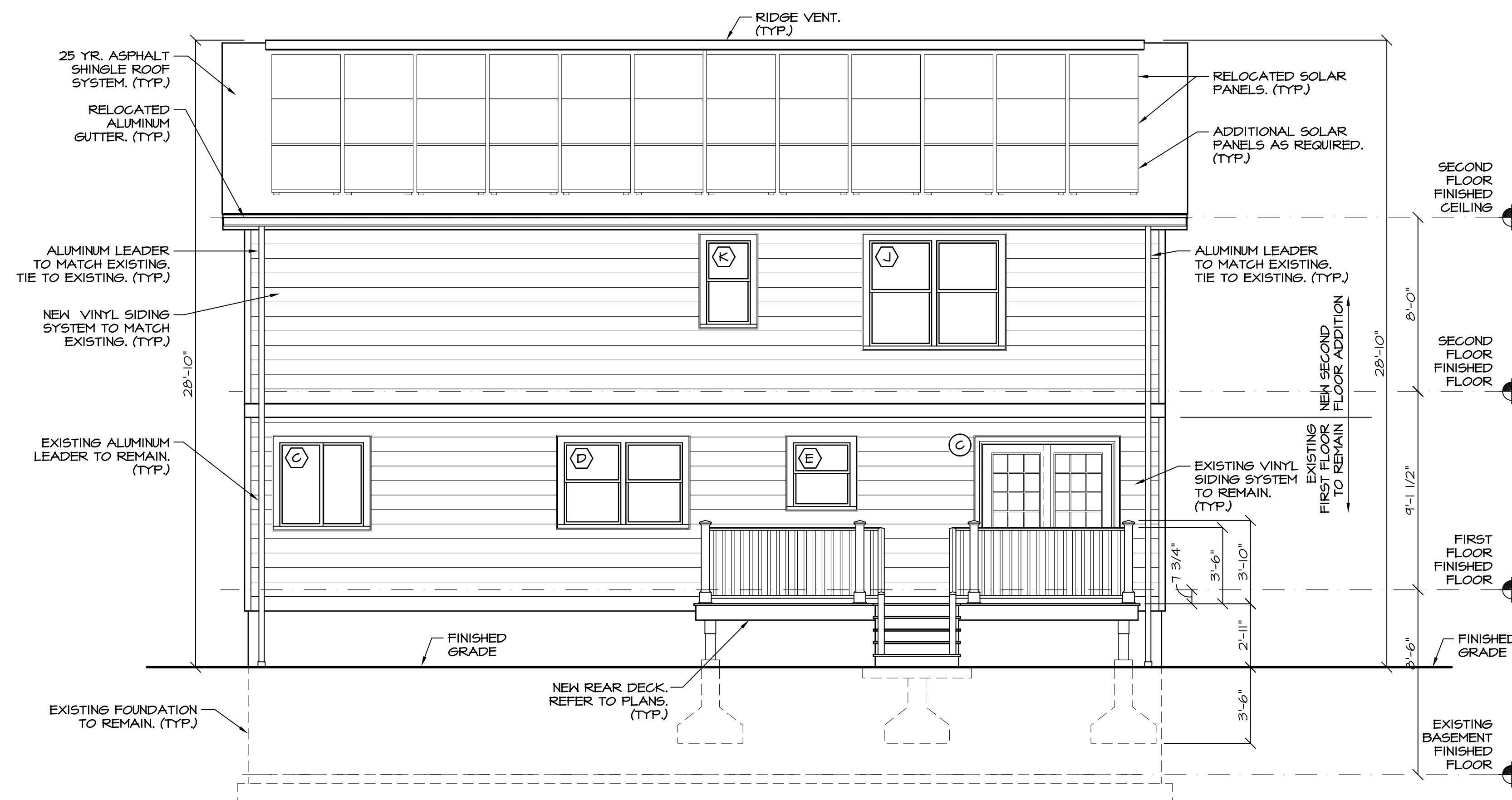


RENOVATION OF A SINGLE-FAMILY RESIDENCE
24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT

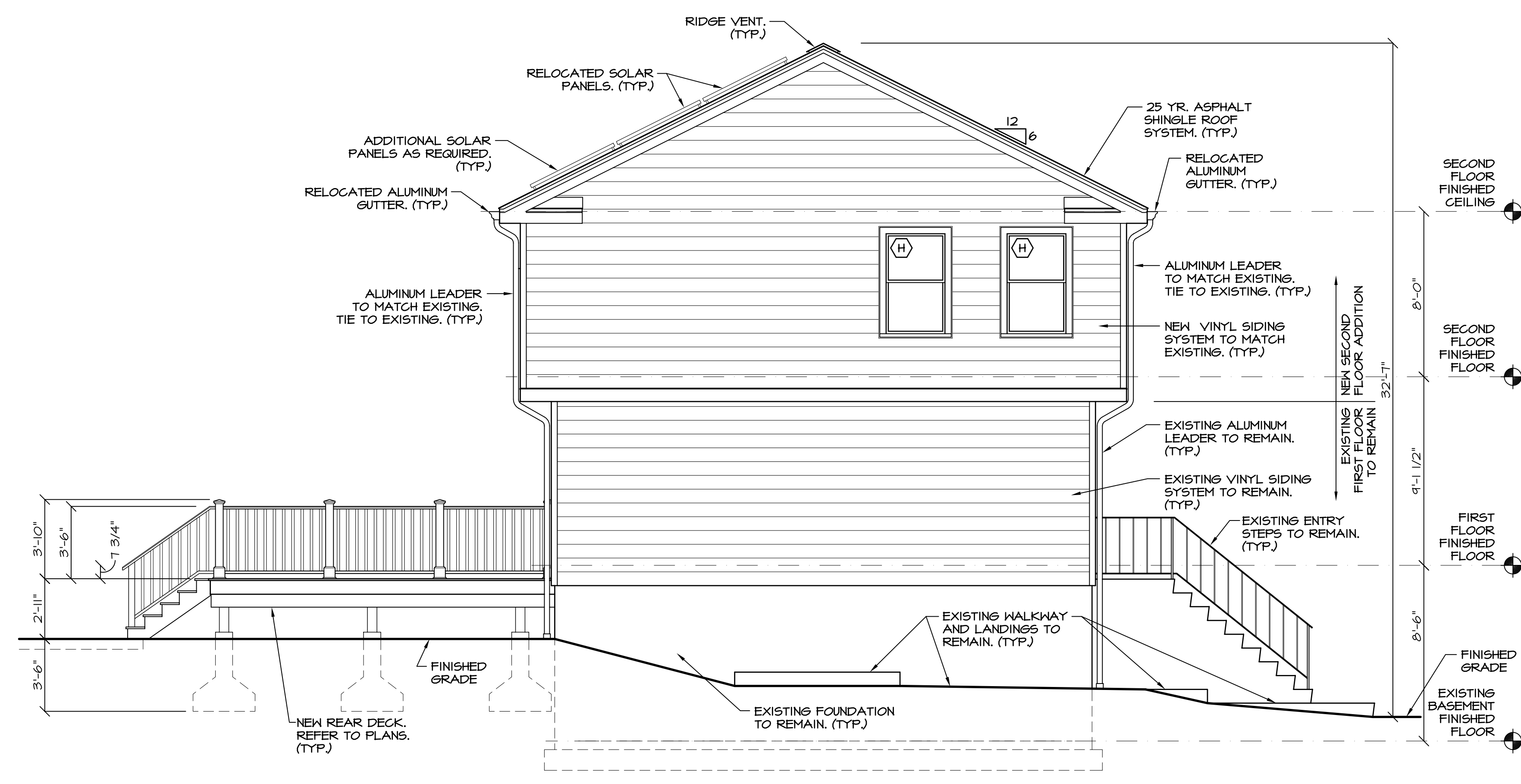
ELEVATIONS, DETAILS & NOTES

REVISIONS		
No.	DATE	DESCRIPTION
1	3-22-2024	B.O. COMMENTS - 9-18-2023
2	3-22-2024	OWNER REQUEST - 1-15-2024

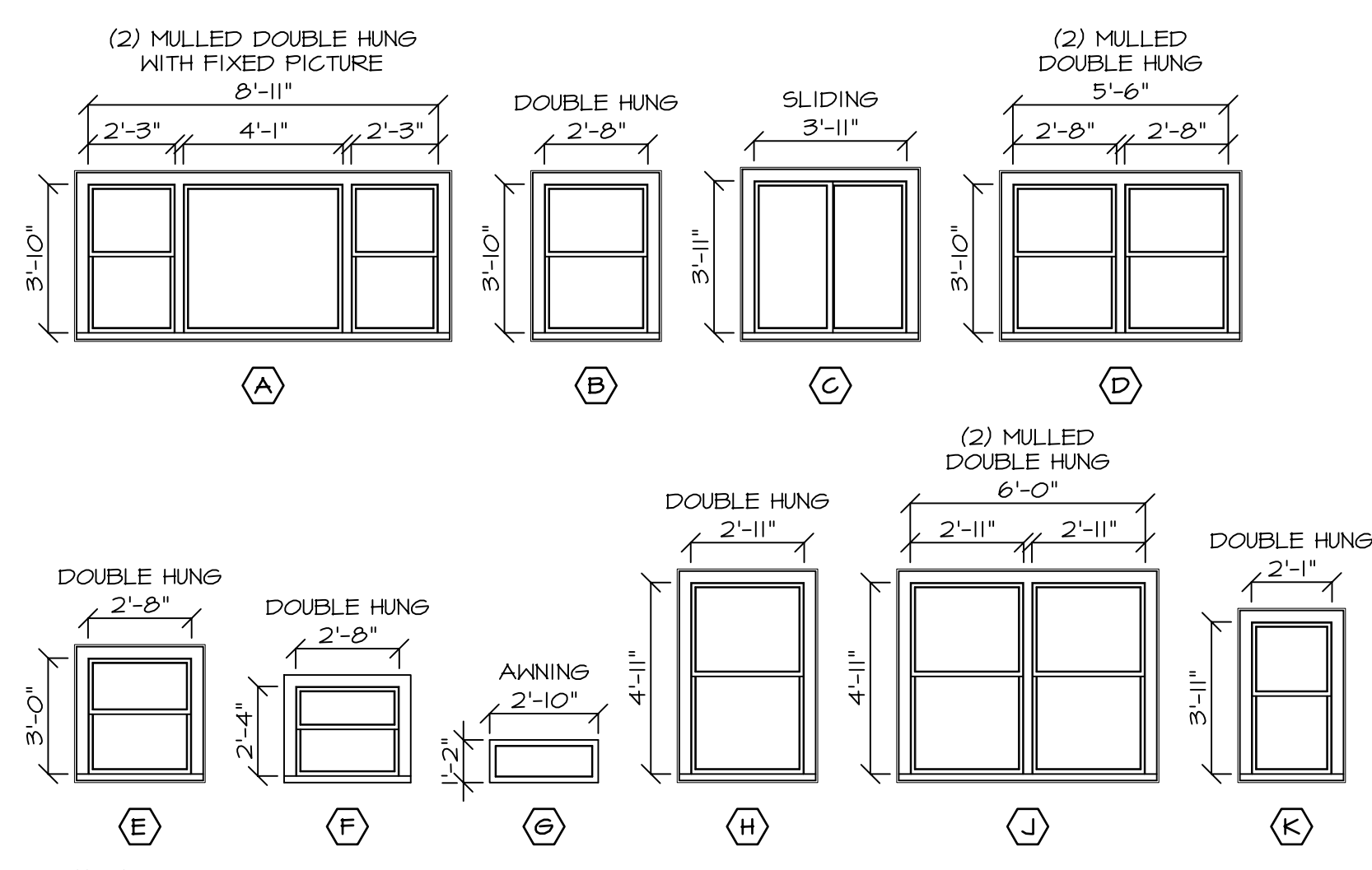
DATE: SEPTEMBER 1, 2023



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



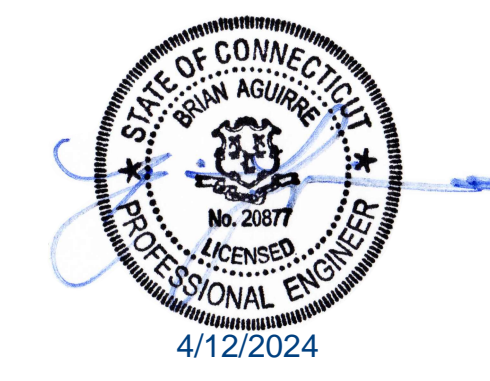
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



- NOTES:
- WINDOW TYPES "A", "B", "C", "D", "E", "F" AND "G" ARE EXISTING TO REMAIN OR TO BE REMOVED AND SALVAGED. REFER TO NOTES & DRAWINGS ON SHEET A-2.
 - WINDOW TYPES "H", "J" & "K" ARE NEW WINDOWS. NEW WINDOWS SHALL BE AS MANUFACTURED BY HARVEY INDUSTRIES OR APPROVED EQUAL. WINDOWS SHALL BE SLIMLINE VINYL DOUBLE HUNG OF SIZES AS NOTED. PROVIDE ENERGY STAR GLAZING WITH U-FACTOR OF 0.27. PROVIDE ALUMINUM WIRE SCREENS.
 - THE DIMENSIONS SHOWN ARE UNIT SIZES. MAKE PROVISIONS AND ADJUSTMENTS ACCORDINGLY.
 - MAKE PROVISIONS FOR ALL ROUGH OPENINGS IN FULL COORDINATION WITH THE WINDOW MANUFACTURER'S REQUIREMENTS.
 - THE INSTALLATION OF ALL WINDOWS SHALL BE IN FULL COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS, REQUIREMENTS AND RECOMMENDATIONS INCLUDING ANY SITE SPECIFIC RECOMMENDATION.
 - PROVIDE CLOSED CELL FOAM INSULATION AT ALL GAPS BETWEEN WINDOW JANBS, HEADS AND SILLS AND WINDOW ROUGH OPENING FRAMING.

3 WINDOW TYPES
SCALE: 1/4" = 1'-0"

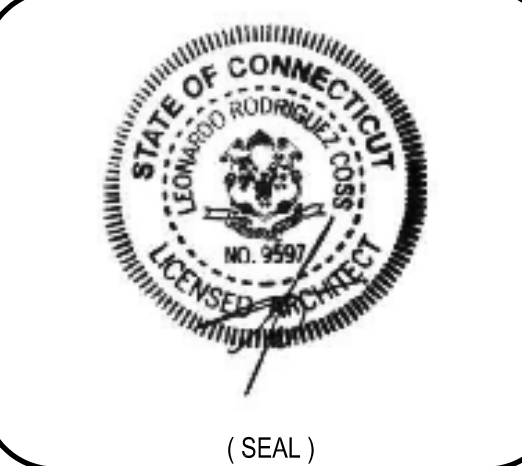
- NOTES:
- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.



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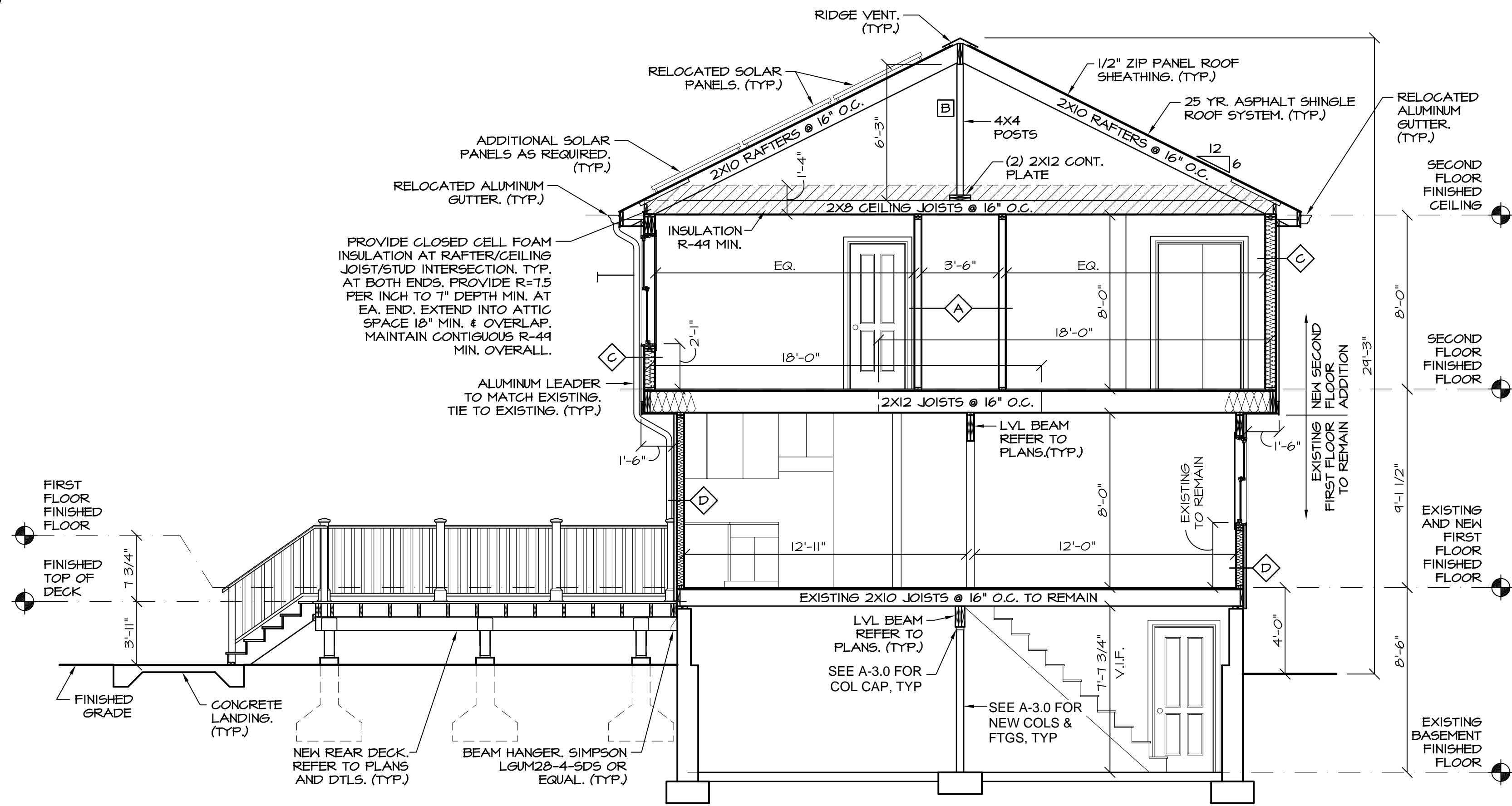
RENOVATION OF A SINGLE-FAMILY RESIDENCE
24 GASPEE ROAD BRIDGEPORT, CONNECTICUT

BUILDING SECTIONS, DETAILS & NOTES

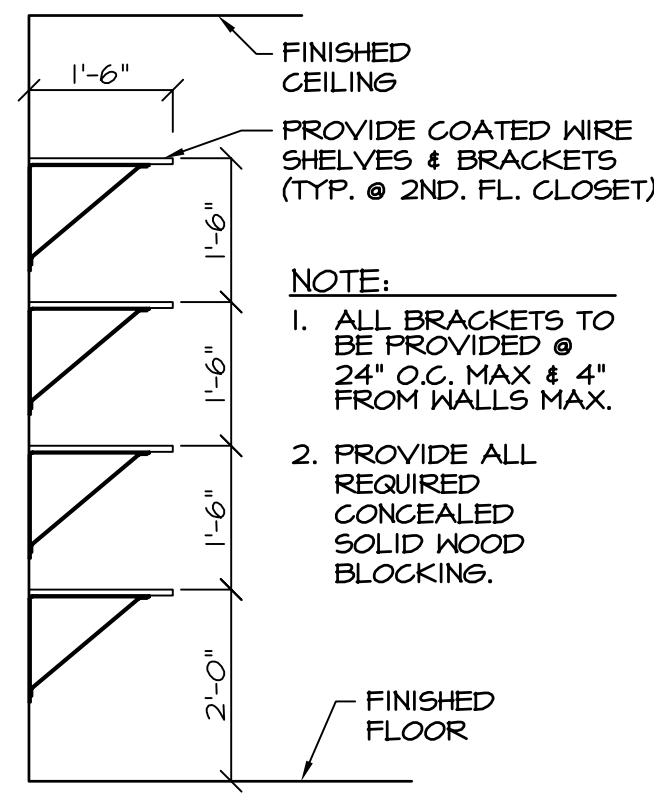
REVISIONS		
No.	DATE	DESCRIPTION
1	3-22-2024	B.O. COMMENTS - 9-18-2023
2	3-22-2024	OWNER REQUEST - 1-15-2024

DATE: SEPTEMBER 1, 2023

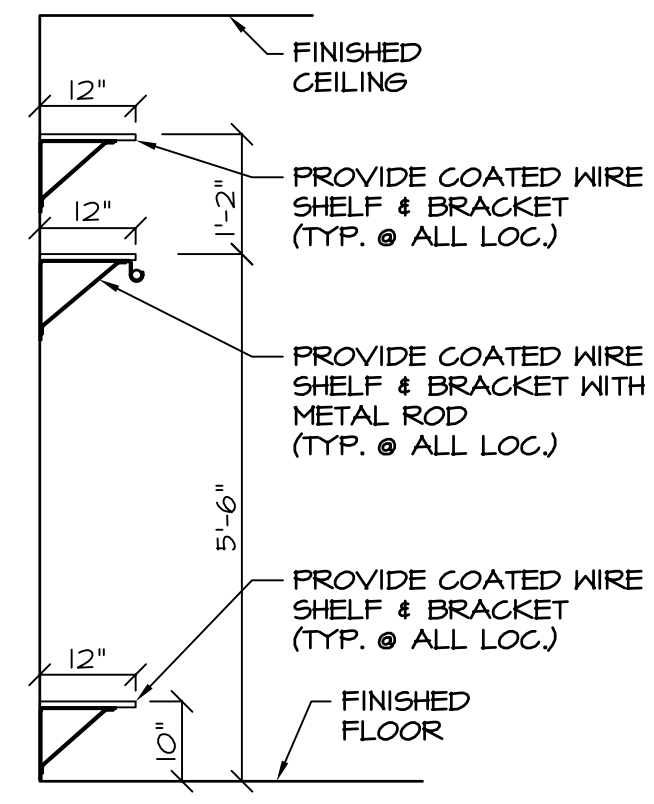
A-9.0



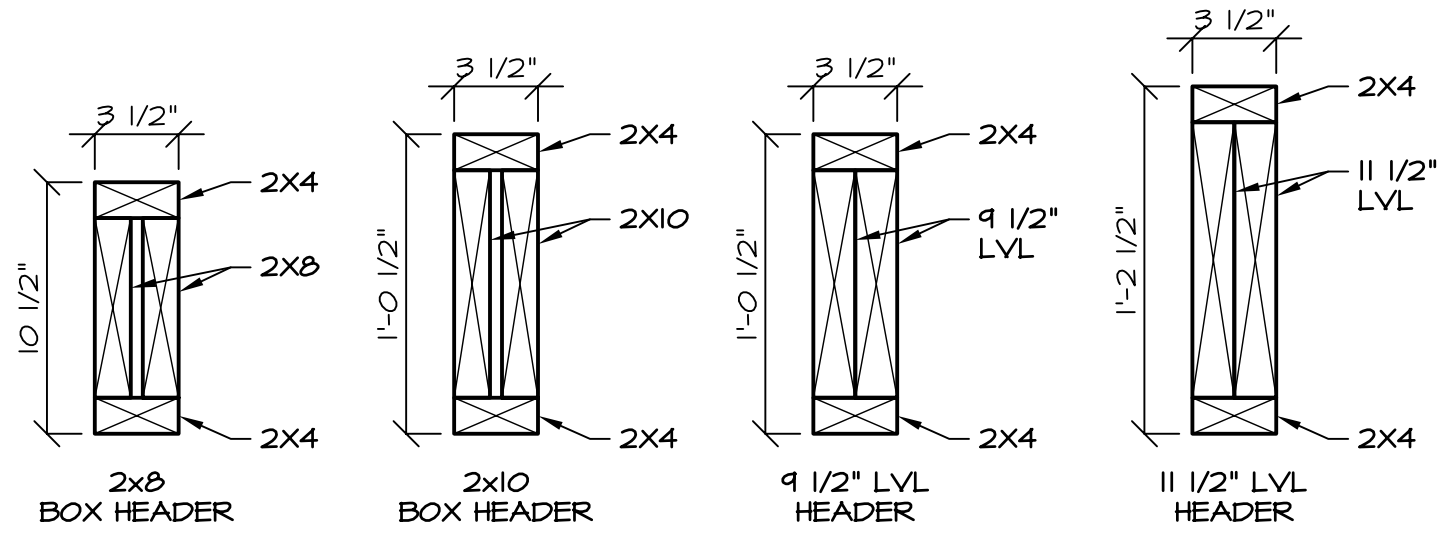
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



5 TYPICAL STORAGE SHELVING
SCALE: 1/2" = 1'-0"

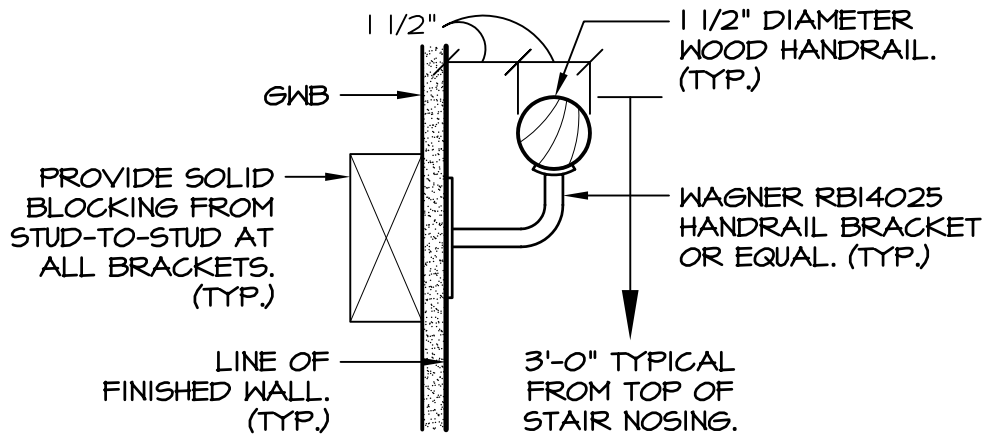


7 TYPICAL CLOSET SHELVING
SCALE: 1/2" = 1'-0"



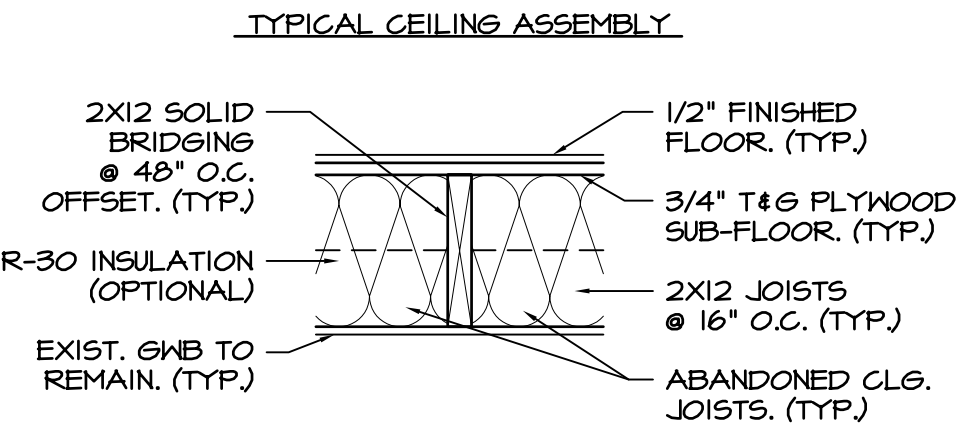
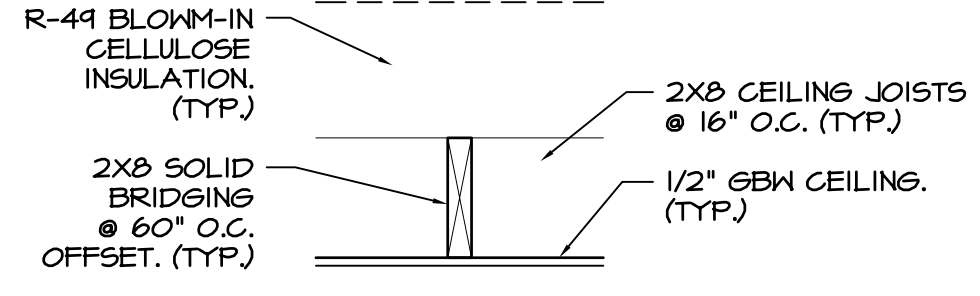
- NOTES:**
- ALL HEADERS SHALL BE AS NOTED ABOVE AND LISTED BELOW UNLESS NOTED OTHERWISE ON PLANS.
 - USE 2x8 BOX HEADER AT ALL INTERIOR NON-BEARING WALL OPENINGS UP TO 5'-6" WIDE UNLESS NOTED OTHERWISE.
 - USE 2x10 BOX HEADER AT ALL EXTERIOR WALL OPENINGS UP TO 3'-6" WIDE UNLESS NOTED OTHERWISE.
 - USE 9 1/2" LVL HEADER AT ALL EXTERIOR WALL OPENING OVER 3'-6" BUT NOT MORE THAN 6'-6" WIDE UNLESS NOTED OTHERWISE.
 - USE 11 1/2" LVL HEADER AT ALL EXTERIOR WALL OPENING OVER 6'-6" BUT NOT MORE THAN 9'-6" WIDE UNLESS NOTED OTHERWISE.

7 HEADER TYPES
SCALE: 1 1/2" = 1'-0"

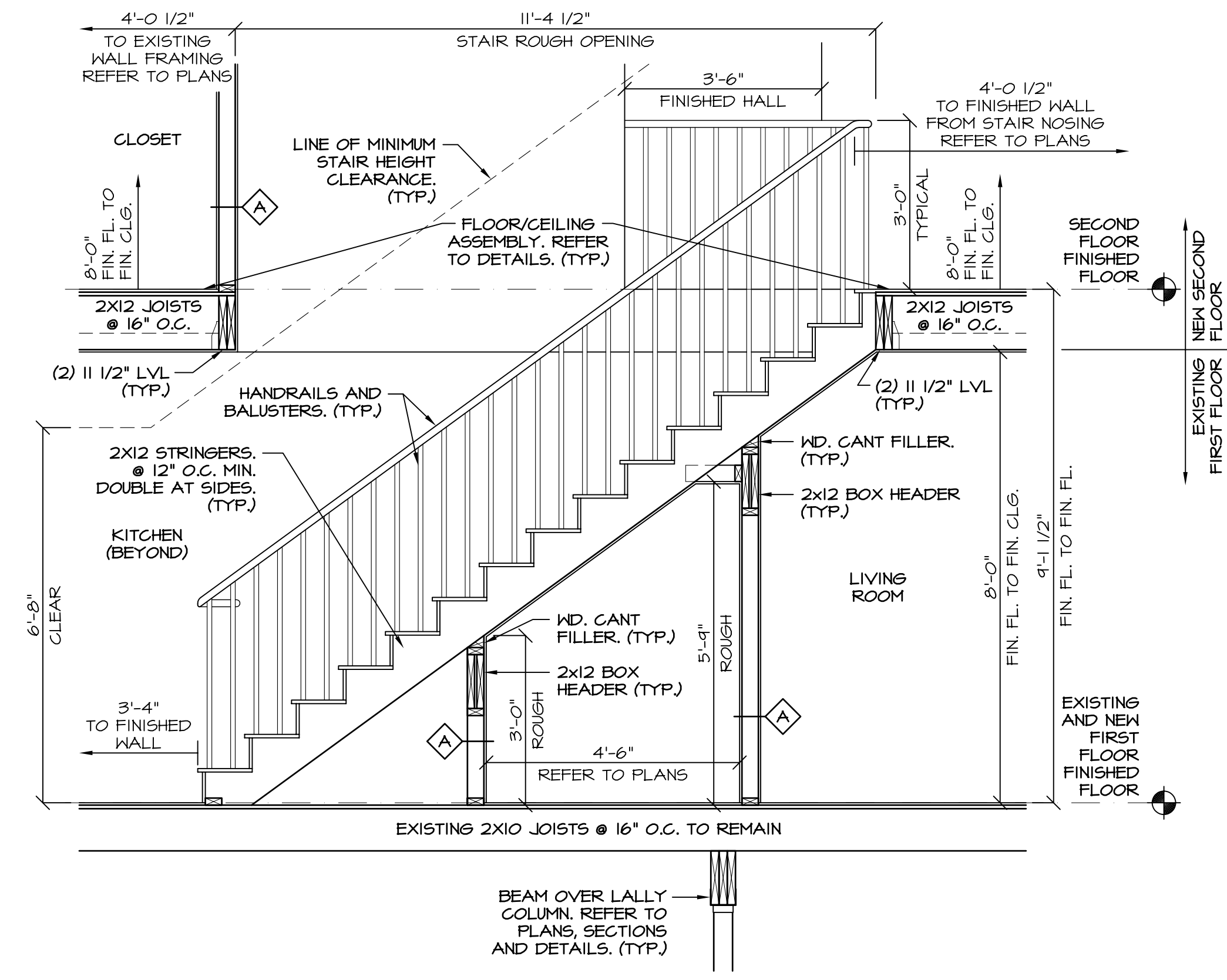


3 TYPICAL STAIR HANDRAIL
SCALE: 3" = 1'-0"

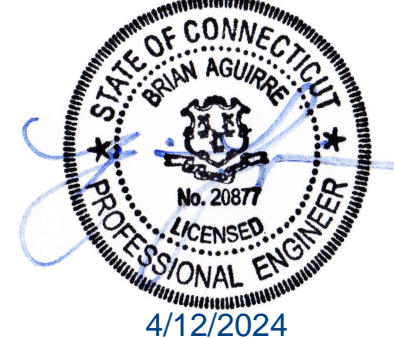
NOTE:
PROVIDE CLOSED CELL FOAM INSULATION AT JOISTS/RAFTER/WALL INTERSECTION AT BOTH ENDS. R=1/5/IN. AT 7" MIN & TOTAL R-44 MIN. EVERLAP WITH CELLULOSE. TYP.



4 FLOOR/CEILING ASSEMBLIES
SCALE: 1" = 1'-0"



2 PARTIAL SECTION AT STAIRS
SCALE: 1/2" = 1'-0"



4/12/2024

THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY. THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

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CONSTRUCTION DOCUMENT

PRINTED
09-01-2023



(SEAL)

RENOVATION OF A SINGLE-FAMILY RESIDENCE

24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT

DETAILS & NOTES

REVISIONS	
No.	DESCRIPTION
1	3-22-2024 B.O. COMMENTS - 9-18-2023
2	3-22-2024 OWNER REQUEST - 1-15-2024

DATE: SEPTEMBER 1, 2023

A-10.0



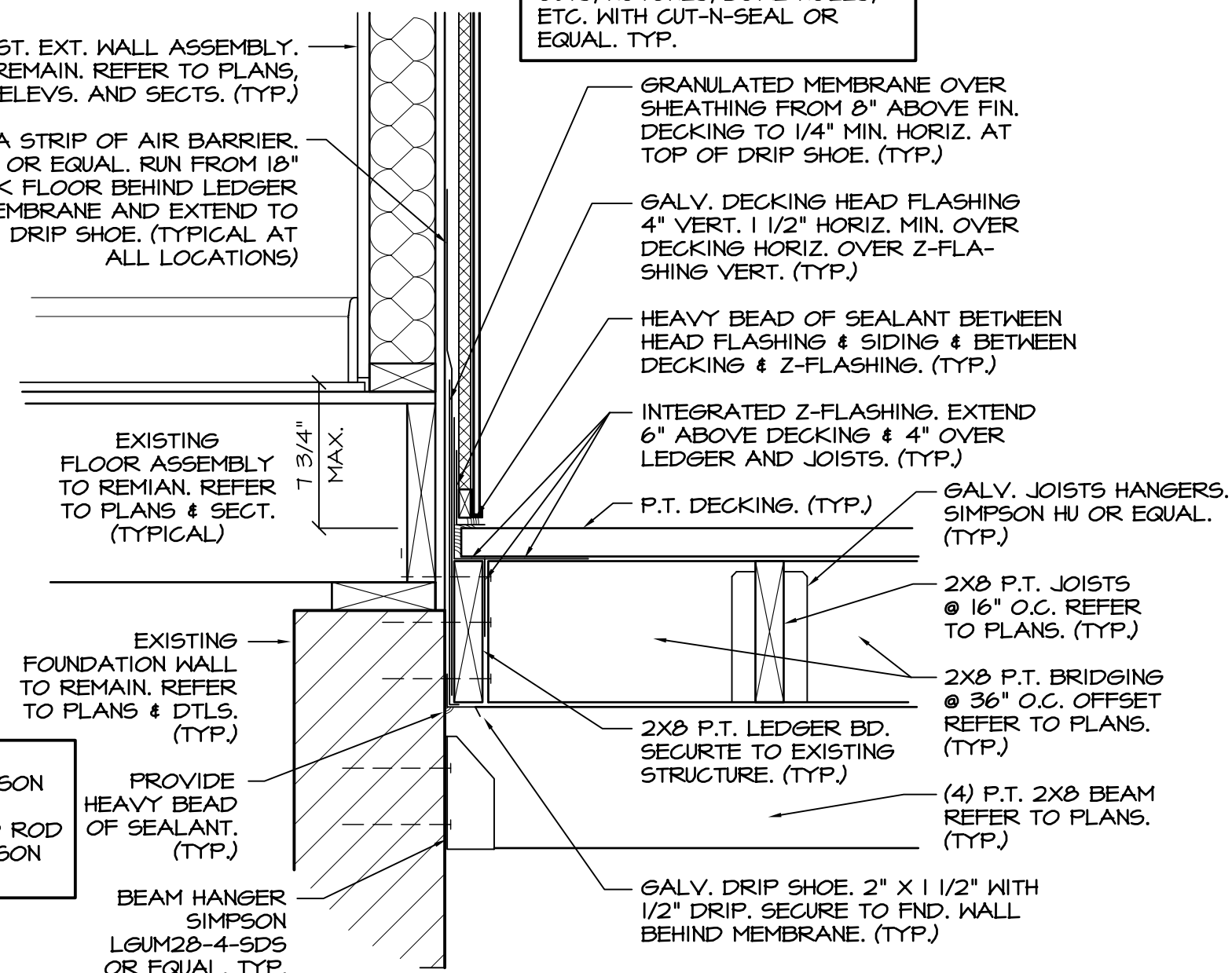
4/12/2024

CONTRACTOR NOTE:
AT ALL PRESSURE TREATED MATERIALS, RETREAT ALL END CUTS, NOTCHES, BORE HOLES, ETC. WITH CUT-N-SEAL OR EQUAL. TYP.

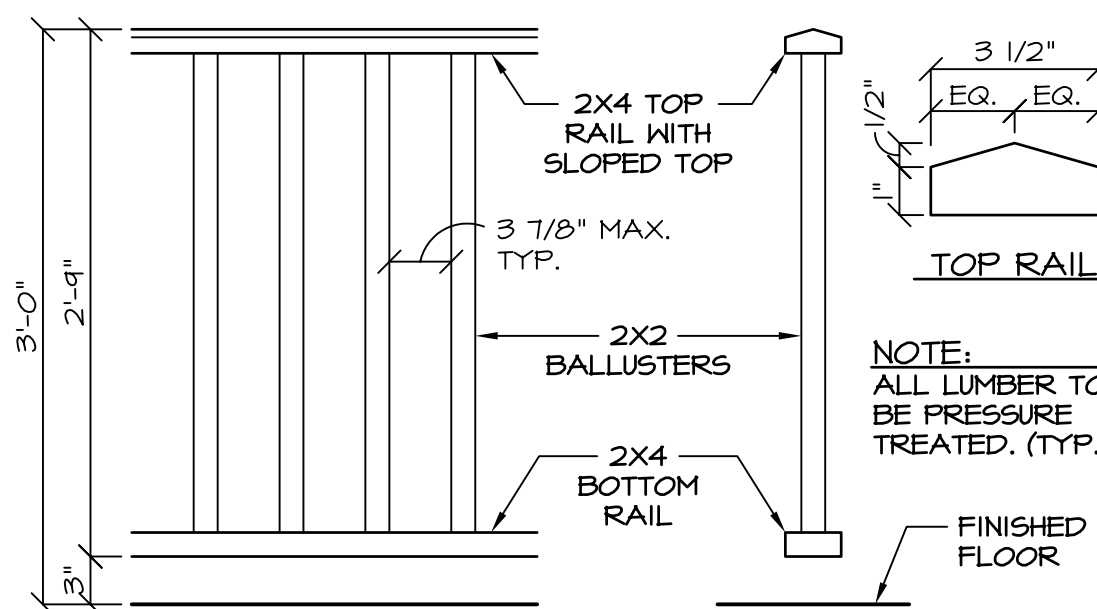
EXIST. EXT. WALL ASSEMBLY TO REMAIN. REFER TO PLANS, ELEV. AND SECTS. (TYP.)
PROVIDE A STRIP OF AIR BARRIER, TYVEK OR EQUAL. RUN FROM 18" ABOVE DECK FLOOR BEHIND LEDGER OVER MEMBRANE AND EXTEND TO TOP OF DRIP SHOE. (TYPICAL AT ALL LOCATIONS)

NOTES:
SEALANT TO BE ASI 502 BY AMERICAN SEALANT OR EQUAL.
MAKE ADJUSTMENTS TO ALL DIMS. FROM ACTUAL LUMBER SIZES. COORDINATE ALL FRAMING REQUIREMENTS WITH THE PLANS.
PROVIDE FILLERS OR BLOCKING TO MAINTAIN ASSEMBLY LEVEL AND PLUMB.
TAPE AIR BARRIER TO SHEATHING USING ZIP TAPE. DO NOT STAPLE AIR BARRIER.

NOTE - LEDGER CONNECTION:
TO WOOD = 2 ROWS 1/4" X 5" SIMPSON GALV SDS SCREWS @ 10" O.C.
TO CONCRETE = 1/2" SS THREADED ROD @ 12" O.C. DRILL & EPOXY W/ SIMPSON SET-XP ADHESIVE SYSTEM. TYP.

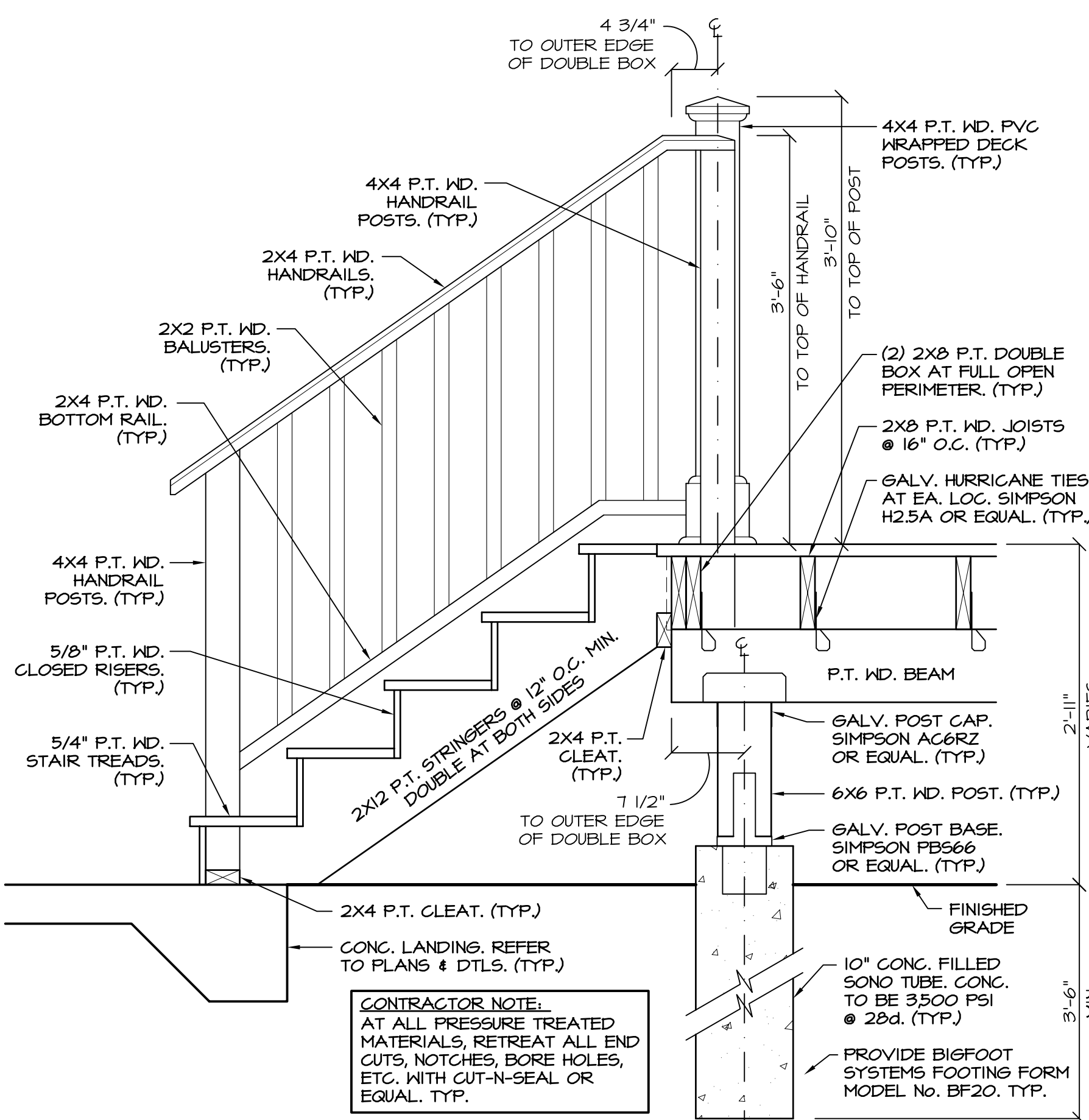


1 TYPICAL LEDGER AT DECK
SCALE: 1 1/2" = 1'-0"

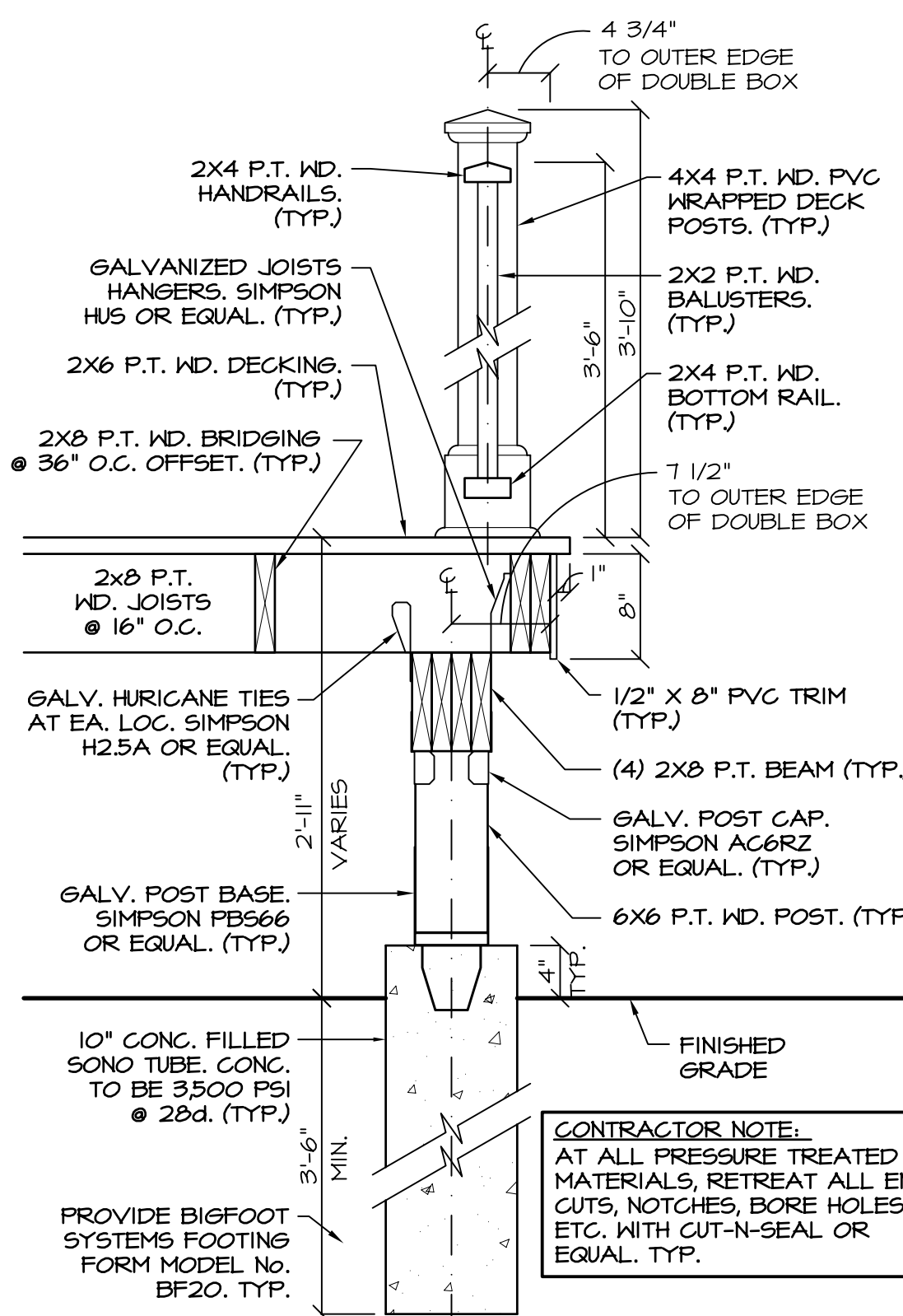


CONTRACTOR NOTE:
AT ALL PRESSURE TREATED MATERIALS, RETREAT ALL END CUTS, NOTCHES, BORE HOLES, ETC. WITH CUT-N-SEAL OR EQUAL. TYPICAL AT ALL LOCATIONS.

5 TYPICAL DECK HANDRAIL
SCALE: 3" = 1'-0"

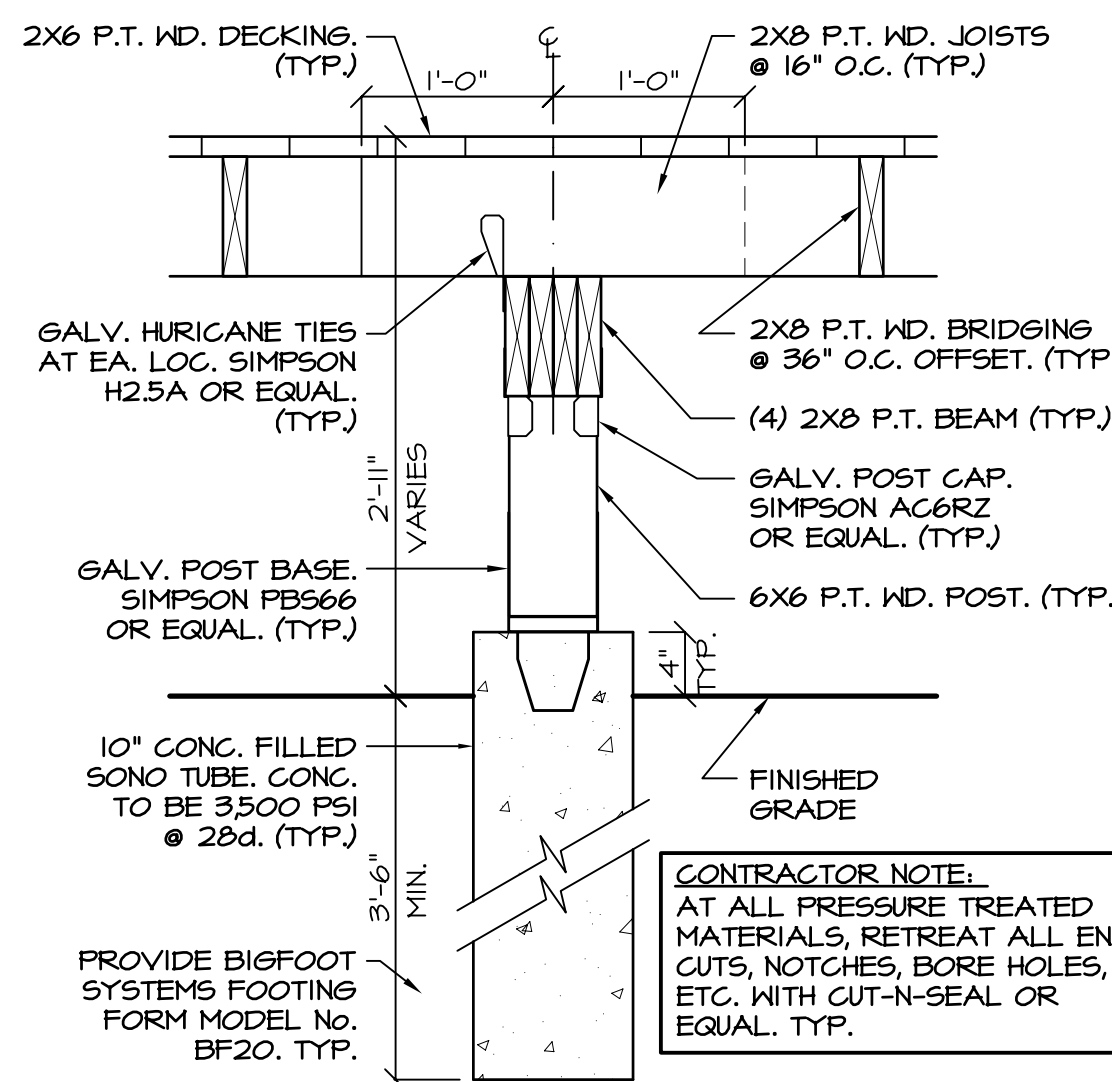


2 TYPICAL DECK AT STAIRS
SCALE: 1" = 1'-0"



CONTRACTOR NOTE:
AT ALL PRESSURE TREATED MATERIALS, RETREAT ALL END CUTS, NOTCHES, BORE HOLES, ETC. WITH CUT-N-SEAL OR EQUAL. TYP.

3 TYPICAL DECK END
SCALE: 1" = 1'-0"



CONTRACTOR NOTE:
AT ALL PRESSURE TREATED MATERIALS, RETREAT ALL END CUTS, NOTCHES, BORE HOLES, ETC. WITH CUT-N-SEAL OR EQUAL. TYP.

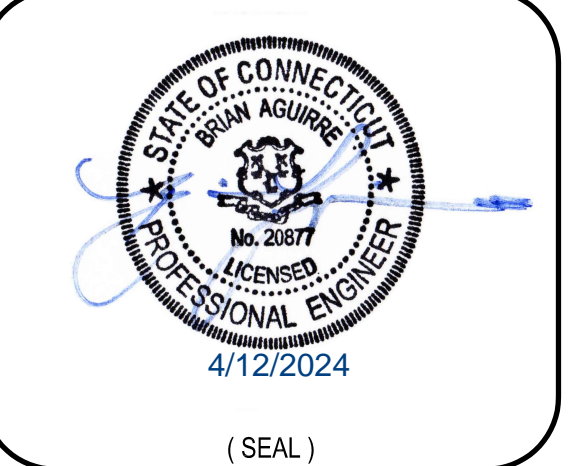
4 TYPICAL PIER AT DECK
SCALE: 1" = 1'-0"

THESE DOCUMENTS ARE FOR
A RENOVATION OF A SINGLE-FAMILY
RESIDENCE AT 24 GASPEE ROAD IN
BRIDGEPORT, CONNECTICUT ONLY
THE USE OF ANY PART OR PORTION
THEREOF FOR ANY PURPOSE WILL
REQUIRE WRITTEN PERMISSION
FROM THE ARCHITECT.

BAV DESIGN, LLC
STRUCTURAL ENGINEERING
bavengr@gmail.com
(203) 590-1374

DO NOT SCALE DRAWINGS
REFER ALL QUESTIONS
AND CLARIFICATIONS TO
THE ARCHITECT

**CONSTRUCTION
DOCUMENT**



RENOVATION
OF A
SINGLE-FAMILY
RESIDENCE
24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT

BRACE-WALL PLAN
AND
LENGTH CALCULATIONS
FIRST FLOOR

SCALE: SCALED AS NOTED

REVISIONS		
No.	DATE	DESCRIPTION
1	3-22-2024	B.O. COMMENTS - 9-18-2023
2	3-22-2024	OWNER REQUEST - 1-15-2024

DATE: JANUARY 2, 2024

S-1.2

A-1 WALL LINE

WALL LINE ELEVATION VIEW

Total Wall Line Length: 26' 3"

WALL LINE PLAN VIEW

Story	Wall Line	Bracing Method	Wind Factors	Wind Bracing Amount	Seismic Factors	Seismic Bracing Amount	Required Bracing	Qualified Bracing	Bracing Status
1st Story	A-1	CS-WSP	2.32	15.82	Exempt	Exempt	15.82	26.25	Compliant

Furthest Distance to Adjacent BWL: 19' 6"
 Roof Eave to Ridge Height: 8 feet
 Wall Line Length: 26' 3"
 Gypsum Blocking: Included

Wall Line Segment	Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down
B1	8'	9'	CS-WSP	26' 3"		26.25	6" / 12"	None	None

C-1 WALL LINE

WALL LINE ELEVATION VIEW

Total Wall Line Length: 26' 3"

WALL LINE PLAN VIEW

Story	Wall Line	Bracing Method	Wind Factors	Wind Bracing Amount	Seismic Factors	Seismic Bracing Amount	Required Bracing	Qualified Bracing	Bracing Status
1st Story	C-1	CS-WSP	2.32	17.79	Exempt	Exempt	17.79	38.08	Compliant

Furthest Distance to Adjacent BWL: 22' 8"
 Roof Eave to Ridge Height: 8 feet
 Wall Line Length: 26' 3"
 Gypsum Blocking: Omitted

Wall Line Segment	Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down
B1	8'	9'	CS-WSP	4' 10"	6' 8"	4.83	6" / 12"	None	None
B2	8'	9'	CS-WSP	9' 5"	6' 8"	9.42	6" / 12"	None	None
B3	8'	9'	CS-WSP	6' 0"	6' 8"	6	6" / 12"	None	None

BRACE-WALL LENGTH CALCULATION
NO SCALE

2-1 WALL LINE

WALL LINE ELEVATION VIEW

Total Wall Line Length: 42' 2"

WALL LINE PLAN VIEW

Story	Wall Line	Bracing Method	Wind Factors	Wind Bracing Amount	Seismic Factors	Seismic Bracing Amount	Required Bracing	Qualified Bracing	Bracing Status
1st Story	2-1	CS-WSP	2.32	18.65	Exempt	Exempt	18.65	28.33	Compliant

Furthest Distance to Adjacent BWL: 24' 2"
 Roof Eave to Ridge Height: 8 feet
 Wall Line Length: 42' 2"
 Gypsum Blocking: Included

Wall Line Segment	Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down
B1	8'	9'	CS-WSP	1' 0"	6' 8"	0	6" / 12"	None	None
B2	8'	9'	CS-WSP	10' 4"	6' 8"	10.33	6" / 12"	None	None
B3	8'	9'	CS-WSP	2' 10"	8' 0"	0	6" / 12"	None	None
B4	8'	9'	CS-WSP	18' 0"	8' 0"	18	6" / 12"	None	None

* NOTE: Provide Simpson Strong-Tie Holddown Anchor Model No. HDU2-SDS2.5, see typical details on this sheet.

3-1 WALL LINE

WALL LINE ELEVATION VIEW

Total Wall Line Length: 42' 2"

WALL LINE PLAN VIEW

Story	Wall Line	Bracing Method	Wind Factors	Wind Bracing Amount	Seismic Factors	Seismic Bracing Amount	Required Bracing	Qualified Bracing	Bracing Status
1st Story	3-1	CS-WSP	2.32	18.17	Exempt	Exempt	18.17	24.17	Compliant

Furthest Distance to Adjacent BWL: 23' 4"
 Roof Eave to Ridge Height: 8 feet
 Wall Line Length: 42' 2"
 Gypsum Blocking: Included

Wall Line Segment	Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down
B1	8'	9'	CS-WSP	2' 9"	6' 8"	2.75	6" / 12"	None	None
B2	8'	9'	CS-WSP	4' 0"	6' 8"	4	6" / 12"	None	None
B3	8'	9'	CS-WSP	12' 0"	6' 8"	12	6" / 12"	None	None
B4	8'	9'	CS-WSP	5' 5"	6' 8"	5.42	6" / 12"	None	None

THESE DOCUMENTS ARE FOR
A RENOVATION OF A SINGLE-FAMILY
RESIDENCE AT 24 GASPEE ROAD IN
BRIDGEPORT, CONNECTICUT ONLY
THE USE OF ANY PART OR PORTION
THEREOF FOR ANY PURPOSE WILL
REQUIRE WRITTEN PERMISSION
FROM THE ARCHITECT.

BAV DESIGN, LLC
STRUCTURAL ENGINEERING
bavengr@gmail.com
(203) 590-1374

DO NOT SCALE DRAWINGS
REFER ALL QUESTIONS
AND CLARIFICATIONS TO
THE ARCHITECT

**CONSTRUCTION
DOCUMENT**



(SEAL)

RENOVATION
OF A
SINGLE-FAMILY
RESIDENCE

24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT

BRACE-WALL PLAN
AND
LENGTH CALCULATIONS
SECOND FLOOR

SCALE: SCALED AS NOTED

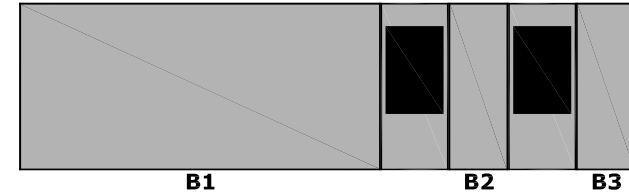
REVISIONS		
No.	DATE	DESCRIPTION
1	3-22-2024	B.O. COMMENTS - 9-18-2023
2	3-22-2024	OWNER REQUEST - 1-15-2024

DATE: JANUARY 2, 2024

S-1.3

A-2 WALL LINE

WALL LINE ELEVATION VIEW



Total Wall Line Length: 29' 4"

WALL LINE PLAN VIEW



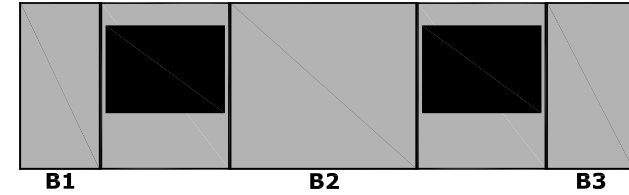
Story	Wall Line	Bracing Method	Wind Factors	Wind Bracing Amount	Seismic Factors	Seismic Bracing Amount	Required Bracing	Qualified Bracing	Bracing Status
2nd Story	A-2	CS-WSP	1.67	11.39	Exempt	Exempt	11.39	23	Compliant

Furthest Distance to Adjacent BWL 42' 2"
Roof Eave to Ridge Height 8 feet
Wall Line Length 29' 4"
Gypsum Included
Blocking Omitted

Wall Line Segment	Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down
B1	8'	9'	CS-WSP	17' 6"	6' 8"	17.5	6"/12"	None	None
B2	8'	9'	CS-WSP	2' 9"	6' 8"	2.75	6"/12"	None	None
B3	8'	9'	CS-WSP	2' 9"	6' 8"	2.75	6"/12"	None	None

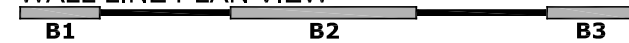
C-2 WALL LINE

WALL LINE ELEVATION VIEW



Total Wall Line Length: 29' 4"

WALL LINE PLAN VIEW



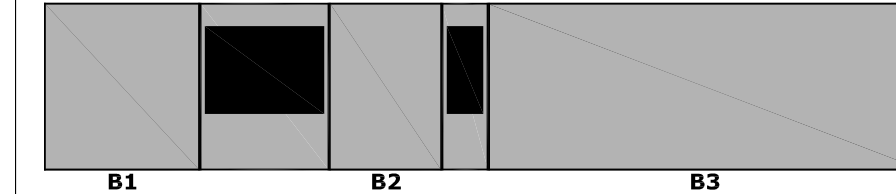
Story	Wall Line	Bracing Method	Wind Factors	Wind Bracing Amount	Seismic Factors	Seismic Bracing Amount	Required Bracing	Qualified Bracing	Bracing Status
2nd Story	C-2	CS-WSP	1.67	11.39	Exempt	Exempt	11.39	17	Compliant

Furthest Distance to Adjacent BWL 42' 2"
Roof Eave to Ridge Height 8 feet
Wall Line Length 29' 4"
Gypsum Included
Blocking Omitted

Wall Line Segment	Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down
B1	8'	9'	CS-WSP	3' 10"	6' 8"	3.83	6"/12"	None	None
B2	8'	9'	CS-WSP	9' 0"	6' 8"	9	6"/12"	None	None
B3	8'	9'	CS-WSP	4' 2"	6' 8"	4.17	6"/12"	None	None

2-2 WALL LINE

WALL LINE ELEVATION VIEW



Total Wall Line Length: 42' 2"

WALL LINE PLAN VIEW



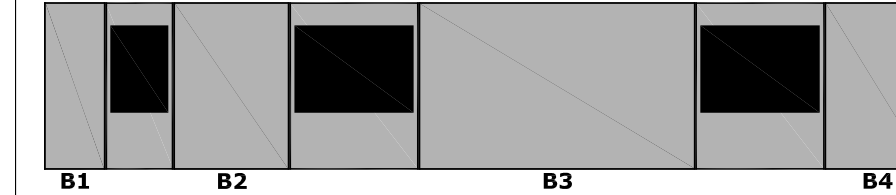
Story	Wall Line	Bracing Method	Wind Factors	Wind Bracing Amount	Seismic Factors	Seismic Bracing Amount	Required Bracing	Qualified Bracing	Bracing Status
2nd Story	2-2	CS-WSP	1.67	8.18	Exempt	Exempt	8.18	33.83	Compliant

Furthest Distance to Adjacent BWL 29' 4"
Roof Eave to Ridge Height 8 feet
Wall Line Length 42' 2"
Gypsum Included
Blocking Omitted

Wall Line Segment	Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down
B1	8'	9'	CS-WSP	7' 6"	6' 8"	7.5	6"/12"	None	None
B2	8'	9'	CS-WSP	5' 4"	6' 8"	5.33	6"/12"	None	None
B3	8'	9'	CS-WSP	21' 0"	6' 8"	21	6"/12"	None	None

3-2 WALL LINE

WALL LINE ELEVATION VIEW



Total Wall Line Length: 42' 2"

WALL LINE PLAN VIEW

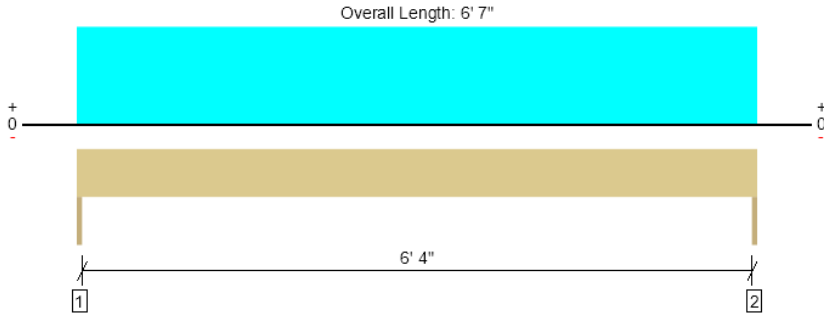


Story	Wall Line	Bracing Method	Wind Factors	Wind Bracing Amount	Seismic Factors	Seismic Bracing Amount	Required Bracing	Qualified Bracing	Bracing Status
2nd Story	3-2	CS-WSP	1.67	8.18	Exempt	Exempt	8.18	26.66	Compliant

Furthest Distance to Adjacent BWL 29' 4"
Roof Eave to Ridge Height 8 feet
Wall Line Length 42' 2"
Gypsum Included
Blocking Omitted

Wall Line Segment	Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down
B1	8'	9'	CS-WSP	2' 10"	6' 8"	2.83	6"/12"	None	None
B2	8'	9'	CS-WSP	5' 6"	6' 8"	5.5	6"/12"	None	None
B3	8'	9'	CS-WSP	13' 4"	6' 8"	13.33	6"/12"	None	None
B4	8'	9'	CS-WSP	5' 0"	6' 8"	5	6"/12"	None	None

BRACE-WALL LENGTH CALCULATION
NO SCALE



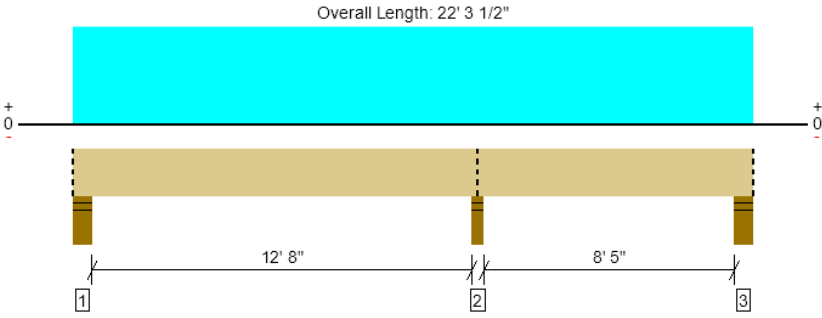
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Supports table with columns: Bearing Length, Total, Available, Required, Dead, Floor Live, Snow, Factored, Accessories.

Lateral Bracing table with columns: Bracing Intervals, Comments.

Vertical Loads table with columns: Location, Tributary Width, Dead (0.90), Floor Live (1.00), Snow (1.15), Comments.

Weyerhaeuser Notes: Weyerhaeuser warrants that the using of its products will be in accordance with Weyerhaeuser product design criteria and published design values.



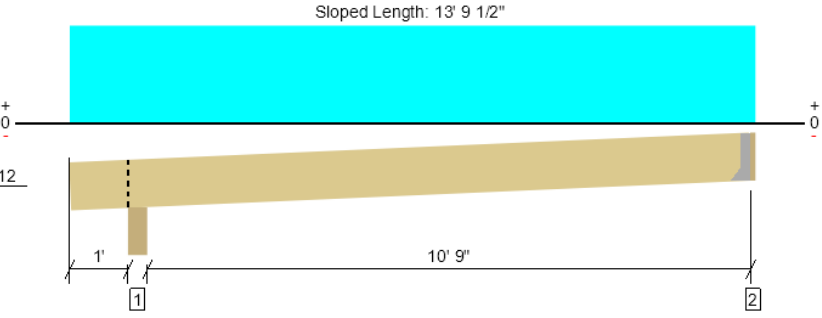
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Design Results table with columns: Member Reaction (lbs), Shear (lbs), Moment (Ft-lbs), Live Load Defl. (in), Total Load Defl. (in), Allow, Result, LDF, Load Combination (Pattern), Group, System, Roof, Member Type, Joist, Building Use, Residential, Building Code, IRC 2021, Design Methodology, ASD.

Supports table with columns: Bearing Length, Total, Available, Required, Dead, Snow, Factored, Accessories.

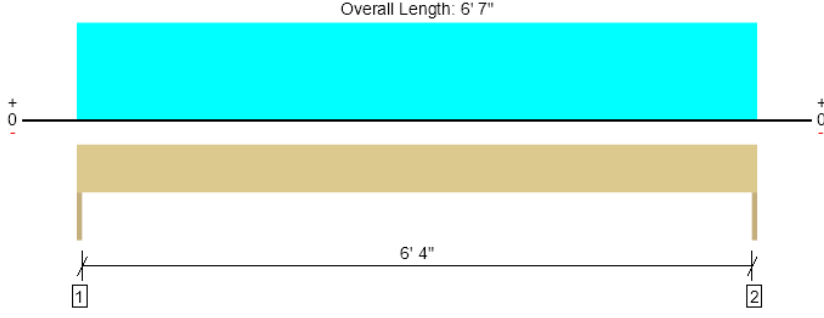
Lateral Bracing table with columns: Bracing Intervals, Comments.

Vertical Load table with columns: Location (Side), Spacing, Dead (0.90), Snow (1.15), Comments.

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Summary table for 1-STORY ADDN ROOF and MAIN ROOF with columns: Member Name, Results, Current Solution, Comments.

Summary table for 2ND FLOOR FRAMING and 1ST FLOOR FRAMING with columns: Member Name, Results, Current Solution, Comments.



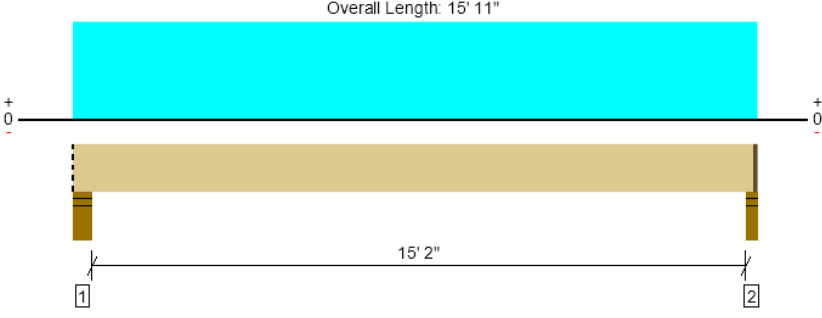
Design Results table with columns: Member Reaction (lbs), Shear (lbs), Moment (Ft-lbs), Live Load Defl. (in), Total Load Defl. (in), Allow, Result, LDF, Load Combination (Pattern), Group, System, Wall, Member Type, Header, Building Use, Residential, Building Code, IRC 2021, Design Methodology, ASD.

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Vertical Loads table with columns: Location, Tributary Width, Dead (0.90), Floor Live (1.00), Snow (1.15), Comments.

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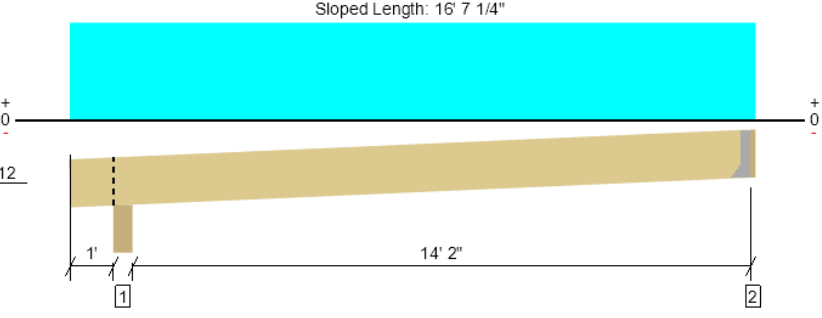
Design Results table with columns: Member Reaction (lbs), Shear (lbs), Moment (Ft-lbs), Live Load Defl. (in), Total Load Defl. (in), Allow, Result, LDF, Load Combination (Pattern), Group, System, Wall, Member Type, Header, Building Use, Residential, Building Code, IRC 2021, Design Methodology, ASD.

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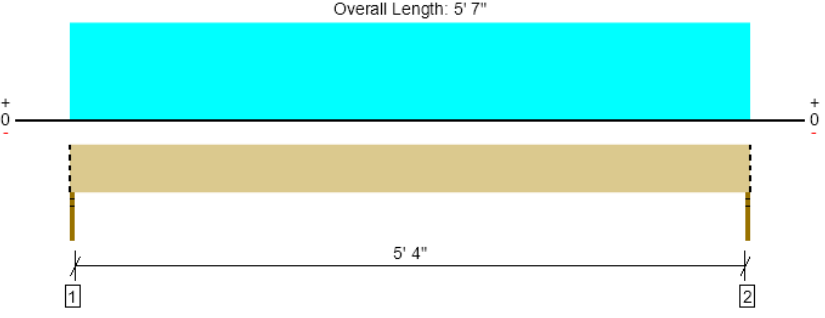
Design Results table with columns: Member Reaction (lbs), Shear (lbs), Moment (Ft-lbs), Live Load Defl. (in), Total Load Defl. (in), Allow, Result, LDF, Load Combination (Pattern), Group, System, Roof, Member Type, Joist, Building Use, Residential, Building Code, IRC 2021, Design Methodology, ASD.

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Rodriguez Associates Architects & Planners, L.L.C. 640 Clinton Avenue Bridgeport, CT 06605 Phone: 203-696-0653 Fax: 203-696-1149 E-Mail: ircross@sbcglobal.net

THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

BAV DESIGN, LLC STRUCTURAL ENGINEERING bavengr@gmail.com (203) 590-1374

DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT

CONSTRUCTION DOCUMENT 1/3/2024 5:39:12 AM UTC FortiWEB v3.6 File Name: 24 Gaspee Road BRIDGEPORT CT Page 1 / 34

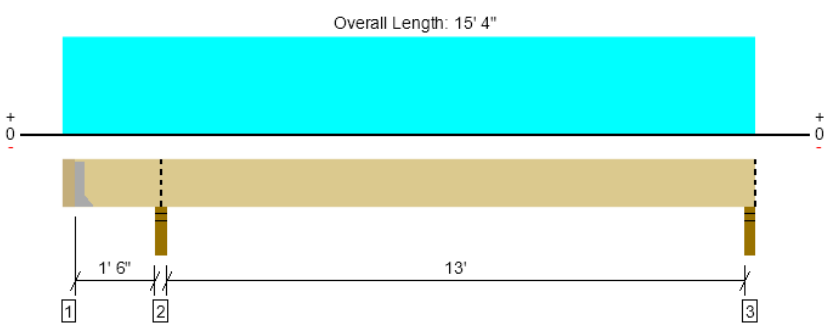
STATE OF CONNECTICUT PROFESSIONAL ENGINEER No. 2077 4/12/2024 (SEAL)

RENOVATION OF A SINGLE-FAMILY RESIDENCE 24 GASPEE ROAD BRIDGEPORT, CONNECTICUT

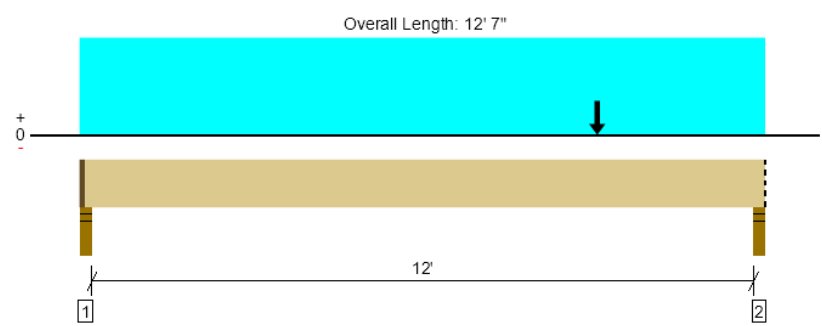
STRUCTURAL WOOD MEMBER CALCULATIONS

Table with columns: No., DATE, DESCRIPTION. Row 1: 1, 3-22-2024, B.O. COMMENTS - 9-18-2023. Row 2: 2, 3-22-2024, OWNER REQUEST - 1-15-2024.

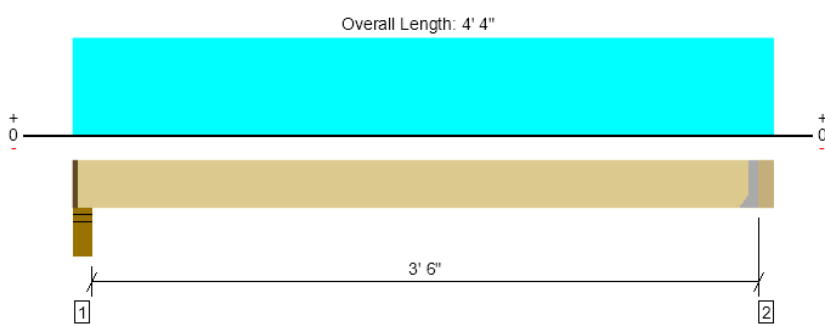
DATE: JANUARY 2, 2024 S-1.4



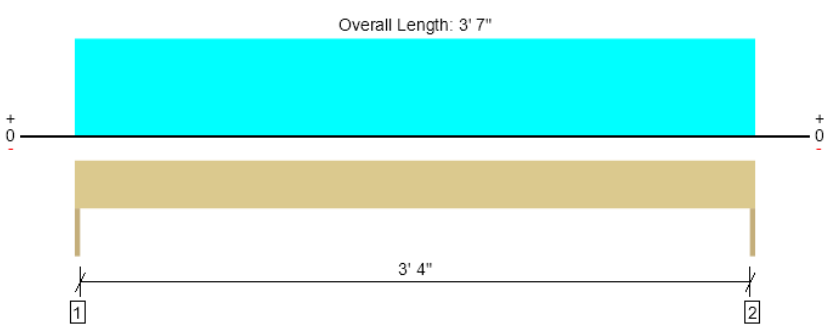
Design Results table with columns: Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern)



Design Results table with columns: Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern)



Design Results table with columns: Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern)



Design Results table with columns: Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern)

Supports table with columns: Bearing Length, Loads to Supports (lbs), Accessories

Lateral Bracing table with columns: Bracing Intervals, Comments

Connector: Simpson Strong-Tie table with columns: Support, Model, Seat Length, Top Fasteners, Face Fasteners, Member Fasteners, Accessories

Vertical Load table with columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments

Weyerhaeuser Notes regarding design criteria and product specifications.

FortiWEB Software Operator Job Notes and contact information.

Supports table with columns: Bearing Length, Loads to Supports (lbs), Accessories

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Vertical Load table with columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments

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Supports table with columns: Bearing Length, Loads to Supports (lbs), Accessories

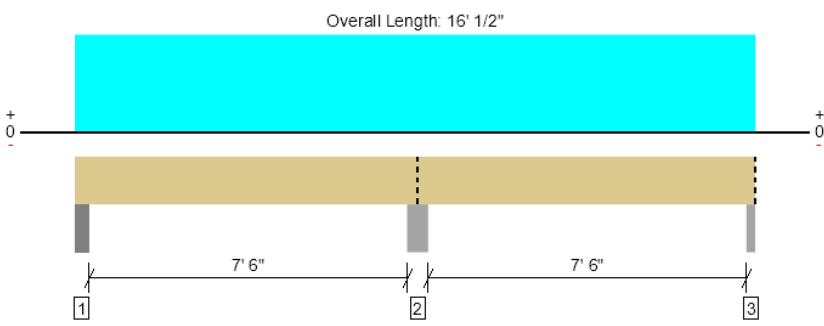
Lateral Bracing table with columns: Bracing Intervals, Comments

Connector: Simpson Strong-Tie table with columns: Support, Model, Seat Length, Top Fasteners, Face Fasteners, Member Fasteners, Accessories

Vertical Load table with columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments

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Design Results table with columns: Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern)

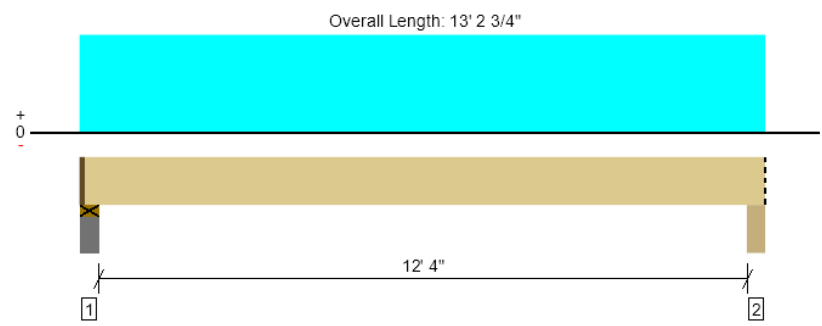
Supports table with columns: Bearing Length, Loads to Supports (lbs), Accessories

Lateral Bracing table with columns: Bracing Intervals, Comments

Vertical Load table with columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments

Weyerhaeuser Notes regarding design criteria and product specifications.

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Design Results table with columns: Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern)

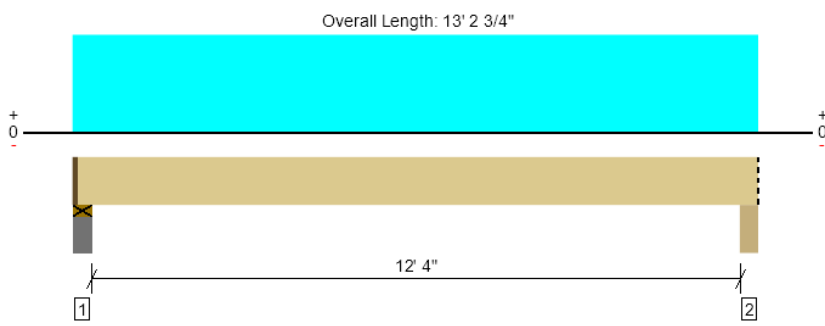
Supports table with columns: Bearing Length, Loads to Supports (lbs), Accessories

Lateral Bracing table with columns: Bracing Intervals, Comments

Vertical Load table with columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments

Weyerhaeuser Notes regarding design criteria and product specifications.

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Design Results table with columns: Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern)

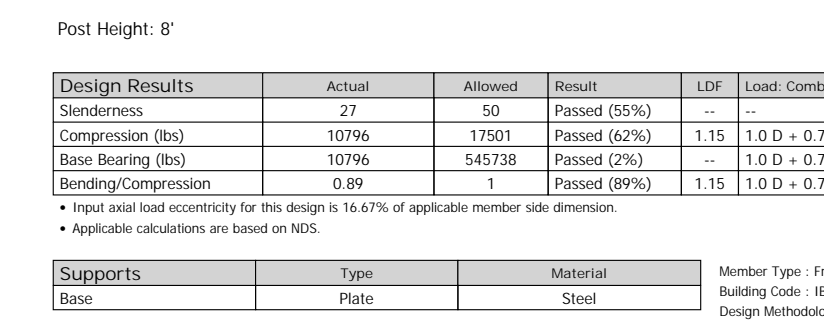
Supports table with columns: Bearing Length, Loads to Supports (lbs), Accessories

Lateral Bracing table with columns: Bracing Intervals, Comments

Vertical Load table with columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments

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Design Results table with columns: Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern)

Supports table with columns: Bearing Length, Loads to Supports (lbs), Accessories

Lateral Bracing table with columns: Bracing Intervals, Comments

Vertical Load table with columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments

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BAV DESIGN, LLC STRUCTURAL ENGINEERING bavenr@gmail.com (203) 590-1374

DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT

CONSTRUCTION DOCUMENT



RENOVATION OF A SINGLE-FAMILY RESIDENCE 24 GASPEE ROAD BRIDGEPORT, CONNECTICUT

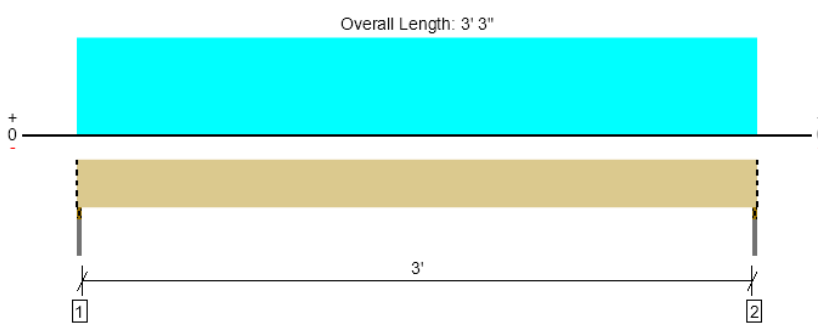
STRUCTURAL WOOD MEMBER CALCULATIONS

Revisions table with columns: No., DATE, DESCRIPTION

DATE: JANUARY 2, 2024

MEMBER REPORT
1ST FLOOR FRAMING, ST-22_HDR_BSMNT WINDOW
1 piece(s) 2 x 10 DF No.2

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Table with columns: Design Results, Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern). Includes rows for Member Reaction (Bs), Shear (Bs), Moment (Ft-k), Live Load Defl. (in), and Total Load Defl. (in).

System: Floor
Member Type: Flush Beam
Building Use: Residential
Building Code: IRC 2021
Design Methodology: ASD

- Deflection criteria: LL (L/400) and TL (L/240)
A 15% increase in the moment capacity has been added to account for the beam stability factor.
Applicable calculations are based on NDS.

Table: Supports. Columns: Bearing Length, Total, Available, Required, Dead, Floor Live, Factored, Accessories. Rows: 1- Flute on concrete - SYP, 2- Flute on concrete - SYP.

Table: Lateral Bracing. Columns: Bracing Intervals, Comments. Rows: Top Edge (L/R), Bottom Edge (L/R).

Table: Vertical Loads. Columns: Location (Side), Tributary Width, Dead (0.90), Floor Live (1.00), Comments. Rows: 0 - Self Weight (PLF), 1 - Uniform (PLF).

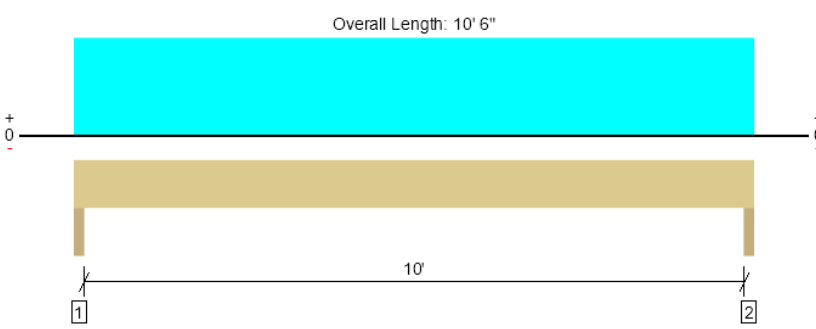
Weyerhaeuser Notes
Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software.

The product application, input design loads, dimensions and support information have been provided by FortiWEB Software Operator

FortiWEB Software Operator Job Notes
1/3/2024 5:39:12 AM UTC
Bran Aguiar, PE
BAY DESIGN, LLC
(203) 590-1374
BAYDESIGN@GMAIL.COM

MEMBER REPORT
1ST FLOOR FRAMING, ST-20_DROP BEAM @ 1-STORY GARAGE DOOR
2 piece(s) 1 3/4" x 11 1/4" 2.0E Microlam@ LVL

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Table with columns: Design Results, Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern). Includes rows for Member Reaction (Bs), Shear (Bs), Moment (Ft-k), Live Load Defl. (in), and Total Load Defl. (in).

System: Wall
Member Type: Header
Building Use: Residential
Building Code: IRC 2021
Design Methodology: ASD

- Deflection criteria: LL (L/400) and TL (L/240)
A 15% increase in the moment capacity has been added to account for lateral stability.

Table: Supports. Columns: Bearing Length, Total, Available, Required, Dead, Floor Live, Factored, Accessories. Rows: 1 - Trimmer - SYP, 2 - Trimmer - SYP.

Table: Lateral Bracing. Columns: Bracing Intervals, Comments. Rows: Top Edge (L/R), Bottom Edge (L/R).

Table: Vertical Loads. Columns: Location (Side), Tributary Width, Dead (0.90), Floor Live (1.00), Comments. Rows: 0 - Self Weight (PLF), 1 - Uniform (PLF).

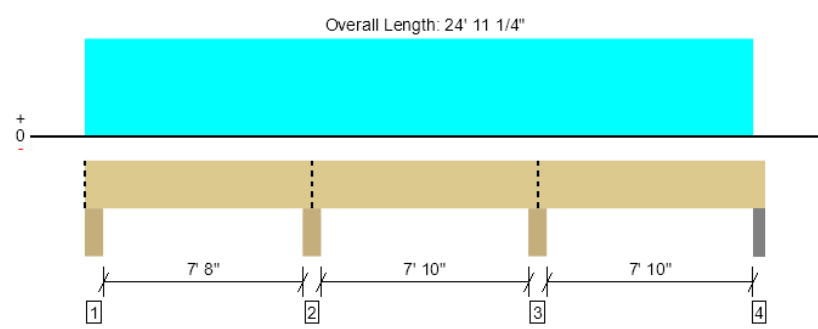
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FortiWEB Software Operator Job Notes
1/3/2024 5:39:12 AM UTC
Bran Aguiar, PE
BAY DESIGN, LLC
(203) 590-1374
BAYDESIGN@GMAIL.COM

MEMBER REPORT
1ST FLOOR FRAMING, ST-20_DROP BEAM @ 1-STORY ADDITION
3 piece(s) 1 3/4" x 11 1/4" 2.0E Microlam@ LVL

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Table with columns: Design Results, Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern). Includes rows for Member Reaction (Bs), Shear (Bs), Moment (Ft-k), Live Load Defl. (in), and Total Load Defl. (in).

System: Floor
Member Type: Drop Beam
Building Use: Residential
Building Code: IRC 2021
Design Methodology: ASD

- Deflection criteria: LL (L/400) and TL (L/240)
A 15% increase in the moment capacity has been added to account for lateral stability.

Table: Supports. Columns: Bearing Length, Total, Available, Required, Dead, Floor Live, Factored, Accessories. Rows: 1 - Column - PS, 2 - Column - PS, 3 - Column - PS.

Table: Lateral Bracing. Columns: Bracing Intervals, Comments. Rows: Top Edge (L/R), Bottom Edge (L/R).

Table: Vertical Loads. Columns: Location (Side), Tributary Width, Dead (0.90), Floor Live (1.00), Comments. Rows: 0 - Self Weight (PLF), 1 - Uniform (PLF).

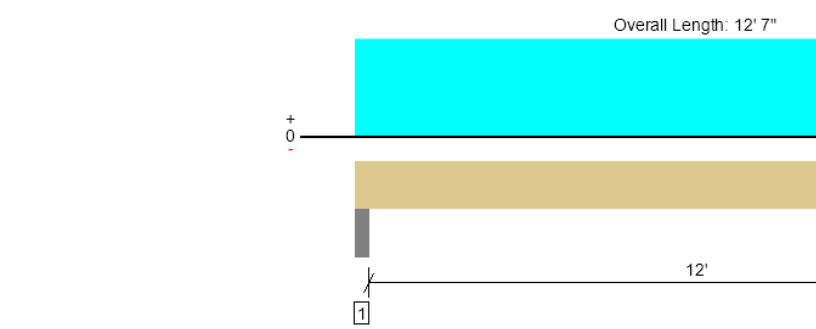
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FortiWEB Software Operator Job Notes
1/3/2024 5:39:12 AM UTC
Bran Aguiar, PE
BAY DESIGN, LLC
(203) 590-1374
BAYDESIGN@GMAIL.COM

MEMBER REPORT
1ST FLOOR FRAMING, ST-19_DROP BEAM @ MH GARAGE
3 piece(s) 1 3/4" x 14" 2.0E Microlam@ LVL

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Table with columns: Design Results, Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern). Includes rows for Member Reaction (Bs), Shear (Bs), Moment (Ft-k), Live Load Defl. (in), and Total Load Defl. (in).

System: Floor
Member Type: Drop Beam
Building Use: Residential
Building Code: IRC 2021
Design Methodology: ASD

- Deflection criteria: LL (L/400) and TL (L/240)
A 15% increase in the moment capacity has been added to account for lateral stability.

Table: Supports. Columns: Bearing Length, Total, Available, Required, Dead, Floor Live, Factored, Accessories. Rows: 1 - Pocket - concrete, 2 - Column - steel.

Table: Lateral Bracing. Columns: Bracing Intervals, Comments. Rows: Top Edge (L/R), Bottom Edge (L/R).

Table: Vertical Loads. Columns: Location (Side), Tributary Width, Dead (0.90), Floor Live (1.00), Comments. Rows: 0 - Self Weight (PLF), 1 - Uniform (PSF), 2 - Uniform (PSF), 3 - Uniform (PSF), 4 - Uniform (PSF).

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1/3/2024 5:39:12 AM UTC
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BAY DESIGN, LLC
(203) 590-1374
BAYDESIGN@GMAIL.COM

Rodriguez Associates Architects & Planners, LLC. 840 Clinton Avenue Bridgeport, CT 06605. Phone: 203-896-0653 Fax: 203-896-1149 E-Mail: ircross@sbcglobal.net

THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

BAV DESIGN, LLC STRUCTURAL ENGINEERING. bavengr@gmail.com (203) 590-1374

DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT

CONSTRUCTION DOCUMENT

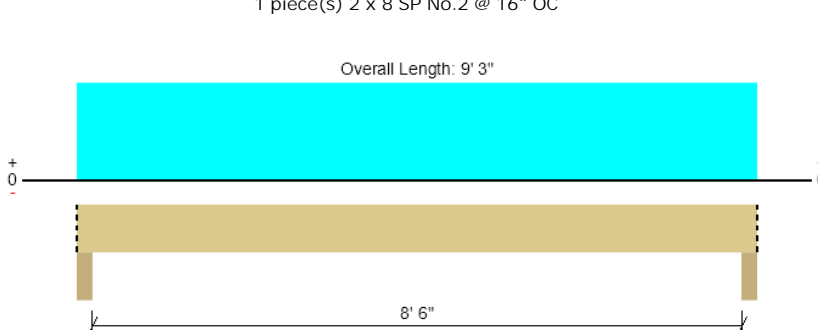
State of Connecticut Seal: BRAW AGUIAR, BRAN No. 20077 LICENSED PROFESSIONAL ENGINEER 4/12/2024 (SEAL)

RENOVATION OF A SINGLE-FAMILY RESIDENCE. 24 GASPEE ROAD BRIDGEPORT, CONNECTICUT

STRUCTURAL WOOD MEMBER CALCULATIONS. SCALE: SCALED AS NOTED. REVISIONS table. DATE: JANUARY 2, 2024. S-1.7

MEMBER REPORT
EXTERIOR DECK, ST-29_JOIST
1 piece(s) 2 x 8 SP No.2 @ 16" OC

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Table with columns: Design Results, Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern). Includes rows for Member Reaction (Bs), Shear (Bs), Moment (Ft-k), Live Load Defl. (in), and T3-Pro Rating.

System: Floor
Member Type: Joist
Building Use: Residential
Building Code: IRC 2021
Design Methodology: ASD

- Deflection criteria: LL (L/400) and TL (L/240)
A 15% increase in the moment capacity has been added to account for repetitive member usage.
Applicable calculations are based on NDS.
No composite action between deck and joist was considered in analysis.

Table: Supports. Columns: Bearing Length, Total, Available, Required, Dead, Floor Live, Factored, Accessories. Rows: 1 - Beam - SYP, 2 - Beam - SYP.

Table: Lateral Bracing. Columns: Bracing Intervals, Comments. Rows: Top Edge (L/R), Bottom Edge (L/R).

Table: Vertical Load. Columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments. Rows: 1 - Uniform (PSF).

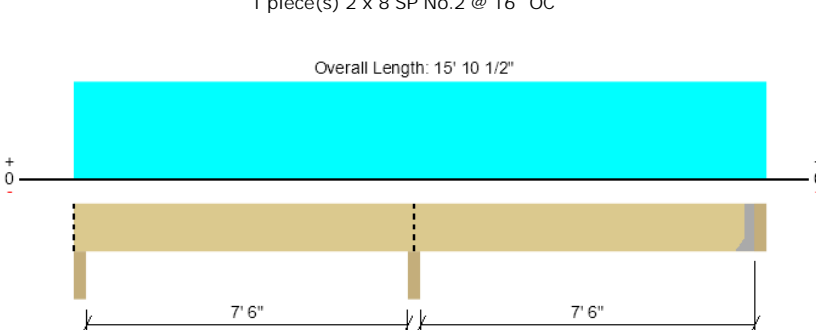
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MEMBER REPORT
EXTERIOR DECK, ST-28_JOIST
1 piece(s) 2 x 8 SP No.2 @ 16" OC

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Table with columns: Design Results, Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern). Includes rows for Member Reaction (Bs), Shear (Bs), Moment (Ft-k), Live Load Defl. (in), and T3-Pro Rating.

System: Floor
Member Type: Joist
Building Use: Residential
Building Code: IRC 2021
Design Methodology: ASD

- Deflection criteria: LL (L/400) and TL (L/240)
A 15% increase in the moment capacity has been added to account for repetitive member usage.
Applicable calculations are based on NDS.
No composite action between deck and joist was considered in analysis.

Table: Supports. Columns: Bearing Length, Total, Available, Required, Dead, Floor Live, Factored, Accessories. Rows: 1 - Beam - SYP, 2 - Beam - SYP.

Table: Lateral Bracing. Columns: Bracing Intervals, Comments. Rows: Top Edge (L/R), Bottom Edge (L/R).

Table: Vertical Load. Columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments. Rows: 1 - Uniform (PSF).

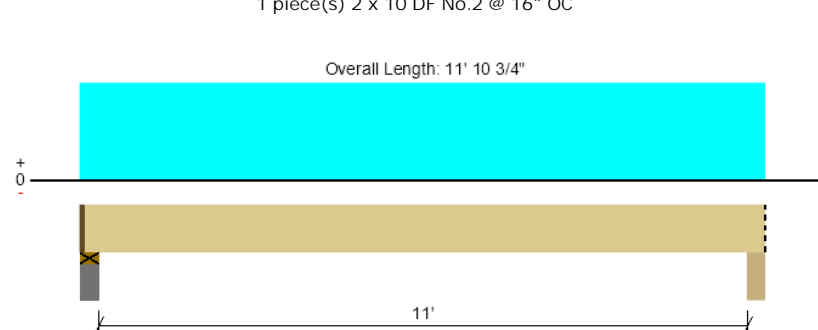
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BAYDESIGN@GMAIL.COM

MEMBER REPORT
1ST FLOOR FRAMING, ST-24_JOIST @ 1 STORY ADDN
1 piece(s) 2 x 10 DF No.2 @ 16" OC

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Table with columns: Design Results, Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern). Includes rows for Member Reaction (Bs), Shear (Bs), Moment (Ft-k), Live Load Defl. (in), and T3-Pro Rating.

System: Floor
Member Type: Joist
Building Use: Residential
Building Code: IRC 2021
Design Methodology: ASD

- Deflection criteria: LL (L/400) and TL (L/240)
A 15% increase in the moment capacity has been added to account for repetitive member usage.
Applicable calculations are based on NDS.
No composite action between deck and joist was considered in analysis.

Table: Supports. Columns: Bearing Length, Total, Available, Required, Dead, Floor Live, Factored, Accessories. Rows: 1 - Flute on concrete - SYP, 2 - Beam - LVL.

Table: Lateral Bracing. Columns: Bracing Intervals, Comments. Rows: Top Edge (L/R), Bottom Edge (L/R).

Table: Vertical Load. Columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments. Rows: 1 - Uniform (PSF).

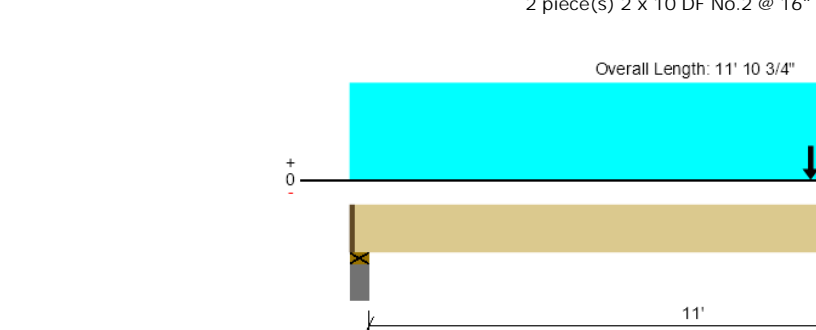
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(203) 590-1374
BAYDESIGN@GMAIL.COM

MEMBER REPORT
1ST FLOOR FRAMING, ST-23_JOIST @ 1 STORY ADDN
2 piece(s) 2 x 10 DF No.2 @ 16" OC

PASSED



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Table with columns: Design Results, Actual @ Location, Allowed, Result, LDF, Load Combination (Pattern). Includes rows for Member Reaction (Bs), Shear (Bs), Moment (Ft-k), Live Load Defl. (in), and T3-Pro Rating.

System: Floor
Member Type: Joist
Building Use: Residential
Building Code: IRC 2021
Design Methodology: ASD

- Deflection criteria: LL (L/400) and TL (L/240)
A 15% increase in the moment capacity has been added to account for repetitive member usage.
Applicable calculations are based on NDS.
No composite action between deck and joist was considered in analysis.

Table: Supports. Columns: Bearing Length, Total, Available, Required, Dead, Floor Live, Factored, Accessories. Rows: 1 - Flute on concrete - SYP, 2 - Beam - LVL.

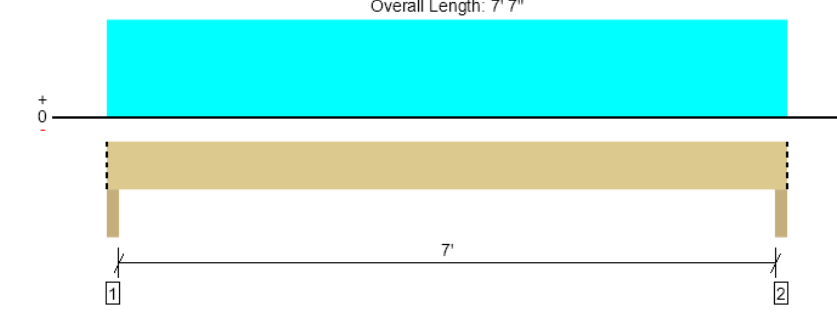
Table: Lateral Bracing. Columns: Bracing Intervals, Comments. Rows: Top Edge (L/R), Bottom Edge (L/R).

Table: Vertical Loads. Columns: Location (Side), Spacing, Dead (0.90), Floor Live (1.00), Comments. Rows: 1 - Uniform (PSF), 2 - Point (PLF).

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All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LLF	Load Combination (Platform)	System
Member Reaction (lbs)	1865 @ 2"	11865 (1.507)	Passed (16%)	---	1.0 D + 1.0 L (All Spans)	Floor
Shear (lbs)	1424 @ 10 3/4"	5075	Passed (28%)	1.00	1.0 D + 1.0 L (All Spans)	Member Type: Drop Beam
Moment (Ft-lbs)	3221 @ 3' 9 1/2"	4051	Passed (80%)	1.00	1.0 D + 1.0 L (All Spans)	Building Use: Residential
Live Load Defl. (in)	0.000 @ 3' 9 1/2"	0.181	Passed (0.000)	---	1.0 D + 1.0 L (All Spans)	Building Code: IRC 2021
Total Load Defl. (in)	0.115 @ 3' 9 1/2"	0.363	Passed (0.759)	---	1.0 D + 1.0 L (All Spans)	Design Methodology: ASD

• Deflection criteria: LL (0.400) and TL (0.240)
• Applicable calculations are based on NDS.

Supports	Bearing Length			Loads to Supports (lbs)		
	Total	Available	Required	Dead	Floor Live	Factored
1 - Column - SIP	3.50'	3.50'	1.50'	406	1459	1865
2 - Column - SIP	3.50'	3.50'	1.50'	406	1459	1865

• Blocking Panels are assumed to carry no loads applied directly above them and the full load is applied to the member being designed.

Lateral Bracing	Bracing Intervals	Comments
Top Edge (Sd)	Continuous	
Bottom Edge (Sd)	All Bearing Points	

Vertical Loads	Location (Side)	Tributary Width	Dead (0.90)	Floor Live (1.00)	Comments
0 - Self Weight (PL)	0 to 7' 7"	N/A	11.0	---	
1 - Uniform (PL)	0 to 7' 7" (Top)	N/A	96.0	384.8	Linked from: ST-26_LOAD.Support 2

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ForteWEB Software Operator
Brian Aquino, PE
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2033 590-1374
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1/3/2024 5:39:12 AM UTC
ForteWEB v3.6, Engine: VB.3.1.5, Data: VB.1.4.1
File Name: 24 Gaspee Road BRIDGEPORT CT
Page 34 / 34

THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY. THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.

BAV DESIGN, LLC
STRUCTURAL ENGINEERING
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DO NOT SCALE DRAWINGS
REFER ALL QUESTIONS
AND CLARIFICATIONS TO
THE ARCHITECT

CONSTRUCTION DOCUMENT



RENOVATION OF A SINGLE-FAMILY RESIDENCE
24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT

STRUCTURAL WOOD MEMBER CALCULATIONS

SCALE: SCALED AS NOTED

REVISIONS		
No.	DATE	DESCRIPTION
1	3-22-2024	B.O. COMMENTS - 9-18-2023
2	3-22-2024	OWNER REQUEST - 1-15-2024

DATE: JANUARY 2, 2024

S-1.8



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development Request for Re-hearing Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

155 Carrie Street Zone I
(Number) (Street) (Zone Classification)
On the North side of the street about 105 feet East from
(North, South, East, West) (North, South, East, West)
Logan Street Block : 58/2250 Lot: 24 & 2
(Street)
Dimension of Lot in Question 200.00' x 150.00' x 200.00' x 150.00'
(Specify)

1. NAME OF APPLICANT / BUSINESS Marsillio Enterprises, LLC
(Print)
2. APPLICANT INTEREST IN PROPERTY (OWNER, LESSEE, ETC.) Owner
3. HAS A PREVIOUS APPLICATION BEEN FILED? No IF SO, GIVE DATE OF HEARING _____
(Yes or No)
4. DESCRIBE PROPOSED DEVELOPMENT _____
Construction of a 5,480 SF rear addition to existing warehouse building with associated Site improvements

5. THIS APPLICATION RELATES TO: Check all that Apply
 Setback Coverage Landscaping Lot Area and Width Floor Area Height Parking
 Extension or Enlargement of Non-Conforming Use and/or Building Coastal Area Management Approval Liquor Use Other: _____

6. USE TO BE MADE OF PROPERTY Existing warehouse use to remain

7. WHAT IS THE SPECIFIC HARDSHIP FOR GRANTING A VARIANCE (14-7-4)? See attached

APPLICANT [Signature] / DATE 06/06/2024
(Signature) (Print)

If signed by agent, state capacity (lawyer, builder, etc) _____ / _____
(Email)

Mailing Address 10 Sasco Hill Road, Fairfield, CT 06824 203-254-7579
(Zip Code) (Phone #)

PROPERTY OWNERS ENDORSEMENT _____ Print _____
(If other than owner) (Signature)

Subscribe & Sworn to before me this _____ day of _____, 20_____
Notary Public in & for the County of Fairfield, State of Connecticut.

Note: READ CAREFULLY BEFORE FILLING OUT THIS APPLICATION

All questions must be answered in detail (use separate sheet if necessary).
The Applicant, or Agent for, must adhere to the attached check list or it will not be possible for
The Zoning Board of Appeals to process this application.
NO APPLICATION RECEIVED BY MAIL CAN BE ACCEPTED.
PLEASE MAKE CHECK PAYABLE TO ZONING BOARD OF APPEALS
(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

_____ FEE RECEIVED: _____ DATE: _____, 20____ Clerk _____

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Vanessa R. Wambolt
Vanessa@russorizio.com

* Also Admitted in NY

◆ Also Admitted in VT

+ Of Counsel

June 6, 2024

Paul Boucher
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Variance – 155 Carrie Street

Dear Mr. Boucher:

Please accept the following narrative and enclosed application materials as part of the application for variances to the Bridgeport Zoning Board of Appeals (“ZBA”) for the property located at 155 Carrie Street (the “Site”) in the I Zone:

Variance

1. Variance of Sec. 3.130.4 of the Bridgeport Zoning Regulations (the “Regulations”) to reduce the minimum rear setback from ten feet (10’) to one and a half feet (1.5’) for a proposed addition to the existing warehouse building; and
2. Variance of Sec. 7.110.3 to eliminate the requirement of a rear landscaped buffer adjacent to an I Zone.

Narrative

The Petitioner requests an approval for variances of the Regulations to permit the construction of a 5,480 SF rear addition to the existing building to expand the existing warehousing use at the Site. The Site currently contains a single approximately 9,421 SF single-story industrial building. The Site has a longstanding history, built in 1965, as an industrial and warehousing property and it is located in the I Zone. The Site abuts the I zone to its rear and eastern side and the NX2 Zone is located directly across the street. However,

an industrial building is located directly across the street along with residential dwellings further west.

The Petitioner proposes to construct a 5,480 SF one-story addition to the rear of the existing building. The addition will allow more materials to be stored within the building rather than outside while still conforming to the coverage standards for the I Zone. The Petitioner proposes a masonry building with metal fascia on top to match the existing building. The Site currently contains a recessed loading dock on the eastern side of the Site. The Petitioner proposes an additional recessed loading dock to allow for greater access to the building. A portion of the eastern side of the building will be demolished to create room for the new loading dock. The Petitioner also proposes extensive drainage on the Site as well as an increase in landscaping, which will be a tremendous improvement from existing conditions.

The Site and the existing building have access from Carrie Street, which is a dead end road. The improvements will improve maneuverability and access to the Site. As stated above, the proposed addition will add a loading bay and allow more storage within the interior of the building. The addition will also be located the furthest away from the residential dwellings as possible thereby buffering from the most sensitive use in the area. Another industrial property is located directly to the rear and east of the Site.

Hardship

Granting the Applicant the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Applicant as the Applicant is proposing a use and coverage of the Site, which is completely compliant with the Regulations, and proposing an addition as far away as possible from the most sensitive uses in the Site's vicinity. The Applicant proposes a site coverage, which is fully compliant with the Regulations. So, the actual proposed addition is conforming to the Regulations, it is just a question of where to locate the addition. As is common in Bridgeport, sometimes industrial properties and residential properties are located in close proximity. The Site abuts the I Zone and industrial properties to the north and east. To the rear, M&O Corporation is located where some of their vehicles are stored towards the shared property line with the Applicant. To the east, a transfer facility is located. The Site directly abuts where their waste transfer operations occur. The Applicant has located the addition in this area along with drainage systems, which would greatly improve drainage from the existing conditions. The setbacks under the Regulations would permit the addition to be constructed on the west and south of the Site, but that would locate the addition as close as possible to the residential dwellings on Carrie Street. Rather than locate the addition in this area, the Applicant is able to add landscaping to buffer their use. So, it reduces the buffer where it is not needed as the abutting industrial properties similarly have no buffer and increases the buffer where it is needed. For these reasons, the proposed variances are also conforming to the neighborhood. It significantly improves existing conditions to create a buffer between pre-existing residential and industrial uses,

which are in close proximity. In addition, increased storage within the building, rather than outside the building is certainly more preferable for nearby sensitive uses. The additional loading bay will also help ensure the Site operates smoothly and reducing traffic and maneuvering issues. It is a tremendous improvement of a Site that has a longstanding industrial history and has always contained industrial uses to meet existing conditions.'

For the reasons stated above, the Petitioner respectfully requests the above-stated variances for the proposed addition to the existing building.

Sincerely,



Christopher Russo

100' ABUTTERS LIST - 155 CARRIE ST

LOCATION	OWNER	OWNER ADDRESS	CITY	STATE	ZIP
152 LOGAN ST #154	MOREL YINA LUCAS	491 PARK ST	BRIDGEPORT	CT	06608
174 LOGAN ST #176	C & B INVESTMENTS LLC	69 SHADOW RIDGE RD	STAMFORD	CT	06905
150 CARRIE ST #152	VITTI MICHAEL W JR ET AL	69 SHADOW RIDGE ROAD	STAMFORD	CT	06905
160 CARRIE ST	CHRISTIAN ROSALES	160 CARRIE ST	BRIDGEPORT	CT	06606
93 DAVENPORT ST	KOVACS' GARAGE LLC	85 DAVENPORT STREET	BRIDGEPORT	CT	06607
170 CARRIE ST	170 CARRIE ST LLC	36 BOB WHITE TERRACE	MONROE	CT	06468
200 LOGAN ST	BRIDGEPORT CITY OF	45 LYON TER	BRIDGEPORT	CT	06604
103 DAVENPORT ST	MARTINEZ JORGE AL	103 DAVENPORT ST	BRIDGEPORT	CT	06607-2006
111 DAVENPORT ST	FIGUEROA CHARLES & ANGELA	111 DAVENPORT ST	BRIDGEPORT	CT	06607
119 DAVENPORT ST	BPM PROPERTY III LLC	PO BOX 1617	BRIDGEPORT	CT	06601
131 DAVENPORT ST	BPM PROPERTY II LLC	PO BOX 1693	BRIDGEPORT	CT	06601
212 LOGAN ST	BRIDGEPORT CITY OF	45 LYON TER	BRIDGEPORT	CT	06604
155 CARRIE ST	MARSILLIO ENTERPRISES LLC	2031 BLACK ROCK TURNPIKE	FAIRFIELD	CT	06825-3550
141 DAVENPORT ST	BPM PROPERTY II LLC	PO BOX 1693	BRIDGEPORT	CT	06601
232 LOGAN ST	BRIDGEPORT CITY OF	45 LYON TER	BRIDGEPORT	CT	06604
146 ALEX ST	CAMUY CONSTRUCTION LLC	146 ALEX ST	BRIDGEPORT	CT	06607
154 ALEX ST	MECANNICA LLC	154 ALEX ST #164	BRIDGEPORT	CT	06607
164 ALEX ST	MECANNICA LLC	164 ALEX ST	BRIDGEPORT	CT	06607
155 DAVENPORT ST	BPM PROPERTY LLC	PO BOX 1617	BRIDGEPORT	CT	06601

MARSILLIO ENTERPRISES, LLC ACTIVE

2031 BLACK ROCK TPKE 2031 BLACK ROCK TURNPIKE 2031 BLACK ROCK TURNPIKE, FAIRFIELD, CT, 06825, United States

BUSINESS DETAILS ∨

Business Details ^

General Information —

Business Name
MARSILLIO ENTERPRISES, LLC

Business status
ACTIVE

Citizenship/place of formation
Domestic/Connecticut

Business address
2031 BLACK ROCK TPKE 2031 BLACK ROCK TURNPIKE 2031 BLACK ROCK TURNPIKE, FAIRFIELD, CT, 06825, United States

Annual report due
3/31/2025

NAICS code
Corporate, Subsidiary, and Regional Managing Offices (551114)

Business ALEI
0718321

Date formed
6/19/2002

Business type
LLC

Mailing address
2031 BLACK ROCK TPKE 2031 BLACK ROCK TPKE, FAIRFIELD, CT, 06825, United States

Last report filed
2024

NAICS sub code
551114

Principal Details —

Principal Name

DAVID MARSILLIO

Principal Title
MEMBER

Principal Business address
2031 BLACK ROCK TPKE, FAIRFIELD, CT, 06825, United States

Principal Residence address
4 CIRCLE DRIVE, DANBURY, CT, 06811, United States

Agent details

Agent name
PHILIP MARSILLIO

Agent Business address
2031 BLACK ROCK TPKE, FAIRFIELD, CT, 06825, United States

Agent Mailing address
2031 BLACK ROCK TPKE, FAIRFIELD, CT, 06825, United States

Agent Residence addresss
1024 FAIRFIELD BEACH RD , FAIRFIELD, CT, 06824, United States

Filing History



(https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t0000003H8Sh/UqXvkC_PxIbuFTBwuLDrCX2NVMeYiGIBB_JbvHXM4D4)

Volume Type

B

Volume

503

Start page

692

Pages

1

Date generated

6/19/2002

Digital copy

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(https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t0000003H8Sh/UqXvkC_PxIbuFTBwuLDrCX2NVMeYiGIBB_JbvHXM4D4)

**Business
Formation -
Certificate of
Organization
0002433888**
Filing date: 6/19/2002
Filing time:

STANDARD	MINIMUM/REQUIRED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	NO MIN.	30,000 ± SF	30,000 ± SF	
Minimum Lot Width	25.0'	200.0'	200.0'	
Maximum Primary Streetwidth	None	115.1'	109.9'	
Primary Street Built to Zone or Street/Lane	15.0'	24.4'	24.4'	
Non-Primary Street Built to Zone or Street/Lane	10.0'	N/A	N/A	
Maximum Side Setback	5.0'	20.0'	20.0'	
Maximum Side Setback Adjacent to Residential	15.0'	N/A	N/A	
Maximum Space Between Adjacent Buildings	12.0'	69.3'	22.7'	
Maximum Rear Setback	10.0'	30.7'	1.5'	
Maximum Rear Setback Adjacent to Residential	20.0'	N/A	N/A	
Maximum Number of Stories Per Building	3	1	1	
Maximum Site Coverage Percentage	85%	73.0%	82.4%	

BUILDING ZONE / WORKSHOP BUILDING

GENERAL NOTES:

1. This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-2 through 20-300b-20 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.

2. This Survey conforms to Class A-2 & T-2.

3. The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.

4. Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds).

5. North Arrow is based on CT State Plane MADS83.

6. This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.

7. This map is NOT VALID if altered or used by any party other than the one depicted in the block of this map.

8. Property Lines Established According to Record Deeds as exist.

9. Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.

10. Underground Utility, Structure and Facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The accuracy of such information is not guaranteed and should be determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG - 1-800-922-4455.

11. Lot served by town sewer system and public water supply. Sewer line shown as per sewer map #597-SP-2 & SP-10, & 5526-C. Existing sanitary connection not found, verify in field, and make adjustments to SMS as needed.

12. Entire Subject Property Under Zone: AE, EL, 10.8 per Flood Insurance Rate Map, Community-Panel Number 09001C0441 Panel 441 of 626. EFFECTIVE DATE: July 08, 2013.

13. Elevations are based on N.A.V.D. Datum 1988

MAP REFERENCES:

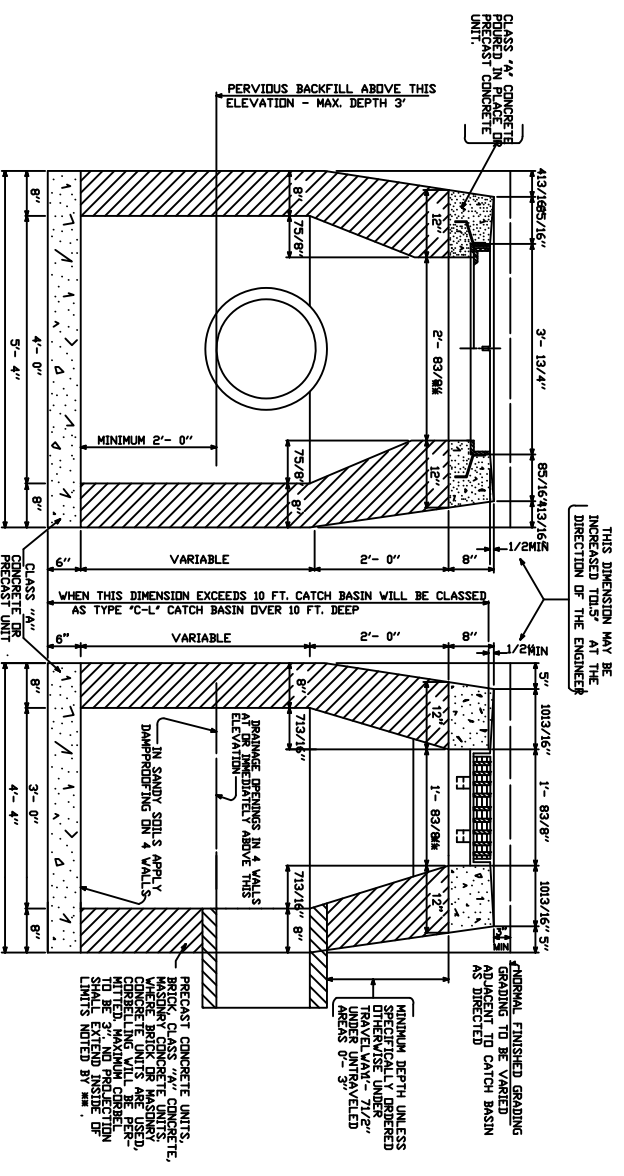
1. RECORD MAP #VOL. 6 MAP 23
2. RECORD MAP #VOL. 46 MAP 86
3. RECORD MAP #VOL. 47 MAP 86
4. RECORD MAP #VOL. 47 MAP 44

SOIL DESCRIPTION OBSERVATION PITS
TEST DATE: 12-21-2023

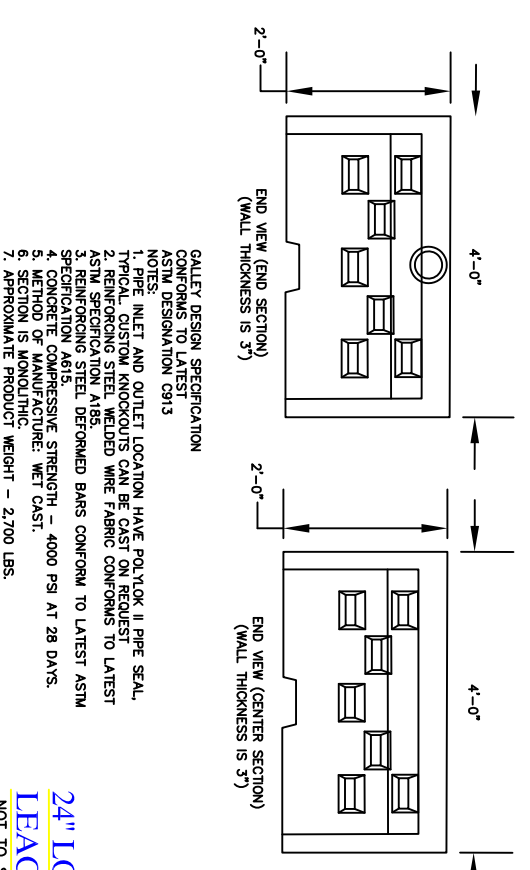
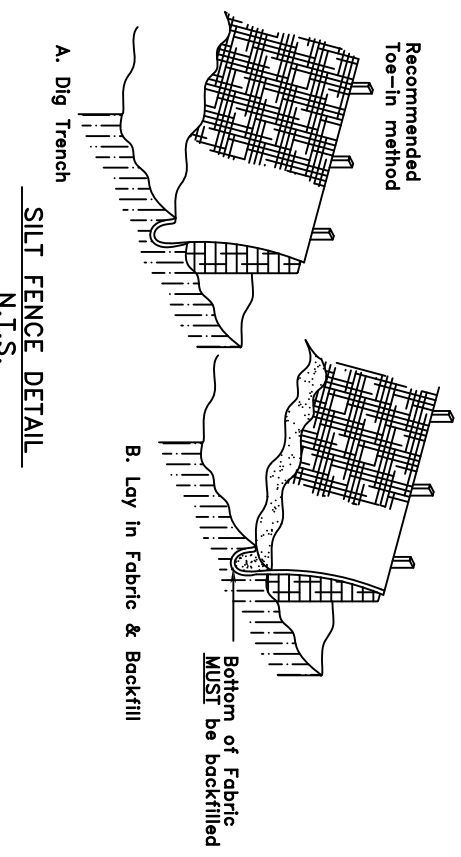
TEST PIT # 101	TEST PIT # 102
0-5'-2" GRAVELLY FILL	0-6" TOPSOIL
30-72" GRAY SANDY SILTY FILL LI TRASH / DEBRIS	6-20" DARK BROWN SILTY FILL LI DEBRIS
	20-36" FILL LI DEBRIS
	36-72" GREY SILTY CL-SAND
NL, W @ 68" M @ 48"	NL, W @ 70" M @ 48"

PERCOLATION TEST RESULTS
TEST DATE: 12-21-2023

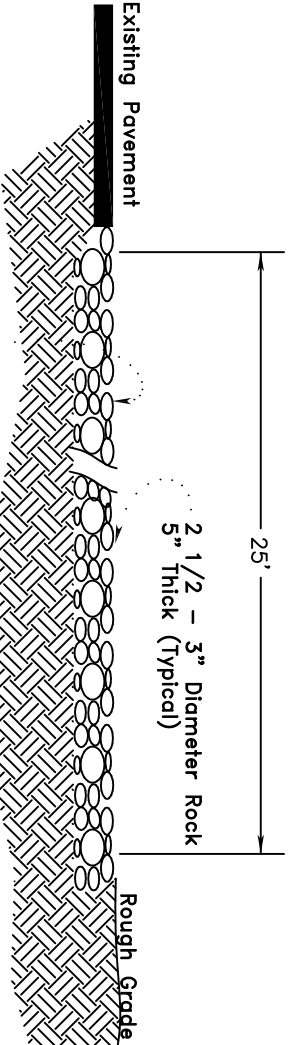
TIME	HEAD	DEPTH
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12:30	4.78	3.4
12:50	5.38	1.2
12:50	5.78	1.2
12:50	6.38	3.8
1:00	6.34	3.8
1:10	7.18	3.8



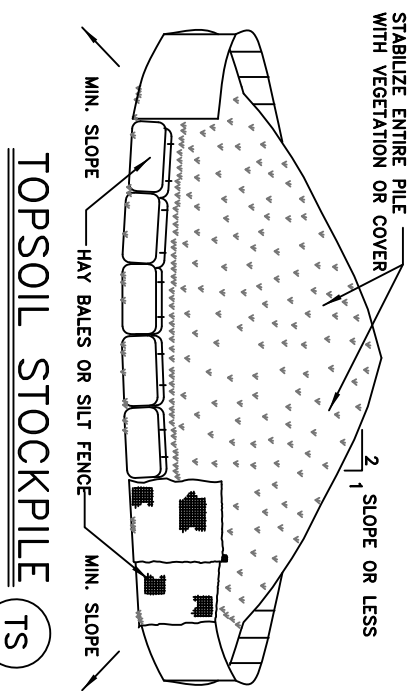
TYPE "C-L" CATCH BASIN



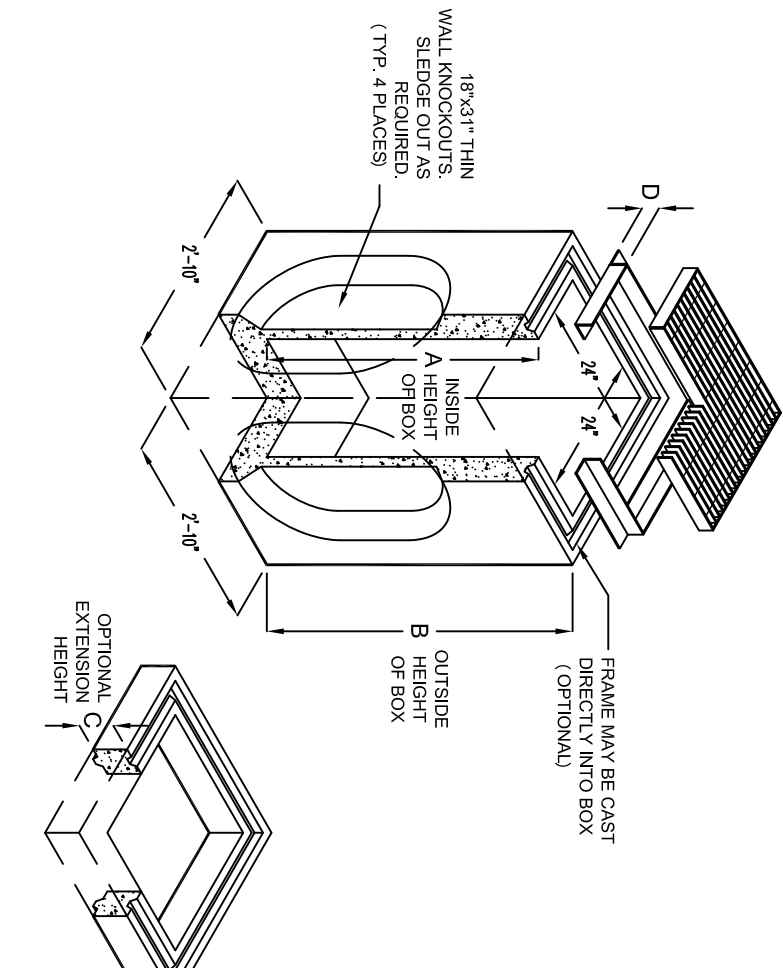
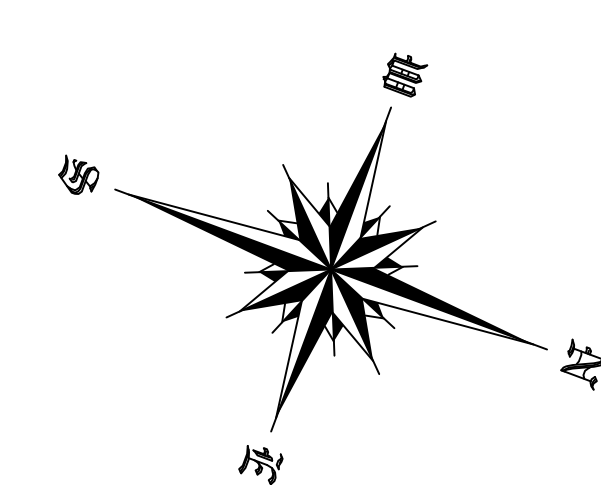
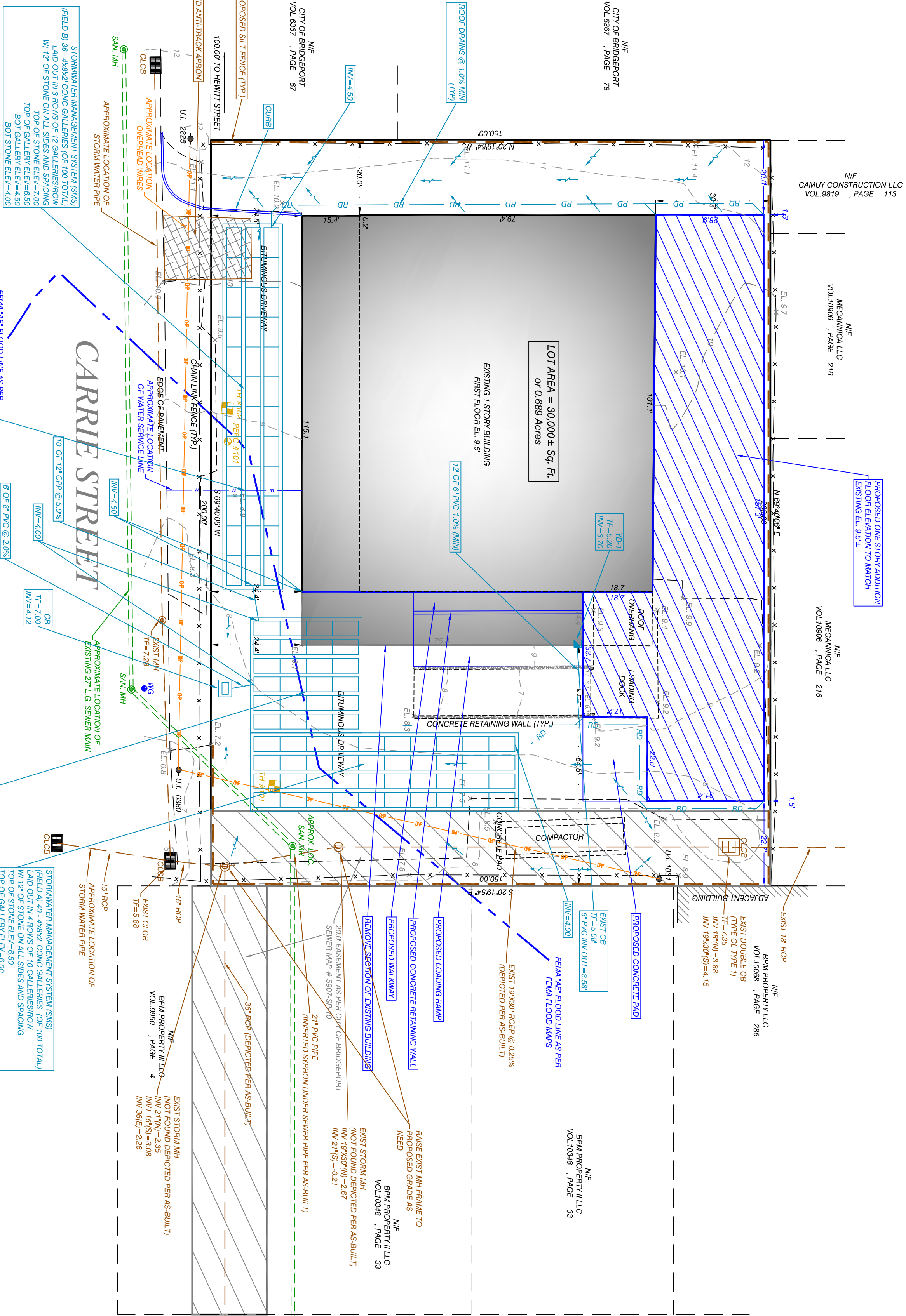
24" PROFILE S-20 LEACHING GALLEY



TOPSOIL STOCKPILE

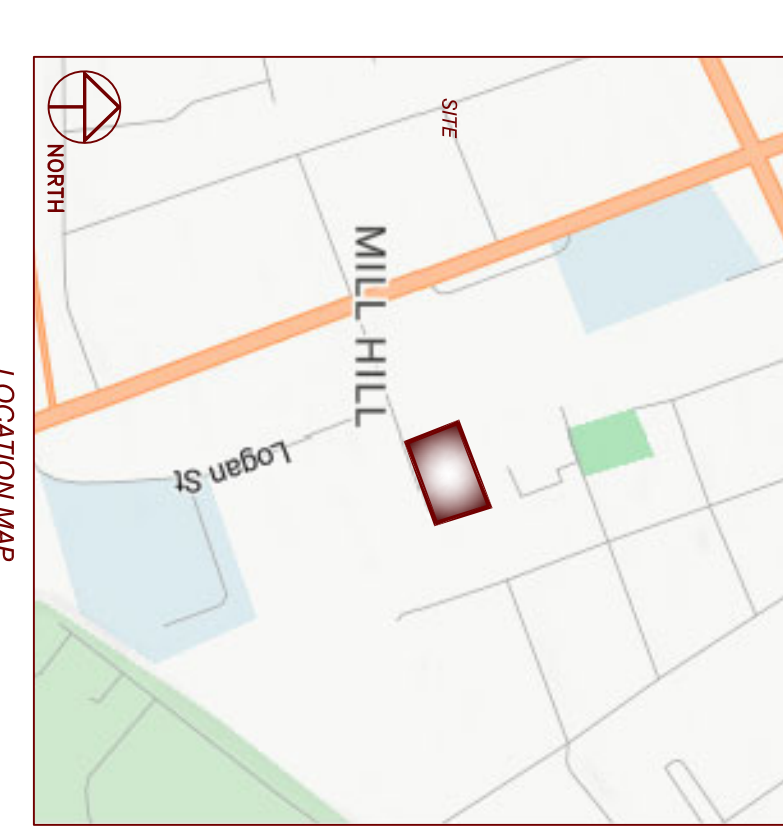


- INSTALLATION NOTES**
1. AREA CHISEL FOR STAMPING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE FOR STOCKPILE SHALL BE 1:1.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH CENTER SET TRUCKS OR HOV BATS, THEN STABILIZED WITH VEGETATION.
 4. SEE SPECIFICATIONS (THIS SHEET) FOR INSTALLATION OF SILT FENCE.



24" x 24" PRECAST CONCRETE YARD DRAIN (H-20)

N.T.S.



DRAINAGE DESIGN

HK ASSOCIATES, LLC
20 TOPAZ LANE
TRUMBULL, CT 06611
OFFICE/FAK: 203-459-2471

Charmey Khona
HEM KHONA PE #9947

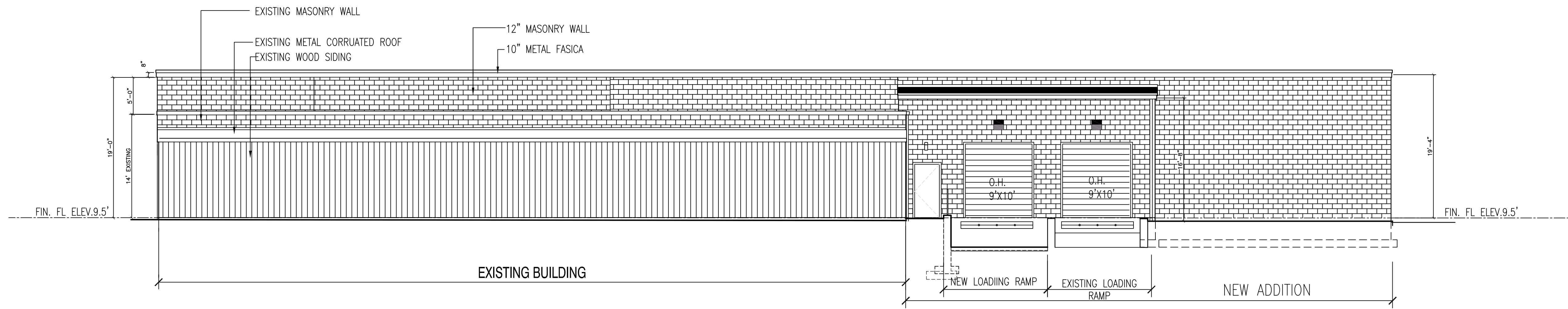
LAND SURVEYING SERVICES, LLC
1276 POST ROAD, SUITE A-20
FAIRFIELD, CONNECTICUT 06824
TEL: (203) 522-4173
FAX: (203) 613-0123
EMAIL: info@assurvey.com

TITLE BLOCK

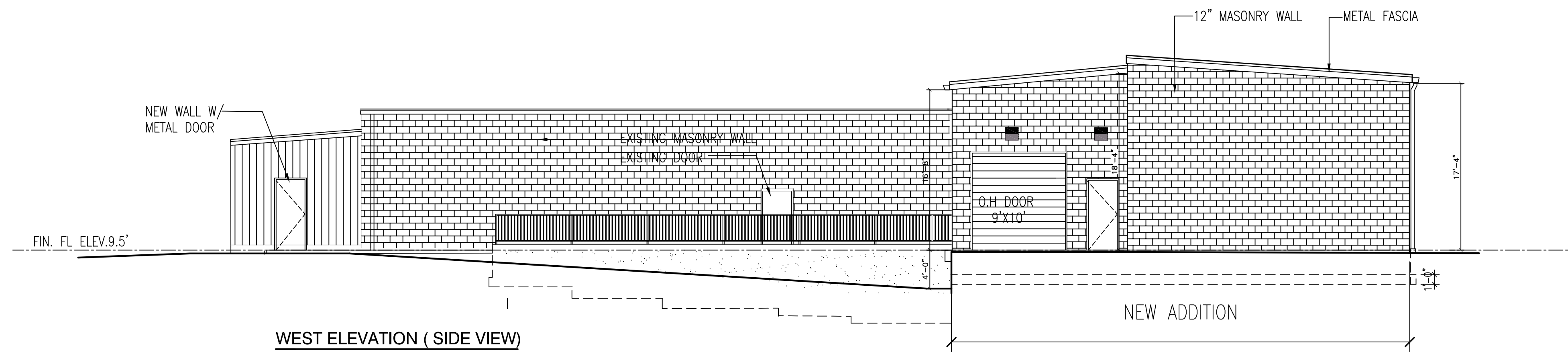
ASSIGNOR: MAP # 5142-2023-0274
APPLICANT: SHM-20 OWNER

DATE: _____
DESCRIPTION: _____

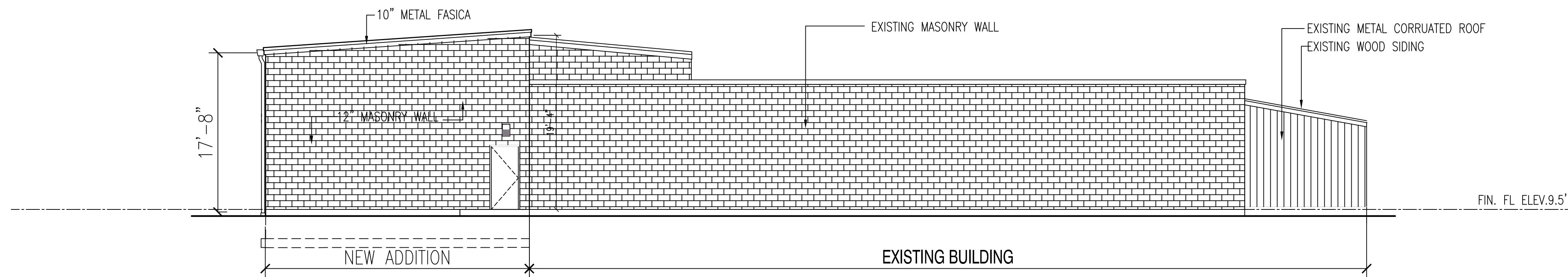
MARSILLO ENTERPRISES LLC
PREPARED FOR
755 CARRIE STREET, BRIDGEPORT, CONNECTICUT
SCALE: 1" = 10'
DATE: JAN 15, 2024



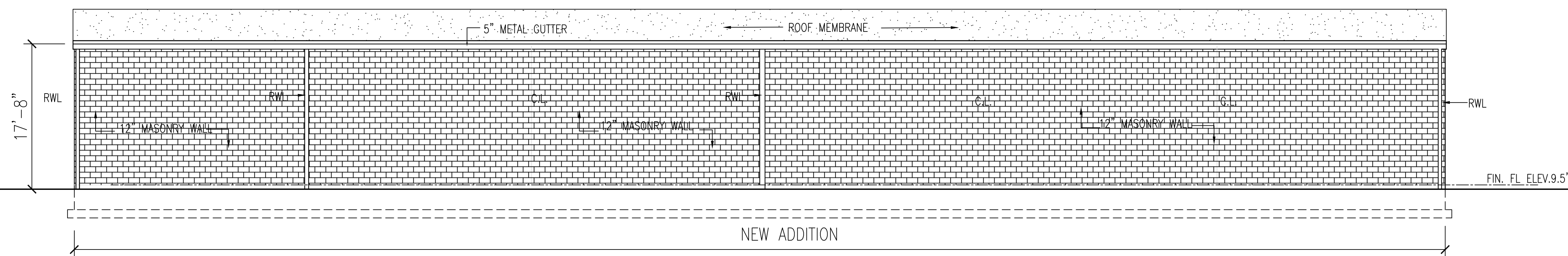
NORTH ELEVATION (STREET VIEW)
 SCALE = 1/8" = 1'-0"



WEST ELEVATION (SIDE VIEW)
 SCALE = 1/8" = 1'-0"



EAST ELEVATION (SIDE VIEW)
 SCALE = 1/8" = 1'-0"



SOUTH ELEVATION (REAR VIEW)
 SCALE = 1/8" = 1'-0"

1	2	3	4	5	6
REVISIONS					

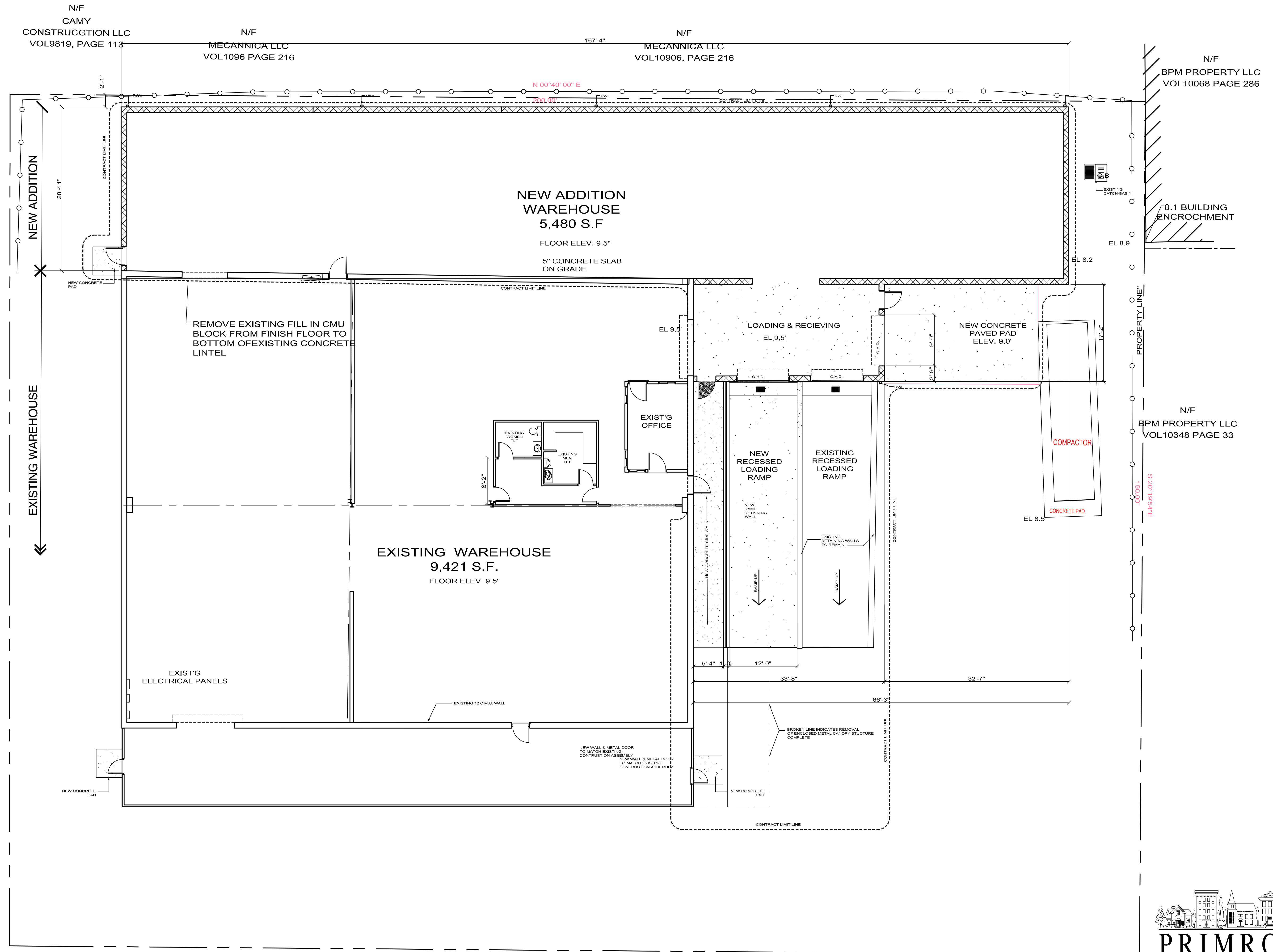
GUEDES ASSOCIATES, INC.
 Designers , Architects & Project Managers
 1425 Noble Avenue, Bpt., CT. 06610
 Tel. 203-367-5180 Fax. 203-367-4961



MARSILLO ENTERPRISES LLC 155 CARRIE STREET BRIDGEPORT, CT	date: 10-04-22 drawn: AJP	scale: AS NOTED project #:
EXTERIOR ELEVATIONS		



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.



WAREHOUSE FLOOR PLAN
SCALE = 3/16" = 1'-0"

REVISIONS	1	2	3	4	5	6

GUEDES ASSOCIATES, INC.
Designers, Architects & Project Managers
1425 Noble Avenue, Bpt., CT. 06610
Tel. 203-367-5180 Fax. 203-367-4961

MARSILLO ENTERPRISES LLC
155 CARRIE STREET
BRIDGEPORT, CT

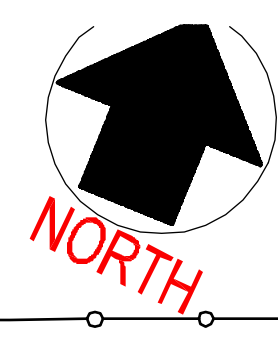
date: 10-04-22
drawn: J N GUEDES

scale: AS NOTED
project #:

FIRST FLOOR PLAN



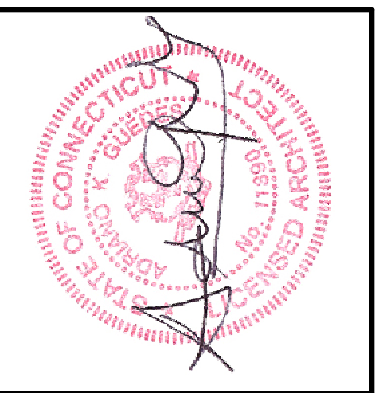
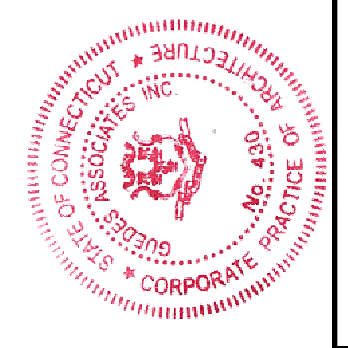
This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.



CRUSHED / WASHED LANDSCAPE STONE OVER LANDSCAPE CLOTH.

PLANT NOTES

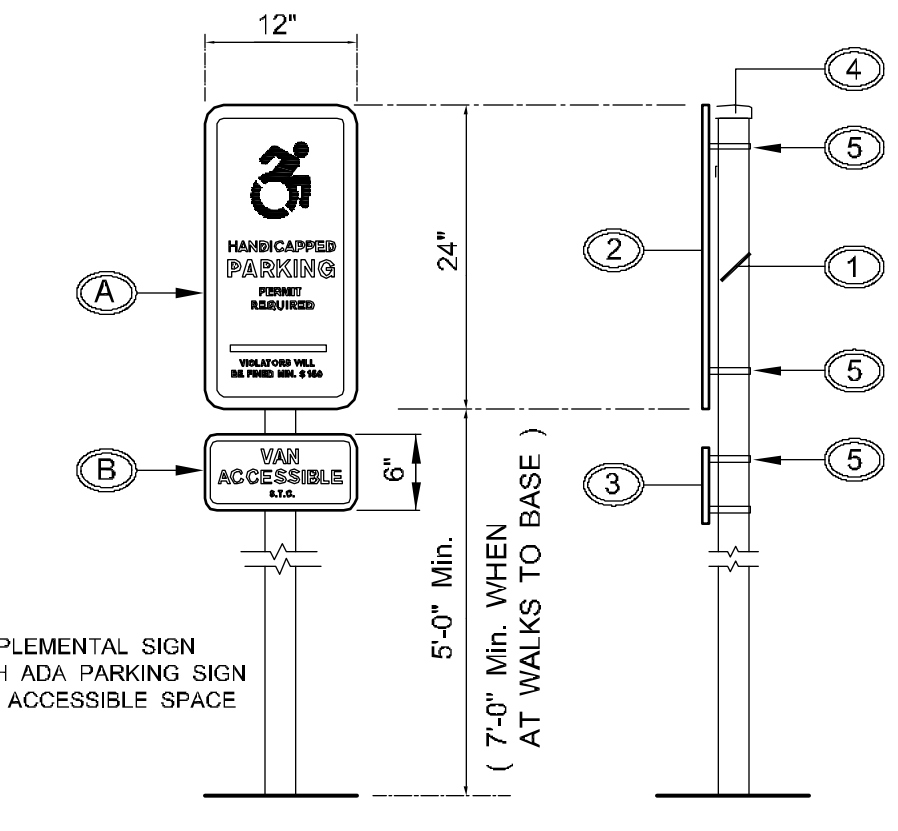
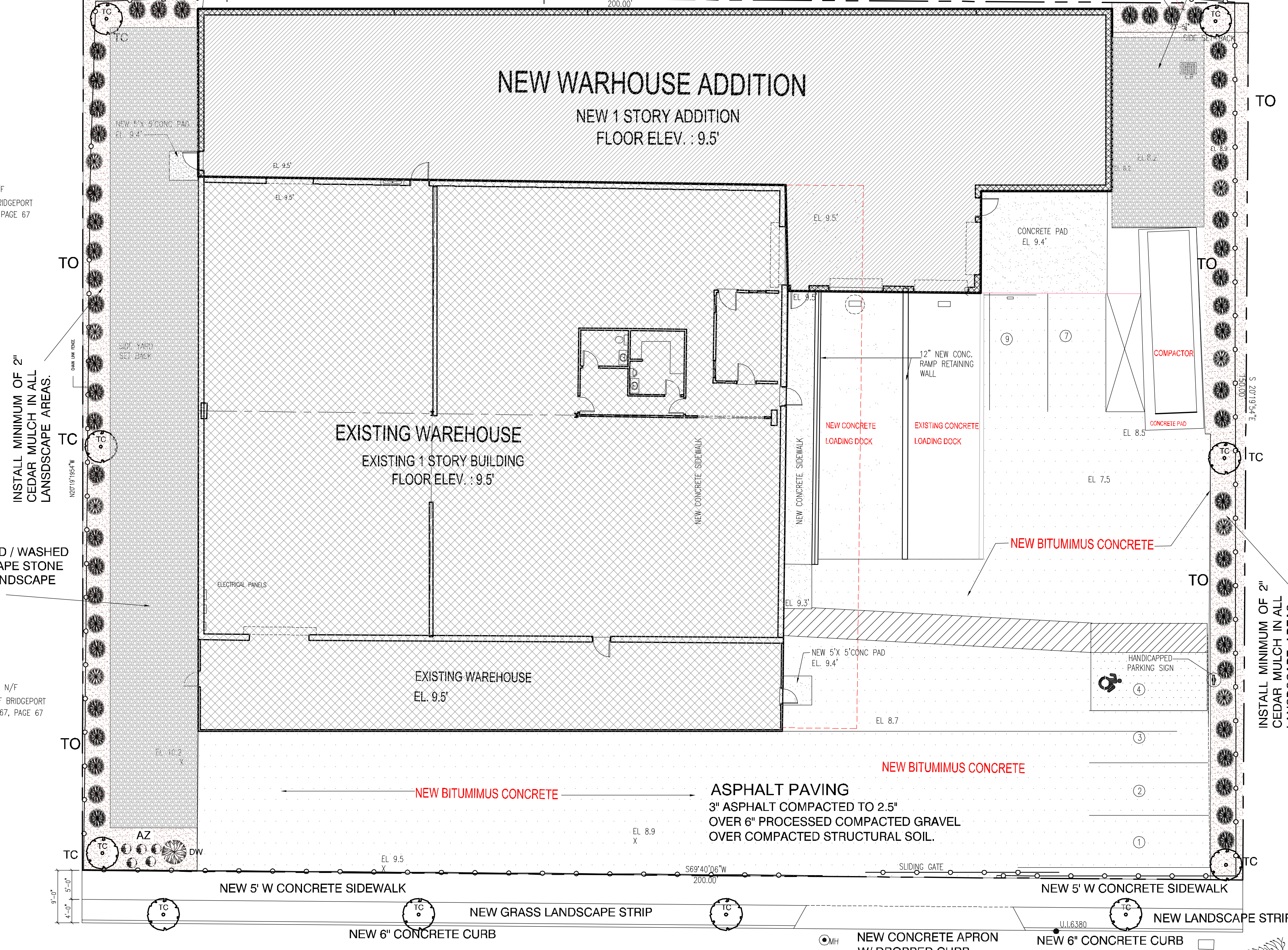
1. BOTANICAL NAMES SHALL PREVAIL OVER COMMON NAMES.
2. PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED ON THESE PLANS AND SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. TREES SHALL BE FROM NORTH-ERN NURSERIES (ZONE 6 OR NORTHERN).
3. ALL TREES TO BE APPROVED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL IF IT DOES NOT CONFORM TO THE SPECIFICATIONS OR IF SHOWN SIGNS OF DAMAGE BY HANDLING OR TRANSPORT.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
5. QUANTITIES SHOWN ON THE DRAWINGS TAKE PRECEDENCE OVER THE PLANT LIST. REPORT ALL DISCREPANCIES IMMEDIATELY.
6. ALL TREES SHALL BE BALLED AND BURLAPPED, NOT CONTAINER GROWN.
7. PLANTS SHALL BE PLANTED IN LOCATIONS DESIGNATED ON THE PLAN OR AS STAKED OUT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
8. PLANTING MIX SHALL CONSIST OF 6 PARTS OIL TAKEN FROM THE HOLE, ONE PART PEAT MOSS AND ONE PART DEHYDRATED COW MANURE.
9. ALL NEW PLANTS SHALL BE MULCHED WITH 4" OF AN APPROVED SHREDDED BARK.
10. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ACCEPTANCE. PLANTS SHALL BE WATERED, REMULCHED, WEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT. CONTRACTOR SHALL REMOVE FROM THE SITE EXCESS SOIL AND DEBRIS AND REPAIR ANY DAMAGE RESULTING FROM PLANTING OPERATIONS.
11. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND THRIVING ONE YEAR AFTER ACCEPTANCE. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED. THE COST SHALL BE BORNE BY THE LANDSCAPE CONTRACTOR EXCEPT FOR REPLACEMENTS RESULTING FROM LOSS OR DAMAGE DUE TO VANDALISM OR ACTS OF NEGLIGENCE ON THE PART OF OTHERS.
12. TOPSOIL SHALL BE PROVIDED IN PLANT BEDS AND IN LAWN AREAS TO A SETTLED, COMPACTED DEPTH OF NOT LESS THAN SIX INCHES. SOIL SHALL BE FROM A SOURCE APPROVED BY THE LANDSCAPE ARCHITECT. TOPSOIL SHALL BE FREE OF ROOTS, RUBBISH OF ALL KINDS, AND STONES LARGER THAN 1". THE CONTRACTOR SHALL SUBMIT TEST SAMPLES OF THE SOIL TO THE CONNECTICUT AGRICULTURAL STATION SOILS LABORATORY OBTAINING THE SOIL'S CHARACTERISTICS, ORGANIC CONTENT, PH, AND NUTRIENT STATUS. CONTRACTOR SHALL ADD AMENDMENTS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AG. STATION.
13. LAWN AREAS SHALL BE SEEDED WITH A SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT SHOWN AT THE RATE OF 4#/1000 S.F. AND PROTECTED BY A SUITABLE MULCH. SEEDING SHALL BE RESTRICTED TO THE PERIODS OF APRIL AND MAY IN THE SPRING, AND FROM AUGUST 15 TO OCTOBER 15 IN THE FALL. CONTRACTOR IS RESPONSIBLE TO WATER, WEED, FERTILIZE, AND MOW SEEDED AREAS UNTIL AN EVEN STAND OF WEED-FREE TURF IS ESTABLISHED (USUALLY AFTER 3 CUTTINGS).



NO.	REVISIONS
1	
2	
3	
4	
5	
6	

N/F CITY OF BRIDGEPORT VOL6367, PAGE 67

N/F CITY OF BRIDGEPORT VOL6367, PAGE 67



HANDICAPPED PARKING SIGN

1. ROUND SIGN POST - 2-3/8" O.D. SCHEDULE 40 GALVANIZED STEEL PIPE
2. HANDICAP PARKING SIGN - DURABLE REFLECTIVE ALUMINUM SIGN - A. SIZE - 12" WIDE X 24" MIN. HEIGHT B. 0.080" ALUMINUM ALLOY C. SPECIFIC STATE COMPLIANT ADA SIGN COMPLY WITH CONNECTICUT STATE AND FEDERAL GUIDELINE D. REFLECTIVE - DAY AND NIGHT VISIBILITY E. WHITE LETTERING AGAINST A BLUE BACKGROUND AND SHALL BEAR THE WORDS "HANDICAP PARKING PERMIT REQUIRED" AND "VIOLATORS WILL BE FINED" F. SIGN SHALL BEAR THE INTERNATIONAL SYMBOL OF ACCESS. G. SIGN SHALL INDICATE THE MINIMUM FINE FOR A VIOLATION
3. ADA SUPPLEMENTAL SIGN - REFLECTIVE ALUMINUM a. WHITE LETTERING AGAINST A BLUE BACKGROUND b. ACORN ROUND POST CAP OR FLAT ROUND POST CAP c. SIGN MOUNTING BRACKET - ALUMINUM BRACKET AND HARDWARE TO MOUNT UP TO 2 SIGNS
4. CONNECTICUT HANDICAPPED PARKING SIGN *SETON* STATE SPECIFIC ADA SIGN 12" X 24" MODEL NO. 80662 OR EQUAL
5. CONNECTICUT HANDICAPPED PARKING SIGN *SETON* ADA SUPPLEMENTAL SIGN 12" X 6" MODEL NO. 80660 OR EQUAL

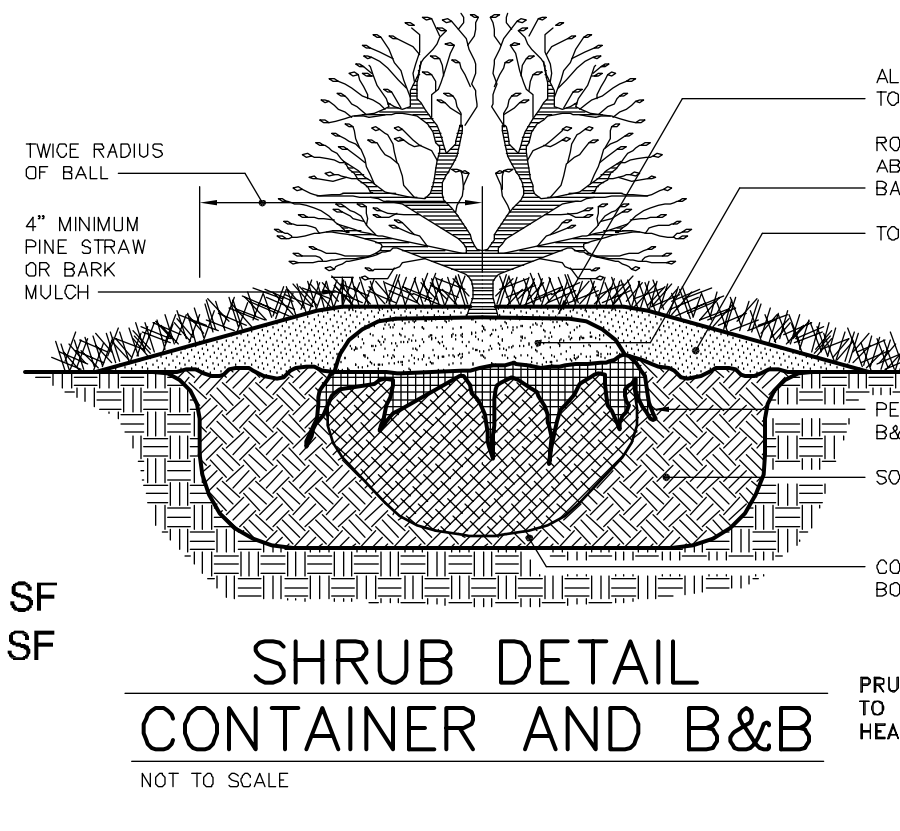
PLANTING LIST

LANDSCAPE PLAN
 SCALE= 1"=10'

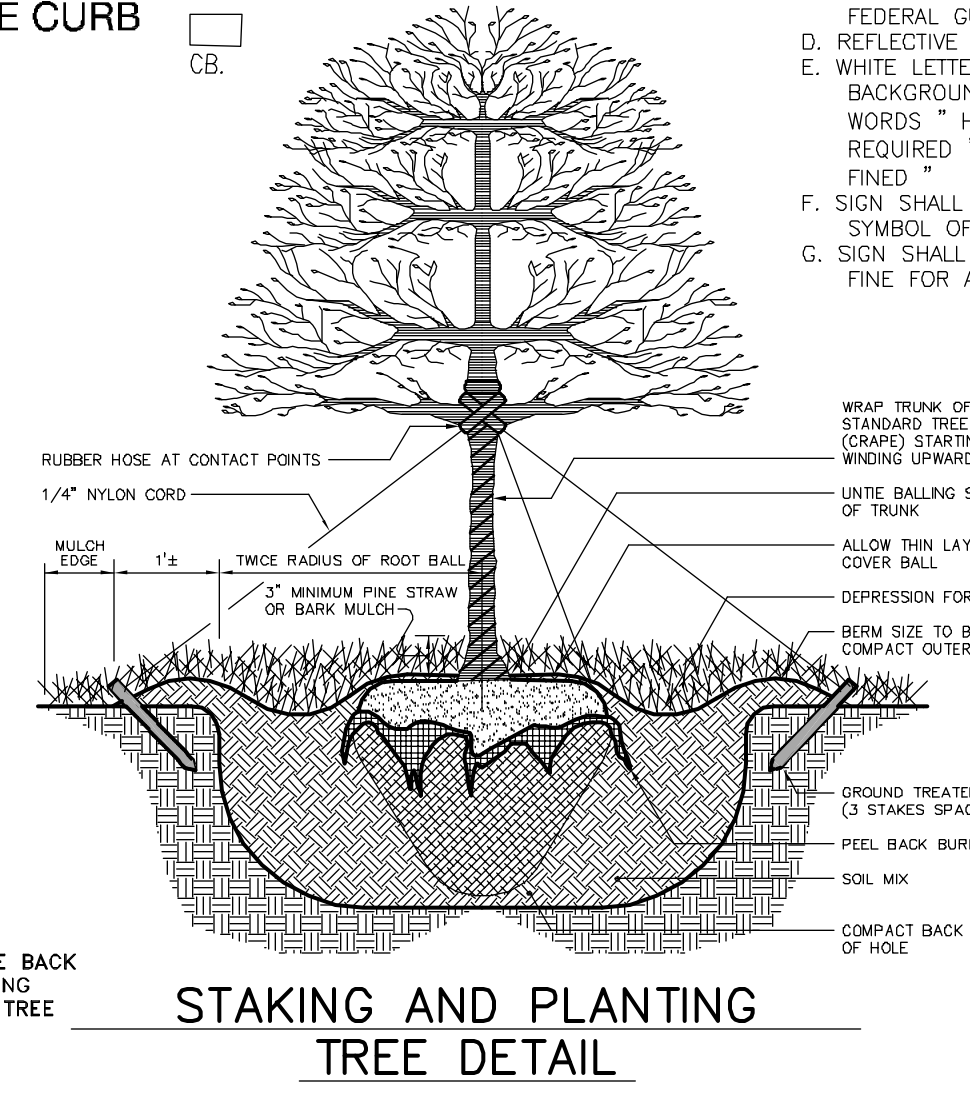
PLANTING LIST

KEY	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE / MIN. PLANTING DIST.	MAX. MATURITY HEIGHT	REMARKS
DW	1	DOGWOOD	CORNUS-STELLAR PINK	8'-0" / 4' CAL.	20'-40'	DECIDUOUS FLOWERING TREE
BV	0	GREEN BEAUTY BOXWOOD	BUXUS MICROPHYLLA 'GREEN BEAUTY'	24"-30" H.	TRIMMED AT 36" H.	EVERGREEN SHRUB
AZ	5	AZALEA	RHODODENDRON/ MOTHERS DAY-RED	24"-30" H.	TRIMMED AT 36" H.	FLOWERING SHRUB
TO	60	AMERICAN ARBORVITAE	THUJA OCCIDENTALIS	48" H.	20' +	EVERGREEN SHRUB
TC	10	LITTLE LEAF LINDEN	TILIA CORDATA	2-3/2" CAL	70'-0"	DECIDUOUS FLOWERING TREE

SITE COVERAGE;
 SITE AREA - 30,094 SF
 LANDSCAPE AREA REQUIRED - 4,514 SF
 LANDSCAPE AREA PROVIDED - 4,550 SF

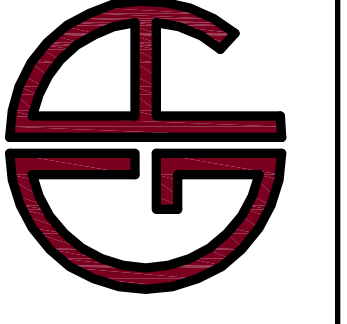


**SHRUB DETAIL
 CONTAINER AND B&B**
 NOT TO SCALE



**STAKING AND PLANTING
 TREE DETAIL**
 NOT TO SCALE

GUEDES ASSOCIATES, INC.
 Designers , Architects & Project Managers
 1425 Noble Avenue, Bpt., CT. 06610
 Tel. 203-367-5180 Fax. 203-367-4961



MARSILIO ENTERPRISES LLC
 155 CARRIE STREET
 BRIDGEPORT, CT

LANDSCAPE PLAN

date: 06-03-24
 scale: AS NOTED
 draw: J.N. GUEDES
 project #:

PRIMROSE COMPANIES

This drawing is the property of the architect, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

LS-1