PETITION TO THE BOARD OF APPEALS City of Bridgeport, Connecticut

The undersigned presents the following petition for: (Check all that Apply)

Variance Appeal from Zoning Officer Extension of Time Permit / Modification of Plan of Development D Request for Re-hearing D Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

		Gasp					7	one N4	
	(Number)	(Street)							Classification)
On the	West	side of the str	eet about 90		_ feet	South		F . 1 M . 1	from
Ranc	n Drive	za, 1703()		Block :			(North, South,	S	
		uestion 60'x166'x47'x84	4'x15'x95'	BIOCK			Lo		
			(Speci						
1. NAM	E OF PETITI	ONER / BUSINESS Edua							
2. PET	TIONERS IN	TEREST IN PROPERTY		(Print) SSEE, ETC) Ow	ner			
3. HAS	ANY PREVIO	OUS PETITION BEEN FIL		_ IF SO, 0	SIVE D	ATE OF	HEARING		
4. DES	CRIBE PROP	OSED DEVELOPMENT	(Yes or No) Addition of a second)					
5. THI	S PETITION R	ELATES TO: Check all that App	ly						
□ Set	back 🗖 Co	verage 🗖 Landscapi	ng 🗖 Lot A	rea and V	Vidth	□ Floc	or Area	Height	Parking
		largement of Non-Co							
Appro	val 🗖 Liquo	or 🛛 Use 🗖 Other: _	17.5 			2			22
6. USE	TO BE MADE	OF PROPERTY Single	-family resid	lence					
							-		
						Per	the new requ	detiene the	
7. WHA	T IS THE SPE	CIFIC HARDSHIP FOR	GRANTING A	VARIANCE	- (14-7	-4)?	and non rogi	nauons, me	sloped soil at the
		ECIFIC HARDSHIP FOR				-4)?			
	the house counts	ECIFIC HARDSHIP FOR as a half story that is part of th				-4)?			
	the house counts	as a half story that is part of th	e height of the e		so the	addition e:			
front of PETITI	the house counts	as a half story that is part of th	e height of the e	existing house	so the	addition e:	AND K		ce of two stories
front of PETITI If signed	the house counts ONER <u>Fo</u> by agent, state c	as a half story that is part of th (Signature) apacity (lawyer, builder, etc	e height of the e	existing house	so the	addition e:	Allok		
front of PETITI If signed	the house counts ONER <u>Fo</u> by agent, state c	as a half story that is part of th	e height of the e	existing house	so the	-4)?	xceeds the lis > ANDOK Tuntos	DATE <u>B</u>	e gmail
front of PETITI If signed Mailing	the house counts ONER <u>6</u> by agent, state c Address <u>24 C</u>	as a half story that is part of the story that is part of the story (Signature) (Signature) (Signature) (Saspee Road, Bridgeport, Saspee Road, Bridgeport, Br	e height of the e	existing house	(F 7070	-4)? addition e: EeC vint) / VIM (Zip Cod	xceeds the lis > ANDOK Tuntos	DATE <u>B</u>	ce of two stories
front of PETITI If signed Mailing	the house counts ONER <u>6</u> by agent, state c Address <u>24 C</u>	as a half story that is part of the story (Signature) (Signa	e height of the e	existing house	(F 7070	-4)? Eelu rint) / WM:	xceeds the lis > ANDOK Tuntos	DATE <u>B</u>	e gmail

FOR OFFICE USE ONLY (Rev. 6/22/16)

Eduardo Maldonado 24 Gaspee Road Bridgeport, CT 06606

June 5, 2024

Zoning Board of Appeals City of Bridgeport Room 206 45 Lyon Terrace Bridgeport, CT 06604

> Re: 24 Gaspee Road Bridgeport, Connecticut

Dear Sir or Madam:

I am requesting a variance for the height at my residence so that I can build a second floor; my home only has one bedroom and one and a half baths on the first floor.

The Zoning Ordinance allows for a 2-story house, but the lot slopes up from the street and under the ordinance the slope is considered a half story so the house is one and a half stories as existing. The addition of the second floor will make the house two and a half stories requiring a variance for the height.

I am respectfully requesting your support, and if you should you have any questions or require any additional information, please allow me the opportunity to respond.

Respectfully Submitted

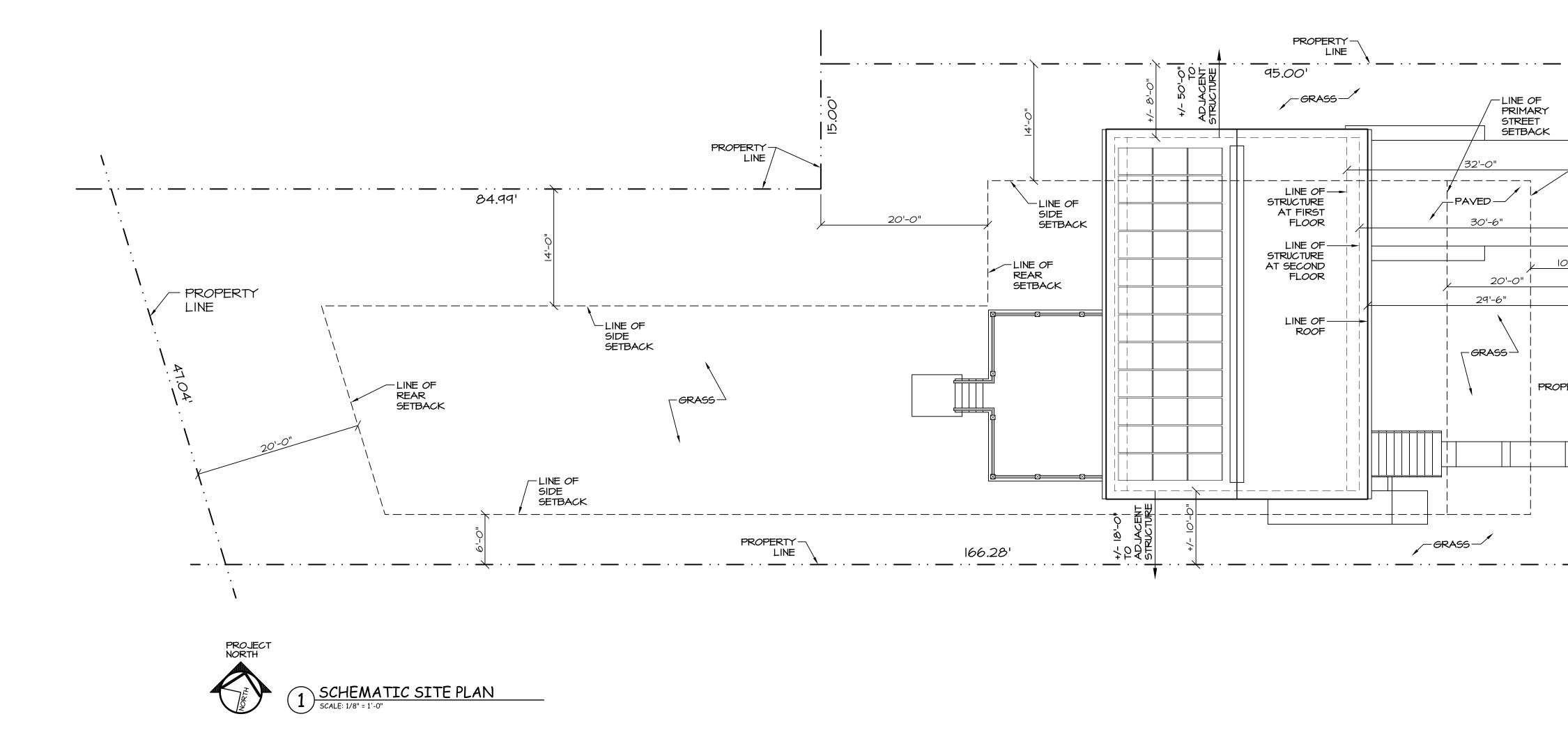
Estuardo N Moldouseto

Eduardo Maldonado

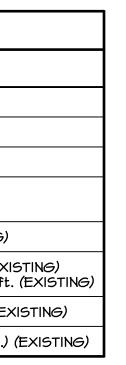
24 Gaspee Road Bridgeport, CT

Abutting properties within 100'-0"

Property	Property Owner
36 Gaspee Road	Nieves Estevan & Cynthia 36 Gaspee Road Bridgeport, CT 06606
48 Gaspee Road	Lares Jose J. & Patricia 48 Gaspee Road Bridgeport, CT 06606
45 Gaspee Road	Mayuga Michael 45 Gaspee Road Bridgeport, CT 06606
27 Gaspee Road	Russo John & Civita 27 Gaspee Road Bridgeport, CT 06606
173 Ranch Drive	Cavalho Fernando & Melisa P. 173 Ranch Drive Bridgeport, CT 06606
199 Ranch Drive	Felicio Jeol W. 29 Dolsen Place Stamford, CT 06901
221 Ranch Drive	Moulton Deborah M. 221 Ranch Drive Bridgeport, CT 06606
157 Ranch Drive	ON PHU V. & LIHN T. 157 Ranch Drive Bridgeport, CT 06606



ZONE S	TANDARDS ZONE N-4	
STANDARD	REQUIRED	PROVIDED
LOT WIDTH	60 ft. min.	60 ft.
LOT SIZE	7,500 sq. ft. min.	9,216 sq. ft.
PRIMARY STREET SETBACK	20 ft. min.	N/A
PORCH. STEPS, BAY PRIMARY ENCROACHMENT	8 ft. max.	N/A
NON-PRIMARY STREET SETBACK	10 ft. min.	34 ft. (EXISTING)
SIDE SETBACK SPACE BETWEEN ADJACENT BUILDINGS	6 ft. min. 20 ft. total both sides 12 ft. min.	8 ft. \$ 10 ft. (EXIS +/- 18 ft. \$ 50 ft.
REAR SETBACK	20 ft. min.	20 ft. (OVER) (EX
SITE COVERAGE	65%	25.5% (2,346 sf.) (



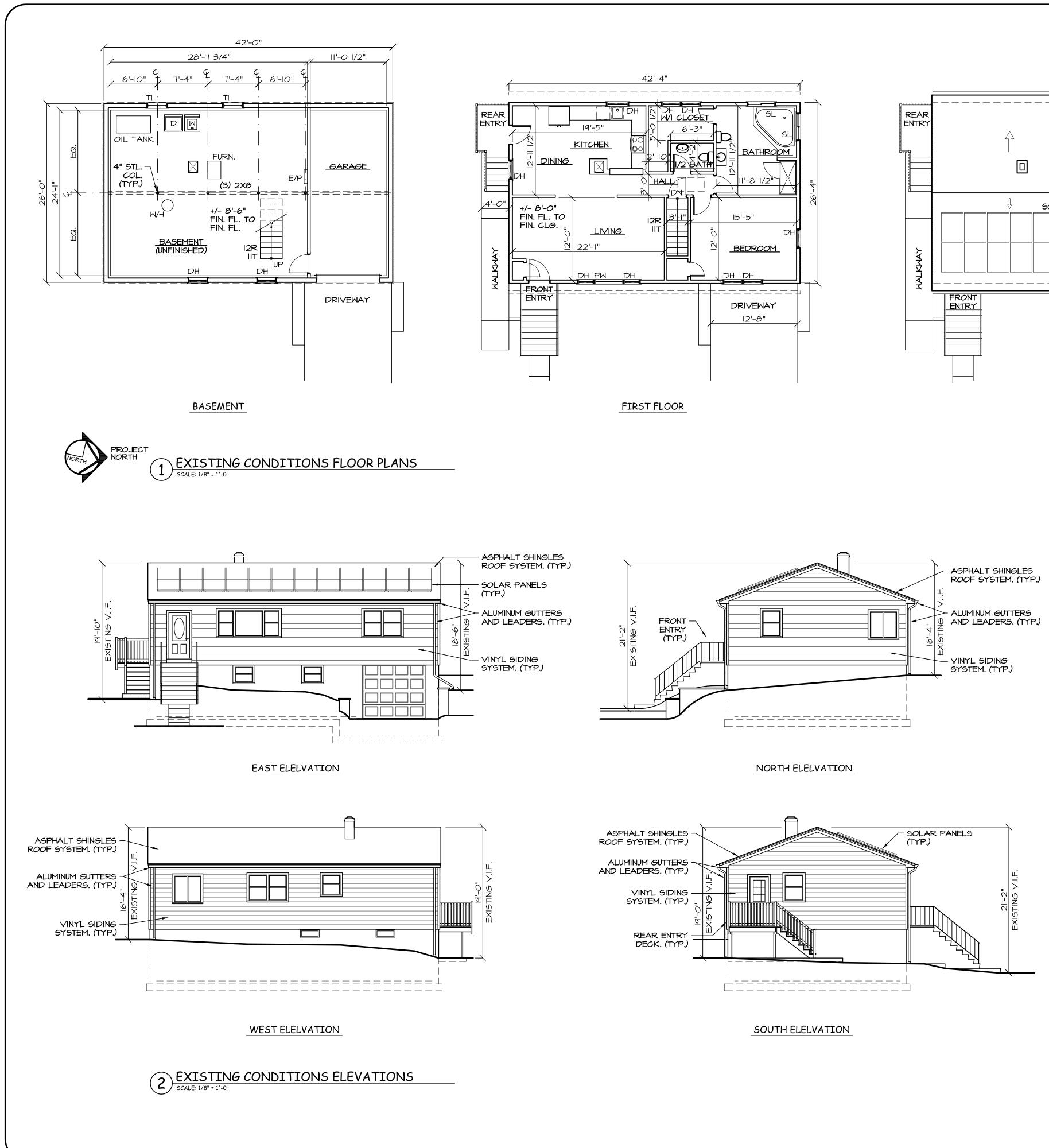
NOTES:

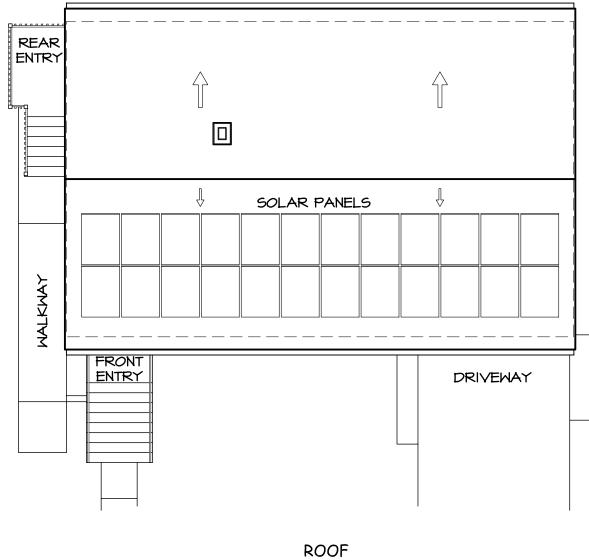
I. DO NOT SCALE DR. QUESTIONS AND OR

2. ALL NOTES ON ALL DOCUMENTS. TYPIC

3. THE SCHEMATIC SIT SIONS AND ALL CO

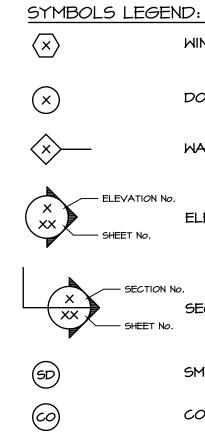
LINE OF NON-PRIMARY STREET SETBACK	Rodriguez Associates Architects & Planners, LL.C. 640 Clinton Avenue Phone: 203-696-0653 Bridgeport, CT 06605 Fax: 203-696-1149 E-Mail: Ircoss@sbcglobal.net Ircoss@sbcglobal.net
	DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT CONSTRUCTION
	DOCUMENT PRINTED 06-05-2024
	(SEAL)
	RENOVATION OF A SINGLE-FAMILY RESIDENCE 24 GASPEE ROAD BRIDGEPORT, CONNECTICUT
RAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD. REFER ALL OR CLARIFICATIONS TO THE ARCHITECT. L SHEETS ARE APPLICABLE TO ALL COMPONETS OF THE CAL UNDER ALL CONDITIONS. ITE PLAN IS FOR REFERENCE ONLY. VERIFY ALL DIMEN- ONDITIONS IN THE FIELD. TYPICAL.	SCHEMATIC SITE PLAN AND ZONE STANDARDS SCALE SCALED AS NOTED REVISIONS No. DATE DESCRIPTION
	DATE: JUNE 5, 2024





NOTES:

- DO NOT SCALE DRAWINGS. VERIFY ALL . QUESTIONS AND OR CLARIFICATIONS TO
- 2. ALL NOTES ON ALL SHEETS ARE APPLIC DOCUMENTS. TYPICAL UNDER ALL COND
- 3. THE EXISTING CONDITIONS ARE FOR REF SIONS AND ALL CONDITIONS IN THE FIEL
- 4. ALL WORK SHALL BE PERFORMED IN FU ORDINANCES, REGULATIONS AND LAWS DERAL AGENCIES HAVING JURISDICTION INTERNATIONAL RESIDENTIAL CODE PAR BUILDING CODE. TYPICAL FOR ALL CON
- 5. ALL DIMENSIONS ARE APPROXIMATE AN TING COMPONENTS OR AS NOTED. PROV DITIONS THROUGHOUT CONSTRUCTION. VE FIELD. TYPICAL FOR ALL LOCATIONS UN
- 6. COORDINATE ALL NEW WORK AND ANY WORK WITH THE EXISTING CONDITIONS I OF ANY DISCREPANCIES. TYPICAL FOR



	Rodriguez Associates
	Architects & Planners, LL.C. 640 Clinton Avenue Phone: 203-696-0653
	Bridgeport, CT 06605 Fax: 203-696-1149 E-Mail: Ircoss@sbcglobal.net
	THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN
	BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION
	THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION
	FROM THE ARCHITECT.
	DO NOT SCALE DRAWINGS
	REFER ALL QUESTIONS AND CLARIFICATIONS TO
	THE ARCHITECT
DIMENSIONS IN THE FIELD. REFER ALL THE ARCHITECT.	CONSTRUCTION
ABLE TO ALL COMPONETS OF THE FIONS.	DOCUMENT
ERENCE ONLY. VERIFY ALL DIMEN-	PRINTED 09-01-2023
D. TYPICAL. L COMPLIANCE WITH ALL CODES.	
ROM ALL LOCAL, STATE AND FE- THE DESIGN BASIS IS THE 2021 F OF THE 2022 CONNECTICUT STATE	AND A DESCRIPTION OF A
PITIONS.	A SO RODRIG
O ORIGINATE FROM FINISHED EXIS- DE ADJUSTMENTS PER SITE CON-	15 00 00 CON
RIFY ALL CONDITIONS IN THE DER ALL CONDITIONS.	KO. NO. 9590
INOR COINCIDENTAL DEMOLITION THE FIELD. NOTIFY THE ARCHITECT	Standard Standard Standard
LL CONDITIONS.	
	(SEAL)
	RENOVATION
	OF A SINGLE-FAMILY
	RESIDENCE
	24 GASPEE ROAD
	BRIDGEPORT, CONNECTICUT
	EXISTING CONDITIONS
	FLOOR PLANS,
	ELEVATIONS & NOTES
	SCALE: SCALED AS NOTED REVISIONS
	No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024
MUMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMMM	
S St St St	DATE: SEPTEMBER 1, 2023
B. No. 20877	
Manager CENSEL OTHER	A-1.0

4/12/2024

WINDOW TYPE

DOOR TYPE

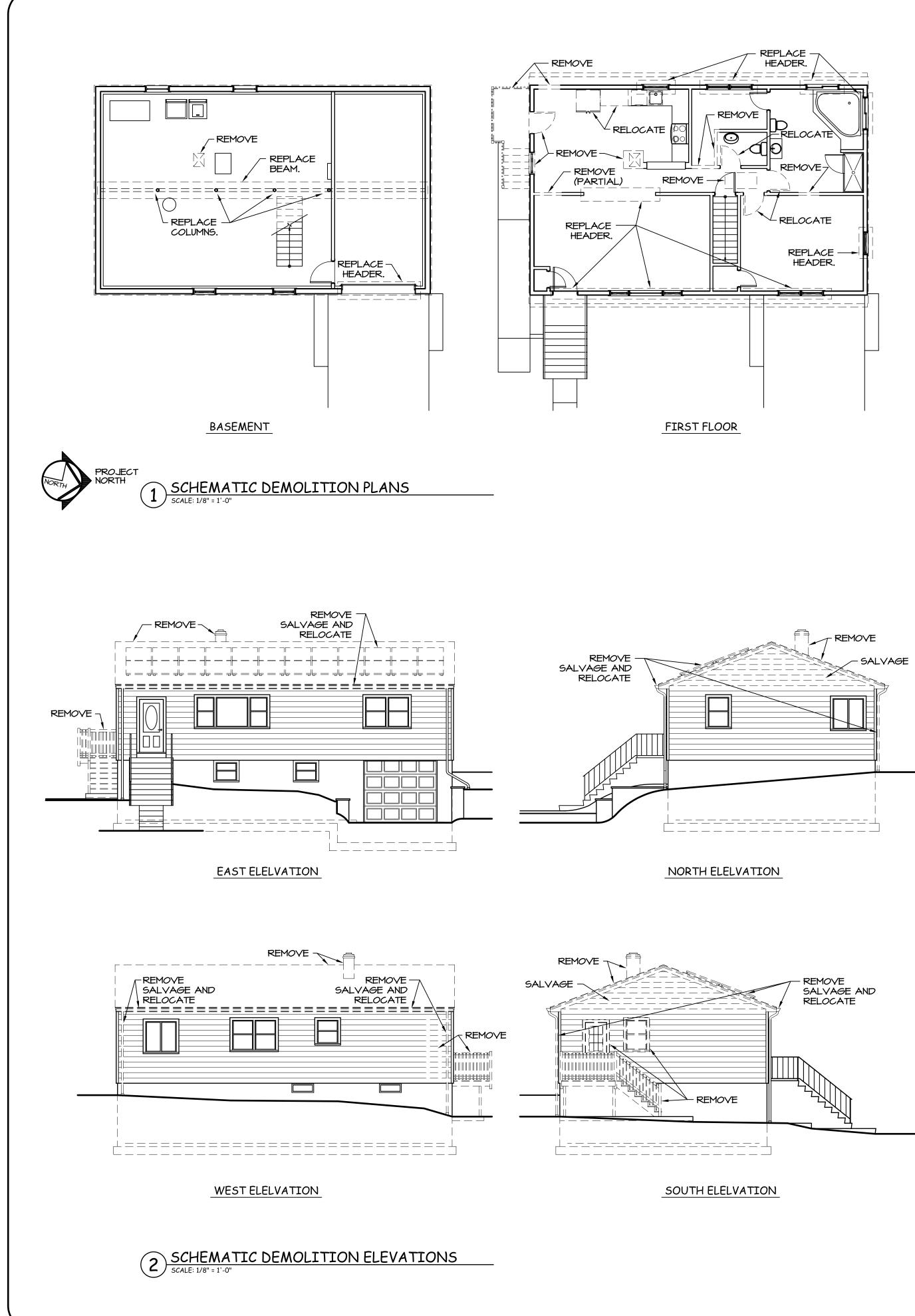
WALL TYPE

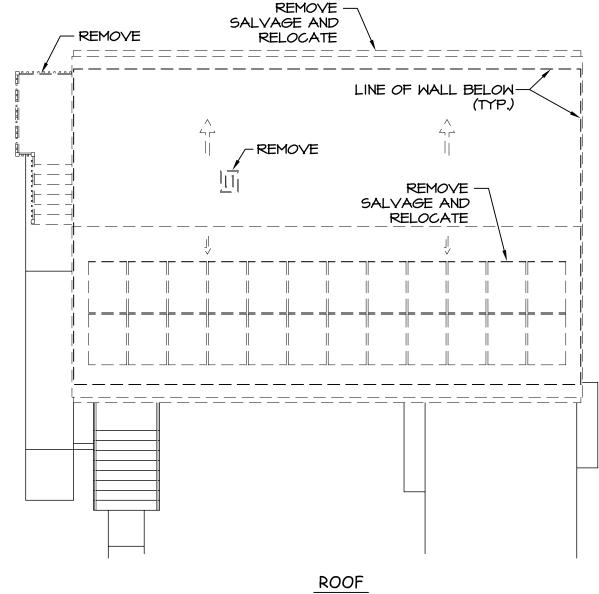
ELEVATION KEY

SECTION KEY

SMOKE DETECTOR

CO DETECTOR



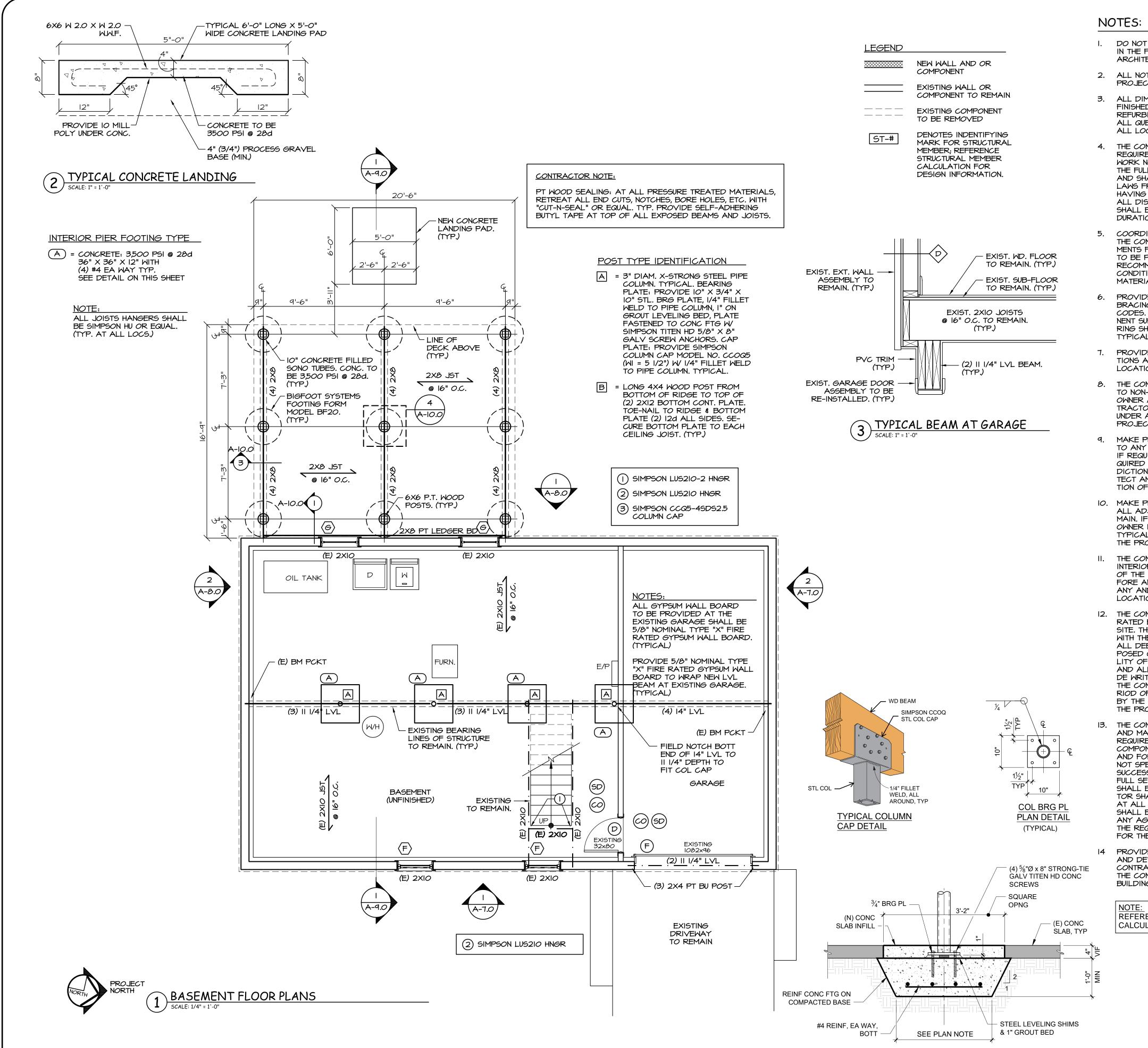


NOTES:

- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT.
- 2. THE DEMOLITION DRAWINGS ARE SCHEMATIC IN NATURE AND ARE INCLUDED AS AREFERENCE TO FACILITATE THE COORDINATION OF THE AMOUNT OF EXISTING COMPONENTS THAT ARE TO BE REMOVED WITH THE COMPONENTS TO REMAIN AND THE NEW COMPONENTS TO BE PROVIDED BY THE CON-TRACTOR. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAKE PROVISIONS FOR ALL REQUIRED DEMOLITION OF ANY AND ALL EXISTING COMPONENTS, THE PREPARATION OF ANY AND ALL SURFACES TO RECEIVE NEW WORK AND THE COORDINATION OF ALL NEW WORK WITH ALL DEMOLI-TION WORK. TYPICAL FOR ALL CONDITIONS AT ALL LOCATIONS.
- ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL ASPECTS OF THE 3. PROJECT. COORDINATE ALL NOTED REQUIREMENTS WITH ALL NEW WORK.
- 4. PROVIDE BRACING AND SHORING, AS NEEDED, TO ACCOMMODATE ALL DEMOLITION ACTIVITIES IN FULL COORDINATION WITH ALL THE NEW WORK TO BE PROVIDED. ALL BRACING AND SHORING SHALL COMPLY WITH ANY AND ALL APPLICABLE CODES, REGULATIONS AND OR LAWS FROM ANY AND ALL AGENCIES, LOCAL, STATE AND FEDERAL HAVING JURISDICTION. TYPICAL FOR ALL CONDITIONS AT ALL LOCATIONS.
- 5. PROVIDE CUTTING AND PATCHING TO ACCOMMODATE ANY AND ALL PARTS, PORTIONS AND OR COMPONENTS TO ACCOMMODATE ALL NEW CONSTRUCTION REQUIREMENTS AS NOTED. COORDINATE ALL CUTTING AND PATCHING WITH ALL NEW WORK. TYPICAL.
- 6. MAKE PROVISIONS TO PROTECT ALL ADJACENCIES. PROTECT ANY AND ALL EXISTING MATERIALS TO REMAIN. IF DAMAGE IS EMINENT NOTIFY THE ARCHITECT AND THE OWNER BEFORE PROCEEDING. TYPICAL AT ALL LOCATIONS FOR ALL CONDITIONS.
- MAKE PROVISIONS TO PROTECT ALL TRAFIC WAYS. DO NOT BLOCK ACCESS 7. TO ANY EMERGENCY ACCESS WAY AND OR PEDESTRIAN ACCESS WALKWAY. IF REQUIRED, NOTIFY THE ARCHITECT AND THE OWNER AND SECURE ANY RE-QUIRED PERMIT OR WRITTEN PERMISSION FROM ANY AGENCY HAVING JURIS-DICTION. DO NOT PROCEED WITHOUT WRITTEN PERMISSION FROM THE ARCHI-TECT AND OR THE OWNER. TYPICAL UNDER ALL CONDITIONS.
- THE CONTRACTOR SHALL RESTORE ALL AREAS AND ADJACENCIES THAT 8. ARE DISTURBED BY ANY PART OR PORTION OF THE WORK TO A CONDITION THAT IS EQUAL OR BETTEN THAN BEFORE ANY WORK WAS DONE. NOTIFY THE ARCHITECT AND THE OWNER OF ANY AND ALL DISCREPANCIES. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS.
- 9. THE CONTRACTOR SHALL SECURE ALL WORK AREAS AND DEMOLITION WORK AREAS TO RESTRICT ACCESS TO NON-CONSTRUCTION PERSONNEL. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY AND ALL DICREPANCIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS.
- 10. THE OWNER RESERVES THE RIGHT TO SALVAGE ANY PORTION, PART, ACCE-SSORY AND OR COMPONENT OF ANY AND ALL ITEMS SCHEDULED FOR AND OR REQUIRED DEMOLITION. THE CONTRACTOR SHALL PROVIDE THE REMOVAL AND SHALL STORE AND OR DELIVER ANY SAID PORTIONS, PARTS, ACCESSO-RY AND OR COMPONENT AS DIRECTED BY THE OWNER AND OR THE ARCHI-TECT. TYPICAL UNDER ALL CONDITIONS.
- THE CONTRACTOR SHALLL REMOVE ANY AND ALL DEBRIS THAT IS GENE-RATED BY ALL DEMOLITION AND OR CONSTRUCTION ACTIVITIES DAILY FROM THE CONSTRUCTION SITE. THE DEBRIS MAY STORED IN DUMPSTERS OUTSIDE IN COMPLIANCE WITH THESE NOTES AND AS APPROVED BY THE OWNER AND THE ARCHITECT. ALL DEBRIS GENERATED BY THE DOMOLITION AND OR CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF LEGALLY FROM THE SITE. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRAC-TOR TO COMPLY WITH ALL REQUIREMENTS FROM ANY AND ALL AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVIDE WRITTEN CON-FIRMATION OF ALL DISPOSED MATERIALS TO THE OWNER. THE CONTRAC-TOR SHALL NOT STORE ANY DEBRIS AT THE SITE FOR A PERIOD OF MORE THAN THREE DAYS UNLESS DIRECTED OTHERWISE IN WRITTING BY THE OWNER OR THE ARCHITECT. TYPICAL FOR THE DURATION OF THE PROJECT.

- 12. THE CONTRACT MENTS FOR SUR TO BE PROVIDE RECOMMENDAT CONDITIONS AT MATERIALS.
- 13. MAKE PROVISIO ACCOMMODATE FLOOR CEILING DITIONS.
- 14. SELECTIVELY R AND EXISTING A EXISTING WALL TO PLANS. SAL STORED AS DIR
- 15. AT THE BASEME REPLACE AS NO TYPICAL.
- 16. MAKE PROVISIO ALL EXTERIOR LOCATIONS AS
- 17. REMOVE, SALVA TO PLANS. TYPI
- 18. REMOVE, SALVA TRY CABINET A
- 19. SELECTIVELY R FROM ALL LOCA NOTE THAT THIS EXISTING VINYL HOUSE. TYPICAL
- 20. SELECTIVELY R PANELS. COORD TION WITH ANY REMENTS. NOTE OF THE EXISTIN OF NEW SOLAR AND, SAID PARI SOLAR COMPAN
- 21. REMOVE THE EX FLOOR PLANS.
- 22. AT THE ROOF: EXISTING GYPS CHORD OF THE DISCONNECT TH COMPONENTS. F EXISTING ROOF AND SECURED ' PLANS, SECTION THE NEW WORK. LOCATIONS.

LEGEND Image: Second component Im	Rodriguez Associates Architects & Planners, LLC. 640 Clinton Avenue Phone: 203-696-0653 Bridgeport, CT 06605 Fax: 203-696-1149 E-Mail: Ircoss@sbcglobal.net THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.
	DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT
OR SHALL COMPLY IN FULL WITH ANY AND ALL REQUIRE- REACE PREPARATION FOR ANY AND ALL NEW MATERIALS ED IN ACCORDANCE WITH ALL RESPECTIVE MANUFACTURER'S IONS FOR SURFACE PREPARATION. TYPICAL UNDER ALL ALL LOCATIONS FOR EACH SPECIFIC AND RESPECTIVE	CONSTRUCTION DOCUMENT PRINTED 09-01-2023
ANY NEW WORK. PATCH AND REPAIR THE EXISTING FIRST TO REMAIN. TYPICAL AT ALL LOCATIONS UNDER ALL CON- REMOVE AND SALVAGE THE EXISTING EXTERIOR DOOR WINDOWS AS NOTED. COORDINATE THE REMOVAL OF PORTIONS SCHEDULED TO RECEIVE NEW WORK. REFER VAGED MATERIALS AND OR COMPONENTS SHALL BE RECTED BY THE OWNER. TYPICAL AT ALL LOCATIONS. ENT: REMOVE THE EXISTING BEAM AND COLUMNS AND OTED. REFER TO PLANS. PROVIDE BRACING AND SHORING.	CONNECTOR
ONS TO REMOVE AND REPLACE ALL EXISTING HEADERS AT WALL AT ALL LELVELS AS NOTED, AND AT ALL INTERIOR NOTED. REFER TO PLANS. TYPICAL. AGE AND RELOCATE ALL INTERIOR DOORS AS NOTED. REFER ICAL.	(SEAL)
AGE AND RELOCATE THE EXISTING REFRIGERATOR AND PAN- IS NOTED. REFER TO PLANS. TYPICAL. REMOVE AND SALVAGE ALL EXISTING VINYL SIDING SYSTEM ATIONS AS NOTED AND OR REQUIRED FOR FUTURE RE-USE. MATERIAL WILL BE RE-USED TO PATCH AND REPAIR THE SIDING SYSTEM ALONG THE ENTIRE FIRST LEVEL OF THE AT ALL LOCATIONS UNDER ALL CONDITIONS. REMOVE, SALVAGE AND RELOCATE THE EXISTING SOLAR DINATE THEIR REMOVAL, RELOCATE THE EXISTING SOLAR DINATE THEIR REMOVAL, RELOCATION AND RE-INSTALLA- AND ALL OTHER EXISTING AND NEW ELECTRICAL REQUI- THAT THE REMOVAL, STORAGE AND RE-INSTALLATION G SOLAR PANELS AS WELL AS THE POSSIBLE PROVISION PANELS SHALL BE DONE UNDER A SEPARATE PERMIT, MIT SHALL BE SECURED BY THE OWNER'S APPROVED	RENOVATION OF A SINGLE-FAMILY RESIDENCE 24 GASPEE ROAD
INT SHALL DE SECURED BY THE OWNER'S APPROVED NY. TYPICAL. KISTING STEPS AND DECK AT THE SOUTH ENTRY. REFER TO NOTE THAT THE EXITING WALKWAY WILL REMAIN. TYPICAL. REMOVE THE EXISTING ROOF WITHOUT DAMAGING THE UM WALL BOARD CEILING TO REMAIN. THE EXISTING BOTTOM EXISTING ROOF TRUSSES IS TO REMAIN. CUT OR OTHERWISE	BRIDGEPORT, CONNECTICUT
E BOTTOM CHORD OF THE TRUSSES AND ALL THE WEB REMOVE ALL REMAINING EXISTING ROOF COMPONENTS. THE TRUSS BOTTOM CHORDS ARE TO BE ABANDONE IN PLACE TO THE NEW FLOOR/CEILING ASSEMBLY. REFER TO THE IS AND DETAILS. PREPARE THE ENTIRE AREA TO RECIVE PROVIDE BRACING AND SHORING. TYPICAL AT ALL UNITED TO THE NEW FLOOR AND SHORING. TYPICAL AT ALL	DEMOLITION FLOOR PLANS, ELEVATIONS & NOTES SCALE: SCALED AS NOTED REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024 DATE: SEPTEMBER 1, 2023
4/12/2024	A-2.0



- ARCHITECT.
- ALL LOCATIONS UNDER ALL CONDITIONS.
- DURATION OF THE PROJECT.
- MATERIALS.
- LOCATIONS UNDER ALL CONDITIONS.
- PROJECT.
- TION OF THE PROJECT.
- THE PROJECT.
- LOCATIONS.
- THE PROJECT.
- FOR THE DURATION OF THE PROJECT.

REFERENCE STRUCTURAL DRAWINGS FOR BEAM & BRACEWALL CALCULATIONS. REFERENCE STRUCTURAL NOTES AND DESIGN BASIS ON S1.1.

TYPICAL COLUMN FOOTING DETAIL

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE

2. ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL ASPECTS OF THE PROJECT. COORDINATE ALL NOTED REQUIREMENTS WITH ALL NEW WORK.

3. ALL DIMENSIONS SHOWN ON THE DRAWINGS ARE REFERENCED TO EXISTING FINISHED COMPONENTS, NEW FINISHED COMPONENTS OR EXISTING TO REMAIN REFURBISHED COMPONENTS. VERIFY ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE ARCHITECT. TYPICAL AT

4. THE CONTRACTOR SHALL COORDINATE ALL NEW WORK WITH ANY AND ALL REQUIRED DEMOLITION WORK AND OR ANY OTHER REQUIRED COINCIDENTAL WORK NOT SPECIFICALLY MENTIONED AND OR LISTED, BUT REQUIRED FOR THE FULL, COMPLETE AND SUCCESSFUL COMPLETION OF ALL NEW WORK AND SHALL COMPLY WITH ANY AND ALL CODES, REGULATIONS AND OR LAWS FROM ANY AND ALL AGENCIES, LOCAL, STATE AND OR FEDERAL HAVING JURISDICTION. NOTIFY THE ARCHITECT AND THE OWNER OF ANY AND ALL DISCREPANCIES AND OR CONFLICTS IMMEDIATELY. ALL NOTIFICATIONS SHALL BE DONE IN WRITING. TYPICAL UNDER ALL CONDITIONS FOR THE

COORDINATE ALL NEW WORK WITH ALL REQUIRED DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL COMPLY IN FULL WITH ANY AND ALL REQUIRE-MENTS FOR SURFACE PREPARATION FOR ANY AND ALL NEW MATERIALS TO BE PROVIDED IN ACCORDANCE WITH ALL RESPECTIVE MANUFACTURER'S RECOMMENDATIONS FOR SURFACE PREPARATION. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS FOR EACH SPECIFIC AND RESPECTIVE

PROVIDE BRACING AND SHORING AS NEEDED FOR ALL NEW WORK. ALL BRACING AND SHORING SHALL BE IN COMPLANCE WITH ALL APPLICABLE CODES. BRACING AND SHORING SHALL REMAIN IN-PLACE UNTIL PERMA-NENT SUPPORT WORK IS COMPLETED. BEARING FOR BRACING AND SHO-RING SHALL BE CONTIGUOUS THROUGH ALL LEVELS TO BASEMENT. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS.

PROVIDE CUTTING AND PATCHING TO ACCOMMODATE ALL PARTS, POR-TIONS AND OR COMPONENTS FOR ALL NEW WORK. TYPICAL AT ALL

8. THE CONTRACTOR SHALL SECURE ALL WORK AREAS TO RESTRICT ACCESS TO NON-CONSTRUCTION PERSONNEL. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY AND ALL DISCREPANCIES. THE CON-TRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY. TYPICAL UNDER ALL CONDITIONS AT ALL LOCATIONS FOR THE DURATION OF THE

MAKE PROVISIONS TO PROTECT ALL TRAFIC WAYS. DO NOT BLOCK ACCESS TO ANY EMERGENCY ACCESS WAY AND OR PEDESTRIAN ACCESS WALKWAY. IF REQUIRED, NOTIFY THE ARCHITECT AND THE OWNER AND SECURE ANY RE-QUIRED PERMIT OR WRITTEN PERMISSION FROM ANY AGENCY HAVING JURIS-DICTION. DO NOT PROCEED WITHOUT WRITTEN PERMISSION FROM THE ARCHI-TECT AND OR THE OWNER. TYPICAL UNDER ALL CONDITIONS FOR THE DURA-

10. MAKE PROVISIONS, AS REQUIRED AND NECESSARY, TO PROTECT ANY AND ALL ADJACENCIES. PROTECT ANY AND ALL EXISTING MATERIALS TO RE-MAIN. IF DAMAGE IS EMINENT: STOP, AND NOTIFY THE ARCHITECT AND THE OWNER IMMEDIATELY. DO NOT PROCEED WITHOUT WRITTEN AUTHORIZATION. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS FOR THE DURATION OF

THE CONTRACTOR SHALL RESTORE ALL AREAS AND ADJACENCIES, BOTH INTERIOR AND EXTERIOR, THAT ARE DISTURBED BY ANY PART OR PORTION OF THE WORK TO A CONDITION THAT IS BETTER THAN OR EQUAL TO BE-FORE ANY WORK WAS DONE. NOTIFY THE OWNER AND THE ARCHITECT WITH ANY AND ALL DISCREPANCIES. TYPICAL UNDER ALL CONDITIONS AT ALL

12. THE CONTRACTOR SHALLL REMOVE ANY AND ALL DEBRIS THAT IS GENE-RATED BY ALL CONSTRUCTION ACTIVITIES DAILY FROM THE CONSTRUCTION SITE. THE DEBRIS MAY BE STORED IN DUMPSTERS OUTSIDE IN COMPLIANCE WITH THESE NOTES AND AS APPROVED BY THE OWNER AND THE ARCHITECT. ALL DEBRIS GENERATED BY THE CONSTRUCTION ACTIVITIES SHALL BE DIS-POSED OFF LEGALLY FROM THE SITE. IT SHALL BE THE SOLE RESPONSIBI-LITY OF THE CONTRACTOR TO COMPLY WITH ALL REQUIREMENTS FROM ANY AND ALL AGENCIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVI-DE WRITTEN CONFIRMATION OF ALL DISPOSED MATERIALS TO THE OWNER. THE CONTRACTOR SHALL NOT STORE ANY DEBRIS AT THE SITE FOR A PE-RIOD OF MORE THAN THREE DAYS UNLESS DIRECTED OTHERWISE IN WRITTING BY THE OWNER OR THE ARCHITECT. TYPICAL FOR THE ENTIRE DURATION OF

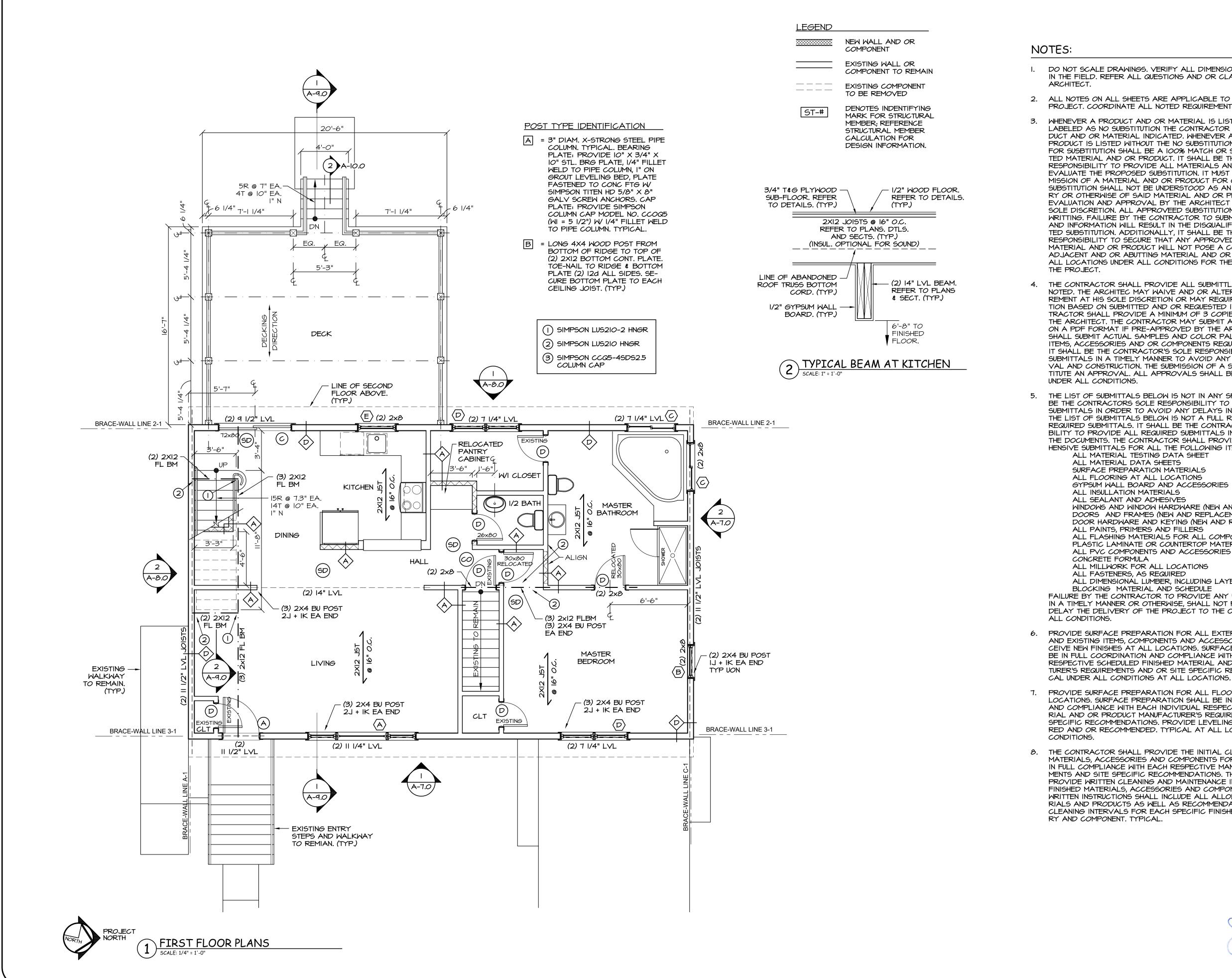
13. THE CONTRACTOR SHALL SUBMIT MATERIAL SAFETY DATA SHEETS (MSDS) AND MATERIAL DATA SHEETS (MDS) FOR ALL MATERIALS AND PRODUCTS REQUIRED AND SPECIFIED FOR THE FULL EXECUTION OF ALL PART AND COMPONENTS OF THE CONSTRUCTION INCLUDING DEMOLITION ACTIVITIES, AND FOR ANY AND ALL OTHER COINCIDENTAL PRODUCTS AND MATERIALS NOT SPECIFICALLY LISTED AND OR SPECIFIED, BUT REQUIRED FOR THE SUCCESSFUL COMPLETION OF ALL THE WORK OUTLINED THROUGHOUT THE FULL SET OF CONSTRUCTION DOCUMENTS. ALL MSDS AND MDS SHEETS SHALL BE SUBMITTED TO THE OWNER AND THE ARCHITECT. THE CONTRAC-TOR SHALL MAINTAIN A FULL SET OF MSDS AND MDS SHEETS AT THE SITE AT ALL TIMES FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY FINE THAT MAY BE ISSUED BY ANY AGENCY HAVING JURISDICTION FOR FAILURE TO HAVE AND MAINTAIN THE REQUIRED MSDS AND MDS SHEETS. TYPICAL UNDER ALL CONDITIONS

14 PROVIDE CONCRETE AT ALL LOCATIONS NOTED. REFER TO PLANS, SECTIONS AND DETAILS. ALL CONCRETE SHALL BE 3,500 PSI @ 28d OR AS NOTED. THE CONTRACTOR SHALL PROVIDE THE CONCRETE SUPPLIER INFORMATION AND THE CONCRETE INSTALLER INFORMATION TO THE ARCHITECT AND TO THE BUILDING DEPARTMENT IN COMPLIANCE WITH PUBLIC ACT #16-45. TYPICAL



THESE DOCUMENTS ARE FOR A REMOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THERES OF ANY PURPOSE WILL REDOUBLE WRITTEN PERMISSION REMOVATION OF A SINGLE-FAMILY REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT DENNTED DENNTED DENNTED DENNTED REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT DENNTED DENTED DENTED ON ON THE ARCHITECT DENTED DENTED DENTED DENTED DENTED DENTED DENTED DENTED <	Architects & Planners, L.L.C. 640 Clinton Avenue Bridgeport, CT 06605 Fax: 203-696-0653 Fax: 203-696-1149 E-Mail: Ircoss@sbcglobal.net
REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT CONSTRUCTION DOCUMENT PRINTED 09-07-2023	A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION
REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT CONSTRUCTION DOCUMENT PRINTED 09-07-2023	
DOCUMENT PRINTED 09-01-2023	REFER ALL QUESTIONS AND CLARIFICATIONS TO
RENOVATION OF A SINGLE-FAMILY RESIDENCE Q4 GASPEE ROAD BRIDGEPORT, CONNECTICUT FLOOR PLANS, DETAILS & NOTES SCALE SCALED AS NOTED REVISIONS NO DATE DESCRIPTION 1 3-22-2024	DOCUMENT PRINTED
RENOVATION OF A SINGLE-FAMILY RESIDENCE Q4 GASPEE ROAD BRIDGEPORT, CONNECTICUT FLOOR PLANS, DETAILS & NOTES SCALE SCALED AS NOTED REVISIONS NO DATE DESCRIPTION 1 3-22-2024	CONNECCON BODRIOL CON BODRIOL CON
OF A SINGLE-FAMILY RESIDENCE 24 GASPEE ROAD BRIDGEPORT, CONNECTICUT FLOOR PLANS, DETAILS & NOTES	(SEAL)
BRIDGEPORT, CONNECTICUT FLOOR PLANS, DETAILS & NOTES SCALE: SCALED AS NOTED REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023	OF A SINGLE-FAMILY
SCALE: SCALE AS NOTED SCALE: SCALE AS NOTED REVISIONS REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023	
REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023	DETAILS
	REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023

A-3.0



DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE

2. ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL ASPECTS OF THE PROJECT. COORDINATE ALL NOTED REQUIREMENTS WITH ALL NEW WORK.

WHENEVER A PRODUCT AND OR MATERIAL IS LISTED BY NAME AND IS LABELED AS NO SUBSTITUTION THE CONTRACTOR SHALL PROVIDE THE PRO-DUCT AND OR MATERIAL INDICATED. WHENEVER A MATERIAL AND OR PRODUCT IS LISTED WITHOUT THE NO SUBSTITUTION LABEL ANY REQUEST FOR SUSBTITUTION SHALL BE A 100% MATCH OR SHALL EXCEED THE LIS-TED MATERIAL AND OR PRODUCT. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE ALL MATERIALS AND DATA REQUIRED TO EVALUATE THE PROPOSED SUBSTITUTION. IT MUST BE NOTED THAT THE SUB-MISSION OF A MATERIAL AND OR PRODUCT FOR CONSIDERATION AS A SUBSTITUTION SHALL NOT BE UNDERSTOOD AS AN APPROVAL, PRELIMINA-RY OR OTHERWISE OF SAID MATERIAL AND OR PRODUCT PRIOR TO FULL EVALUATION AND APPROVAL BY THE ARCHITECT AND THE OWNER AT THEIR SOLE DISCRETION. ALL APPROVEED SUBSTITUTIONS SHALL BE DONE IN WRITTING. FAILURE BY THE CONTRACTOR TO SUBMIT THE REQUIRED DATA AND INFORMATION WILL RESULT IN THE DISQUALIFICATION OF THE REQUES-TED SUBSTITUTION. ADDITIONALLY, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO SECURE THAT ANY APPROVED SUBSTITUTION FOR ANY MATERIAL AND OR PRODUCT WILL NOT POSE A CONFLICT WITH ANY OTHER ADJACENT AND OR ABUTTING MATERIAL AND OR PRODUCT. TYPICAL AT ALL LOCATIONS UNDER ALL CONDITIONS FOR THE ENTIRE DURATION OF

4. THE CONTRACTOR SHALL PROVIDE ALL SUBMITTLAS, AS REQUESTED AND AS NOTED. THE ARCHITEC MAY WAIVE AND OR ALTER ANY SUBMITTAL REQUI-REMENT AT HIS SOLE DISCRETION OR MAY REQUIRE ADDITIONAL INFORMA-TION BASED ON SUBMITTED AND OR REQUESTED INFORMATION. THE CON-TRACTOR SHALL PROVIDE A MINIMUM OF 3 COPIES OF EACH SUBMITTAL TO THE ARCHITECT. THE CONTRACTOR MAY SUBMIT ALL SUBMITTALS DIGITALLY ON A PDF FORMAT IF PRE-APPROVED BY THE ARCHITECT. THE CONTRACTOR SHALL SUBMIT ACTUAL SAMPLES AND COLOR PALLETS FOR ANY AND ALL ITEMS, ACCESSORIES AND OR COMPONENTS REQUIRING A COLOR SELECTION. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE ALL SUBMITTALS IN A TIMELY MANNER TO AVOID ANY DELAYS IN REVIEW, APPRO-VAL AND CONSTRUCTION. THE SUBMISSION OF A SUBMITTAL DOES NOT CONS-TITUTE AN APPROVAL. ALL APPROVALS SHALL BE DONE IN WRITING. TYPICAL

THE LIST OF SUBMITTALS BELOW IS NOT IN ANY SPECIFIC ORDER. IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO PRIORITIZE THE REQUIRED SUBMITTALS IN ORDER TO AVOID ANY DELAYS IN REVIEW AND APPROVAL. THE LIST OF SUBMITTALS BELOW IS NOT A FULL REFLECTION OF ALL THE REQUIRED SUBMITTALS. IT SHALL BE THE CONTRACTORS SOLE RESPONSI-BILITY TO PROVIDE ALL REQUIRED SUBMITTALS IN FULL COMPLIANCE WITH THE DOCUMENTS. THE CONTRACTOR SHALL PROVIDE FULL AND COMPRE-HENSIVE SUBMITTALS FOR ALL THE FOLLOWING ITEMS:

ALL MATERIAL DATA SHEETS

SURFACE PREPARATION MATERIALS

GYPSUM WALL BOARD AND ACCESSORIES

WINDOWS AND WINDOW HARDWARE (NEW AND REPLACEMENT ONLY) DOORS AND FRAMES (NEW AND REPLACEMENT ONLY) DOOR HARDWARE AND KEYING (NEW AND REPLACEMENT ONLY)

ALL FLASHING MATERIALS FOR ALL COMPONENTS

PLASTIC LAMINATE OR COUNTERTOP MATERIAL

ALL DIMENSIONAL LUMBER, INCLUDING LAYERED MATERIALS

BLOCKING MATERIAL AND SCHEDULE FAILURE BY THE CONTRACTOR TO PROVIDE ANY REQUIRED INFORMATION IN A TIMELY MANNER OR OTHERWISE, SHALL NOT PROVIDE A REASON TO DELAY THE DELIVERY OF THE PROJECT TO THE OWNER. TYPICAL UNDER

6. PROVIDE SURFACE PREPARATION FOR ALL EXTERIOR AND INTERIOR, NEW AND EXISTING ITEMS, COMPONENTS AND ACCESSORIES, SCHEDULED TO RE-CEIVE NEW FINISHES AT ALL LOCATIONS. SURFACE PREPARATION SHALL BE IN FULL COORDINATION AND COMPLIANCE WITH EACH INDIVIDUAL AND RESPECTIVE SCHEDULED FINISHED MATERIAL AND OR PRODUCT MANUFAC-TURER'S REQUIREMENTS AND OR SITE SPECIFIC RECOMMENDATIONS. TYPI-CAL UNDER ALL CONDITIONS AT ALL LOCATIONS.

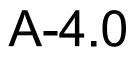
7. PROVIDE SURFACE PREPARATION FOR ALL FLOOR SURFACES AT ALL LOCATIONS. SURFACE PREPARATION SHALL BE IN FULL COORDINATION AND COMPLIANCE WITH EACH INDIVIDUAL RESPECTIVE FINISHED MATE-RIAL AND OR PRODUCT MANUFACTURER'S REQUIREMENTS AND OR SITE SPECIFIC RECOMMENDATIONS. PROVIDE LEVELING MATERIALS AS REQUI-RED AND OR RECOMMENDED. TYPICAL AT ALL LOCATIONS FOR ALL

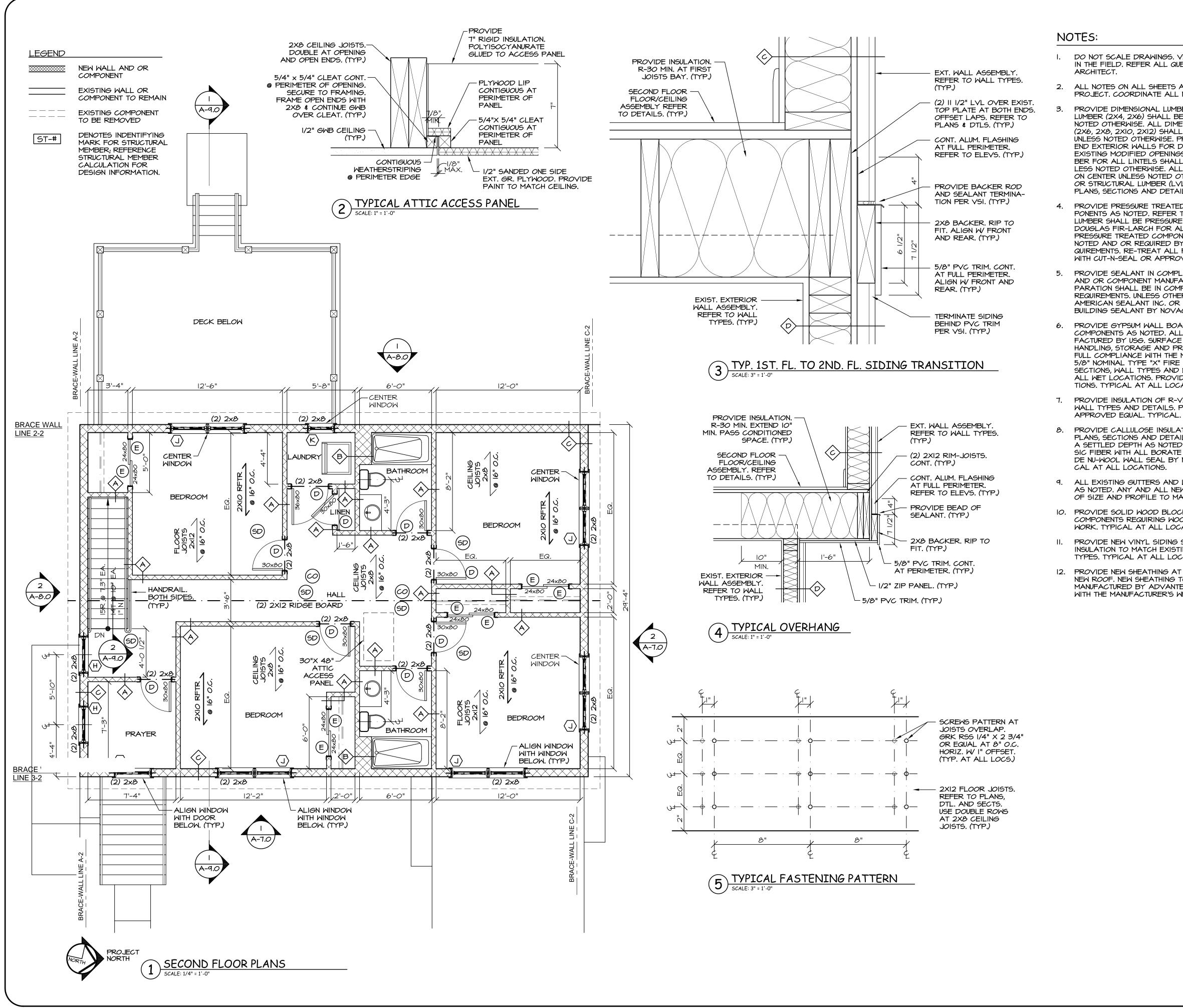
8. THE CONTRACTOR SHALL PROVIDE THE INITIAL CLEANING FOR ALL FINISHED MATERIALS, ACCESSORIES AND COMPONENTS FOR THE ENTIRE PROJECT IN FULL COMPLIANCE WITH EACH RESPECTIVE MANUFACTURER'S REQUIRE-MENTS AND SITE SPECIFIC RECOMMENDATIONS. THE CONTRACTOR SHALL PROVIDE WRITTEN CLEANING AND MAINTENANCE INSTRUCTIONS FOR ALL FINISHED MATERIALS, ACCESSORIES AND COMPONENTS TO THE OWNER. WRITTEN INSTRUCTIONS SHALL INCLUDE ALL ALLOWABLE CLEANING MATE-RIALS AND PRODUCTS AS WELL AS RECOMMENDATIONS RELATED TO THE CLEANING INTERVALS FOR EACH SPECIFIC FINISHED MATERIAL, ACCESSO-



Architects & Planners, L.L.C. 640 Clinton Avenue Bridgeport, CT 06605 Fax: 203-696-0653 Fax: 203-696-1149 E-Mail: Ircoss@sbcglobal.net	
THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.	
DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT	
CONSTRUCTION DOCUMENT PRINTED 09-01-2023	
HO RODRIGUE OC	
(SEAL)	/
RENOVATION OF A SINGLE-FAMILY RESIDENCE	
24 GASPEE ROAD BRIDGEPORT, CONNECTICUT	
FLOOR PLANS, DETAILS & NOTES	
SCALE: SCALED AS NOTED	_
REVISIONS No. DATE DESCRIPTION 1 3-22-2024 R.O. COMMENTS - 9-18-2023	
1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024	
DATE: SEPTEMBER 1, 2023	_

Rodriguez Associates





DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND ALL CONDITIONS IN THE FIELD. REFER ALL QUESTIONS AND OR CLARIFICATIONS TO THE

2. ALL NOTES ON ALL SHEETS ARE APPLICABLE TO ALL ASPECTS OF THE PROJECT. COORDINATE ALL NOTED REQUIREMENTS WITH ALL NEW WORK.

PROVIDE DIMENSIONAL LUMBER. REFER TO WALL TYPES. ALL DIMENSIONAL LUMBER (2X4, 2X6) SHALL BE No. I DOUGLAS FIR-LARCH OR BETTER UNLESS NOTED OTHERWISE. ALL DIMENSIONAL LUMBER FOR HORIZONTAL FRAMING (2X6, 2X8, 2X10, 2X12) SHALL BE SS DOUGLAS FIR-LARCH OR BETTER UNLESS NOTED OTHERWISE. PROVIDE LINTELS AT ALL OPENINGS AT INTERIOR END EXTERIOR WALLS FOR DOORS AND WINDOWS FOR NEW OPENINGS AND EXISTING MODIFIED OPENINGS. REFER TO DETAILS. ALL DIMENSIONAL LUM-BER FOR ALL LINTELS SHALL BE SS DOUGLAS FIR-LARCH OR BETTER UN-LESS NOTED OTHERWISE. ALL STUD WALLS SHALL BE FRAMED AT 16 INCHES ON CENTER UNLESS NOTED OTHERWISE.ANY AND ALL OTHER FRAMING AND OR STRUCTURAL LUMBER (LVL, PSL)SHALL BE OF SIZES NOTED. REFER TO PLANS, SECTIONS AND DETAILS. TYP. AT ALL LOCS. FOR ALL CONDITIONS.

4. PROVIDE PRESSURE TREATED LUMBER FOR ALL EXTERIOR DECK COM-PONENTS AS NOTED. REFER TO PLANS SECTIONS AND DETAILS. ALL LUMBER SHALL BE PRESSURE TREATED AND CONSISTANT WITH NO. I DOUGLAS FIR-LARCH FOR ALL COMPONENTS. ALL FASTENERS FOR ALL PRESSURE TREATED COMPONENTS SHALL BE STAINLESS STEEL OR AS NOTED AND OR REQUIRED BY EACH COMPONENT MANUFACTURER'S RE-QUIREMENTS. RE-TREAT ALL FIELD CUTS, NOTCHES, BORE HOLES, ETC. WITH CUT-N-SEAL OR APPROVED EQUAL. TYPICAL AT ALL LOCATIONS.

5. PROVIDE SEALANT IN COMPLIANCE WITH EACH RESPECTIVE MATERIAL AND OR COMPONENT MANUFACTURER'S REQUIREMENTS. SRUFACE PRE-PARATION SHALL BE IN COMPLIANCE WITH THE SELANT MANUFACTURER'S REQUIREMENTS. UNLESS OTHERWISE REQUIRED PROVIDE ASI 502 BY AMERICAN SEALANT INC. OR NOVAFLEX MIOO TYPE 2 GLAZING AND BUILDING SEALANT BY NOVAGUARD SOLUTIONS. TYPICAL

6. PROVIDE GYPSUM WALL BOARD AT ALL WALLS, CEILINGS AND RELATED COMPONENTS AS NOTED. ALL GYPSUM WALL BOARD SHALL BE AS MANU-FACTURED BY USG. SURFACE PREPARATION, INSTALLATION, METERIAL HANDLING, STORAGE AND PROTECTION OF FINISHED WORK SHALL BE IN FULL COMPLIANCE WITH THE MANUFACTURER'S REQUIREMENTS. PROVIDE 5/8" NOMINAL TYPE "X" FIRE RATED GWB AS NOTED. REFER TO PLANS, SECTIONS, WALL TYPES AND DETAILS. PROVIDE WATERPROOFED GWB AT ALL WET LOCATIONS. PROVIDE I/2" NOMINAL GWB AT ALL OTHER LOCA-TIONS. TYPICAL AT ALL LOCATIONS.

7. PROVIDE INSULATION OF R-VALUES AS NOTED. REFER TO PLANS, SECTIONS, WALL TYPES AND DETAILS. PROVIDE INSULATION BY OWENS CORNING OR APPROVED EQUAL. TYPICAL.

8. PROVIDE CALLULOSE INSULATION AT ATTIC SPACES AS NOTED. REFER TO PLANS, SECTIONS AND DETAILS. APPLICATION SHALL BE LOOSE LAID TO A SETTLED DEPTH AS NOTED. CELLULOSE INSULATION SHALL BE CELLULO-SIC FIBER WITH ALL BORATE FIRE RETARDANT, CLASS I MATERIAL. PROVI-DE NU-WOOL WALL SEAL BY NATIONAL FIBER OR APPROVED EQUAL. TYPI-CAL AT ALL LOCATIONS.

9. ALL EXISTING GUTTERS AND LEADERS SHALL REMAIN. ADJUST AND MODIFY AS NOTED. ANY AND ALL NEW GUTTERS AND LEADERS SHALL BE ALUMINUM OF SIZE AND PROFILE TO MATCH EXISTING. TYPICAL AT ALL LOCS.

10. PROVIDE SOLID WOOD BLOCKING FOR ANY AND ALL ACCESSORIES AND COMPONENTS REQUIRING WOOD BLOCKING. COORDINATE WITH ALL NEW WORK. TYPICAL AT ALL LOCATIONS FOR ALL CONDITIONS.

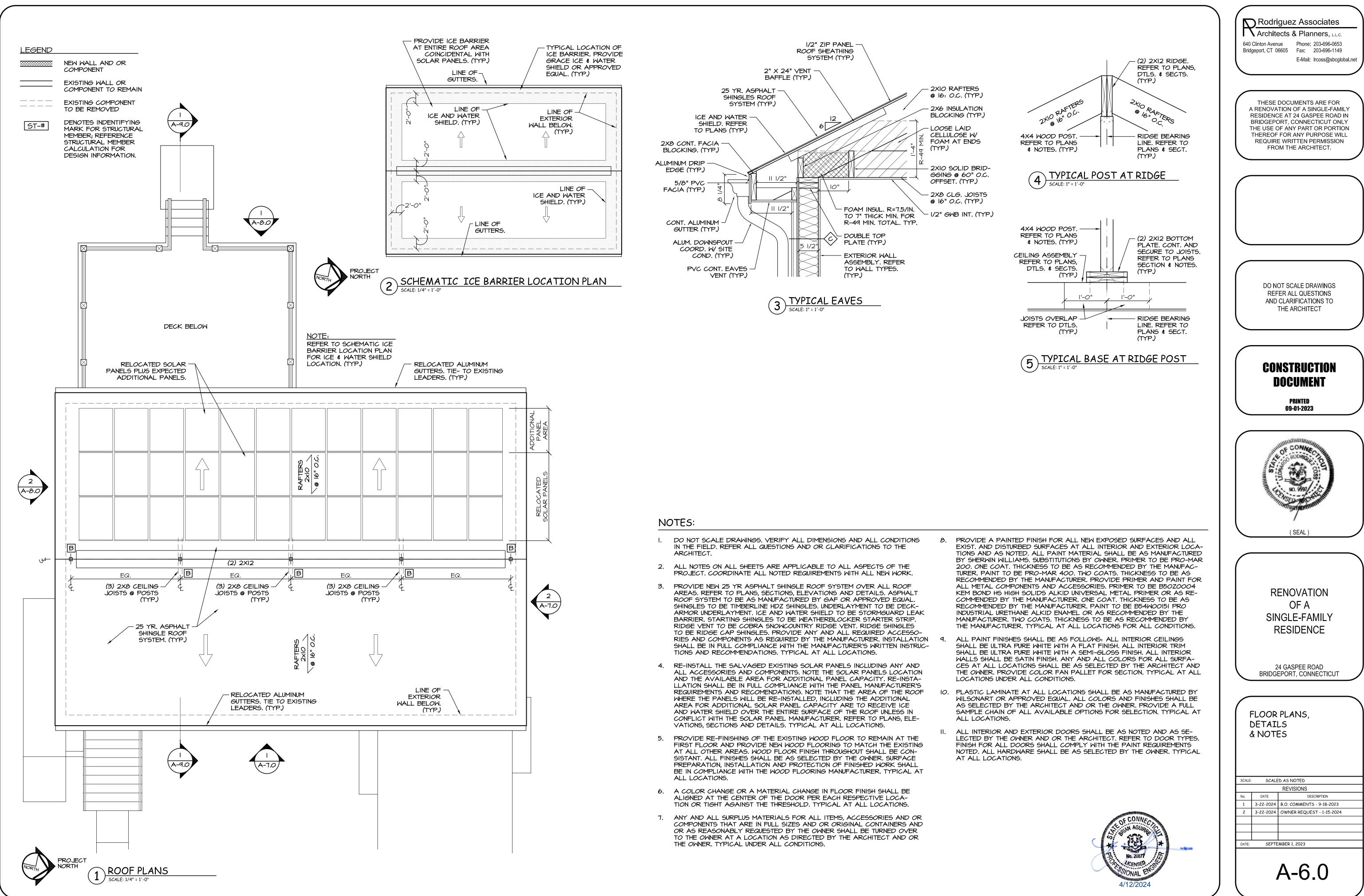
II. PROVIDE NEW VINYL SIDING SYSTEM TO MATCH EXISTING. PROVIDE RIGID INSULATION TO MATCH EXISTING. REFER TO PLAMS, SECTIONS AND WALL TYPES. TYPICAL AT ALL LOCATIONS.

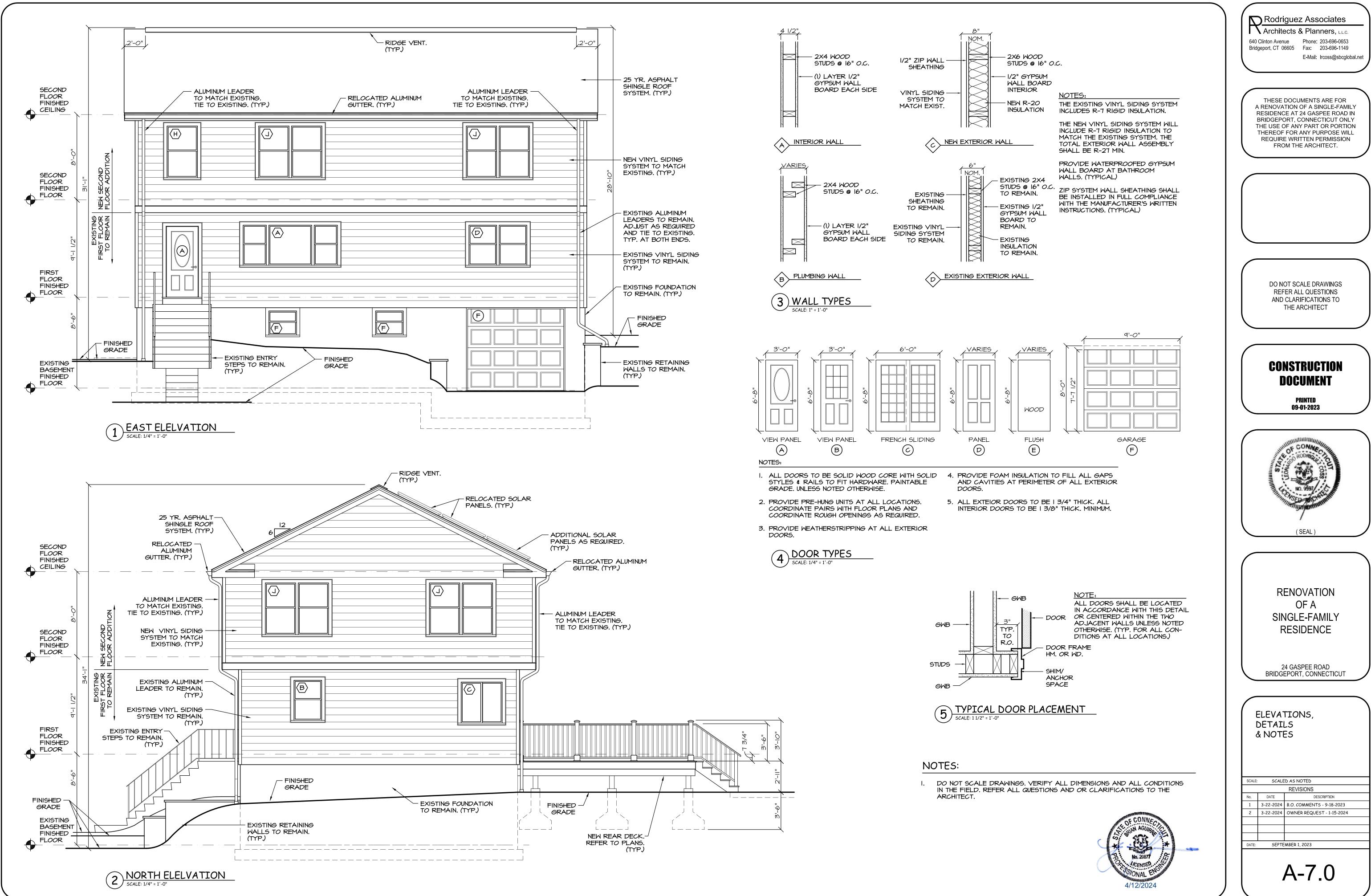
12. PROVIDE NEW SHEATHING AT NEW SECOND FLOOR EXTERIOR WALLS AND NEW ROOF. NEW SHEATHING TO BE 1/2" ZIP SYSTEM WALL SHEATHING AS MANUFACTURED BY ADVANTECH. INSTALLATION SHALL BE IN COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. TYPICAL.

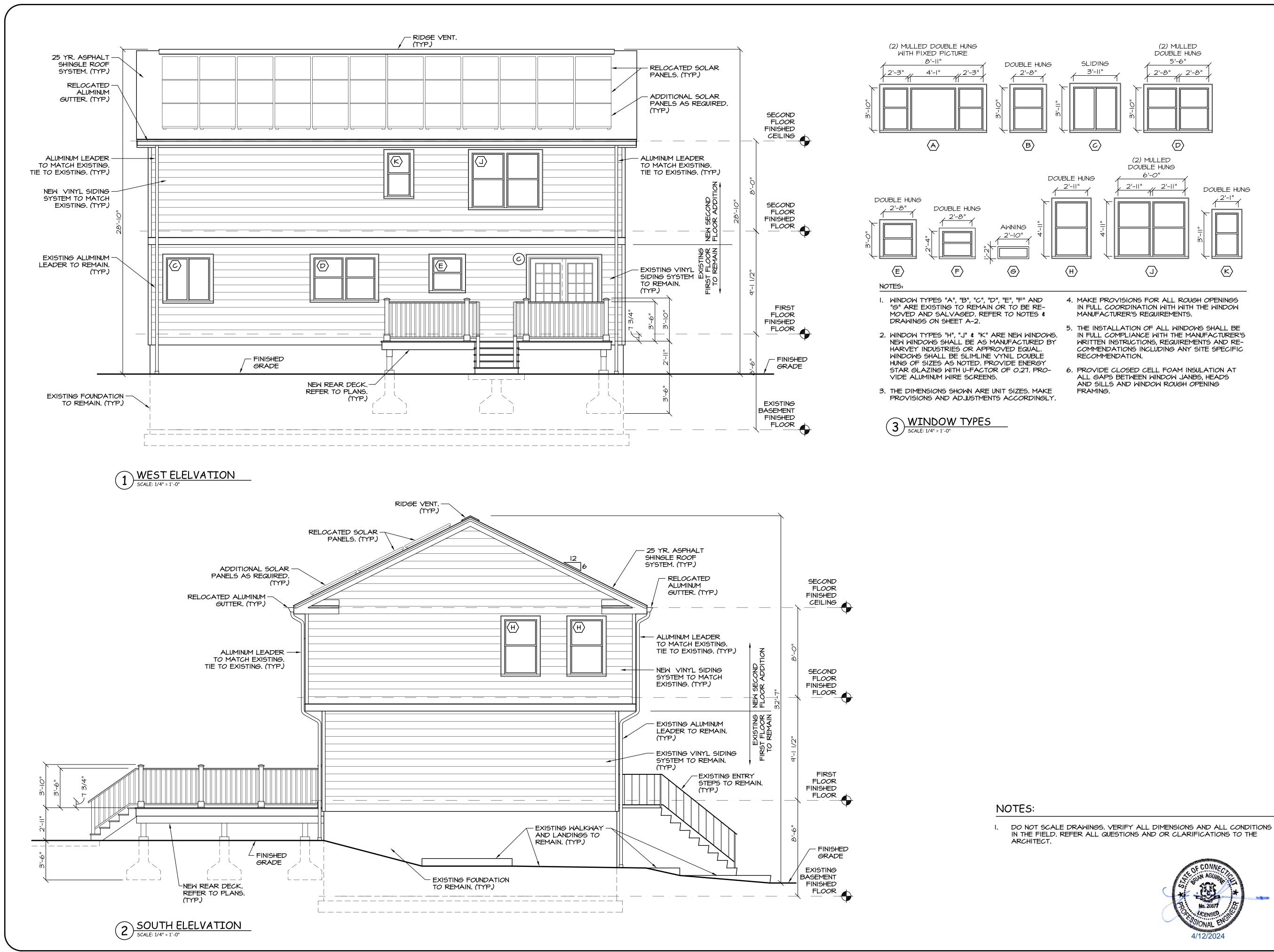


	Rodriguez Associates
	Architects & Planners, L.L.C.40 Clinton AvenuePhone: 203-696-0653
В	ridgeport, CT 06605 Fax: 203-696-1149 E-Mail: Ircoss@sbcglobal.net
$\overline{\ }$	
$\left(\right)$	THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY
	RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY
	THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL
	REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.
$\left(\right)$	
	DO NOT SCALE DRAWINGS
	REFER ALL QUESTIONS AND CLARIFICATIONS TO
	THE ARCHITECT
	CONSTRUCTION
	DOCUMENT
	PRINTED
	09-01-2023
/	
•	UNITE CONNE
	A SORODAIGUE
	500
	AND
	Thurnantent
	(SEAL)
	(JEAL)
/	
	RENOVATION
	OF A
	SINGLE-FAMILY
	RESIDENCE
	24 GASPEE ROAD BRIDGEPORT, CONNECTICUT
/	
r	FLOOR PLANS,
	DETAILS & NOTES
	a nu iej
	ALE: SCALED AS NOTED
SC/	REVISIONS
SC/ No.	REVISIONS DATE DESCRIPTION 3-22-2024 B.O. COMMENTS - 9-18-2023
No.	DATE DESCRIPTION
No. 1	DATE DESCRIPTION 3-22-2024 B.O. COMMENTS - 9-18-2023
No. 1	DATE DESCRIPTION 3-22-2024 B.O. COMMENTS - 9-18-2023 3-22-2024 OWNER REQUEST - 1-15-2024

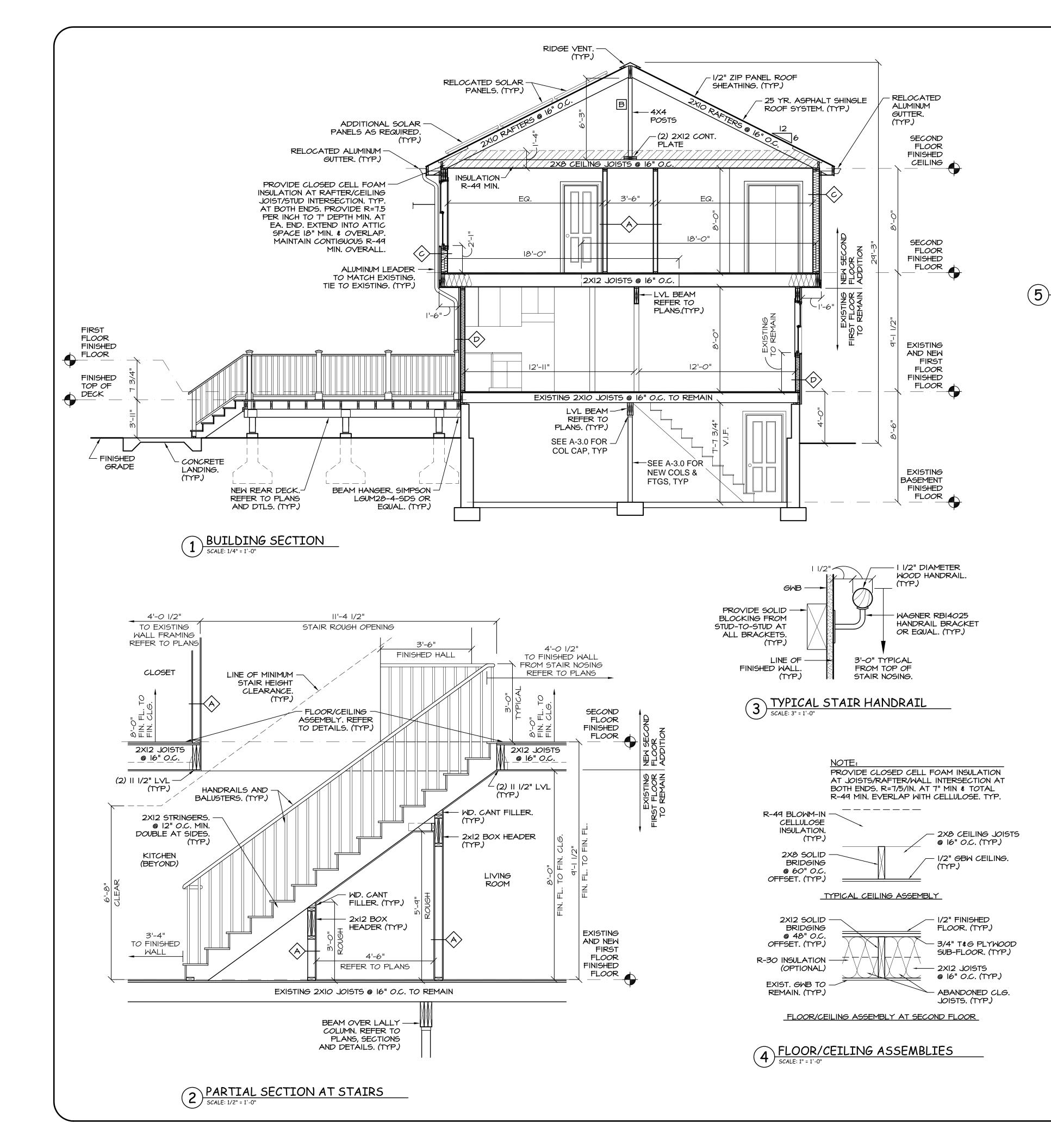
A-5.0

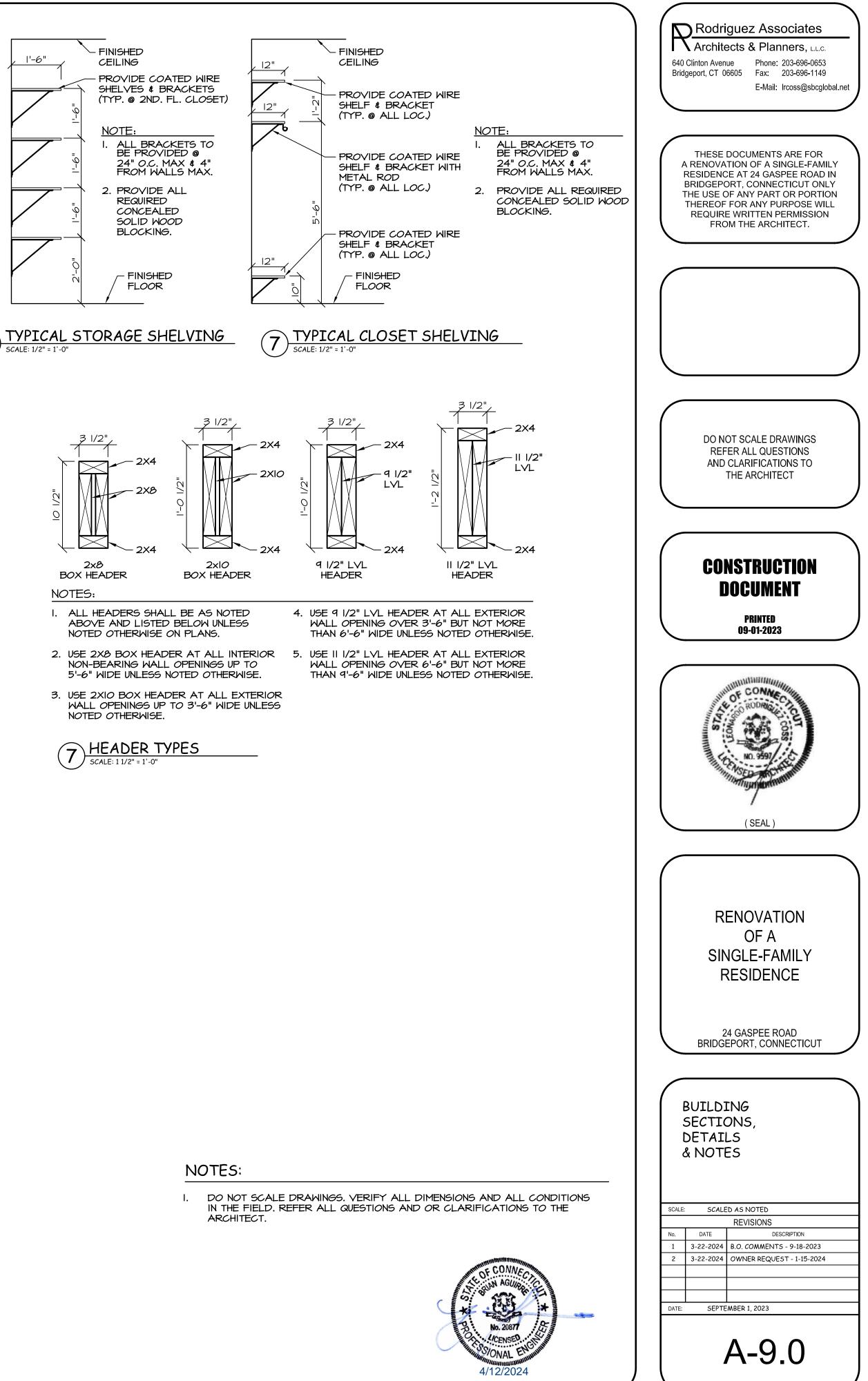


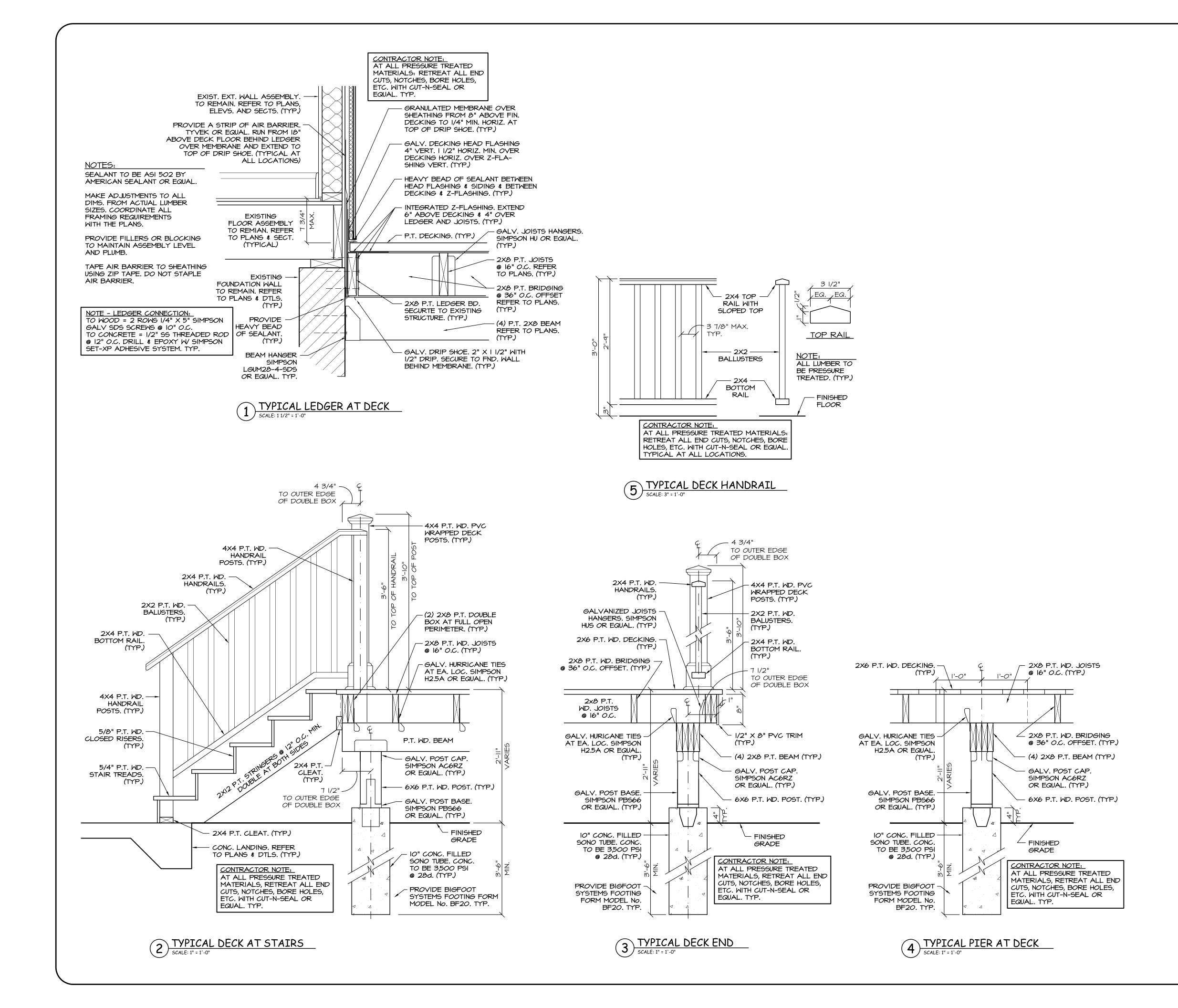




	Rodriguez Associates
	Architects & Planners, L.L.C. 640 Clinton Avenue Bridgeport, CT 06605 Fax: 203-696-1149 E-Mail: Ircoss@sbcglobal.net
	THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.
	DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT
	CONSTRUCTION DOCUMENT PRINTED 09-01-2023
	NO. 9597
((SEAL)
	RENOVATION OF A SINGLE-FAMILY RESIDENCE
	24 GASPEE ROAD BRIDGEPORT, CONNECTICUT
	ELEVATIONS, DETAILS & NOTES
N	CALE: SCALED AS NOTED REVISIONS 0. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024 2 3-22-2024 OWNER REQUEST - 1-15-2024 4 ATE: SEPTEMBER 1, 2023
	A-8.0







	Rodriguez Associates
	Architects & Planners, LL.C.
	640 Clinton Avenue Phone: 203-696-0653 Bridgeport, CT 06605 Fax: 203-696-1149
	E-Mail: Ircoss@sbcglobal.net
	THESE DOCUMENTS ARE FOR
	A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN
	BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION
	THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION
	FROM THE ARCHITECT.
	()
	\frown
	DO NOT SCALE DRAWINGS
	REFER ALL QUESTIONS
	AND CLARIFICATIONS TO THE ARCHITECT
	CONSTRUCTION
	DOCUMENT
	PRINTED
	09-01-2023
	authininininininini
	NUMOF CONNECT
	NO. 9597
	THINKS ED THE COMMENT
	7
	(SEAL)
	RENOVATION
	SINGLE-FAMILY
	RESIDENCE
	24 GASPEE ROAD
	BRIDGEPORT, CONNECTICUT
	DETAILS
	& NOTES
	SCALE: SCALED AS NOTED
	REVISIONS No. DATE DESCRIPTION
	1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024
	DATE: SEPTEMBER 1, 2023
	A-10.0
1	ι /



AB ABV AC ACI ACI ADJ ADJL AHU AFF ALT ANCH ANSI ALUM APPF ARCH (ASD) ASTM	AIR HANDLING UNIT ABOVE FINISH FLOOR ALTERNATE H ANCHOR AMERICAN NATIONAL STANDARDS INSTITUTE A ALUMINUM ROX APPROXIMATE H ARCHITECT) ALLOWABLE STRESS DESIGN
BD BLDG BLK BLKG BLW BM BN BOD BOT, BRG BTWN BU BW BYND	BLOCK BLOCKING BELOW BEAM BOUNDARY NAIL BASIS OF DESIGN B/ BOTTOM BEARING N BETWEEN BUILT-UP BRACE-WALL
C CANT CDR CF CB CFS CIP CGL CJ CLG CLR COL CONT CONT COOF COOF COOF COOF COOF COOF COOF COO	CEDAR WOOD CONCRETE FILL CARRIAGE BOLT COLD-FORMED STEEL CAST-IN-PLACE CERTIFIED GLUED LAM CONTROL JOINT CENTER LINE COMPLETE JOINT PENETRATION CEILING CLEAR COLUMN COLLECTOR CONCRETE N CONNECTION T CONTINUOUS RD COORDINATE RD COORDINATION CONCRETE MASONRY UNIT COUNTERSINK
DBA DBL DCW DEMC DTL DF- DF-L DIA DIAG DIM DJ DL DN DO DWG DWL	D DEMOLITION DETAIL DOUGLAS FIR DOUGLAS FIR LARCH DIAMETER
EA EE EF ELEC ELEV ELEV EMB EMBE EQ EQUII ES EW (E) EXIST EXP EXTE	EACH EACH END EACH FACE ELECTRICAL ELEVATION POINT ELEVATION ELEVATOR EMBEDMENT EQUAL P EQUIPMENT EACH SIDE EACH WAY EXISTING T EXISTING EXPANSION EXTERIOR
FLBM FDN FIN FG FH FIX FL FLI FLI FLR FN FOF FOF FOF FOF FOS FP FRM FRP FRT FS FT FTG FY	FOUNDATION FINISH FINISH GRADE FIRE HYDRANT FIXTURE FLOOR FERRULE LOOP INSERT FLOOR FACE NAIL FIRE-RATED / FIRE-RESISTANT FACTORY MUTUAL FACE OF FACE OF FINISH FACE OF FINISH FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FIRE PROTECTION G FRAMING FIBER-REINFORCED POLYMER FIRE RETARDANT TREATED / FLAME RETARDANT TREATED FAR SIDE FOOT / FEET FOOTING YIELD STRENGTH
GA GALV GB	GAGE / GAUGE / GALVANIZED GRADE BEAM

ABBREVIATIONS

	ADDREVIATIONS			
GLAZ GLB GR	GLAZING GLUED-LAMINATED BEAM GRADE	R	HSMS O WD	ROUND HEA ROUGH OPE REDWOOD
GSM GWB GYP	GALVANIZED SHEET METAL GYPSUM WALL BOARD GYPSUM	S S/	٩D	AMERICAN S SEE ARCHIT SOLID BLOC
ID IDG IDR IDWR IGR IGR IGR IGR ISB ISFB ISFB ISFB ISFB ISFB ISF ISF ISF ISF ISF ISF ISF ISF ISF ISF	HOLD-DOWN HOT-DIP GALVANIZED HEADER HARDWARE HANGER HOOK HOLLOW METAL HORIZONTAL HIGH POINT HIGH STRENGTH HIGH STRENGTH BOLT HIGH STRENGTH FRICTION BOLT HIGH STRENGTH GROUT HORIZONTAL SLOTTED HOLE HOLLOW STRUCTURAL SECTION HEIGHT HEATING, VENTILATION, AND AIR CONDITIONING	S S S S S S S S S S S S S S S S S S S	C CBF CD ED ED ER EOR F FPD FRS HTG MS KYLT L PR MF MS MD	SLIP CRITIC, SPECIAL CO SEE CIVIL DI SCHEDULE SEE ELECTF STRUCTURA STRUCTURA SQUARE FEI SEE FIRE PF SEISMIC FOI SHEATHING SIMILAR SKYLIGHT SLOPE(D) SLEEPER PL SPECIAL MC SHEET META SEE MECHA
BC RC CC CBO F NSUL NT J NT J ST	INTERNATIONAL BUILDING CODE INTERNATIONAL RESIDENTIAL CODE INTERNATIONAL CODE COUNCIL INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS INSIDE DIAMETER INSIDE FACE INSULATION INTERIOR I-SHAPED JOIST INTERIOR JACK or JACK POST JOIST		S	
(((P	KING or KING POST KIP(S) KING POST	S	W YM YP X	SHEAR WAL SYMMETRIC SOUTHER Y SECTION MC
B B FRS GMF GMFC L LH LV OC P LRFD) S SL .VL	STEEL ANGLE POUND LATERAL BRACE / LATERAL BRACING LATERAL-FORCE RESISTING SYSTEM LIGHT-GAGE METAL FRAMING LIGHT-GAGE METAL FRAMING CONTRACTOR LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LOCATION LOW POINT LOAD AND RESISTANCE FACTOR DESIGN LAG SCREW LAMINATED STRAND LUMBER LAMINATED VENEER LUMBER	5 T T T T T T T T T T T T T T T T T T T	N DC DF DF DF DM DP DS DT	TOP AND BO TONGUE AN THICK THREADED THROUGH TOTAL LOAD TOE NAIL TOP OF CON TOP OF FINI TOP OF FLO TOP OF FRA TOP OF PLY TOP OF STE TOTAL
AAT'L AAX AB ABM AC AECH AECH AEZZ AF AFR AIN AISC AIW	MATERIAL MAXIMUM MACHINE BOLT METAL BUILDING MANUFACTURER MISCELLANEOUS C-CHANNEL MECHANICAL MECHANICAL, ELECTRICAL AND PLUMBING MEZZANINE MOMENT FRAME MANUFACTURER MINIMUM MISCELLANEOUS MALLEABLE IRON WASHER		YP FC L NO ON ERT IF SH , //	TILT-UP TYPICAL UNIFIED FAC UNDERWIRT UNLESS NOT UNLESS OTH VERTICAL VERTICAL S WIDE FLANC WITH
ATL N) I/A IIC IO IS ISG ITS D/ DC DD D.A.	METAL NEW NOT APPLICABLE NOT IN CONTRACT NUMBER NEAR SIDE NON-SHRINK GROUT NOT TO SCALE OVER ON CENTER OUTSIDE DIAMETER OUTSIDE DIAMETER OUTSIDE FACE		1/0 /D /HS /LD /P /R /RB	WITHIN WITHOUT WOOD WELDED HE WELDED WATER PRC WORK POIN WATER RES WEATHER R WOOD SCRE WEIGHT WELDED TH WELDED WII WOOD STRU
DH DPNG DPEN'G DPP DVS DW DWT	OPPOSITE HAND OPENING OPENING OPPOSITE OVERSIZED OTHERWISE OPEN-WEB TRUSS	@ & # # Ø	2	AT / EVERY AND NUMBER POUND DIAMETER
PA PAF PDP PEN PERP PES PJP PL PL PL PL PL PL PL PL PL PL PL PL PL	POST ABOVE POWDER ACTUATED FASTENER POWDER DRIVEN PIN PANEL EDGE NAIL PERPENDICULAR PANEL EDGE SCREW PARTIAL-JOINT PENETRATION PLATE PROPERTY LINE PLYWOOD POUNDS PER LINEAR FOOT PANEL PREFABRICATED POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PARALLEL STRAND LUMBER PANEL TIE BAR PRESSURE TREATED POINT			
R RBS RCSC RFTR REF REINF REQ'D RET REV RF	RADIUS REDUCED BEAM SECTION RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS RAFTER RAFTER REFERENCED REINFORCED REQUIRED RETAINING REVISION ROOF			

STRUCTURAL DESIGN BASIS AND NOTES

HEAD SHEET METAL SCREW OPENING	1. DESIGN BASIS	5. <u>MAS</u>	SONRY NOTES
DD	1.1. THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2022 CONNECTICUT STATE BUILDING CODE (2022 CT CODE) WHICH INCLUDES THE FOLLOWING STANDARDS:		ALL WORK TO CONFOR REQUIREMENTS FOR M
AN STANDARD BEAM CHITECTURAL DRAWINGS LOCK	1.1.1. THE ICC 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE (IRC 2021) PORTION OF THE 2022 CT CODE.		EDITION) AND "SPECIFIC EDITION/ASCE 6-LATES
TICAL CONCENTRIC BRACED FRAME L DRAWINGS LE	1.1.2. THE AMERICAN SOCIETY OF CIVIL ENGINEERS SEI/ASCE 7 (LATEST EDITION) "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES".		MINIMUM NET AREA CO 28 DAYS. MINIMUM NET
CTRICAL DRAWINGS URAL ENGINEER OF RECORD	1.2. LIVE LOADS 1.2.1. 1ST FLOOR COMMON AREAS = 40 PSF		ALL CONCRETE MASON BOND PATTERN.
URAL ENGINEER OF RECORD FEET E PROTECTION DRAWINGS	 1.2.2. SLEEPING AREAS = 30 PSF 1.2.3. HABITABLE ATTICS = 30 PSF 1.2.4. UNINHABITABLE ATTICS WITH STORAGE = 20 PSF 		ALL MORTAR FOR CON ASTM C270-95.
FORCE RESISITING SYSTEM ING IT	 1.2.5. UNINHABITABLE ATTICS WITHOUT STORAGE = 10 PSF 1.3. WIND LOAD PARAMETERS: 1.3.1. BUILDING CATEGORY = II 		ALL GROUT FOR CONC MIXED IN ACCORDANCE STRENGTH OF 2,500 PS
)) R PLATE MOMENT FRAME 1ETAL SCREW	1.3.1.BOILDING CATEGORY = II1.3.2.BASIC WIND SPEED, V = 120 MPH (ULT) / 93 MPH (ASD)1.3.3.EXPOSURE CATEGORY = B1.3.4.IMPORTANCE FACTOR, IW = 1.0		ALL CONCRETE MASON DETAILS FOR VERTICAL MASONRY OPENINGS.
CHANICAL DRAWINGS I-GRADE	1.4. SNOW LOAD: 30 PSF (MINIMUM FLAT ROOF)	5.7.	ALL CELLS OF MASONF
PINE FIR G MBING DRAWINGS	2. <u>GENERAL NOTES</u>		GROUTING OF MASONF (ALTERNATE HIGH-LIFT
CATIONS	2.1. ALL WORK TO CONFORM TO REQUIREMENTS OF ALL PUBLICATIONS AND NOTES LISTED UNDER "DESIGN BASIS".	5.8.1. 5.8.2.	SEE TYPICAL DETA
STRUCTURAL SS STEEL UCTURAL DRAWINGS	2.2. DO NOT SCALE DRAWINGS.2.3. CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY UPON DISCOVERY		WITHOUT PRIOR A EXCEEDING 5 FEET PROVIDED AT THE
RED RD	OF CONFLICTS IN THE DRAWINGS.	5.9.	GROUT POURS EXCEEL
URAL VALL RICAL	2.4. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND ALL DIMENSIONS IN FIELD PRIOR TO START OF CONSTRUCTION AND PROTECT AND MAINTAIN ALL EXISTING CONSTRUCTION AND ITS CONTENTS IN FULL.	5.10.	RECONSOLIDATED BY I
R YELLOW PINE I MODULUS	2.5. THE CONTRACTOR SHALL MAINTAIN A SET OF LATEST BUILDING DEPARTMENT REVIEWED AND APPROVED DRAWINGS ON THE JOB SITE.	5.11.	(DEFORMED).
D BOTTOM AND GROOVE ED GH	2.6. THE NEW WORK SHOWN HAS BEEN DESIGNED TO BE STABLE AND SELF SUPPORTING AFTER THE CONSTRUCTION IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY FOR THE BUILDING'S STABILITY DURING CONSTRUCTION. THIS RESPONSIBILITY ALSO INCLUDES BUT IS NOT LIMITED TO METHOD AND SEQUENCE OF ERECTION, TEMPORARY SHORING AND	5.12.	DISCONTINUOUS AT CO STEEL TO RUN CONTIN ALL VERTICAL REINFOF (UON) USING VERTICAL
OAD L CONCRETE	TEMPORARY BRACING. 2.7. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY		DIAMETERS. ALL HORIZONTAL REINI
FINISH FLOOR	2.8. ALL SECTIONS, DETAILS, NOTES, DIMENSIONS AND CONDITIONS ARE APPLICABLE AT ANY		AT REINFORCED MASO MASONRY OVER OPEN
FRAMING MASONRY PLYWOOD	OTHER LOCATION WHERE CONDITIONS AND DETAILS ARE SIMILAR BUT ARE NOT SPECIFICALLY NOTED AS SUCH OR ARE NOT SHOWN.		DAYS FOR OPENINGS C
STEEL	2.9. ALL HOLES INTO MASONRY OR CONCRETE WALLS FOR PROPRIETARY ANCHORING SYSTEMS (EXPANSION BOLTS, ADHESIVE ANCHORING SYSTEMS, ETC.) TO BE DRILLED AND CLEANED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.	6.1.	ALL WORK TO CONFOR FOR WOOD CONSTRUC THE AMERICAN FORES
FACILITIES CRITERIA /IRTERS' LABORATORY	3. <u>FOUNDATION NOTES</u>		THE STANDARD WOOD
NOTED OTHERWISE OTHERWISE NOTED	 3.1. SOIL BEARING CAPACITY USED IN THE DESIGN OF FOUNDATIONS: 3.1.1. 2000 PSF (REF TABLE R401.4.1, PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIAL, ASSUMED CLASS SW,SP, SM, SC, GM AND GC). 		MINIMUM REQUIREMEN REQUIREMENTS ARE S FOR CONVENIENCE, FR
N FIELD AL SLOTTED HOLE	 3.2. ALL FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL HAVING MINIMUM BEARING CAPACITY AS INDICATED. 3.3. BOTTOMS OF ALL EXTERIOR FOOTINGS TO BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE 		ON THE DRAWINGS. EC SAME CAPACITY AND H BOLTING OF CONNECT BOLTS.
ANGE STEEL BEAM	UNLESS OTHERWISE NOTED. MATCH NEW BOTTOM OF FOOTING TO ADJACENT OR ABUTTING (E) FOOTING, TYPICALLY.	6.4.	NAILS WILL BE COMMO
) HEADED STUD	3.4. MAXIMUM SLOPE FOR BOTTOM OF FOOTINGS (OR BETWEEN BOTTOMS OF ADJACENT FOOTINGS) IS TO BE 1 VERTICAL TO 2 HORIZONTAL.	6.5.	MINIMUM FRAMING NAI MORE STRINGENT.
PROOF OINT RESISTANT RESISTANT BARRIER CREW	3.5. BACKFILLING SHALL PROCEED TO EQUAL HEIGHTS ON BOTH SIDES OF FOUNDATION WALLS TO PREVENT MOVEMENT DUE TO UNBALANCED EARTH PRESSURE. WHERE EARTH IS ON ONE SIDE OF WALL ONLY, BACKFILLING AND COMPACTION SHALL NOT START UNTIL FLOOR SLAB OR ADEQUATE BRACING IS PROVIDED FOR LATERAL SUPPORT AT TOP AND BOTTOM OF WALL.	6.6.	SILL BOLTS AT WOOD V ANCHORED OR AS SHO WALL CORNER & EA PL TYPICAL. EMBED BOLT
THREADED STUD	4. CONCRETE NOTES	6.7. 6.7.1.	DEFLECTION CRITERIA TOTAL LOAD = L / 2
WIRE REINFORCING TRUCTURAL PANEL RY	 4.1. ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE FOLLOWING PUBLICATIONS: 4.1.1. ACI "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318-LATEST EDITION) AND "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (ACI 315-LATEST EDITION). 4.1.2. "SPECIFICATION FOR WELDED STEEL WIRE FABRIC FOR CONCRETE REINFORCEMENT" 	6.7.2. 6.7.3. 6.7.4. 6.7.5.	ROOF LIVE LOAD = FLOOR LIVE LOAD = FLOOR LIVE LOAD =
R	(LATEST EDITION) BY THE WIRE REINFORCEMENT INSTITUTE, INC.	7. EXI§	
-	 4.2. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS: 4.2.1. 3000 PSI (NORMAL WEIGHT) 4.2.2. MAXIMUM SHUMP: 51 (31 AT SHOPING SHIPFACES) 	7.1.	ALL WORK NOT INDICA
	 4.2.2. MAXIMUM SLUMP: 5" (3" AT SLOPING SURFACES) 4.2.3. MAXIMUM WATER/CEMENT RATIO: 0.44 4.2.4. AIR ENTRAINMENT: 5% +/- 1% AT CONCRETE EXPOSED TO FREEZING. 4.2.5. PRIOR TO PLACING CONCRETE, MIX DESIGNS SHALL BE SUBMITTED FOR REVIEW. 		ANY REMOVAL, CUTTIN GREAT CARE. SMALL TO STRUCTURAL INTEGRIT
	 4.3. CONCRETE MIXTURE COMPONENTS SHALL CONFORM TO THE FOLLOWING: 4.3.1. CEMENT - ASTM C150, TYPE II 4.3.2. COURSE ACCREGATE - ASTM C22 (NORMAL WEIGHT) 		ELECTRICAL, OR ARCH WITH THE NEW WORK, PRIOR APPROVAL SHAI
	 4.3.2. COURSE AGGREGATE - ASTM C33 (NORMAL WEIGHT) 4.3.3. FINE AGGREGATE - ASTM C33 4.3.4. WATER - SHALL BE POTABLE WATER 4.3.5. ADMIXTURES 4.3.5.1. ASTM C260 AIR ENTRAINMENT 4.3.5.2. ASTM C618 POZZOLAN & FLY ASH 		DO NOT OVER CUT EXIS CUTS SHALL BE MADE REMOVE REMAINING M REPLACEMENT OF OVE ENGINEER.
	 4.3.5.3. ASTM C494 WATER REDUCING, RETARDING, ACCELERATION 4.3.6. ALL BAR REINFORCING FOR CONCRETE SHALL CONFORM TO ASTM A 615 GRADE 60 (DEFORMED). 		EXISTING DAMAGED ST TO THE ARCHITECT / EI
	4.4. UNLESS OTHERWISE SHOWN, LOCATE REINFORCING BARS WITH FOLLOWING CLEAR DIMENSION TO FACE OF CONCRETE:	7.5.	EXISTING CONCRETE S
	 4.4.1. CONCRETE ON GROUND: 3" CLEAR. 4.4.1.1. EXTERIOR EXPOSED SURFACES OR FORMED SURFACES IN CONTACT WITH EARTH: 4.4.1.1.1. 2" CLEAR FOR #6 AND GREATER 	7.6.	REMODELING REQUIRE MAY NOT BE VERIFIABL
	 4.4.1.1.1. 2" CLEAR FOR #6 AND GREATER 4.4.1.1.2. 1-1/2" CLEAR FOR #5 AND SMALLER 4.4.1.2. SLABS ON GRADE: 1" CLEAR FROM TOP OF SLAB 4.4.1.3. INTERIOR SURFACES: 4.4.1.3.1. BEAMS AND GIRDERS: 1-1/2" CLEAR 4.4.1.3.2. SLABS AND WALLS: 3/4" CLEAR 4.4.1.4. PIER / PILASTER / COLUMN TIES: 1-1/2" CLEAR 		MAY NOT BE VERIFIABL PORTIONS OF THE STR ADEQUACY OF THE STR ADDRESSED. THE STRI UNSATISFACTORY PER SPECIFICALLY ADDRES
	 4.4.1.5. CONCRETE ACCESSORIES MUST BE ADEQUATE TO MAINTAIN REINFORCING ACCURATELY IN PLACE AND BE NON-CORROSIVE, NON-STAINING TYPE. 4.4.1.6. LAP ALL BAR REINFORCING IN CONCRETE ELEMENTS 56 BAR DIAMETERS UNO. 		DIFFERENTIAL SETTLEI THE ADDITION FOUNDA

ORM TO THE REQUIREMENTS OF THE ACI/ASCE/TMS "BUILDING CODE R MASONRY STRUCTURES" (ACI 530-LATEST EDITION/ASCE 5-LATEST CIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-LATEST EST EDITION).

COMPRESSIVE STRENGTH OF CONCRETE MASONRY: F'M = 1500 PSI AT NET AREA COMPRESSIVE STRENGTH OF MASONRY UNIT = 1900 PSI

SONRY UNITS (CMU) IN WALLS ARE TO BE ARRANGED IN A RUNNING

ONCRETE MASONRY WALLS SHALL BE TYPE S IN ACCORDANCE WITH

NCRETE MASONRY WALLS AND LINTELS SHALL BE PROPORTIONED AND NCE WITH ASTM C476 AND SHALL HAVE A MINIMUM COMPRESSIVE PSI AT 28 DAYS.

SONRY WALLS SHALL BE REINFORCED AS SHOWN. SEE TYPICAL CAL AND HORIZONTAL BARS AT CORNERS, CONTROL JOINTS, AND S.

ONRY UNITS TO BE GROUTED SOLID.

DNRY UNITS MAY BE DONE BY THE LOW-LIFT METHODS OF GROUTING IFT GROUTING ALLOWED WITH ASSOCIATED REQUIREMENTS): JTING - MAXIMUM GROUT POUR HEIGHT SHALL NOT EXCEED FIVE FEET, ETAILS.

UTING - MAXIMUM GROUT POUR HEIGHT SHALL NOT EXCEED 12 FEET R APPROVAL; PLACE AND CONSOLIDATE GROUT IN LIFTS NOT EET. IN ADDITION, CLEANOUT OPENINGS OF SUFFICIENT SIZE SHALL BE THE BOTTOM OF ALL VERTICAL CAVITIES CONTAINING REINFORCEMENT.

EEDING 12 INCHES IN HEIGHT ARE TO BE CONSOLIDATED AND 3Y MECHANICAL VIBRATION PER ACI 530.1/ASCE 6.

NG FOR MASONRY SHALL CONFORM TO ASTM A 615 GRADE 60

DRCING A MINIMUM OF 48 BAR DIAMETERS. REINFORCING TO BE CONTROL JOINTS IN MASONRY WALLS; BOND BEAM REINFORCING TINUOUS THROUGH CONTROL JOINTS.

FORCING BARS IN MASONRY WALLS TO BE PLACED IN CENTER OF WALLS CAL BAR POSITIONERS SPACED AT INTERVALS NOT EXCEEDING 200 BAR

EINFORCING SHALL TERMINATE WITH STANDARD HOOKS AT WALL ENDS.

ASONRY LINTELS, PROVIDE TEMPORARY SHORING TO SUPPORT PENINGS. SHORING IS TO REMAIN IN PLACE A MINIMUM OF 14 DAYS (28 GS OVER 5'-0").

FORM TO THE REQUIREMENTS OF THE "NATIONAL DESIGN SPECIFICATION RUCTION" (ANSI/NFOPA NDS-CURRENT EDITION) AS RECOMMENDED BY REST & PAPER ASSOCIATION.

OD DETAILS AND THE NAILING, ETC., CALLED FOR IN THESE NOTES ARE IENTS AND WILL APPLY TO ALL WORK EXCEPT WHERE MORE STRINGENT E SHOWN ELSEWHERE.

, FRAMING CONNECTIONS BY THE SIMPSON COMPANY ARE CALLED OUT EQUIVALENT CONNECTIONS OF OTHER MANUFACTURERS HAVING THE D HAVING ICBO APPROVAL MAY BE USED. PROVIDE FULL NAILING OR CTIONS AS PUNCHED USING MANUFACTURER'S NAILS OR SPECIFIED

MON WIRE TYPE UNO, GALVANIZED OR STAINLESS STEEL IN EXTERIOR I USED IN PT WOOD.

NAILING REQUIRED SHALL BE AS SHOWN IN SCHEDULE, WHICHEVER IS

DD WALLS SHALL BE 5/8" DIA. THREADED ROD CAST-IN-PLACE OR EPOXY SHOWN IN SECTIONS AND DETAILS. INSTALLED AT 1'-0" MAX FROM EACH A PLATE END, (2) MIN PER PLATE. SILL BOLT SPACING SHALL BE 48" MAX, DLT 8" MIN.

RIA: _ / 240

D = L / 360

AD = L / 480 (INTERIOR CONSTRUCTION) AD = L / 360 (EXTERIOR CONSTRUCTION)

PAN LENGTH CLEAR DISTANCE BETWEEN SUPPORTS IN INCHES (2L AT MEMBERS).

ON NOTES

ICATED AS EXISTING (E) SHALL BE ASSUMED TO BE NEW (N).

TING, DRILLING, ETC OF EXISTING WORK SHALL BE PERFORMED WITH L TOOLS SHALL BE USED IN ORDER NOT TO JEOPARDIZE THE GRITY OF THE STRUCTURE. IF STRUCTURAL MEMBERS OR MECHANICAL, ICHITECTURAL ELEMENTS NOT INDICATED FOR REMOVAL INTERFERE RK, THE ARCHITECT / ENGINEER SHALL BE IMMEDIATELY NOTIFIED AND HALL BE OBTAINED BEFORE REMOVAL OF THE MEMBERS.

EXISTING WOOD, CONCRETE, MASONRY OR OTHER WORK TO REMAIN. DE NEATLY TO A CORNER, THEN ALTERNATE MEANS SHALL BE USED TO G MATERIAL. CONTRACTOR IS RESPONSIBLE FOR REPAIR / DVER CUT MATERIAL AS DIRECTED BE THE ARCHITECT AND / OR

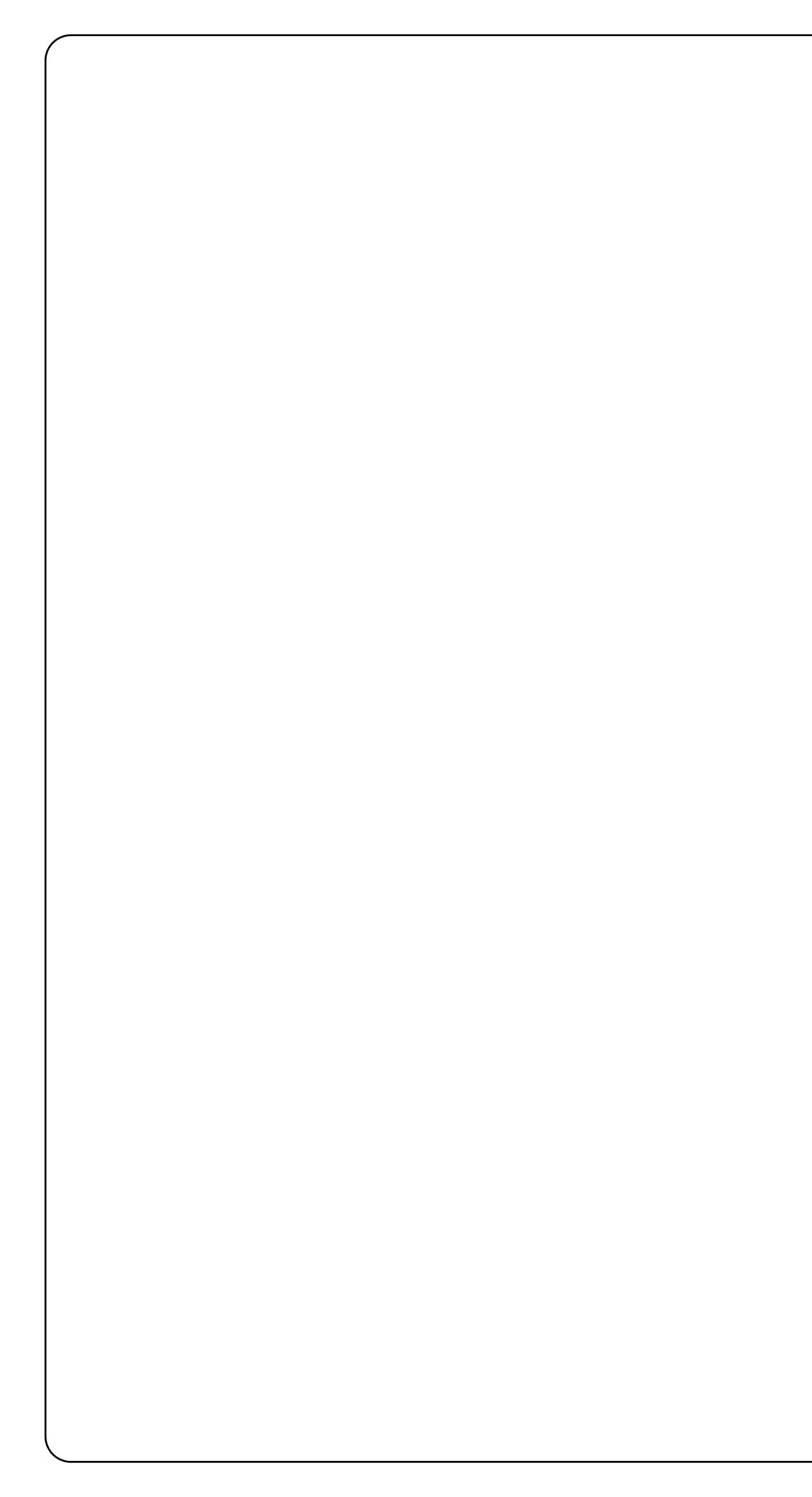
STRUCTURAL MEMBERS WHICH ARE UNCOVERED SHALL BE REPORTED / ENGINEER FOR REVIEW AND REPAIR.

E SURFACE ABUTTING NEW CONCRETE SHALL BE ROUGHENED TO $\frac{1}{4}$ " OROUGHLY CLEANED OF DUST, LOOSE AGGREGATE, LAITANCE, ETC.

IRES ASSUMPTION BE MADE REGARDING EXISTING CONDITIONS WHICH ABLE WITHOUT DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE STRUCTURE. THIS ANALYSIS DOES NOT MAKE ANY GUARANTEE TO THE STRUCTURAL DESIGN OF THE EXISTING BUILDING NOT SPECIFICALLY TRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR PERFORMANCE OF EXISTING PORTIONS OF THE STRUCTURE NOT RESSED IN THE CONSTRUCTION DOCUMENTS.

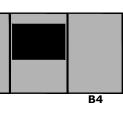
LEMENT BETWEEN NEW AND EXISTING CONSTRUCTION AT REMODEL OR NDATION / FRAMING INTERFACES CAN BE EXPECTED.

Rodriguez Associates
Architects & Planners, LL.C.
640 Clinton Avenue Phone: 203-696-0653 Bridgeport, CT 06605 Fax: 203-696-1149
E-Mail: Ircoss@sbcglobal.net
THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY
RESIDENCE AT 24 GASPEE ROAD IN
BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION
THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION
FROM THE ARCHITECT.
BAV DESIGN, LLC STRUCTURAL ENGINEERING
bavengr@gmail.com (203) 590-1374
DO NOT SCALE DRAWINGS
REFER ALL QUESTIONS AND CLARIFICATIONS TO
THE ARCHITECT
DOCUMENT
l j
A CON AGUIRS
Pa No 2087
MCENSED
Milling ONAL EN UNIT
4/12/2024
(SEAL)
$\left(\right)$
RENOVATION
OF A
SINGLE-FAMILY
RESIDENCE
24 GASPEE ROAD
BRIDGEPORT, CONNECTICUT
STRUCTURAL DESIGN
BASIS & NOTES
AND ABBREVIATIONS
SCALE: SCALED AS NOTED REVISIONS
No. DATE DESCRIPTION
1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024
DATE: JANUARY 2, 2024
DATE: JANUARY 2, 2024

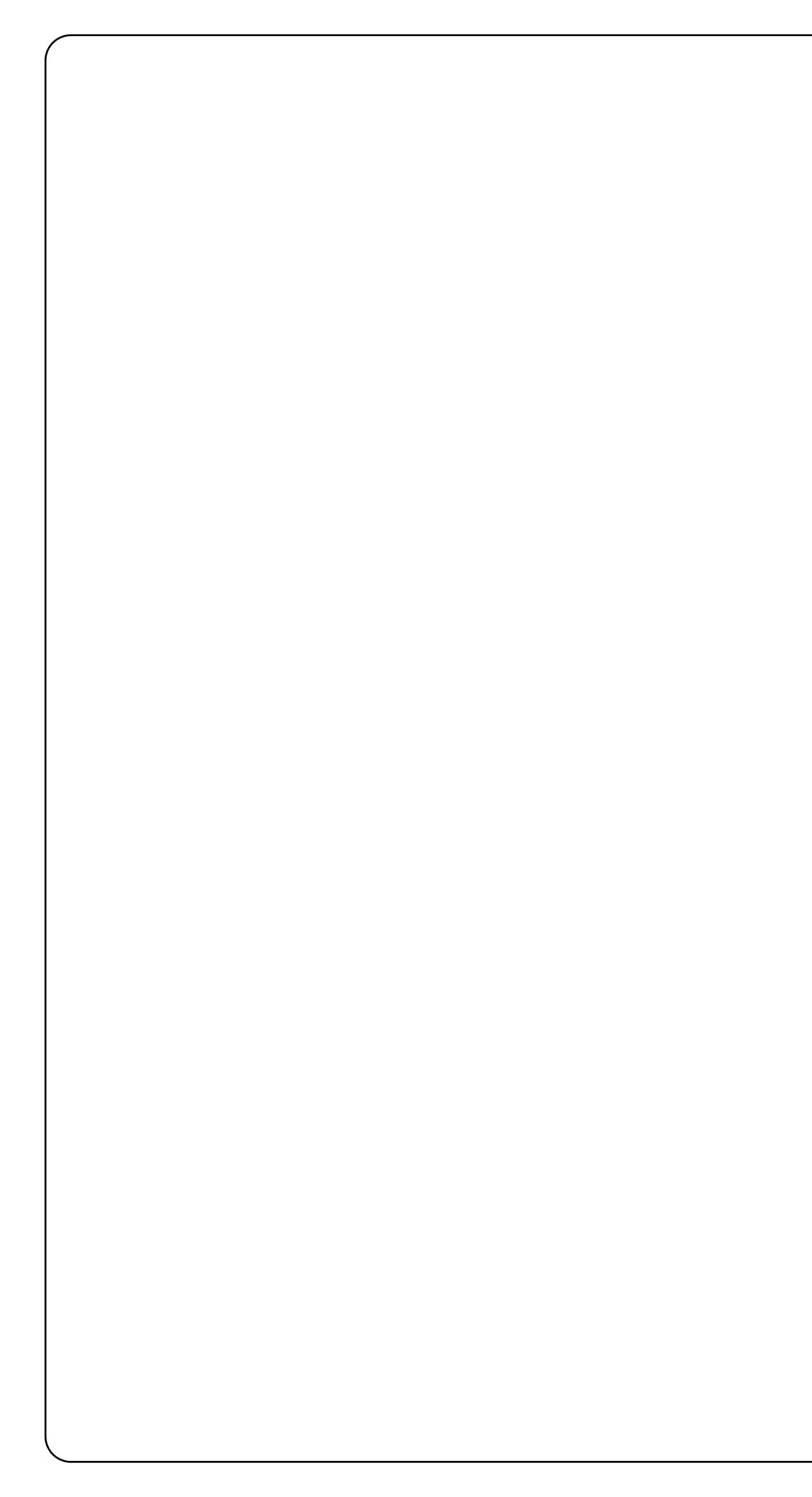


											2-1 WA	LL LINE									
VALL LINE	ELEVATION B1	VIEW									WALL LINE	ELEVATIO		33		B4					
Т	otal Wall Line Len	gth: 26' 3'		I							1		Total Wall	Line Length:	42' 2"		I				
VALL LINE	PLAN VIEW			3							WALL LINE										
Story	B1 Wall Braci	ng \	Vind	Wind Bracing		Seismic B		Required	Qualified	Bracing	B1 Story	B2 Wall Br	acing		Wind Bracing	B4 Seismic	Seismic	Bracing	Required Bracing	Qualified Bracing	Bracing
1st Story	Line Meth A-1 CS-W		2.32	Amount 15.82	Factors Exempt	Amou Exem		Bracing 15.82	Bracing 26.25	Status Compliant	1st Story		-	actors	Amount 18.65	Exempt	Amou Exem		Bracing 18.65	Bracing 28.33	Status Compliar
	stance to Adjao o Ridge Height ength		8 fe 26' Incl	et							Furthest Dis Roof Eave to Wall Line Le Gypsum Blocking	Ridge Hei	-	8 fe 42' Incl	eet						
	Wall Line Segment	Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down		Wall Line Segment	e Wall Height	Story Height	Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	l Nails	Tension Tie	Hold Dow
	B1	8'	9'	CS-WSP	26' 3"		26.25	6"/12"	None	None		B1	8'	9'	CS-WSP	1' 0"	6' 8"	0	6"/12"	None	None
												B2	8'	9'	CS-WSP	10' 4"	6' 8"	10.33	6"/12"	None	None
												B3	8'	9'	CS-WSP	2' 10"	8' 0"	0	6"/12"	None	None
	ELEVATION	VIEW									WALL LINE	ELEVATIO	ON VIEW								
B1	B2		B3																		
B1	B2	Total Wa	B3	h: 26' 3"	I						B1	B2		E	33	В	4				
		Total Wa		th: 26' 3"	I						B1	B2	Total Wall	E Line Length:		В	4				
<u>VALL L</u> INE	B2 PLAN VIEW B2	Total Wa		th: 26' 3"	I						I WALL LINE	<u>PLAN VIE</u>		Line Length:	42' 2"		1				
VALL LINE B1 Story	BLAN VIEW B2 Wall Braci Line Meth	ng \ od Fa	II Line Leng B3 Vind ctors	Wind Bracing Amount	Factors	Seismic B Amou	int	Required Bracing	Qualified Bracing	Bracing Status	I WALL LINE B1	PLAN VIE B2 Wall Br	W	Line Length:	42' 2" 33 Wind Bracing	CB	 4 Seismic		Required	Qualified	Bracing
WALL LINE	<u>PLAN VIEW</u> B2 Wall Braci	ng \ od Fa	II Line Leng B3 Vind	Wind Bracing			int	Required Bracing 17.79	Qualified Bracing 38.08	Bracing Status Compliant	I WALL LINE	PLAN VIE B2 Wall Br	W acing ethod F	Line Length:	42' 2" 33	CB	4	unt	Required Bracing 18.17	Qualified Bracing 24.17	Bracing Status Compliar
B1 Story 1st Story	Wall Braci Line Meth C-1 CS-W stance to Adjac o Ridge Height	ng N od Fa /SP 2 cent BW	Il Line Leng B3 Vind ctors 2.32 L 22' 8 fe 26' Incli Om	Wind Bracing Amount 17.79 8" eet 3" uded itted	Factors Exempt	Amou Exem Adiacent	pt	Bracing 17.79	Bracing 38.08	Status	l WALL LINE B1 Story 1st Story Furthest Dis Roof Eave to Wall Line Le Gypsum	PLAN VIE B2 Wall Br Line M 3-1 CS stance to Ac	W acing ethod F S-WSP Ijacent BW	Line Length: Wind actors 2.32 /L 23' 8 fe 42' Inc	42' 2" 33 Wind Bracing Amount 18.17 4" eet 2" Juded	B Seismic Factors	 4 Seismic Amo	unt	Bracing	Bracing	Status
VALL LINE B1 Story 1st Story furthest Dis coof Eave to Vall Line Le Gypsum	EPLAN VIEW B2 Wall Braci Line Meth C-1 CS-W stance to Adjac o Ridge Height ength Wall Line Segment	ng N od Fa /SP 2 cent BW Wall Height	Il Line Leng B3 Vind ctors 2.32 L 22' 8 fe 26' Incli Om Story Height	Wind Bracing Amount 17.79 8" eet 3" uded itted Bracing Method	Factors Exempt Segment Length	Amou Exem Adjacent Opening Height	Qualified Segment	Bracing 17.79 Nails	Bracing 38.08 Tension Tie	Status Compliant Hold Down	l WALL LINE B1 Story 1st Story Furthest Dis Roof Eave to Wall Line Le	PLAN VIE B2 Wall Br Line M 3-1 CS stance to Ac	W ethod F S-WSP Jjacent BW	Line Length: Wind actors 2.32 /L 23' 8 fe 42' Incl Orr	42' 2" 33 Wind Bracing Amount 18.17 4" eet 2" luded hitted Bracing	B Seismic Factors	4 Seismic I Amo Exen	unt	Bracing 18.17	Bracing	Status
VALL LINE B1 Story 1st Story furthest Dis toof Eave to Vall Line Le Gypsum	B2 Wall Braci Line Meth C-1 CS-W stance to Adjac o Ridge Height ength Wall Line Segment	ing N od Fa /SP 2 cent BW Wall Height	Il Line Leng B3 Vind ctors 2.32 L 22' 8 fe 26' Incli Om Story Height 9'	Wind Bracing Amount 17.79 8" eet 3" uded itted Bracing Method CS-WSP	Factors Exempt Segment Length 4' 10"	Adjacent Opening Height 6' 8"	Qualified Segment 4.83	Bracing 17.79 Nails 6"/12"	Bracing 38.08 Tension Tie None	Status Compliant Hold Down None	l WALL LINE B1 Story 1st Story Furthest Dis Roof Eave to Wall Line Le Gypsum	PLAN VIE B2 Wall Br Line M 3-1 CS stance to Ac o Ridge Hei angth Wall Line	W ethod F S-WSP ljacent BW ght wall	Line Length: Wind actors 2.32 /L 23' 8 fe 42' Incl Orr	42' 2" 33 Wind Bracing Amount 18.17 4" eet 2" luded hitted Bracing	Seismic Factors Exempt	 4 Seismic Amo	unt	Bracing 18.17	Bracing 24.17 Tension	Status Complia
/ALL LINE B1 Story 1st Story urthest Dis oof Eave to Vall Line Le Sypsum	EPLAN VIEW B2 Wall Braci Line Meth C-1 CS-W stance to Adjac o Ridge Height ength Wall Line Segment	ng N od Fa /SP 2 cent BW Wall Height	Il Line Leng B3 Vind ctors 2.32 L 22' 8 fe 26' Incli Om Story Height	Wind Bracing Amount 17.79 8" eet 3" uded itted Bracing Method	Factors Exempt Segment Length	Amou Exem Adjacent Opening Height	Qualified Segment	Bracing 17.79 Nails	Bracing 38.08 Tension Tie	Status Compliant Hold Down	l WALL LINE B1 Story 1st Story Furthest Dis Roof Eave to Wall Line Le Gypsum	PLAN VIE B2 Wall Br Line M 3-1 CS stance to Ac o Ridge Hei angth Wall Line Segment	W ethod F S-WSP djacent BW ght e Wall Height	Line Length: Wind actors 2.32 /L 23' 8 fe 42' Incl Om Story Height	42' 2" 33 Wind Bracing Amount 18.17 4" eet 2" luded hitted Bracing Method	Seismic Factors Exempt Segment Length	Adjacent Opening Height	unt npt Qualified Segment	Bracing 18.17 Nails	Bracing 24.17 Tension Tie	Status Complian Hold Dow
VALL LINE B1 Story 1st Story Furthest Dis Roof Eave to Wall Line Le Gypsum	PLAN VIEW B2 Wall Braci C-1 CS-W Stance to Adjac Adjac o Ridge Height Bit Wall Line Segment B1 B2	Mall Height 8'	Il Line Leng B3 Vind ctors 2.32 L 22' 8 fe 26' Incli Om Story Height 9' 9'	Wind Bracing Amount 17.79 8" eet 3" uded itted Bracing Method CS-WSP CS-WSP	Factors Exempt Segment Length 4' 10" 9' 5"	Adjacent Opening Height 6' 8"	Qualified Segment 4.83 9.42	Bracing 17.79 Nails 6"/12" 6"/12"	Bracing 38.08 Tension Tie None None	Status Compliant Hold Down None None	l WALL LINE B1 Story 1st Story Furthest Dis Roof Eave to Wall Line Le Gypsum	PLAN VIE B2 Wall Br Line M 3-1 CS stance to Ac o Ridge Hei ength Wall Line Segment B1	W ethod F S-WSP djacent BW ght e Wall t Height 8'	Line Length: Wind actors 2.32 /L 23' 8 fe 42' Incl Orr Story Height 9'	42' 2" 33 Wind Bracing Amount 18.17 4" eet 2" luded hitted Bracing Method CS-WSP	B Seismic Factors Exempt Exempt Segment Length	Adjacent Opening Height 6' 8"	Qualified Segment 2.75	Bracing 18.17 t Nails 6"/12"	Bracing 24.17 Tension Tie None	Status Complia Hold Dow None

BRACE-WALL LENGTH CALCULATION



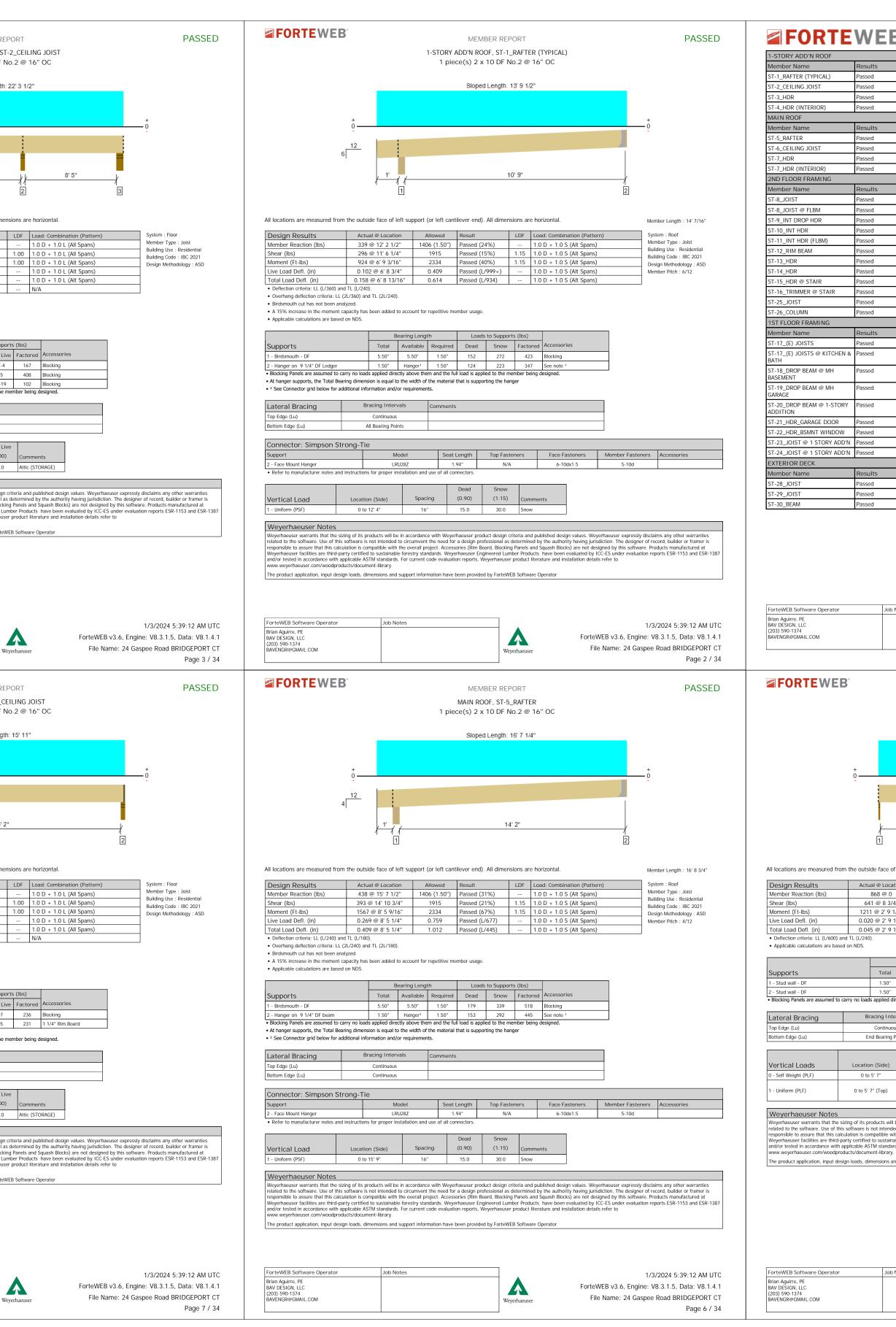
Rodriguez Associates
Architects & Planners, LL.C.
640 Clinton Avenue Phone: 203-696-0653 Bridgeport, CT 06605 Fax: 203-696-1149
E-Mail: Ircoss@sbcglobal.net
THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY
RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY
THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL
REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.
BAV DESIGN, LLC
STRUCTURAL ENGINEERING
bavengr@gmail.com
(203) 590-1374
DO NOT SCALE DRAWINGS REFER ALL QUESTIONS
AND CLARIFICATIONS TO
THE ARCHITECT
DOCUMENT
MINIMUM OF CONNECTION
ALL BAN AGUIRS
*
8 No. 20877
A CENSED. ON THE AND A CONTRACT OF A CONTRAC
4/12/2024
(SEAL)
(
RENOVATION
SINGLE-FAMILY
RESIDENCE
24 GASPEE ROAD BRIDGEPORT, CONNECTICUT
BRACE-WALL PLAN
AND
LENGTH CALCULATIONS
FIRST FLOOR
1
SCALE: SCALED AS NOTED
SCALE: SCALED AS NOTED REVISIONS No. DATE DESCRIPTION
REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023
REVISIONS No. DATE DESCRIPTION
REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023
REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023
REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024
REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024



L LINE PLAN VIEV B1 Wall Bra	ne Length: 29' 4"	32 B3							2-2 WAL										
Total Wall Lin <u>L LINE PLAN VIEV</u> B1 Story Wall Bra Line Me d Story A-2 CS nest Distance to Adj	ne Length: 29' 4"	32 B3							WALL LINE		1 VIEW								
L LINE PLAN VIEV B1 Story Wall Bra Line Me d Story A-2 CS nest Distance to Adj	-								B1		B2		B3						
B1 Story Wall Bra Line Me d Story A-2 CS Mest Distance to Adj	N	Ι							Ι			Line Length:	42' 2"		Ι				
d Story A-2 CS		32 B3							B1	PLAN VIEW	B2		B3						
nest Distance to Adj	acing Win ethod Factor -WSP 1.6	ors Amount	ng Seismic Factors Exempt	Amo	unt	Required Bracing 11.39	Qualified Bracing 23	Bracing Status Compliant	Story 2nd Story	Wall Bra Line Met 2-2 CS-	thod F	Wind actors	Wind Bracin Amount 8.18	g Seismic Factors Exempt	Seismic Amo Exer		Required Bracing 8.18	Qualified Bracing 33.83	Bracing Status Complian
Line Length um king	jacent BWL ht	42' 2" 8 feet 29' 4" Included Omitted					23		Furthest Dist Roof Eave to Wall Line Len Gypsum Blocking	ance to Adja Ridge Heigh	acent BW		ed				0.10		
Wall Line Segment		Story Bracing eight Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down	2.000	Wall Line Segment	Wall Height		Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment	Nails	Tension Tie	Hold Down
B1	8'	9' CS-WSP	17' 6"	6' 8"	17.5	6"/12"		None	-	B1	8'	9'	CS-WSP	7' 6"	6' 8"	7.5	6"/12"	None	None
B2 B3	8' 8'	9' CS-WSP 9' CS-WSP	2' 9" 2' 9"	6' 8" 6' 8"	2.75 2.75	6"/12" 6"/12"		None	-	B2 B3	8' 8'	9' 9'	CS-WSP CS-WSP	5' 4" 21' 0"	6' 8" 6' 8"	5.33 21	6"/12" 6"/12"	None None	None
									2.2 \\\\\\										
WALL LINE	N VIEW								3-2 WAL										
E	B2	B3							B1	B2		B3		E	34				
Total Wall Lir	ne Length: 29' 4"	I							I	-	Γotal Wall	Line Length:	42' 2"		I				
L LINE PLAN VIEV	₩ B2	B3							B1	B2		B3			34				
story Wall Bra Line Me	acing Win athod Fact -WSP 1.6	ors Amount		Seismic Amo Exen	unt	Required Bracing 11.39	Qualified Bracing	Bracing Status Compliant	Story 2nd Story	Wall Bra Line Met 3-2 CS-	thod F	Wind actors	Wind Bracin Amount 8.18	g Seismic Factors Exempt	Seismic Amo Exer		Required Bracing 8.18	Qualified Bracing 26.66	Bracing Status Complian
nest Distance to Adj Eave to Ridge Heig Line Length um King		led							Furthest Dist Roof Eave to Wall Line Len Gypsum Blocking	Ridge Heigh		/L 29' 4" 8 feet 42' 2" Include Omitte							
Wall Line Segment		story Bracing eight Method	Segment Length	Adjacent Opening Height	Qualified Segment		Tension Tie	Hold Down	-	Wall Line Segment	Wall Height		Bracing Method	Segment Length	Adjacent Opening Height	Qualified Segment		Tension Tie	Hold Down
B1 B2	8' 8'	9' CS-WSP 9' CS-WSP	3' 10" 9' 0"	6' 8" 6' 8"	3.83 9	6"/12" 6"/12"		None None	-	B1 B2	8' 8'	9' 9'	CS-WSP CS-WSP	2' 10" 5' 6"	6' 8" 6' 8"	2.83 5.5	6"/12" 6"/12"	None None	None None
B3	8'	9' CS-WSP	4' 2"	6' 8"	4.17	6"/12"	None	None	-	B3	8'	9'	CS-WSP	13' 4"	6' 8"	13.33	6"/12"	None	None
ACE-WALL	LENG	TH CALCI	JLATIO	N						B4	8'	9'	CS-WSP	5' 0"	6' 8"	5	6"/12"	None	None

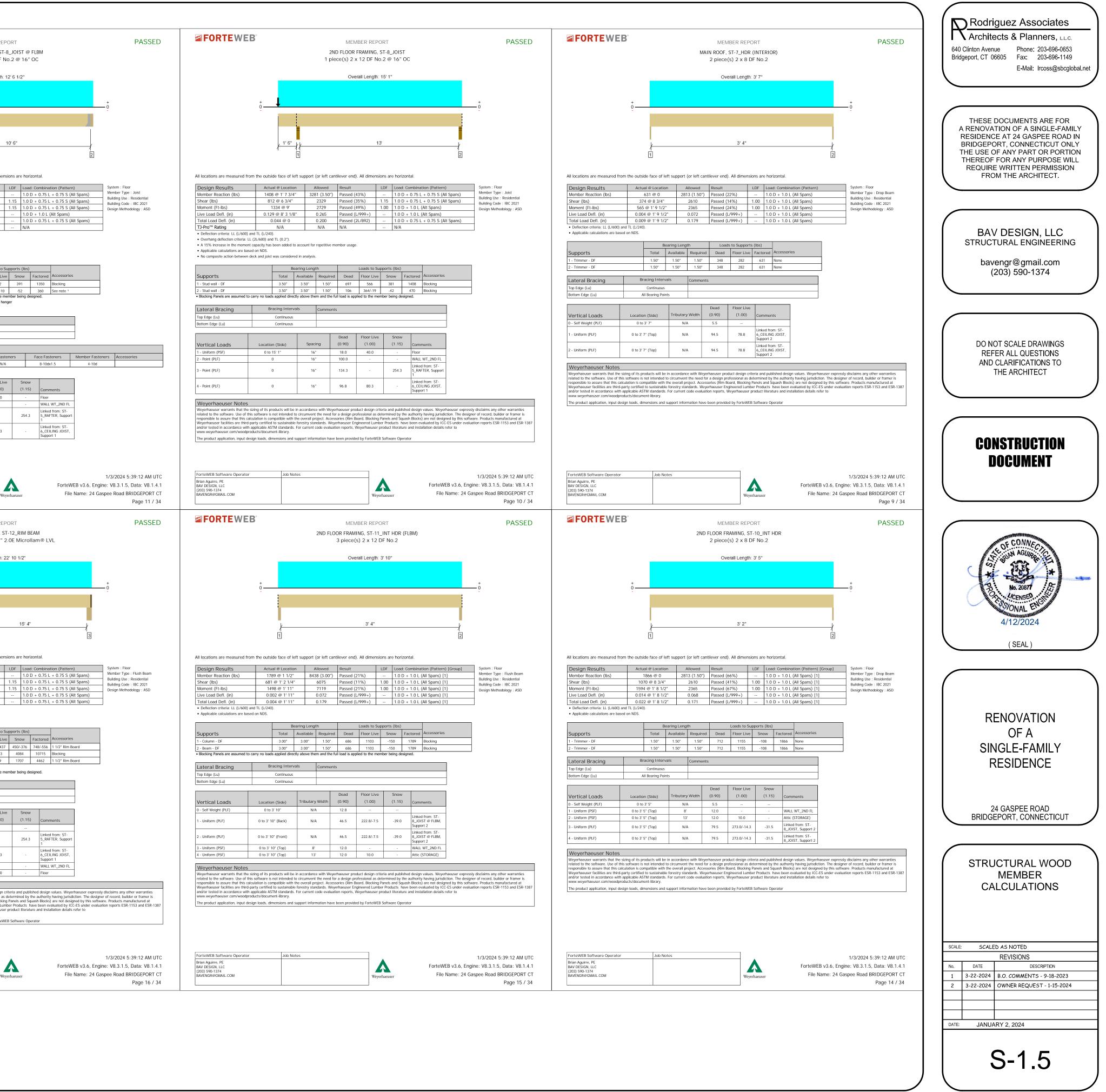
Rodriguez Associates Architects & Planners, L.L.C. 640 Clinton Avenue Bridgeport, CT 06605 Fax: 203-696-0653 Fax: 203-696-1149 E-Mail: Ircoss@sbcglobal.net
THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.
BAV DESIGN, LLC STRUCTURAL ENGINEERING bavengr@gmail.com (203) 590-1374
DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT
CONSTRUCTION DOCUMENT
No. 20877 No. 20877 CENSED ONAL ENGINE MOLANIA (SEAL)
RENOVATION OF A SINGLE-FAMILY RESIDENCE
24 GASPEE ROAD BRIDGEPORT, CONNECTICUT BRACE-WALL PLAN AND LENGTH CALCULATIONS
SECOND FLOOR SCALE: SCALED AS NOTED REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024
DATE: JANUARY 2, 2024

		MEMBER REPORT 1-STORY ADD'N ROOF, ST-3_HDR 2 piece(s) 2 x 8 DF No.2 Overall Length: 6' 7"	PASSED		MEMB 1-STORY ADD'N RC 1 piece(s) 2 x Overall
<section-header></section-header>	₫ / /	7	[†]		12' 8"
	Il locations are measured from the outside face of lef Design Results Actual @ Location Member Reaction (lbs) 1176 @ 0 Shear (lbs) 915 @ 8 3/4" Moment (Ft-lbs) 1935 @ 3' 3 1/2" Live Load Defl. (in) 0.057 @ 3' 3 1/2" Total Load Defl. (in) 0.099 @ 3' 3 1/2" • Deflection criteria: LL (L/600) and TL (5/16"). • Applicable calculations are based on NDS.	Allowed Result LDF Load: Combination (Pattern) [Group] 2813 (1.50") Passed (42%) 1.0 D + 1.0 S (All Spans) [1] 3002 Passed (31%) 1.15 1.0 D + 1.0 S (All Spans) [1] 2720 Passed (71%) 1.15 1.0 D + 1.0 S (All Spans) [1] 0.132 Passed (L/999+) 1.0 D + 1.0 S (All Spans) [1] 0.313 Passed (L/798) 1.0 D + 1.0 S (All Spans) [1]	System : Wall Member Type : Header Building Use : Residential Building Code : IBC 2021	All locations are measured from the outside face Design Results Actual @ Lo Member Reaction (lbs) 408 @ 13' Shear (lbs) 204 @ 12' Moment (Ft-lbs) 416 @ 5' 8 Live Load Defl. (in) 0.070 @ 6' Total Load Defl. (in) 0.141 @ 6' 3 TJ-Pro™ Rating N/A ● Deflection criteria: LL (L/600) and TL (L/240). A 15% increase in the moment capacity has been ad A 19.3% decrease in the moment capacity has been	Allowed Result 3 1/4" 3281 (3.50") Passed (12 6 1/4" 1305 Passed (16 3 3/8" 1098 Passed (38 4 5/8" 0.258 Passed (L/9 3 5/16" 0.645 Passed (L/9 N/A N/A N/A
$\frac{1}{10000000000000000000000000000000000$	I - Trimmer - DF 1.50" 2 - Trimmer - DF 1.50" Lateral Bracing Bracing Interva Top Edge (Lu) Continuous Sottom Edge (Lu) All Bearing Point Vertical Loads Location D - Self Weight (PLF) 0 to 6' 7"	1.50" 1.50" 504 141/-47 672 1176 None 1.50" 1.50" 504 141/-47 672 1176 None IIS Comments		No composite action between deck and joist was considered and solution of the second sec	Bearing Length Loads al Available Required Dead 0" 5.50" 1.50" 89 0" 3.50" 1.50" 222 0" 5.50" 1.50" 45 d directly above them and the full load is applied Intervals Comments y/c
	Veyerhaeuser Notes Veyerhaeuser warrants that the sizing of its products will be i aladet to the software. Use of this software is not intended to esponsible to assure that this calculation is compatible with th Veyerhaeuser facilities are third-party certified to sustainable nd/or tested in accordance with applicable ASTM standards. www.weyerhaeuser.com/woodproducts/document-library.	N/A 33.8 42.8/-14.3 - 2_CEILING JOIST, Support 3 n accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser ex circumvent the need for a design professional as determined by the authority having jurisdiction. The ne overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under For current code evaluation reports, Weyerhaeuser product literature and installation details refer to	designer of record, builder or framer is s software. Products manufactured at	1 - Uniform (PSF) 0 to 22' 3 1/2" Weyerhaeuser Notes Weyerhaeuser warrants that the sizing of its products v related to the software. Use of this software is not inter responsible to assure that this calculation is compatible Weyerhaeuser facilities are third-party certified to sust and/or tested in accordance with applicable ASTM stan www.weyerhaeuser.com/woodproducts/document-libra	16" 12.0 will be in accordance with Weyerhaeuser prod nded to circumvent the need for a design proi with the overall project. Accessories (Rim Bo anable forestry standards. Weyerhaeuser Eng adrds. For current code evaluation reports, W ryr.
	ian Aguirre, PE AV DESIGN, LLC 03) 590-1374 AVENGR@GMAIL.COM	Weyerhaeuser ForteWEB v3.6, File Name: 2	, Engine: V8.3.1.5, Data: V8.1.4.1 24 Gaspee Road BRIDGEPORT CT Page 4 / 34	Brian Aguirre, PE BAV DESIGN, LLC (203) 590-1374 BAVENGR@GMAIL.COM	MEM
Import Loads to Support New Support	ian Aguirre, PE W DESIGN, LLC 03) 590-1374 AVENGR@GMAIL.COM	ForteWEB v3.6, File Name: 2 MEMBER REPORT MAIN ROOF, ST-7_HDR 2 piece(s) 2 x 8 DF No.2 Overall Length: 6' 7"	, Engine: V8.3.1.5, Data: V8.1.4.1 24 Gaspee Road BRIDGEPORT CT Page 4 / 34	Brian Aguirre, PE BAV DESIGN, LLC (203) 590-1374 BAVENGR@GMAIL.COM	MEM MAIN ROOF 1 piece(s) 2
Linked from: ST- 5_RAFTER, Support - Uniform (PLF) 0 to 6' 7" N/A 134.3 - 254.3 1 1 1 5_RAFTER, Support - Uniform (PLF) 0 to 6' 7" N/A 96.8 80.3 - Linked from: ST- 6_CELIUNG JOIST, Support 1 - Vertical Load Location (Side) Spacing (0.90) 1 - Uniform (PLF) 0 to 6' 7" N/A 96.8 80.3 - Linked from: ST- 6_CELIUNG JOIST, Support 1 - Vertical Load Location (Side) Spacing (0.90) 1 - Uniform (PSF) 0 to 15' 11" 16" 12.0	ian Aguirre, PE W DESIGN, LLC 03) 590-1374 WENGR@GMAIL.COM	ForteWEB v3.6, File Name: 2 MEMBER REPORT MAIN ROOF, ST-7_HDR 2 piece(s) 2 x 8 DF No.2 Overall Length: 6' 7" 6' 4" 6' 4" 1 1 2 1 2 2 2 3 1 1 2 2 1<	, Engine: V8.3.1.5, Data: V8.1.4.1 24 Gaspee Road BRIDGEPORT CT Page 4 / 34 PASSED	Brian Aguirre, PE BAV DESIGN, LLC (203) 590-1374 BAVENGR@GMAIL.COM Image: Second	MEM MAIN ROOF, 1 piece(s) 2 : Over e of left support (or left cantilever end) <u>cation Allowed Result</u> 8 1/2" 2109 (2.25") Passed (1 3/4" 1305 Passed (1 1/2" 0.307 Passed (1 1/2" 0.767 Passed (1 1/2" 0.767 Passed (1 1/2" N/A N/A
	inan Aguirre, PE AV DESIGN, LLC 2033 590-1374 AVENGR@GMAIL.COM IFORTEWEB* Image: Support Size of the state of the	Allowed Result Lor Lor Lor Constant (Comments 3002 Passed (27%) 1.0 D + 1.0 S (All Spans) - 2720 Passed (27%) 1.0 D + 1.0 S (All Spans) - 2720 Passed (27%) 1.0 D + 1.0 S (All Spans) - 2720 Passed (27%) 1.0 D + 1.0 S (All Spans) - 2720 Passed (27%) 1.0 D + 1.0 S (All Spans) - 20.132 Passed (27%) 1.0 D + 1.0 S (All Spans) - 2700 Passed (27%) 1.0 D + 1.0 S (All Spans) - 2710 Passed (27%) 1.0 D + 1.0 S (All Spans) - 2720 Passed (278%) 1.0 D + 1.0 S (All Spans) - 2720 Passed (278%) 1.0 D + 1.0 S (All Spans) - 2720 Passed (2789) 1.0 D + 1.0 S (All Spans) - 2720 Passed (2789) 1.0 D + 1.0 S (All Spans) - 2720 Passed (2789) 1.0 D + 1.0 S (All Spans) - 2 0.313 Passed (2789) 1.0 D + 1.0 S (All Spans) - 1.50' 1.50' 779 264 </td <td>, Engine: V8.3.1.5, Data: V8.1.4.1 24 Gaspee Road BRIDGEPORT CT Page 4 / 34 PASSED</td> <td>Brian Aguirre, PE BAV DESIGN, LLC (203) 590-1374 BAVENGR@GMAIL.COM Image: Construction of the second second</td> <td>MEM MAIN ROOF, 1 piece(s) 2 3 Over over a of left support (or left cantilever end) cation Allowed Result 8 1/2" 2109 (2.25") Passed (1 3/4" 1305 Passed (1 3/4" 1305 Passed (1 1/2" 0.307 Passed (1 1/</td>	, Engine: V8.3.1.5, Data: V8.1.4.1 24 Gaspee Road BRIDGEPORT CT Page 4 / 34 PASSED	Brian Aguirre, PE BAV DESIGN, LLC (203) 590-1374 BAVENGR@GMAIL.COM Image: Construction of the second	MEM MAIN ROOF, 1 piece(s) 2 3 Over over a of left support (or left cantilever end) cation Allowed Result 8 1/2" 2109 (2.25") Passed (1 3/4" 1305 Passed (1 3/4" 1305 Passed (1 1/2" 0.307 Passed (1 1/

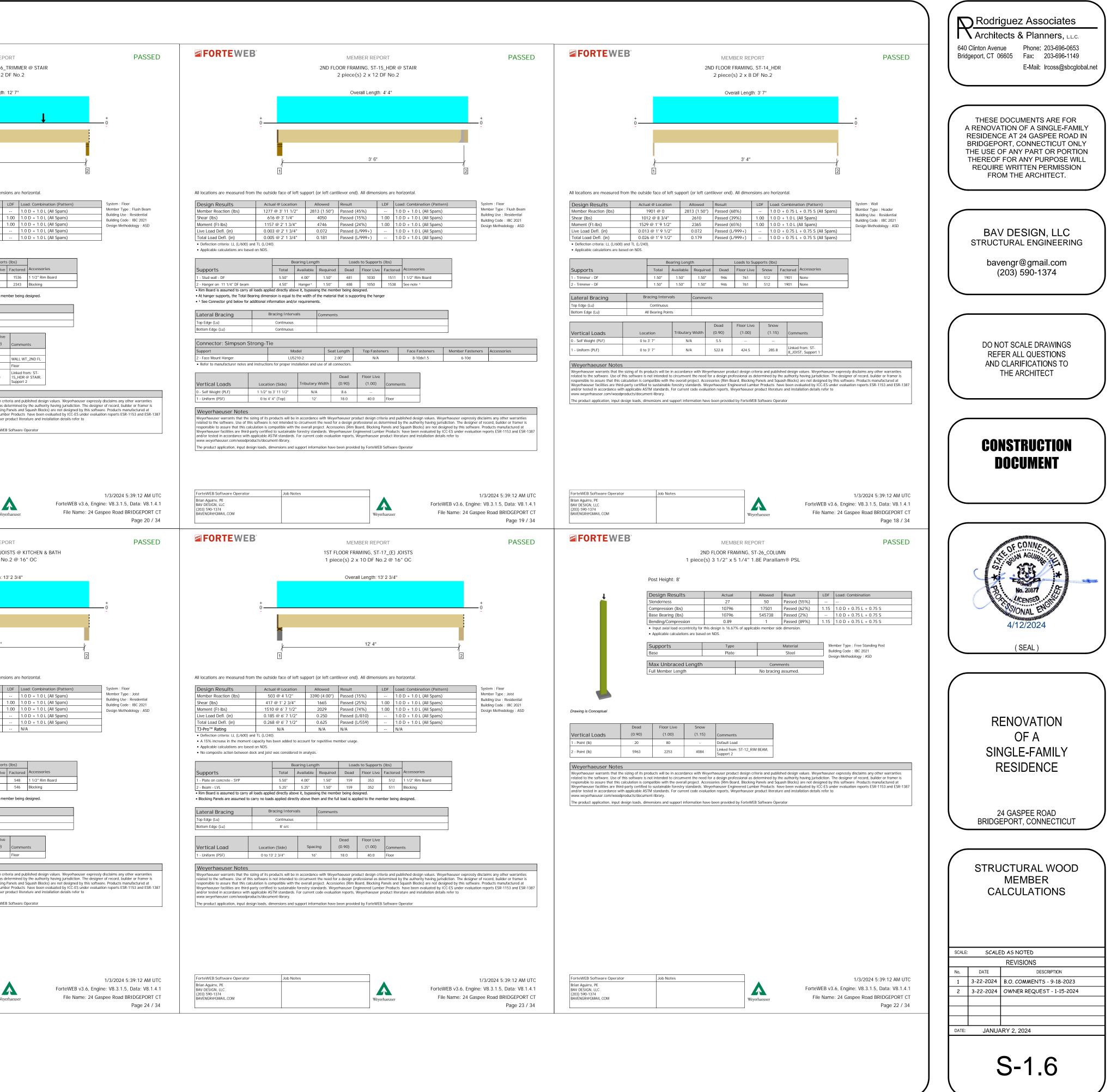


JOB SUMMARY REPORT 24 Gaspee Road BRIDGEPORT CT Current Solution	Comments
1 piece(s) 2 x 10 DF No.2 @ 16" OC 1 piece(s) 2 x 8 DF No.2 @ 16" OC 2 piece(s) 2 x 8 DF No.2	
2 piece(s) 2 x 8 DF No.2	Comments
1 piece(s) 2 x 10 DF No.2 @ 16" OC 1 piece(s) 2 x 8 DF No.2 @ 16" OC 2 piece(s) 2 x 8 DF No.2	THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN
2 piece(s) 2 x 8 DF No.2 Current Solution	Comments BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL
1 piece(s) 2 x 12 DF No.2 @ 16" OC 1 piece(s) 2 x 12 DF No.2 @ 16" OC 2 piece(s) 1 3/4" x 11 1/4" 2.0E Microllam® LVL	REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.
2 piece(s) 2 x 8 DF No.2 3 piece(s) 2 x 12 DF No.2 3 piece(s) 1 3/4" x 11 1/4" 2.0E Microllam® LVL	
2 piece(s) 1 3/4" x 7 1/4" 2.0E Microllam® LVL 2 piece(s) 2 x 8 DF No.2 2 piece(s) 2 x 12 DF No.2	BAV DESIGN, LLC
3 piece(s) 2 x 12 DF No.2 1 piece(s) 2 x 12 DF No.2 @ 16" OC 1 piece(s) 3 1/2" x 5 1/4" 1.8E Parallam® PSL	STRUCTURAL ENGINEERING
Current Solution 1 piece(s) 2 x 10 DF No.2 @ 16" OC	Commentsbavengr@gmail.com(203) 590-1374
1 piece(s) 2 x 10 DF No.2 @ 16" OC 3 piece(s) 1 3/4" x 11 1/4" 2.0E Microllam® LVL	
3 piece(s) 1 3/4" x 14" 2.0E Microllam® LVL 3 piece(s) 1 3/4" x 11 1/4" 2.0E Microllam® LVL	
2 piece(s) 1 3/4" x 11 1/4" 2.0E Microllam® LVL 1 piece(s) 2 x 10 DF No.2	DO NOT SCALE DRAWINGS
2 piece(s) 2 x 10 DF No.2 @ 16" OC 1 piece(s) 2 x 10 DF No.2 @ 16" OC	REFER ALL QUESTIONS AND CLARIFICATIONS TO
Current Solution 1 piece(s) 2 x 8 SP No.2 @ 16" OC 1 piece(s) 2 x 8 SP No.2 @ 16" OC	Comments THE ARCHITECT
4 piece(s) 2 x 8 SP No.2	
Weyerhaeuser File Name:	1/3/2024 5:39:12 AM UTC ForteWEB v3.6 24 Gaspee Road BRIDGEPORT CT Page 1 / 34
MEMBER REPORT 1-STORY ADD'N ROOF, ST-4_HDR (INTERIOR)	PASSED
2 piece(s) 2 x 8 DF No.2 Overall Length: 5' 7" 5' 4"	t t t t t t t t t t t t t t
Overall Length: 5' 7" 5' 4"	to to to to to to to to to to
Overall Length: 5' 7" 5' 4"	2 (SEAL)
Overall Length: 5' 7" 5' 4" upport (or left cantilever end). All dimensions are horizontal. Allowed Result LDF Load: Combination (Pattern) 2813 (1.50") Passed (31%) 1.0 D + 1.0 L (All Spans)	2 (SEAL)
Overall Length: 5' 7" 5' 4" upport (or left cantilever end). All dimensions are horizontal. <u>Allowed Result LDF Load: Combination (Pattern)</u> 2813 (1.50") Passed (31%) 1.0 D + 1.0 L (All Spans) 2610 Passed (25%) 1.00 1.0 D + 1.0 L (All Spans) 2365 Passed (51%) 1.00 0.112 Passed (L/999+) 0.279 Passed (L/999+) 0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans)	2 (SEAL)
Overall Length: 5' 7" 5' 4" pport (or left cantilever end). All dimensions are horizontal. <u>Allowed</u> <u>Result</u> <u>LDF</u> <u>Load: Combination (Pattern)</u> <u>2813 (1.50") Passed (31%) <u>1.0 D + 1.0 L (All Spans) 2610 Passed (25%) <u>1.00 1.0 D + 1.0 L (All Spans) <u>2365 Passed (51%) 1.00 <u>1.0 D + 1.0 L (All Spans) 0.112 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>1.0 D</u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u>	(SEAL)
Overall Length: 5' 7" 5' 4" pport (or left cantilever end). All dimensions are horizontal. <u>Allowed</u> <u>Result</u> <u>LDF</u> <u>Load: Combination (Pattern)</u> <u>2813 (1.50") Passed (31%) <u>1.0 D + 1.0 L (All Spans) 2610 Passed (25%) <u>1.00 1.0 D + 1.0 L (All Spans) <u>2365 Passed (51%) 1.00 <u>1.0 D + 1.0 L (All Spans) 0.112 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) <u>1.0 D + 1.0 L (All Spans) 0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>0.279 Passed (L/999+) 1.0 D + 1.0 L (All Spans) <u>1.0 D</u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u></u>	(SEAL)
Dverall Length: 5' 7" 5' 4" sport (or left cantilever end). All dimensions are horizontal. <u>10 000000000000000000000000000</u>	(SEAL)
And and a sequence of the second sequence of the sequence of the sequence of the second sequence of the sequen	(SEAL)
Overall Length: 5' 7" 5' 4" poprt (or left cantilever end). All dimensions are horizontal. İmage: Colspan="2">Image: Colspan="2">Colspan="2" Colspan="2" <	(SEAL)
25'4" port (or left cantilever end). All dimensions are horizontal. <u>10'10'10'10'10'10'10'10'10'10'10'10'10'1</u>	(SEAL)
by any standard s	(SEAL)
	(SEAL) Sterr: Flor: Member Type: Erop Beam Building Use: Residential Building Use: Residential Building Use: Residential Building Use: Residential Building Use: Residential Building Use: Residential Building Use: Residential SINGLE-FAMILY RESIDENCE La GASPEE ROAD BRIDGEPORT, CONNECTICUT STRUCTURAL WOODD MEMBER
	(SEAL)
25'4" upport (or left cantilever end). All dimensions are horizontal. <u>10'10'10'10'10'10'10'10'10'10'10'10'10'1</u>	(SEAL) Ster: Flor: Member Type: Exp Beam Building Use: Residential Building Use: Residential Building Use: Residential Building Use: Residential Building Use: Residential Building Use: Residential Building Use: Residential SINGLE-FAMILY RESIDENCE La GASPEE ROAD BRIDGEPORT, CONNECTICUT STRUCTURAL WOODD MEMBER
	(SEAL) (SEAL) (SEAL) (SEAL)
	System: Floar Merrier Type: Too mean Building Use: seasened Building Use: seasened Buil
	System : Floor Merror Type: Done Beam Building Use: resolution Beigin Methodology : ASD RENOVATION OF A SINGLE-FAMILY RESIDENCE L24 GASPEE ROAD BRIDGEPORT, CONNECTICUT STRUCTURAL WOOD MEMBER CALCULATIONS SCALE SCALED AS NOTED REVISIONS No. DATE DESCRIPTION 1 3-222-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 B.O. COMMENTS - 9-18-2023 3 -22-2024 B.O. COMMENTS - 9-18-2024 3 -22-2024 B.O. COMMENTS - 9-18
	(SEAL) (SEAL) (SEAL)

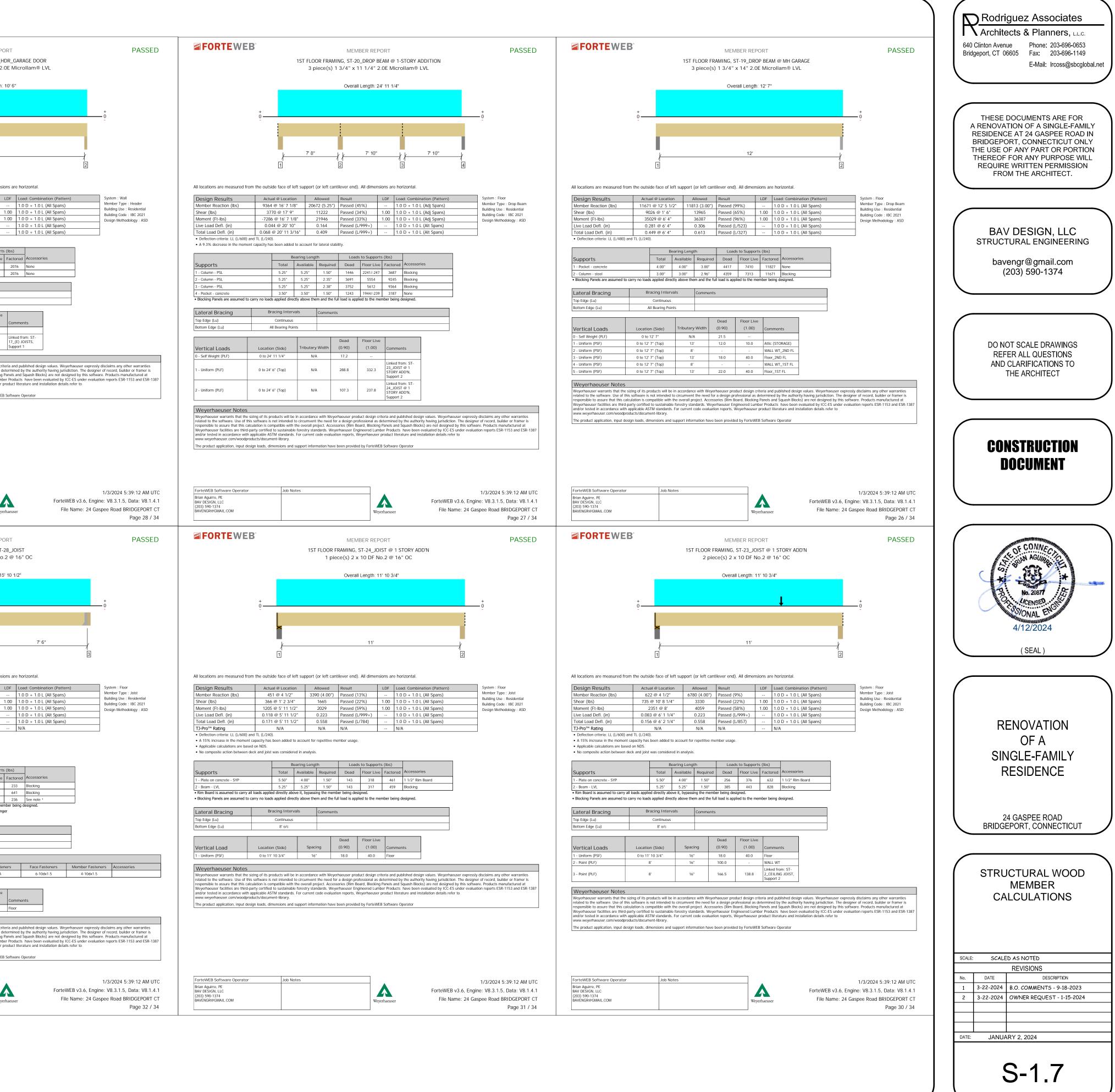
	2ND FLOOR FRAM 2 piece(s) 1 3/4" x 1	BER REPORT ING, ST-9_INT DROP HDR 1 1/4" 2.0E Microllam® LVL all Length: 9'10"		PASSED	FORTEWE	B		MEMBE D FLOOR FRAMIN piece(s) 2 x 12 Overall L
• • / 1	,]	9' 4"		- 0 ⁺		t 	<u>у</u> р 1	
1 - Trimmer - DF 3. 2 - Trimmer - DF 3. Lateral Bracing Bracing Top Edge (Lu) Control	Location Allowed Result 1 1/2" 7875 (3.00") Passed (66 1' 2 1/4" 7481 Passed (55 9 4' 11" 16137 Passed (78 9 4' 11" 0.192 Passed (L/ 9 4' 11" 0.479 Passed (L/ 9 4' 11" 0.479 Passed (L/ 0 10" 3.00" 2.06" 2077 0 1 Intervals Comments Intervals ring Points Dead Intervals	LDF Load: Combination 0%) 1.0 D + 1.0 L (All 3 5%) 1.00 1.0 D + 1.0 L (All 3 3%) 1.00 1.0 D + 1.0 L (All 3 649) 1.0 D + 1.0 L (All 3 399) 1.0 D + 1.0 L (All 3 Loads to Supports (Ibs)	Spans) [1] Spans) [1] Spans) [1] Spans) [1] Spans) [1] cessories ne	System : Floor Member Type : Drop Beam Building Use : Residential Building Code : IBC 2021 Design Methodology : ASD	All locations are measured fr Design Results Member Reaction (lbs) Shear (lbs) Moment (Ft-lbs) Live Load Defl. (in) Total Load Defl. (in) TJ-Pro TM Rating • Deflection criteria: LL (L/600) • Overhang deflection criteria: L • A 15% increase in the momer • Applicable calculations are bas • No composite action between Supports 1 - Stud wall - DF 2 - Hanger on 11 1/4" DF beam • Blocking Panels are assumed to • A thanger supports, the Total B • ¹ See Connector grid below for	Actual @ Location 1350 @ 1' 7 3/4" 812 @ 6 3/4" -1364 @ 1' 7 3/4" 0.054 @ 6' 11 5/8" 0.054 @ 6' 11 5/8" 0.044 @ 0 N/A and TL (L/240). L (2L/600) and TL (0.2"). t capacity has been added to a sed on NDS. deck and joist was considered Bea Total 3.50" a 3.00" carry no loads applied directh Bearing dimension is equal to the	Allowed 3281 (3.5(2329 3138 0.213 0.200 N/A account for repetitive acccount for repetitive account for repetitive account for	d Result 0") Passed (41%) Passed (35%) Passed (43%) Passed (21/99) Passed (21/99) N/A Passed (21/9) ive member usage. Image: Comparison of the part of the
0 - Self Weight (PLF) 0 to 9' 10" 1 - Uniform (PSF) 0 to 9' 10" (To 2 - Uniform (PSF) 0 to 9' 10" (To 3 - Uniform (PLF) 0 to 9' 10" (To 4 - Uniform (PLF) 0 to 9' 10" (To Weyerhaeuser Notes Veyerhaeuser warrants that the sizing of its products related to the software. Use of this software is not in responsible to assure that this calculation is compatible way.weyerhaeuser com/woodproducts/document-lits the product application, input design loads, dimension	op) 8' 12.0 op) 13' 12.0 op) 13' 12.0 op) N/A 79.5 op) N/A 79.5	essional as determined by the authority hav ard, Blocking Panels and Squash Blocks) are neered Lumber Products have been evalua eyerhaeuser product literature and installation	RAGE) m: ST- Support 2 m: ST- Support 2 ues. Weyerhaeuser expressly ving jurisdiction. The designed not designed by this softwar ted by ICC-ES under evaluati	r of record, builder or framer is re. Products manufactured at	Lateral Bracing Top Edge (Lu) Bottom Edge (Lu) Connector: Simpson S Support 2 - Face Mount Hanger • Refer to manufacturer notes a Vertical Loads 1 - Uniform (PSF) 2 - Point (PLF) 3 - Point (PLF)	Mod LUS2	del S 210	Seat Length 1 1.75"
ForteWEB Software Operator Brian Aguirre, PE BAV DESIGN, LLC (203) 590-1374 BAVENGR@GMAIL.COM	Job Notes	Weyerhaeuser	0	1/3/2024 5:39:12 AM UTC he: V8.3.1.5, Data: V8.1.4.1 spee Road BRIDGEPORT CT Page 13 / 34	4 - Point (PLF) ForteWEB Software Operato Brian Aguirre, PE BAV DESIGN, LLC (203) 590-1374 BAVENGR@GMAIL.COM	0	16"	96.8
	MEME	BER REPORT		PASSED	FORTEWE	B°		MEMBE
FORTEWEB t t t t t	2ND FLOOR F 2 piece(s) 1 3/4" x 7 Over	BER REPORT RAMING, ST-13_HDR ' 1/4" 2.0E Microllam® LVL rall Length: 6'1" 5' 10"		PASSED	FORTEWE	B °		MEMBE ND FLOOR FRAM (s) 1 3/4" x 11 Overall Le
All locations are measured from the outside fa Design Results Actual @ I Member Reaction (lbs) 3233 Shear (lbs) 2208 @ Moment (Ft-lbs) 4416 @ Live Load Defl. (in) 0.085 @ Total Load Defl. (in) 0.170 @ • Deflection criteria: LL (L/600) and TL (L/240).	2ND FLOOR F 2 piece(s) 1 3/4" x 7 Over , <td>RAMING, ST-13_HDR ' 1/4" 2.0E Microllam® LVL all Length: 6' 1" 5' 10" All dimensions are horizontal. LDF Load: Combination 2% 1.00 1.0 D + 0.75 L + 0 3% 1.00 1.0 D + 1.0 L (All 2% 1.00 1.0 D + 0.75 L + 0 1.0 D + 0.75 L + 0 1.0 D + 0.75 L + 0 1.0 D + 0.75 L + 0 Loads to Supports (lbs)</td> <td>n (Pattern) D.75 S (All Spans) Spans) D.75 S (All Spans)</td> <td>PASSED</td> <td>All locations are measured fr Design Results Member Reaction (lbs) Shear (lbs) Moment (Ft-lbs) Live Load Defl. (in) Total Load Defl. (in) Deflection criteria: LL (L/600) A 12% decrease in the mome a -556 lbs uplift at support loca</td> <td>0 - - - - - - - - - - - - -</td> <td>3 piece(s 6' 4" t support (or left 13781 (3.5 12905 1' 24503 0.312 0.780 account for lateral asstraint may be requ</td> <td>ND FLOOR FRAM (s) 1 3/4" x 11 Overall Le Overall Le (control control c</td>	RAMING, ST-13_HDR ' 1/4" 2.0E Microllam® LVL all Length: 6' 1" 5' 10" All dimensions are horizontal. LDF Load: Combination 2% 1.00 1.0 D + 0.75 L + 0 3% 1.00 1.0 D + 1.0 L (All 2% 1.00 1.0 D + 0.75 L + 0 1.0 D + 0.75 L + 0 1.0 D + 0.75 L + 0 1.0 D + 0.75 L + 0 Loads to Supports (lbs)	n (Pattern) D.75 S (All Spans) Spans) D.75 S (All Spans)	PASSED	All locations are measured fr Design Results Member Reaction (lbs) Shear (lbs) Moment (Ft-lbs) Live Load Defl. (in) Total Load Defl. (in) Deflection criteria: LL (L/600) A 12% decrease in the mome a -556 lbs uplift at support loca	0 - - - - - - - - - - - - -	3 piece(s 6' 4" t support (or left 13781 (3.5 12905 1' 24503 0.312 0.780 account for lateral asstraint may be requ	ND FLOOR FRAM (s) 1 3/4" x 11 Overall Le Overall Le (control control c
All locations are measured from the outside far Design Results Actual @ I Member Reaction (lbs) 3233 Shear (lbs) 2208 @ Moment (Ft-lbs) 4416 @ Live Load Defl. (in) 0.085 @ Total Load Defl. (in) 0.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 1.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 1.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 1.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 1.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 1.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 1.170 @ • Deflection criteria: LL (L/600) and TL (L/240). • Deflection cri	2ND FLOOR F 2 piece(s) 1 3/4" x 7 Over a a b c a b c <td>RAMING, ST-13_HDR ' 1/4" 2.0E Microllam® LVL all Length: 6' 1"</td> <td>t (Pattern) 0.75 S (All Spans) Spans) 0.75 S (All S</td> <td>- 0 System : Wall Member Type : Header Building Use : Residential Building Code : IBC 2021</td> <td>All locations are measured fr Design Results Member Reaction (lbs) Shear (lbs) Moment (Ft-lbs) Live Load Defl. (in) Total Load Defl. (in) • Deflection criteria: LL (L/600) • A 12% decrease in the mome</td> <td>t </td> <td>3 piece (s 6' 4" t support (or left 13781 (3.5 12905 13781 (3.5 12905 12</td> <td>ND FLOOR FRAM S) 1 3/4" x 11 Overall Le Overall Le Coverall Le Co</td>	RAMING, ST-13_HDR ' 1/4" 2.0E Microllam® LVL all Length: 6' 1"	t (Pattern) 0.75 S (All Spans) Spans) 0.75 S (All S	- 0 System : Wall Member Type : Header Building Use : Residential Building Code : IBC 2021	All locations are measured fr Design Results Member Reaction (lbs) Shear (lbs) Moment (Ft-lbs) Live Load Defl. (in) Total Load Defl. (in) • Deflection criteria: LL (L/600) • A 12% decrease in the mome	t	3 piece (s 6' 4" t support (or left 13781 (3.5 12905 13781 (3.5 12905 12	ND FLOOR FRAM S) 1 3/4" x 11 Overall Le Overall Le Coverall Le Co
All locations are measured from the outside far Design Results Actual @ I Member Reaction (lbs) 3233 Shear (lbs) 2208 @ Moment (Ft-lbs) 4416 @ Live Load Defl. (in) 0.085 @ Total Load Defl. (in) 0.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 1.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 1.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 0.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 0.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 0.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 0.170 @ • Deflection criteria: LL (L/600) and TL (L/240). Supports Total Load Defl. (in) 0.170 @ • Deflection criteria: LL (L/600) and TL (L/240). • Deflection criteria: LL (2ND FLOOR F 2 piece(s) 1 3/4" x 7 Over	RAMING, ST-13_HDR ' 1/4" 2.OE Microllam® LVL 'all Length: 6' 1"	t (Pattern) 0.75 S (All Spans) Spans) 0.75 S (All Spans) ts ts ts ts ts ts ts uessories ts uessories ts	- 0 System : Wall Member Type : Header Building Use : Residential Building Code : IBC 2021 Design Methodology : ASD	All locations are measured fr Design Results Member Reaction (lbs) Shear (lbs) Moment (Ft-lbs) Live Load Defl. (in) Total Load Defl. (in) Total Load Defl. (in) 0 Deflection criteria: LL (L/600) 4 12% decrease in the mome - 556 lbs uplift at support loca Supports 1 - Column - DF 2 - Column - DF 2 - Column - DF 3 - Column - DF • Rim Board is assumed to carry • Blocking Panels are assumed to Lateral Bracing Top Edge (Lu)	t	3 piece (s	ND FLOOR FRAM (s) 1 3/4" x 11 Overall Le Overall Le (i) 1 3/4" x 11 Overall Le (i) 2 (i) 1 3/4" x 11 (i) 2 (i) 3 (i) 2 (i) 3

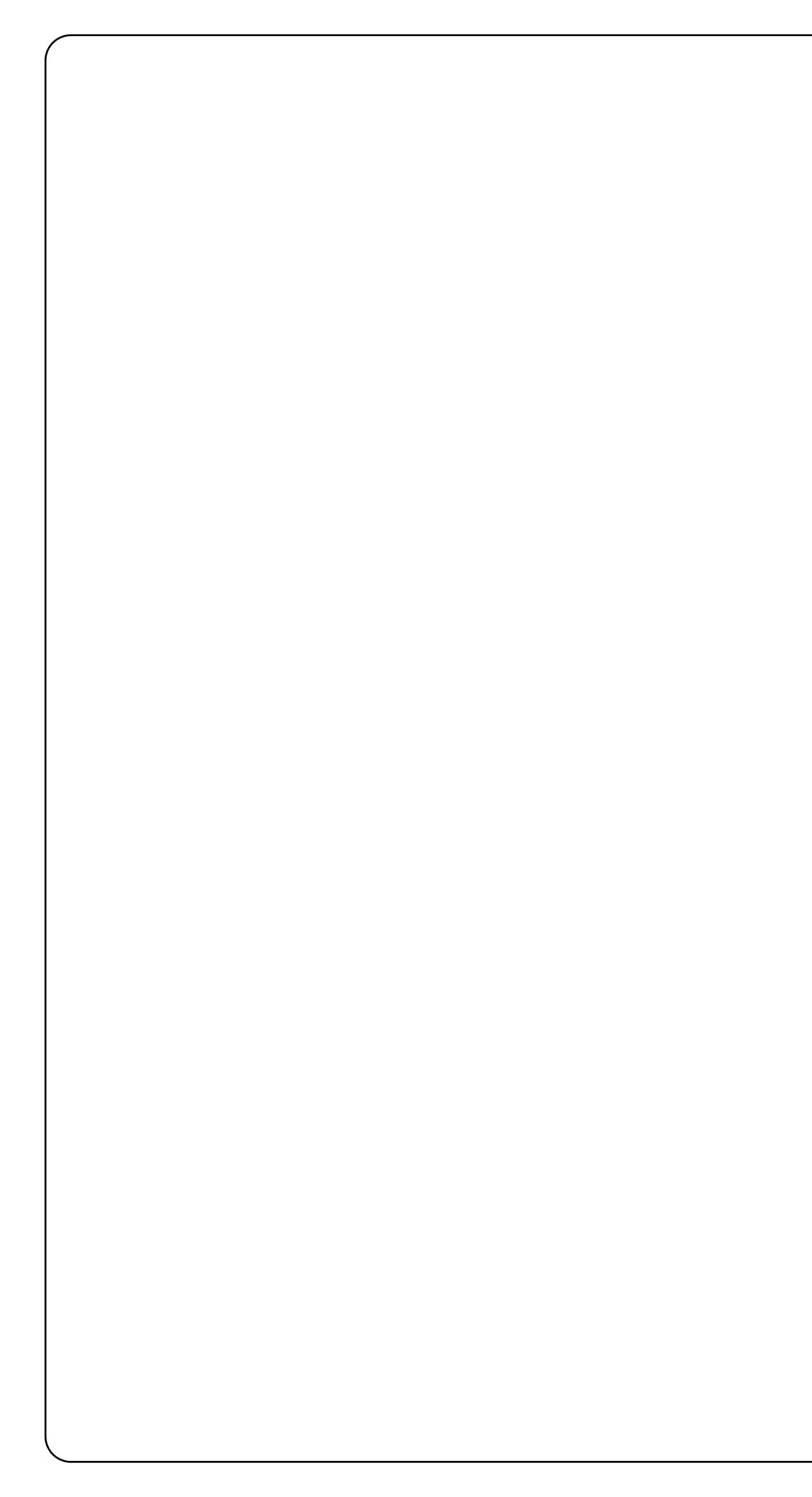


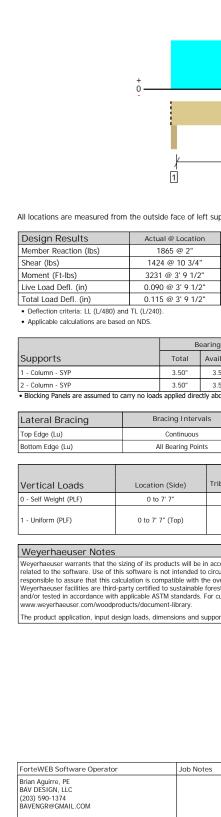
	MEMBER REPO 2ND FLOOR FRAMING, S 1 piece(s) 2 x 12 DF No.	T-25_JOIST	PASSED		2ND FLO	MEMBER RE OR FRAMING, ST-16 3 piece(s) 2 x 12
ů	Overall Length: 1	15' 4"	⁺	÷		Overall Lengt
- 1	' 6" <u>p p 13</u> 4 4 2	3' 			1	12'
Iocations are measured from the outside face of the design Results Actual @ Location Member Reaction (Ibs) 1605 @ 1' 11 hear (Ibs) 925 @ 1' 2 Moment (Ft-Ibs) -1507 @ 1' 11 ive Load Defl. (in) 0.062 @ 9' 4 Otal Load Defl. (in) 0.089 @ 9' 4 'J-Pro™ Rating N/A Deflection criteria: LL (L/600) and TL (L/240). A 15% increase in the moment capacity has been added An excessive uplift of -872 lbs detected at support location Applicable calculations are based on NDS. No composite action between deck and joist was considered by the super super location between deck and joist was considered by the super super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location between deck and joist was considered by the super location by the super location by the super location between deck and joist was considered by the super location by the	1 1/4" 3281 (3.50") Passed (49%) 3/4" 2025 Passed (46%) 1 1 1/4" 2729 Passed (55%) 1 1 5/8" 0.265 Passed (L/999+) 4 5/8" 0.661 Passed (L/999+) 4 5/8" N/A N/A	LDF Load: Combination (Pattern) 1.0 D + 1.0 L (All Spans) 1.00 1.0 D + 1.0 L (All Spans) 1.00 1.0 D + 1.0 L (All Spans) N/A	System : Floor Member Type : Joist Building Use : Residential Building Code : IBC 2021 Design Methodology : ASD	Member Reaction (lbs) 15 Shear (lbs) 2114 Moment (Ft-lbs) 6095 Live Load Defl. (in) 0.086	e face of left support (or left ca 1 @ Location Allowed 514 @ 2" 5625 (2.00") @ 11' 4 1/4" 6075 @ 8' 3 1/8" 7119 @ 6' 8 7/8" 0.245 @ 6' 7 1/8" 0.613	Result Passed (27%) Passed (35%) Passed (86%) Passed (L/999+) Passed (L/775)
Total - Hanger on 11 1/4" LVL beam 3.50" - Stud wall - DF 3.50" - Stud wall - DF 3.00" Blocking Panels are assumed to carry no loads applied of the second	Bearing Length Loads to Supports I Available Required Dead Floor Live ' Hanger1 1.50" -258 58/-615 ' 3.50" 1.71" 498 1107 ' 3.00" 1.50" 127 283 directly above them and the full load is applied to the memual to the width of the material that is supporting the hanges 1100 1100	Factored Accessories -872 See note 1 1605 Blocking 411 Blocking aber being designed.		Top Edge (Lu)		full load is applied to the
Lateral Bracing Bracing Int Top Edge (Lu) Continue Sottom Edge (Lu) Continue Connector: Simpson Strong-Tie	ntervals Comments			Vertical Loads Location 0 - Self Weight (PLF) 1 1/2" to 1 - Uniform (PSF) 0 to 12" 7" 2 - Uniform (PSF) 0 to 12" 7"	" (Top) 8'	Dead Floor Li (0.90) (1.00) 12.8 12.0 - 18.0 40.0
Approximation String-Trees support - Face Mount Hanger - Refer to manufacturer notes and instructions for prope /ertical Load Location (Side) - Uniform (PSF) 0 to 15' 4"	Dead Floor Live	rers Face Fasteners Member Fa 6-SD9112 4-SD9 Comments Floor		3 - Point (lb) 9' 6" (F Weyerhaeuser Notes Weyerhaeuser warrants that the sizing of its pro- related to the software. Use of this software is n responsible to assure that this calculation is com Weyerhaeuser facilities are third-party certified t and/or tested in accordance with applicable AST www.weyerhaeuser.com/woodproducts/docume The software in the institute of the institute of the	ducts will be in accordance with Wey ot intended to circumvent the need f patible with the overall project. Acce o sustainable forestry standards. We M standards. For current code evalua nt-library.	for a design professional as assories (Rim Board, Blockii ayerhaeuser Engineered Lu ation reports, Weyerhaeuse
elated to the software. Use of this software is not intence esponsible to assure that this calculation is compatible w Veyerhaeuser facilities are third-party certified to sustair ind/or tested in accordance with applicable ASTM standa www.weyerhaeuser.com/woodproducts/document-library	ill be in accordance with Weyerhaeuser product design crite ded to circumvent the need for a design professional as del with the overall project. Accessories (Rim Board, Blocking P nable forestry standards. Weyerhaeuser Engineered Lumbe lards. For current code evaluation reports, Weyerhaeuser pr y. and support information have been provided by ForteWEB	termined by the authority having jurisdiction. The de anels and Squash Blocks) are not designed by this sa r Products have been evaluated by ICC-ES under ev roduct literature and installation details refer to	signer of record, builder or framer is oftware. Products manufactured at	The product application, input design loads, dim	ensions and support information nav	e been provided by Fortev
orteWEB Software Operator Job rian Aguirre, PE V DESIGN, LLC 203) 590-1374 AVENGR@GMAIL.COM	b Notes Weyer		1/3/2024 5:39:12 AM UTC ngine: V8.3.1.5, Data: V8.1.4.1 Gaspee Road BRIDGEPORT CT	ForteWEB Software Operator Brian Aguirre, PE BAV DESIGN, LLC (203) 590-1374 BAVENGR@GMAIL.COM	Job Notes	w
			Page 21 / 34			
	MEMBER REPO 1ST FLOOR FRAMING, ST-18_DROP E 3 piece(s) 1 3/4" x 11 1/4" 2.0	BEAM @ MH BASEMENT	Page 21 / 34 PASSED			AMING, ST-17_(E) J
FORTEWEB [®]	1ST FLOOR FRAMING, ST-18_DROP E	BEAM @ MH BASEMENT DE Microllam® LVL	-	FORTEWEB [*]		AMING, ST-17_(E) J iece(s) 2 x 10 DF
FORTEWEB [®]	1ST FLOOR FRAMING, ST-18_DROP E 3 piece(s) 1 3/4" x 11 1/4" 2.0	BEAM @ MH BASEMENT DE Microllam® LVL	-	+		AMING, ST-17_(E) J iece(s) 2 x 10 DF l Overall Length:
t t t	1ST FLOOR FRAMING, ST-18_DROP E 3 piece(s) 1 3/4" x 11 1/4" 2.0 Overall Length: 14 Overall Length: 14 7'6" 7'6" 7'6" 7'6" 2 of left support (or left cantilever end). All dimension ation Allowed Result 1 23625 (6.00") Passed (78%) 1 25/8" 0.157 Passed (62%) 1 25/8" 0.394	BEAM @ MH BASEMENT DE Microllam® LVL 6' 1/2" 7' 6" 7' 6" 3	-	All locations are measured from the outsid Design Results Actua Member Reaction (lbs) 537 Shear (lbs) 446 d Moment (FI-lbs) Live Load Defl. (in) 0.185 Total Load Defl. (in) 0.287 TJ-Pro™ Rating	1 pi	AMING, ST-17_(E) J lece(s) 2 x 10 DF Overall Length 12' 4" 12' 4" Intilever end). All dime
t locations are measured from the outside face of the second seco	1ST FLOOR FRAMING, ST-18_DROP E 3 piece(s) 1 3/4" x 11 1/4" 2.0 Overall Length: 14 Overall Length: 14 T'6" T'6" T'6" Overall Length: 14 Deade (1/999+) Overall Length: 14 Loads to Supports I Available Required Dead Floor Live Aded to account for lateral stability. Bearing Length Loads to Supports I Aded to account for lateral stability. Bearing Length Length Gead Floor Live 1 Available Required Dead Floor Live <trd>1 Acoi" 1.64" <</trd>	BEAM @ MH BASEMENT DE MicroIlam® LVL 6' 1/2" 6' 1/2" 6' 1/2" 7' 6" 7' 6" 7' 6" 100 D + 1.0 L (All Spans) 1.0 D + 1.0 L (All Spans) 1.10 D + 1.0 L (All Spans)	PASSED t t System : Floor Member Type : Drop Beam Building Use : residential Building Code : IBC 2021	All locations are measured from the outsid Design Results Actua Member Reaction (lbs) 537 Shear (lbs) 446 d Moment (Ft-lbs) 1615 Live Load Defl. (in) 0.185 Total Load Defl. (in) 0.287	1 pi I I I I I I I I I I I I I I I	AMING, ST-17_(E) J iece(s) 2 x 10 DF l Overall Length: 12' 4" 12'
Design Results Actual @ Loca Wember Reaction (lbs) 18341 @ 8' Shear (lbs) 6958 @ 9' 3 Moment (Ft-lbs) -14444 @ 8 Live Load Defl. (in) 0.075 @ 12' 2 Total Load Defl. (in) 0.105 @ 12' 3 • Deflection criteria: LL (L/600) and TL (L/240). • A 8.6% decrease in the moment capacity has been address of the second s	1ST FLOOR FRAMING, ST-18_DROP E 3 piece(s) 1 3/4" x 11 1/4" 2.0 Overall Length: 11 Overall Length: 11 Overall Length: 11 $7"6"$ $7"6"$ $7"6"$ $7"6"$ $7"6"$ 2 of left support (or left cantilever end). All dimension caliton Allowed 8 esuit 1 23625 (6.00") Passed (78%) 1 125/8" 0.157 Passed (1/901) 1 Allowed Floor Live 1 1 2 State Comments Comments Intervals Comments Intervals Comments Inte	BEAM @ MH BASEMENT DE MicroIlam® LVL 6' 1/2" 6' 1/2" 6' 1/2" 7' 6" 7' 6" 7' 6" 100 D + 1.0 L (All Spans) 1.0 D + 1.0 L (All Spans) 1.10 D + 1.0 L (All Spans)	PASSED t t System : Floor Member Type : Drop Beam Building Use : residential Building Code : IBC 2021	All locations are measured from the outsid Design Results Actual Member Reaction (lbs) 537 Shear (lbs) 446 cl Moment (F1-lbs) 1615 Live Load Defl. (in) 0.185 TJ-Pro™ Rating - • • • Deflection criteria: LL (L/600) and TL (L/240). • A15% increase in the moment capacity has b • Applicable calculations are based on NDS. • No composite action between deck and joist w Supports 1 1. Plate on concrete - SYP 2 2. Beam - LVL - • No composite action between deck and joist w Supports 1 1. Plate on concrete - SYP 2 2. Beam - LVL - • No composite action between deck and joist w Supports 1 1. Plate on concrete - SYP 2 2. Beam - LVL - • No composite action between deck and joist w Iblocking Panels are assumed to carry all loads applied • • Bottom Edge (Lu) - Bottom Edge (Lu)	1 pi I	AMING, ST-17_(E) J iece (s) 2 x 10 DF I Overall Length:
I locations are measured from the outside face of the software local set of the software local s	IST FLOOR FRAMING, ST-18_DROP E 3 piece(s) 1 3/4" x 11 1/4" 2.0 Overall Length: 11 Overall Length: 11 $7'6"$ <td>BEAM @ MH BASEMENT DE Microllam @ LVL 6' 1/2" 6' 1/2" 7' 6" 3 ons are horizontal. <u>DF Load: Combination (Pattern)</u> 1.0 D + 1.0 L (All Spans) 1.0 D + 1.0 L (All Spans) 1.0 D + 1.0 L (All Spans) 1.0 D + 1.0 L (All Spans) 1.0 D + 1.0 L (All Span</td> <td>PASSED</td> <td>All locations are measured from the outsid Design Results Actual Member Reaction (lbs) 537 Shear (lbs) 4440 Moment (Ft-lbs) 1615 Live Load Defl. (in) 0.185 Total Load Defl. (in) 0.287 TJ-Pro** Rating </td> <td>1 pi I pi <tdi pi<="" td=""> I pi <t< td=""><td>Result Passed (16%) Passed (27%) Passed (80%) Passed (L/810) Passed (L/810) Passed (L/523) N/A member usage. Loads to Support d Dead 194 353 194 352 mber being designed. full load is applied to the not set of the not se</td></t<></tdi></td>	BEAM @ MH BASEMENT DE Microllam @ LVL 6' 1/2" 6' 1/2" 7' 6" 3 ons are horizontal. <u>DF Load: Combination (Pattern)</u> 1.0 D + 1.0 L (All Spans) 1.0 D + 1.0 L (All Span	PASSED	All locations are measured from the outsid Design Results Actual Member Reaction (lbs) 537 Shear (lbs) 4440 Moment (Ft-lbs) 1615 Live Load Defl. (in) 0.185 Total Load Defl. (in) 0.287 TJ-Pro** Rating	1 pi I pi <tdi pi<="" td=""> I pi <t< td=""><td>Result Passed (16%) Passed (27%) Passed (80%) Passed (L/810) Passed (L/810) Passed (L/523) N/A member usage. Loads to Support d Dead 194 353 194 352 mber being designed. full load is applied to the not set of the not se</td></t<></tdi>	Result Passed (16%) Passed (27%) Passed (80%) Passed (L/810) Passed (L/810) Passed (L/523) N/A member usage. Loads to Support d Dead 194 353 194 352 mber being designed. full load is applied to the not set of the not se
I locations are measured from the outside face of the software is a start of the software is and the softw	IST FLOOR FRAMING, ST-18_DROP E 3 piece(s) 1 3/4" x 11 1/4" 2.0 Overall Length: 11 Overall Length: 11 T 6" $7'6"$ $7'6" 7'6" 7'6" 7'6" 7'6" 7'6" 7'6" $	BEAM @ MH BASEMENT DE Microllam @ LVL 6' 1/2"	PASSED	All locations are measured from the outsid Design Results Actual Member Reaction (lbs) Member Reaction (lbs) 537 Shear (lbs) 446 cd Moment (Ft-lbs) 1615 Live Load Defl. (in) 0.185 Total Load Defl. (in) 0.287 TJ-Pro ^{rm} Rating 0 Deflection criteria: LL (L/600) and TL (L/240). A 15% increase in the moment capacity has b Applicable calculations are based on NDS. No composite action between deck and joist w Supports 1 - Plate on concrete - SYP 2 - Beam - LVL • Nim Board is assumed to carry all loads applied • Blocking Panels are assumed to carry no loads Lateral Bracing Bra Top Edge (Lu) Bottom Edge (Lu) 0 to 13'. Veyerhaeuser warrants that the sizing of its pro- related to the software. Use of this software is no related to the software. Use of this software is no responsible to assure that this calculation is com Weyerhaeuser facilities are third-party certified t and/or tested in accordance with applicable AST	1 pi I pi <tdi pi<="" td=""> I pi <t< td=""><td>AMING, ST-17_(E) J iece(s) 2 × 10 DF l Overall Length: Overall Length: 12' 4" 12' /td></t<></tdi>	AMING, ST-17_(E) J iece(s) 2 × 10 DF l Overall Length: Overall Length: 12' 4" 12'



FORTEWEB	1ST FLOOR FRAMING, S 1 piece(s) :	ER REPORT ST-22_HDR_BSMNT WINDOW 2 x 10 DF No.2 III Length: 3' 3"	PASSED			MEMBER REP(DOR FRAMING, ST-21_F s) 1 3/4" x 11 1/4" 2. Overall Length:
ů			<u>,</u>	Č		
ations are measured from the outside	face of left support (or left cantilever end). Al			All locations are measured from the		,
ber Reaction (lbs) 630 ar (lbs) 283 @ enent (Ft-lbs) 512 @ Load Defl. (in) 0.004 @ I Load Defl. (in) 0.006 @ flection criteria: LL (L/600) and TL (L/240). 0 owed moment does not reflect the adjustment 0	Decation Allowed Result 0 @ 0 1271 (1.50") Passed (50%) 10 3/4" 1665 Passed (17%) 1' 7 1/2" 1765 Passed (29%) 0 '1 7 1/2" 0.065 Passed (L/95) 0 '1 7 1/2" 0.162 Passed (L/95) t for the beam stability factor. The second sec	%) 1.00 1.0 D + 1.0 L (All Spans) %) 1.00 1.0 D + 1.0 L (All Spans) 99+) 1.0 D + 1.0 L (All Spans)	System : Floor Member Type : Flush Beam Building Use : Residential Building Code : IBC 2021 Design Methodology : ASD	Design Results Member Reaction (lbs) Shear (lbs) Moment (Ft-lbs) Live Load Defl. (in) Total Load Defl. (in) • Deflection criteria: LL (L/600) and TL	· ·)") Passed (26%) Passed (21%) Passed (21%) Passed (32%) Passed (22%) Passed (L/999+) Passed (L/922) Passed (L/922)
ate on concrete - SYP ate on concrete - SYP	Total Available Required Dead F 1.50" 1.50" 1.50" 199 1 1.50" 1.50" 1.50" 199 1	o Supports (Ibs) Floor Live Factored 430 630 430 630 Blocking		Supports 1 - Trimmer - SYP 2 - Trimmer - SYP Lateral Bracing	Bearing Length Total Available Requirements 3.00° 3.00° 1.50 3.00° 3.00° 1.50 Bracing Intervals Comm	0" 686 1390 0" 686 1390
eral Bracing Braci		d to the member being designed.		Top Edge (Lu) Bottom Edge (Lu) Vertical Loads 0 - Self Weight (PLF)	Continuous All Bearing Points	Dead Floor Live (0.90) (1.00) 11.5
ical Loads Location (* If Weight (PLF) 0 to 3' 3' iform (PLF) 0 to 3' 3'' (f	N/A 3.5 Back) N/A 119.3	(1.00) Comments Linked from: ST- 17_(E) JOISTS, Support 1		related to the software. Use of this softw responsible to assure that this calculation Weyerhaeuser facilities are third-party or and/or tested in accordance with applica	0 to 10' 6" N/A of its products will be in accordance with V vare is not intended to circumvent the nee in is compatible with the overall project. Are rufified to sustainable forestry standards. No ble ASTM standards. For current code eve	d for a design professional as d ccessories (Rim Board, Blocking Weyerhaeuser Engineered Lumb
d to the software. Use of this software is not nsible to assure that this calculation is compa- haeuser facilities are third-party certified to r tested in accordance with applicable ASTM weyerhaeuser.com/woodproducts/document	intended to circumvent the need for a design profess titlele with the overall project. Accessories (Rim Board sustainable forestry standards. Weyerhaeuser Engine standards. For current code evaluation reports, Weye	t design criteria and published design values. Weyerha ssional as determined by the authority having jurisdicit d, Blocking Panels and Squash Blocks) are not designer eered Lumber Products have been evaluated by ICC-E rerhaeuser product literature and installation details refr by ForteWEB Software Operator	n. The designer of record, builder or framer is by this software. Products manufactured at under evaluation reports ESR-1153 and ESR-1387	www.weyerhaeuser.com/woodproducts/ The product application, input design loa	document-library. ads, dimensions and support information h	ave been provided by ForteWE
rteWEB Software Operator			1/3/2024 5:39:12 AM UTC	ForteWEB Software Operator Brian Aguirre, PE BAV DESIGN, LLC	Job Notes	
Aguirre, PE DESIGN, LLC 590-1374	Job Notes		v3.6, Engine: V8.3.1.5, Data: V8.1.4.1 me: 24 Gaspee Road BRIDGEPORT CT Page 29 / 34	(203) 590-1374 BAVENGR@GMAIL.COM		Weye
i Aguirre, PE DESIGN, LLC 5 90-1374 ENGR@GMAIL.COM	MEMBE EXTERIOR DE		me: 24 Gaspee Road BRIDGEPORT CT			MEMBER REPO
Aguirre, PE DESIGN, LLC 590-1374 :NGR@GMAIL.COM FORTEWEB* +	MEMBE EXTERIOR DE 1 piece(s) 2 x 8	Weyerhaeuser File Na ER REPORT ECK, ST-29_JOIST	me: 24 Gaspee Road BRIDGEPORT CT Page 29 / 34	BAVENGR@GMAIL.COM	1	MEMBER REPO EXTERIOR DECK, ST- piece(s) 2 x 8 SP No
julirre, PE SIGN, LLC 30-1374 R@GMAIL.COM	MEMBE EXTERIOR DE 1 piece(s) 2 x 8	Weyerhaeuser File Na ER REPORT ECK, ST-29_JOIST 8 SP No.2 @ 16" OC	me: 24 Gaspee Road BRIDGEPORT CT Page 29 / 34	BAVENGR@GMAIL.COM	1	Weys MEMBER REPO EXTERIOR DECK, ST- piece(s) 2 x 8 SP No Overall Length: 15
guirre, PE SIGN, LLC 90-1374 GR@GMAIL.COM	MEMBE EXTERIOR DE 1 piece(s) 2 × 8 Overal	Weyerhaeuser File Na ER REPORT ECK, ST-29_JOIST BSP No.2 @ 16" OC III Length: 9' 3" 8' 6" III Length: 9' 3"	me: 24 Gaspee Road BRIDGEPORT CT Page 29 / 34 PASSED	BAVENGR@GMAIL.COM	2 7' 6' 1 2 outside face of left support (or left	MEMBER REP EXTERIOR DECK, ST- piece(s) 2 x 8 SP No Overall Length: 15 Overall Length: 15 2 cantilever end). All dimensi
Jirre, PE IGN, LLC → 1374 R@GMAIL.COM DRTEWEB [®] O T C T C T C C C C C C C C C C C C C	MEMBE EXTERIOR DE 1 piece(s) 2 x 8 Overal 1 face of left support (or left cantilever end). At <u>a Location Allowed Result</u> <u>a 1/2" 3814 (4.50") Passed (8%)</u> 11 3/4" 1269 Passed (19% <u>4' 7 1/2" 1165 Passed (19%</u> <u>4' 7 1/2" 0.433 Passed (1/95)</u> <u>a 4' 7 1/2" 0.435 Passed (1/95)</u> <u>a 4' 7 1/2" 0.435 Passed (1/95)</u> <u></u>	Weyerhaeuser File Na ER REPORT ECK, ST-29_JOIST BSP No.2 @ 16" OC III Length: 9' 3" III Length: 9' 3" III Length: 9' 3"	PASSED	BAVENGR@GMAIL.COM FORTEWEB* All locations are measured from the Design Results Member Reaction (lbs) Shear (lbs) Noment (Ft-lbs) Live Load Defl. (in) Total Coad Defl. (in) Total Load Defl. (in) T	coutside face of left support (or left <u>Actual @ Location</u> <u>Allowed</u> <u>641 @ 7' 11 1/4''</u> <u>2966 (3.50</u> <u>271 @ 7' 2 1/4''</u> <u>1269</u> <u>-493 @ 7' 11 1/4''</u> <u>953</u> <u>0.045 @ 3' 10 9/16''</u> <u>0.193</u> <u>0.052 @ 3' 9 7/8''</u> <u>0.386</u> <u>N/A</u> <u>N/A</u> <u>N/A</u> <u>N/A</u> (L/240). Ity has been added to account for repetitin acity has been added to account for latera	MEMBER REP EXTERIOR DECK, ST- piece (s) 2 x 8 SP No Overall Length: 15 Overall Length: 15 Coverall Length: 15 Overall Length: 1
Aquirre, PE DESIGN, LLC SIGN 2004 FORTEWEB* FORTWEB* FORTWEB* FORTEWEB* FORTEWEB* FORTEWEB*	MEMBE EXTERIOR DE 1 piece(s) 2 x 8 Overal Overal 1 face of left support (or left cantilever end). Al 1 face of left support (or left cantilever end). Al 2 face of left suppor	Weyerhacuser File Na ER REPORT ECK, ST-29_JOIST BSP No.2 @ 16" OC III Length: 9' 3" III Length: 9' 3" III Length: 9' 3" 8' 6" III Length: 9' 3" III Length: 9' 3" III Length: 9' 3'' III Length: 9' 3" III Length: 9' 3'' III Length: 9' 3'' III Length: 9' 3'' III Length: 9' 3'' III Length: 9' 3'' III Length: 1.0 L (All Spans) III Length: 9' 3'' III Length: 1.0 L (All Spans) III Length: 9' 3''	PASSED	BAVENGR@GMAIL.COM FORTEWEB* FORTEWEB* All locations are measured from the Design Results Member Reaction (lbs) Shear (lbs) Moment (Ft-lbs) Live Load Defl. (in) Total Load De	$ \frac{7' 6'}{1} $ • outside face of left support (or left Actual @ Location Allowed 641 @ 7' 11 1/4" 2966 (3.50 271 @ 7' 2 1/4" 1269 -493 @ 7' 11 1/4" 953 0.045 @ 3' 10 9/16" 0.193 0.052 @ 3' 9 7/8" 0.386 N/A N/A (L/240). Ity has been added to account for Interationality of the action	MEMBER REP EXTERIOR DECK, ST- piece (s) 2 x 8 SP No Overall Length: 18 Overall Length: 18 2 cantilever end). All dimensi Result Passed (22%) Passed
Aguirre, PE DESIGN, LLC SPO-1374 NGR@GMAIL.COM FORTEWEB* FORTWEB* FORTWEB* FORTEWEB* FORTEWEB* FORTEW	MEMBE EXTERIOR DE 1 piece(s) 2 × 8 Overal Overal 1 face of left support (or left cantilever end). All 2 2 1/2" 3 1/2" 3814 (4.50") 9 1/2" 3814 (4.50") 9 3 1/2" 3814 (4.50") 9 3 1/2" 1165 9 3 1/2" 1165 9 4' 7 1/2" 1165 9 4' 7 1/2" 0.217 9 4' 7 1/2" 0.433 9 4' 7 1/2" 0.433 9 4' 7 1/2" 0.433 9 4' 7 1/2" 0.433 9 4' 7 1/2" 0.433 9 4' 7 1/2" 0.433 9 4' 7 1/2" 0.433 9 4' 7 1/2" 0.433 9 asced (1/82 V/A N/A N/A N/A n added to account for repetitive member usage. s considered in analysis. Intervals Comments ontinuous 1.50" 9 o/c 0.90)	File Na File Na Fil	PASSED	BAVENGR@GMAIL.COM FORTEWEB* FORTEWEB* All locations are measured from the Design Results Member Reaction (lbs) Shear (lbs) Moment (Ft-lbs) Live Load Defl. (in) Total Load De	e outside face of left support (or left Actual @ Location Allowed 641 @ 7' 11 1/4" 2966 (3.50 271 @ 7' 2 1/4" 1269 -493 @ 7' 11 1/4" 953 0.045 @ 3' 10 9/16" 0.193 0.052 @ 3' 9 7/8" 0.386 N/A N/A (L/240). The been added to account for repetitive actiy has been added to account for lateration actis and the been added to account for lateration. It is a support of the been added to account for lateration. It is a support of the been added to account for lateration. Add the been added to account for lateration. Add to account for lateration. It is a support of the been added to account for lateration. N/A N/A N/A It is a support of the been added to account for lateration. It is a support of the been added to	MEMBER REPO EXTERIOR DECK, ST- piece (s) 2 x 8 SP No Overall Length: 15 Overall Length: 15 Coverall Lengt:
Aguirre, PE DESIGN, LLC 590-1374 NGR@GMAIL.COM FORTEWEB* FORT	MEMBE EXTERIOR DE 1 piece(s) 2 x 8 Overal Overal face of left support (or left cantilever end). Al <u>P Location Allowed Result</u> <u>9 1/2" 3814 (4.50") Passed (8%)</u> <u>9 11 3/4" 1269 Passed (19%) 4' 7 1/2" 0.217 Passed (19%) 4' 7 1/2" 0.217 Passed (19%) 4' 7 1/2" 0.217 Passed (19%) 4' 7 1/2" 0.433 Passed (19%) 4' 7 1/2" 0.433 Passed (19%) 4' 7 1/2" 0.433 Passed (19%) A' 7 1/2" 0.433 Passed (19%)</u>	File Na File N	Arrow of the software. Products manufactured at SR-11397	BAVENGR@GMAIL.COM Image: Construction of the second sec	e outside face of left support (or left Actual @ Location Allowed 641 @ 7' 11 1/4" 2966 (3.50 271 @ 7' 2 1/4" 1269 -493 @ 7' 11 1/4" 953 0.045 @ 3' 10 9/16" 0.193 0.052 @ 3' 9 7/8" 0.386 N/A N/A (L/240). Ity has been added to account for repetith acity has been added to account for latera IDS. $\frac{Bearing Length}{Total Available Requit}$ a.50" 3.50" 1.50 a.50" 3.50" 1.50 a.50" 3.50" 1.50 a.50" 1.50 a.50	MEMBER REP EXTERIOR DECK, ST- piece(s) 2 x 8 SP No Overall Length: 15 Overall Length: 15 () () () () () () () () () ()
n Aguire, PE (DESIGN, LLC 3 590-1374 "ENGR@GMAIL.COM FORTEWEB" FORTEWEB FORTEWEB FORTEWEB C C C C C C C C C C C C C	MEMBE EXTERIOR DE 1 piece(s) 2 x 8 Overal Overal 1 piece(s) 2 x 8 Overal 1 piece(s) 2 x 8 Overal 1 piece(s) 2 x 8 0 veral 1 piece(s) 2 x 8 0 veral 1 piece(s) 2 x 8 0 veral 1 piece(s) 2 x 8 0 veral 2 ver	File Na File N	Arrow of the software. Products manufactured at SR-11397	BAVENGR@GMAIL.COM	e outside face of left support (or left Actual @ Location Allowed 641 @ 7' 11 1/4' 2966 (3.5C 271 @ 7' 2 1/4' 1269 -493 @ 7' 11 1/4' 953 0.045 @ 3' 10 9/16' 0.193 0.052 @ 3' 9 7/8' 0.386 N/A N/A (L/240). If has been added to account for repetitin acity has been added to account for latera IDS. d joist was considered in analysis.	MEMBER REP EXTERIOR DECK, ST- piece (s) 2 x 8 SP No Overall Length: 15 Overall Length: 15 () () () () () () () () () ()
In Aguirre, PE / DESIGN, LLC 3) 590-1374 /ENGR@GMAIL.COM FORTEWEB* IFORTEWEB* IFORT IFORTEWEB* IFORTMERCHORNE* IFORT* IFORT* IFORT* IFORT* IFOR* IFORT* <td>MEMBE EXTERIOR DE 1 piece(s) 2 x 8 Overal Overal face of left support (or left cantilever end). Al <u>P Location Allowed Result</u> <u>9 1/2" 3814 (4.50") Passed (8%)</u> <u>9 11 3/4" 1269 Passed (19%) 4' 7 1/2" 0.217 Passed (19%) 4' 7 1/2" 0.217 Passed (19%) 4' 7 1/2" 0.217 Passed (19%) 4' 7 1/2" 0.433 Passed (19%) 4' 7 1/2" 0.433 Passed (19%) 4' 7 1/2" 0.433 Passed (19%) 4' 7 1/2" 0.617 Passed (19%) a' 7 1/2" 0.618 Passed (19%) a' 7 1/2" 1/2" 1/2" 1/2" 1/2</u></td> <td>File National State Stat</td> <td>Arrow of the software. Products manufactured at SR-11397</td> <td>BAVENGR@GMAIL.COM</td> <td>e outside face of left support (or left Actual @ Location Allowed 641 @ 7' 11 1/4' 2966 (3.5C 271 @ 7' 2 1/4' 1269 -493 @ 7' 11 1/4' 953 0.045 @ 3' 10 9/16' 0.193 0.052 @ 3' 9 7/8' 0.386 N/A N/A (L/240). If has been added to account for repetitin acity has been added to account for latera IDS. d joist was considered in analysis.</td> <td>MEMBER REP(EXTERIOR DECK, ST- piece(s) 2 × 8 SP No Overall Length: 15 Overall Length: 15 i 2 cantilever end). All dimension Result Passed (22%) Passed (22%) Passed (22%) Passed (22%) Passed (L/999+) N/A Passed (L/999+) N/A re member usage. al stability. tents isability. tents isat Length Top Faste 1.50" N/A il connectors. Dead Floor Live (0.90) (1.00) 10.0 40.0</td>	MEMBE EXTERIOR DE 1 piece(s) 2 x 8 Overal Overal face of left support (or left cantilever end). Al <u>P Location Allowed Result</u> <u>9 1/2" 3814 (4.50") Passed (8%)</u> <u>9 11 3/4" 1269 Passed (19%) 4' 7 1/2" 0.217 Passed (19%) 4' 7 1/2" 0.217 Passed (19%) 4' 7 1/2" 0.217 Passed (19%) 4' 7 1/2" 0.433 Passed (19%) 4' 7 1/2" 0.433 Passed (19%) 4' 7 1/2" 0.433 Passed (19%) 4' 7 1/2" 0.617 Passed (19%) a' 7 1/2" 0.618 Passed (19%) a' 7 1/2" 1/2" 1/2" 1/2" 1/2</u>	File National State Stat	Arrow of the software. Products manufactured at SR-11397	BAVENGR@GMAIL.COM	e outside face of left support (or left Actual @ Location Allowed 641 @ 7' 11 1/4' 2966 (3.5C 271 @ 7' 2 1/4' 1269 -493 @ 7' 11 1/4' 953 0.045 @ 3' 10 9/16' 0.193 0.052 @ 3' 9 7/8' 0.386 N/A N/A (L/240). If has been added to account for repetitin acity has been added to account for latera IDS. d joist was considered in analysis.	MEMBER REP(EXTERIOR DECK, ST- piece(s) 2 × 8 SP No Overall Length: 15 Overall Length: 15 i 2 cantilever end). All dimension Result Passed (22%) Passed (22%) Passed (22%) Passed (22%) Passed (L/999+) N/A Passed (L/999+) N/A re member usage. al stability. tents isability. tents isat Length Top Faste 1.50" N/A il connectors. Dead Floor Live (0.90) (1.00) 10.0 40.0







	Rodriguez Associates Architects & Planners, LLC.
MEMBER REPORT PASSED EXTERIOR DECK, ST-30_BEAM 4 piece(s) 2 x 8 SP No.2 Overall Length: 7' 7"	640 Clinton Avenue Phone: 203-696-0653 Bridgeport, CT 06605 Fax: 203-696-1149 E-Mail: Ircoss@sbcglobal.net
Image: provide the support (or left cantilever end). All dimensions are horizontal. Image: provide the support (or left cantilever end). All dimensions are horizontal. Image: provide the support (or left cantilever end). All dimensions are horizontal.	THESE DOCUMENTS ARE FOR A RENOVATION OF A SINGLE-FAMILY RESIDENCE AT 24 GASPEE ROAD IN BRIDGEPORT, CONNECTICUT ONLY THE USE OF ANY PART OR PORTION THEREOF FOR ANY PURPOSE WILL REQUIRE WRITTEN PERMISSION FROM THE ARCHITECT.
bit Set 2" 11865 (3.50") Passed (16%) 1.0 D + 1.0 L (All Spans) Member Type : Drop Beam Building Code : IBC 2021 @ 10 3/4" 5075 Passed (28%) 1.00 1.0 D + 1.0 L (All Spans) Building Code : IBC 2021 @ 3 9 1/2" 0.181 Passed (L/970) 1.0 D + 1.0 L (All Spans) Design Methodology : ASD @ 3 9 1/2" 0.181 Passed (L/970) 1.0 D + 1.0 L (All Spans) Design Methodology : ASD @ 3 9 1/2" 0.363 Passed (L/759) 1.0 D + 1.0 L (All Spans) Design Methodology : ASD Total Available Required Dead Floor Live Factored Accessories 3.50" 3.50" 1.50" 406 1459 1865 Blocking applied directly above them and the full load is applied to the member being designed. Excinnes Excinnes continuous Comments Comments Comments Excinnes	BAV DESIGN, LLC STRUCTURAL ENGINEERING bavengr@gmail.com (203) 590-1374
Bearing Points (Side) Tributary Width Dead (0.90) Floor Live (1.00) comments 7" N/A 11.0 (Top) N/A 96.0 384.8 Linked from: ST- 28_JOIST, Support 2 Just swill be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties at intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is atabibe with the overall project. Accessories (Rim Board, Blocking Paneis and Squash Blocks) are not designed by this software. Products manufactured at o sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC-ES under evaluation reports ESR-1153 and ESR-1387 A standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to ti-library. unsions and support information have been provided by ForteWEB Software Operator	DO NOT SCALE DRAWINGS REFER ALL QUESTIONS AND CLARIFICATIONS TO THE ARCHITECT
Job Notes 1/3/2024 5:39:12 AM UTC ForteWEB v3.6, Engine: V8.3.1.5, Data: V8.1.4.1 File Name: 24 Gaspee Road BRIDGEPORT CT Page 34 / 34	CONSTRUCTION DOCUMENT
	Mo. 20877 Mo. 20877 Mo. 20877 A/12/2024 (SEAL)
	RENOVATION OF A SINGLE-FAMILY RESIDENCE
	24 GASPEE ROAD BRIDGEPORT, CONNECTICUT STRUCTURAL WOOD MEMBER
	CALCULATIONS SCALE: SCALED AS NOTED REVISIONS No. DATE DESCRIPTION 1 3-22-2024 B.O. COMMENTS - 9-18-2023 2 3-22-2024 OWNER REQUEST - 1-15-2024
	DATE: JANUARY 2, 2024



CITY OF BRIDGEPORT

ZONING BOARD OF APPEALS APPLICATION

The undersigned presents the following application for:

(<u>Check all that Apply</u>) Variance D Appeal from Zoning Officer D Extension of Time Permit / Modification of Plan of Development D Request for Re-hearing D Change of Condition(s) of Approval; pursuant to the Zoning Regulations of the City of Bridgeport and/or the General Statutes of the State of Connecticut as to the premises located at:

155 Carrie Street				Zone_
(Number)	(Street)	0.5	-	(Zone Classification)
On the North	side of the street about _1	05	_{feet} East	lorth, South, East, West)
Logan Street		Block : 5		Lot: 24 & 2
(Street) Dimension of Lot in Question	200.00' x 150.00' x 200.00	D' x 150.00'		-
1. NAME OF APPLICANT / E	ریہ BUSINESS <u>Marsillio Enterp</u>	^{vecify)} rises, LLC		
2. APPLICANT INTEREST II	N PROPERTY (OWNER, LES	(Print) SEE, ETC.)	Owner	
3. HAS A PREVIOUS APPLI	CATION BEEN FILED? No	IF SO, (GIVE DATE OF HE	ARING
4. DESCRIBE PROPOSED I		,		
Construction of a 5,480 S	F rear addition to existing w	/arehouse b	uilding with asso	ciated Site improvements
5. THIS APPLICATION REL	ATES TO: Check all that Apply			
□ Extension or Enlarger Approval □ Liquor □ L	nent of Non-Conforming Ise D Other:	Use and/o	Building 🗖 Co	rea
6. USE TO BE MADE OF PF	OPERTY Existing warehou	ise use to re	emain	
			See a	tached
7. WHAT IS THE SPECIFIC I	HARDSHIP FOR GRANTING		_ (14-7-4)?	
	MAMA.			DATE 06/06/2024
Ce	(Signature)		(Print)	
If signed by agent, state capacity (la	wyer, builder, etc		/	(m 1)
Mailing Address 10 Sasco Hi	l Road, Fairfield, CT 06824		203-254-7579	(Email)
			(Zip Code)	(Phone #)
PROPERTY OWNERS ENDORS (If other than owner)	SEMENT(Signature)		Print	
Subscribe & Sworn to before	,		20	
				irfield, State of Connecticut.
Note: READ C	AREFULLY BEFORE	FILLING		PPLICATION
	questions must be answered in			
i ne Applican	t, or Agent for, must adhere to The Zoning Board of Appeals			or ne possible for
	NO APPLICATION RECEIVED			

(REFER TO ZONING DEPARTMENT AS TO FEES 203-576-7217)

DATE:

FEE RECEIVED:

FOR OFFICE USE ONLY (Rev. 6/22/16)

_, 20_____ Clerk ____

Lisa S. Broder* LBroder@russorizio.com

Liam S. Burke Liam@russorizio.com

Colin B. Connor Colin@russorizio.com

William J. Fitzpatrick, III WFitzpatrick@russorizio.com

Amanda T. Heffernan Amanda@russorizio.com

David K. Kurata DKurata@russorizio.com

Stanton H. Lesser+ Stanton@russorizio.com

Victoria L. Miller* Victoria@russorizio.com

Anthony J. Novella* Anovella@russorizio.com

10 Sasco Hill Road Fairfield, CT 06824 Tel 203-254-7579 or 203-255-9928 Fax 203-576-6626

Darien, CT 06820 Tel 203-309-5500

299 Broadway, Suite 708 New York, NY 10007 Tel 646-357-3527

www.russorizio.com

June 6, 2024

Leah M. Parisi Leah@russorizio.com

William M. Petroccio* WPetro@russorizio.com

> Raymond Rizio* Ray@russorizio.com

Christopher B. Russo Chris@russorizio.com

> Robert D. Russo Rob@russorizio.com

John J. Ryan+ John@russorizio.com

Jane Ford Shaw Jane@russorizio.com

Vanessa R. Wambolt Vanessa@russorizio.com

* Also Admitted in NY Also Admitted in VT + Of Counsel

Paul Boucher Zoning Administrator Zoning Department 45 Lyon Terrace Bridgeport, CT 06604 HAND-DELIVERED

Re: Petition for Variance - 155 Carrie Street

Dear Mr. Boucher:

Please accept the following narrative and enclosed application materials as part of the application for variances to the Bridgeport Zoning Board of Appeals ("ZBA") for the property located at 155 Carrie Street (the "Site") in the I Zone:

Variance

- 1. Variance of Sec. 3.130.4 of the Bridgeport Zoning Regulations (the "Regulations") to reduce the minimum rear setback from ten feet (10') to one and a half feet (1.5') for a proposed addition to the existing warehouse building; and
- 2. Variance of Sec. 7.110.3 to eliminate the requirement of a rear landscaped buffer adjacent to an I Zone.

Narrative

The Petitioner requests an approval for variances of the Regulations to permit the construction of a 5,480 SF rear addition to the existing building to expand the existing warehousing use at the Site. The Site currently contains a single approximately 9,421 SF single-story industrial building. The Site has a longstanding history, built in 1965, as an industrial and warehousing property and it is located in the I Zone. The Site abuts the I zone to its rear and eastern side and the NX2 Zone is located directly across the street. However,

5 Brook St., Suite 2B

110 Merchants Row, Suite 3

Rutland, VT 05702

Tel 802-251-6556

an industrial building is located directly across the street along with residential dwellings further west.

The Petitioner proposes to construct a 5,480 SF one-story addition to the rear of the existing building. The addition will allow more materials to be stored within the building rather than outside while still conforming to the coverage standards for the I Zone. The Petitioner proposes a masonry building with metal fascia on top to match the existing building. The Site currently contains a recessed loading dock on the eastern side of the Site. The Petitioner proposes an additional recessed loading dock to allow for greater access to the building. A portion of the eastern side of the building will be demolished to create room for the new loading dock. The Petitioner also proposes extensive drainage on the Site as well as an increase in landscaping, which will be a tremendous improvement from existing conditions.

The Site and the existing building have access from Carrie Street, which is a dead end road. The improvements will improve maneuverability and access to the Site. As stated above, the proposed addition will add a loading bay and allow more storage within the interior of the building. The addition will also be located the furthest away from the residential dwellings as possible thereby buffering from the most sensitive use in the area. Another industrial property is located directly to the rear and east of the Site.

Hardship

Granting the Applicant the above-stated variances will not substantially affect the comprehensive zoning plan of the City of Bridgeport and strict adherence to the Regulations would cause a unique hardship to the Applicant as the Applicant is proposing a use and coverage of the Site, which is completely compliant with the Regulations, and proposing an addition as far way as possible from the most sensitive uses in the Site's vicinity. The Applicant proposes a site coverage, which is fully compliant with the Regulations. So, the actual proposed addition is conforming to the Regulations, it is just a question of where to locate the addition. As is common in Bridgeport, sometimes industrial properties and residential properties are located in close proximity. The Site abuts the I Zone and industrial properties to the north and east. To the rear, M&O Corporation is located where some of their vehicles are stored towards the shared property line with the Applicant. To the east, a transfer facility is located. The Site directly abuts where their waste transfer operations occur. The Applicant has located the addition in this area along with drainage systems, which would greatly improve drainage from the existing conditions. The setbacks under the Regulations would permit the addition to be constructed on the west and south of the Site, but that would locate the addition as close as possible to the residential dwellings on Carrie Street. Rather than locate the addition in this area, the Applicant is able to add landscaping to buffer their use. So, it reduces the buffer where it is not needed as the abutting industrial properties similarly have no buffer and increases the buffer where it is needed. For these reasons, the proposed variances are also conforming to the neighborhood. It significantly improves existing conditions to create a buffer between pre-existing residential and industrial uses,

which are in close proximity. In addition, increased storage within the building, rather than outside the building is certainly more preferable for nearby sensitive uses. The additional loading bay will also help ensure the Site operates smoothly and reducing traffic and maneuvering issues. It is a tremendous improvement of a Site that has a longstanding industrial history and has always contained industrial uses to meet existing conditions.

For the reasons stated above, the Petitioner respectfully requests the above-stated variances for the proposed addition to the existing building.

Sincerely, Christopher Russo

TOD DAVENPORT ST.				232 LOGAN ST E	141 DAVENPORT ST E	155 CARRIE ST N	212 LOGAN ST E	131 DAVENPORT ST E	119 DAVENPORT ST E	111 DAVENPORT ST F		200 LOGAN ST E	170 CARRIE ST	93 DAVENPORT ST H	160 CARRIE ST (150 CARRIE ST #152 \	174 LOGAN ST #176 (152 LOGAN ST #154	LOCATION	100' ABUTTERS LIST - 155 CARRIE ST
BPM PROPERTY LLC	MECANNICA LLC	MECANNICA LLC	CAMUY CONSTRUCTION LLC	BRIDGEPORT CITY OF	BPM PROPERTY II LLC	MARSILLIO ENTERPRISES LLC	BRIDGEPORT CITY OF	BPM PROPERTY II LLC	BPM PROPERTY III LLC	FIGUEROA CHARLES & ANGELA	MARTINEZ JORGE A L	BRIDGEPORT CITY OF	170 CARRIE ST LLC	KOVACS' GARAGE LLC	CHRISTIAN ROSALES	VITTI MICHAEL W JR ET AL	C & B INVESTMENTS LLC	MOREL YINA LUCAS	OWNER	155 CARRIE ST
PO BOX 1617	164 ALEX ST	154 ALEX ST #164	146 ALEX ST	45 LYON TER	PO BOX 1693	2031 BLACK ROCK TURNPIKE	45 LYON TER	PO BOX 1693	PO BOX 1617	111 DAVENPORT ST	103 DAVENPORT ST	45 LYON TER	36 BOB WHITE TERRACE	85 DAVENPORT STREET	160 CARRIE ST	69 SHADOW RIDGE ROAD	69 SHADOW RIDGE RD	491 PARK ST	OWNER ADDRESS	
BRIDGEPORT	BRIDGEPORT	BRIDGEPORT	BRIDGEPORT	BRIDGEPORT	BRIDGEPORT	FAIRFIELD	BRIDGEPORT	BRIDGEPORT	BRIDGEPORT	BRIDGEPORT	BRIDGEPORT	BRIDGEPORT	MONROE	BRIDGEPORT	BRIDGEPORT	STAMFORD	STAMFORD	BRIDGEPORT	CITY	
CI	ŋ	С	CT	CT	С	CT	Ŋ	CT	С	CT	CT	C	CI	CT	C	CT	CT	C	STATE	
06601	06607	06607	06607	06604	06601	06825-3550	06604	06601	06601	06607	06607-2006	06604	06468	06607	06606	06905	06905	80990	ZIP	

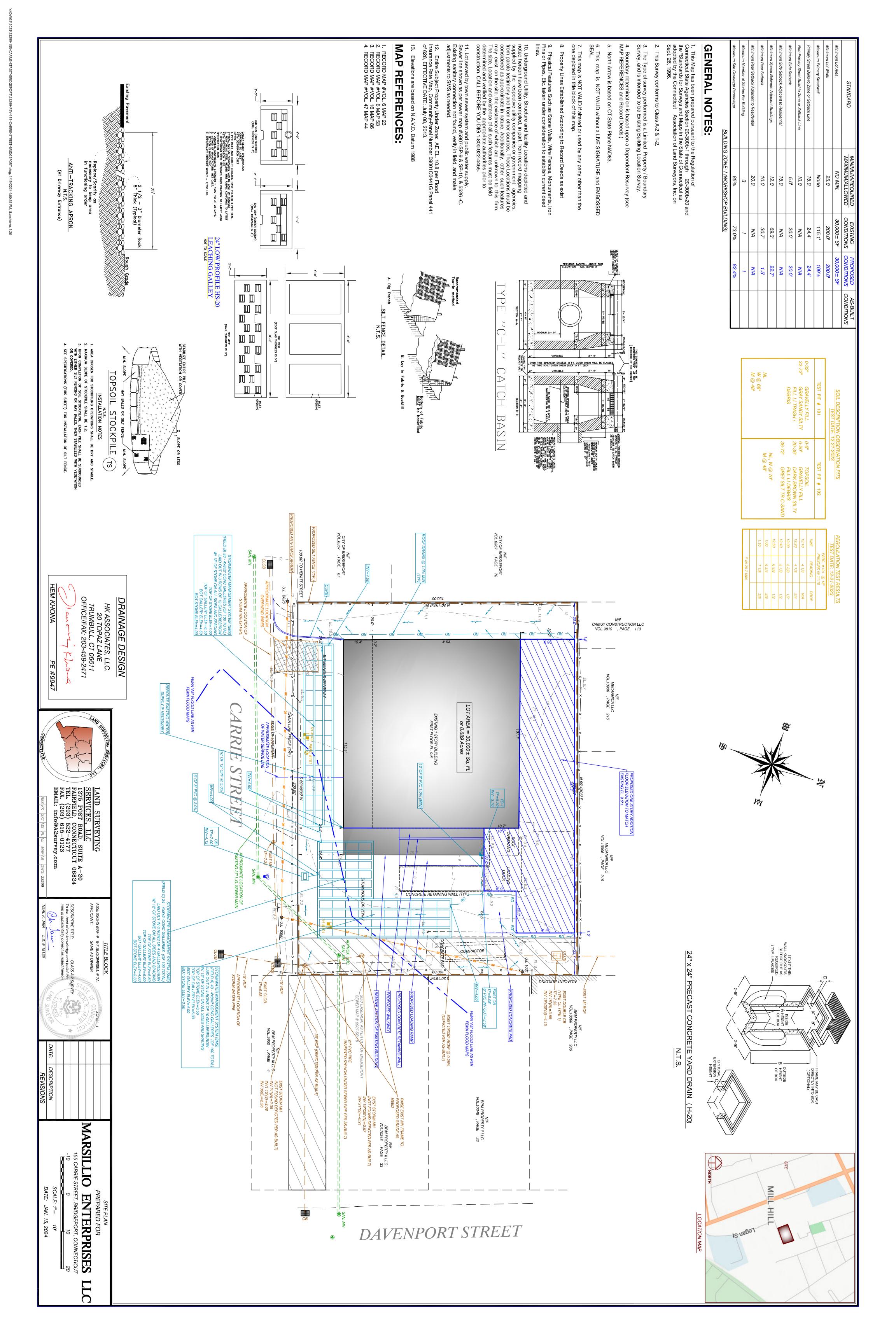
· · · · · · · ·

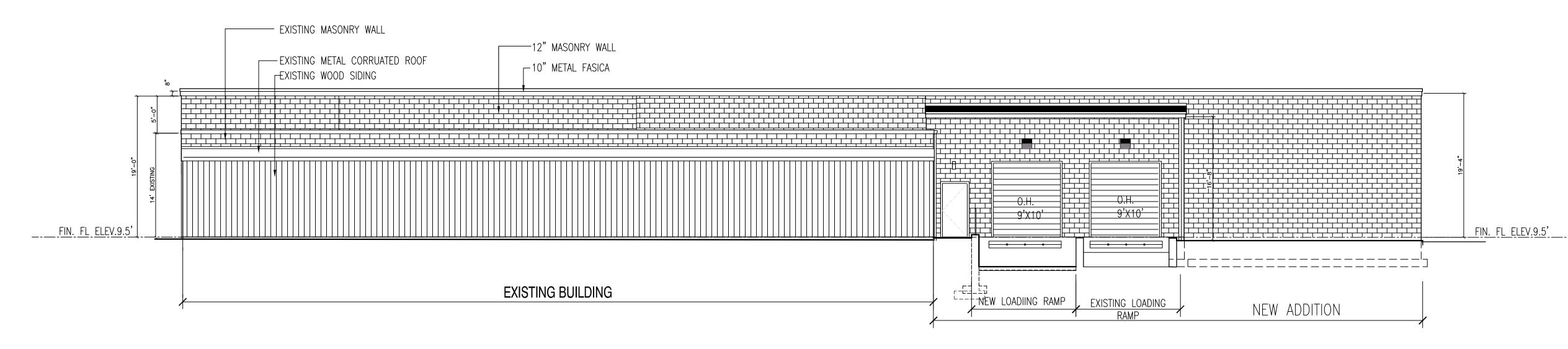
MARSILLIO ENTERPRISES, LLC ACTIVE

2031 BLACK ROCK TPKE 2031 BLACK ROCK TURNPIKE 2031 BLACK ROCK TURNPIKE, FAIRFIELD, CT, 06825, United States

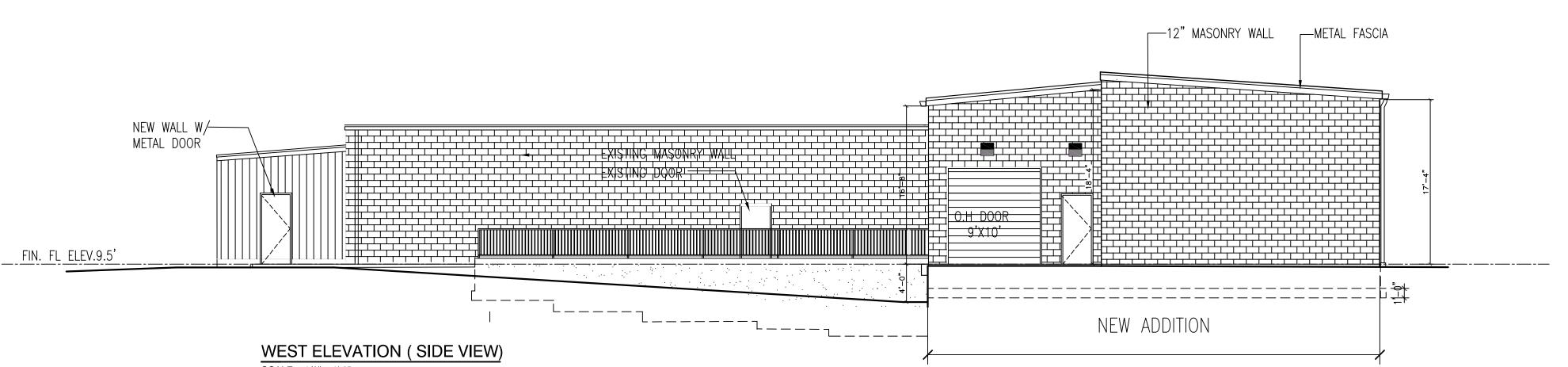
BU	ISINESS DETAILS	~
В	Business Details	^
G	ieneral Information	
	usiness Name IARSILLIO ENTERPRISES, LLC	
	usiness status CTIVE	
	itizenship/place of formation omestic/Connecticut	
20	usiness address 031 BLACK ROCK TPKE 2031 BLACK ROCK TURNPIKE 2031 BLACK ROCK TURNPIKE, FAIRFIELD, nited States	CT, 06825,
	nnual report due /31/2025	
	AICS code orporate, Subsidiary, and Regional Managing Offices (551114)	
	usiness ALEI 718321	
	ate formed /19/2002	
Bu LL	usiness type _C	
	ailing address D31 BLACK ROCK TPKE 2031 BLACK ROCK TPKE, FAIRFIELD, CT, 06825, United States	
	ast report filed D24	
	AICS sub code 51114	
Pr	rincipal Details	
Pri	rincipal Name	

6/10/24,	10:20 AM	onlineBusinessSearch	
	DAVID MARSILLIO		
×	Principal Title MEMBER		
	Principal Business address 2031 BLACK ROCK TPKE, FAIRFIELD, CT, 06825, United States		
	Principal Residence address 4 CIRCLE DRIVE, DANBURY, CT, 06811, United States	,	
	Agent details		-
	Agent name PHILIP MARSILLIO		
	Agent Business address 2031 BLACK ROCK TPKE, FAIRFIELD, CT, 06825, United States		
	Agent Mailing address 2031 BLACK ROCK TPKE, FAIRFIELD, CT, 06825, United States		
	Agent Residence addresss 1024 FAIRFIELD BEACH RD , FAIRFIELD, CT, 06824, United States		
	Filing History	~	
(h	tps://ctds.my.salesforce.com/sfc/p/t000000PNLu/a/t0000003H8Sh/UqXvkC_PxI	buFTBwuLDrCX2NVMeYiGIBB JbvhXM4D4	Business Formation - Certificate of Organization 0002433888 Filing Filing
			date: time: 6/19/2002
	Volume Type B		
	Volume 503		
	Start page 692		
	Pages 1		
	Date generated 6/19/2002		
	Digital copy <u>View as PDF</u>		
	<u>(https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t00</u>	00003H8Sh/UqXvkC_PxIbuFTBwu	<u>DrCX2NVMeYiGIBB_JbvhXM4D4)</u>

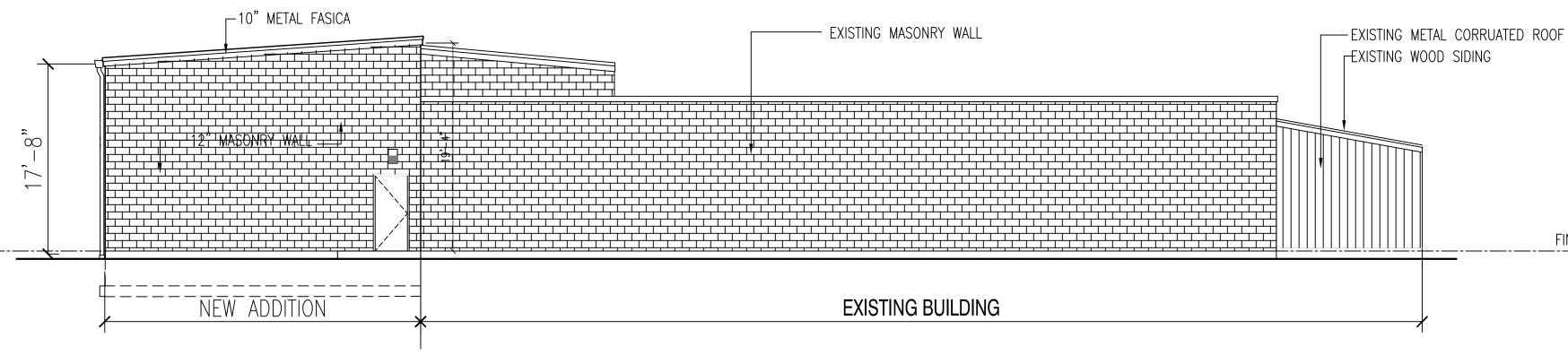




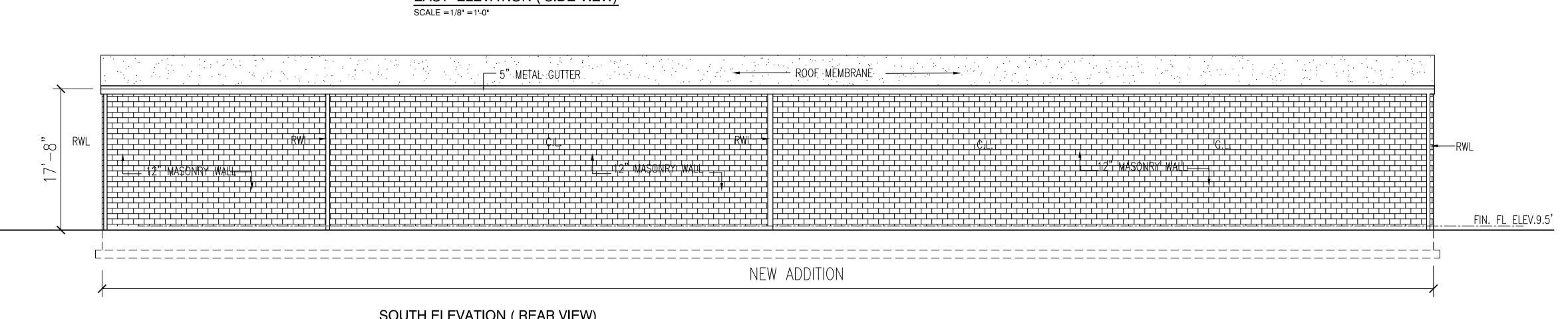
NORTH ELEVATION (STREET VIEW) SCALE = 1/8" = 1'-0"



SCALE =1/8" =1'-0"

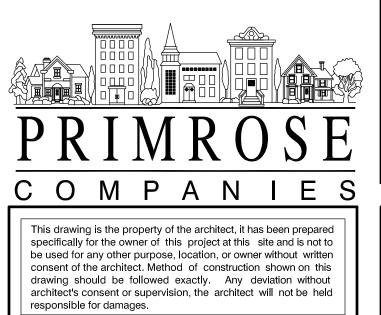


EAST ELEVATION (SIDE VIEW)

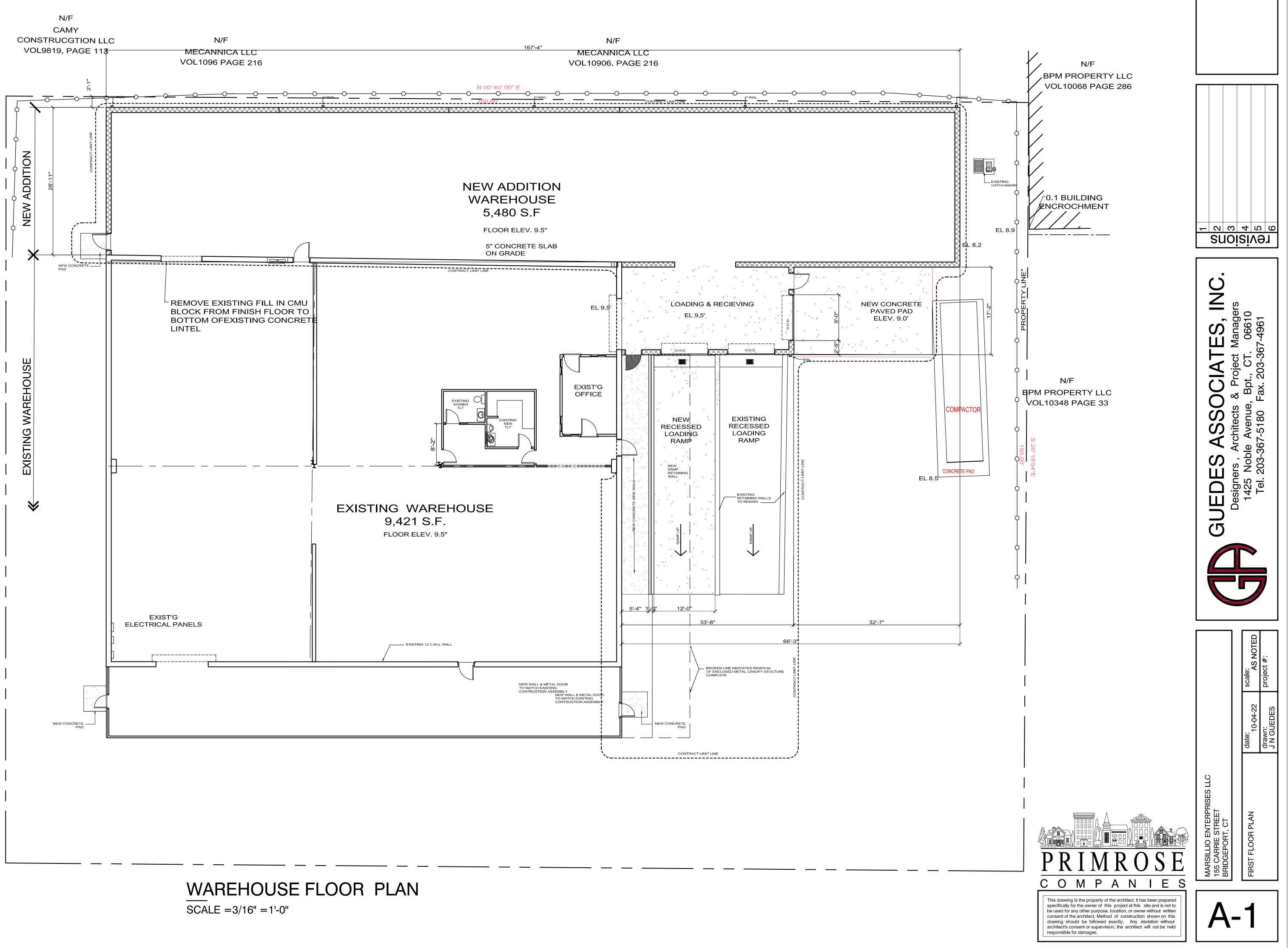


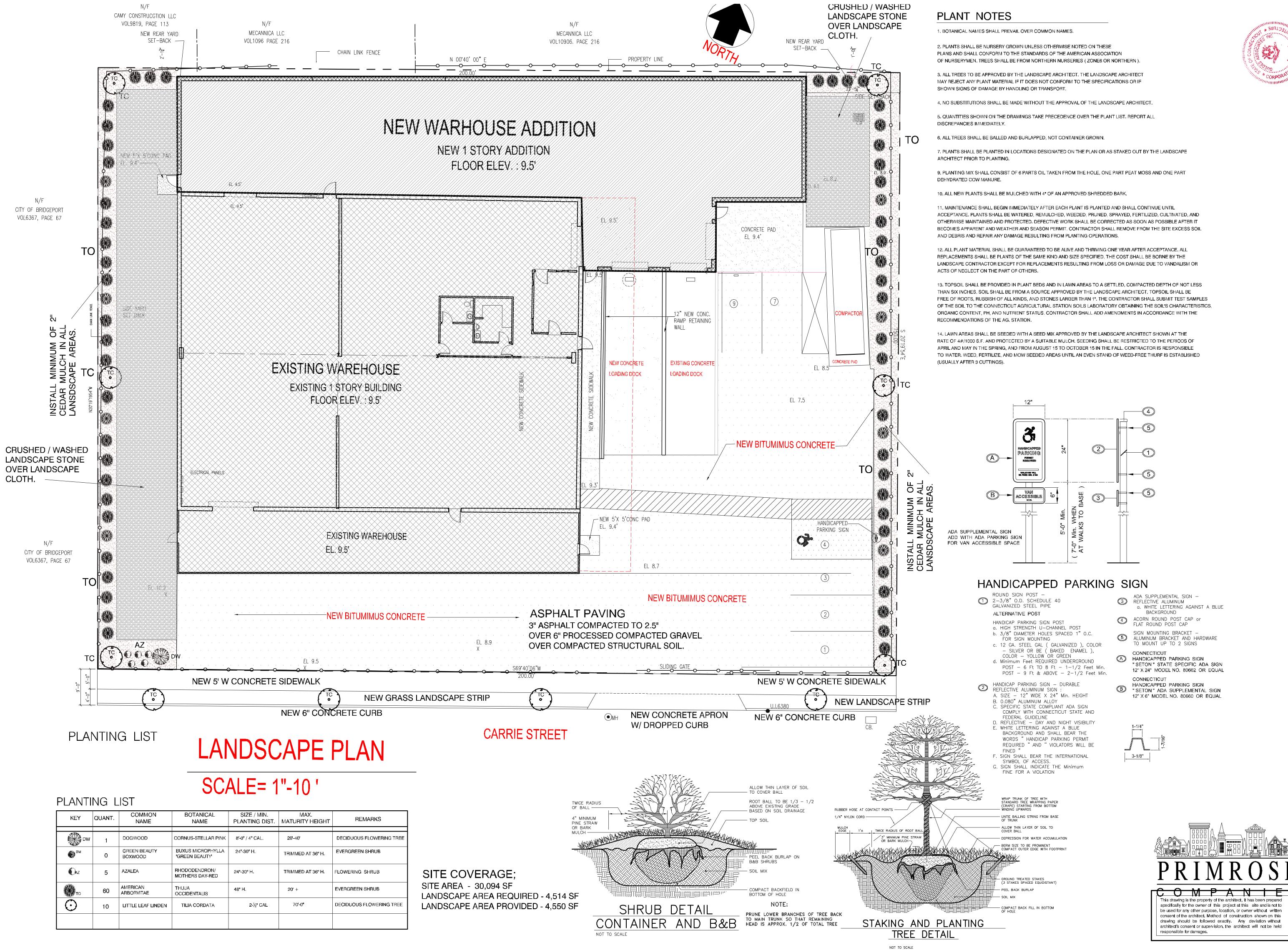
SOUTH ELEVATION (REAR VIEW) SCALE =1/8" =1'-0"

FIN. FL ELEV.9.5'









KEY	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE / MIN. PLANTING DIST.	MAX. MATURITY HEIGHT	REMARKS	
DW	1	DOGWOOD	CORNUS-STELLAR PINK	8'-0" / 4" CAL.	20'-40'	DECIDUOUS FLOWERING TREE	
B M	0	GREEN BEAUTY BOXWOOD	BUXUS MICROPHYLLA 'GREEN BEAUTY'	24"-30" H.	TRIMMED AT 36" H.	EVERGREEN SHRUB	
Az Az	5	AZALEA	RHODODENDRON/ MOTHERS DAY-RED	24 ' -30" H.	TRIMMED AT 36" H.	FLOWERING SHRUB	
то	60	AMERICAN ARBORVITAE	THUJA OCCIDENTALIS	48' H.	20' +	EVERGREEN SHRUB	
\odot	10	LITTLE LEAF LINDEN	TILIA CORDATA	2-½" GAL	70'-0"	DECIDUOUS FLOWERING TREE	





