



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: Veronica Ventreschi Design

2. Is the Applicant's name Trustee of Record? Yes _____ No ✓

If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.

3. Address of Property: 209 Saunders Ave CT 06606
(number) (street) (state) (zip code)

4. Assessor's Map Information: Block No. _____ Lot No. _____

5. Amendments to Zoning Regulations: (indicate) Article: 3.0 Section: 3.100

(Attach copies of Amendment)

6. Description of Property (Metes & Bounds): _____

7. Existing Zone Classification: N2

8. Zone Classification requested: N2

9. Describe Proposed Development of Property: convert existing single family house into two family, and also build an addition in the rear of the property
Approval(s) requested: convert single family into two family

Signature: _____ Date: 01/17/2024

Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____

Print Name: Veronica Ventreschi

Mailing Address: 55 Merritt Blvd, Trumbull CT, 06611

Phone: 475 319 3169 Cell: _____ Fax: _____

E-mail Address: veronica@veronicaventreschi.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Danny Ventura _____ 01/17/2024
Print Owner's Name Owner's Signature Date

Print Owner's Name Owner's Signature Date

209 SAUNDERS AV

Location 209 SAUNDERS AV

Mblu 67/ 2716/ 16/A /

Acct# RP-0105800

Owner MURCIA YANNY D

Assessment \$185,100

Appraisal \$264,420

PID 31173

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2024	\$165,540	\$98,880	\$264,420

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$115,880	\$69,220	\$185,100

Owner of Record

Owner MURCIA YANNY D
Co-Owner
Address 209 SAUNDERS AVE
BRIDGEPORT, CT 06606

Sale Price \$70,000
Certificate
Book & Page 8916/0091
Sale Date 09/16/2013
Instrument 14

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
MURCIA YANNY D	\$70,000		8916/0091	14	09/16/2013
SECRETARY OF HOUSING & URBAN DEV	\$0		8877/0330	14	07/15/2013
WELLS FARGO BANK NA	\$299,570		8751/0268	14	01/15/2013
ESPINAL SIXTA A	\$205,000		6381/0037	UNKQ	05/06/2005
PILAT STANLEY & ANNABELL	\$0		2987/0271		03/27/1992

Building Information

Building 1 : Section 1

Year Built: 1953

Living Area: 1,629
Replacement Cost: \$177,998
Building Percent Good: 93
Replacement Cost
Less Depreciation: \$165,540

Building Attributes

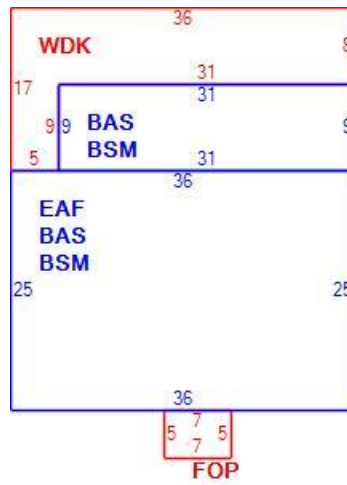
Field	Description
Style:	Cape Cod
Model	Residential
Grade:	C
Stories:	1.5
Occupancy:	1
Exterior Wall 1:	Vinyl Siding
Exterior Wall 2:	
Roof Structure:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Drywall
Interior Wall 2:	
Interior Flr 1:	Hardwood
Interior Flr 2:	
Heat Fuel:	Oil
Heat Type:	Forced Air
AC Type:	Central
Total Bedrooms	4 Bedrooms
Total Full Baths	1
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	6
Bath Style:	Average
Kitchen Style:	Average
Num Kitchens	
Fireplaces	0
Fin Bsmt Area	200
Fin Bsmt Quality	Rec Room
Num Park	
Bsmt Garages	0
.	NBHD 21-SFR
Fndtn Cndtn	
Basement	

Building Photo



(https://images.vgsi.com/photos2/BridgeportCTPhotos/A0098\IMG_2001_9)

Building Layout



(ParcelSketch.ashx?pid=31173&bid=31173)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	1,179	1,179
EAF	Fin Expansion Attic	900	450
BSM	Basement	1,179	0
FOP	Open Porch	35	0
WDK	Wood Deck	333	0
		3,626	1,629

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use		Land Line Valuation	
Use Code	101	Size (Acres)	0.23
Description	Single Family	Frontage	0
Zone	RB	Depth	0
Neighborhood	21	Assessed Value	\$69,220
Alt Land Appr Category	No	Appraised Value	\$98,880

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$165,540	\$98,880	\$264,420
2021	\$165,540	\$98,880	\$264,420
2020	\$165,540	\$98,880	\$264,420

Assessment			
Valuation Year	Improvements	Land	Total
2022	\$115,880	\$69,220	\$185,100
2021	\$115,880	\$69,220	\$185,100
2020	\$115,880	\$69,220	\$185,100



Legend

- Parcels
- Streetname
- Roadways
 - Local
 - Collector
 - Minor Collector
 - Minor Arterial
 - Major Collector
 - PA Other
 - PA Other Expwy
 - PA Interstate

1:852



141.9 0 70.97 141.9 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
Created by Connecticut Metropolitan Council of Governments

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



789 RESERVOIR AVE LLC
105 A EAST BROADWAY

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105A EAST BROADWAY

BRIDGEPORT CITY OF
45 LYON TERR

BRIDGEPORT CITY OF
45 LYON TERR

MCGINNIS JAMES C
835 RESERVOIR AVE

SOUTH LIONEL N (ESTATE OF) &
MARVA
185 SAUNDERS AV

BROOKS SHAKIA
193 SAUNDERS AV

RICKETTS EVORINE M
195 SAUNDERS AVE

MURCIA YANNY D
209 SAUNDERS AVE

RODNEY ST CLAIR & GERLY
231 SAUNDERS AVE

CALLISTE KATHLEEN
239 SAUNDERS AV

SZYMANSKI JAN
837 RESERVOIR AVE

ROSA JUAN
27 MOFFITT ST

MEBANE ERNEST & MARIA
214 SAUNDERS AVE

KELLY BRIAN A
224 SAUNDERS AVE

CAMPBELL SANITA
847 RESERVOIR AV

JOHNSON GEORGE
234 SAUNDERS AVE

Written Statement

Subject: Application for Special Permit – 209 Saunders Ave, Bridgeport, CT

Please accept this formal request, on behalf of my client, Yanny Murcia (the “Petitioner”), for a special permit for the property located at 209 Saunders Ave, Bridgeport, CT, situated in the N2 zone. The objective is to convert the current single-family dwelling into a two-family residence. This request aligns with section 3.100 (House B Building Type) for ZONES N2, which permits the establishment of two units with a special permit.

Our application seeks to address the following hardships:

1. Neighborhood Consistency and Enhancement:

- **Local Housing:** Within a 300-foot radius of our property, there are 3 townhouses, demonstrating a trend towards diverse housing options in our neighborhood.
- **Architectural Harmony:** Our proposed design is inspired by the existing houses in the area. We are committed to maintaining the street's aesthetic and believe that our addition will enhance the overall value of the neighborhood.

2. Regulatory Compliance and Property Specifications:

- **Zoning Regulations:** Our plans adhere to all local zoning regulations, including front, rear, and side setbacks, as well as site coverage requirements.
- **Lot Size:** The lot for our property covers the required area of 10,000 square feet, ensuring ample space for the proposed changes.
- **Parking and Accessibility:** We have driveways on both sides of the property to accommodate vehicles and provide sufficient off-street parking. This feature not only meets but exceeds local requirements for vehicle accommodation.

In conclusion, our proposed property conversion is not only consistent with the character of the neighborhood but also aligns with the local zoning regulations and supports the evolving needs of the community. We respectfully request your consideration of our application for the special permit.

Sincerely,

Yanny Murcia - Owner

Veronica Ventreschi Design LLC

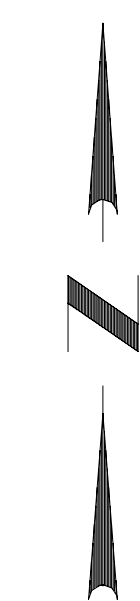
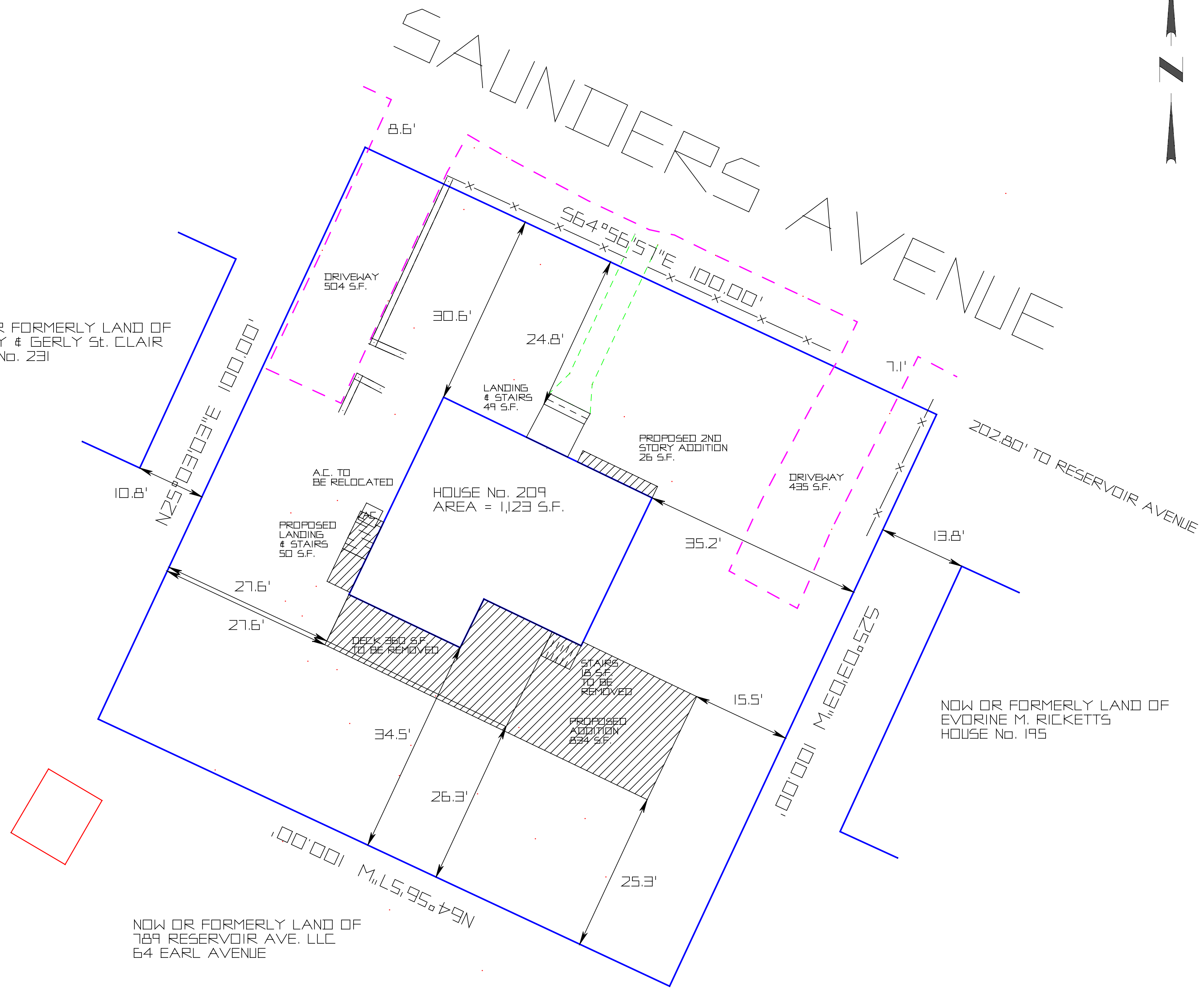
ITEM	REQUIRED	EXISTING	PROPOSED
ZONE	N2	N2	N2
FRONT	20'/30'	24.8'/30.6'	24.8'/30.6'
SIDE	6'/15'	27.6'/62.8'	15.5'/43.1'
REAR	20'	26.3'/34.5'	25.3'
SITE COVERAGE	65%	26.05%	30.62%
AREA	NA	10,000 S.F.	10,000 S.F.

HOUSE TYPE N2

EXISTING
 PEAK HEIGHT = 159.7'
 EAVES HEIGHT = 147.7'
 MIDPOINT = 153.7'
 AVERAGE GRADE = 132.5'

HEIGHT = MIDPOINT - AVERAGE GRADE
 HEIGHT = 21.2'

NOW OR FORMERLY LAND OF
 RODNEY & GERLY St. CLAIR
 HOUSE No. 231



DEPENDENT RESURVEY

THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE. ANY USE OTHER THAN THAT WHICH WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARERS DECLARATION NULL & VOID.

UNDERGROUND IMPROVEMENTS OR UNDERGROUND ENCRDACHMENTS IF ANY ARE NOT SHOWN.

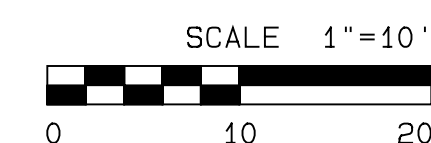
UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE SURVEYORS STAMP OR SEAL, RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.

THE SURVEY AND DECLARATION SHOWN HEREON IS NULL AND VOID WITHOUT THE LICENSED SURVEYORS ORIGINAL STAMP OR EMBOSSED SEAL.

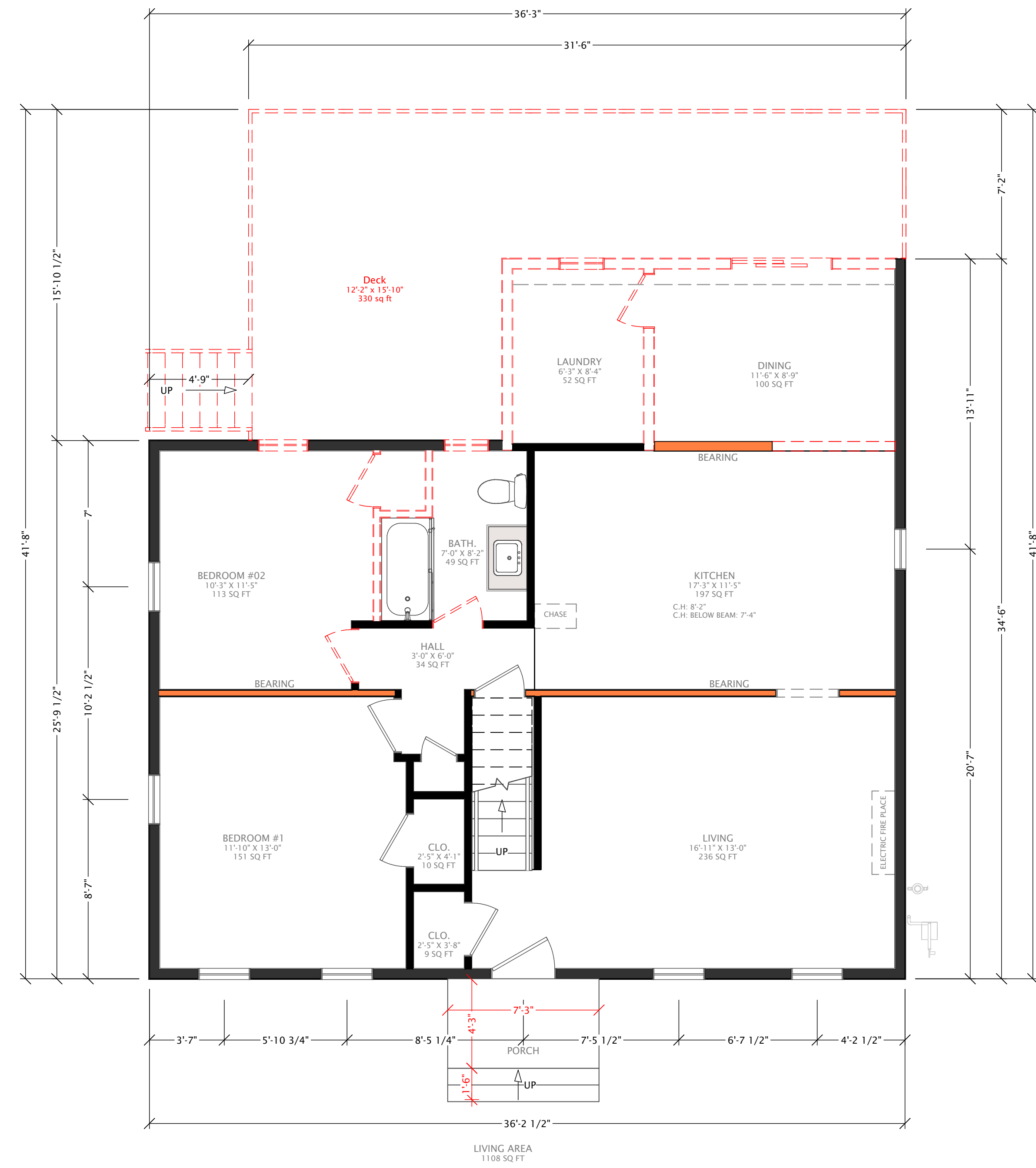
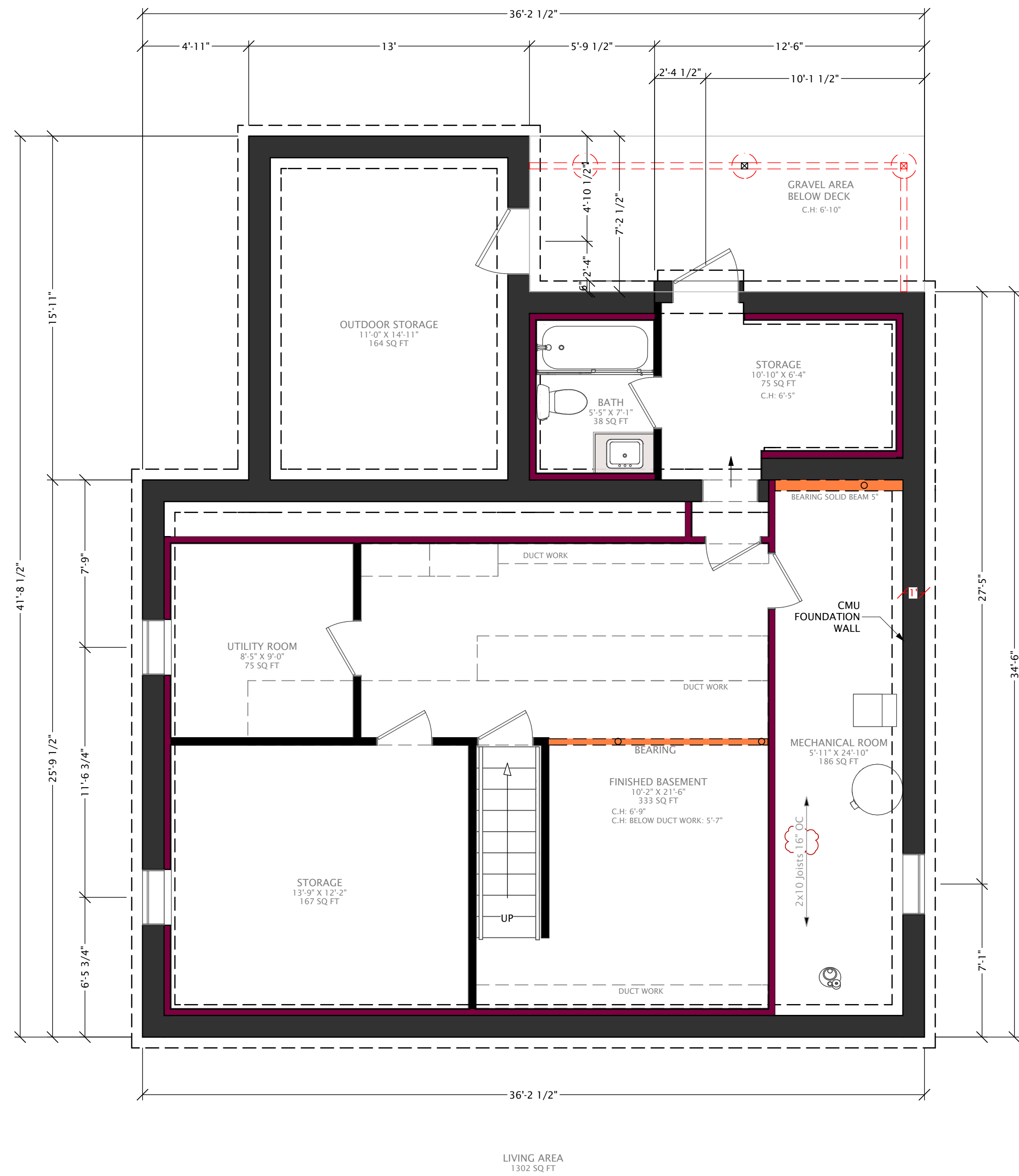
THIS MAP DOES NOT CONSTITUTE EITHER A SUBDIVISION OR A RESUBDIVISION UNDER THE TERMS OF SECTION 8-18 OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED.

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE STANDARDS OF ACCURACY OF A CLASS A-2 SURVEY AS DEFINED IN THE CODE OF PRACTICE FOR STANDARDS OF ACCURACY OF SURVEYS AND MAPS ADOPTED JUNE 21, 1996 AS AMENDED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INCORPORATED.

MICHAEL L. McELROY, L.L.S. No. 17250



PLOT PLAN
 OF
 209 SAUNDERS AVENUE
 PREPARED FOR
 YANNY D. MURCIA
 AUGUST 15, 2023 SCALE: 1" = 10'
 BRIDGEPORT, CONNECTICUT
 BLACK ROCK SURVEYORS
 1089 CHURCH HILL ROAD
 FAIRFIELD, CONNECTICUT
 (203) 371-0003
 blackrocksurvey@optonline.net

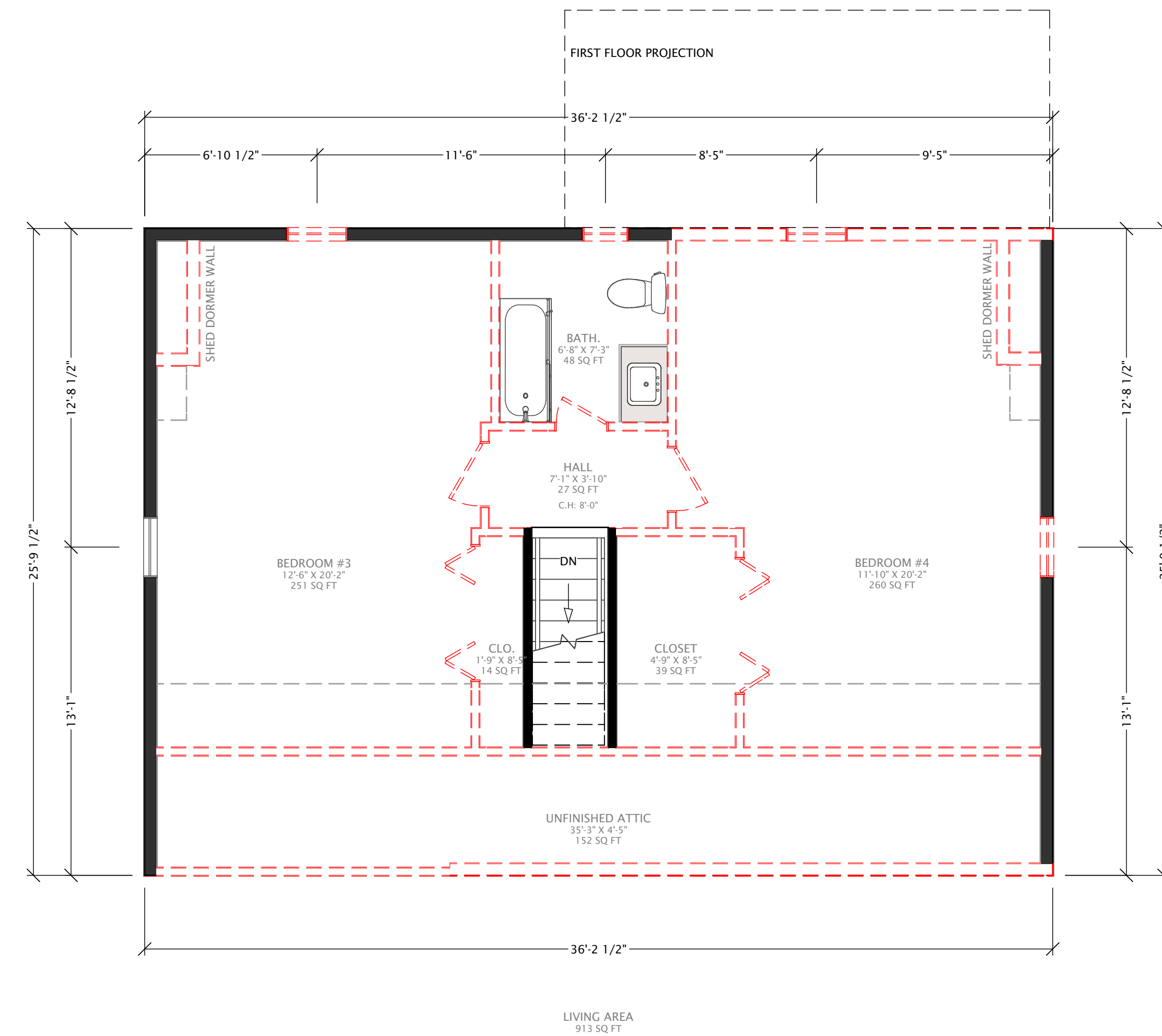


Issue Date	Revision	Description

Interior Renovation & Addition
Yanny Murcia
209 Saunders Ave, Bridgeport, CT, 06606

FOR VARIANCE
1/3/2024

THIS DRAWING IS THE PROPERTY OF THE DESIGNER. IT HAS BEEN PREPARED SPECIFICALLY FOR THIS SITE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF THE DESIGNER. METHOD OF CONSTRUCTION SHOWN ON THIS DRAWING SHOULD BE FOLLOWED EXACTLY. ANY DEVIATION WITHOUT DESIGNER'S CONSENT OR SUPERVISION, THE DESIGNER WILL NOT BE HELD RESPONSIBLE FOR DAMAGES. ©



EXISTING/DEMOLISH SECOND FLOOR PLAN
1/4"=1'

GENERAL NOTES
LIVING AREA:
C.H.:

EXISTING WALL LINETYPE LEGEND

- TO BE DEMOLISHED
- TO REMAIN

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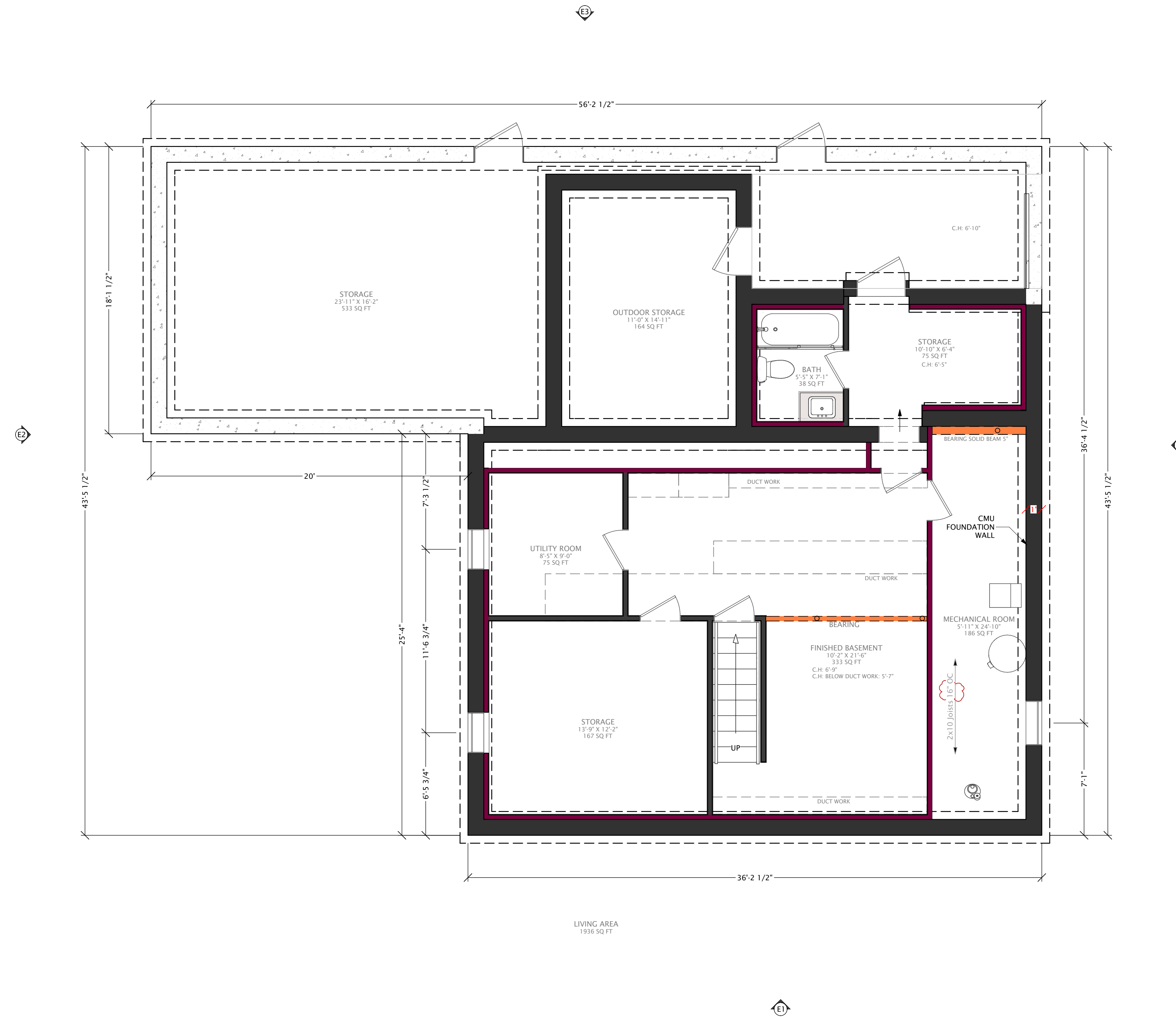
A-3

PROPOSED BASEMENT PLAN

1/4"=1'

GENERAL NOTES
LIVING AREA:
C.H.:

LINETYPE LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING INTERIOR WALL
	NEW EXTERIOR WALL
	NEW INTERIOR WALL
	BEARING WALL
	ONE FINISH INTERIOR WALL
	EXISTING FOUNDATION WALL
	NEW FOUNDATION WALL



Issue Date	Revision	Description

Interior Renovation & Addition
Yanny Murcia
209 Saunders Ave, Bridgeport, CT, 06606

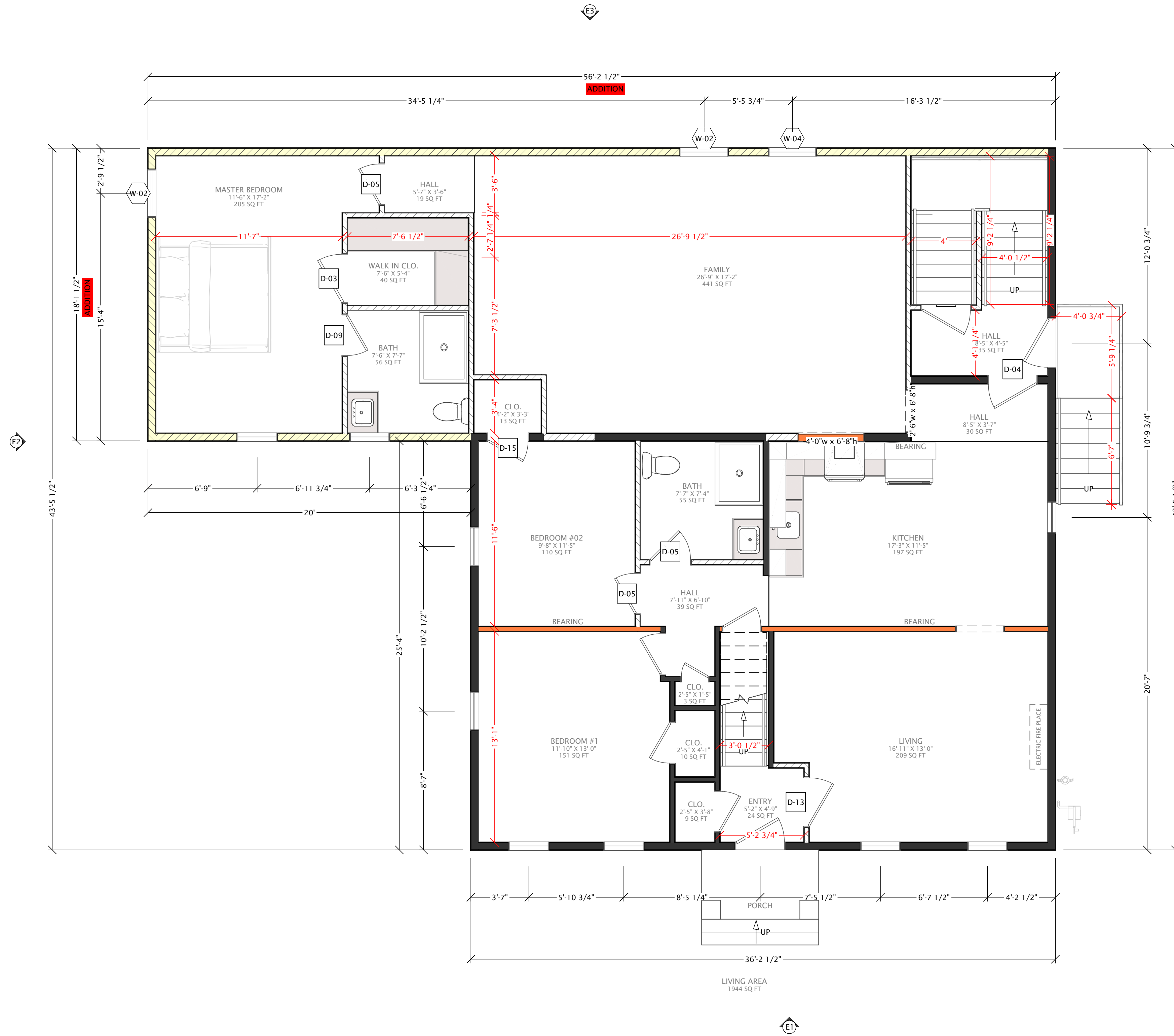
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PROPOSED FIRST FLOOR PLAN 1/4"=1'

GENERAL NOTES
LIVING AREA:
C.H.:

LINETYPE LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING INTERIOR WALL
	NEW EXTERIOR WALL
	NEW INTERIOR WALL
	BEARING WALL
	ONE FINISH INTERIOR WALL
	EXISTING FOUNDATION WALL
	NEW FOUNDATION WALL

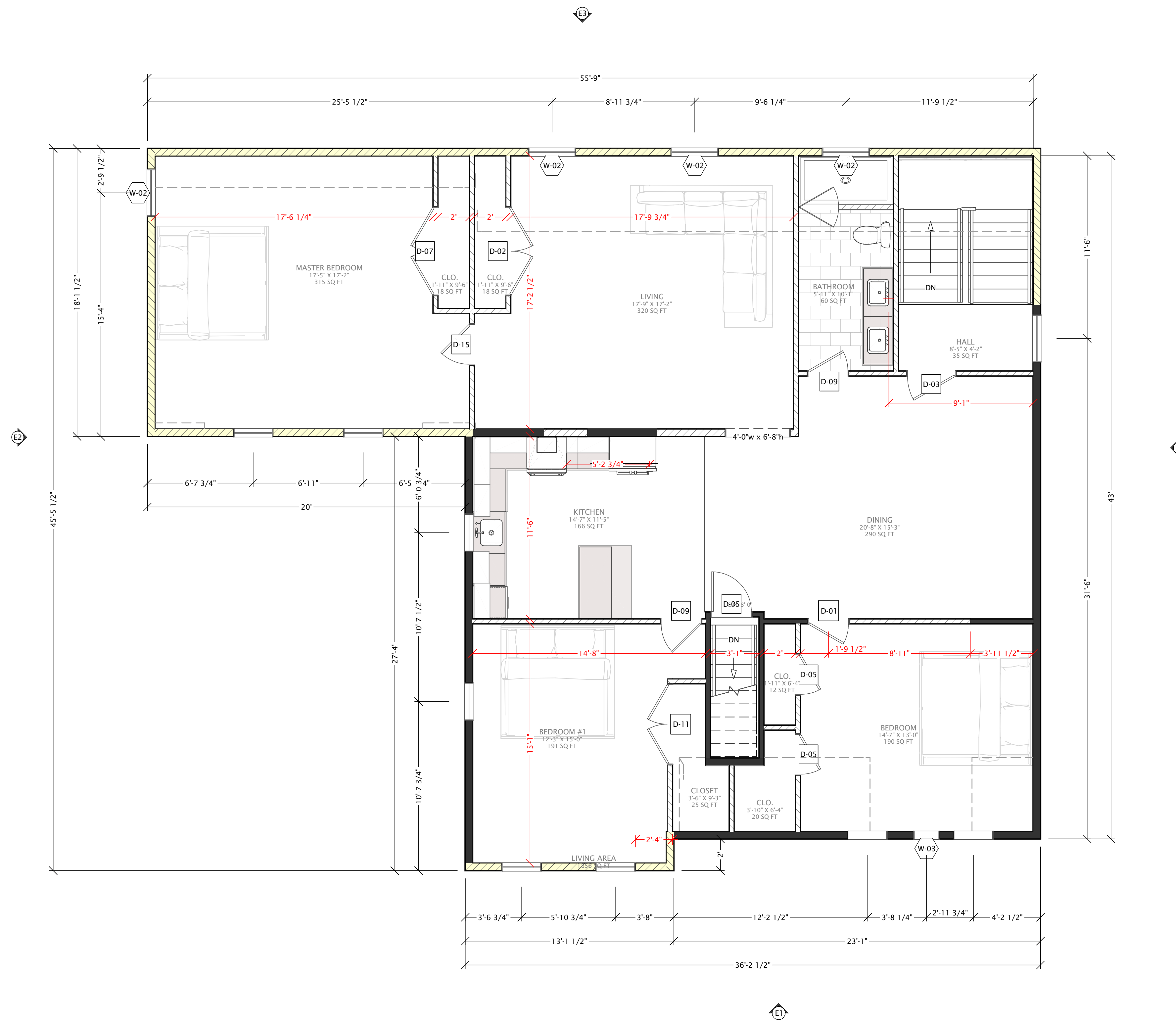


Issue Date	Revision	Description

Interior Renovation & Addition
Yanny Murcia
209 Saunders Ave, Bridgeport, CT, 06606

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1/3/2024

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PROPOSED SECOND FLOOR PLAN
1/4"=1'

GENERAL NOTES
LIVING AREA:
C.H.:

LINETYPE LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING INTERIOR WALL
	NEW EXTERIOR WALL
	NEW INTERIOR WALL
	BEARING WALL
	ONE FINISH INTERIOR WALL
	EXISTING FOUNDATION WALL
	NEW FOUNDATION WALL

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209 Saunders Ave, Bridgeport, CT, 06606

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NOTE SCHEDULE

Alignment Instruction for Construction

Prioritize the vertical alignment and symmetry as shown in the elevations over the measurements given in the plans. It is important to align everything correctly to ensure the design is executed as intended.

ELEVATION FRONT & RIGHT SIDE

1/4"=1'

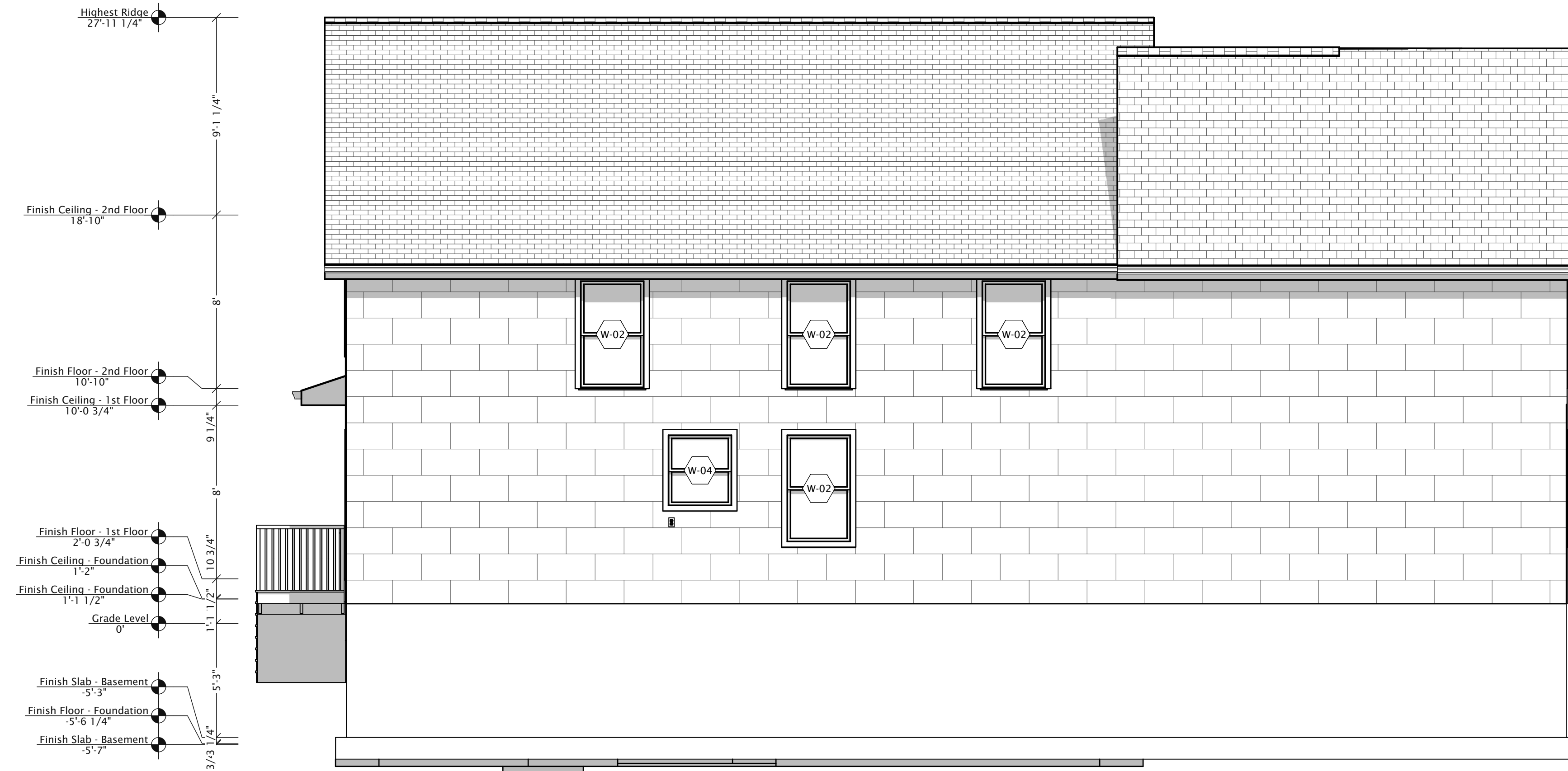
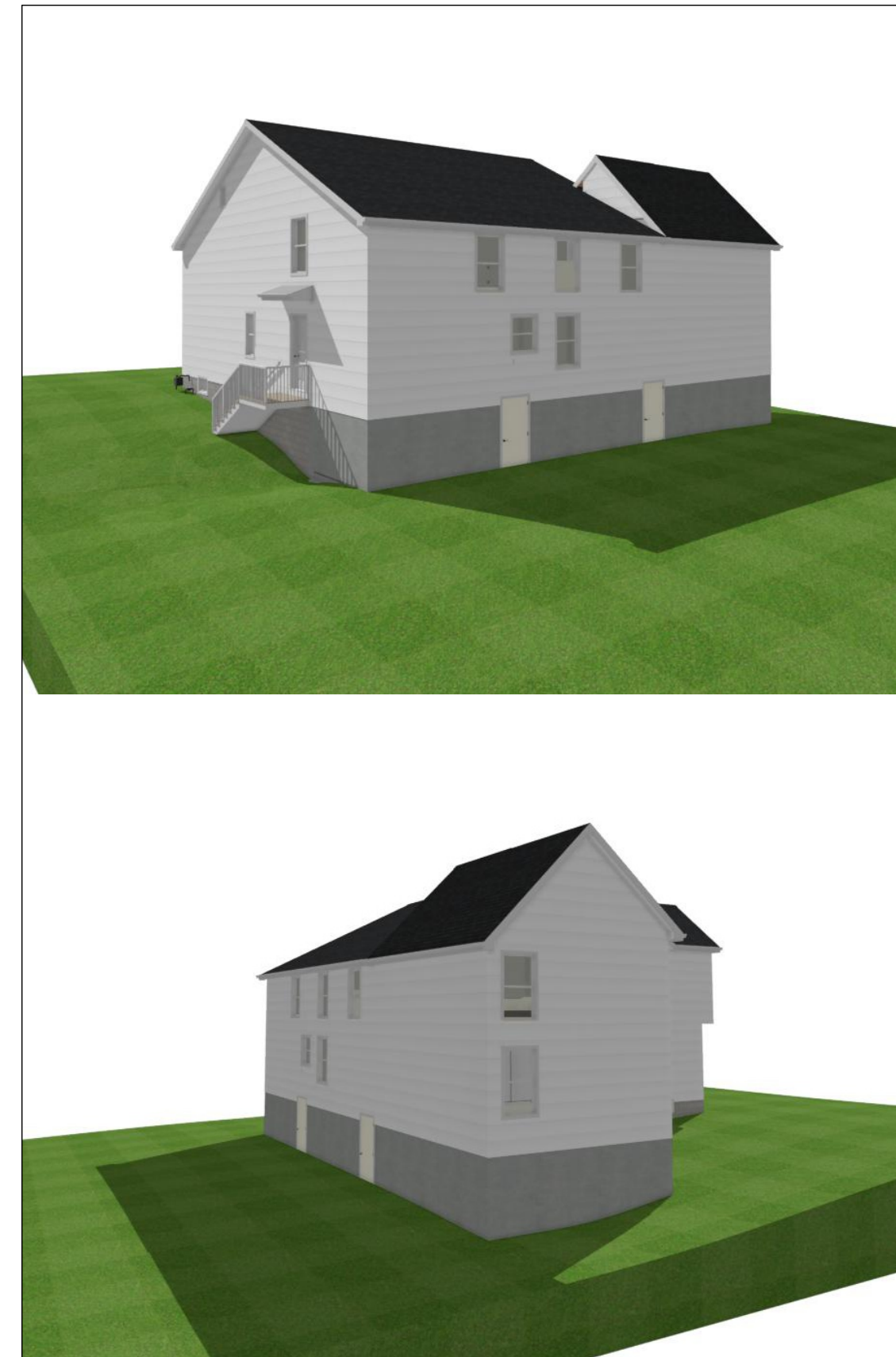


Issue Date	Revision	Description

Interior Renovation & Addition
 Yannu Murcia
 209 Saunders Ave, Bridgeport, CT, 06606

FOR VARIANCE
 1/3/2024

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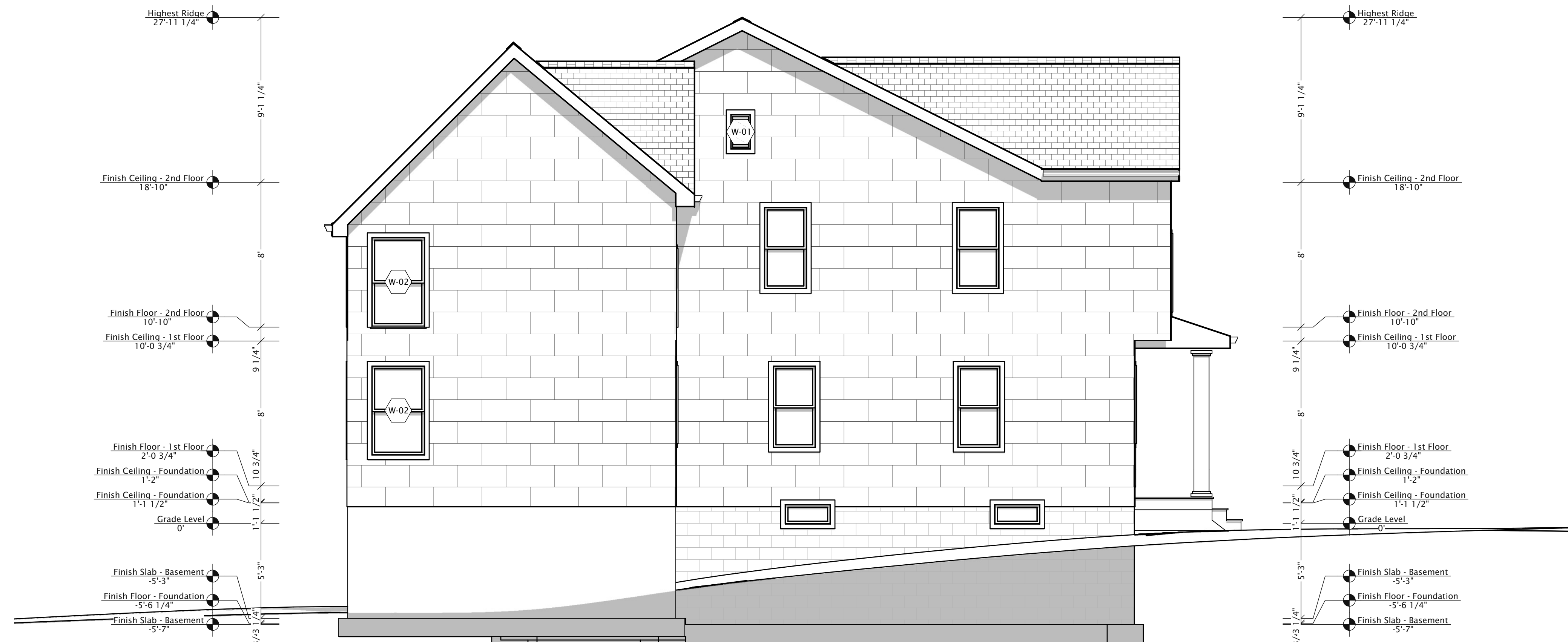
NOTE SCHEDULE

Alignment Instruction for Construction

Prioritize the vertical alignment and symmetry as shown in the elevations over the measurements given in the plans. It is important to align everything correctly to ensure the design is executed as intended.

ELEVATION REAR & LEFT SIDE

1/4"=1'



Issue	Date	Revision	Description

Interior Renovation & Addition
 Yanny Murcia
 209 Saunders Ave, Bridgeport, CT, 06606

FOR VARIANCE
 1/3/2024

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3.100 House B Building Type

3.100.1 DESCRIPTION AND INTENT

House B incorporates characteristics typical of mid-century houses built after World War II, including a footprint that is generally either square or rectangular, oriented on the block parallel to the street. Parking, when provided, is located in the rear yard and accessed off a narrow, side driveway. The houses are 1, 1.5, or 2 stories in height with the half story located within a pitched roof having a ridge parallel to the street, so the half story is not always visible on the front facade. Story heights are lower than House A, making these houses lower in overall height.

3.100.2 ILLUSTRATIVE IMAGES

The images shown in [Figure 3.100-A](#) are intended to illustrate the general character of the building type. The buildings and sites in each image may not fulfill all of the building type regulations.

3.100.3 SITE AND BUILDING REGULATIONS

The following tables and illustrations regulate this specific building type. See [3.10](#) for general regulations for all building types. See [14.0](#) for definitions and measuring table regulations.

LINK	SUBSECTION
3.100.4	Building Siting
3.100.5	Parking & Accessory Structures
3.100.6	Height
3.100.7	Roofs
3.100.8	Primary & Non-Primary Facades
3.100.9	Allowed Uses Table
3.100.10	Supplemental Regulations

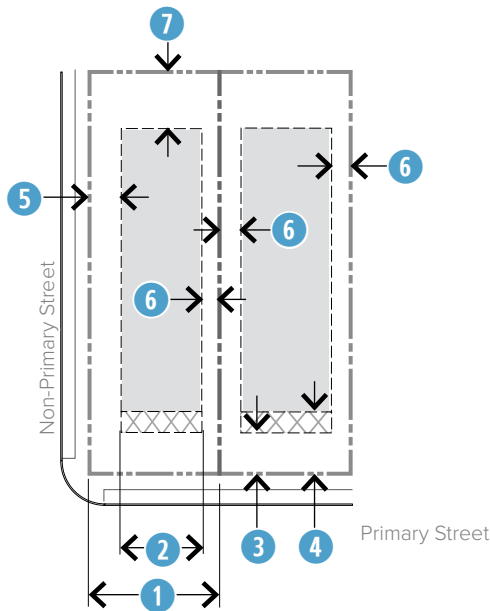


Figure 3.100-A. Examples of House B Building Type

3.0 Site & Building Types

3.100 House B Building Type

Figure 3.100-B. House B Building Siting



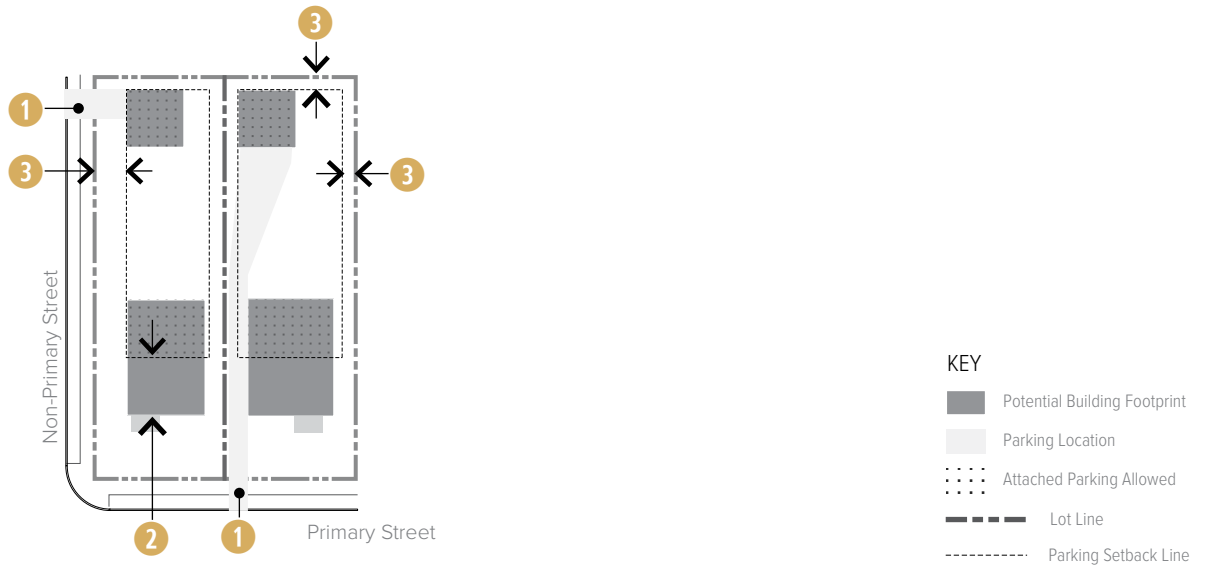
ZONES

N2

Additional/References

3.100.4. BUILDING LOCATION. See Figure 3.100-B			
	Multiple Principal Buildings	allowed per 3.100.10.A	
1	Lot Width per Principal Building	45 ft. min.	
	Lot Size	No min.	
2	Primary Streetwall	No max. for 1-unit; 50 ft. max. for 2-unit	Measured at minimum setback along any primary street.
3	Primary Street Setback	20 ft. min. 30 ft. max.	Prevailing setbacks apply. See 14.20.6 for measuring. See 3.100.10 for allowed encroachments.
4	Porch, Steps, Bay Encroachment	8 ft. max.; porch or bay width of 16 ft. max.	
5	Non-Primary Street Setback	12 ft. min.	
6	Side Setback Space between Adjacent Buildings	6 ft. min.; min. 15 ft. total both sides 15 ft. min.	
7	Rear Setback	20 ft. min.	
8	Site Coverage	65% max.	See 14.20.7 for measuring site coverage.

Figure 3.100-C. House B Parking Siting



ZONES

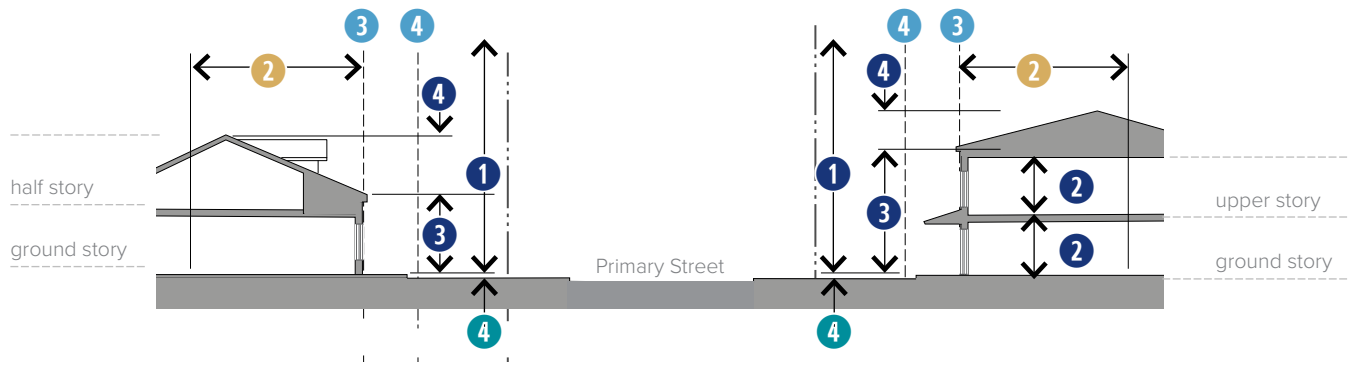
N2

Additional/References

3.100.5. PARKING & ACCESSORY STRUCTURES. See Figure 3.100-C			
1	Parking & Driveway Access	Max. 9 ft. width at primary street lot line; max. 1 driveway per building	See 8.0 for parking.
2	Attached Garage Setback Allowed Garage Door Location	20 ft. min. behind primary facade Rear facade, street-side facade	
3	Surface Parking & Accessory Structure Location	Rear yard only	See 3.170 for accessory structures.
	Street-Side Setback	No closer to lot line than principal building	
	Side & Rear Setback	3 ft. min.	
ALLOWED ACCESSORY STRUCTURES		N2	See 3.170 for accessory structures and 4.70 for accessory uses.
	Backyard Cottage	●	KEY: ● = Allowed ○ SP = Requires a Special Permit
	Outbuildings & Garages	●	
	Drive-Through Facilities	–	
	Fuel Pumps	–	
	Parking Structure	–	
	Temporary Storage Container	●	
	Building-Mounted Utilities	●	
	Ground-Mounted Utilities	–	

3.0 Site & Building Types
3.100 House B Building Type

Figure 3.100-D. House B Height



ZONES

N2

Additional/References

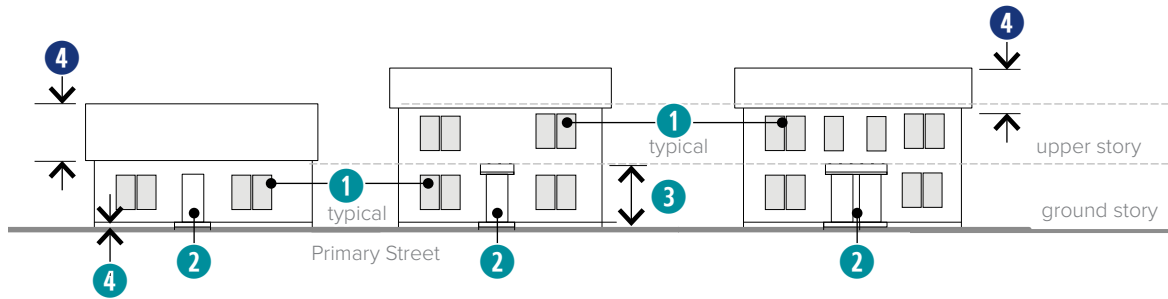
3.100.6. HEIGHT. See [Figure 3.100-D](#)

1	Height	1 story min. 2 stories max.	See 14.20.10 for measuring height. See 3.100.10 for basement garage allowance.
2	Story Height	8 ft. min. 9 ft. max.	Measured floor-to-floor.
3	Height to Eaves	16 ft. max.	Height to eaves is measured from the first floor to the bottom of the eave. See 14.20.10 for measuring height to eaves.

3.100.7. ROOFS. See [Figure 3.100-D](#)

4	Roof Types	Pitched	See 6.20 for roof types.
5	Tower	Not allowed	

Figure 3.100-E. House B Facades



ZONES

N2

Additional/References

3.100.8. PRIMARY & NON-PRIMARY FACADES. See [Figure 3.100-E](#)

			Additional/References
1	Transparency: Primary Facades Non-Primary Facades	12% min. 10% min.	Measured per story, including any half stories, visible basement, or towers with full-floor height. See 14.20.11 for measuring transparency.
		On primary facades, no bays or 10 ft. wide sections of any story may be without transparency	
2	Building Entrance Location	Primary facade, 2 doors allowed on primary facade for 2-unit building	
3	Entrance Transition Type	Porch or stoop	See 6.30 for entrance types.
4	Ground Story Elevation above Grade	Between 12 in. and 30 in. above grade or between 30 in. and 4 ft. with a visible basement	See 3.100.10 for basement garage allowance.

3.0 Site & Building Types

3.100 House B Building Type

		ZONES	
		N2	Reference
3.100.9. ALLOWED USES. See Article 4.0 for use definitions, specific use limitations, and other use-related regulations.			
RESIDENTIAL			4.30
Number of Principal Units		1 in House, 2 with special permit	
Number of Accessory Apartments		1 in Backyard Cottage with special permit	
Household Living		●	4.30.1
Group Living		●	4.30.2
Short-Term Rental		–	4.30.3
COMMERCIAL			4.40
Office		–	4.40.1
Retail & Entertainment		–	4.40.2
Live Entertainment Venue		–	4.40.3
Consumer Service, Indoor		–	4.40.4
Funeral & Mortuary Service		–	4.40.5
Self-Service Storage, Indoor		–	4.40.6
Consumer Service, Outdoor		–	4.40.7
Light Vehicle Sales & Service		–	4.40.8
Heavy Sales & Service		–	4.40.9
Wholesale Sales		–	4.40.10
Controlled Sales & Service		–	4.40.11
Cannabis Sales		–	4.40.12
Cannabis Growing		–	4.40.12
Parking, Non-Accessory		–	4.40.13
Sexually Oriented Business		–	4.40.14
MANUFACTURING & INDUSTRY			4.50
Manufacturing, Low-Impact		–	4.50.1
Manufacturing, Moderate-Impact		–	4.50.2
Warehousing & Distribution		–	4.50.3
Heavy Industry		–	4.50.4
CIVIC & INSTITUTIONAL			4.60
Civic, Large		–	4.60.1
Civic, Small		–	4.60.2
Civic, Campus		–	4.60.3
Transportation Facilities		–	4.60.4
Detention & Correctional Facilities		–	4.60.5
Parks & Open Space		●	4.60.6
Minor Utilities		●	4.60.7
Major Utilities		–	4.60.8

KEY: ● = Allowed Use ● = Allowed in Upper Stories Only ● = Limited to No More than 25% of Footprint
 ○ SP = Requires Special Permit ○ CL = Requires Certificate of Location Approval – = Not Allowed

[table continued on following page]

3.0 Site & Building Types

3.100 House B Building Type

[table continued from previous page]

ZONES		
	N2	Reference
ACCESSORY USES		4.70
Accessory Apartments	●	4.70.2
Home Occupations	●	4.70.3
Sidewalk Cafes	-	4.70.4
Outdoor Display Areas	-	4.70.5
Outdoor Storage	-	4.70.6

KEY: ● = Allowed Use ● = Allowed in Upper Stories Only ● = Limited to No More than 25% of Footprint
 ○ SP = Requires Special Permit ○ CL = Requires Certificate of Location Approval - = Not Allowed

KEY

- Potential Building Footprint
- Drive-Lane Location
- Attached Parking Allowed
- Lot Line
- Building Setback Line
- Parking Setback Line

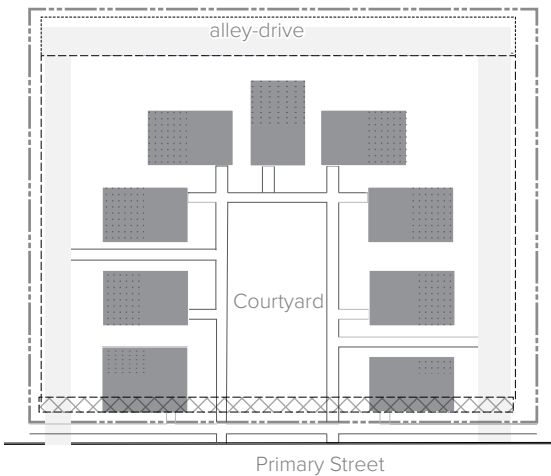


Figure 3.100-F. House B Court Layout Example

3.100.10 SUPPLEMENTAL REGULATIONS

A. House B Court. See [Figure 3.100-F](#) for one layout of the following regulations. Multiple principal House B buildings may be located on a development lot meeting the following:

- (1) Multiple abutting lots may be aggregated to be considered a single development site. All lots must be submitted and developed at the same time.
- (2) For every House B fronting the street and meeting the primary setback, 2 houses may be located on the interior of the lot, fronting a courtyard.
- (3) The minimum space between adjacent buildings must be met.
- (4) Each building must fulfill all of the requirements of the building type unless otherwise expressly stated.
- (5) Courtyard Frontage.
 - (a) The courtyard must be enclosed on 3 sides by primary facades of House B buildings.
 - (b) The courtyard must be treated as landscape area and may not include any parking.

3.0 Site & Building Types

3.100 House B Building Type

- (c) Facade requirements apply to courtyard facades. If a unit is located on the corner of the courtyard and the street, the entrance must be located on the street.

B. Primary Street-Accessed Garage in Basement. A garage door in a basement may be located on the primary facade under the following conditions:

- (1) Where Allowed. Where the lot grade is generally 3 feet or more higher above the average curb or edge of pavement elevation along the primary lot line, a basement garage door may be located on the primary facade.
- (2) Maximum Width. The garage door may be no wider than 35% of the ground story facade width. The remaining portions of the basement facade may be no more than 4 feet above grade.



Figure 3.100-G. Basement Garage on House B Building



File No. _____

**PLANNING & ZONING COMMISSION
APPLICATION**

- 1. NAME OF APPLICANT: Yohana Mondragon
- 2. Is the Applicant's name Trustee of Record? Yes _____ No _____
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
- 3. Address of Property: 2925 Fairfield Avenue ct 06605
(number) (street) (state) (zip code)
- 4. Assessor's Map Information: Block No. 109 Lot No. 13
- 5. Amendments to Zoning Regulations: (indicate) Article: N/A Section: N/A
(Attach copies of Amendment)
- 6. Description of Property (Metes & Bounds): .35 ac

- 7. Existing Zone Classification: MX1
- 8. Zone Classification requested: No Change
- 9. Describe Proposed Development of Property: Open full service restaurant with
A consumer bar.

Approval(s) requested: Certificate of location approval for
liquor license

Signature: Yohana Mondragon Date: 1/26/24
Print Name: Yohana Mondragon

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: _____

Mailing Address: 46 Everle st stratford CT 06614
Phone: _____ Cell: 203-970-0329 Fax: _____
E-mail Address: milsabores LLC@gmail.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

David Rothberg [Signature] 1/25/24
Print Owner's Name Owner's Signature Date

Print Owner's Name Owner's Signature Date



W

CITY OF BRIDGEPORT

**PLANNING & ZONING COMMISSION
CHECKLIST**

FOR PUBLIC HEARING APPLICATIONS

I. REQUIRED INFORMATION (except for Fee & USB submit an original & 16 copies of all below)

- Completed & Signed Application & Checklist Form
- Fee
- Written Statement of Development Use
- Completed Site Plan
- Drainage Plan
- Building Floor Plans
- Property Owner's List
- Cert. of Corporation/Org. of First Report
- A-2 Site Survey
- Building Elevations
- Other Evidence/Testimonial Information
- 1 USB MEMORY FLASH DRIVE STICK

NOTE: Please provide 1 USB MEMORY FLASH DRIVE Stick:

- The information on the memory flash drive sticks must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labeled** with the property address, applicant name and date of hearing.
- **All plans and paper work that is submitted to the Zoning office must be FOLDED (11x17 or smaller) and Collated into 17 separate packets.**

II. SUPPLEMENTARY INFORMATION (Optional)

- Perspective Rendering
- Building and Site Sections
- Eight 8 x10 Color or Black/White Photos of the Current Premises' Condition
- Copies of Zoning Board of Appeals, or Historic District Commission Decisions
- Drainage Report
- Traffic Studies
- Environmental Impact Statement
- Real Estate Studies
- Department of Environmental Protection or Coastal Area Management reports
- Aerial Photographs

III. OPTIONAL EXHIBITS (may be presented at the public hearing (16 copies not required)

- Color Rendering
- Models
- Material Sample
- OTHER: _____

Dear Honorable P&Z Commissioners,

I, Yohana Madragon, hereby declare that the premises located at 2925 Fairfield Avenue, in the city of Bridgeport, Connecticut will be used for the operation of a restaurant/café for the sale of alcoholic beverages. The proposed use of the premises complies with all zoning regulations and requirements set forth by the city of Bridgeport.

The premises will be operated in accordance with all applicable laws and regulations governing the sale of alcoholic beverages and will maintain compliance with all zoning ordinances and restrictions. The primary purpose of the establishment is to [Briefly describe the primary function of the establishment, is to provide dining services and the sale of alcoholic beverages will be incidental to this primary purpose.

Thank you for taking the time to listen to our item before you. Let me tell you a brief story of our history. We embarked on our culinary journey in 2019 as a food truck based in Norwalk, Connecticut. Following the overwhelming support from our community, we expanded our presence with a brick-and-mortar establishment in Bridgeport, Connecticut, which opened its doors in 2021. Now, with profound gratitude for the continuous support, we are on the brink of unveiling our new, more expansive location in the coming months.

This expansion is not just a physical development but a testament to our unwavering commitment to enhancing the dining experience. My culinary roots trace back to Venezuela, where I was immersed in the rich variety of ingredients and profound flavors that define our cuisine. The fusion of Mexican and Venezuelan influences adds unique layers to our culinary narrative.

Our dedication extends beyond exceptional cuisine; we are committed to creating an inviting environment where friends and families can gather, forging lasting memories. We prioritize responsible alcohol service, acknowledging its significance in our commitment to a holistic dining experience.

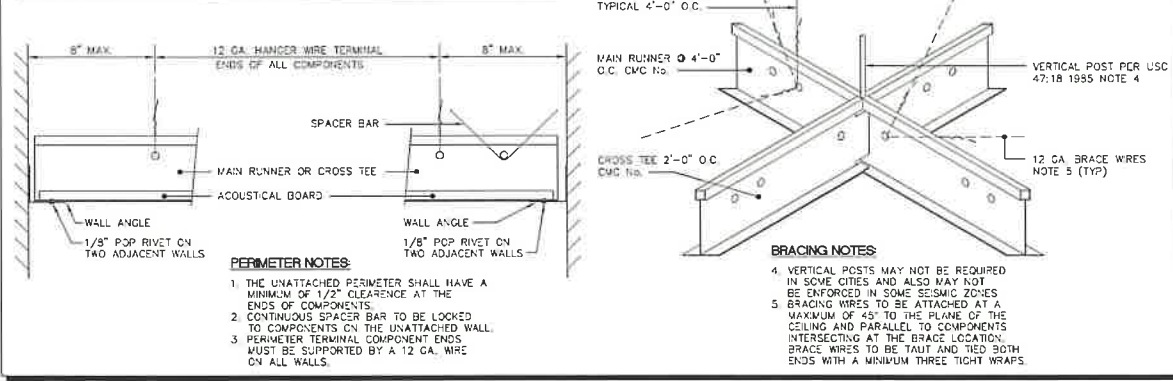
We appreciate your consideration of our endeavor. Your support not only contributes to our success but also enhances the cultural and culinary landscape of our community. Thank you for taking the time to review our request.

Sincerely,

Yohana Modragon
Owner

Block	Lot	Property Address	Mailing Address	Name
			2925 Fairfield Avenue - Subject Property	
109	10	35-37 Jetland Place	35 Jetland Place, Bridgeport 0660	Jason Longo
109	11	39-41 Jetland Place	470 Beachwood Avenue Bridgeport 06604	39 Jetland Place, LLC
109	14	2937-2939 Fairfield Ave	2937 Fairfield Avenue, Bridgeport 06605	Jolan Orosz Gaal
109	15	2947-2949 Fairfield Ave	66 Robinson, Place Fairfield 06430	David Raymond
109	16	29-31 Jetland Place	29 Jetland Place, Bridgeport 06605	Vincenza and Guspare Abbruzzo
110	17	2909 Fairfield Ave	45 Lyon Terrace 06604	Bridgeport Redev Auth
111	1	83 School Street	77 School Street, Bridgeport, 06605	Joseph Gray, Becky Sue Brown
121	19	34 Jetland Place	90 Havemeyer Lane, Old Greenwich 06800	Daralyse Lyons
121	29	30-32 Jetland Place	32 Jetland Place, Bridgeport, 06605	Blanche Timko
121	20	28 Jetland Place	28 Jetland Place, Bridgeport 06605	Thomas R Benz
121	27	89-91 Jetland Place	45 Lyon Terrace 06604	City of Bridgeport

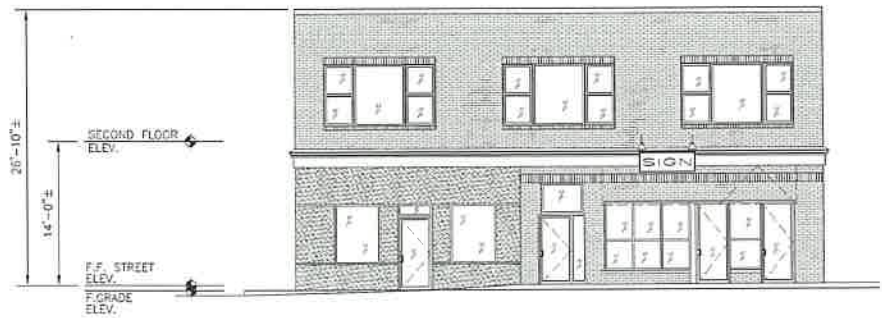
SUSPENDED CEILING SEISMIC DETAILS



Provide Commercial Hood and Suppression system plans
REVIEWED
 BRIDGEPORT FIRE MARSHAL
 ALBERTO HERNANDEZ 04/22/2023

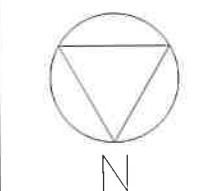
REVIEW FOR
 Bridgeport Fire Marshal Office
 By ALBERTO HERNANDEZ
 Date: 04/22/2023

The following review is in no way relieving the architect, engineer, or building owner of the responsibility of having their design meet all requirements of the State Fire Safety Code & all applicable standards.



FRONT ELEVATION
 SCALE: 1/8"=1'-0"

This drawing and details on it, as an instrument of service, is the property of the architect and may be used for this specific project and shall not be loaned, copied or reproduced without consent of the architect.



PLANS & SPECIFICATIONS REVIEWED FOR CODE COMPLIANCE
 Date: 6/22/2023

BRIDGEPORT BUILDING DEPT. APPROVED PLANS AND SPECS TO BE AVAILABLE ON JOB SITE AT ALL TIMES

Sheets 1 to 2 SEE BUILDING DEPARTMENT COMMENTS ADDED ON DETAILS 1/A-1 AND FLOOR PLAN

No.	Date	Revision
2	5-15-23	BLDG. DEPT. REVISIONS DATED: 5-18-23
1	5-26-23	REVISIONS AS PER COMMENTS DATED: FIRE MARSH. 5-9-23, BLDG. DEPT.: 5-18-23

Mingolello & Associates ARCHITECTS, LLC

90 Huntington Street
 Shelton, CT 06484
 203.925.1991 • Fax: 203.925.0255
 Email: mja@architect.net

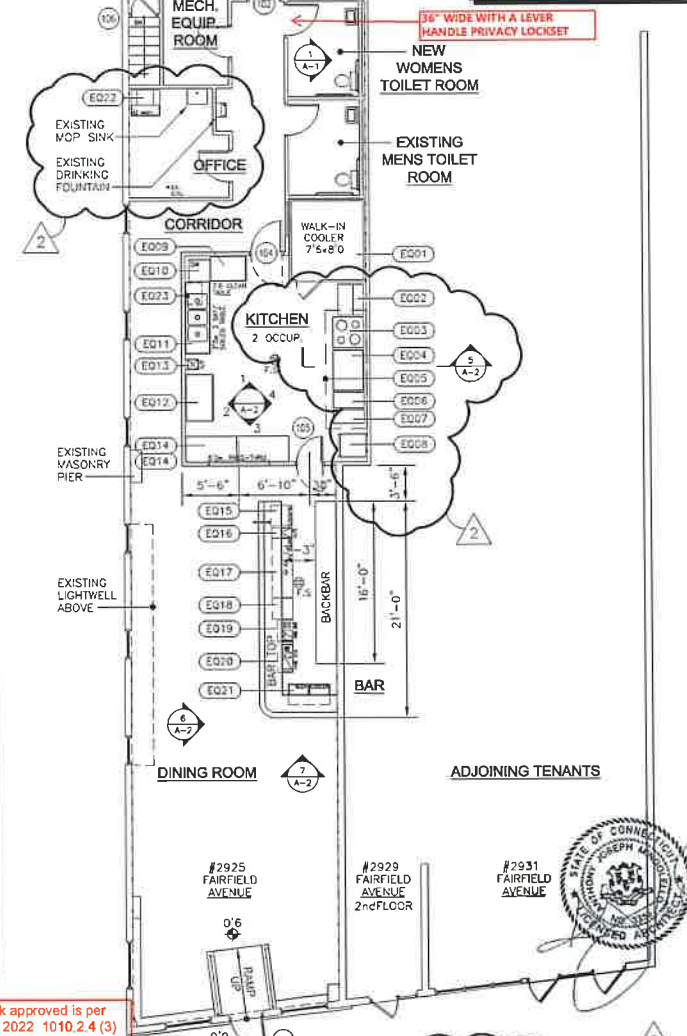
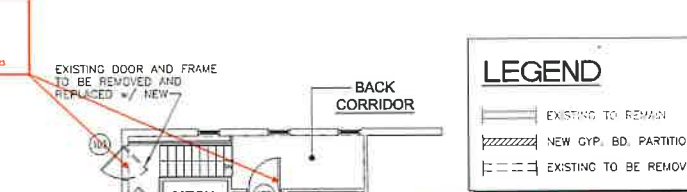
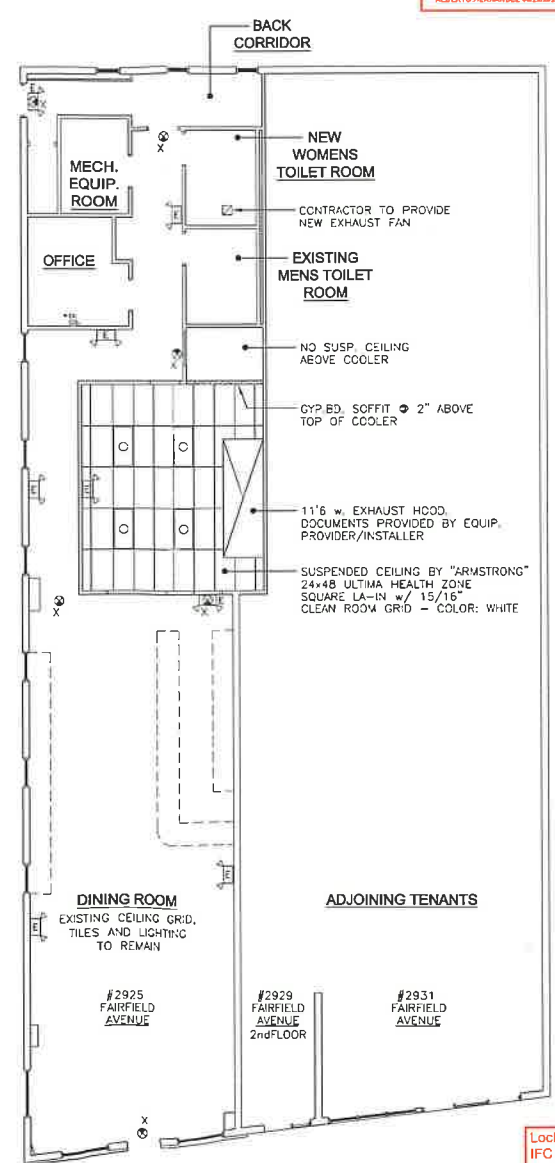
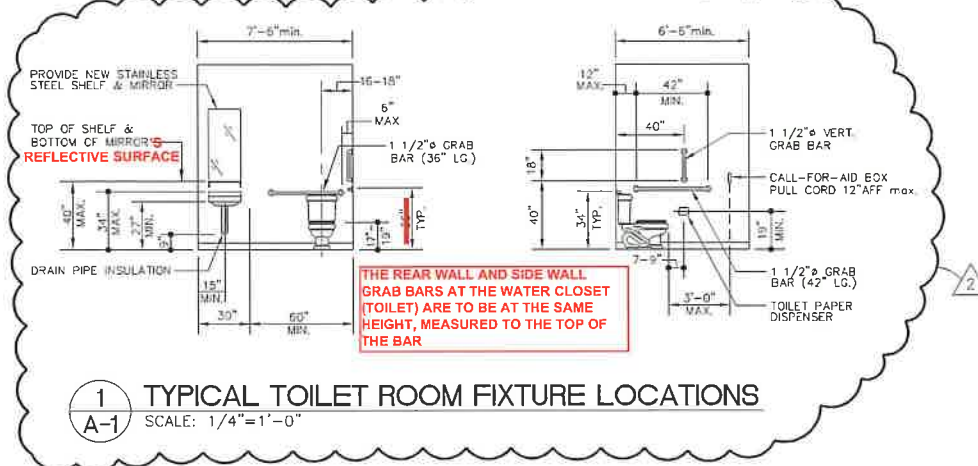
Project Title
INTERIOR RENOVATIONS to

2925-2931 FAIRFIELD AVENUE
 BRIDGEPORT, CT
 for
FAIRFIELD JETLAND, LLC

Date	4-6-23	Drawn/Checked	KF/AJM
Scale	AS SHOWN	Proj. No.	4303

Drawing Title
FLOOR PLANS

A-1
 of



EQUIPMENT SCHEDULE				
ITEM #	QTY	DESCRIPTION	MANUFACTURER & MODEL #	SIZE W x D
EQ001	1	WALK-IN COOLER	NOR-LAKE FAST-TRAK	7'6" x 8'0"
EQ002	1	33" w. STEAM TABLE	ADCRAFT ST-120/2-2 BAY	
EQ003	1	36" w. RANGE	SOUTHBEND PLATNUM SECTIONAL	3'0" wide
EQ004	1	48" w. FLATTOP GRILL	VULCAN VCGG48	
EQ005	1	11'6" lg. EXHAUST HOOD	CAPTIVE-AIRE	11'6" x 4'0"
EQ006	1	18" w. CHARBROILER	SOUTHBEND PLATNUM SECTIONAL	1'6" wide
EQ007	1	16" w. FRYER	SOUTHBEND SB355	1'4" wide
EQ008	1	27" w. FREEZER	TURBOAIR M3F29-1-N	
EQ009	1	S.S. TABLE	REGENCY COT-42	
EQ010	1	DISHWASHER	ECOLAB APEX HT	
EQ011	1	S.S. 3 BAY SINK/TABLE	REGENCY 88-16CA/SS	
EQ012	1	52" w. REFRIGERATOR	TURBOAIR M3R47-2-N	
EQ013	1	HAND SINK	REGENCY 600MS12SP	12 x 16
EQ014	2	90" lg. S.S. WORKTABLE	METRO HD WT306FS	5'0" x 2'6"
EQ015	1	BACK BAR DIRTY GLASSES RACK	ADVANCE TABCO PRCR-19-24	
EQ016	1	BACKBAR HANDSINK	EAGLE GROUP MA2-18	
EQ017	1	6'0" w. BACKBAR BEERTAP	TURBOAIR TBD-25BD-N6	
EQ018	1	BACK BAR DIRTY GLASSES RACK	ADVANCE TABCO PRCR-19-24	
EQ019	1	2'0" w. BACKBAR SINK	REGENCY 6031101412L	
EQ020	1	3'0" w. BACKBAR ICEBN	REGENCY 6001B1836CP	
EQ021	1	4'0" w. REACH-IN BEER COOLER	KROANE BC48-BG	
EQ022	1	ICE MACHINE	PRODIGY PLUS	
EQ023	1	UNDERCOUNTER GREASE TRAP	REGENCY 600G120	

BUILDING CODE INFORMATION	
2022 CONNECTICUT STATE BUILDING CODE	
2021 INTERNATIONAL BUILDING CODE	
2021 INTERNATIONAL EXISTING BUILDING CODE	
2021 INTERNATIONAL PLUMBING CODE	
2021 INTERNATIONAL MECHANICAL CODE	
2021 INTERNATIONAL ENERGY CONSERVATION CODE	
2020 NATIONAL ELECTRICAL CODE (NFPA 70)	
2017 ICC/IFSB A117.1 ACCESSIBLE AND USABLE BUILDING & FACILITIES	

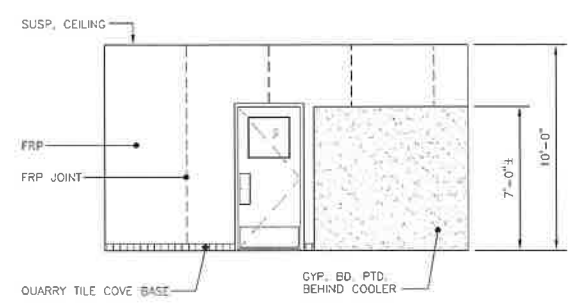
USE GROUP CLASSIFICATION	A-2
NUMBER OF STORES	1
CONSTRUCTION CLASSIFICATION	TYPE IIB
INTERIOR FINISH	CLASS III - FLAME SPREAD 76-200 SMOKE DEVELOPED
FIRE SUPPRESSION SYSTEM	NO
FIRE ALARM SYSTEM	YES
FIRE DETECTION SYSTEM	YES
FIRE EXTINGUISHERS	PROVIDED
EXIT ACCESS TRAVEL DISTANCE	200 FT. max. - 122 FT. PROVIDED
MINIMUM NUMBER OF EXITS	2 REQUIRED / 2 PROVIDED
OCCUPANT LOAD	62 - TOTAL

CONNECTICUT STATE FIRE SAFETY CODE	
IFC-2021, NFPA 101-2021, CSFCS - 2022	
USE GROUP	A-2
NUMBER OF EXITS	2 REQUIRED / 2 PROVIDED
MAXIMUM TRAVEL DISTANCE	200 FT. - 122 FT. PROVIDED
INTERIOR FINISH	CLASS 'C'

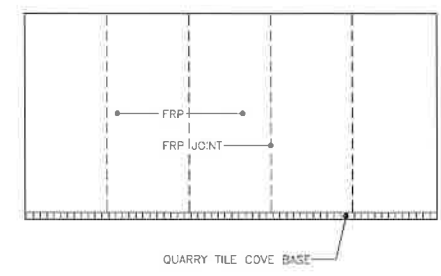
CEILING LEGEND	
SYMBOL	DESCRIPTION
○	2' x 4' LED RECESSED LIGHT FIXTURE
⊗	SINGLE FACE ILLUMINATED EMERGENCY EXIT SIGN
⊕	WALL MOUNTED ILLUMINATED EMERGENCY LIGHT

Lock approved is per IFC 2022 1010.2.4 (3)
REVIEWED
 BRIDGEPORT FIRE MARSHAL
 ALBERTO HERNANDEZ 04/22/2023

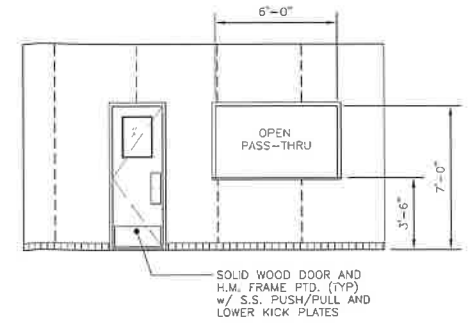
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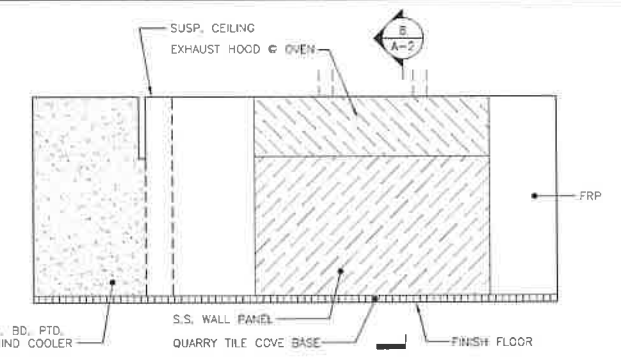
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A-2 SCALE: 1/4"=1'-0"



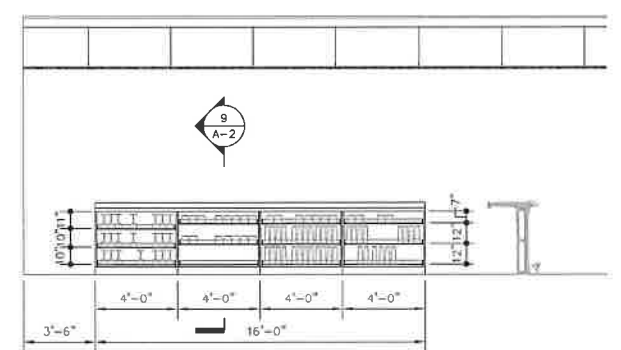
2 INTERIOR ELEVATION
A-2 SCALE: 1/4"=1'-0"



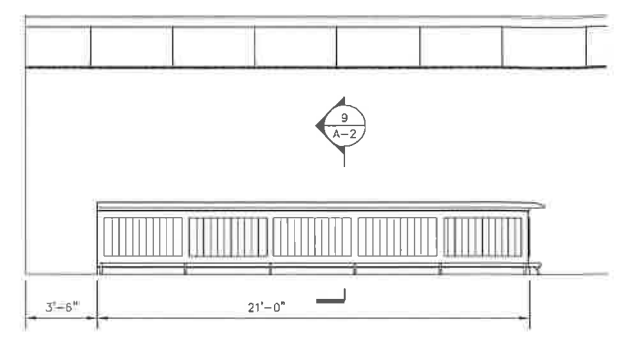
3 INTERIOR ELEVATION
A-2 SCALE: 1/4"=1'-0"



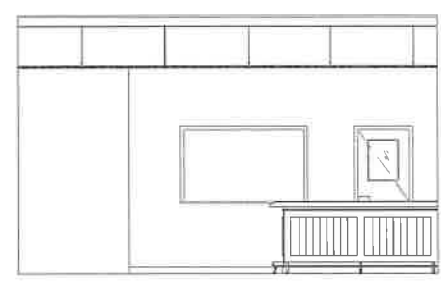
4 INTERIOR ELEVATION
A-2 SCALE: 1/4"=1'-0"



5 INTERIOR ELEVATION
A-2 SCALE: 1/4"=1'-0"



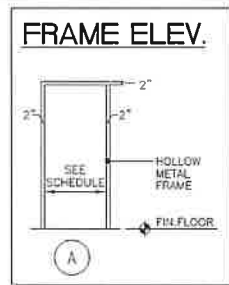
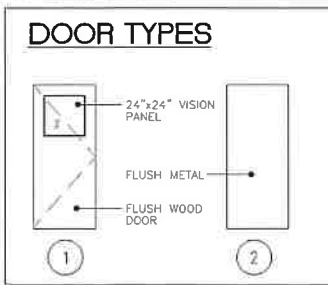
6 INTERIOR ELEVATION
A-2 SCALE: 1/4"=1'-0"



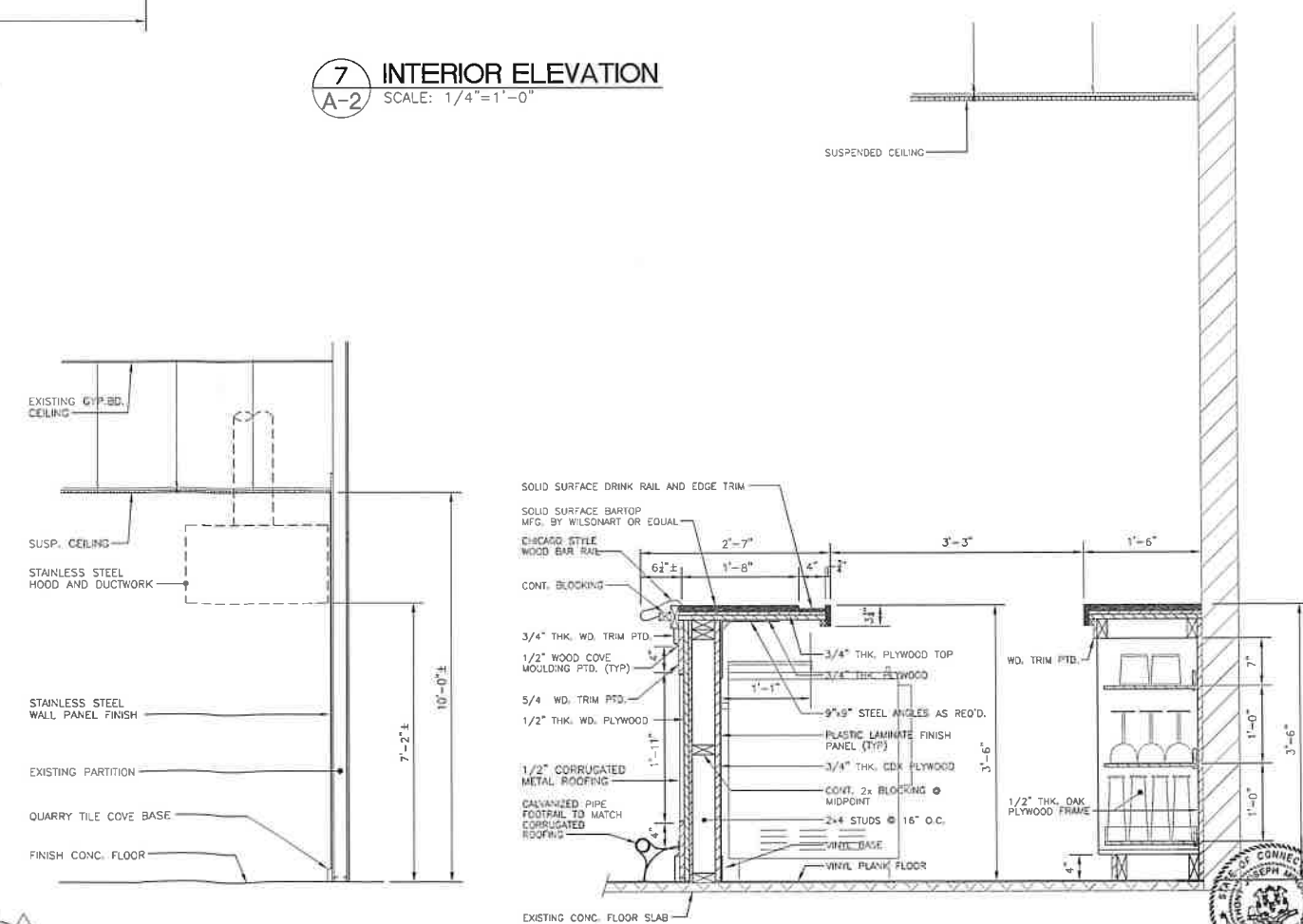
7 INTERIOR ELEVATION
A-2 SCALE: 1/4"=1'-0"

DOOR SCHEDULE												
SYM	DOOR SIZE W. H.	DR. TYPE	MANUFACTURER & CAT.	QTY	MAT. DR.	FIRE RAT.	GL. TYP.	LTL TYP.	SAD TYP.	HRDWR SET	FR ELE	REMARKS
101	3'0" x 7'0"		EXISTING DOOR AND FRAME									
102	3'0" x 7'0"		EXISTING DOOR AND FRAME									PROVIDE SELF CLOSING PANIC HARDWARE
103	3'0" x 7'0"	2			REIN. METAL	H.M.					A	PROVIDE SELF CLOSING PANIC HARDWARE
104	3'0" x 7'0"	1			WD.	H.M.					A	
105	2'6" x 7'0"	1			WD.	H.M.					A	
106	2'6" x 7'0"	2			METAL	H.M.	Thr.				A	PROVIDE SELF CLOSING AND LATCHING HARDWARE

ROOM FINISH LEGEND	
FLOOR MATERIALS: CARP. - CARPET VCT - VINYL COMPOSITE TILE VINYL PLANK - VINYL PLANK FLOORING TILE/STONE - TILE and/or STONE RUBBER TRMR - RUBBER TREADS AND RISERS	WALL MATERIALS & FINISHES: GYP. - GYPSUM WALL BOARD PRD. - PAINTED FRP - REINFORCED FIBERGLASS PANEL MET. PANEL - DECORATIVE METAL PANEL
BASE MATERIALS: VNYL - PREWOLDED VINYL BASE TILE/STONE - TILE and/or STONE	CEILING MATERIALS & FINISHES: ACT. - ACOUSTICAL CEILING GRID & TILES SUSP. - SUSPENDED VFS - VINYL FACED SCRUBBABLE TILE



ROOM FINISH SCHEDULE														
NAME	FLOOR MAT	FLOOR FIN	BASE MAT	BASE FIN	N. WALL MAT	N. WALL FIN	S. WALL MAT	S. WALL FIN	E. WALL MAT	E. WALL FIN	CEILINGS MAT	CEILINGS FIN	REMARKS	
DINING ROOM / BAR	VINYL PLANK	4"	VINYL	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	ACT. SUSP.	10'0"	
CORRIDOR	VINYL PLANK	4"	VINYL	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	ACT. SUSP.	10'0"	
KITCHEN	QUARRY TILE	QUARRY TILE	COVE BASE	FRP	FRP	FRP	FRP	FRP	FRP	FRP	FRP	ACT. SUSP.	10'0"	
OFFICE	VINYL PLANK	4"	VINYL	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	ACT. SUSP.	10'0"	
EXISTING MENS TOILET ROOM	EXISTING TO REMAIN													
NEW WOMENS TOILET ROOM	CER. TILE	CER. TILE	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	ACT. SUSP.	10'0"
BACK CORRIDOR	VINYL PLANK	4"	VINYL	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	GYP. BD.	PTD.	ACT. SUSP.	10'0"	
MECH. EQUIP. ROOM	EXISTING TO REMAIN													



8 KITCHEN WALL SECTION
A-2 SCALE: 1/2"=1'-0"

9 BAR SECTION
A-2 SCALE: 1"=1'-0"

Mingolello & Associates
ARCHITECTS, LLC

30 Huntington Street
Bristol, CT 06034
203.225.1501 • Fax: 203.225.8255
Email: mba@architect.net

Project Title
INTERIOR RENOVATIONS to 2925-2931 FAIRFIELD AVENUE BRIDGEPORT, CT for FAIRFIELD JETLAND, LLC

Date: 4-6-23
Scale: AS SHOWN
Dwn/Chkd: KF/AJM
Proj. No: 4303

Drawing Title
DETAILS

A-2

ITEM	REQUIRED	EXISTING
ZONE	MX-1	MX-1
FRONT	10'	13.0'
FAR	0.75	1.33
SITE COVERAGE	85%	92.27%
BUILDING COVERAGE	65%	34.25%
AREA	5,000 S.F.	14,976 S.F.

RETAIL SALES & SERVICE = 5,129 S.F.
 PARKING 3.5 PER 1,000 S.F. = 18 PARKING SPACES
 RESTAURANT AREA = 5,129 S.F. = 51 PARKING SPACES

PARKING PROVIDED 18 SPACES

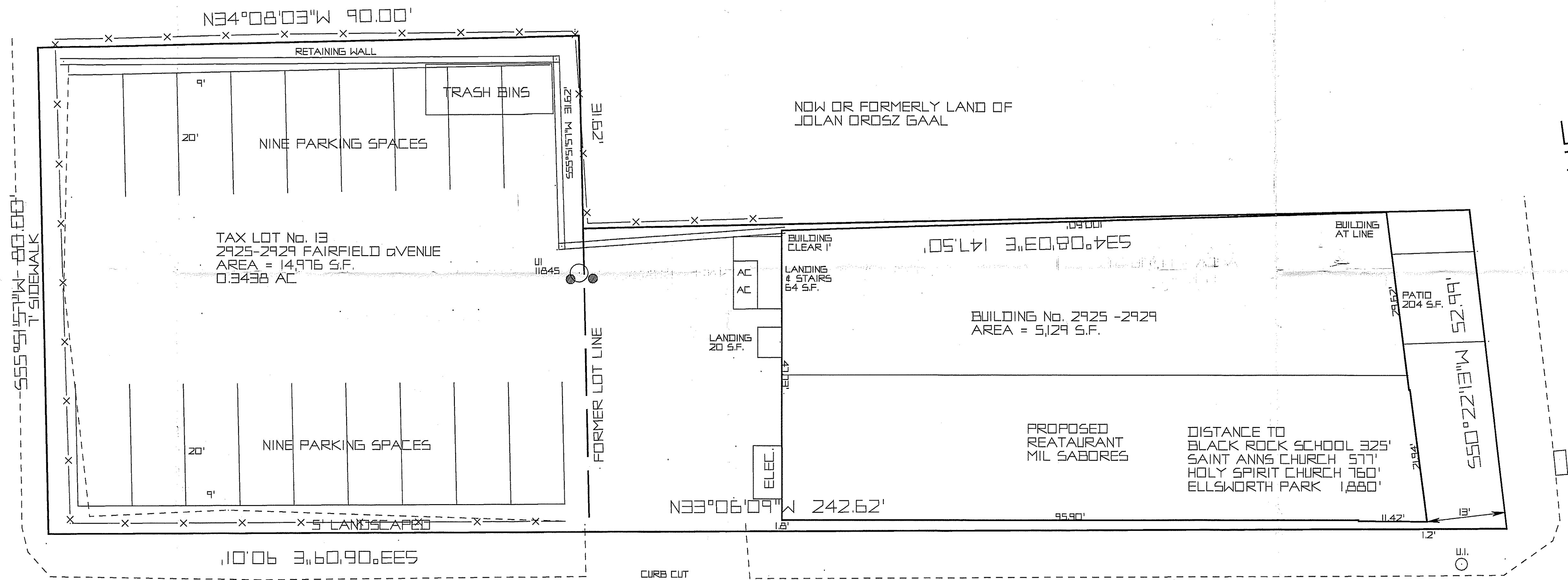
NOW OR FORMERLY LAND OF
 39 JETLAND PLACE LLC

NOW OR FORMERLY LAND OF
 JOLAN DROSZ GAAL

REFER TO LOTS 9-11 ON MAP FILED IN
 MAP VOL. 2 P.41

JETLAND PLACE

FAIRFIELD AVENUE



DEPENDENT RESURVEY

THIS SURVEY WAS PREPARED FOR A SPECIFIC PURPOSE. ANY USE OTHER THAN THAT WHICH WAS ORIGINALLY INTENDED IS A MISUSE OF THIS INFORMATION AND RENDERS THE PREPARERS DECLARATION NULL & VOID.

UNDERGROUND IMPROVEMENTS OR UNDERGROUND ENCROACHMENTS IF ANY ARE NOT SHOWN.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY, WHICH BEARS THE SURVEYORS STAMP OR SEAL, RENDERS ANY DECLARATION SHOWN HEREON NULL AND VOID.

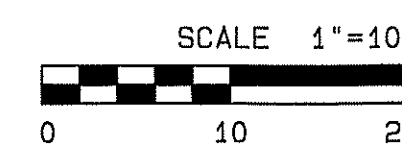
THE SURVEY AND DECLARATION SHOWN HEREON IS NULL AND VOID WITHOUT THE LICENSED SURVEYORS ORIGINAL STAMP OR EMBOSSED SEAL.

THIS MAP DOES NOT CONSTITUTE EITHER A SUBDIVISION OR A RESUBDIVISION UNDER THE TERMS OF SECTION 8-18 OF THE CONNECTICUT GENERAL STATUTES, AS AMENDED.

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS SURVEY AND MAP WERE PREPARED IN ACCORDANCE WITH THE STANDARDS OF ACCURACY OF A CLASS A-2 SURVEY AS DEFINED IN THE CODE OF PRACTICE FOR STANDARDS OF ACCURACY OF SURVEYS AND MAPS ADOPTED JUNE 21, 1996 AS AMENDED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INCORPORATED.

Michael L. McElroy
 MICHAEL L. MCELROY, L.S. 11250

JETLAND STREET



PLOT PLAN
 FOR
 LIQUOR PERMIT, RESTAURANT
 2925 FAIRFIELD AVENUE

PREPARED FOR
 YOHANA MONDRAGON & MIL SABORES
 MIL SABORES LLC
 JANUARY 31, 2024 SCALE: 1" = 10'
 BRIDGEPORT, CONNECTICUT
 BLACK ROCK SURVEYORS

1089 CHURCH HILL ROAD
 FAIRFIELD, CONNECTICUT
 (203) 371-0003

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