



CITY OF BRIDGEPORT

**PLANNING & ZONING COMMISSION
CHECKLIST**

FOR PUBLIC HEARING APPLICATIONS

I. REQUIRED INFORMATION (except for Fee & USB submit an original & 16 copies of all below)

- Completed & Signed Application & Checklist Form
- Fee
- Written Statement of Development Use
- Completed Site Plan
- Drainage Plan
- Building Floor Plans
- Property Owner's List
- Cert. of Corporation/Org. of First Report
- A-2 Site Survey
- Building Elevations
- Other Evidence/Testimonial Information
- 1 USB MEMORY FLASH DRIVE STICK

NOTE: Please provide 1 USB MEMORY FLASH DRIVE Stick:

- The information on the memory flash drive sticks must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labeled** with the property address, applicant name and date of hearing.
- **All plans and paper work that is submitted to the Zoning office must be FOLDED (11x17 or smaller) and Collated into 17 separate packets.**

II. SUPPLEMENTARY INFORMATION (Optional)

- Perspective Rendering
- Building and Site Sections
- Eight 8 x10 Color or Black/White Photos of the Current Premises' Condition
- Copies of Zoning Board of Appeals, or Historic District Commission Decisions
- Drainage Report
- Traffic Studies
- Environmental Impact Statement
- Real Estate Studies
- Department of Environmental Protection or Coastal Area Management reports
- Aerial Photographs

III. OPTIONAL EXHIBITS (may be presented at the public hearing (16 copies not required)

- Color Rendering
- Models
- Material Sample
- OTHER: _____

- A drainage plan prepared by a professional engineer, showing all provisions for site runoff; on-site retentions; connections to city services; and any other pertinent information, including City Engineer's requirements.
- Building floor plans (all floors above and below grade) shall be prepared by a licensed architect, showing any and all proposed new construction or additions to existing structures. Additions and alterations shall be clearly delineated from existing work. Minimum scale 1/16" = 1"0.
- A list of names and addresses of all property owners within 100 feet of all property lines of the subject property shall be provided.
- If the applicant is a corporation a copy of the "Certificate of Corporation" and "Organization and First Report" as filed with the Office of the Secretary of the State of CT must be filed with the application.
- An A-2 survey.
- For applications involving a building(s), the following shall be submitted:
 - Preliminary architectural plans, sections, and/or elevations at 1/4" or 1/8" = 1' showing exterior wall elevations, roof lines, façade materials or other features of proposed buildings or structures.
 - Drawings prepared by a registered architect, landscape architect or professional engineer licensed in the State of CT, each individually sealed and signed by the design professional, (except seals not required on residential projects of less than 5,000 square feet total).
- Any other evidence or testimonial information, which will be presented by the petitioner at a public hearing.

Note: All of the above information shall be submitted at the time of filing. Applications with missing information will be deemed incomplete; will not be processed and will be immediately returned to the applicant.

II. SUPPLEMENTARY INFORMATION

- Perspective renderings, either in black and white or in color, reproduced either photographically or by diazo print, showing principal street side view of the proposed development. Minimum size 8"x10" (for photos); Maximum size 30"x42". Color renderings may be presented at the public hearing provided diazo print or photo reproduction has been submitted to the Clerk for distribution before the agenda closing date.
- Building and site section drawings to show relationship of proposed development to existing adjacent streets and buildings.

- Not more than eight (8) 8"x10" color or black and white photographs showing existing site conditions or surrounding area. These may be reproduced xerographically for application filing.
- Copies of any pertinent actions by the Zoning Board of Appeals or a Historic District Commission.
- Drainage reports, traffic studies, environmental impact studies and/or real estate studies.
- State Department of Energy & Environmental Protection (DEEP) or Coastal Area Management (CAM) reports.
- Aerial photographs of subject parcel and surrounding environment.

III. OPTIONAL EXHIBITS

The following items may be presented to the Commission at the time of the public hearing (16 copies not required) without need for filing on or before the agenda closing date:

- Color renderings (see Section II item) provided the Commission has received through the Clerk reduced photographic reproductions, or black and white versions of the renderings.
- Models of proposed building(s).
- Samples of materials and/or colors to be used in the proposed development.

Note: Staff reports or departmental correspondence (e.g. City Engineer, W.P.C.A., Fire Marshal, Design Review Coordinator, etc.) shall be received and distributed by the Clerk of the Commission on or before the date of the public hearing. **Whether such reports or correspondence is received before the agenda closing date shall not pose any penalty to the Applicant and shall be the responsibility of the staff.**



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: Hiren Chapatwala
2. Is the Applicant's name Trustee of Record? Yes No
3. Address of Property: 881 East Main Street, Bridgeport, CT 06608
4. Assessor's Map Information: Block No. 1775 Lot No. 17
5. Amendments to Zoning Regulations: (indicate) Article: Section:
6. Description of Property (Metes & Bounds): S 86°05'46" E 77.75 feet along Barnum Ave, S 02°43'15"W 150.03 feet along East Main St., N 86°05' 46" W 191.32 feet, N 04°00' 02" E 50.00 feet
7. Existing Zone Classification: MX1
8. Zone Classification requested:
9. Describe Proposed Development of Property: Liquor Package Store

Approval(s) requested: Location Approval for Package Store

Signature: Date:
Print Name:

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Patricia C. Sullivan, Attorney
Print Name: Patricia C. Sullivan, Attorney

Mailing Address: 1115 Broad Street, Bridgeport, CT 06604
Phone: 203-414-6455 Cell: 203-414-6455 Fax: 203-337-5524
E-mail Address: psullivan@cohenandwolf.com

\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

H & H Realty LLC 05/25/2023
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date

PATRICIA C. SULLIVAN

Please Reply To Bridgeport
Writer's Direct Dial: (203) 414-6455
E-Mail: psullivan@cohenandwolf.com

May 25, 2023

Via Hand Delivery

Paul Boucher, Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604

Re: 881 East Main Street Application for Location Approval for Package Store

Dear Mr. Boucher,

Enclosed please find an Application to the Bridgeport Planning and Zoning Commission for property located at 881 East Main Street ("Property"). The Property is in the MX1 Zone. It is owned by H&H Realty LLC and Hiren Chapatwala is the Applicant.

Location Approval Requested

This Application requests a Location Approval, under Bridgeport Zoning Regulation Section 11.120.1.A, to permit the establishment of a Liquor Package Store at 881 East Main Street in a MX1 Zone.

Narrative-Proposed Development and Use

The Applicant proposes a Liquor Package Store at 881 East Main Street. The Property is located at the corner of East Main Street and Barnum Avenue. The parcel is currently improved with two buildings, a three-story building at the Corner of Barnum Ave and East Main Street and a one-story building subject of this Application. Applicant will be using the right half of the one-story building for the Liquor Package Store. It will occupy approximately 1,266 square feet. The existing restaurant use will remain in the left side of the existing one-story structure.

Sincerely,



Patricia C. Sullivan

PCS/gpt
Enclosure



SECRETARY OF THE STATE OF CONNECTICUT

CERTIFICATE OF ORGANIZATION

LIMITED LIABILITY COMPANY - DOMESTIC

FILING PARTY (CONFIRMATION WILL BE SENT TO THIS ADDRESS):

Name: H & H REALTY LLC
 Mailing Address: 1015 BOSTON POST ROAD
 City: MILFORD
 State: CT Zip: 06460
 Country:

FILING #0006240608 PG 1 OF 3
 VOL B-02572 PAGE 1380
 FILED ON 08/31/2018 12:00 PM
 SECRETARY OF THE STATE OF CONNECTICUT

1. NAME OF LIMITED LIABILITY COMPANY - **REQUIRED**: *(MUST INCLUDE BUSINESS DESIGNATION I.E. LLC, L.L.C., ETC.)*
 H & H REALTY LLC

2. LLC'S PRINCIPAL OFFICE ADDRESS - **REQUIRED**: *(NO P.O.BOX) PROVIDE FULL ADDRESS.*

Street: 1015 BOSTON POST ROAD
 City: MILFORD
 State: CT Zip: 06460
 Country:

3. MAILING ADDRESS, **REQUIRED** - *PROVIDE FULL ADDRESS. (P.O.BOX IS ACCEPTABLE)*

Street: 1015 BOSTON POST ROAD
 City: MILFORD
 State: CT Zip: 06460
 Country:

4. APPOINTMENT OF REGISTERED AGENT - **REQUIRED**: *(COMPLETE A OR B NOT BOTH)*

A. IF AGENT IS AN INDIVIDUAL.

PRINT OR TYPE FULL LEGAL NAME:

HIMANSHU RAJGOR

CT BUSINESS ADDRESS

(P. O. BOX NOT ACCEPTABLE) IF NONE, MUST STATE "NONE"

Street: 1015 BOSTON POST ROAD
 City: MILFORD
 State: CT Zip: 06460
 Country:

CONNECTICUT RESIDENCE ADDRESS **(REQUIRED)**

(P. O. BOX NOT ACCEPTABLE)

Street: 1015 BOSTON POST ROAD
 City: MILFORD
 State: CT Zip: 06460
 Country:

CONNECTICUT MAILING ADDRESS **(REQUIRED)**

(P. O. BOX ACCEPTABLE)

Street: 1015 BOSTON POST ROAD
 City: MILFORD
 State: CT Zip: 06460
 Country:

SIGNATURE ACCEPTING APPOINTMENT: [This document has been executed and filed electronically]
HIMANSHU RAJGOR

B. IF AGENT IS A BUSINESS:
PRINT OR TYPE NAME OF BUSINESS AS IT APPEARS ON OUR RECORDS:

CT BUSINESS ADDRESS (P. O. BOX NOT ACCEPTABLE)

Street: NONE

City:

State:

Country:

Zip:

CT MAILING ADDRESS (P. O. BOX ACCEPTABLE)

Street: NONE

City:

State:

Country:

Zip:

SIGNATURE ACCEPTING APPOINTMENT ON BEHALF OF AGENT: [This document has been executed and filed electronically]

PRINT NAME & TITLE OF PERSON SIGNING:

5. MANAGER OR MEMBER INFORMATION - REQUIRED (MUST LIST AT LEAST ONE MANAGER OR MEMBER OF THE LLC)

NAME / TITLE : HIMANSHU RAJGOR / MEMBER

BUSINESS ADDRESS

Street: 1015 BOSTON POST ROAD

City: MILFORD

State: CT

Country:

Zip: 06460

RESIDENCE ADDRESS

Street: 1015 BOSTON POST ROAD

City: MILFORD

State: CT

Country:

Zip: 06460

NAME / TITLE : HIREN CHAPATWALA / MEMBER

BUSINESS ADDRESS

Street: 1015 BOSTON POST ROAD

City: MILFORD

State: CT

Country:

Zip: 06460

RESIDENCE ADDRESS

Street: 375 EAST MAIN STREET

City: BRANFORD

State: CT

Country:

Zip: 06405

6. ENTITY EMAIL ADDRESS-REQUIRED: (IF NONE, MUST STATE "NONE.")

HANDHREALTYLLC@GMAIL.COM

7. EXECUTION - REQUIRED: (SUBJECT TO PENALTY OF FALSE STATEMENT) [This document has been executed and filed electronically]

Date: (MM/DD/YYYY) 08/31/2018

NAME OF ORGANIZER
(print/type)

HIMANSHU RAJGOR


SIGNATURE
(required)

HIMANSHU RAJGOR

881 EAST MAIN STREET - 100 FOOT ABUTTERS


LOCATION	OWNER'S NAME	ADDRESS	CITY	STATE	ZIP
859 EAST MAIN ST #867	FBS LLC	859 EAST MAIN ST	BRIDGEPORT	CT	06608
42 BEACH ST #46	FBS LLC	859 EAST MAIN ST	BRIDGEPORT	CT	06608
875 EAST MAIN ST #879	EAST PEARL GLOBAL LLC	1000 LAFAYETTE BLVD	BRIDGEPORT	CT	06604
56 BEACH ST #60	POLISH ARMY VETERANS ASSOC OF AMERICA POST #24 INC	56 BEACH ST	BRIDGEPORT	CT	06608
66 BEACH ST	CARIL CARLOS JR ET AL	PO BOX 323	REDDING RIDGE	CT	06876
803 EAST WASHINGTON AV	BTTCLL LLC ET AL	55 FIFTH AVE 15TH FLOOR	NEW YORK	NY	10003
418 BARNUM AV #420	BRIDGEPORT CITY OF	45 LYON TER	BRIDGEPORT	CT	06604
414 BARNUM AV #416	BRIDGEPORT CITY OF	45 LYON TER	BRIDGEPORT	CT	06604
408 BARNUM AV	DUNCAN KATHERINE L	408 BARNUM AV	BRIDGEPORT	CT	06608-2222
921 EAST MAIN ST #927	RICCIO LORRAINE (EST OF)	921 EAST MAIN ST #927	BRIDGEPORT	CT	06608
421 BARNUM AV	RICCIO LORRAINE K	168 CUTSPRING ROAD	STRATFORD	CT	06614
417 BARNUM AV #419	RICCIO LORRAINE K	168 CUTSPRING ROAD	STRATFORD	CT	06614
405 BARNUM AV	RICCIO LORRAINE K	168 CUTSPRING ROAD	STRATFORD	CT	06614
926 EAST MAIN ST	JP EDWARDS ASSOCIATES LLC	926-932 EAST MAIN	BRIDGEPORT	CT	06608

MX1 Zone Development Standards Storefront Building Type		
3.20.4. BUILDING SITING (SEE FIGURE 3.20-6)	REQUIRED	PROVIDED
1) LOT WIDTH	N/A	N/A
2) PRIMARY STREETWALL	75% MINIMUM; (SEE COURTYARDS, OUTDOOR DINING, AND SEATING ALLOWANCES PER 3.20.10.A. MINIMUM STREETScape AREA REQUIRED PER 3.20.10.B. THROUGH LOTS ADDRESSED PER 3.20.10.B. SEE 14.20.6 FOR MEASURING)	49% (COMBINED BUILDING STREETWALL)
3) PRIMARY STREET BUILD-TO-ZONE	0 FT MINIMUM, 15 FT MAXIMUM; (SEE COURTYARDS, OUTDOOR DINING, AND SEATING ALLOWANCES PER 3.20.10.A. MINIMUM STREETScape AREA REQUIRED PER 3.20.10.B. THROUGH LOTS ADDRESSED PER 3.20.10.B. SEE 14.20.6 FOR MEASURING)	0.3± FT OVER (E. MAIN STREET)
4) NON-PRIMARY STREET BUILD-TO-ZONE	0 FT MINIMUM, 15 FT MAXIMUM; (SEE COURTYARDS, OUTDOOR DINING, AND SEATING ALLOWANCES PER 3.20.10.A. MINIMUM STREETScape AREA REQUIRED PER 3.20.10.B. THROUGH LOTS ADDRESSED PER 3.20.10.B. SEE 14.20.6 FOR MEASURING)	7.5± FT (BARNUM AVENUE) 14.5± FT (BEACH STREET)
5) SIDE SETBACK	0 FT MINIMUM (5 FT ADJACENT TO OTHER BUILDING TYPES)	0.3± FT & 3.0± FT
6) REAR SETBACK	15 FT MAXIMUM (BUFFER REQUIRED ADJACENT TO 'N' ZONES PER 3.20.10.)	3.0± FT
7) SITE COVERAGE	80% MAXIMUM (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	100%
3.20.5. PARKING AND ACCESSORY STRUCTURES (SEE FIGURE 3.20-C)		
1) PARKING AND DRIVEWAY ACCESS	NON-PRIMARY STREET; IF NO NON-PRIMARY STREET, PRIMARY; MAX. 22 FT. WIDTH AT SIDEWALK WITHOUT MEDIAN; MAX. 1 ACCESS PER STREET (SEE 8.0 FOR PARKING)	1 ACCESS DRIVE 21± FT WIDTH (E. MAIN STREET) 1 ACCESS DRIVE 19± FT WIDTH (BEACH STREET)
2) ATTACHED GARAGE SETBACK	30 FT MIN. BEHIND PRIMARY FACADE ABOVE ANY BASEMENT (SEE 6.50.11 FOR GARAGE DOOR DESIGN REGULATIONS)	N/A
ALLOWED GARAGE DOOR LOCATION	REAR, SIDE, NON-PRIMARY STREET FACADE (SEE 6.50.11 FOR GARAGE DOOR DESIGN REGULATIONS)	N/A
3) SURFACE PARKING LOCATION	REAR YARD, LIMITED SIDE YARD (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	REAR YARD, SIDE YARD
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	COMPLIES
SIDE AND REAR SETBACK	3 FT. MINIMUM (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	EXISTING NON-CONFORMING
4) ACCESSORY STRUCTURE LOCATION	REAR YARD (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A
SIDE AND REAR SETBACK	3 FT. MINIMUM, 15 FT. MINIMUM ADJACENT TO 'N' ZONES (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A
ALLOWED ACCESSORY STRUCTURES	(SEE 3.170 FOR ACCESSORY STRUCTURES AND 4.70 FOR ACCESSORY USES)	
OUTBUILDINGS AND GARAGES	ALLOWED	N/A
OUTBUILDINGS AND GARAGES (HEIGHT)	ONE STORY MAX. OR, WHERE PRINCIPAL BUILDINGS ARE 2 OR MORE STORIES, 1.5 STORIES, CALCULATED BASED UPON THE FLOOR-TO-FLOOR HEIGHTS USED ON THE PRINCIPAL BUILDING.	N/A
OUTBUILDINGS AND GARAGES (FLOOR AREA)	THE MAXIMUM FLOOR AREA IS 50% OF THE PRINCIPAL BUILDING FOOTPRINT	N/A
DRIVE-THROUGH FACILITIES	ALLOWED	N/A
FUEL PUMPS	ALLOWED	N/A
3.20.6. HEIGHT (SEE FIGURE 3.20-D)		
1) HEIGHT	2 STORY MINIMUM; 3 STORIES MAXIMUM	3 STORIES
2) ADDITIONAL HIGH-RISE OR STEPPED-BACK HEIGHT	2 STORIES ADDITIONAL STORIES ALONG MAJOR CORRIDORS	N/A
3) GROUND STORY HEIGHT	12 FT MINIMUM; 14 FT MAXIMUM 14 FT MINIMUM HEIGHT FOR SINGLE-STORY BUILDING WITH 4 FT MAXIMUM HEIGHT PARAPET	11± FT 10± FT
4) UPPER STORY HEIGHT	9 FT MINIMUM; 14 FT MAXIMUM	11± FT
3.20.7. ROOFS (SEE FIGURE 3.20-D)		
1) ROOF TYPES	FLAT, PARAPET (SEE 6.20 FOR ROOF TYPE AND TOWER REGULATIONS)	FLAT, PARAPET
2) TOWER	ALLOWED	N/A
3.20.9. ALLOWED USES (SEE ARTICLE 4.0 FOR USE DEFINITIONS, SPECIFIC USE LIMITATIONS, AND OTHER USE-RELATED REGULATIONS)		
COMMERCIAL		
CONTROLLED SALES & SERVICE 4.40.11.A PACKAGE STORE	CERTIFICATE OF LOCATION APPROVAL REQUIRED	PROPOSED PACKAGE STORE



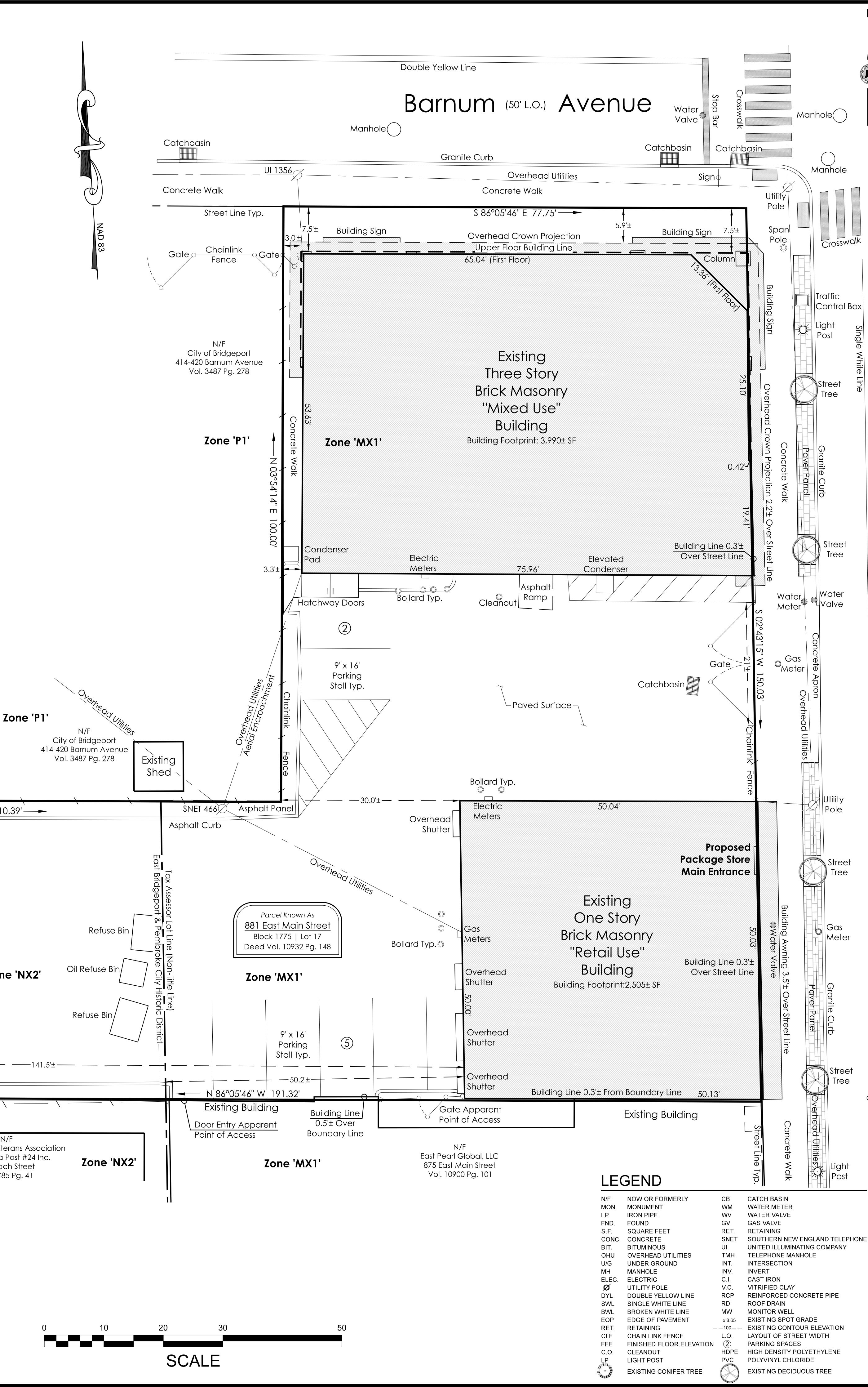
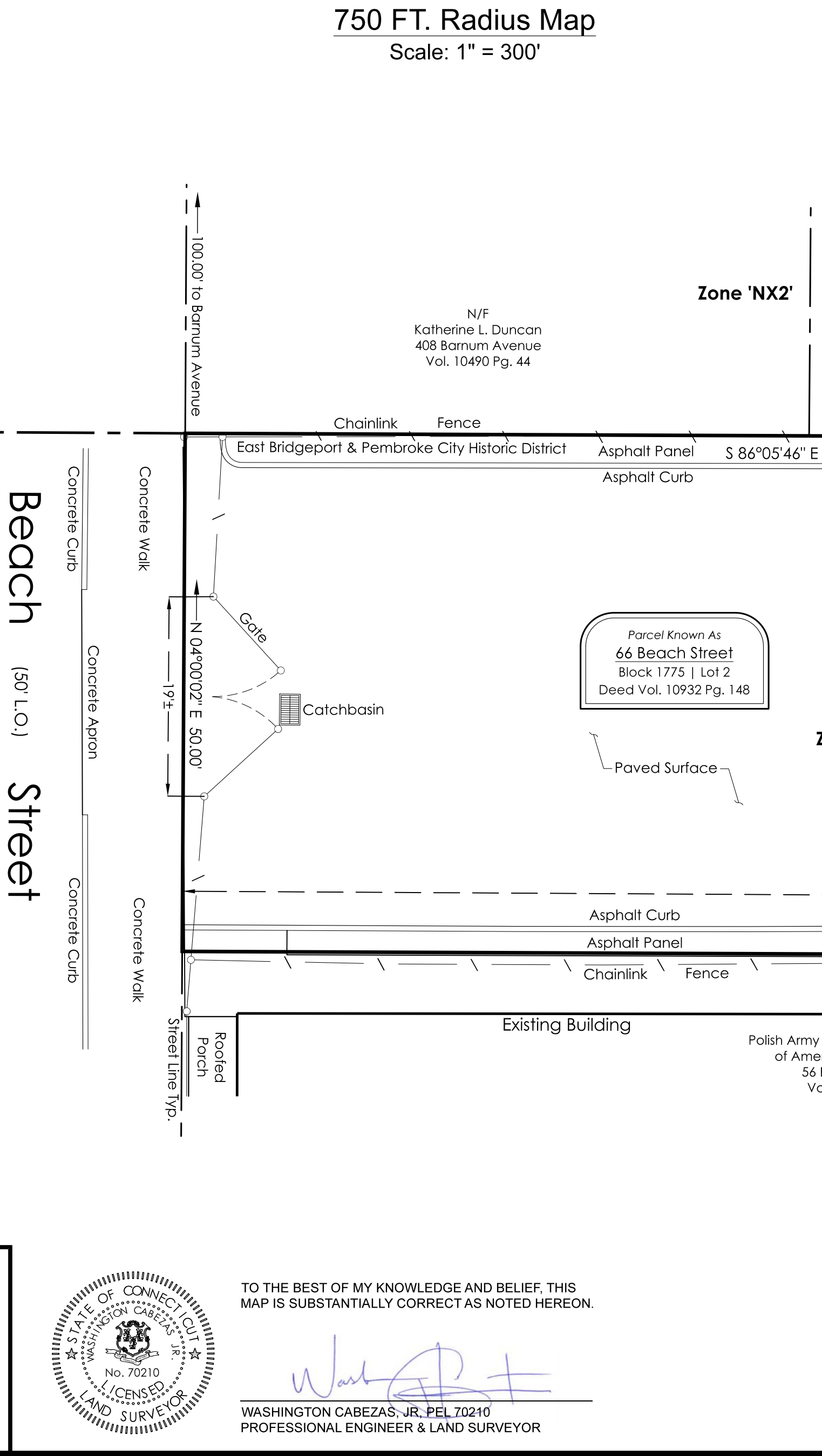
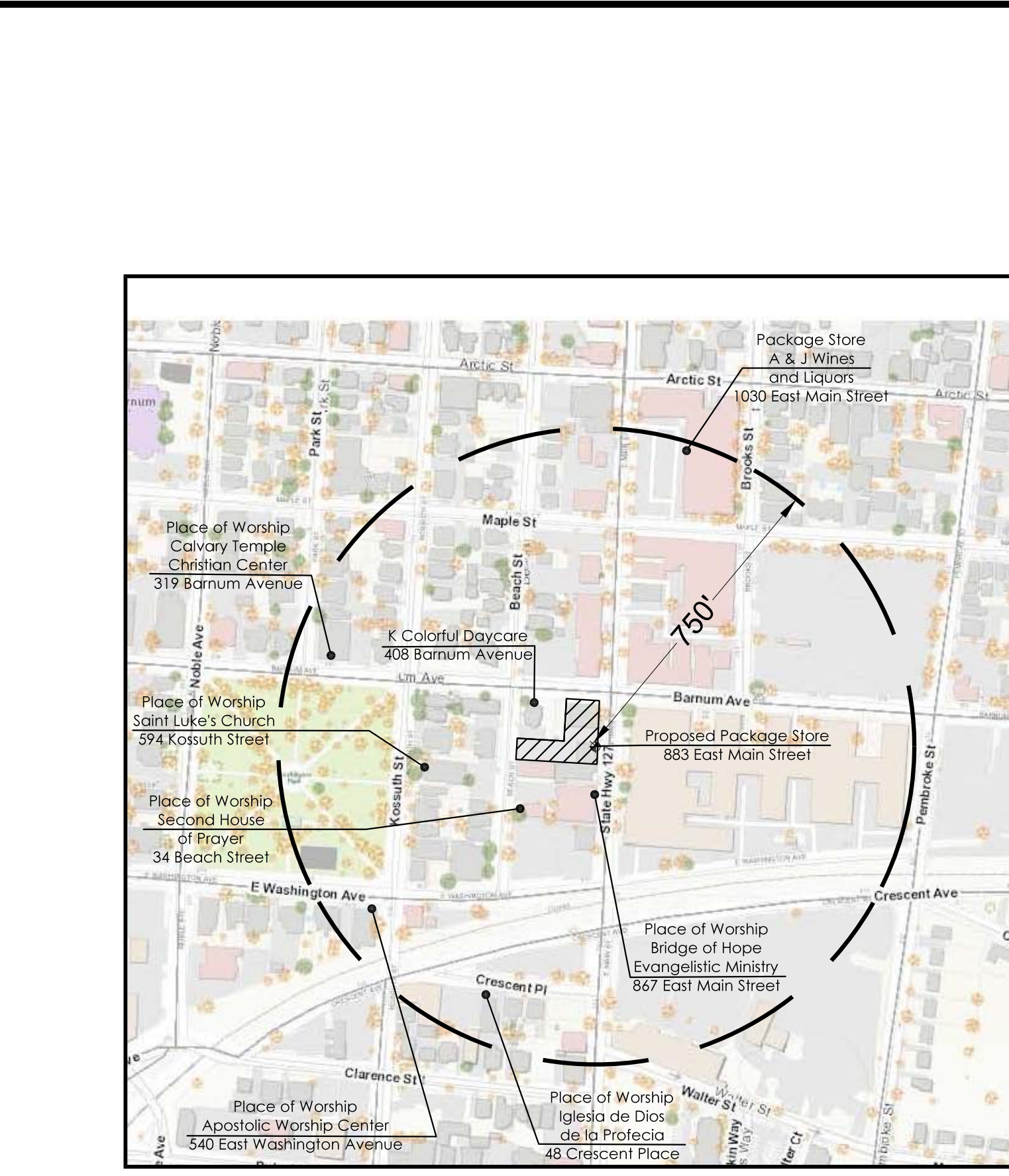
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

SCALE: 1"=10'
FIELD FILE: 881 e main survey.rw5
PROJECT NO. CD1694
DATE: May 2, 2023
CAD FILE: 881 East Main Street 2LS.dwg
SHEET 1 OF 1
REV:



TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Washington Cabezas, Jr.
WASHINGTON CABEZAS, JR., PEL 70210
PROFESSIONAL ENGINEER & LAND SURVEYOR

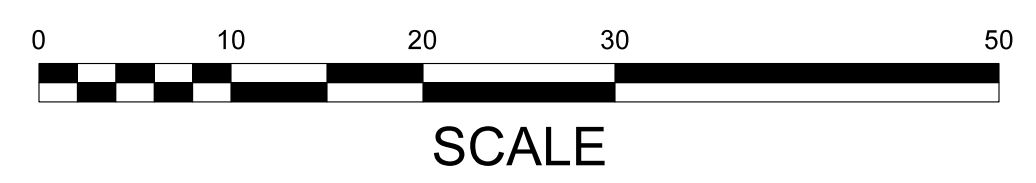


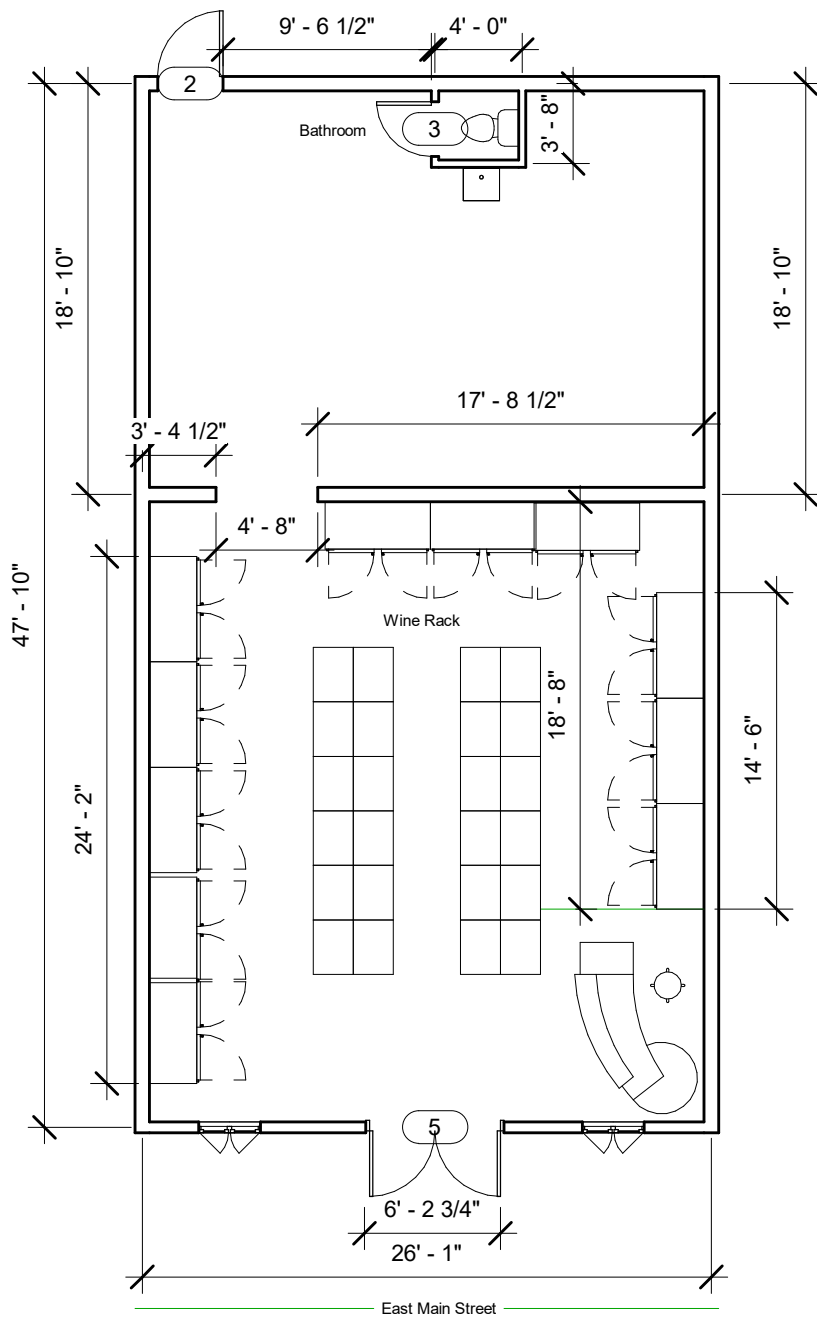
- NOTES**
- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A LIMITED PROPERTY/BOUNDARY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND IS INTENDED FOR MUNICIPAL COMPLIANCE PURPOSES.
 - THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
 - ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
 - LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORSP). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON JULY 9, 2012 IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:
STATION: ORANGE
NORTHING 653,555.9292, EASTING 927,267.5499
LATITUDE 41°15'15.89404", LONGITUDE 73°00'52.60263",
ELLIPSOID -4-143
 - MAP REFERENCES
 - SURVEY OF PROPERTY OF CARLOS CARRIL, SR., CARLOS CARRIL, JR., HELEN CARRIL & JULIA CARRIL, 428 - 430 BARNUM AVE., 881 - 885 & 891 E. MAIN ST. & 62 - 66 BEACH STREET, BRIDGEPORT, CONNECTICUT, SCALE: 1" = 20', JUNE 1986, PREPARED BY JOHN LAWRENCE & ASSOCIATES ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 49 PAGE 304.
 - PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO., ATLAS PUBLISHERS 136-138 SO. FOURTH ST. PHILADELPHIA, 19129 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
 - PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO., CIVIL ENGINEERS, 136-138 SO. FOURTH ST. PHILADELPHIA, 1917 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
 - CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING BLOCK 1775.
 - PARCEL INFORMATION:
A. 881 - 907 EAST MAIN STREET
A. ASSESSOR'S REFERENCE: MAP 42, BLOCK 1775, LOT 17
B. PARCEL AREA: 12,878± SQ. FT., OR 0.296± AC.
C. RECORD OWNER: H & H REALTY, LLC, VOL. 10932, PG. 148
66 BEACH STREET
A. ASSESSOR'S REFERENCE: MAP 42, BLOCK 1775, LOT 2
B. PARCEL AREA: 4,538± SQ. FT., OR 0.104± AC.
C. RECORD OWNER: H & H REALTY, LLC, VOL. 10932, PG. 148
 - PARCEL IS LOCATED WITHIN THE 'MX1' ZONING DISTRICT.
 - SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 441 OF 626, COMMUNITY BRIDGEPORT, CITY OF, NUMBER 090002 PANEL 0441 SUFFIX G, MAP NUMBER 09001C0441G, MAP REVISED JULY 8, 2013. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED).
 - BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC., (1-800-922-4455).
 - PARCEL IS PARTIALLY LOCATED IN THE 'EAST BRIDGEPORT AND PEMBORO CITY' HISTORIC DISTRICT.

ZONING LOCATION SURVEY

PREPARED FOR
H & H REALTY, LLC
ASSESSOR'S REFERENCE: MAP 42 | BLOCK 1775 | LOT 17
- AND -
66 BEACH STREET
ASSESSOR'S REFERENCE: MAP 42 | BLOCK 1775 | LOT 2
BRIDGEPORT, CONNECTICUT

SHEET 1 OF 1
MAY 2, 2023 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'





www.autodesk.com/revit

Owner
H & H Realty
LLC

East Main Package Store

Project number Project Number

Date 5/25/23

Drawn by Preet Ravani

Floor Plan

Scale 1/8" = 1'-0"



www.autodesk.com/revit

Owner
 H & H Realty
 LLC

East Main Package Store

Project number Project Number

Date 5/25/23

Drawn by Preet Ravani

3D View

Scale

Lisa S. Broder*
LBroder@russorizio.com
Colin B. Connor
Colin@russorizio.com
William J. Fitzpatrick, III
WFitzpatrick@russorizio.com
David K. Kurata
DKurata@russorizio.com
Stanton H. Lesser+
Stanton@russorizio.com
Katherine M. Macol
Kathy@russorizio.com
Victoria L. Miller*
Victoria@russorizio.com
Anthony J. Novella*
Anovella@russorizio.com



10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-254-7579 or 203-255-9928 Fax 203-576-6626

5 Brook St., Suite 2B
Darien, CT 06820
Tel 203-309-5500

299 Broadway, Suite 708
New York, NY 10007
Tel 646-357-3527

110 Merchants Row, Suite 3
Rutland, VT 05702
Tel 802-251-6556

www.russorizio.com

Leah M. Parisi
Leah@russorizio.com
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* Also Admitted in NY
* Also Admitted in VT
+ Of Counsel

April 28, 2023

Paul Boucher
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Pre-Application Review – 3369-3375 Fairfield Avenue

Dear Mr. Boucher:

Please accept the following narrative and enclosed materials as part of a pre-application submission for the property located at 3369-3375 Fairfield Avenue (the "Site") in the MX1 Zone.

The Applicant requests an approval for a Certificate of Approval of Location for Cannabis Sales at the Site. Said use is permitted in the MX1 Zone subject to approval of a Certificate of Location under the Commercial House and Storefront Building building types within the MX1 Zone under Sections 3.20.9 and 3.40.9 of the Regulations.

The Site is located with frontage solely on Fairfield Avenue and is in proximity to the border with the Town of Fairfield. The Site contains a one-story retail building that was utilized for a landscape business. There is a main driveway located on the northern side of the Site that accesses the main parking area to the side and rear of the existing store.

The retail cannabis dispensary will utilize an existing entrance door on the side of the building from the parking area into an area with an ID check-in desk. Once patrons properly check in and qualify to enter the premises, they will be allowed into the product sales floor area where they will be able to shop from various cannabis products. There will be a retail counter and bathroom for customers. That area will be the extent available to customers. The remainder of the first floor will be an employee only area with an employee break room, bathroom, product intake area with its own secure separate entrance. Patrons leaving the premises will leave via a separate Exit only door back towards the parking area. The proposed layout is completely secure with a clear delineation between patron and employee/storage areas. The Applicant proposes to construct a small 525 SF addition to the rear of the existing building for a vault to store cannabis products. On the second floor, the Applicant proposes to have an additional breakroom, bathroom and office.

The proposed use is a permitted use subject to a Certificate of Location. Under Sec. 11.120.B, the authority to approve Certificates of Location cannabis sales is vested in the Planning and Zoning Commission. The Application is completely in conformity with the approval criteria for a Certificate of Location under Sec. 11.120.2.A(2). The Application is fully compliant with the Regulations and master plan of conservation and development as the proposed use is a permitted use in the MX1 Zone within an existing building with a small addition. The use will not impair the development of the surrounding area. The Planning and Zoning Commission has spent a lengthy amount of time review cannabis sales as a use and have recently adopted an amendment permitting this use in the MX1 Zone as an appropriate use. The Application has adequate safeguards to protect the neighborhood. All deliveries will be received by a separate secure entrance from the customer entrance and exits utilized by the patrons. In addition, a security station will be installed with cameras throughout the premises. The use also occupies a conservative amount of floor area at only approximately 2,775 SF of floor area with only a small portion of the first floor even designated for patrons. The proposed parking area for the Site also contains more than ample parking for such a use with Twenty-five (25) parking spaces. The use will not adversely impact property values. The proposed use is one of the fastest growing market areas and has widely been accepted throughout the region. The proposed use will only boost the success of the retail building and the surrounding retail area. The use will also not be disruptive to other existing uses. Again, the proposed use is extremely secure. Storage and delivery areas are completely separate from patron areas. Patrons must enter a separate entrance and check-in before being permitted entry to the patron sales area. In addition, a security station will be installed to monitor the premises constantly.

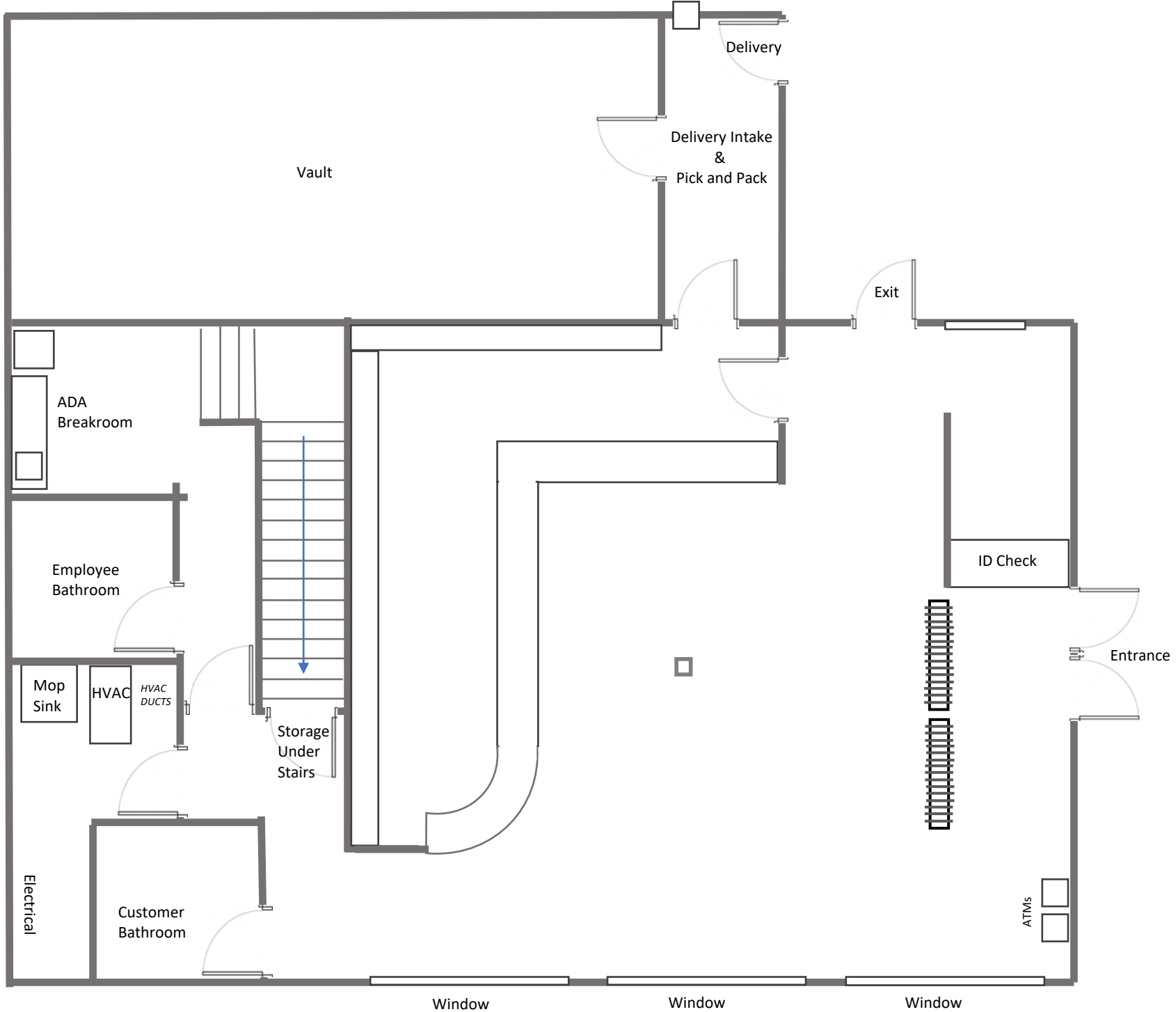
For these reasons, the Application satisfies all the criteria for approval of a certificate of location for cannabis sales at the Site and we respectfully request review of this Pre-Application.

Sincerely,

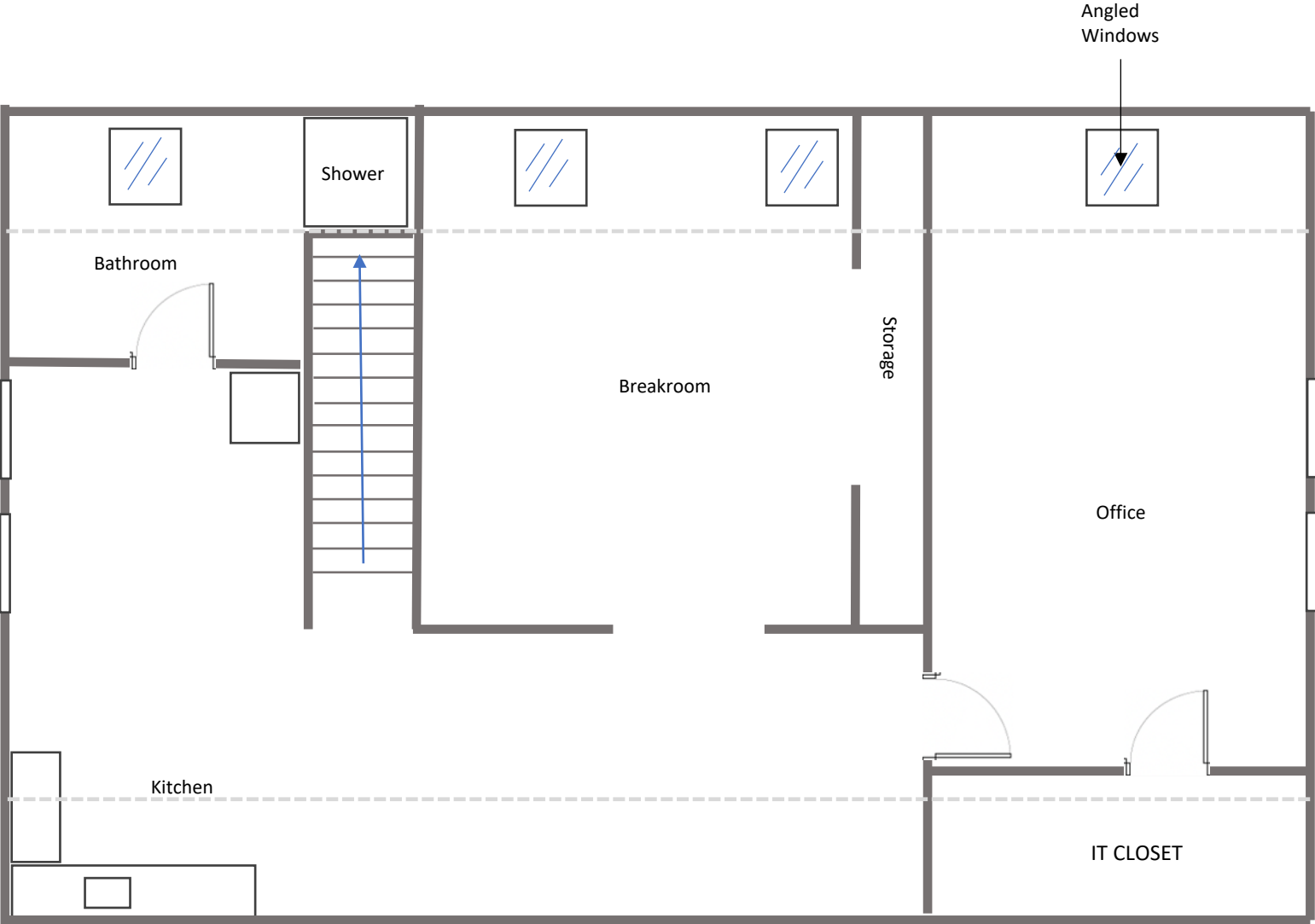
Christopher Russo

3369-3375 Fairfield Avenue, Bridgeport

Proposed - First Floor



3369-3375 Fairfield Avenue, Bridgeport Second Floor (Proposed)

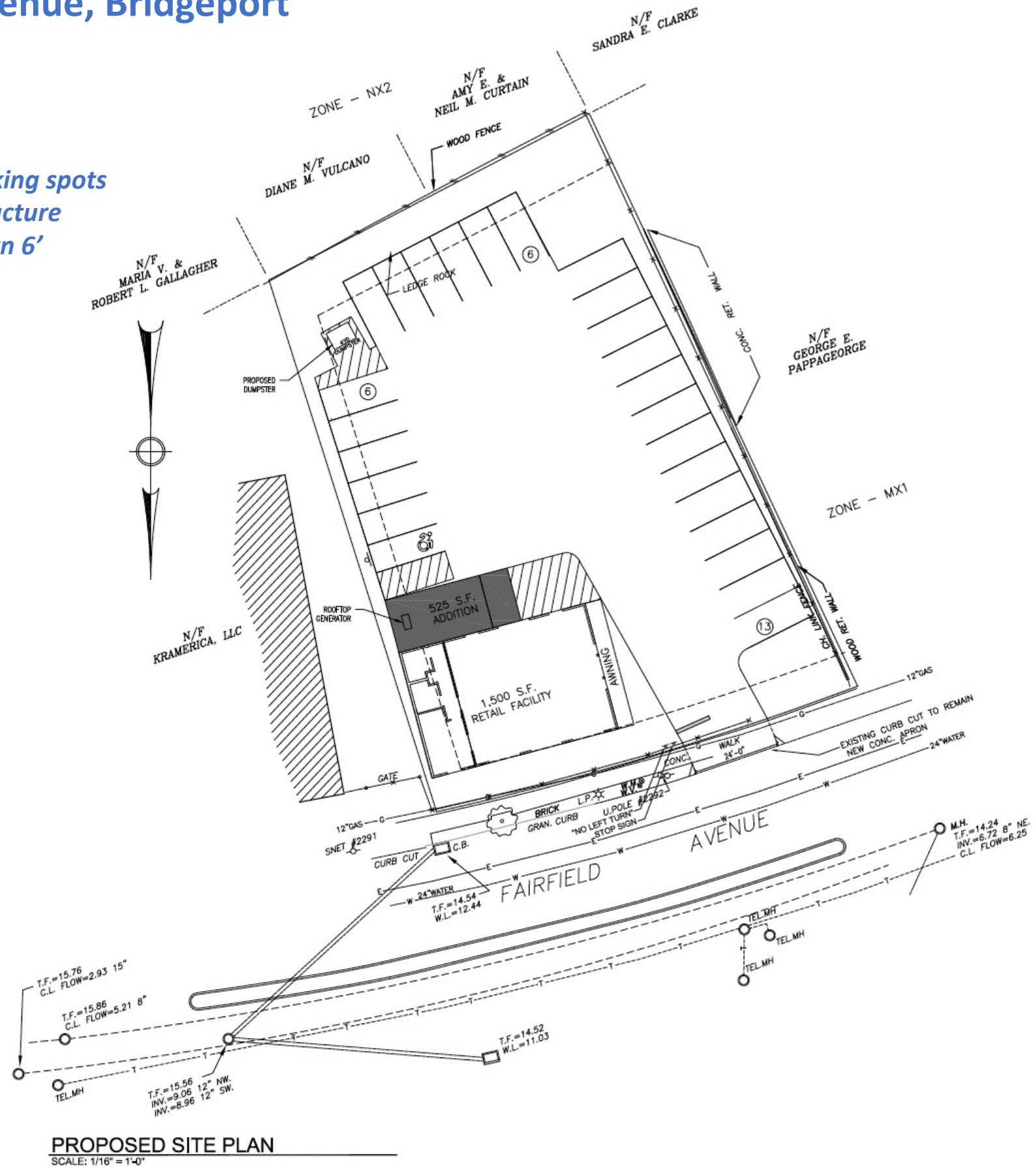


3369-3375 Fairfield Avenue, Bridgeport

Proposed Site Plan

Notes

- Redoing lot to support 25 parking spots
- Adding new exterior vault structure
- Moving parking entrance down 6'



3369-3375 Fairfield Avenue, Bridgeport Exterior Signage Examples



Notes

- Looking to do channel lit signage

Higher Collective Logo



3369 Fairfield Ave, facing property, heading East to West.



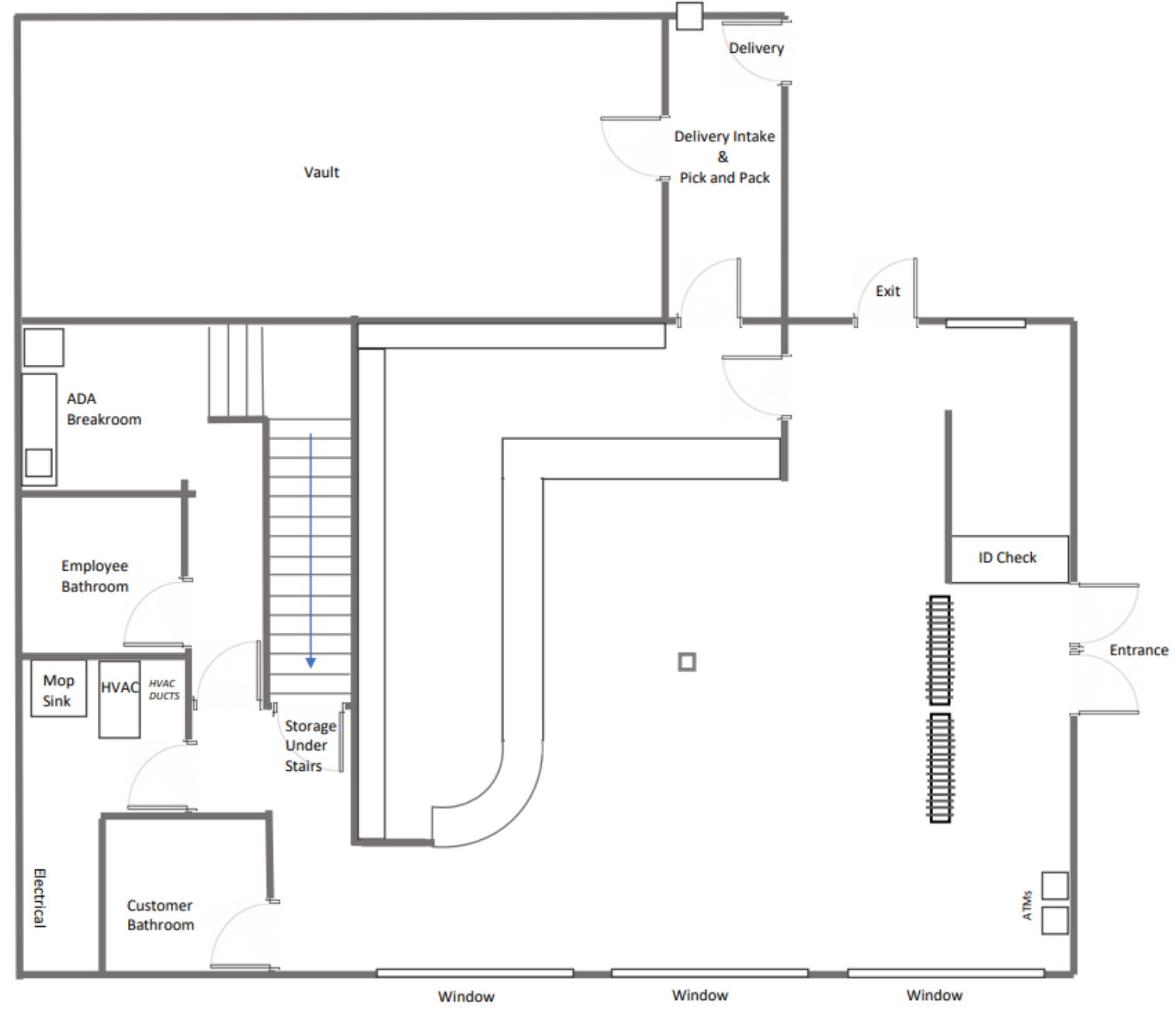
3369 Fairfield Ave, looking across the street of the property, heading East to West.



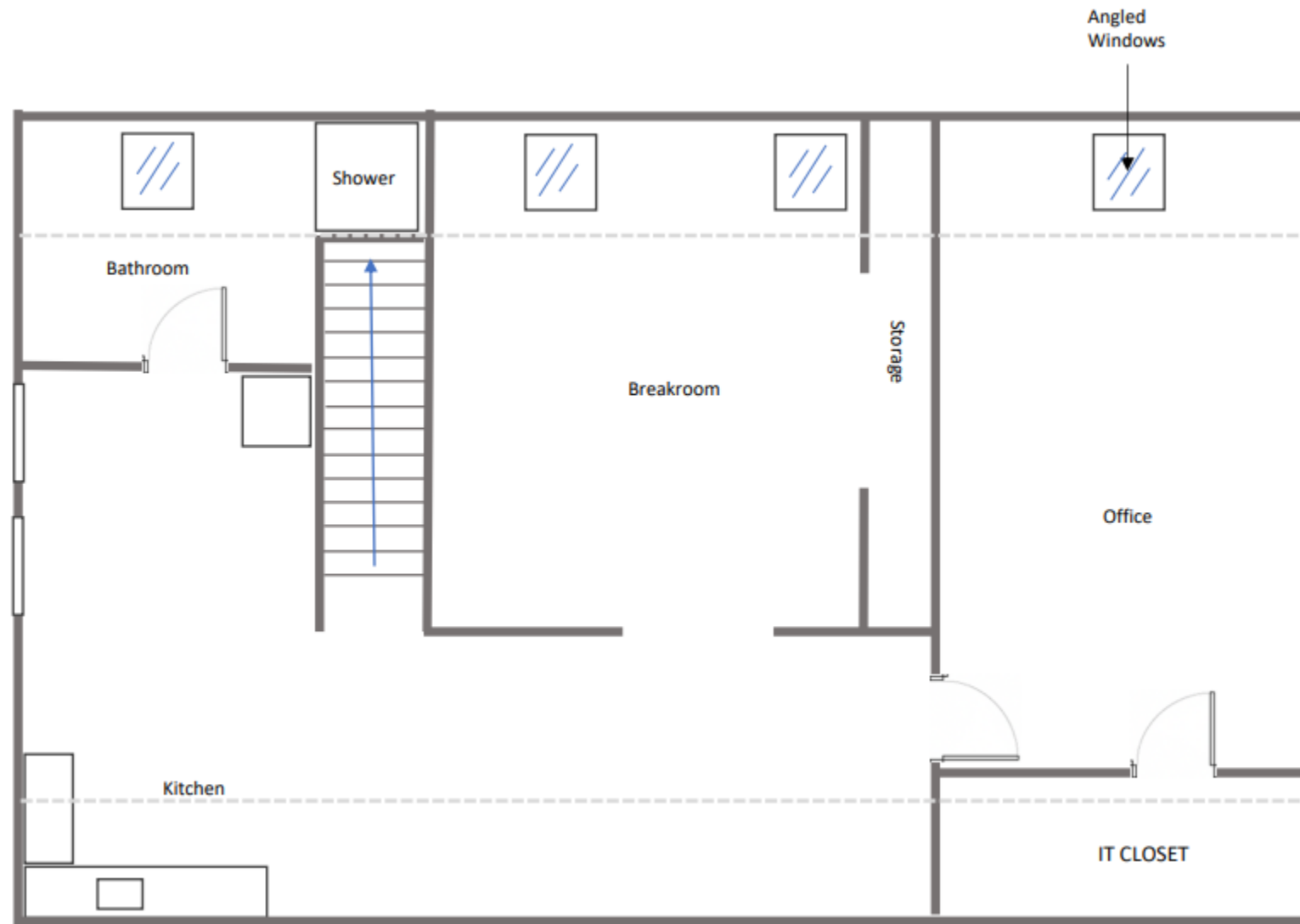
Aerial View of Property



Floor Plan First Floor



Floor Plan Second Floor





CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: The Knowlton LLC
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 305 Knowlton Street, Bridgeport, CT 06608
4. Assessor's Map Information: Block No. 41/1651 Lot No. 1
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section:
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 357.10' x 225.77' x 353.69' x 202.86'
7. Existing Zone Classification: RX2
8. Zone Classification requested: RX2
9. Describe Proposed Development of Property: The Applicant requests a certificate of location approval for a cafe liquor permit for the existing assembly hall

Approval(s) requested: Certificate of Location Approval for Cafe Liquor Permit

Signature: Date: 05/24/2023
Print Name:

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Chris-Russo
Print Name:

Mailing Address: Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd., Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-528-0590 Fax: 203-255-6618
E-mail Address: Chris@russorizio.com

\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

The Knowlton LLC 05/24/2023
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date

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LBroder@russorizio.com
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† Also Admitted in VT
‡ Of Counsel

May 24, 2023

Paul Boucher
Zoning Administrator
Zoning Department
45 Lyon Terrace, Room 210
Bridgeport, CT 06604

Re: Petition for Certificate of Location Approval for Café Liquor Permit – 305 Knowlton Street (the “Site”)

Dear Mr. Boucher:

Please accept this letter on behalf of our client for a certificate of location approval for a café liquor permit for an existing assembly hall in the RX2 Zone. The Site is located at the corner of Knowlton Street and Barnum Avenue and contains Seventy-five thousand two hundred and seventy-six square feet (75,276 SF). The Site is in the RX2 Zone, but it is located in a commercial corridor of Knowlton Street, which contains a variety of uses from residential to retail to light industrial. The Site is currently used as an assembly hall and event venue space.

The Applicant requests approval of a café liquor permit for the existing building. The Site itself will remain unchanged and the interior of the space will remain the same. The Applicant is not creating any type of permanent bar. The Applicant will install temporary location within the existing floor plan depending on the event. Of all the industries affected by the COVID-19 pandemic, the event venue industry has been one of the most impacted. The proposed minor adjustment to the existing and well-supported use at the Site will help offer an additional range of service at the Site. With regards to off-street parking, the Site contains ample amount of parking for its use. The Application will not increase patronage, but merely allow to serve alcohol through a café liquor permit rather than needing a caterer’s permit for every single event hosted at the Site.

The Petition satisfies the Certificate of Location Approval standards of Sec. 11.120 of the Regulations. Café liquor is permitted in the RX2 Zone, so the Application complies with the Regulations. The Site has been specifically approved as an event venue and placed within the RX2 Zone in accordance with the master plan of conservation and development. The Site has

already been approved for caterers to serve alcohol. The proposed permit will allow the Applicant to have their own license for the sale of alcohol. It will not impair the future development of the surrounding area as it is a slight modification of an existing use. There is no proposed increase in building footprint or floor area associated with the Application. The use is compatible with the surrounding neighborhood and it will not increase any impact to a residential neighborhood as liquor is already served at the Site. The western side of Knowlton Street in this area is not located in an N or NX Zone. Finally, the use will actually improve surrounding property values by strengthening this popular use and Site that has seen a revitalization since the Applicant has owned the property.

For the above-stated reasons, the Petitioner respectfully requests approval of this Application for Certificate of Location for Café Liquor Permit.

Thank you for your assistance in this matter.

Sincerely,



Chris Russo

THE KNOWLTON LLC ACTIVE

305 KNOWLTON STREET, BRIDGEPORT, CT, 06608, United States

BUSINESS DETAILS ▼

Business Details ▲

General Information —

Business Name
THE KNOWLTON LLC

Business status
ACTIVE

Citizenship/place of formation
Domestic/Connecticut

Business address
305 KNOWLTON STREET, BRIDGEPORT, CT, 06608, United States

Annual report due
3/31/2024

NAICS code
Lessors of Nonresidential Buildings (except Miniwarehouses) (531120)

Business ALEI
1309768

Date formed
5/16/2019

Business type
LLC

Mailing address
305 KNOWLTON STREET, BRIDGEPORT, CT, 06608, United States

Last report filed
2023

NAICS sub code
531120

Principal Details —

Principal Name
SHIRAN NICHOLSON

Principal Title

Member

Principal Business address

295 CENTER ROAD #111, EASTON, CT, 06612, United States

Principal Residence address

295 CENTER ROAD #111, EASTON, CT, 06612, United States

Agent details

Agent name

NICHOLSON EVENTS INC

Agent Business address

305 KNOWLTON STREET, BRIDGEPORT, CT, 06608, United States

Agent Mailing address

305 KNOWLTON STREET, BRIDGEPORT, CT, 06608, United States

Filing History



https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t0000000zavd/oTJmxPWZzYXh82ooE3I_U_USpho2vRFX2B1ABsMGOos

Business Formation - Certificate of Organization 0006560357 Filing date: 5/16/2019 Filing time:

Volume Type

E

Volume

29

Start page

1167

Pages

2

Date generated

5/16/2019

Digital copy

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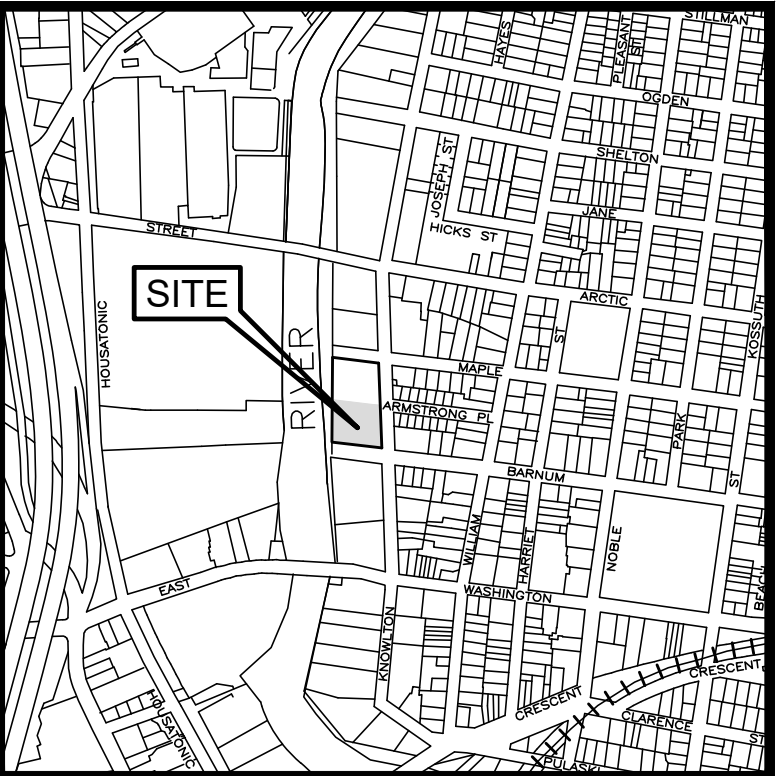
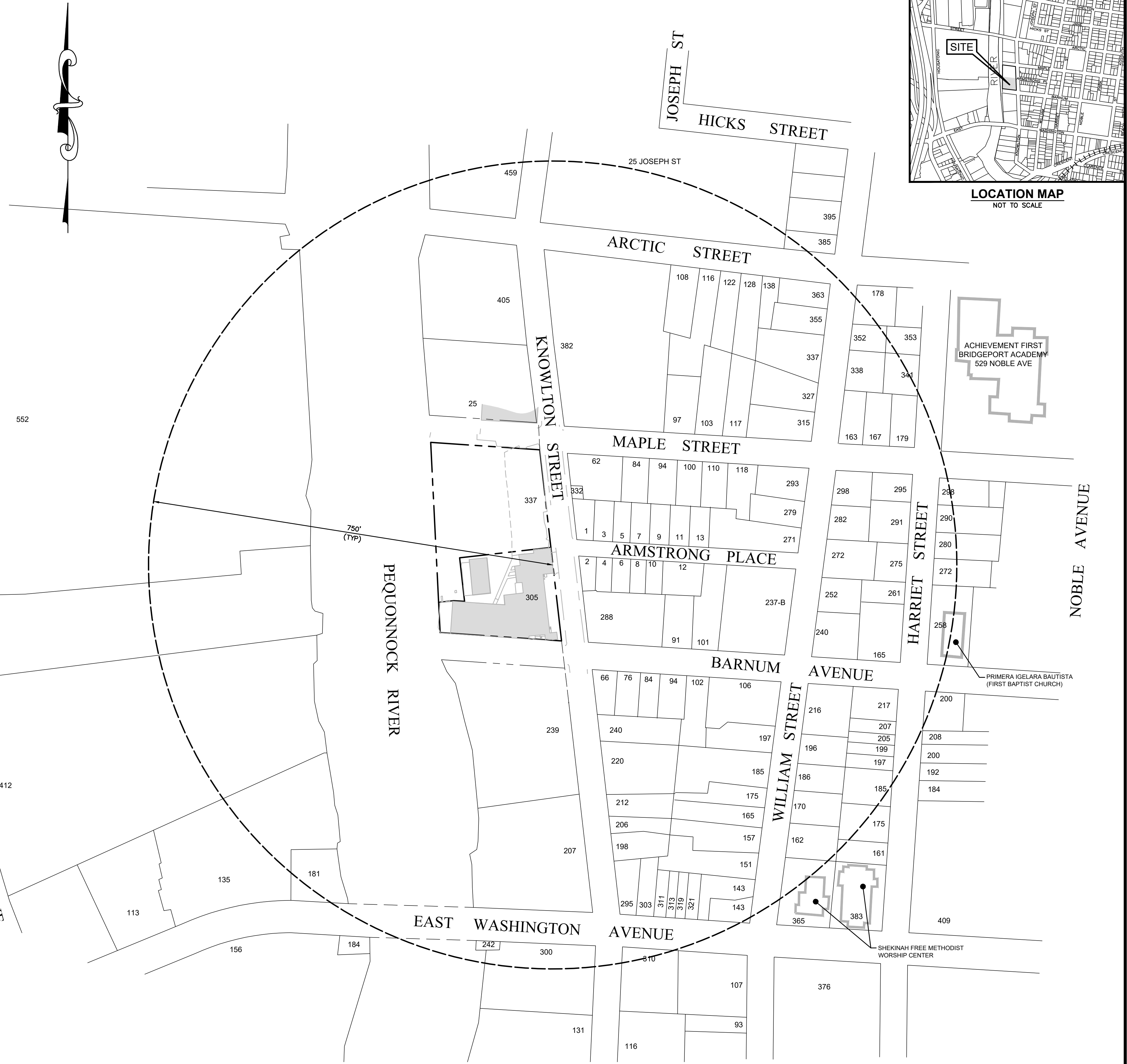
Change of Business Address - Business Address Change

305 KNOWLTON ST 100' ABUTTERS

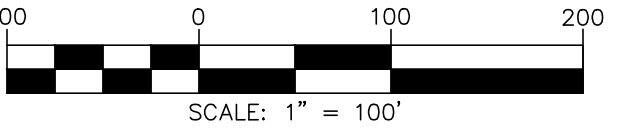
Location	Owner	Owner Address	City	State	Zip
66 BARNUM AV #70	VAZ JOSE & LUIS	179 WILLIAM ST	BRIDGEPORT	CT	06608
239 KNOWLTON ST	225 KNOWLTON ST LLC	239 KNOWLTON ST	BRIDGEPORT	CT	06608
288 KNOWLTON ST	IFTIKHAR AYESHA K	288 KNOWLTON ST	BRIDGEPORT	CT	06608-2110
4 ARMSTRONG PL	BEGOLLI ARGJENT	4 ARMSTRONG PL	BRIDGEPORT	CT	06608-2118
2 ARMSTRONG PL	RODRIGUEZ RUPERTO & ROSA A	2 ARMSTRONG PL	BRIDGEPORT	CT	06608
305 KNOWLTON ST	KNOWLTON LLC THE	305 KNOWLTON STREET	BRIDGEPORT	CT	06608
3 ARMSTRONG PL	BATISTA ROMERO & CARLOS	126 BURROUGHS STREET	BRIDGEPORT	CT	06608
1 ARMSTRONG PL	RAMIREZ ROGELIO	1 ARMSTRONG PL	BRIDGEPORT	CT	06608-2119
332 KNOWLTON ST	STRATFORD INVESTMENTS LLC	9 TASHUA PKWY	TRUMBULL	CT	06611
62 MAPLE ST	STRATFORD INVESTMENTS LLC	9 TASHUA PKWY	TRUMBULL	CT	06611
382 KNOWLTON ST #406	SNA LLC	388 KNOWLTON ST	BRIDGEPORT	CT	06608
25 MAPLE ST	GENNARINI JOHN ET ALS	25 MAPLE ST	BRIDGEPORT	CT	06608

ADDRESS	OWNER	MAP/BLOCK/LOT	USE CODE	USE CODE DESCRIPTION
Housatonic Ave.				
412	SOUTHERN CONNECTICUT GAS CO	41/ 1534/ 3	340	Ind/Whs Mdl 96
482	HOUSATONIC AVENUE LLC	41/ 1534/ 2	399	Vac Ind Lnd
552	GRAND BRASS LLC	47/ 1534/ 1	296	Com MDL 96
Knowlton St.				
116	STROBRO KNOWLTON LLC	41/ 1659/ 2	340	Ind/Whs Mdl 96
131	SAN XIN LLC	41/ 1660/ 1/B	399	Vac Ind Lnd
198	KITCHENMAX LLC	41/ 1653/ 6	340	Ind/Whs Mdl 96
206	KITCHENMAX LLC	41/ 1653/ 5	303	Acc Ind Lnd
207	207 KNOWLTON LLC	41/ 1652/ 2/A	300	Industrial Mdl 96
212	KITCHENMAX LLC	41/ 1653/ 4	303	Acc Ind Lnd
220	AC KNOWLTON ASSOC LLC	41/ 1653/ 3	300	Industrial Mdl 96
239	225 KNOWLTON ST LLC	41/ 1652/ 1	300	Industrial Mdl 96
288	IFTIKHAR AYESHA K	41/ 1650/ 2	340	Ind/Whs Mdl 96
305	KNOWLTON LLC THE	41/ 1651/ 1	300	Industrial Mdl 96
337	KNOWLTON LLC THE	41/ 1651/ 2	300	Industrial Mdl 96
382	SNA LLC	47/ 1640/ 1/A	340	Ind/Whs Mdl 96
405	BRIDGEPORT CITY OF	47/ 1639/ 2/A	939	Mun WF Land
459				
William St.				
93	CAMILO JOSE	42/ 1659/ 13	101	Single Family
107	BRYANT CLIFTON	42/ 1659/ 14/K 1	108	Condominium
143	VAZ STRATFORD AVE	42/ 1653/ 13	200	Com Mid 94
151	VAZ STRATFORD AVE	42/ 1653/ 14	299	Vac Comm Lnd
157	VAZ QUALITY WORKS	42/ 1653/ 15	102	Two Family
162	WILLIAM PROPERTY LLC	42/ 1654/ 4/B	814	Comm Apts
165	JOAQUIM VAZ LIVING TRUST	42/ 1653/ 16	102	Two Family
170	170 WILLIAM LLC	42/ 1654/ 4/A	106	Six Family
175	JOAQUIM VAZ LIVING TRUST	42/ 1653/ 17/A	102	Two Family
186	VAZ STRATFORD AVE LAUNDROMAT LLC	42/ 1654/ 3	102	Two Family
185	JOAQUIM VAZ LIVING TRUST	42/ 1653/ 17	225	Com Garage Shop
196	NIEVES CONCEPCION	42/ 1654/ 2	103	Three Family
197	JOAQUIM VAZ LIVING TRUST	42/ 1653/ 18	101	Single Family
216	OLIVO JOSE F & MARIA C DE LA CRUZ	42/ 1654/ 1	103	Three Family
237-B	GODOY RAQUEL	42/ 1650/ 5/K 5/	108	Condominium
240	BCRA LLC	42/ 1648/ 5	814	Comm Apts
252	BCRA LLC	42/ 1648/ 4	100	Vac Res Land
271	SALAZAR JULIO C ETAL	42/ 1649/ 8	103	Three Family
272	WILLIAM 2 PROPERTY LLC	42/ 1648/ 3	104	Four Family
279	CORTEZ ALAN J	42/ 1649/ 9	104	Four Family
282	HABITAT FOR HUMAN COASTAL FFLD	42/ 1648/ 2	102	Two Family
293	GREEN TREMAIN C	42/ 1649/ 10	102	Two Family
298	MEDINA MIGDALIA	42/ 1648/ 1	102	Two Family
Harriet St.				
161	PACK, RONALD	42/ 1654/ 7	102	Two Family
175	MCOY KENNETH L	42/ 1654/ 8	861	Rooming House
184	MAHAN CYNTHIA D ET AL	42/ 1655/ 5	103	Three Family
185	HARRIET PROPERTY LLC	42/ 1654/ 9/A	814	Comm Apts
192	COHALL DENVER	42/ 1655/ 4	103	Three Family
197	MATO EDUARD	42/ 1654/ 11	101	Single Family
199	MATO EDUARD	42/ 1654/ 12	101	Single Family
200	MOISE GENE I	42/ 1655/ 3	101	Single Family
205	MATO EDUARD	42/ 1654/ 9	101	Single Family
207	MATO EDUARD	42/ 1654/ 13	101	Single Family
208	BERRY ANNISA	42/ 1655/ 2	101	Single Family
217	REILLO JANET	42/ 1654/ 10	102	Two Family
258	PRIMERA IGLESIA BAUTISTA	42/ 1647/ 5	958	Religious Mdl 94
261	VEGA RUBEN	42/ 1648/ 7	102	Two Family
272	KALOFOLIAS JOHN	42/ 1647/ 4	102	Two Family
275	COOMBS WINSTON	42/ 1648/ 10	102	Two Family
280	SATANNA MICHAEL F TRUSTEE	42/ 1647/ 3	101	Single Family
290	MARTINEZ LEOMAR	42/ 1647/ 2	102	Two Family
291	291 HARRIET STREET LLC	42/ 1648/ 8	100	Vac Res Land
295	MARTINEZ LEOMAR	42/ 1648/ 9	102	Two Family
298	MARTINEZ LEOMAR	42/ 1647/ 1	102	Two Family
341	PONCE ISMAEL & CARMEN F	48/ 1641/ 7	102	Two Family
353	ATLANTIC COLEMAN LLC	48/ 1641/ 8	102	Two Family
East Washington Ave.				
113	A & F PROPERTIES LLC	41/ 1534/ 4/Y	340	Ind/Whs Mdl 96
135	PETER G STANDISH REVOC	41/ 1534/ 4/E	340	Ind/Whs Mdl 96
156	HOFFMAN FUEL COMPANY OF	41/ 1531/ 1/	325	Ind Garage/Shop
181	PETER G STANDISH REVOC	41/ 1534/ 5/C	303	Acc Ind Lnd
184	UNITED ILLUMINATING CO	41/ 1531/ 2/A	499	Utility Vac Ln
242	UNITED ILLUMINATING CO	41/ 1660/ 1/A	499	Utility Vac Ln
300	DOMINGOS AND ALDA LLC	41/ 1660/ 1/C	225	Com Garage Shop
295	PEQUONNOCK RIVER RESTORATION LLC	41/ 1653/ 7	280	Mix Use Comm
303	KITCHENMAX LLC	41/ 1653/ 8	340	Ind/Whs Mdl 96
310	310 EAST WASHINGTON AVENUE	41/ 1659/ 1	340	Ind/Whs Mdl 96
311	CHINTAMINI NAVEEN	41/ 1653/ 9	102	Two Family
313	CEPEDA GENESIS P	41/ 1653/ 10	102	Two Family
319	WALTON THEODORE	42/ 1653/ 11	103	Three Family
321	WALTON MARIE (67%) ET AL	42/ 1653/ 12	103	Three Family
365	SHEKINAH WORSHIP CENTER	42/ 1654/ 5	957	Religious Hse
376	HOUSING AUTHORITY CITY OF BPT	42/ 1658/ 1/A	948	Hsgng Auth Apts Mdl 94
383	SHEKINAH WORSHIP CENTER	42/ 1654/ 6	204	Comm WF Mdl 94
409	409 EAST WASHINGTON AVE REALTY LLC	42/ 1655/ 16/A	200I	Com Mdl 96

ADDRESS	OWNER	MAP/BLOCK/LOT	USE CODE	USE CODE DESCRIPTION
Barnum Ave.				
66	VAZ JOSE & LUIS	41/ 1653/ 1	280	Mix Use Comm
76	MCDUFFIE-DAVIS JACQUELYN &	41/ 1653/ 22	102	Two Family
84	FULLER SYLVESTER	41/ 1653/ 21	102	Two Family
91	CLARKE NOEL H & REBECCA R	41/ 1650/ 3	102	Two Family
94	94 BARNUM LLC	41/ 1653/ 19/	103	Three Family
101	NDRECAJ MARTIN	42/ 1650/ 4	104	Four Family
102	BRIDGEPORT CITY OF REDEVE AGENCY	42/ 1653/ 18/B	938	Mun Recr Land
106	BRIDGEPORT CITY OF REDEV AGENCY	42/ 1653/ 18/A	938	Mun Recr Land
165	JEUNE GHYSLIN L	42/ 1648/ 6	104	Four Family
200	JEREZ JENNIFER	42/ 1655/ 1	102	Two Family
Armstrong Pl.				
1	RAMIREZ ROGELIO	41/ 1649/ 2	102	Two Family
2	RODRIGUEZ RUPERTO & ROSA A	41/ 1650/ 1	101	Single Family
3	BATISTA ROMERO & CARLOS	41/ 1649/ 2/A	100	Vac Res Land
4	BEGOLLI ARGJENT	41/ 1650/ 11	102	Two Family
5	GUZMAN CARLOS G	41/ 1649/ 3	103	Three Family
6	BELTRE LUIS M	41/ 1650/ 10/	102	Two Family
7	COHEN YAKOV	41/ 1649/ 4	102	Two Family
8	ALVAREZ ALFRED	41/ 1650/ 9	102	Two Family
9	DOLOR THERESA	41/ 1649/ 5	102	Two Family
10	SMALLS, BARBARA ANN	41/ 1650/ 8/	101	Single Family
11	11 ARMSTRONG PL LLC	42/ 1649/ 6/	102	Two Family
12	PRYCE JASON	42/ 1650/ 7	102	Two Family
13	RICHARDS ZARONIE ET AL	42/ 1649/ 7	103	Three Family
Maple St.				
62	STRATFORD INVESTMENTS LLC	41/ 1649/ 1	800	Apartment Mdl 03
84	PAMPHILE WESLEY S ET A	41/ 1649/ 15	101	Single Family
94	JOSEPH AINSLEY	41/ 1649/ 14/	102	Two Family
97	BUI CUONG ET AL	48/ 1640/ 3	103	Three Family
100	MSA INVESTMENTS LLC	42/ 1649/ 13	102	Two Family
103	LOPEZ JAIME	48/ 1640/ 4	101	Single Family
110	MSA INVESTMENT I LLC	42/ 1649/ 12	102	Two Family
117	COUTO MARIA	48/ 1640/ 5	102	Two Family
118	PIERRE DARREN E	42/ 1649/ 11	102	Two Family
163	MELLENDEZ JONATHAN	48/ 1641/ 4	101	Single Family
167	TORRES JANET	48/ 1641/ 5	102	Two Family
179	FILIZZOLA CHRISTIAN	48/ 1641/ 6	101	Single Family
Arctic St.				
108	MIAKOS NICHOLAS	48/ 1640/ 19	102	Two Family
116	116-120 ARCTIC STREET LLC	48/ 1640/ 20	225	Com Garage Shop
122	BRIDGEPORT CITY OF	48/ 1640/ 13	921	Mun Lnd Res
128	MELLERS COURTNEY P	48/ 1640/ 12	103	Three Family
138	OGARRO PETER G & DENISE	48/ 1640/ 11	101	Single Family
178	ACA ARTURO ET AL	48/ 1641/ 1	102	Two Family
Joseph St.				
25	B&E HOLDING LLC	47/ 1629/ 2	340	Ind/Whs Mdl 96
Noble Ave				
529	ACHIEVEMENT FIRST BRIDGEPORT ACADEMY INC	48/ 1642/ 1	933	Public School

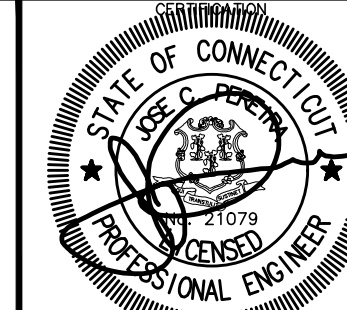


LOCATION MAP
NOT TO SCALE



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PEREIRA ENGINEERING, LLC
Civil • Environmental • Land Surveying
One Enterprise Drive, Suite 312 Phone: (203) 944-9944
Shelton, CT 06484 Fax: (203) 944-9945



NO.	BY	DATE	REVISIONS	REMARKS

DES: EFH
DWN: EFH
CKD: JCP

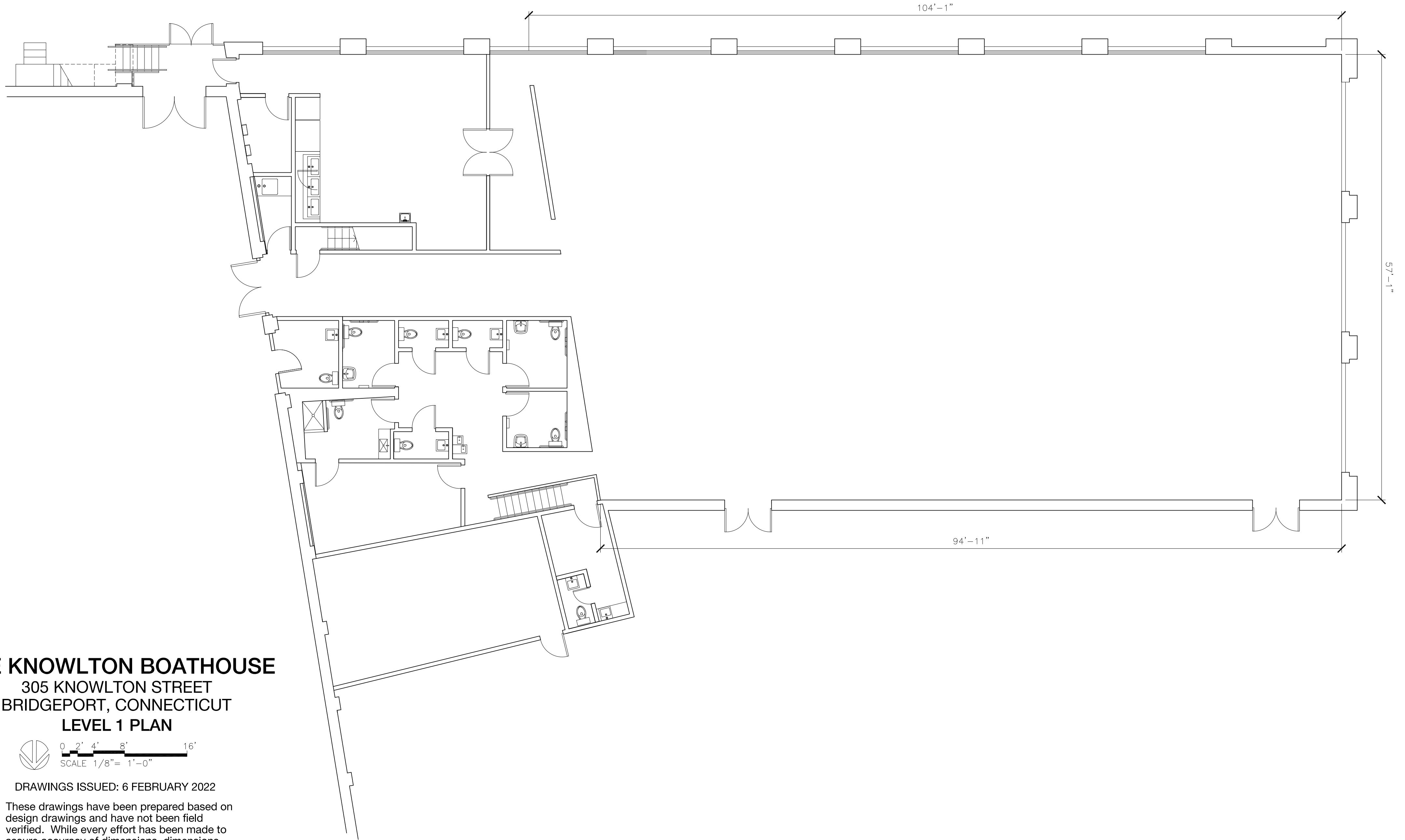
PREPARED FOR
SHIRAN NICHOLSON
FOR PROPERTY LOCATED AT
305 KNOWLTON STREET
BRIDGEPORT, CONNECTICUT

**PROPOSED SITE IMPROVEMENT PLANS
750' RADIUS MAP**

SCALE: 1"=100'

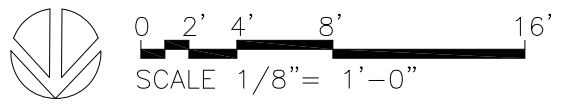
DATE: MAY 25, 2023
C SHEET 1 OF 1
CAD REF. NO. 1220RADMAP

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THE KNOWLTON BOATHOUSE

305 KNOWLTON STREET
 BRIDGEPORT, CONNECTICUT
LEVEL 1 PLAN



DRAWINGS ISSUED: 6 FEBRUARY 2022

These drawings have been prepared based on design drawings and have not been field verified. While every effort has been made to assure accuracy of dimensions, dimensions shown here may vary from actual conditions in the field. These drawings are provided as-is, without warranty, explicit or implied. These drawings are intended for planning purposes only, and may not be used for construction without detailed field verification.

PREPARED BY:

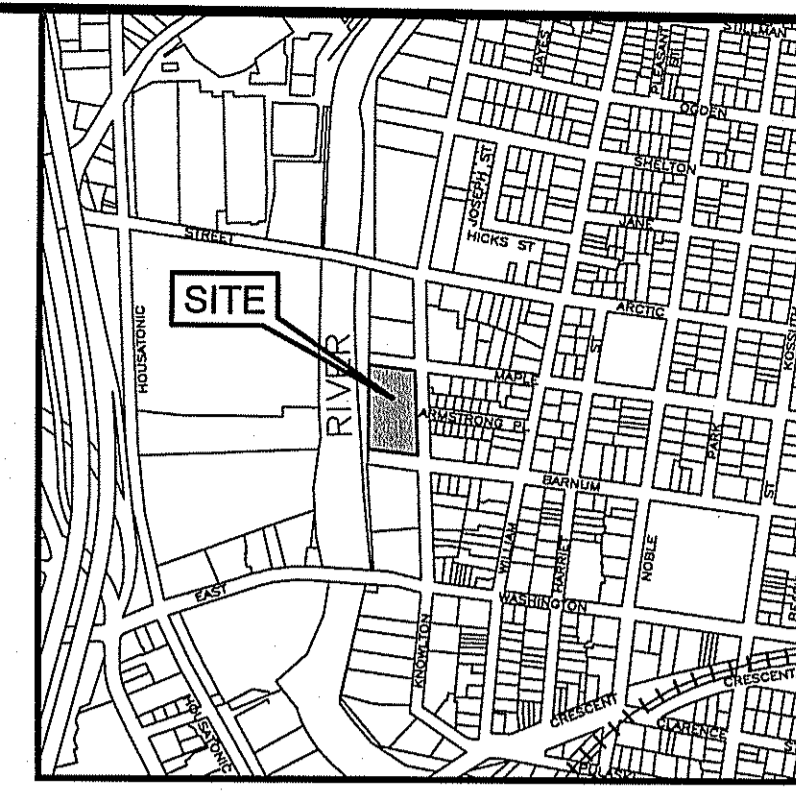
aha

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 HAMDEN
 CONNECTICUT 06517
 TEL: 203.903.8633

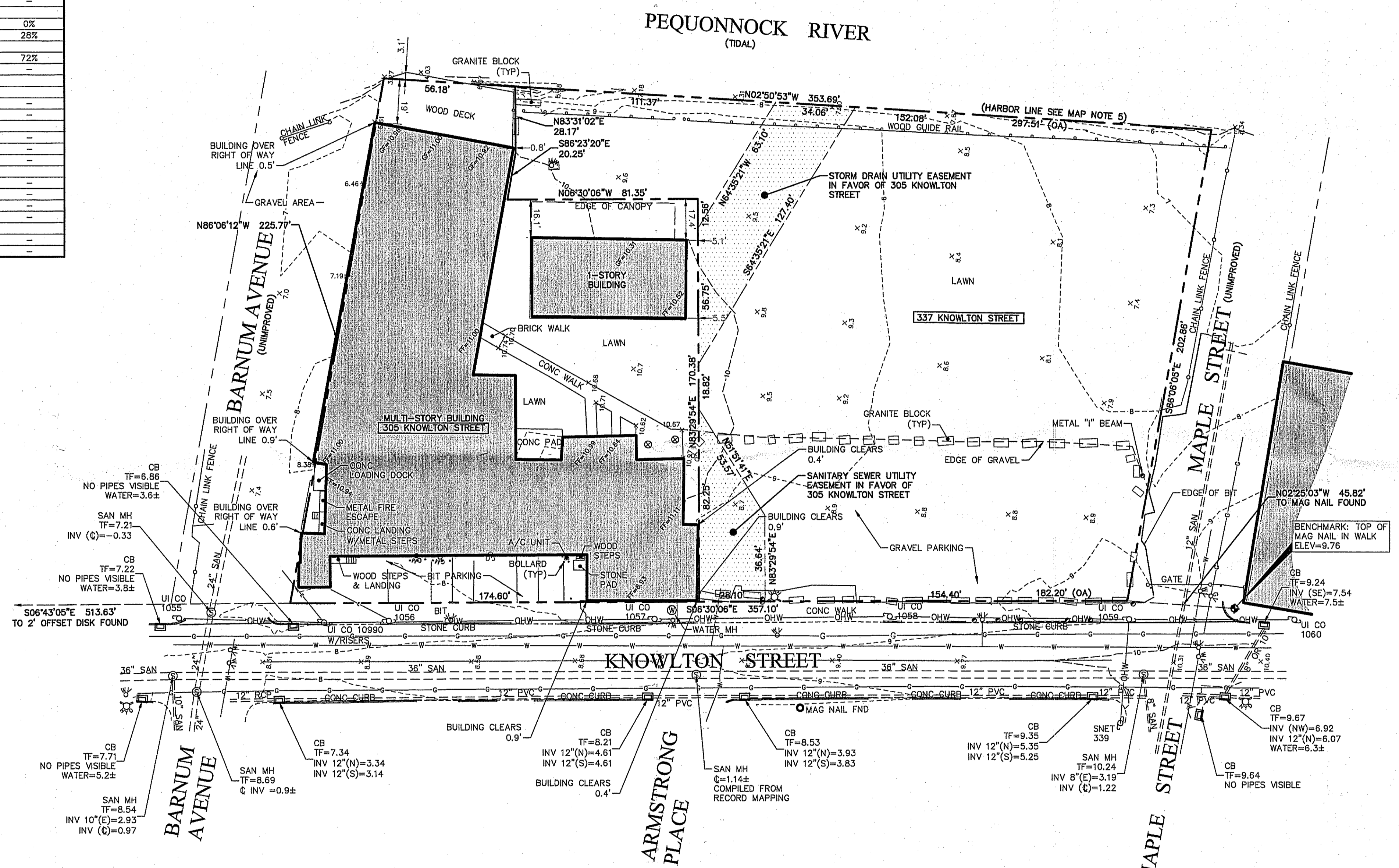
**ZONING DATA TABLE
MU-LI ZONE**

STANDARDS	REQUIRED	EXISTING	
LOT		305 KNOWLTON	337 KNOWLTON
Lot area minimum	n.a.	30,092 Sq. ft	45,184 Sq. ft
Frontage, minimum	35 ft	400.37 ft	385.06 ft
Floor area ratio, maximum	n.a.	--	--
Principal building size, maximum	n.a.	--	--
PRINCIPAL BUILDING SETBACK			
Front lot line, minimum from	n.a.	--	--
Street lot line, minimum from	0 ft or prevailing setback	0.0 ft	--
Maximum setback	10 ft or prevailing setback	0.0 ft	--
Side lot line, minimum from	n.a.	0.4 ft	--
Rear lot line, minimum from	n.a.	19.0 ft	--
Not to exceed	n.a.	--	--
Minimum setback from:			
Other heavy industrial use	n.a.	--	--
Other use	n.a.	--	--
From lot line abutting an R zoned lot	0	--	--
Side	10 ft	--	--
Rear	15 ft	--	--
From lot line abutting an MU, OR or I zoned lot	n.a.	--	--
Corner lot yards	Note 2	--	--
Mean high water, minimum from	n.a.	--	--
ACCESSORY STRUCTURE			
Setbacks	Note 9	--	--
COVERAGE			
Building coverage, maximum	65%	64%	0%
Site coverage, maximum	65%	80%	28%
LANDSCAPED AREA			
Minimum	15%	20%	72%
In setbacks abutting an R-zoned lot, minimum	10ft deep at L4 (4)	--	--
HEIGHT			
Principal Building			
Maximum for principal building	35 ft (Note 12)	> 35 ft.	--
Projections and features	Note 5	--	--
Accessory Structure			
Height, maximum	Note 7	--	--
Floor area, gross maximum	Note 8	--	--
PUBLIC ACCESS EASEMENT	Note 10	--	--
ADDITIONAL STANDARDS:			
Parking in front setback	No	--	--
Drive-through facility	No	--	--
Outdoor display	Yes	--	--
Outdoor storage and activities	No	--	--
Trucks and equipment	No	--	--
Light	Yes (13)	--	--
Heavy	No	--	--

- NOTES:
- No maximum building setback from a street lot line shall be required for any parcel of land bounded on three or more sides by city streets and owned by a city or government agency.
 - On a corner lot in any zone, there shall be two front yards and two side yards.
 - The minimum setback from mean high water shall be thirty (30) feet except for buildings supporting water-dependent uses that may require location immediately adjacent to the water.
 - See Section 11-3, Landscaping and Screening.
 - See Section 4-4, Height.
 - Buildings proposed for more than three (3) stories shall require a special permit.
 - Any accessory structure with a flat or rounded roof shall be no higher at its highest point than twelve (12) feet and any accessory structure with a pitched roof shall be no higher than fifteen (15) feet, measured from the average level of the ground along all walls of the structure.
 - See Section 4-9, Accessory Structures.
 - Setbacks for accessory structures shall be the same as setbacks for principal structures.
 - A public access easement may be required on any non-residential property abutting a waterway. In such a case, a dedicated open space area shall be established from the top of the embankment and for twenty (20) feet inland.
 - Parking garages shall be exempt from the Floor Area Ratio (FAR) requirement and shall not be included in the calculation of the Gross Floor Area in an MU-EM Zone.
 - Maximum height for a passenger terminal shall be 60 ft.
 - Light trucks are allowed. No outdoor storage of equipment is allowed.



LOCATION MAP
NOT TO SCALE

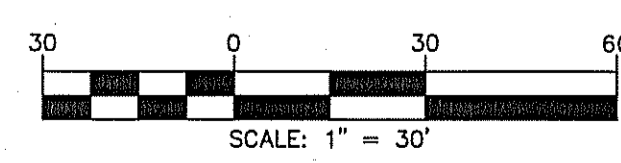


- SURVEY NOTES:
- THIS SURVEY (OR MAP) HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AS REVISED OCTOBER 26, 2018.
 - THE TYPE OF SURVEY PERFORMED IS AN IMPROVEMENT LOCATION SURVEY INTENDED TO DEPICT THE EXISTING CONDITIONS ON THE SUBJECT PARCELS.
 - THE BOUNDARY DETERMINATION/OPINION CATEGORY IS BASED UPON A RESURVEY OF MAP REFERENCE 1.
 - THIS SURVEY CONFORMS TO HORIZONTAL ACCURACY CLASS A-2, VERTICAL ACCURACY CLASS V-3, AND TOPOGRAPHIC ACCURACY CLASS T-2.
 - THE ELEVATIONS DEPICTED HEREON ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988, ESTABLISHED USING GNSS SURVEY METHODS.
 - THE BEARINGS DEPICTED HEREON ARE BASED UPON THE NORTH AMERICAN DATUM OF 1983, ESTABLISHED USING GNSS SURVEY METHODS.
 - THE SUBJECT PARCEL APPEARS TO LIE WITHIN FLOOD ZONE AE (EL. 10) AS DEPICTED ON FEMA'S FLOOD INSURANCE RATE MAP (FIRM) ENTITLED: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS); PANEL 429 OF 626; MAP NUMBER 090010429G; MAP REVISED: JULY 8, 2013; SCALE: 1"=500'. ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION DEPICTED HEREON IS APPROXIMATE ONLY AND DOES NOT IN ANY WAY CONSTITUTE AN OPINION OR REPRESENTATION OF ACTUAL FLOODPLAIN AND/OR FLOODWAY INFORMATION BY PEREIRA ENGINEERING, LLC (PE). PE DOES NOT WARRANT THE ACCURACY OF THIS INFORMATION, AND MAKES NO REPRESENTATIONS UPON WHICH THE CLIENT SHOULD RELY IN CONNECTION WITH THE FLOOD ZONE OF THE SUBJECT PARCEL OR ANY FEMA FLOODPLAIN AND/OR FLOODWAY INFORMATION DEPICTED HEREON.
 - THE SUBJECT PARCEL APPEARS TO LIE WITHIN THE COASTAL BOUNDARY AS DELINEATED ON THE COASTAL BOUNDARY MAP OF THE CITY OF BRIDGEPORT. PARCELS LOCATED WITHIN THE COASTAL BOUNDARY MAY REQUIRE A COASTAL SITE PLAN REVIEW (CSL) APPLICATION.
 - UTILITY INFORMATION DEPICTED HEREON IS APPROXIMATE AND IS BASED ON VISIBLE EVIDENCE OF SURFACE AND OVERHEAD STRUCTURE LOCATIONS AND AS COMPILED FROM EXISTING RECORD MAPPING AVAILABLE DURING THE PREPARATION OF THE SURVEY. ALL CONTRACTORS SHOULD CONTACT "CALL BEFORE YOU DIG" AT 1(800)922-4455 FOR VERIFICATION OF UTILITY INFORMATION PRIOR TO START OF ANY WORK.
 - THE SUBJECT PARCELS APPEAR ON THE CITY OF BRIDGEPORT GIS AND CITY ASSESSOR CARD AS ONE (1) PARCEL KNOWN AS 305 KNOWLTON STREET.

- MAP REFERENCES:
- "PROPERTY DIVISION MAP PREPARED FOR MP DEVELOPMENT ASSOCIATES, LLC #305 KNOWLTON STREET, BRIDGEPORT, CONNECTICUT"; SCALE: 1"=20'; DATED: MAY 3, 2011; REVISION THROUGH: JUNE 23, 2011; PREPARED BY: HAMMONS, LLC; FILED IN THE BRIDGEPORT LAND RECORDS IN MAP VOLUME 57 PG 241.
 - "PARTITION MAP OF PROPERTY IN BRIDGEPORT, CONN. FOR: BRIDGEPORT JANITORIAL SERVICES"; SCALE: 1"=20'; DATED: NOVEMBER 28, 1984; PREPARED BY: FULLER & CO., INC.
 - CITY OF BRIDGEPORT PIN SHEET 1651; SCALE: 1"=30'; AVAILABLE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
 - CITY OF BRIDGEPORT SANITARY SEWER AS-BUILT MAP 5107B, KNOWLTON STREET INTERCEPTOR, SHEET 2 OF 3; SCALE: 1"=40' HOR., 1"=4' VERT; AVAILABLE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
 - "BRIDGEPORT HARBOR, CONNECTICUT MAIN HARBOR, PEQUONNOCK RIVER, YELLOW MILL POND & JOHNSON RIVER U. S. HARBOR LINES"; SCALE: 1"=400'; DATED: DECEMBER 5, 1940; REVISED TO: FEBRUARY 14, 1951; PREPARED BY: THE ARMY CORPS OF ENGINEERS.

337 KNOWLTON STREET
TOTAL PARCEL AREA :
45,184 SF (1.037 AC)±
DEED REFERENCE:
VOL 8445 / PG 87

305 KNOWLTON STREET
TOTAL PARCEL AREA :
30,092 SF (0.691 AC)±
DEED REFERENCE:
VOL 8282 / PG 191

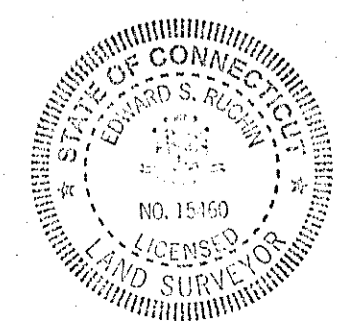


LEGEND

---	PROPERTY LINE	---	550	CONTOURS
- - -	RIGHT OF WAY	X 621.5		SPOT ELEVATION
- · - · -	EASEMENT LINE	○		CONIFEROUS TREE
▬	STONE WALL	○		DECIDUOUS TREE
▬	STRUCTURE	○		BUSH
▬	EDGE OF PAVEMENT	○		CHAIN LINK FENCE
○	TEST BORING	○		WOOD FENCE
○	CATCH BASIN	○		GUDERAIL
○	STORM MANHOLE	○		LIGHT POLE
○	SANITARY MANHOLE	○		UTILITY POLE
○	WATER	○		HYDRANT
○	GAS	○		WATER VALVE
○	ELECTRIC	○		GAS VALVE
○	TELEPHONE	○		MONUMENT FOUND
○	FIBER OPTIC LINE	○		IRON PIPE OR PIN FOUND
○	OVERHEAD WIRES	○		DRILL HOLE FOUND

THIS MAP IS VALID AND AUTHORIZED BY THE BELOW SIGNATORY WHEN AND ONLY WHEN ACCOMPANIED WITH A RED LIVE SIGNATURE, A STAMPED SEAL IN RED INK AND A LIVE EMBOSSED SEAL OVER THE SIGNATURE'S NAME. ANY OTHER REPRODUCTIONS SHALL BE CONSIDERED UNAUTHORIZED

To my knowledge and belief, this map is substantially correct as noted hereon.
Edward S. Ruchin
Edward S. Ruchin, P.L.S. Conn. # 15460



PEREIRA ENGINEERING, LLC
Civil • Environmental • Land Surveying
One Enterprise Drive, Suite 312 Phone: (203) 944-9944
Shelton, CT 06484 Fax: (203) 944-9945

REVISIONS	
NO.	REMARKS

IMPROVEMENT LOCATION SURVEY
OF PROPERTY LOCATED AT
305 & 337 KNOWLTON STREET
BRIDGEPORT, CONNECTICUT
PREPARED FOR
SHIRAN NICHOLSON

COPYRIGHT © 2018
DATE: DECEMBER 28, 2018
SCALE: 1"=30'
DWG: IAA FLD: ESR
SHEET 1 OF 1
CAD REF. NO. 1220SURV



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: 143 Bennett Street, LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X _____
3. Address of Property: 143 Bennett Street, Bridgeport, CT 06605
4. Assessor's Map Information: Block No. 8/102 Lot No. 29/A
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section: _____
6. Description of Property (Metes & Bounds): 275.59' x 107.19' x 3.85' x 100.00' x 220.00' x 100.00' x 59.35' x 100.22'
7. Existing Zone Classification: RX1
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Demolish existing structures and construct a 27-unit multi-family row building along Fox Street and a 39-unit multi-family row building along Bennett Street with associated site improvements.
Approval(s) requested: Coastal Site Plan Review and Site Plan Review

Signature: _____ Date: 05/24/2023
Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: Christopher Russo

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd., Fairfield, CT 06824
Phone: 203-255-9928 Cell: 203-255-9928 Fax: 203-255-6618
E-mail Address: Chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

143 Bennett Street, LLC 05/24/2023
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date



54CITY OF BRIDGEPORT

Application Form

Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I: Applicant Identification

Applicant: <u>143 Bennett Street, LLC</u>	Date: <u>05/24/2023</u>
Address: <u>c/o Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT</u>	Phone: <u>203-528-0590</u>
Project Address or Location: <u>143 Bennett Street, Bridgeport, CT 06605</u>	
Interest in Property: <input checked="" type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant: Name: <u>Chris Russo, Russo & Rizio, LLC</u>	
Address: <u>10 Sasco Hill Road</u>	
City/Town: <u>Fairfield</u>	State: <u>CT</u> Zip _____
Code: <u>06824</u>	
Business Phone: <u>203-528-0590</u>	
e-mail: <u>Chris@russorizio.com</u>	

Section II: Project Site Plans

<p>Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:</p> <p><input checked="" type="checkbox"/> Project location</p> <p><input checked="" type="checkbox"/> Existing and proposed conditions, including buildings and grading</p> <p><input checked="" type="checkbox"/> Coastal resources on and contiguous to the site</p> <p><input type="checkbox"/> High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)</p> <p><input checked="" type="checkbox"/> Soil erosion and sediment controls</p> <p><input checked="" type="checkbox"/> Stormwater treatment practices</p> <p><input checked="" type="checkbox"/> Ownership and type of use on adjacent properties</p> <p><input checked="" type="checkbox"/> Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)</p>
--

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description:
143 Bennett Street
City or Town: Bridgeport
2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
Ash Creek is located approximately 500' from the Site. There is no adjacent water.
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:
The Site currently contains several industrial buildings and an outdoor storage yard. The Site is located in the RX1 Zone.
A multi-family residential building is located across Bennett Street from the Site and a mixture of industrial, civic and residential buildings surround the Site.
5. Indicate the area of the project site: 1.16 acres or square feet (circle one)
6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):
 - Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
 - Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.
 - Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.
7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The Petitioner proposes to demolish the existing buildings on the Site and construct two separate multi-family residential row buildings. One of the buildings will be oriented along Bennett Street and contain Thirty-nine (39) dwelling units. The other building will be oriented along Fox Street and contain Twenty-seven (27) dwelling units.

The proposed building and site coverage is below the maximum standards of the zone under the Zoning Regulations. It also is a significant reduction from existing conditions from 92.6% to 79.8% The development is anticipated to be completed in one phase in Twenty-four (24) months of construction. The proposed grading is shown on the submitted plan.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Storm water run-off from the building and the driveway and parking areas will be treated with a subsurface system. The primary stormwater treatment will be implemented as to Stormwater Best Management Practice.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

Ash Creek, which is the closest coastal resource to the Site, is located Approx. 500' from the Site

The proposed project complies with CGS Sec. 22a-92(a)(1) "...by promoting economic growth without significantly disrupting the environment...", with CGS Sec. 22a-92(b)(2)(F) "...manage coastal hazard areas to minimize hazards to property..." and with CGS Sec. 22a-92(c)(2)(B) "...maintain patterns of water circulation in the placement of drainage control structures..."

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- 9 Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- 9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- 9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- 9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- 9 Boating - CGS Section 22a-92(b)(1)(G)
- 9 Fisheries - CGS Section 22a-92(c)(1)(I)
- 9 Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- 9 Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- 9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- 9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- 9 Solid Waste - CGS Section 22a-92(a)(2)
- 9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- 9 Cultural Resources - CGS Section 22a-92(b)(1)(J)
- 9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration. This project will be limited to the confines of the Site and will be completed within Twenty-four (24) months. All disturbed pervious areas will be loamed, seeded and planted upon completion of construction.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The **Applicable** column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

There is no proposed activity that will qualify as a water-dependent use as there is no adjacent water within approx. 500' of the Site.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

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May 24, 2023

Paul Boucher
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604

Re: Petition for Site Plan Review and Coastal Site Plan Review – 143 Bennett Street

Dear Mr. Boucher:

Please accept this narrative in connection with the Petition to the Bridgeport Planning and Zoning Commission for Site Plan Review and Coastal Site Plan Review on behalf of my client, 143 Bennett Street LLC, for the property located at 143 Bennett Street (the "Site") in the RX1 Zone.

Proposed Development & Use

The Petitioner proposes to construct two (2) residential multi-family apartment dwellings on the Site with associated Site improvements. The Site is located entirely within the RX1 Zone and the coastal boundary. The Site has frontage on Bennett Street and Fox Street. It is currently surrounded by another multi-family residential building, a mix of single-family to three-family dwellings, an industrial building, and civic buildings.

Multi-family dwellings are a permitted use within the RX1 Zone. The Site currently contains a mix of industrial buildings and an outdoor storage yard. The Petitioner proposes to demolish the existing buildings and structures on the Site. The Petitioner then proposes to construct two (2) separate buildings. One building constructed along Bennett Street is proposed to contain Thirty-nine (39) dwelling units and another building along Fox Street is proposed to contain Twenty-seven (27) dwelling units.

The Site will be entered through a one-way drive via Bennett Street. The Site will be exited through a one-way drive via Fox Street. The interior of the Site is proposed to contain

an outdoor ground-level parking area of Forty-seven (47) off-street parking spaces, which is in compliance with the Regulations. Due to the location of the buildings, the parking area will be screened from both public streets. The Applicant proposes extensive landscaping along the perimeter and frontage in compliance with the Regulations. The dumpsters will also be located within the interior of the Site.

The proposed building along Bennett Street will contain Twenty-one (21) studio units, Twelve (12) one-bedroom, and Six (6) two-bedroom dwelling units. The proposed building along Fox Street will contain Twelve (12) studio units, Nine (9) one-bedroom, and Six (6) two-bedroom dwelling units. Every first-floor dwelling unit on Fox Street and almost every first floor dwelling unit has access directly out onto the respective public street to present the row building design. Two of the units on the Bennett Street building don't have an entrance out onto Bennett Street due to a steep grade change. They are entered through the interior of the Site. The upper residential floors will be accessed via two (2) stairwells and an elevator/lobby.

A typical studio dwelling unit will contain a full kitchen, living room and open bedroom area, walk-in/storage closet, full bath and washer/dryer. A typical one-bedroom dwelling unit will have the same features with an enclosed bedroom and additional space. The two-bedroom dwelling units will feature an additional bedroom and full bath.

The submitted elevations show a variety of materials and colors consistent with apartment design found in new construction throughout the City and surrounding area. The addition of stoops create the appearance of separate buildings. The Site will be connected via public sidewalks to the convenient Fairfield Avenue corridor. The new construction housing will be a tremendous asset to the neighborhood and Fairfield Avenue corridor.

Site Plan Review

The Petition satisfies Sec. 11.70 Site Plan Review standards of the Regulations as it fully complies with the standards of the Regulations. The design of the proposed buildings and landscaping create a harmonious building-street interaction providing a tremendous improvement to the existing streetscape from the existing industrial building. The scale and proportion of the buildings conform to the RX1 Row Building Zone Development Standards. The Petition proposes significant landscaping along the perimeter and both street frontage. The proposed multi-family residential dwelling use and its density are permitted in the RX1 Zone. The Site directly abuts another residential multi-family dwelling, so the proposed use will be in conformity with the area.

Coastal Site Plan Review

The Petition also complies with Section 11.80 of the Regulations regarding coastal site plan review. While the Site is located within the coastal boundary, it is approximately Five hundred feet (500') from Ash Creek, which is the nearest coastal resource. Dozens of

buildings and multiple streets and blocks exist between the coastal resource and the Site. It has no connection to the coastal resource but for being included within its boundary. There are no natural features associated with the coastal resource on the Site. As stated above, the Petition fully complies with the site plan review standards of the Regulations. The Petition poses no danger or threat to coastal resources and it has no potential adverse impacts. The proposed building and Site improvements will all be constructed in accordance with current codes and regulations, including the appropriate stormwater drainage systems. Sediment and erosion controls, such as silt fencing and anti-tracking aprons, will be utilized during construction.

For these reasons, we respectfully request approval of the Petition to construct two (2) multi-family residential apartment dwellings containing a total of Sixty-six (66) dwelling units with associated Site improvements on the Site in the RX1 Zone.

Sincerely,



Christopher Russo

143 BENNETT STREET, LLC ACTIVE

143 BENNETT STREET, BRIDGEPORT, CT, 06605, United States

BUSINESS DETAILS ▼

Business Details ▲

General Information —

Business Name
143 BENNETT STREET, LLC

Business status
ACTIVE

Citizenship/place of formation
Domestic/Connecticut

Business address
143 BENNETT STREET, BRIDGEPORT, CT, 06605, United States

Annual report due
3/31/2024

NAICS code
Other Activities Related to Real Estate (531390)

Business ALEI
1360590

Date formed
9/28/2020

Business type
LLC

Mailing address
PO BOX 1148, SOUTHPORT, CT, 06890, United States

Last report filed
2023

NAICS sub code
531390

Principal Details —

Principal Name
CHARLES DEMOURA

Principal Title

MEMBER

Principal Business address

143 BENNETT STREET, BRIDGEPORT, CT, 06605, United States

Principal Residence address

776 HILL FARM ROAD, FAIRFIELD, CT, 06824, United States

Principal Name

Mariana DeMoura

Principal Title

Managing Member

Principal Business address

143 Bennett St, Bridgeport, CT, 06605-2902, United States

Principal Residence address

776 Hill Farm Rd, Fairfield, CT, 06824-2135, United States

Agent details



Agent name

RAYMOND RIZIO

Agent Business address

10 SACO HILL ROAD, FAIRFIELD, CT, 06824, United States

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10 SACO HILL ROAD, FAIRFIELD, CT, 06824, United States

Agent Residence addresss

177 ROWLAND ROAD , FAIRFIELD, CT, 06824, United States

Filing History



(https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t00000044g6q/1VBe1T7LWt.nKdF_newwRWgIElpL.Kigja_dCLA3v0DI)

**Business
Formation -
Certificate of
Organization
0006992926**

Filing date: 9/28/2020
Filing time:

Volume Type

B

Volume

2645

Start page

LIST OF PROPERTY OWNERS WITHIN 100' OF 143 BENNETT ST

LOCATION	OWNER	OWNER ADDRESS	CITY	STATE	ZIP
83 FOX ST	GALLAGHER PETER	83 FOX ST	BRIDGEPORT	CT	06605-3252
93 FOX ST	REA DESMOND	93 FOX ST	BRIDGEPORT	CT	06605-3252
101 FOX ST #103	CACERES JORGE	101 FOX STREET	BRIDGEPORT	CT	06605
80 FOX ST	DEER RALPH J & RENATE A	80 FOX ST	BRIDGEPORT	CT	06605
77 BENNETT ST	KLEPS PATRICK	77 BENNETT ST	BRIDGEPORT	CT	06605
105 FOX ST #107	P & G NORTHLANDS PROPERTIES LLC	107 FOX STREET	BRIDGEPORT	CT	06605-2902
90 FOX ST	THELOT UNIDE	90 FOX STREET	BRIDGEPORT	CT	06605
87 BENNETT ST	NAZARENO ERGILIO A & HELEN QUINONEZ	87 BENNETT ST	BRIDGEPORT	CT	06605-2902
115 FOX ST	JUPIN ELIZABETH ET AL	238 LAKE AVENUE	BRIDGEPORT	CT	06605
97 BENNETT ST #99	HUBLER WESLEY & KATHLEEN HUBLER	498 HOUSATONIC AVE	STRATFORD	CT	06615
131 FOX ST	ROSA MORIAH & DORIAN SANTANA	131 FOX ST	BRIDGEPORT	CT	06605-3229
78 BENNETT ST #80	TRI-STATE WEST BPT MNGT LLC	244 BENNETT ST	BRIDGEPORT	CT	06605
141 FOX ST	CARR CHARLES H	141 FOX ST	BRIDGEPORT	CT	06605
	MIZAK ANDREW F III (EST OF) RICHARD J MIZAK				
96 BENNETT ST #98	& KARL R MIZAK	1460 NE 18TH ST #104	FORT LAUDERDALE	FL	33305
147 FOX ST	BENOIT OSNEL & ROSELINE BENOIT	147 FOX ST	BRIDGEPORT	CT	06605
153 FOX ST	GOMOLA GEORGE	153 FOX STREET	BRIDGEPORT	CT	06605
112 BENNETT ST #114	BENNETT THOMAS E	P O BOX 321051	FAIRFIELD	CT	06825
116 BENNETT ST #120	JANES GAIL MARIE & FREDERICK D ET AL	116 BENNETT STREET	BRIDGEPORT	CT	06605
160 FOX ST #162	ZAREMBSKI BEAU	160 FOX ST #162	BRIDGEPORT	CT	06605-3247
164 FOX ST #166	CARRENA LUIS	24 TUCKAHOE RD	EASTON	CT	06612
143 BENNETT ST	143 BENNETT STREET LLC	PO BOX 1148	SOUTHPORT	CT	06890
132 BENNETT ST #102	LEAHY TIMOTHY P & WENDY L	52 ELEANOR TERRACE	FAIRFIELD	CT	06824
132 BENNETT ST #103	BARHAM ELBERT H	132 BENNETT ST	BRIDGEPORT	CT	06605
132 BENNETT ST #105	ZOGOPULOS MARIA	132 BENNETT ST #105	BRIDGEPORT	CT	06605-2946
132 BENNETT ST #301	SOARES KEVIN	295 MCGRATH CT	STRATFORD	CT	06616
132 BENNETT ST #302	PRENO VINCENT ET AL	65 NORTHSTRAND AVENUE	FAIRFIELD	CT	06825
132 BENNETT ST #104	VIRGILE FRANITZ H	132 BENNETT ST # 104	BRIDGEPORT	CT	06605
132 BENNETT ST #201	KHAN YASMEEN K	1125 NORTH AVENUE	BRIDGEPORT	CT	06604
132 BENNETT ST #106	YODER JEFFREY L	132 BENNETT STREET #106	BRIDGEPORT	CT	06605
132 BENNETT ST #204	ROSS MARVETTA	132 BENNETT ST #204	BRIDGEPORT	CT	06605

132 BENNETT ST #202	CLARK KEVIN S	1 JANSON DR	WESTPORT	CT	06880
132 BENNETT ST #303	ARROYO MARIA	132 BENNETT ST #303	BRIDGEPORT	CT	06605-2949
132 BENNETT ST #206	MAURICIN KEVIN	132 BENNETT ST #206	BRIDGEPORT	CT	06605
132 BENNETT ST #101	ZHAO LI & CHAO	137 WOODS END RD	FAIRFIELD	CT	06824
132 BENNETT ST #203	ELLISTON CLAUDIA & LLOYD	132 BENNETT ST #203	BRIDGEPORT	CT	06605
132 BENNETT ST #205	ELANGUMTHAZHATH VISHNUPRASAD	132 BENNETT STREET #205	BRIDGEPORT	CT	06605
168 FOX ST #170	REYES MICHAEL	250 WINTON RD	FAIRFIELD	CT	06824
165 BENNETT ST	SCHMIDT DENYSE	165 BENNETT ST	BRIDGEPORT	CT	06605-2902
140 BENNETT ST	SHOPE NICHOLAS A	140 BENNETT T	BRIDGEPORT	CT	06605
180 FOX ST	MEDINA BRANDON & PHYLLIS	180 FOX ST	BRIDGEPORT	CT	06605
173 BENNETT ST	HARTL FRANK ET AL	173 BENNETT ST	BRIDGEPORT	CT	06605
150 BENNETT ST	SHOPE JOHN	150 BENNETT ST	BRIDGEPORT	CT	06605
183 BENNETT ST	BOLDOG LLC	183 BENNETT ST	BRIDGEPORT	CT	06605
170 BENNETT ST	BOYS & GIRLS VILLAGE INC	528 WHEELERS FARM RD	MILFORD	CT	06461



FRONT ELEVATION - FOX STREET - BUILDING 'B'
 SCALE: 1/8" = 1'-0"



FRONT ELEVATION DETAIL - FOX STREET - BUILDING 'B'
 SCALE: 1/4" = 1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MMF	12/20/22	REV PER DESIGN REVIEW

PROJECT TITLE

**MULTI-FAMILY
 APARTMENT BUILDINGS**

**143 BENNETT STREET
 BRIDGEPORT, CT**

Prepared For:
143 BENNETT STREET, LLC

SHEET TITLE

**FRONT ELEVATION
 BUILDING 'B'**

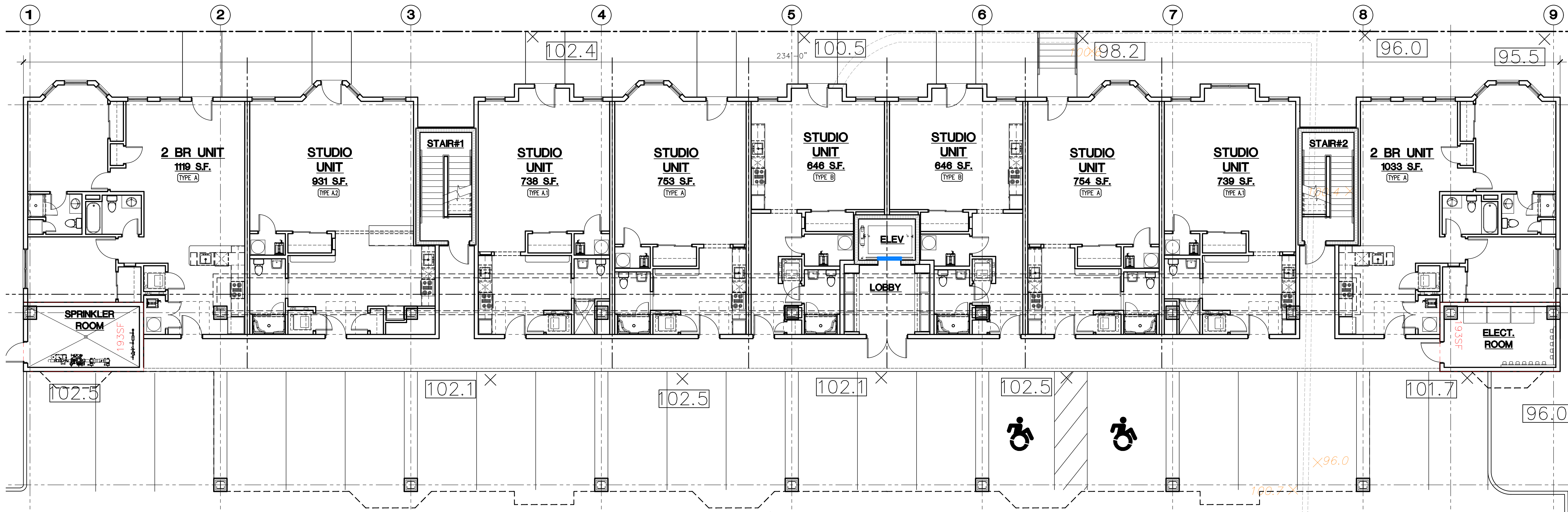
DESIGNED BY: MMF	SCALE: AS NOTED
DRAWN BY: MMF	DATE: 7-20-22
CHECKED BY: PMR	PROJECT NUMBER: 2666
CAD FILE: R/2666/ARCH	

SEAL

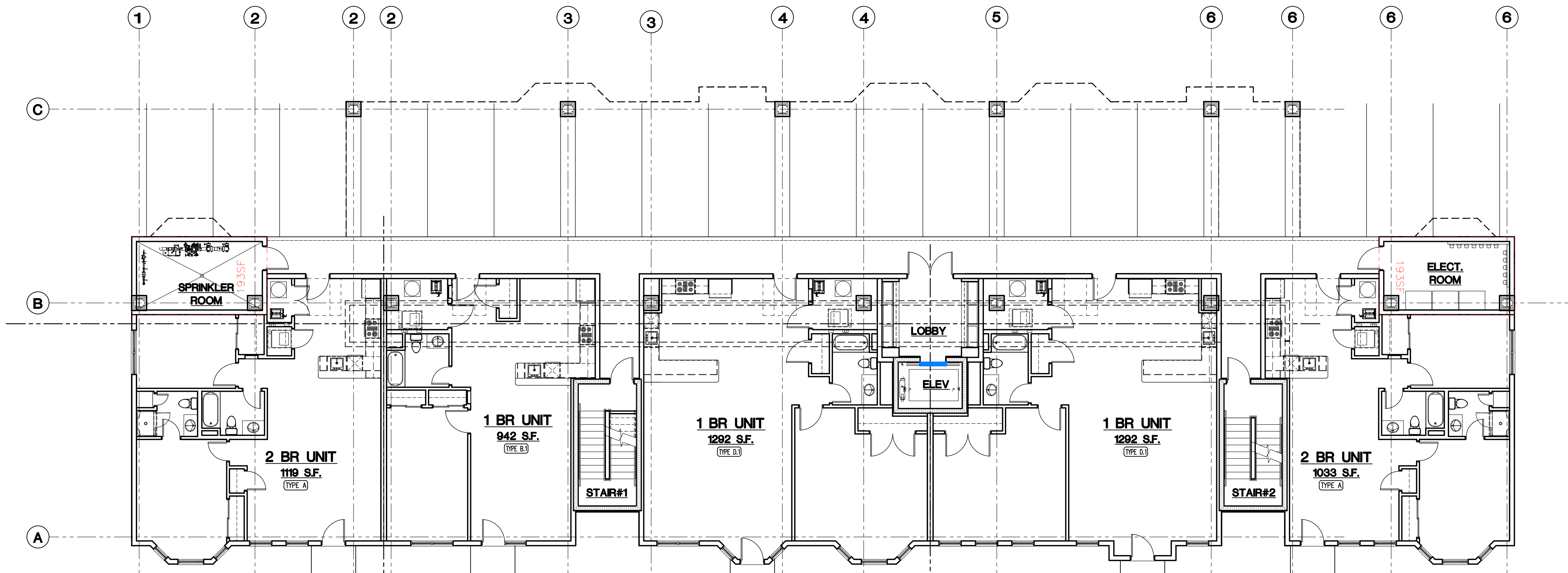
SHEET NUMBER

A-202

BENNETT STREET



FIRST FLOOR PLAN - BUILDING 'A'
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - BUILDING 'B'
SCALE: 1/8" = 1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MMF	12/20/22	REV PER DESIGN REVIEW


PROJECT TITLE
MULTI-FAMILY APARTMENT BUILDINGS

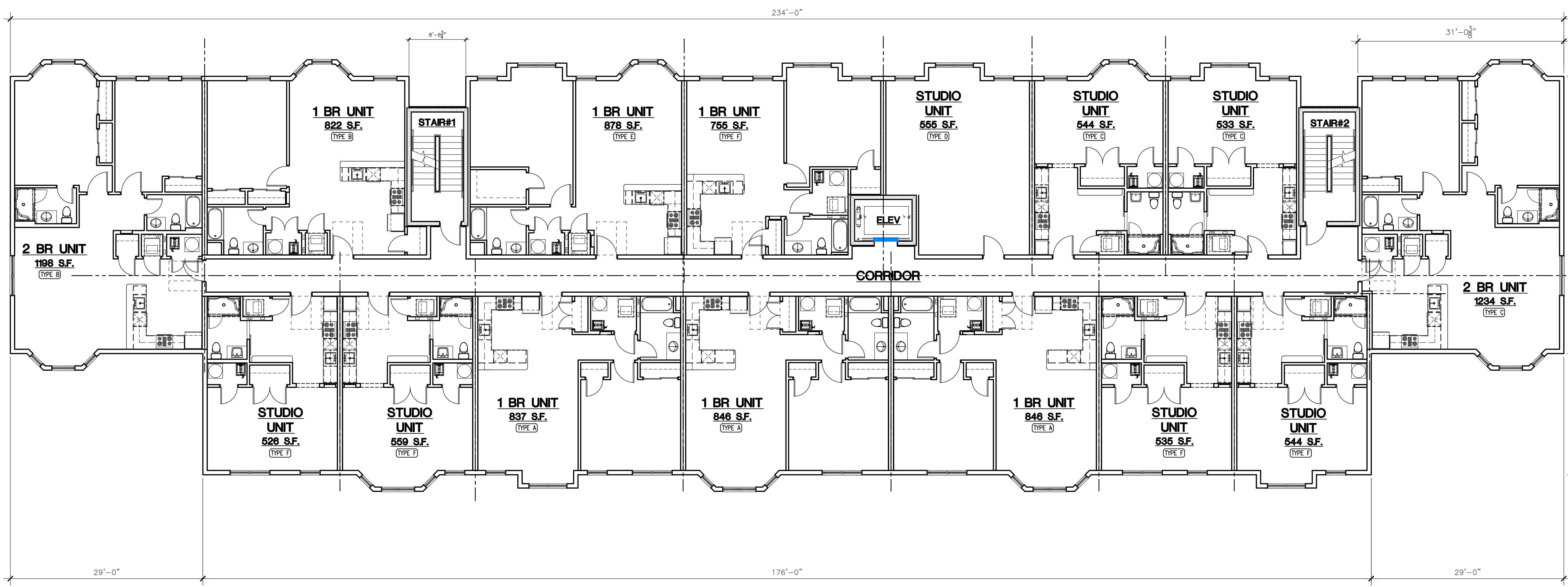
143 BENNETT STREET
BRIDGEPORT, CT

Prepared For:
143 BENNETT STREET, LLC

SHEET TITLE
FIRST FLOOR PLAN BUILDING 'A' & 'B'

DESIGNED BY: MMF	SCALE: AS NOTED
DRAWN BY: MMF	DATE: 7-20-22
CHECKED BY: PMR	PROJECT NUMBER: 2666
CAD FILE: R/2666/ARCH	

SEAL

SHEET NUMBER
A-101



SECOND/THIRD FLOOR PLAN - BUILDING 'A'
SCALE: 1/8" = 1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MMF	12/20/22	REV PER DESIGN REVIEW

PROJECT TITLE

**MULTI-FAMILY
APARTMENT BUILDINGS**

143 BENNETT STREET
BRIDGEPORT, CT

Prepared For:
143 BENNETT STREET, LLC

SHEET TITLE

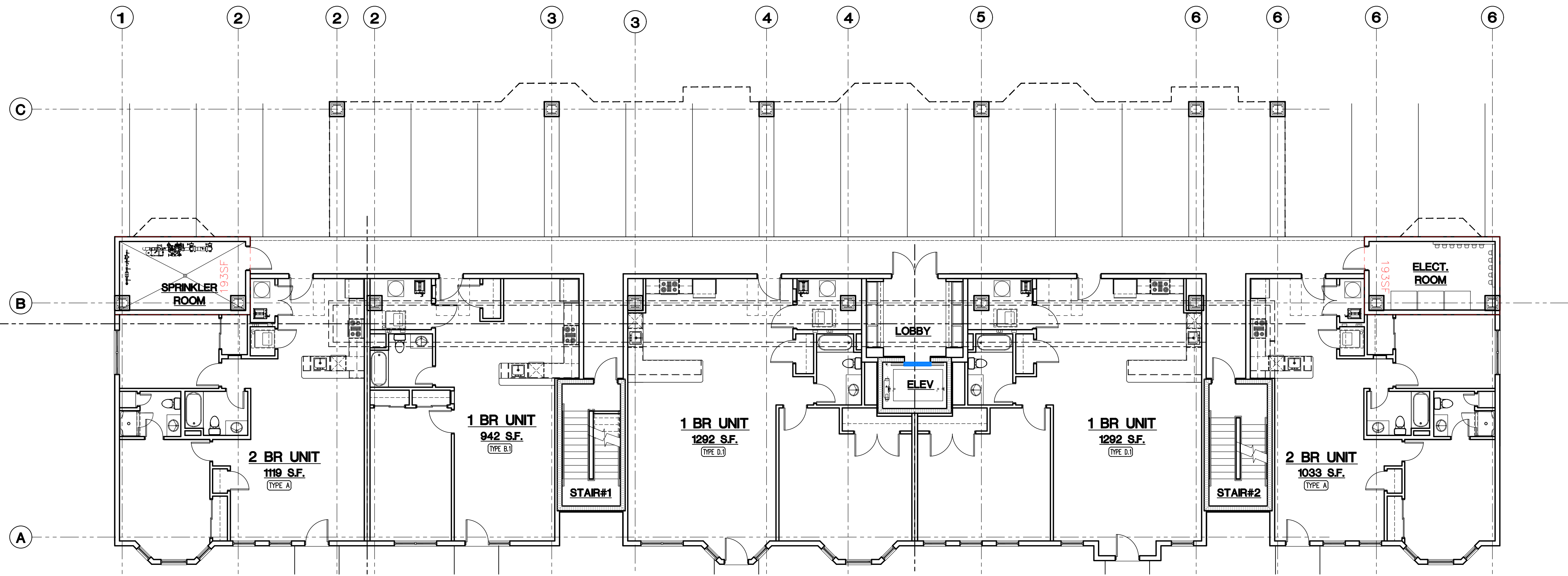
**SECOND/THIRD FLOOR PLAN
BUILDING 'A' & 'B'**

DESIGNED BY: MMF	SCALE: AS NOTED
DRAWN BY: MMF	DATE: 7-20-22
CHECKED BY: PMR	PROJECT NUMBER: 2666
CAD FILE: R/2666/ARCH	

SEAL

SHEET NUMBER

A-102



SECOND/THIRD FLOOR PLAN - BUILDING 'B'
SCALE: 1/8" = 1'-0"



FRONT ELEVATION - BENNETT STREET - BUILDING 'A'
SCALE: 1/8" = 1'-0"



FRONT ELEVATION DETAIL - BENNETT STREET - BUILDING 'A'
SCALE: 1/4" = 1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MMF	12/20/22	REV PER DESIGN REVIEW

PROJECT TITLE

**MULTI-FAMILY
APARTMENT BUILDINGS**

**143 BENNETT STREET
BRIDGEPORT, CT**

Prepared For:
143 BENNETT STREET, LLC

SHEET TITLE

**FRONT ELEVATION
BUILDING 'A'**

DESIGNED BY: MMF	SCALE: AS NOTED
DRAWN BY: MMF	DATE: 7-20-22
CHECKED BY: PMR	PROJECT NUMBER: 2666
CAD FILE: R/2666/ARCH	

SEAL

SHEET NUMBER

A-201

SITE ENGINEERING DESIGN REPORT

For The Proposed:

Residential Development

Located At:

143 Bennett Street
Bridgeport, Connecticut 06604
Job # 2666

Prepared On:

April 21, 2023

Prepared For:

143 Bennett Street, LLC

Prepared By:



Stephen Santacroce
Project Engineer

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LIST OF APPENDICES

APPENDIX A: HYDROLOGY

Existing Site Stage Hydrographs
Proposed Site Stage Hydrographs

INTRODUCTION

Rose Tiso & Co. has prepared this report to provide an analysis of the stormwater drainage, utility design, and soil erosion control impacts associated with the proposed construction of an apartment development and off-street parking areas located at 143 Bennett Street in Bridgeport, Connecticut. The design is in compliance with applicable City of Bridgeport codes and regulations as well as other applicable state and federal requirements and regulations.

The project site is located at 143 Bennett Street in Bridgeport, Connecticut, within the Blackrock section of Bridgeport. The site is bounded by Bennett Street to the East, Fox Street to the West, residential and commercially zoned properties to the North, and Residentially zoned properties to South.

The majority of the stormwater runoff associated with the proposed construction will be conveyed by the proposed drainage system. The site currently consists of mostly impervious surfaces. The project proposes to decrease the overall area of impervious surfaces by landscaped areas to the site within the proposed parking area. Overall this project results in a net reduction of the overall rate of stormwater runoff for the property when compared to existing conditions.

The proposed stormwater quality measures were designed in accordance with the “2004 Connecticut Stormwater Quality Manual,” published by The Connecticut Department of Energy and Environmental Protection. The stormwater quality measures provided as part of the proposed development will result in an enhancement to the stormwater discharge from the site.

The proposed plans for soil erosion and sediment control have been developed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, prepared by the Connecticut Council on Soil and Water Conservation in cooperation with the Connecticut Department of Environmental Protection.

STORMWATER MANAGEMENT

The stormwater management plan and design for the proposed development is intended to be in compliance with the City of Bridgeport stormwater management regulations, the 2004 Connecticut Stormwater Quality Manual and the 2000 Connecticut Department of Transportation Drainage Manual, while taking prevailing site conditions and practical considerations into account.

METHODOLOGY

The stormwater runoff analysis for both the pre- and post-development conditions were performed using the software package Civil 3D 2015 Hydroflow Hydrograph Extension. This software uses a computer implementation of the SCS – TR-55 methodology to compute volumes

and rates of runoff. The watershed area, rainfall depths and intensity, curve number and time of concentration are factors that influence the computed results.

Rainfall depths for this property were used for calculating the volumes and rates of runoff for this particular project. The depths were taken from the NOAA Atlas 14 documents (City of Bridgeport) and are listed in Table 1 below.

Table 1: Rainfall Data

Return Period	24-hr Rainfall Depth (in)
2-year	3.50
5-year	4.54
10-year	5.40
25-year	6.59

Hydraflow Hydrographs Extension automatically computes the rainfall intensity from its own IDF curves when the rainfall intensity data is provided.

EXISTING HYDROLOGY

The site is currently developed with an existing warehouse building, a one-story garage along Bennet Street, a two-story garage along Fox Street, and associated driveway and parking areas. Topographically, the site slopes from north-northwest towards the south-east corner of the site. Slopes range from 12 percent to 1 percent, with a maximum elevation of approximately 105 feet and a minimum elevation of approximately 96 feet. According to the NRCS Soil Survey Geographic database for the State of Connecticut, the majority of the development area is comprised of Udorthents-Urban land complex and Urban land soils. For analysis purposes, the site has been examined as one drainage area, Existing Drainage Area 1 (EDA-1).

EDA-1 has a contributing area of just over one acre. This area encompasses the project site, including the existing commercial buildings and parking areas. Runoff from EDA-1 travels south-west towards the southeast corner of the property and enters the existing City of Bridgeport conveyance system via catch basins located on Bennett Street.

Characteristics of these drainage areas are summarized in Table 2, below. A map depicting existing drainage areas and their characteristics, entitled “Existing Drainage Areas (DA-EX)”, can be found in Appendix A.

Table 2: Existing Drainage Area Characteristics

Drainage Area	Area (Acres)	Curve Number (CN)	Time of Concentration
EDA-1	1.16	95	6.0

Peak rates of storm water runoff, for the 2-year, 10-year, 25-year, and 50-year events, have been calculated for the existing site (See Table 3 below). The supporting calculations are included as Appendix A. These existing flows will later be compared to post-development flows as a means of assessing the impact of the proposed project on surrounding infrastructures.

Table 3: Existing Peak Flows

Drainage Area	Peak Flow			
	2-yr	10-yr	25-yr	50-yr
EDA-1	3.88	6.19	7.62	8.71
Overall EDA	3.88	6.19	7.62	8.71

PROPOSED HYDROLOGY

The proposed project will maintain similar patterns to that of the existing conditions. Based on proposed drainage patterns, Proposed Drainage Area 1 (PDA-1) has a contributing area of approximately 50,571 square feet, or 1.16 acres. Runoff from this area travels overland via sheet flow into a proposed stormwater system consisting of catch basins, a water quality separator, and sub-surface concrete stormwater storage units. The sub-surface stormwater storage units have been designed to reduce the flows from the overall site from the existing condition and to store the full water quality volume for the drainage area (see calculations on plan sheet Sp-2). Characteristics of these drainage areas are summarized in Table 4, below.

Table 4: Proposed Drainage Area Characteristics

Drainage Area	Area (Acres)	Curve Number (CN)	Time of Concentration
PDA-1	1.16	91	6.0

Proposed peak flows for all analyzed storms are summarized in Table 5. Calculations for the proposed hydrology can be found in Appendix A.

Table 5: Proposed Peak Flows

Drainage Area	Peak Flow			
	2-yr	10-yr	25-yr	50-yr
PDA-1	2.96	5.44	7.12	8.30
Overall PDA	2.96	5.44	7.12	8.30

In an effort to improve the quality of the stormwater discharged from the site, the project will include a water quality hydrodynamic separator. In addition, the proposed sub-surface stormwater storage units have been designed to detain the water quality volume of the runoff associated with the development. The water quality volume is the amount of stormwater runoff from any given storm that should be

captured and treated in order to remove a majority of the stormwater pollutants on an average annual basis. According to the 2004 Connecticut Stormwater Quality Manual the recommended water quality volume, which results in the capture and treatment of the entire runoff volume for 90 percent of the average annual storm event, is equivalent to the runoff associated with the first one-inch of rainfall. See plan sheet SP-2 for the WQV calculation.

See Table 6 below for a comparison of the overall PDA vs. EDA. Calculations for the proposed hydrology can be found in Appendix A.

Table 6: Peak Flow Comparison

Drainage Area	Peak			
	2-yr	10-yr	25-yr	50-yr
Overall EDA	3.88	6.19	7.62	8.71
Overall PDA	2.96	5.44	7.12	8.30
Reduction	23.7%	12.1%	6.6%	4.7%

PROPOSED CONVEYANCE SYSTEM

The proposed conveyance system consists of a series of pipes and catch basins designed with two-foot sumps and hooded outlets for additional water quality measures. The proposed drainage features were designed in accordance with 2000 Connecticut Department of Transportation Drainage Manual.

In conformance with the City of Bridgeport regulations the system was analyzed for the 10-year storm event. The conveyance system has been designed to accommodate the 10-year storm event without surcharging the top of the proposed drainage structures.

STORMWATER CONCLUSION

Overall the proposed development results in a decrease in impervious area when compared to existing conditions. The sub-surface stormwater storage units have been designed to detain the water quality volume associated with the proposed development, as well as to provide additional attenuation for the peak discharge rate for the 2-, 10-, 25-, and 50-year storm events.

The stormwater quality measures provided as part of the proposed development include a concrete sub-surface stormwater storage chamber that will store the runoff from the paved parking area prior to outletting to the existing stormwater system. Additional measures include water quality units and catch basins with two-foot sumps and hooded outlets. These measures will result in an enhancement to the stormwater discharge from the site.

PROPOSED UTILITIES

Sanitary Sewer discharge will be through a proposed 8-inch PVC sanitary sewer line to an existing sanitary sewer main in Bennet Street.

Using the technical standards of the Connecticut Public Health Code, the estimated sewage flow is 150 gallons per day per bedroom. The apartment buildings are estimated to have 48 bedrooms. The estimated sewage flow for a commercial retail development is 0.1 gallons per day per SF gross area.

$$\begin{aligned} &150 \text{ gallons per day per bedroom} \\ &150 \times 78 = 11,700 \text{ gallons per day average flow} \end{aligned}$$

$$\text{Average Daily Flow} = 8.1 \text{ gallons per minute}$$

$$\text{Peak flow estimate} = 8.1 \text{ gpm} \times 5 \text{ (peaking factor)} = 40.6 \text{ gpm peak}$$

$$= 0.09 \text{ cfs peak}$$

Electrical & Telecommunication services will connect from Bennett Street and Fox Street underground conduits. Proposed fire and domestic water lines will connect from water mains in Bennett Street and Fox Street. The proposed gas utility line will tie into gas mains located in Bennett Street and Fox Street.

SOIL EROSION AND SEDIMENT CONTROL

The plan for soil erosion and sediment control prepared for the proposed development has been developed in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, prepared by the Connecticut Council on Soil and Water Conservation in cooperation with the Connecticut Department of Environmental Protection.

The soil erosion and sediment control measures that will be proposed as part of this project include geotextile silt fences, temporary sediment traps, construction entrances, and inlet protection for existing and proposed drainage features.

The temporary sediment trap will be excavated to detain sediment-laden runoff from contributing drainage areas located within the project's limits. The sediment trap are proposed in the low-lying area of each contributing drainage area and have been sized to provide a minimum storage volume of 134 cubic yards per acre of drainage area as required by the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.

For more details regarding layout and design of the soil erosion and sediment control measures implemented as part of this project see Sheet SP-3, Soil Erosion and Sediment Control Plan.

APPENDIX A
HYDROLOGY

Existing Site Stage Hydrographs
Proposed Site Stage Hydrographs

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Watershed Model Schematic

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020



Hydrograph Return Period Recap

Hydroflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	-----	-----	3.884	-----	-----	6.191	7.622	8.713	-----	DA-EX
2	SCS Runoff	-----	-----	3.494	-----	-----	5.853	7.315	8.426	-----	DA-PR
3	Reservoir	2	-----	2.955	-----	-----	5.440	7.116	8.289	-----	u.g. chambers

Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	3.884	1	724	12,763	-----	-----	-----	DA-EX	
2	SCS Runoff	3.494	1	724	11,035	-----	-----	-----	DA-PR	
3	Reservoir	2.955	1	728	10,107	2	98.12	1,797	u.g. chambers	
2666-ROW HOUSES.gpw					Return Period: 2 Year			Wednesday, 08 / 3 / 2022		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

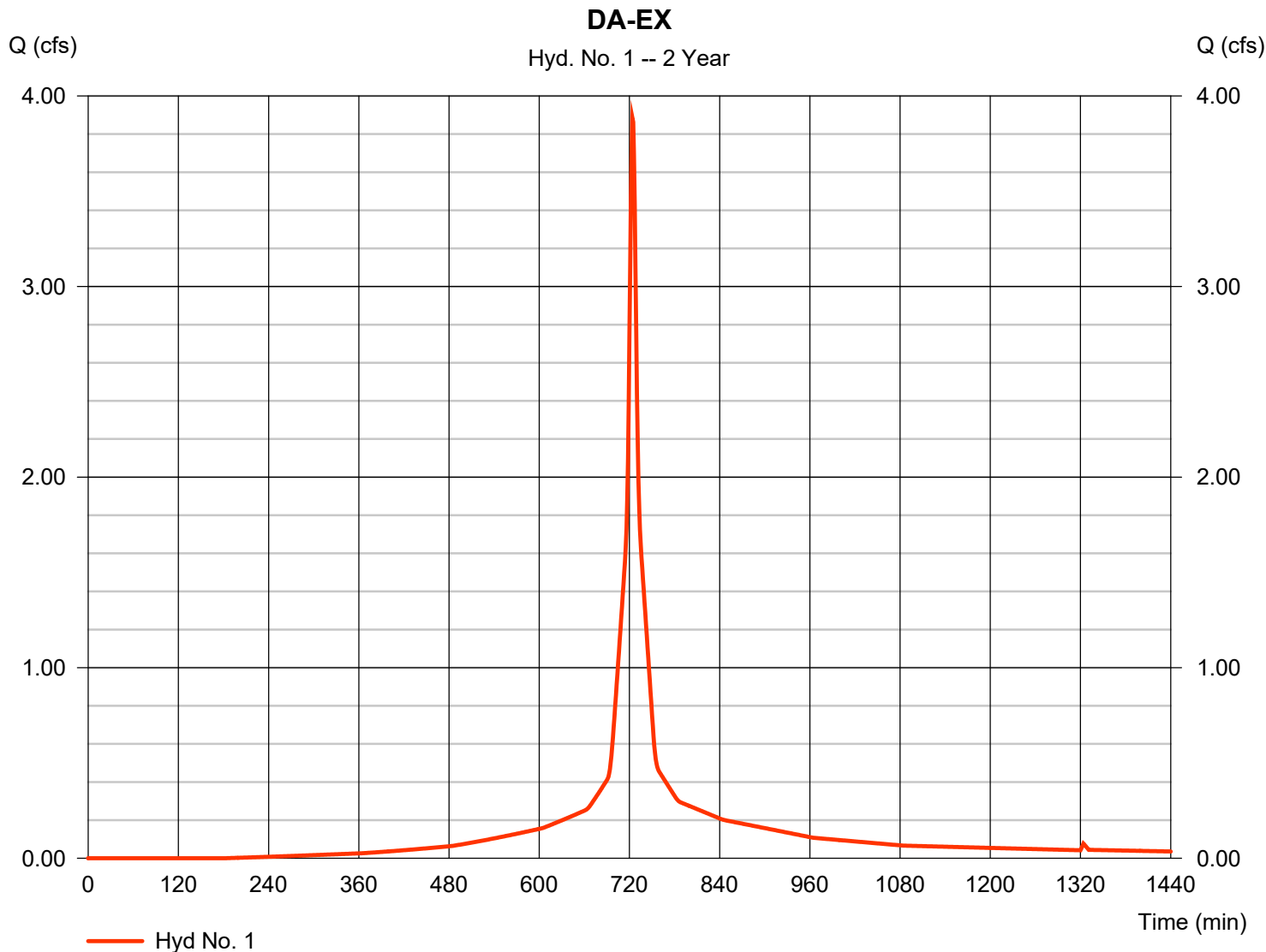
Wednesday, 08 / 3 / 2022

Hyd. No. 1

DA-EX

Hydrograph type	= SCS Runoff	Peak discharge	= 3.884 cfs
Storm frequency	= 2 yrs	Time to peak	= 724 min
Time interval	= 1 min	Hyd. volume	= 12,763 cuft
Drainage area	= 1.160 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.50 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.070 x 98) + (0.090 x 61)] / 1.160



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

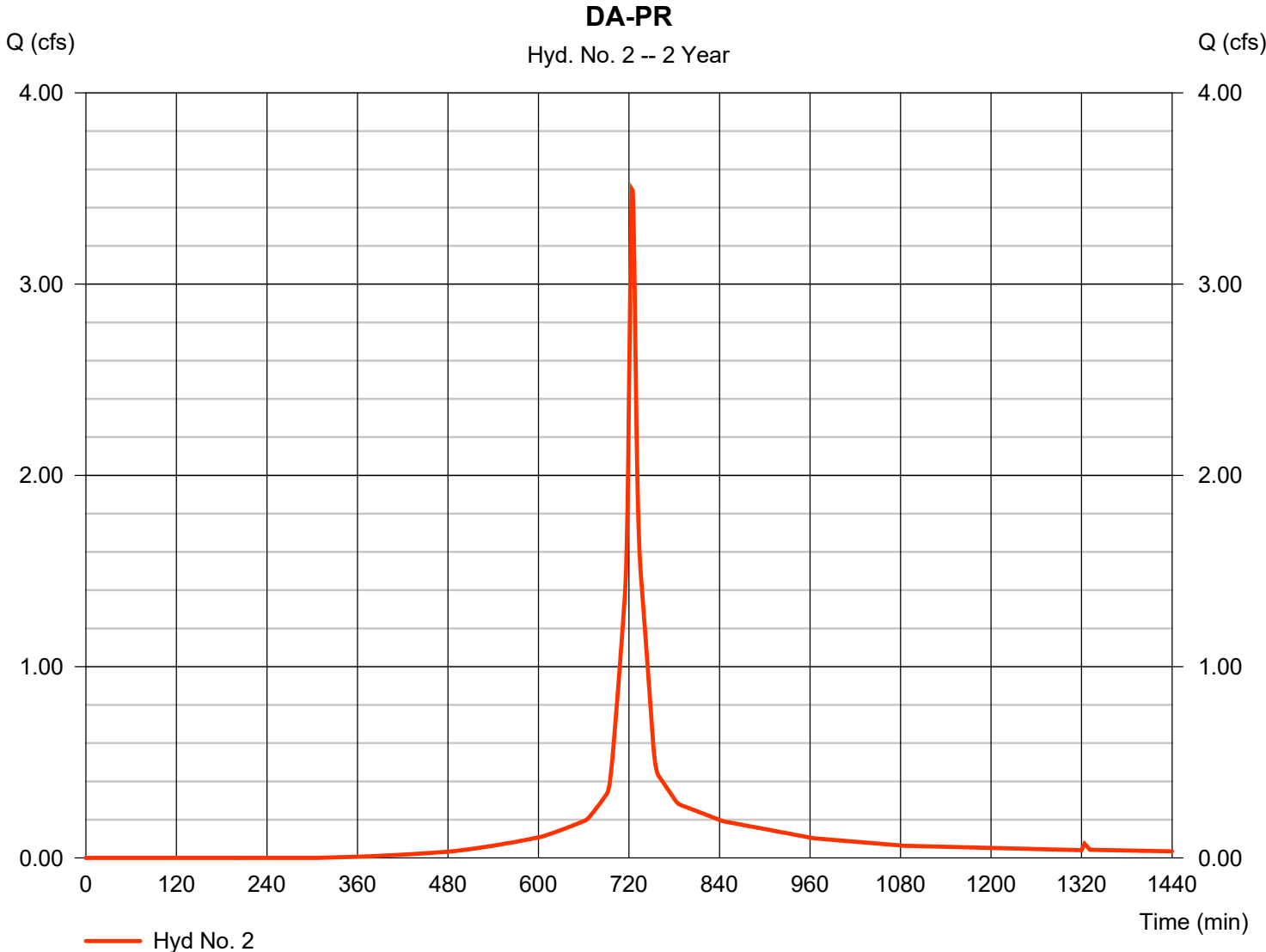
Wednesday, 08 / 3 / 2022

Hyd. No. 2

DA-PR

Hydrograph type	= SCS Runoff	Peak discharge	= 3.494 cfs
Storm frequency	= 2 yrs	Time to peak	= 724 min
Time interval	= 1 min	Hyd. volume	= 11,035 cuft
Drainage area	= 1.160 ac	Curve number	= 91*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 3.50 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.930 x 98) + (0.230 x 61)] / 1.160



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

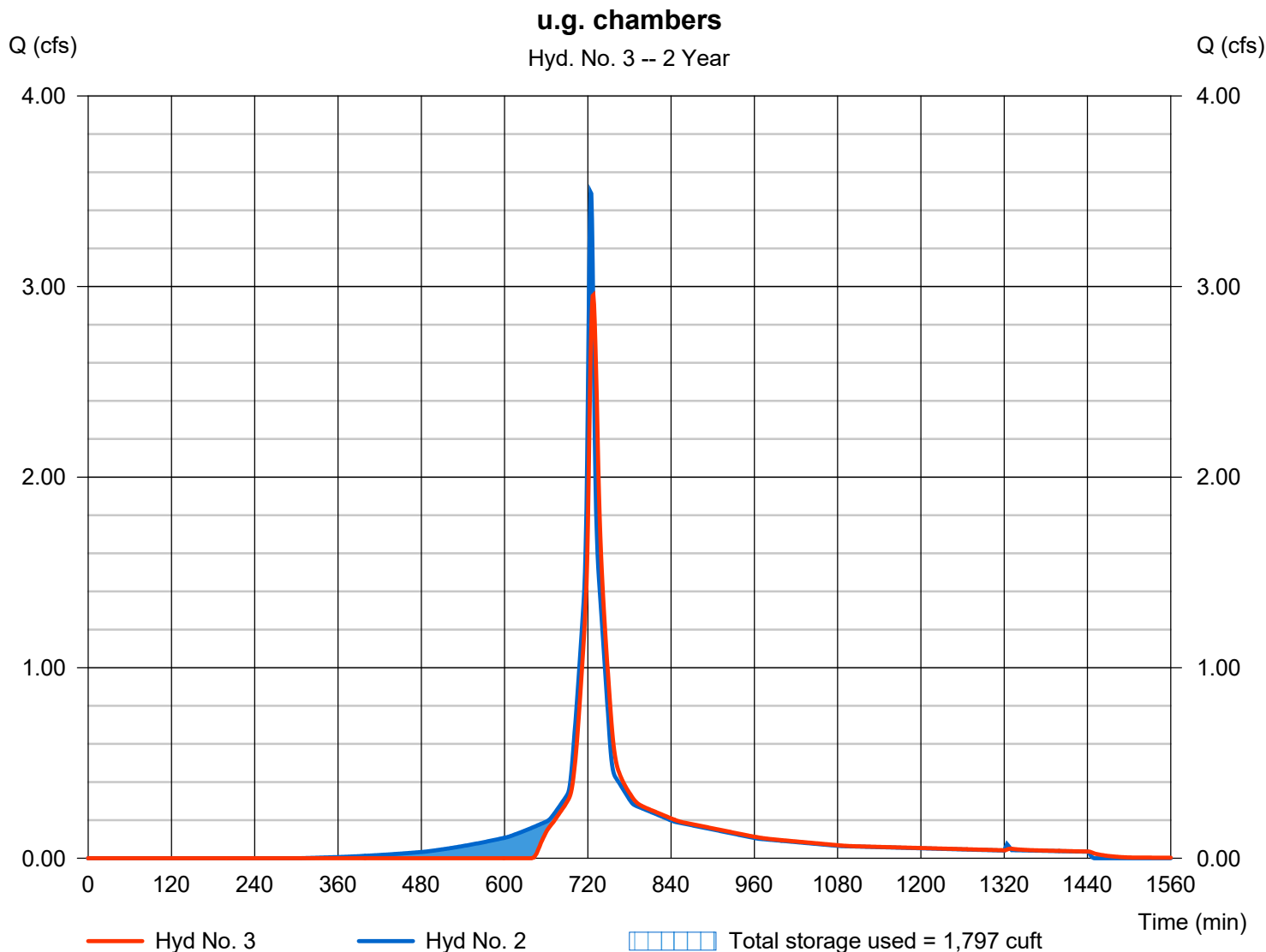
Wednesday, 08 / 3 / 2022

Hyd. No. 3

u.g. chambers

Hydrograph type	= Reservoir	Peak discharge	= 2.955 cfs
Storm frequency	= 2 yrs	Time to peak	= 728 min
Time interval	= 1 min	Hyd. volume	= 10,107 cuft
Inflow hyd. No.	= 2 - DA-PR	Max. Elevation	= 98.12 ft
Reservoir name	= U.G. Chambers	Max. Storage	= 1,797 cuft

Storage Indication method used.



Pond No. 1 - U.G. Chambers

Pond Data

UG Chambers -Invert elev. = 96.00 ft, Rise x Span = 4.00 x 4.00 ft, Barrel Len = 180.00 ft, No. Barrels = 1, Slope = 0.00%, Headers = No
Encasement -Invert elev. = 95.50 ft, Width = 5.00 ft, Height = 4.50 ft, Voids = 33.33%

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	95.50	n/a	0	0
0.45	95.95	n/a	135	135
0.90	96.40	n/a	327	462
1.35	96.85	n/a	351	813
1.80	97.30	n/a	351	1,164
2.25	97.75	n/a	351	1,515
2.70	98.20	n/a	351	1,866
3.15	98.65	n/a	351	2,217
3.60	99.10	n/a	351	2,568
4.05	99.55	n/a	351	2,920
4.50	100.00	n/a	351	3,271

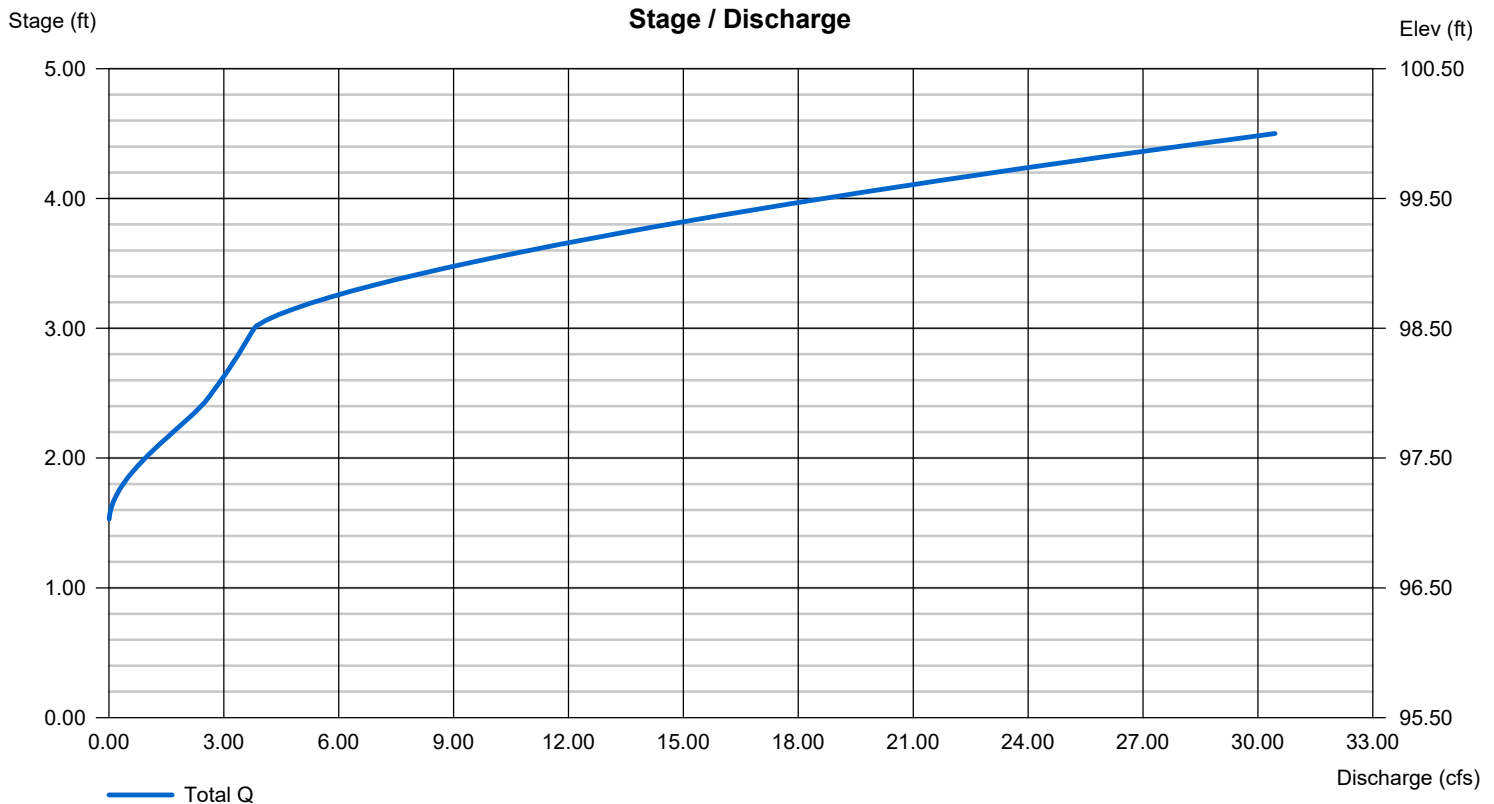
Culvert / Orifice Structures

	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 0.00	12.00	0.00	0.00
Span (in)	= 0.00	12.00	0.00	0.00
No. Barrels	= 0	1	0	0
Invert El. (ft)	= 0.00	97.00	0.00	0.00
Length (ft)	= 0.00	0.00	0.00	0.00
Slope (%)	= 0.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	4.00	0.00	0.00
Crest El. (ft)	= 0.00	98.50	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= ---	Rect	---	---
Multi-Stage	= No	No	No	No
Exfil.(in/hr)	= 0.000 (by Wet area)			
TW Elev. (ft)	= 0.00			

Note: Culvert/Orifice outflows are analyzed under inlet (ic) and outlet (oc) control. Weir risers checked for orifice conditions (ic) and submergence (s).



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	6.191	1	724	20,913	-----	-----	-----	DA-EX	
2	SCS Runoff	5.853	1	724	18,981	-----	-----	-----	DA-PR	
3	Reservoir	5.440	1	726	18,054	2	98.72	2,264	u.g. chambers	
2666-ROW HOUSES.gpw					Return Period: 10 Year			Wednesday, 08 / 3 / 2022		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

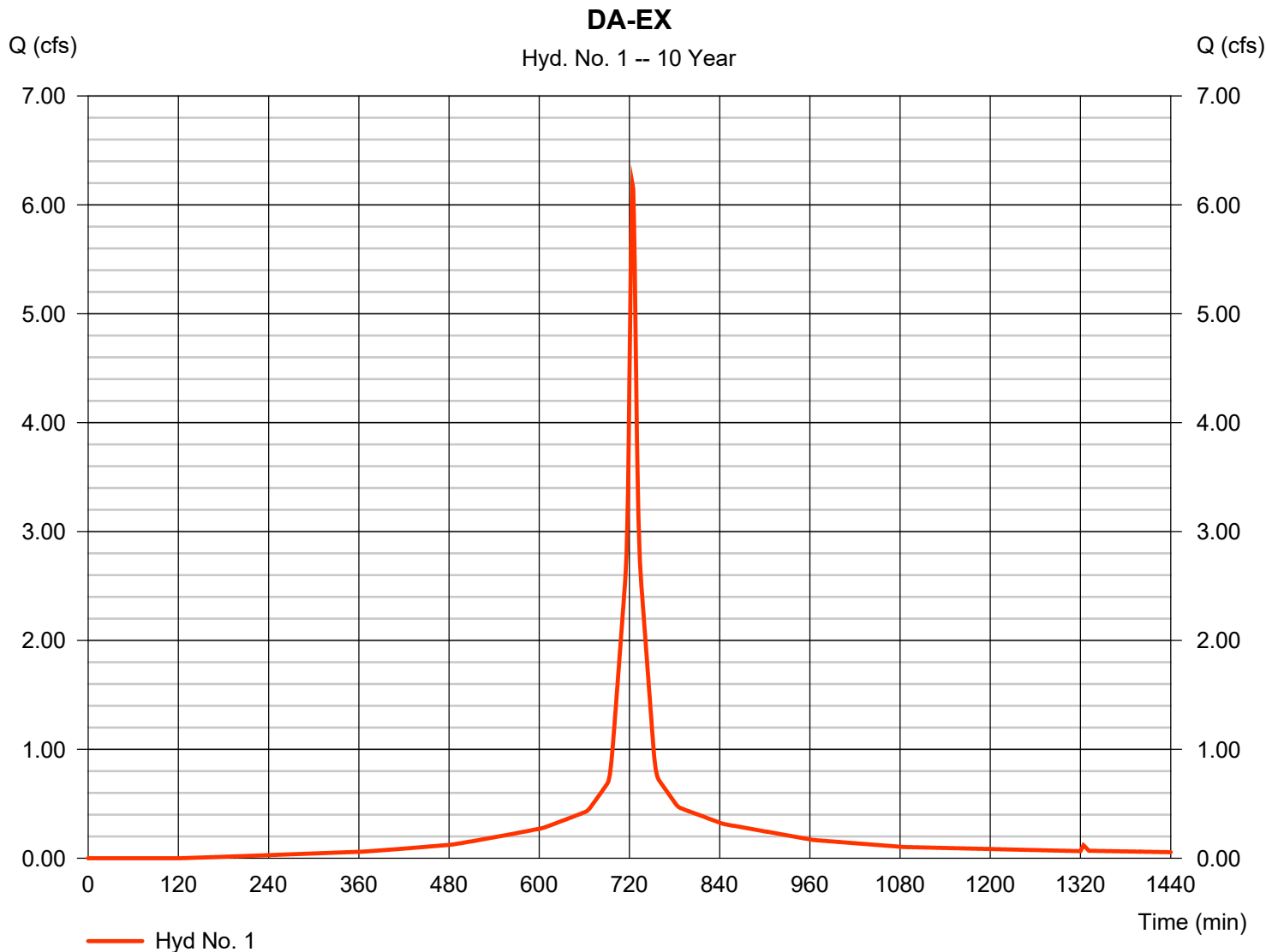
Wednesday, 08 / 3 / 2022

Hyd. No. 1

DA-EX

Hydrograph type	= SCS Runoff	Peak discharge	= 6.191 cfs
Storm frequency	= 10 yrs	Time to peak	= 724 min
Time interval	= 1 min	Hyd. volume	= 20,913 cuft
Drainage area	= 1.160 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 5.40 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.070 x 98) + (0.090 x 61)] / 1.160



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

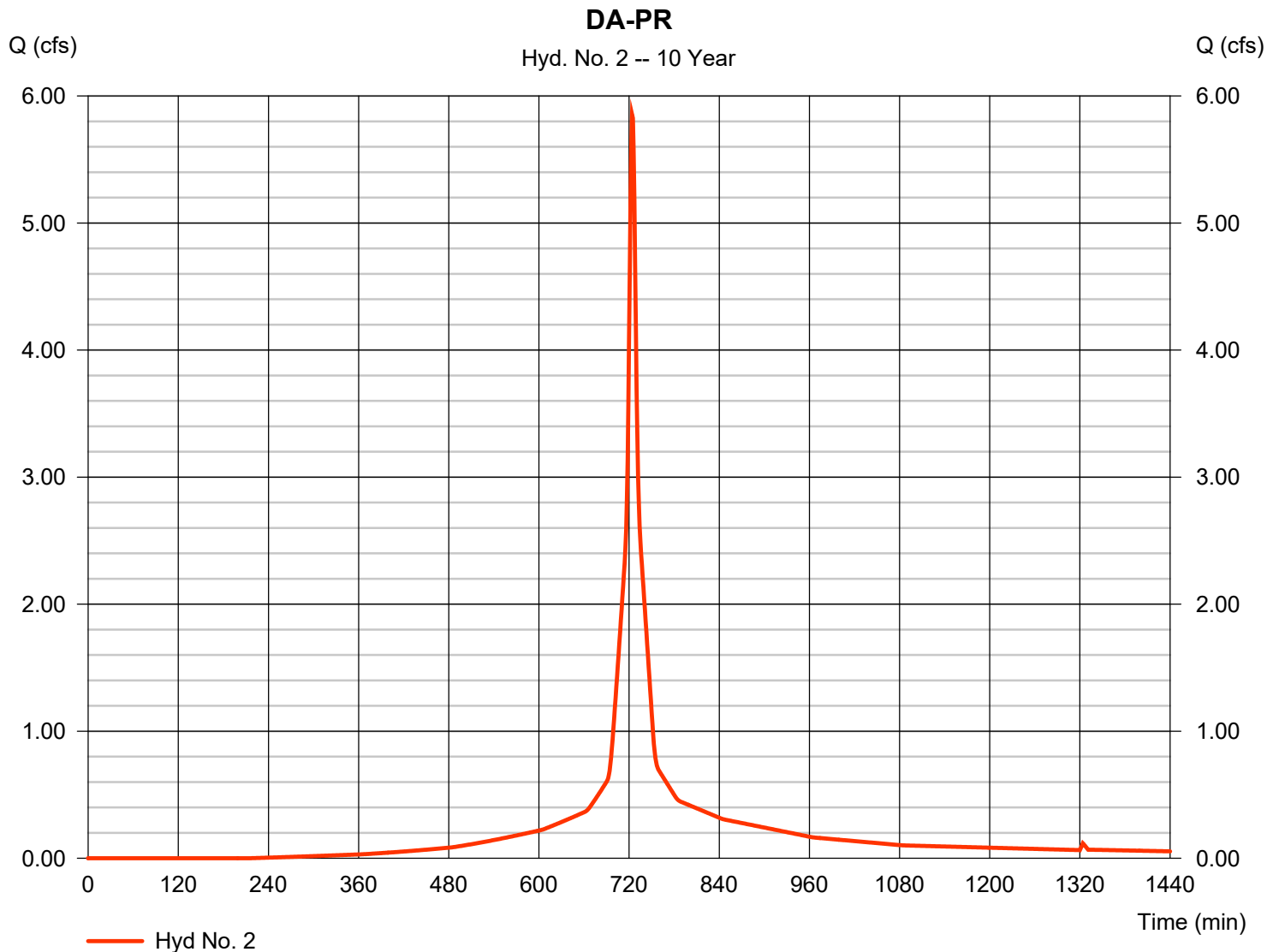
Wednesday, 08 / 3 / 2022

Hyd. No. 2

DA-PR

Hydrograph type	= SCS Runoff	Peak discharge	= 5.853 cfs
Storm frequency	= 10 yrs	Time to peak	= 724 min
Time interval	= 1 min	Hyd. volume	= 18,981 cuft
Drainage area	= 1.160 ac	Curve number	= 91*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 5.40 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.930 x 98) + (0.230 x 61)] / 1.160



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

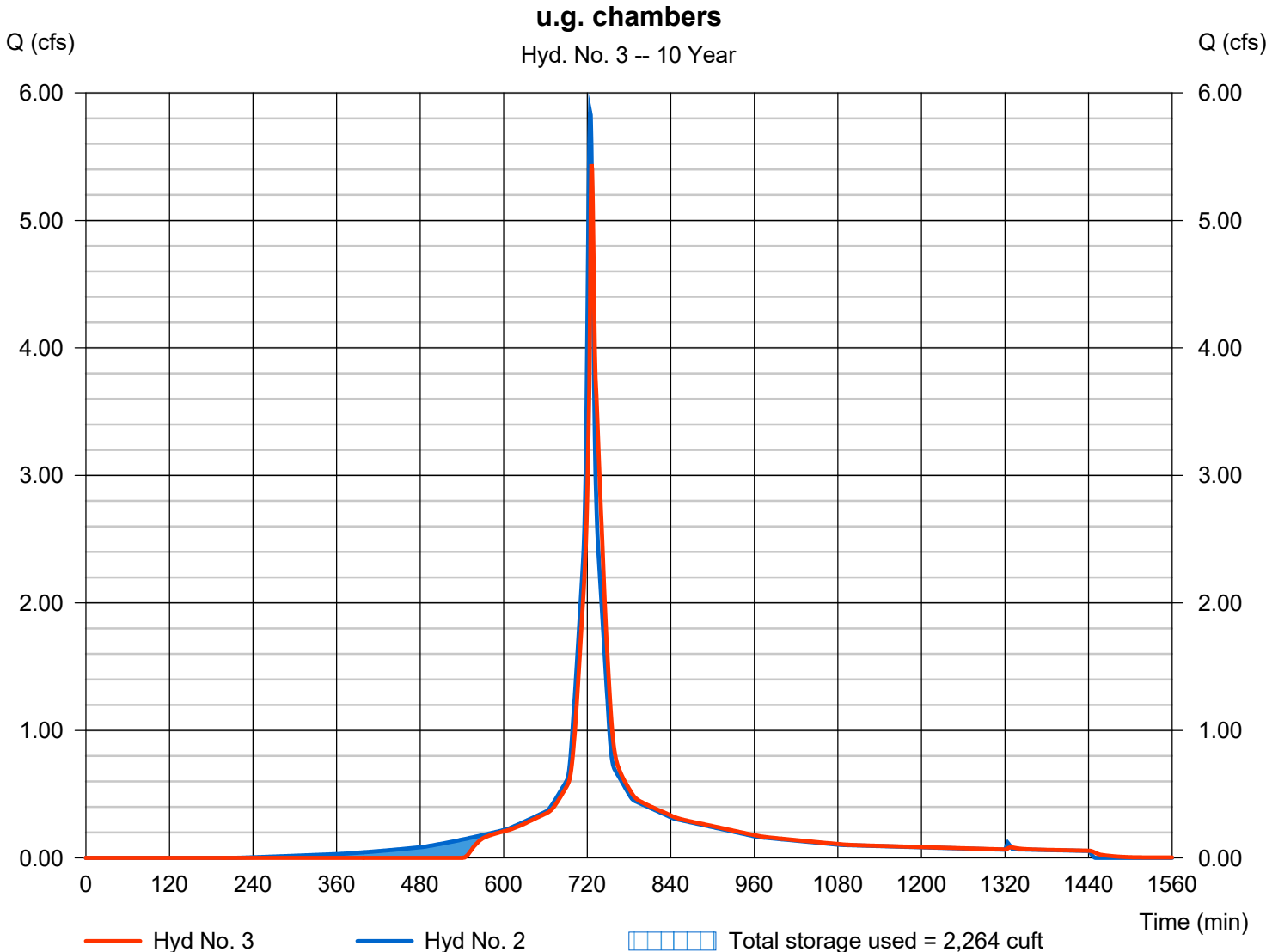
Wednesday, 08 / 3 / 2022

Hyd. No. 3

u.g. chambers

Hydrograph type	= Reservoir	Peak discharge	= 5.440 cfs
Storm frequency	= 10 yrs	Time to peak	= 726 min
Time interval	= 1 min	Hyd. volume	= 18,054 cuft
Inflow hyd. No.	= 2 - DA-PR	Max. Elevation	= 98.72 ft
Reservoir name	= U.G. Chambers	Max. Storage	= 2,264 cuft

Storage Indication method used.



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	7.622	1	724	26,045	----	----	----	DA-EX	
2	SCS Runoff	7.315	1	724	24,038	----	----	----	DA-PR	
3	Reservoir	7.116	1	726	23,111	2	98.85	2,371	u.g. chambers	
2666-ROW HOUSES.gpw					Return Period: 25 Year			Wednesday, 08 / 3 / 2022		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

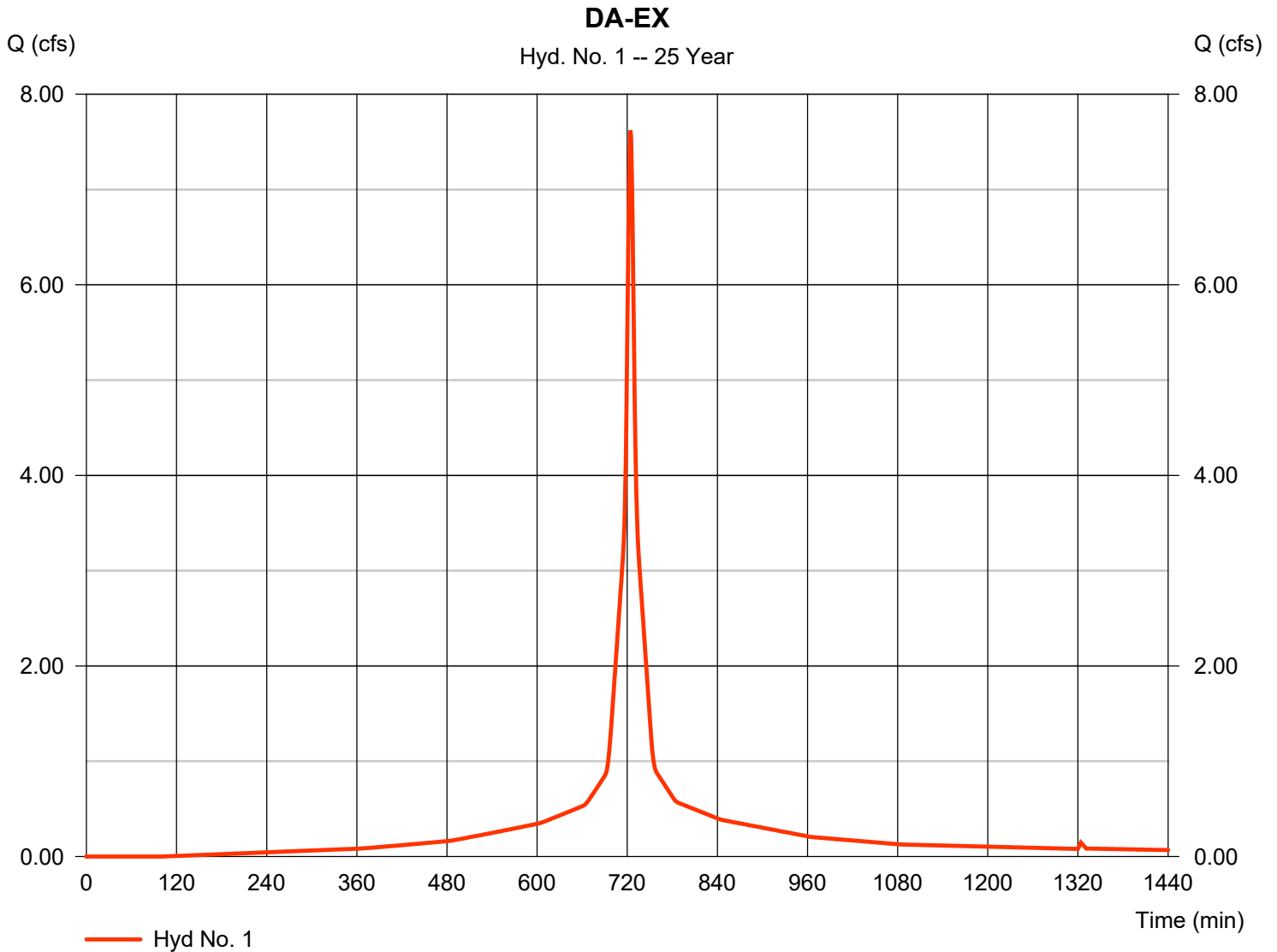
Wednesday, 08 / 3 / 2022

Hyd. No. 1

DA-EX

Hydrograph type	= SCS Runoff	Peak discharge	= 7.622 cfs
Storm frequency	= 25 yrs	Time to peak	= 724 min
Time interval	= 1 min	Hyd. volume	= 26,045 cuft
Drainage area	= 1.160 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 6.59 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.070 x 98) + (0.090 x 61)] / 1.160



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

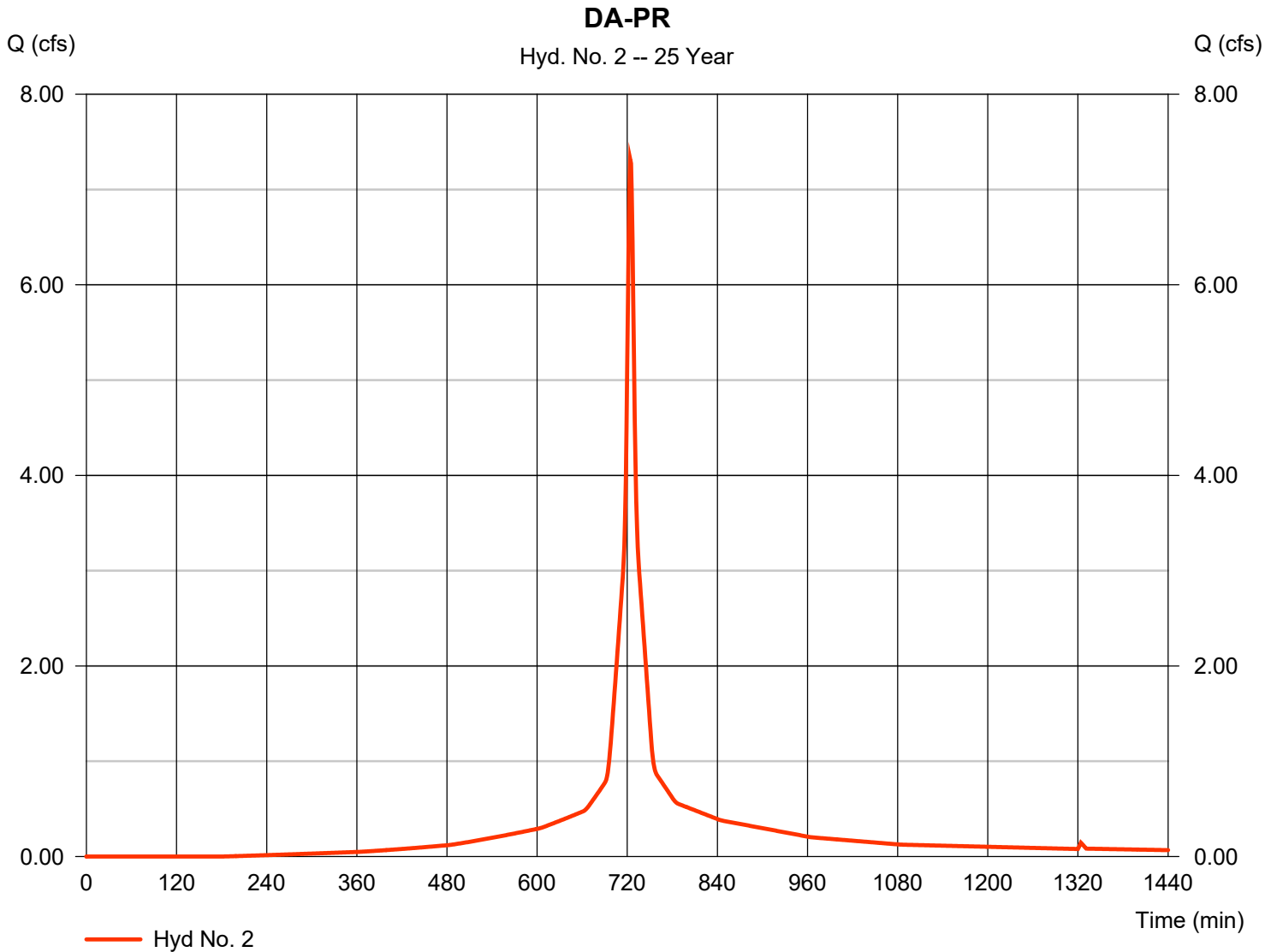
Wednesday, 08 / 3 / 2022

Hyd. No. 2

DA-PR

Hydrograph type	= SCS Runoff	Peak discharge	= 7.315 cfs
Storm frequency	= 25 yrs	Time to peak	= 724 min
Time interval	= 1 min	Hyd. volume	= 24,038 cuft
Drainage area	= 1.160 ac	Curve number	= 91*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 6.59 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.930 x 98) + (0.230 x 61)] / 1.160



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

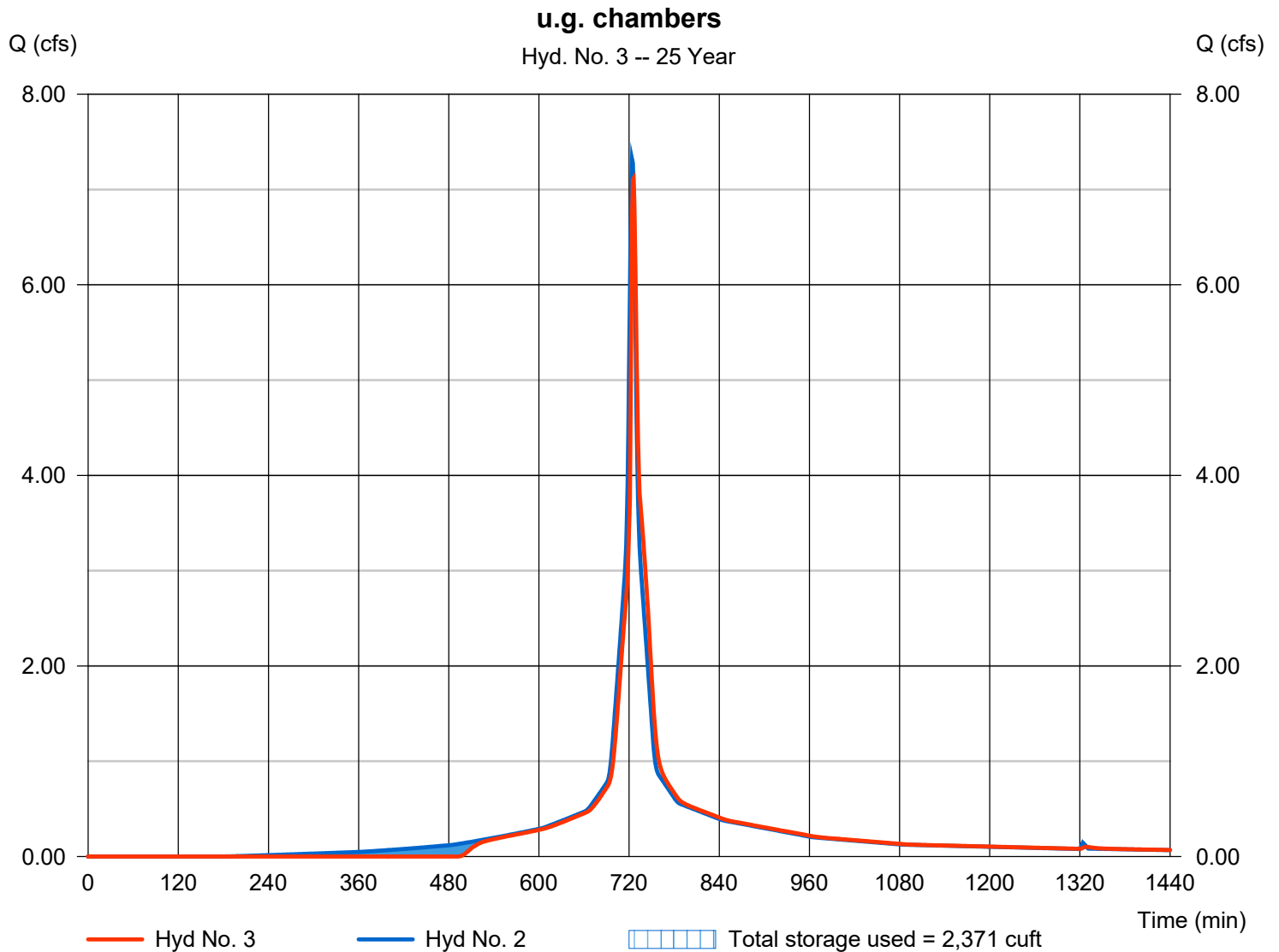
Wednesday, 08 / 3 / 2022

Hyd. No. 3

u.g. chambers

Hydrograph type	= Reservoir	Peak discharge	= 7.116 cfs
Storm frequency	= 25 yrs	Time to peak	= 726 min
Time interval	= 1 min	Hyd. volume	= 23,111 cuft
Inflow hyd. No.	= 2 - DA-PR	Max. Elevation	= 98.85 ft
Reservoir name	= U.G. Chambers	Max. Storage	= 2,371 cuft

Storage Indication method used.



Hydrograph Summary Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to Peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph Description	
1	SCS Runoff	8.713	1	724	29,977	-----	-----	-----	DA-EX	
2	SCS Runoff	8.426	1	724	27,927	-----	-----	-----	DA-PR	
3	Reservoir	8.289	1	725	26,999	2	98.93	2,436	u.g. chambers	
2666-ROW HOUSES.gpw					Return Period: 50 Year			Wednesday, 08 / 3 / 2022		

Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

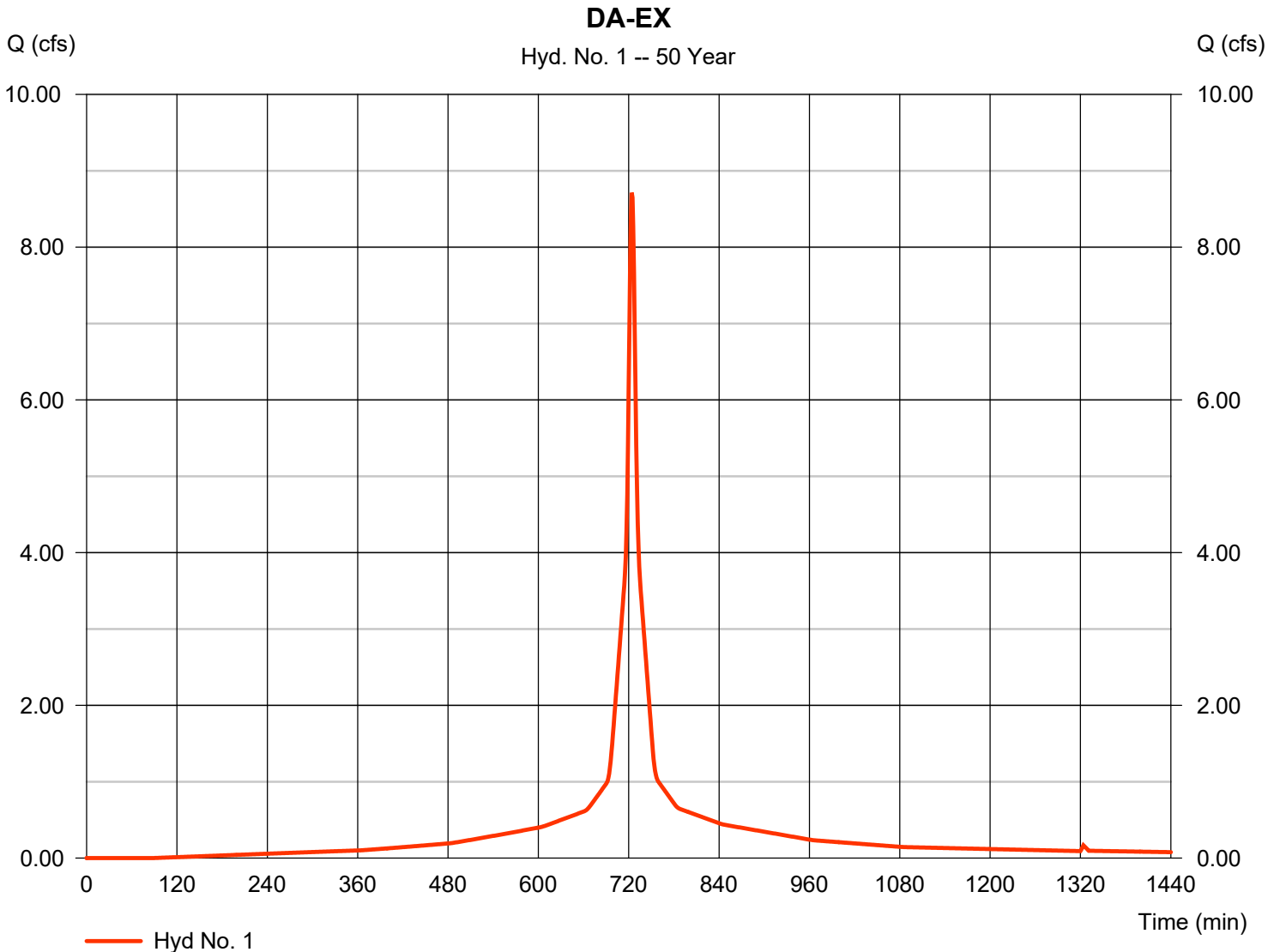
Wednesday, 08 / 3 / 2022

Hyd. No. 1

DA-EX

Hydrograph type	= SCS Runoff	Peak discharge	= 8.713 cfs
Storm frequency	= 50 yrs	Time to peak	= 724 min
Time interval	= 1 min	Hyd. volume	= 29,977 cuft
Drainage area	= 1.160 ac	Curve number	= 95*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 7.50 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(1.070 x 98) + (0.090 x 61)] / 1.160



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

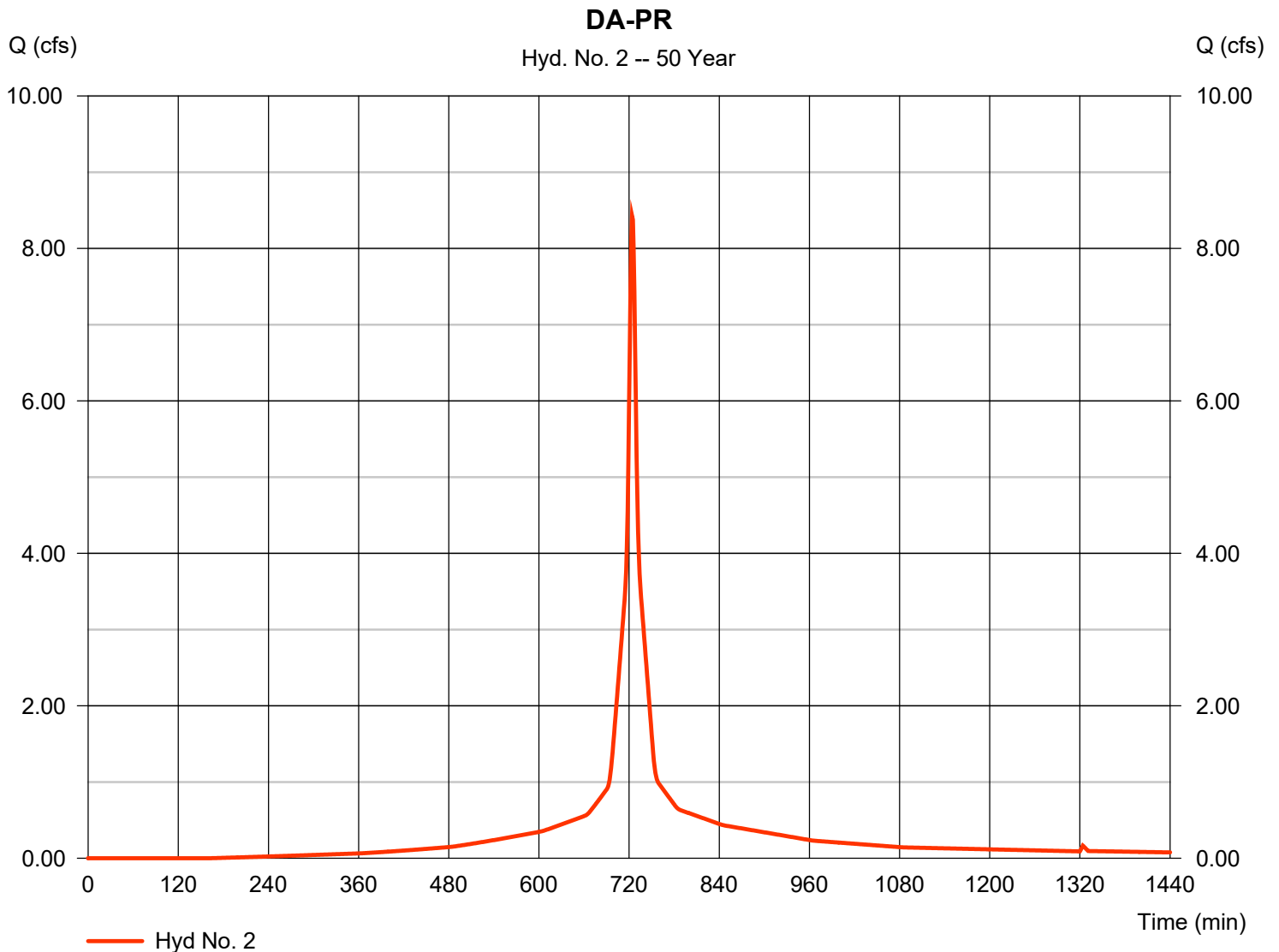
Wednesday, 08 / 3 / 2022

Hyd. No. 2

DA-PR

Hydrograph type	= SCS Runoff	Peak discharge	= 8.426 cfs
Storm frequency	= 50 yrs	Time to peak	= 724 min
Time interval	= 1 min	Hyd. volume	= 27,927 cuft
Drainage area	= 1.160 ac	Curve number	= 91*
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 6.00 min
Total precip.	= 7.50 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

* Composite (Area/CN) = [(0.930 x 98) + (0.230 x 61)] / 1.160



Hydrograph Report

Hydraflow Hydrographs Extension for Autodesk® Civil 3D® 2019 by Autodesk, Inc. v2020

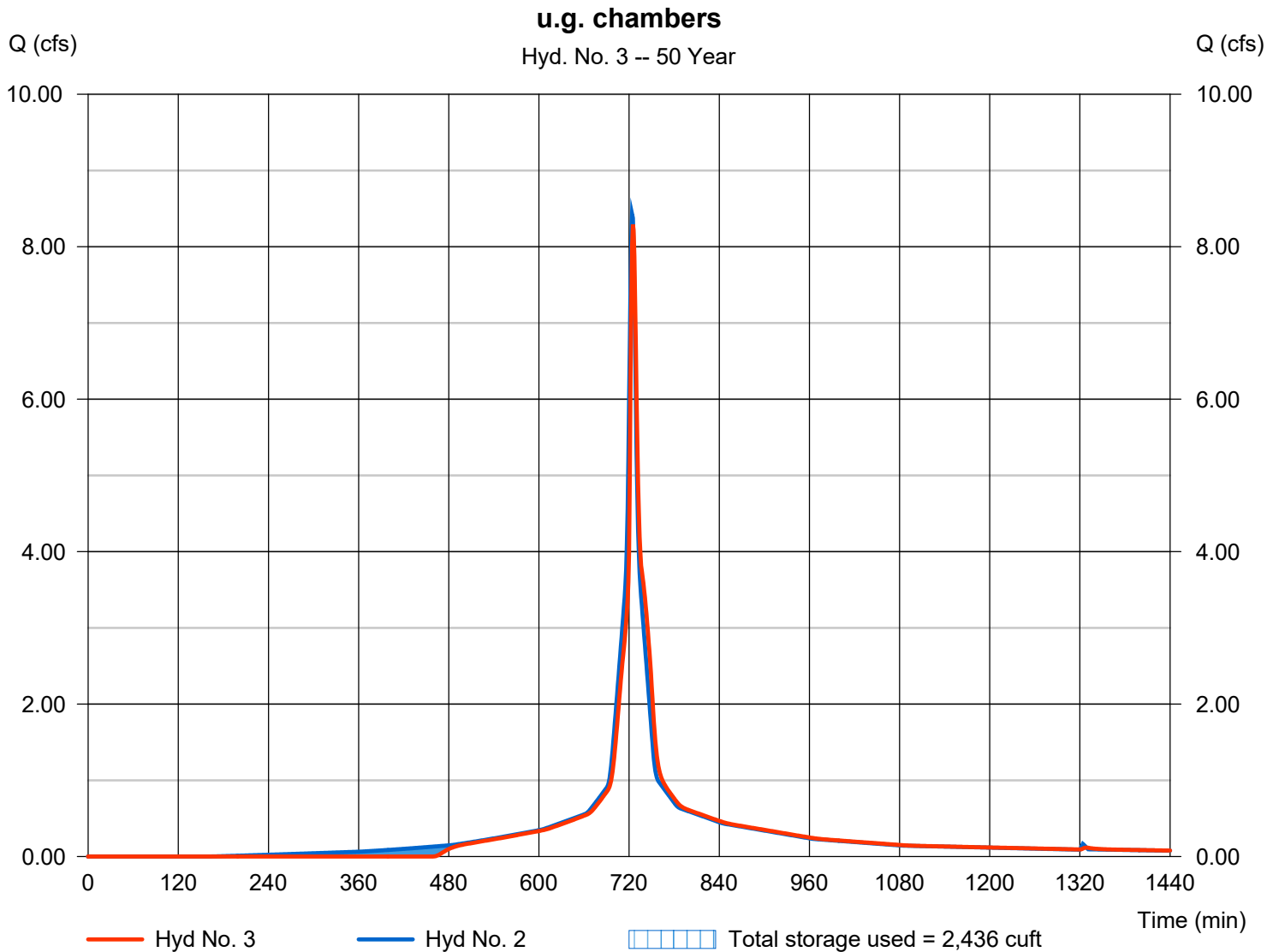
Wednesday, 08 / 3 / 2022

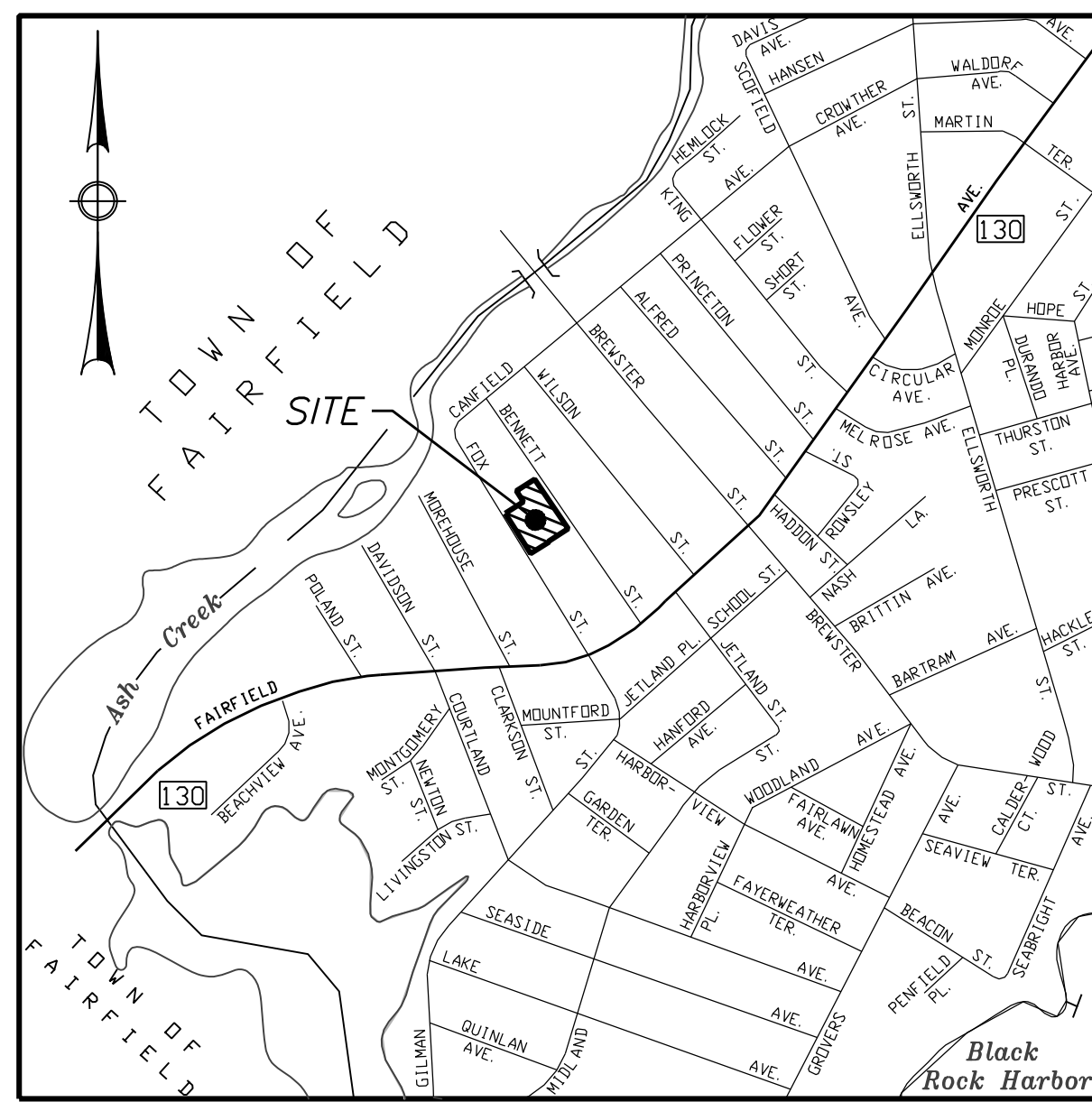
Hyd. No. 3

u.g. chambers

Hydrograph type	= Reservoir	Peak discharge	= 8.289 cfs
Storm frequency	= 50 yrs	Time to peak	= 725 min
Time interval	= 1 min	Hyd. volume	= 26,999 cuft
Inflow hyd. No.	= 2 - DA-PR	Max. Elevation	= 98.93 ft
Reservoir name	= U.G. Chambers	Max. Storage	= 2,436 cuft

Storage Indication method used.





VICINITY MAP SCALE 1"=800'

N/F DENYSE SCHMIDT
165 BENNETT STREET
Vol. 8257 Pg. 106

N/F CARLOS A. & LAUREN M. MORENO
164 FOX STREET
Vol. 5756 Pg. 211

N/F WESLEY & KATHLEEN HUBLER
97 BENNETT STREET
Vol. 8904 Pg. 230

N/F UNIDE THELOT
90 FOX STREET
Vol. 9245 Pg. 54

- LEGEND**
- ⊕ S. SIGN
 - UTILITY POLE
 - BOLLARD
 - ⊙ LIGHT POLE
 - ⊙ G.V. GAS VALVE
 - ⊙ W.V. WATER VALVE
 - ⊙ HYD. HYDRANT
 - ▭ CATCH BASIN
 - MH MAN HOLE
 - E.O.P. EDGE OF PAVEMENT
 - N/F NOW OR FORMERLY
 - G UNDERGROUND GAS LINE
 - E UNDERGROUND ELECTRIC LINE
 - T UNDERGROUND TELEPHONE LINE
 - W EXIST. WATER LINE
 - S EXIST. SAN. SEWER LINE
 - SS EXIST. STORM SEWER LINE

MAP REFERENCES:

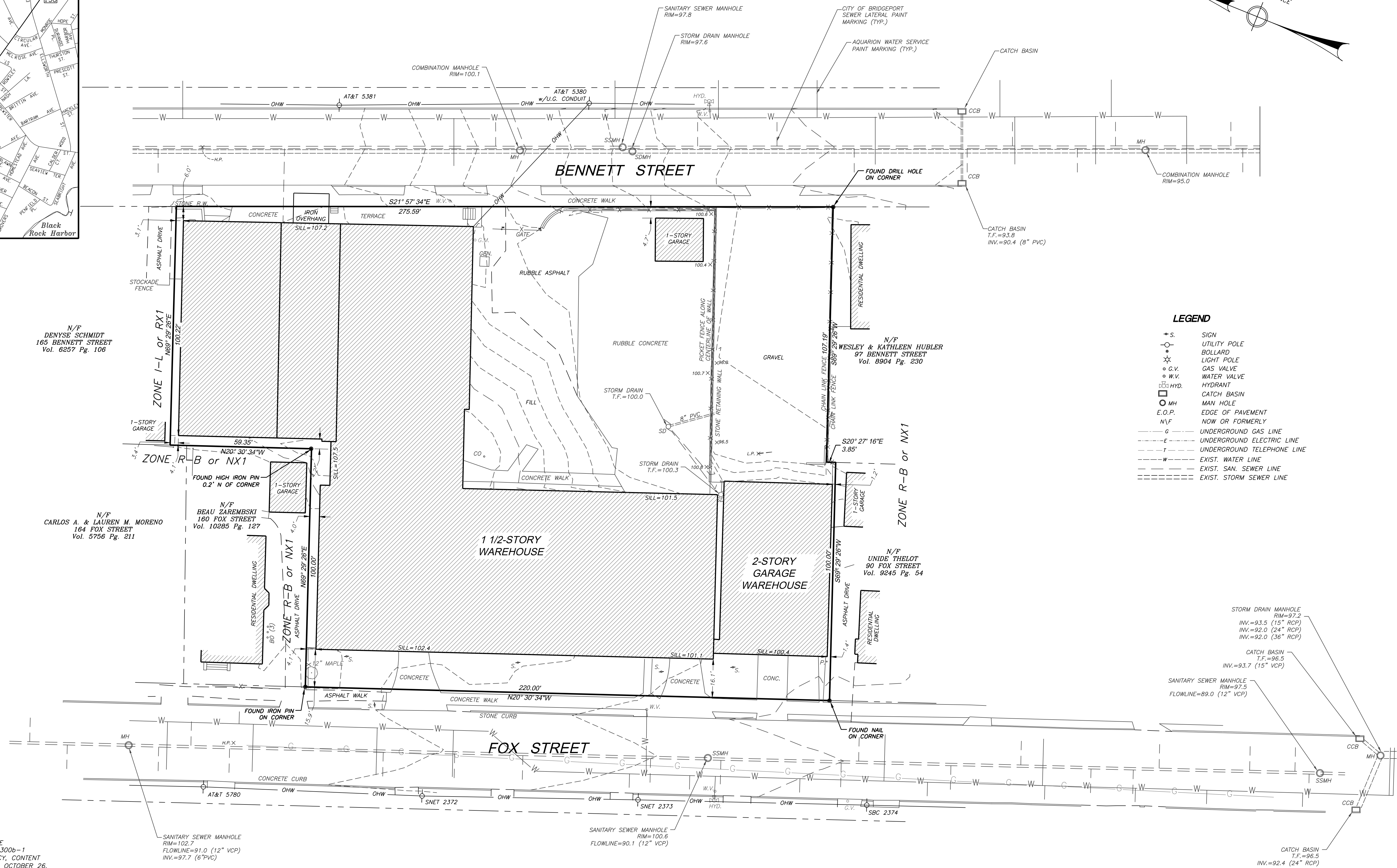
1. "BOUNDARY STAKE-OUT PREPARED FOR ELECTRONIC MAINTENANCE SERVICE COMPANY, INC. 143 BENNETT STREET, BRIDGEPORT, CONNECTICUT, SHEET 1 OF 1," DATED JANUARY 2, 2012, SCALE 1"=20', BY CABEZAS DEANGELIS, ENGINEERS & SURVEYORS.

NOTES:

1. THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, "THE MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS," AS AMENDED ON OCTOBER 26, 2018. THE TYPE OF SURVEY IS AN IMPROVEMENT LOCATION SURVEY. THE BOUNDARY DETERMINATION CATEGORY IS RESURVEY. THIS SURVEY CONFORMS TO CLASS A-2 & T-2 ACCURACY STANDARDS.
2. ALL MONUMENTATION FOUND OR SET HAS BEEN DEPICTED HEREON.
3. CONTOUR ELEVATIONS ARE BASED ON AN ASSUMED DATUM.
4. PROPERTY IS NOT LOCATED IN A F.E.M.A. FLOOD PLAIN.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PHILIP L. TISO, L.S. CONN. LIC. No. 12324
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE SIGNATURE AND THE EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR.



AREA = 50,571 S.F. = 1.1610 Acres

REVISIONS		
NO.	DESCRIPTION	DATE

PROPERTY SURVEY
OF PROPERTY LOCATED AT
143 BENNETT STREET
BRIDGEPORT, CONNECTICUT

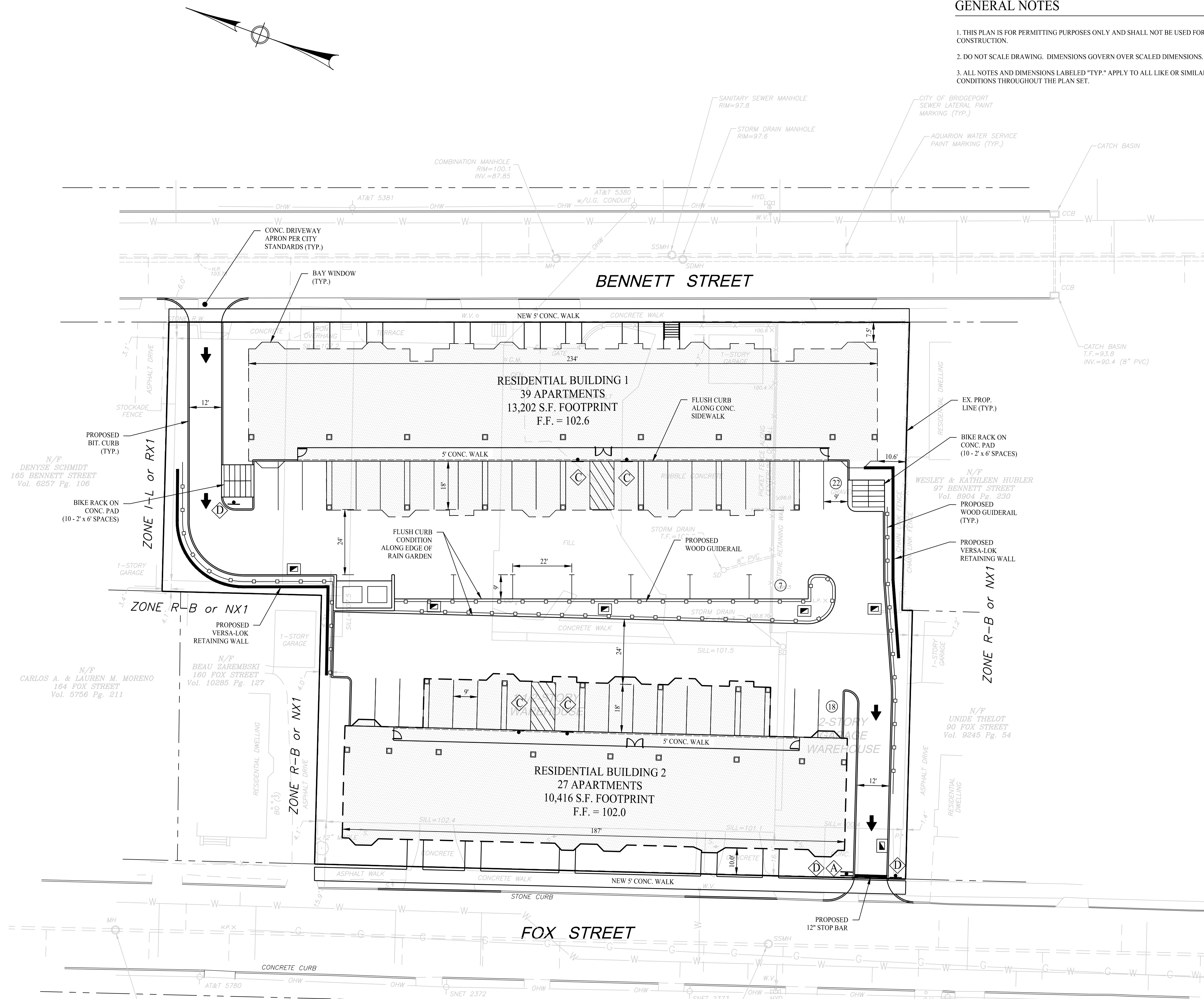
PREPARED FOR
143 BENNETT STREET LLC

ROSE TISO & CO. LLC.
ARCHITECTS/SURVEYORS/ENGINEERS
www.rose-tiso.com
20 BENTLEY AVENUE, FAIRFIELD, CT 06424
TEL: 203.251.0222 FAX: 203.251.0444
DATE: MAY 5, 2022
SCALE: 1"=20'
DRAWN BY: PKG
CHECKED BY: PLT
SHEET 1 OF 1
DWG: 2666-M1.dwg
PATH: S:/2666-Bridgeport-143Be...



GENERAL NOTES

1. THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.
2. DO NOT SCALE DRAWING. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
3. ALL NOTES AND DIMENSIONS LABELED "TYP." APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PLAN SET.



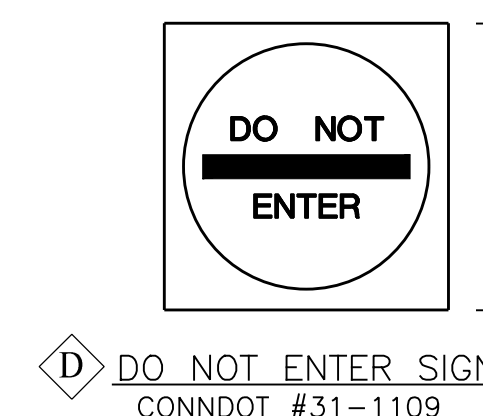
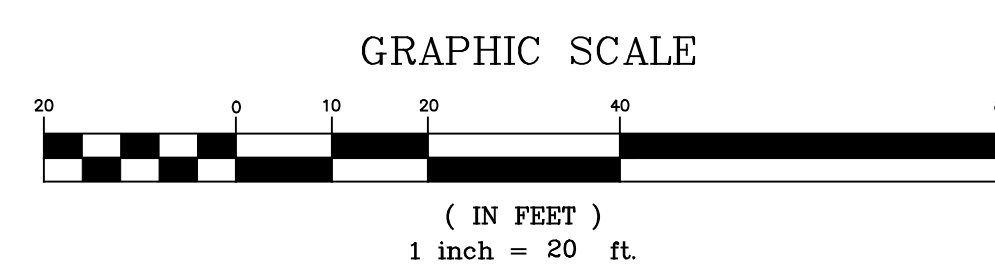
LEGEND

- EXISTING EDGE OF PAVEMENT
- - - PROPOSED EDGE OF PAVEMENT
- - - PROPERTY LINE
- - - STREAM
- - - WETLANDS
- PROPOSED BUILDING
- ① PROPOSED SPOT ELEVATION
- - - EXISTING 2' CONTOUR
- - - EXISTING 10' CONTOUR
- - - PROPOSED 2' CONTOUR
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- - - EXISTING STORM PIPES
- - - PROPOSED STORM PIPES
- - - EXISTING SANITARY PIPES
- - - PROPOSED SANITARY PIPES

ZONING COMPLIANCE TABLE

ZONING REQUIREMENT	RX1 ZONE	EXISTING	PROPOSED
LOT WIDTH	60 FT.	220.1 FT.	220.1 FT.
PRIMARY STREETWALL	85% MIN.	44.3%, 97.5% *	85.0%, 85.0%
PRIMARY STREET BUILD-TO-LINE	10 FT. MIN.	4.7 FT. / 16.1 FT.	10.0 FT.
PORCH, ENCLOSED PORCH, BAY SETBACK	5 FT. MIN.	0 FT.	N.A.
NON-PRIMARY STREET SETBACK	5 FT. MIN.	-	-
SIDE SETBACK	2 FT. MIN. / 8 FT. MIN. BOTH SIDES	1.4 FT. / 3.1 FT. *	10.0 FT.
SPACE BETWEEN ADJACENT BUILDINGS	6 FT. MIN.	2.4 FT.	19.2 FT. / 25.7 FT.
REAR SETBACK	20 FT. MIN.	N.A.	N.A.
SITE COVERAGE	80% MAX.	92.6% *	79.8%
HEIGHT	1.5 STORIES MIN. / 3.0 STORIES MAX.	1.5 STORIES / 2 STORIES	3.0 STORIES

*EXISTING NON-CONFORMING CONDITION
**VARIANCE REQUIRED



BACKGROUND: SILVER
LEGEND: SILVER
SIGN FACE: RED

SIZES (IN)	CONN DOT #	SUPPORTS
30"	31-0552	1

SIZES (IN)	CONN DOT #	SUPPORTS
12"x18"	31-0629P	1
12"x6"	31-0648	1

SIZES (IN)	CONN DOT #	SUPPORTS
12"x18"	31-0629P	1
12"x6"	31-0648	1

SIGN LEGEND
N.T.S.

REVISIONS

NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

APARTMENT DEVELOPMENT

143 BENNETT STREET
BRIDGEPORT, CONNECTICUT

Prepared For:

143 BENNETT STREET, LLC

SHEET TITLE

SITE PLAN

DESIGNED BY: PMR	SCALE: 1"=20'
DRAWN BY: SFS	DATE: 7-15-2022
CHECKED BY: MJS	PROJECT NUMBER: 2666
CAD FILE: R:\2666\dwg	

SEAL

SHEET NUMBER

SP-1

GRADING & DRAINAGE NOTES

ALL ROOF DRAINS AND YARD DRAIN DISCHARGE PIPING SHALL BE MIN 4" PVC PLASTIC PIPE (ASTM D 3054) SDR-35 WITH RUBBER GASKETS, BELL AND SPIGOT TYPE JOINTS.
 ALL PERFORATED DISTRIBUTION PIPES WITHIN GALLERIES SHALL BE 4" PERFORATED PVC PLASTIC PIPE (ASTM D 2729) WITH BELL AND SPIGOT, NO GASKET.
 ALL SITE CONSTRUCTION SHALL CONFORM TO THE CITY OF BRIDGEPORT STANDARD SPECIFICATIONS OR IN THE ABSENCE THEREOF TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION FORM 816, 2004.
 ALL PROPOSED CATCH BASINS TO HAVE 2' SUMPS AND HOODED OUTLETS UNLESS NOTED OTHERWISE.

MAXIMUM 2% SLOPE THROUGHOUT ALL ACCESSIBLE PARKING AND ACCESSIBLE STRIPED AREAS

HYDRODYNAMIC SEPARATOR AND CATCH BASIN INSPECTION & MAINTENANCE PLAN:
 1. PROPERTY OWNER IS RESPONSIBLE FOR OPERATIONS AND MAINTENANCE OF ALL PROPOSED STORMWATER INFRASTRUCTURE
 2. UNITS ARE TO BE INSPECTED EVERY 6-MONTHS AND SUMP VACUUMED IF SEDIMENT DEPTH IS GREATER THAN 18 INCHES
 3. OIL ACCUMULATION IS TYPICALLY MUCH LESS THAN SEDIMENT, HOWEVER, REMOVAL OF OIL AND SEDIMENT DURING THE SAME SERVICE IS RECOMMENDED.
 4. REMOVE FLOATABLES FIRST, AND THEN REMOVE REMAINING VOLUME.
GALLERY INSPECTION & MAINTENANCE PLAN:
 1. GALLERIES ARE TO BE INSPECTED EVERY 12-MONTHS AND VACUUMED IF SEDIMENT DEPTH IS GREATER THAN 12 INCHES.
 2. SITE CATCH BASINS ARE TO BE INSPECTED EVERY 6- MONTHS AND SUMP VACUUMED IF SEDIMENT DEPTH IS GREATER THAN 12 INCHES.


WATER QUALITY VOLUME COMPUTATION:
 RESIDENTIAL DEVELOPMENT = 50,571 SF
 $WQV = (P * R * A) / 12$
 $WQV = (0.05 * 0.009 * 1) / 12 = 0.77$ WATERSHED INCHES
 $WQV = (0.77 * 50,571) / 12 = 3,245$ CF REQUIRED
 PROVIDED = 3,271 CF

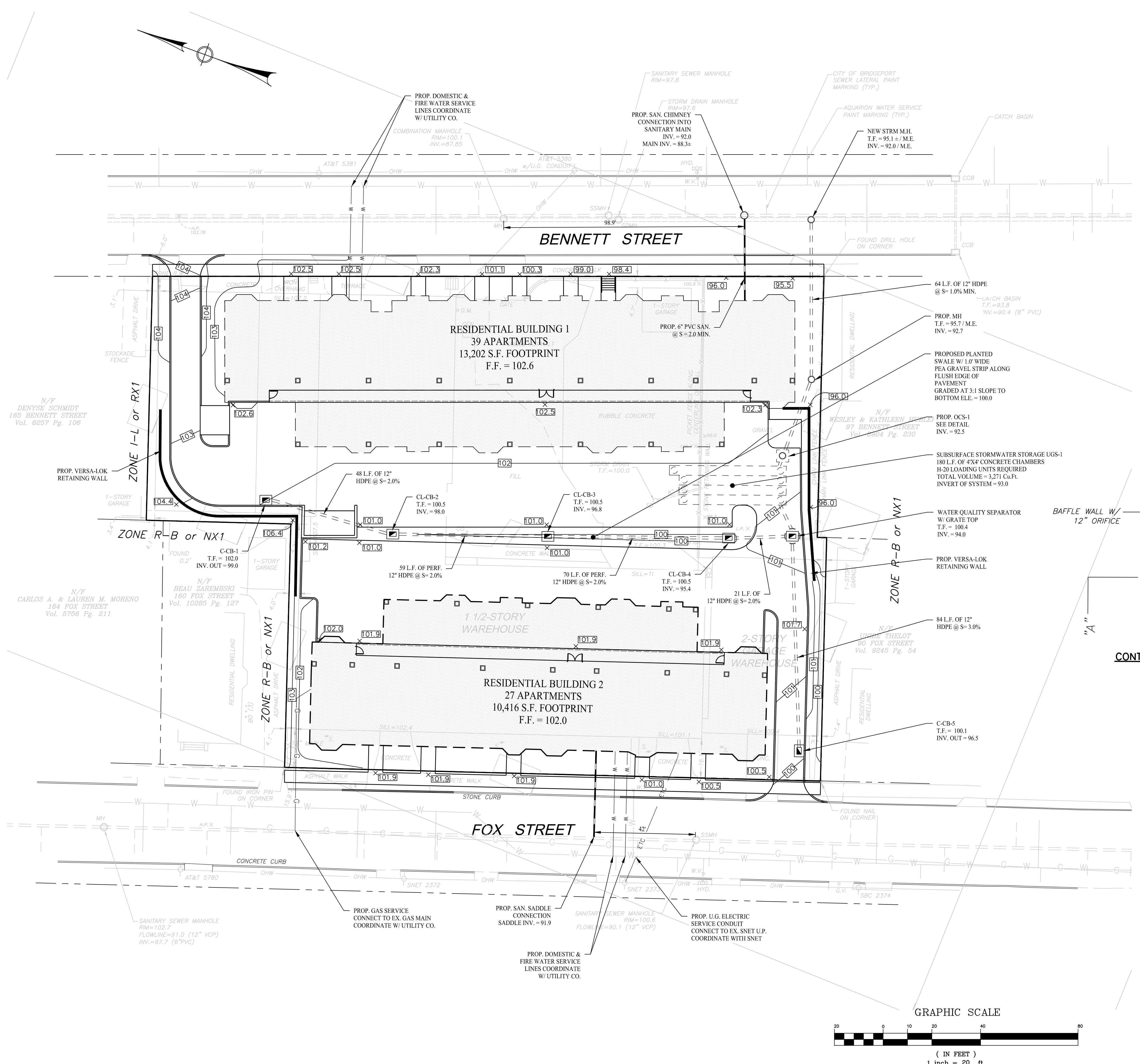
REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE
APARTMENT DEVELOPMENT
 143 BENNETT STREET
 BRIDGEPORT, CONNECTICUT
 Prepared For:
143 BENNETT STREET, LLC

SHEET TITLE
GRADING & DRAINAGE PLAN

DESIGNED BY: PMR	SCALE: 1"=20'
DRAWN BY: SFS	DATE: 7-15-2022
CHECKED BY: MJS	PROJECT NUMBER: 2666
CAD FILE: R:\2666\dwg	

SEAL SHEET NUMBER

SP-2



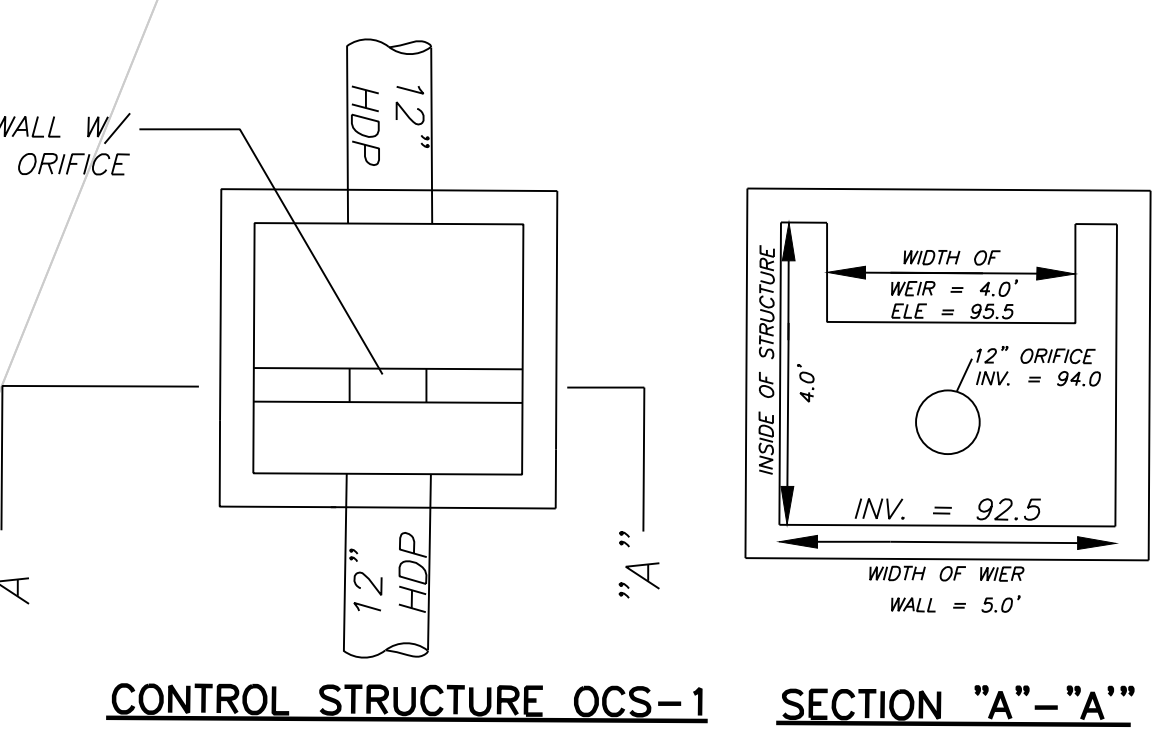
N/P DENYSE SCHMIDT
 165 BENNETT STREET
 Vol. 6257 Pg. 106

N/P CARLOS A. & LAUREN M. MORENO
 164 FOX STREET
 Vol. 5756 Pg. 211

N/P BEAU ZAREMSKI
 160 FOX STREET
 Vol. 10265 Pg. 127

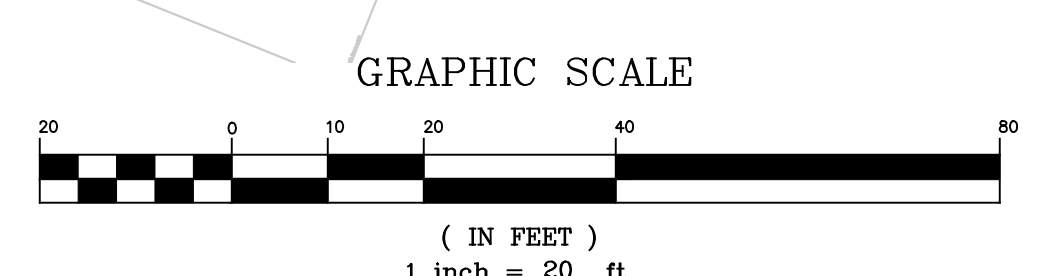
N/P WESLEY & KATHLEEN WHOLEY
 97 BENNETT STREET
 Vol. 3804 Pg. 230

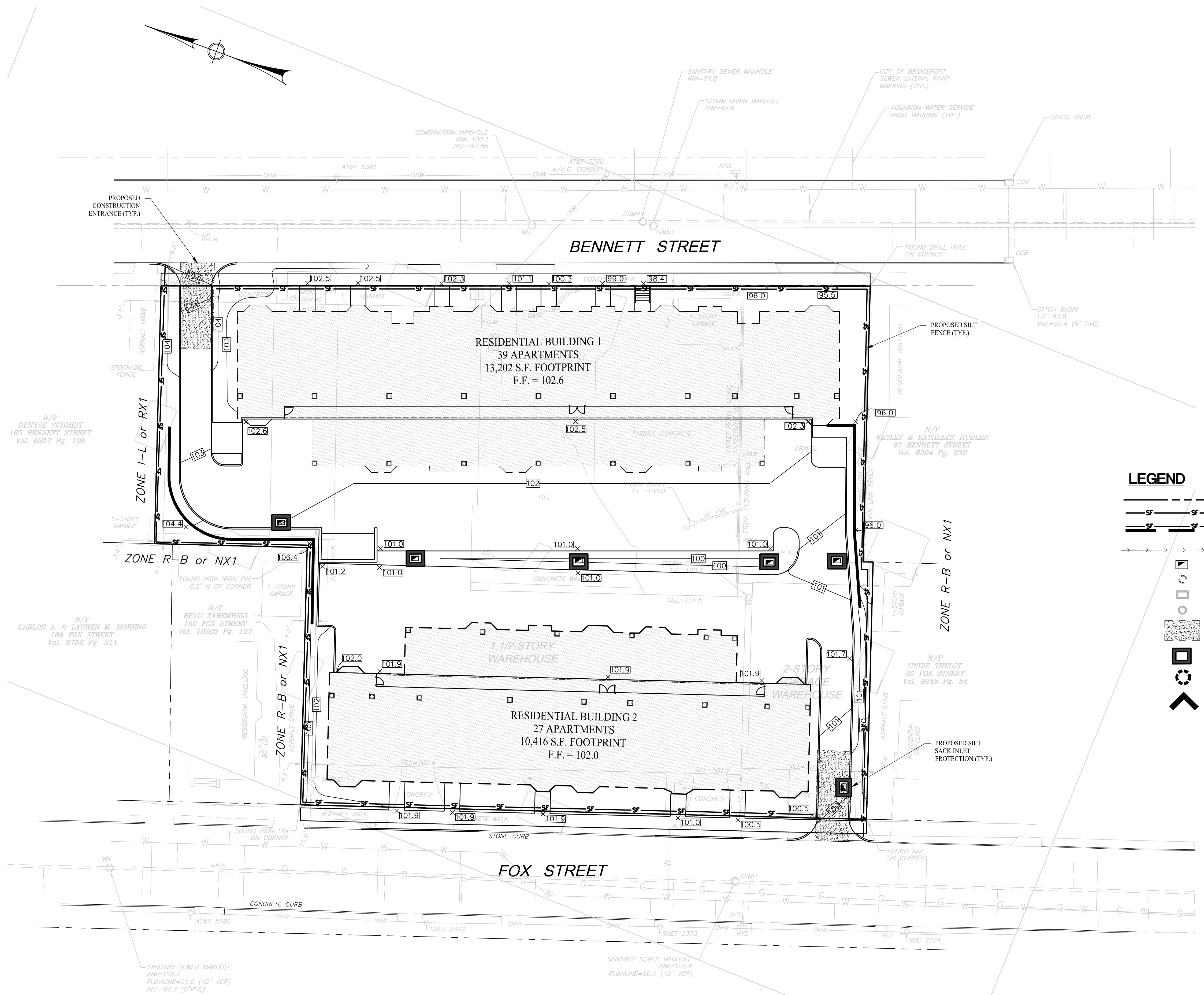
N/P JAMES THELOT
 30 FOX STREET
 Vol. 9245 Pg. 54



LEGEND

- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB
- PROPERTY LINE
- STREAM
- WETLANDS
- PROPOSED BUILDING
- PROPOSED SPOT ELEVATION
- EXISTING 2' CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- EXISTING CATCH BASIN
- PROPOSED CATCH BASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING STORM PIPES
- PROPOSED STORM PIPES
- EXISTING SANITARY PIPES
- PROPOSED SANITARY PIPES
- GRADE TO DRAIN

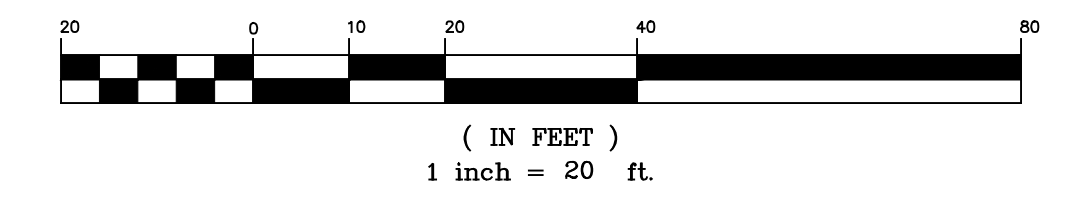




LEGEND

- PROPERTY LINES
- FILTER FABRIC FENCE
- FILTER FABRIC FENCE BACKED WITH HAY BALES
- DIVERSION SWALE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- EXISTING CATCH BASIN
- EXISTING MANHOLE
- ANTI-TRACKING APRON
- SILTSACK @ CATCH BASINS
- SILTSACK @ MANHOLES
- HAYBALE CHECKDAMN

GRAPHIC SCALE



REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

APARTMENT DEVELOPMENT

**143 BENNETT STREET
BRIDGEPORT, CONNECTICUT**

Prepared For:

143 BENNETT STREET, LLC

SHEET TITLE

EROSION CONTROL PLAN

DESIGNED BY: PMR	SCALE: 1"=20'
DRAWN BY: SFS	DATE: 7-15-2022
CHECKED BY: MJS	PROJECT NUMBER: 2666
CAD FILE: R:\2666\dwg	

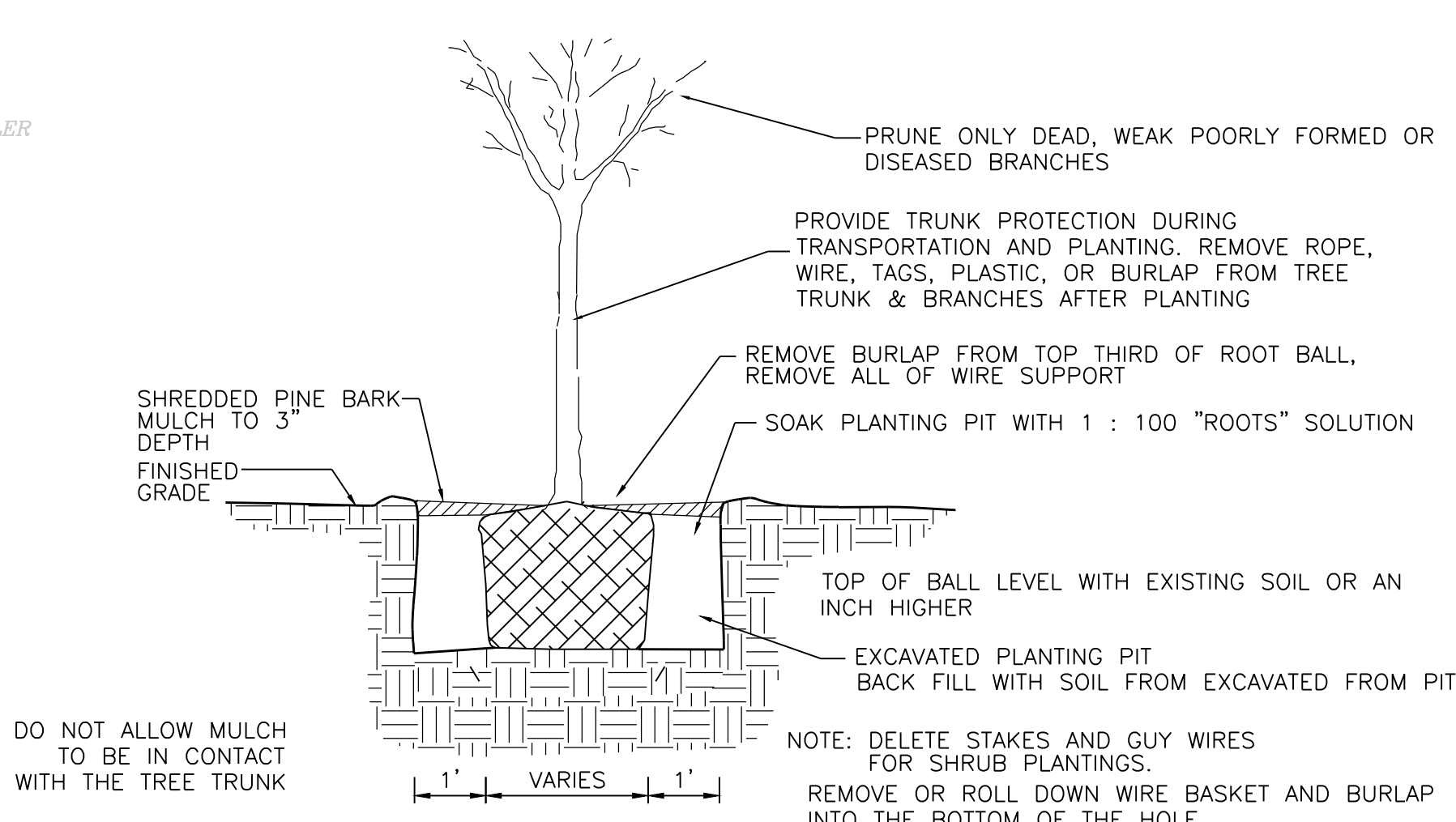
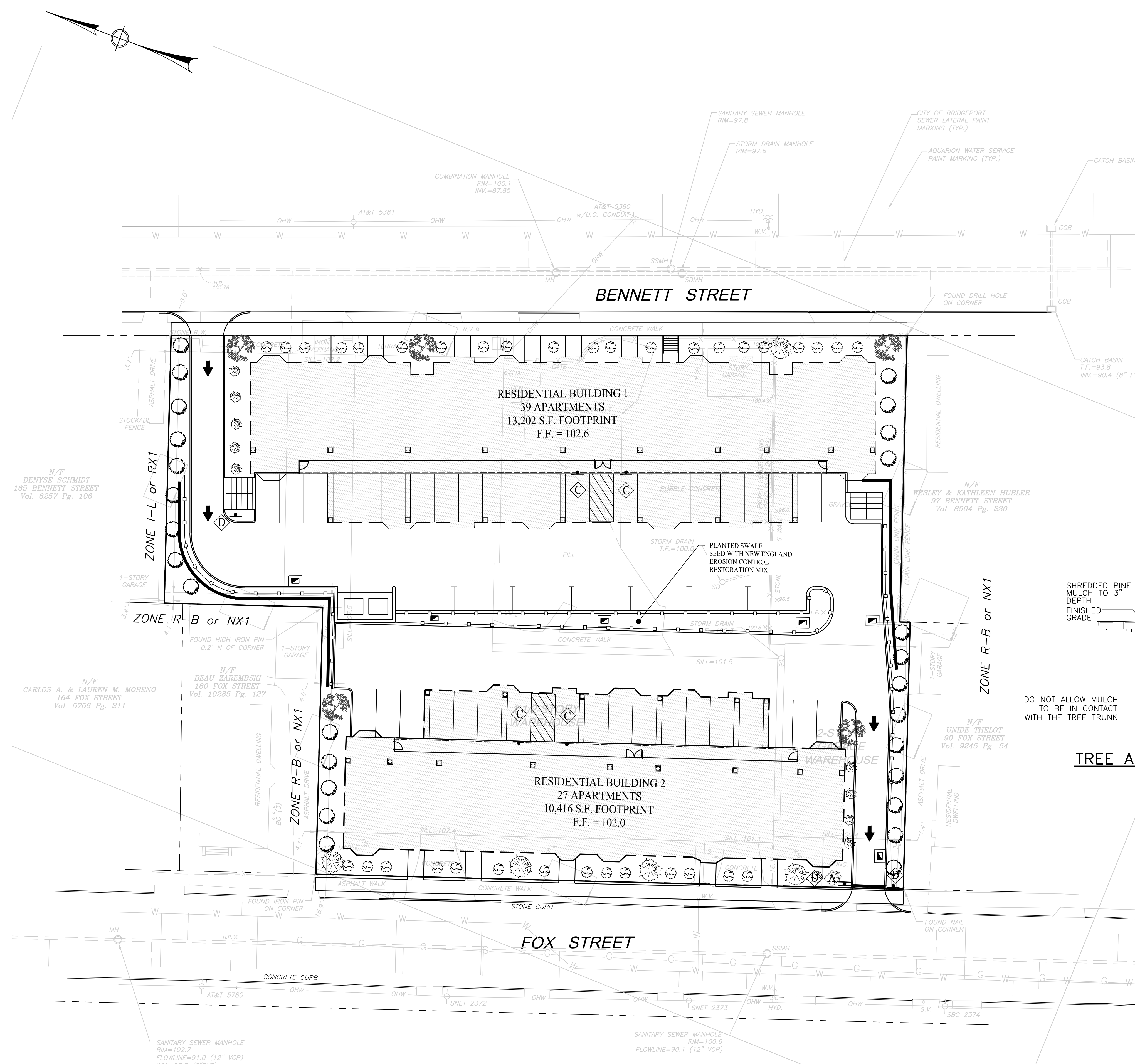
SEAL

SHEET NUMBER

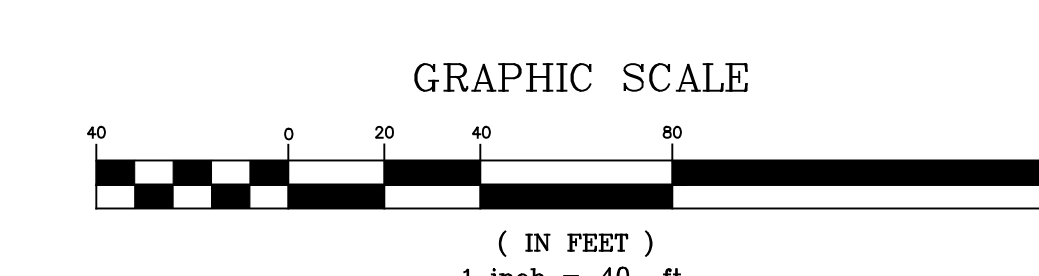
SP-3

PLANT LIST

KEY	QUANT.	BOTANICAL NAME	COMMON NAME	SIZE
TREES:				
	5	QUERCUS PALUSTRIS	PIN OAK	2-2 1/2" CAL
	5	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	2-2 1/2" CAL
	28	THUJA OCCIDENTALIS	ARBORVITAE	2" CAL.
UPLAND SHRUBS & GRASSES:				
	9	Rhododendron PJM	PJM Rhododendron	24-30" HT.
	37	Calamagrostis Acutiflora	Feather Reed Grass	36-60" HT.



TREE AND SHRUB PLANTING DETAIL
N.T.S.



REVISIONS			
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PROJECT TITLE

APARTMENT DEVELOPMENT

**143 BENNETT STREET
BRIDGEPORT, CONNECTICUT**

Prepared For:
143 BENNETT STREET, LLC

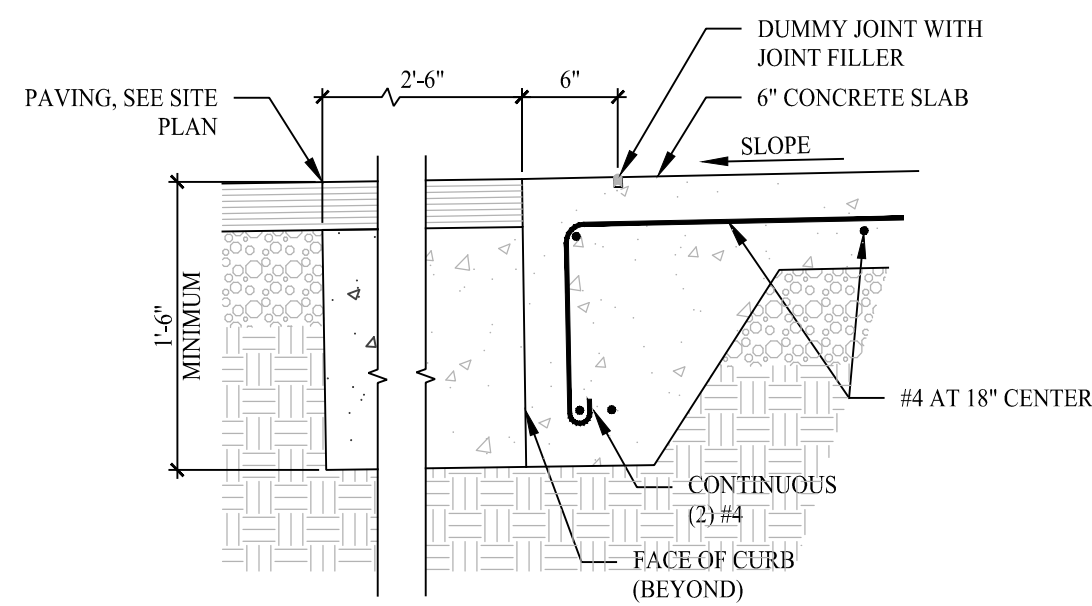
SHEET TITLE

LANDSCAPE PLAN

DESIGNED BY: PMR	SCALE: 1"=40'
DRAWN BY: SFS	DATE: 7-15-2022
CHECKED BY: MJS	PROJECT NUMBER: 2666
CAD FILE: R:\2666\dwg	

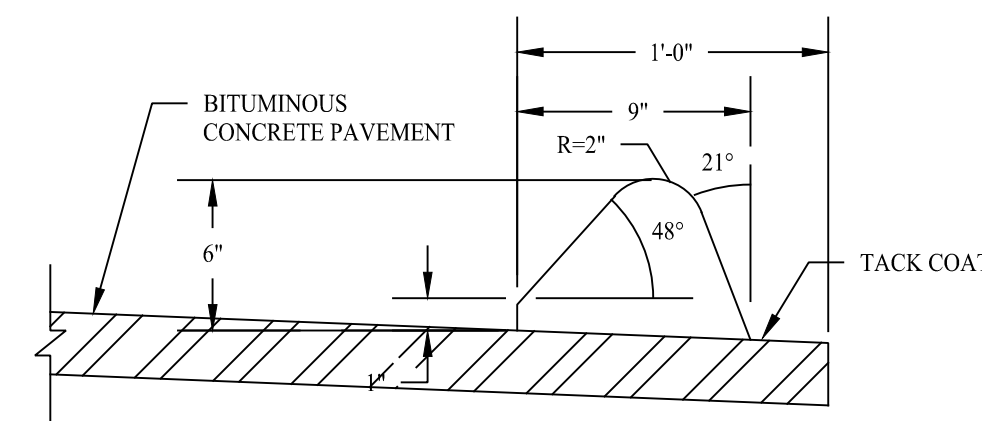
SEAL SHEET NUMBER

SP-5



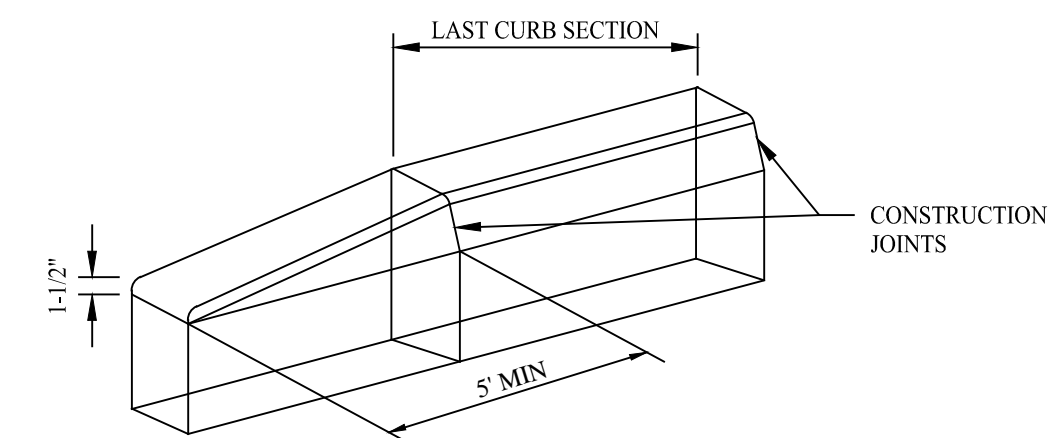
FLUSH CURB AT PAVEMENT

SCALE: NTS



EXTRUDED BITUMINOUS CONCRETE LIP CURBING DETAIL

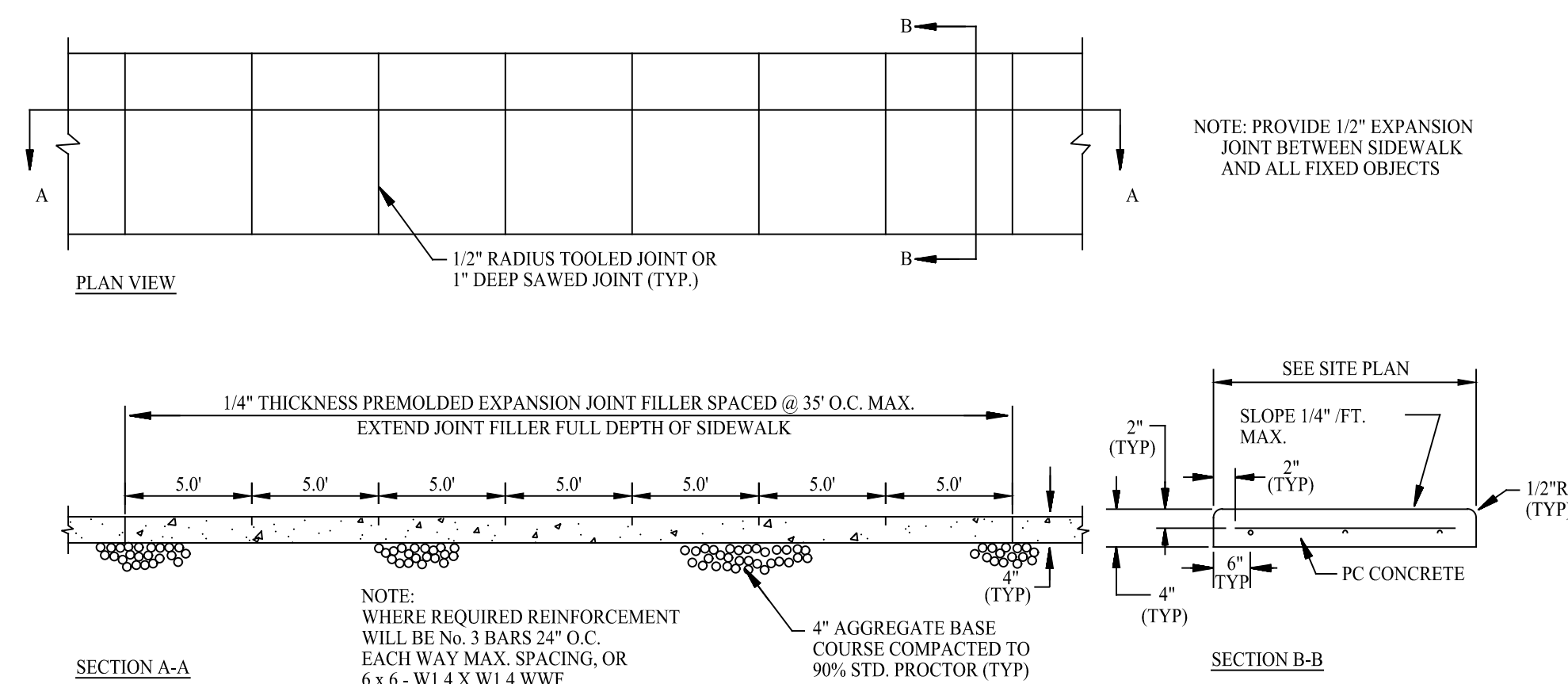
SCALE: NTS



- NOTES
1. CONCRETE SHALL BE 3500 PSI AIR ENTRAINED AT A 4" SLUMP.
 2. TRANSVERSE CONTROL JOINTS 1/4" WIDE BY 3/4" DEEP, TO BE FORMED EVERY 4'.
 3. EXPANSION JOINTS WITH 1/2" PREMOLDED MATERIALS SHALL BE PLACED EVERY 28' TO FULL DEPTH.
 4. WEATHER PROTECTION AND CURING COMPOUNDS SHALL BE USED IN ACCORDANCE WITH CDOT SPECIFICATIONS.
 5. ALL EDGES SHALL BE ROUNDED WITH A 1/4" EDGE TOOL.

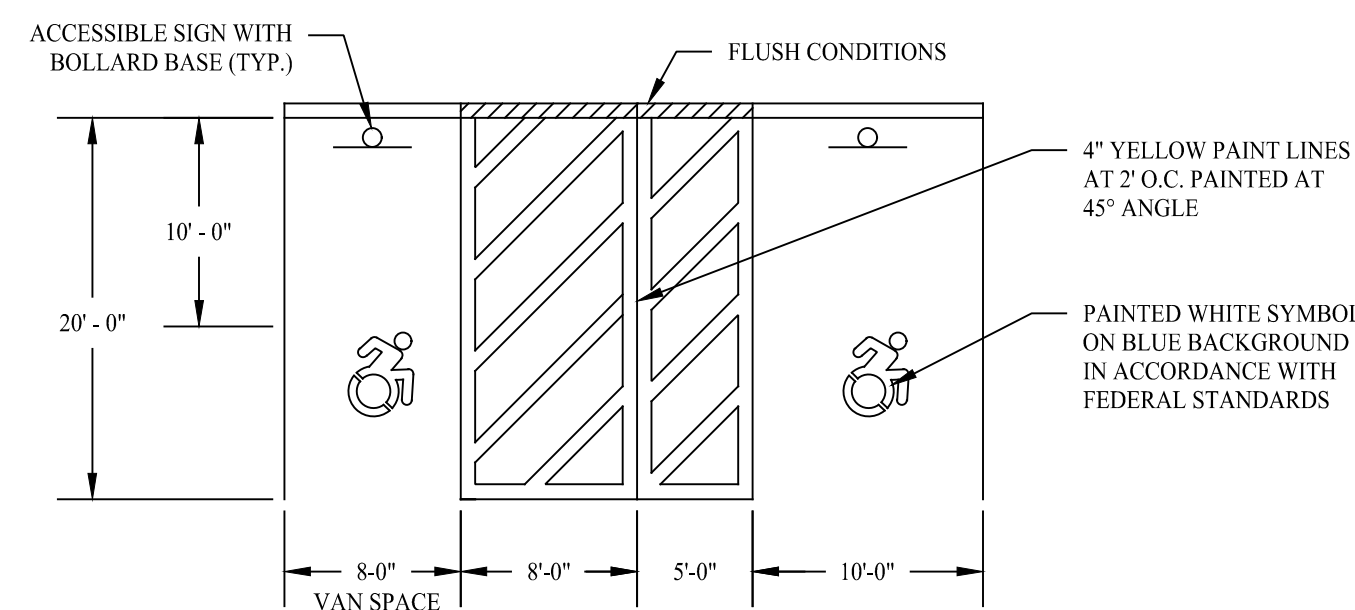
CURB TRANSITION DETAIL

SCALE: NTS



CONCRETE SIDEWALK

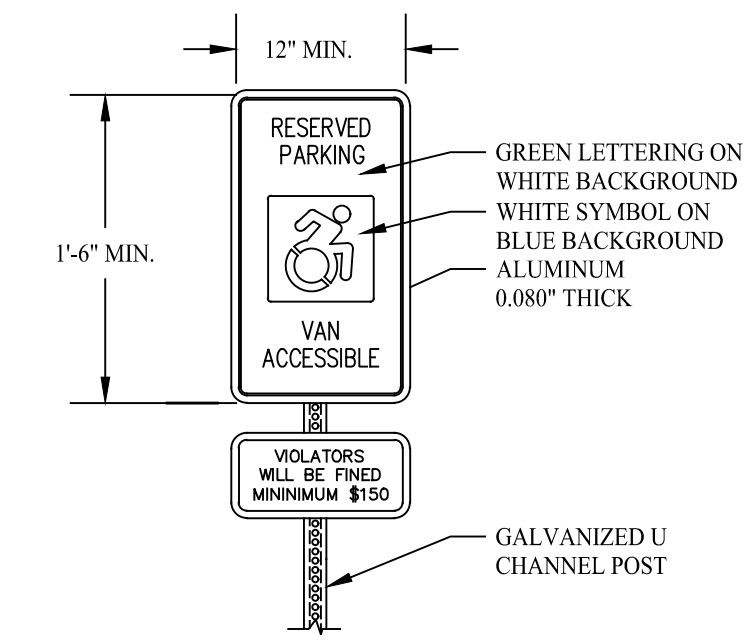
SCALE: NTS



- NOTES
1. SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATIONS.
 2. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.

ACCESSIBLE PARKING SPACE DETAIL

SCALE: NTS

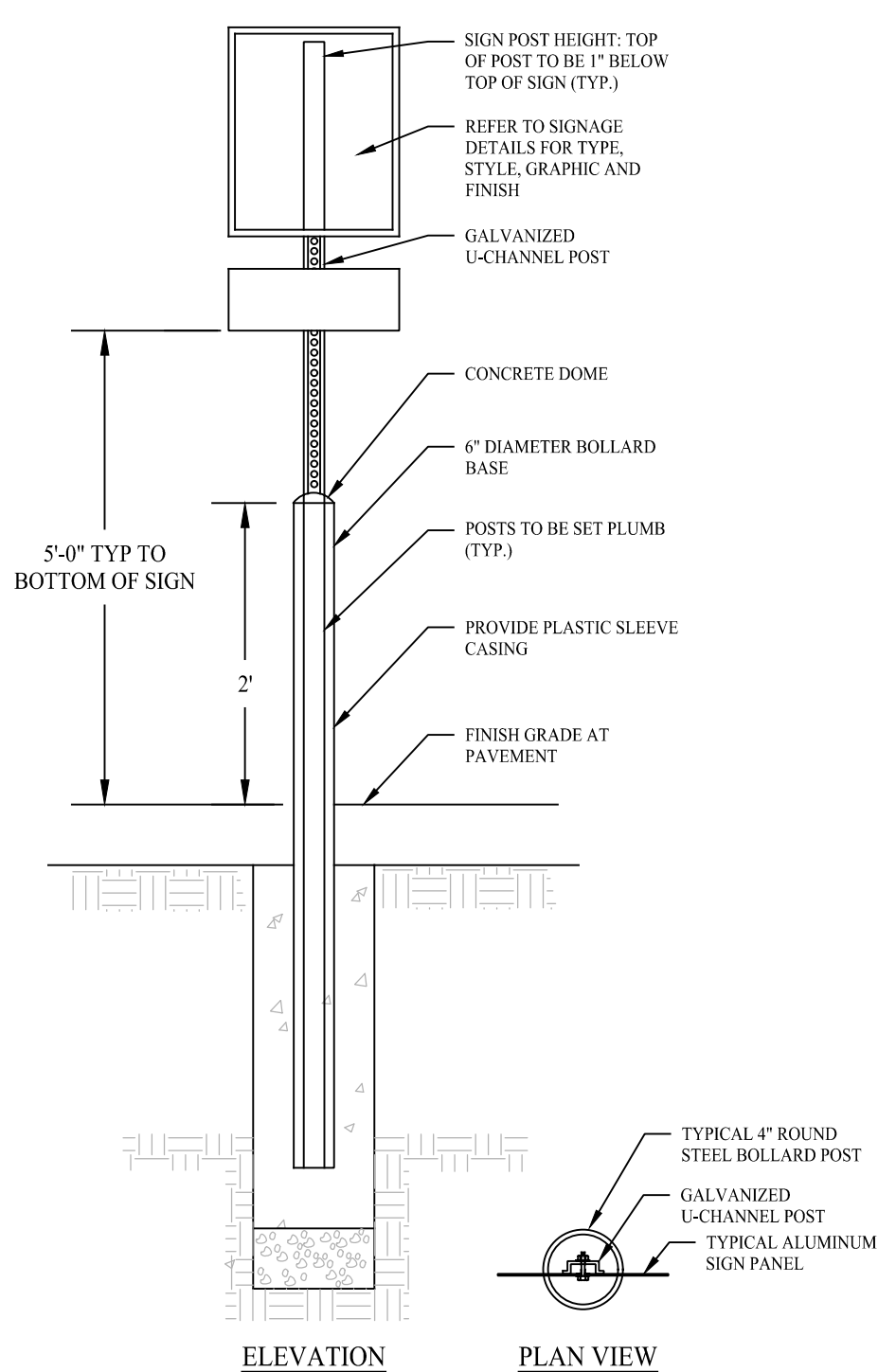


ACCESSIBLE PARKING SIGN

- NOTE
- SUPPORTS-SEE STD. SHEET-"TYPICAL METAL SIGN POSTS AND SIGN MOUNTING DETAILS" PREPARED BY THE CONNECTICUT DEPARTMENT OF TRANSPORTATION; BUREAU OF HIGHWAYS; DIVISION OF TRAFFIC SUPPORTS-WT 3 LB (UNLESS OTHERWISE NOTED)

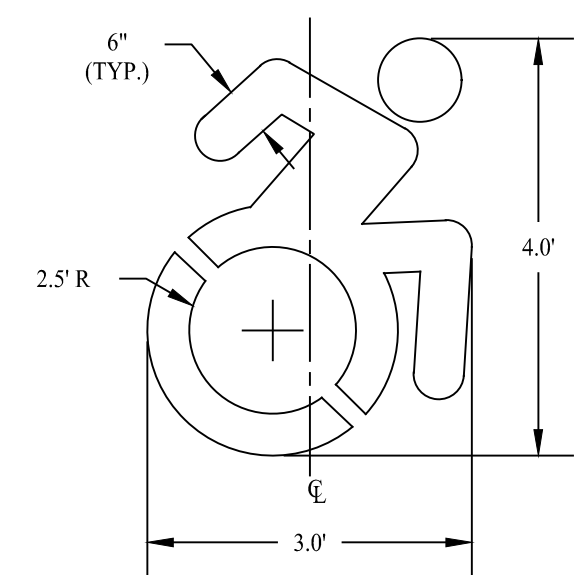
ACCESSIBLE SIGN DETAILS

SCALE: NTS



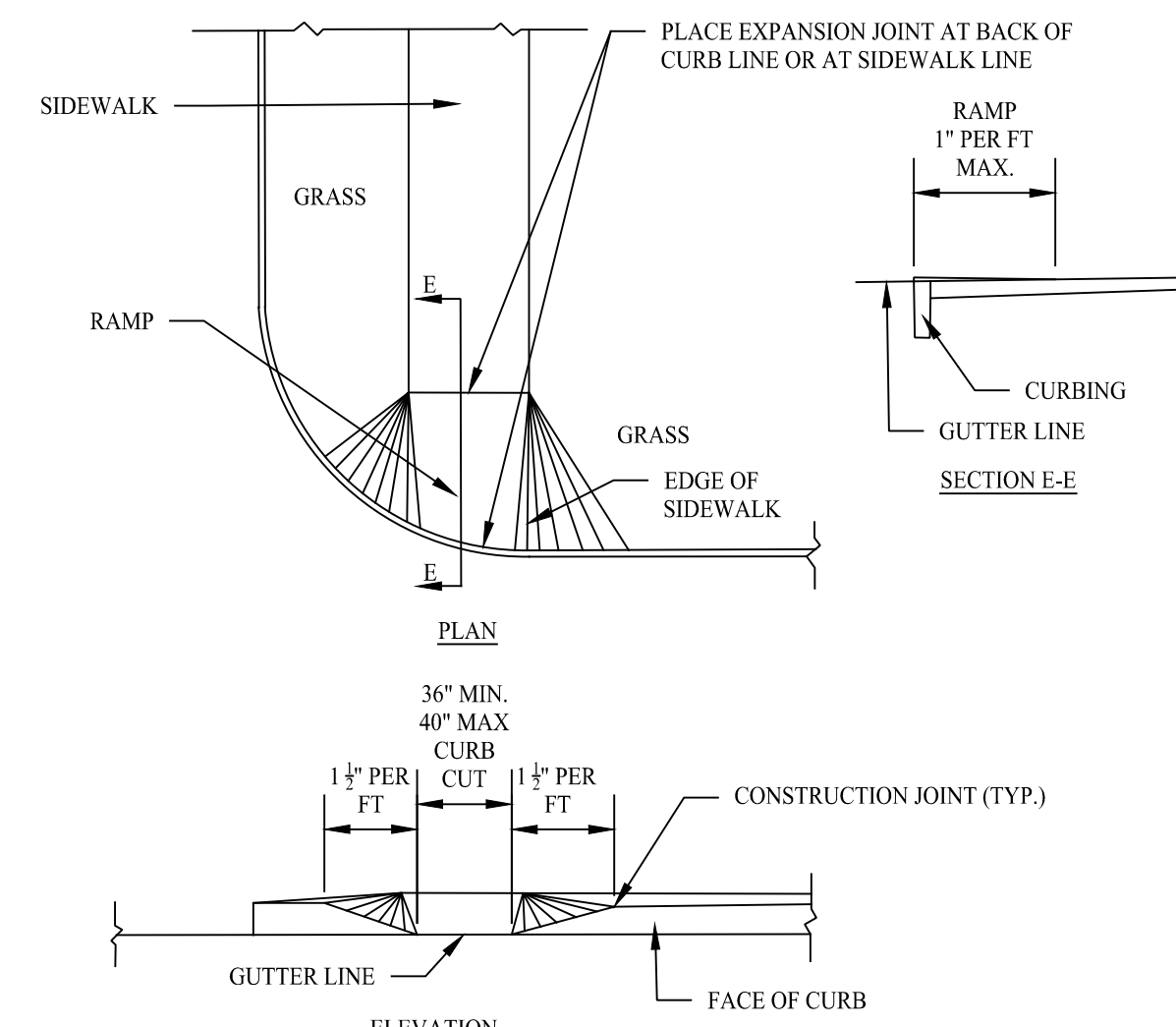
SIGN MOUNTING FOR ACCESSIBLE SIGN

SCALE: NTS



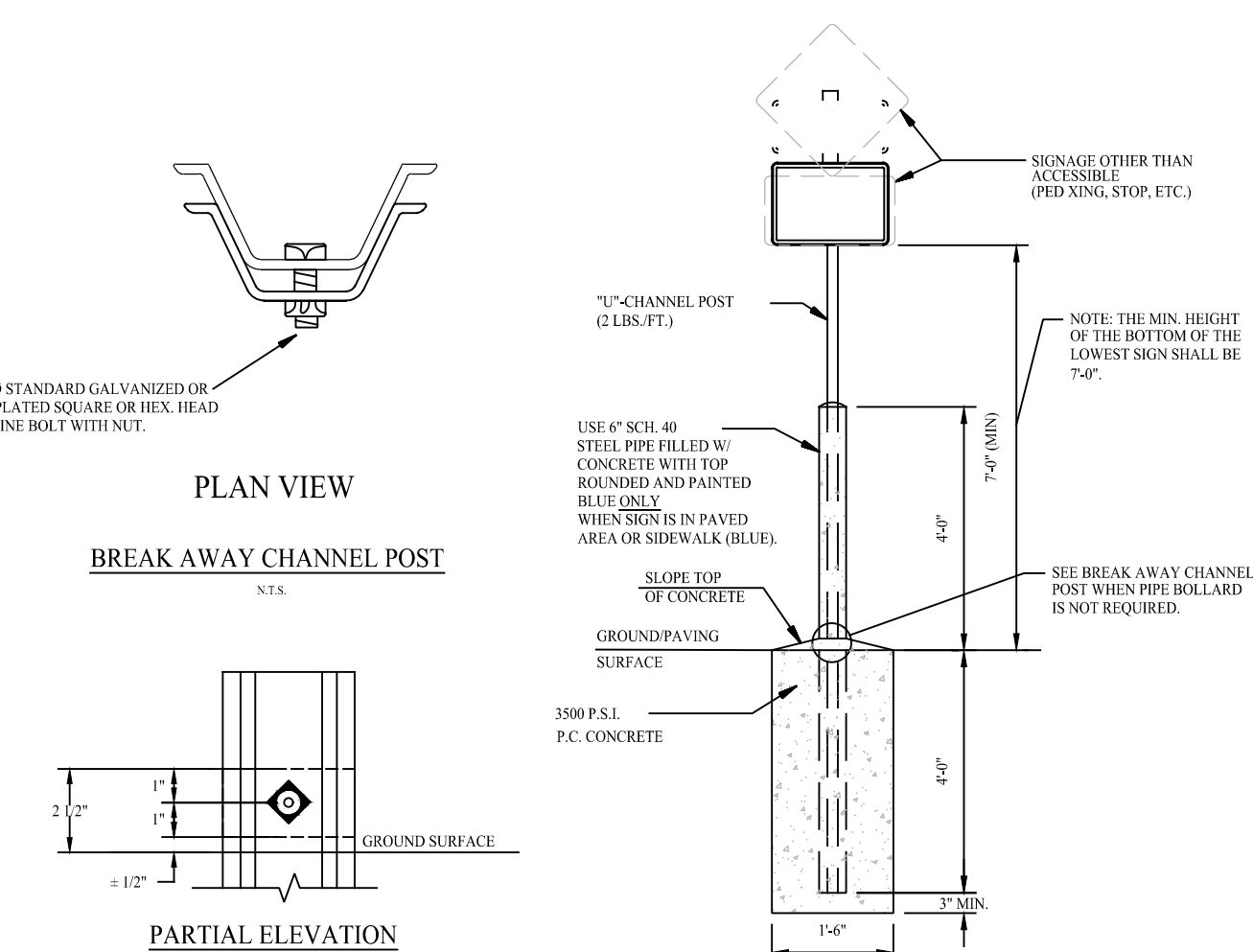
ACCESSIBLE PARKING SYMBOL

SCALE: NTS



SIDEWALK RAMP

SCALE: NTS



SITE SIGN BASE DETAILS

SCALE: NTS

REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

APARTMENT DEVELOPMENT

**143 BENNETT STREET
BRIDGEPORT, CONNECTICUT**

Prepared For:

143 BENNETT STREET, LLC

SHEET TITLE

DETAIL SHEET

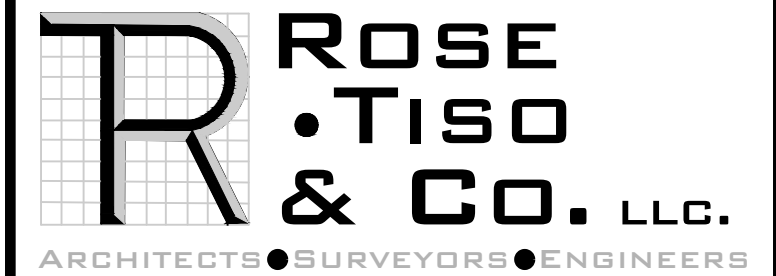
DESIGNED BY: PMR	SCALE: AS NOTED
DRAWN BY: SFS	DATE: 7-15-2022
CHECKED BY: MJS	PROJECT NUMBER: 2666
CAD FILE: R:\2666\dwg	

SEAL SHEET NUMBER

STATE OF CONNECTICUT
REGISTERED PROFESSIONAL ARCHITECT
ROSE TISO & CO. LLC
No. 12345
FAIRFIELD, CT 06825
SP-6

GENERAL NOTES

1. THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.
2. DO NOT SCALE DRAWING. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
3. ALL NOTES AND DIMENSIONS LABELED "TYP." APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PLAN SET.



WWW.ROSETISO.COM
35 BRENTWOOD AVENUE, FAIRFIELD, CT 06825
TEL: (203) 610-6269 FAX: (203) 610-6404

REVISIONS			
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PROJECT TITLE

APARTMENT DEVELOPMENT

**143 BENNETT STREET
BRIDGEPORT, CONNECTICUT**

Prepared For:

143 BENNETT STREET, LLC

SHEET TITLE

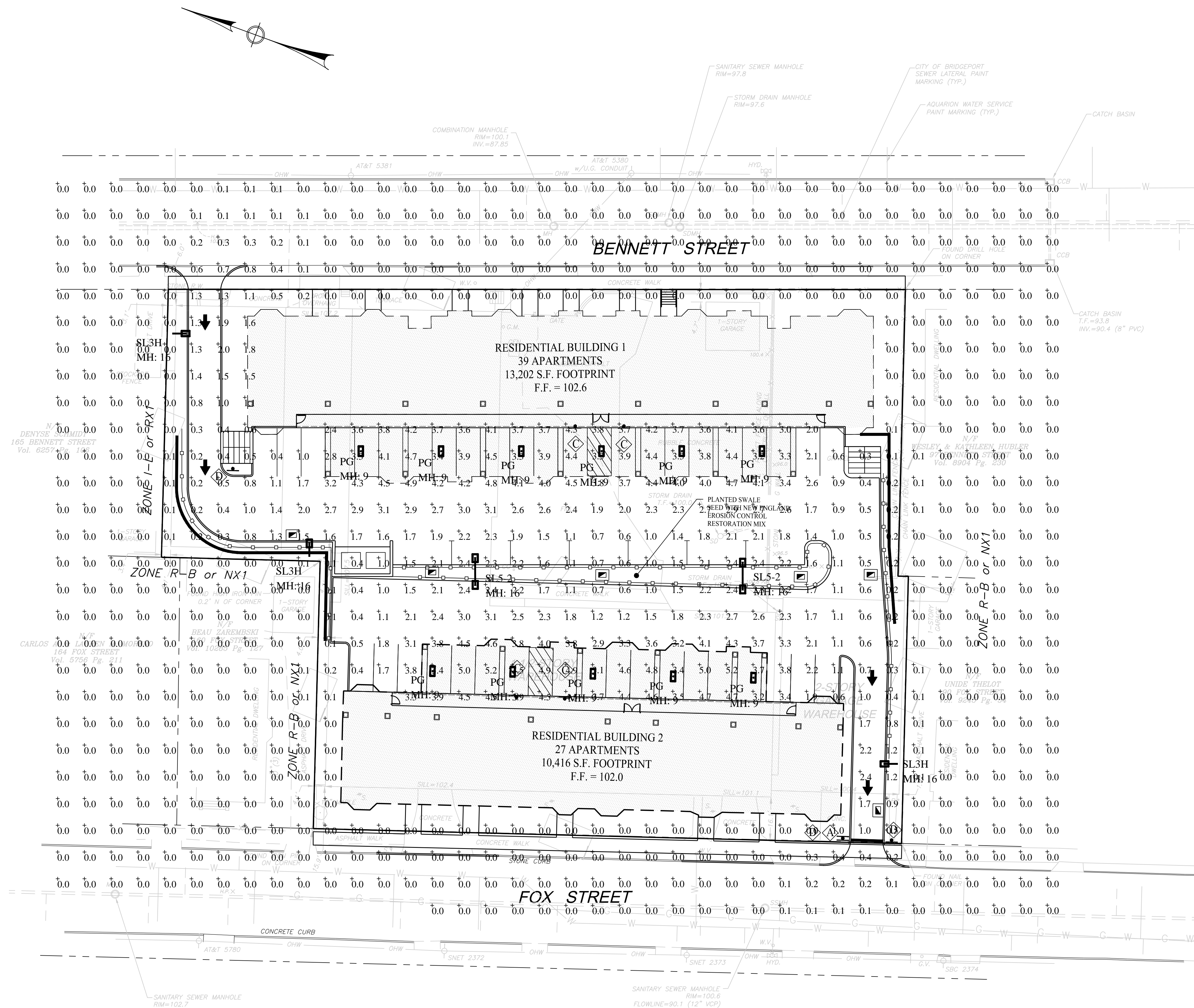
LIGHTING PLAN

DESIGNED BY: PMR	SCALE: 1"=40'
DRAWN BY: SFS	DATE: 7-15-2022
CHECKED BY: MJS	PROJECT NUMBER: 2666
CAD FILE: R:\2666\dwg	

SEAL

SHEET NUMBER

SP-8

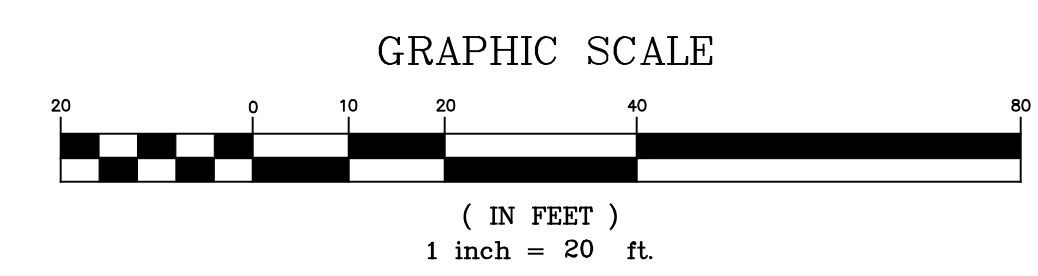


Greg Loda / Jim Zemola
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email Address : gloda@lightingaffiliates.com

LEGEND

- EXISTING EDGE OF PAVEMENT
- - - PROPOSED EDGE OF PAVEMENT
- - - - PROPERTY LINE
- - - - - STREAM
- - - - - WETLANDS
- PROPOSED BUILDING
- [23.4] x PROPOSED SPOT ELEVATION
- - - - - EXISTING 2' CONTOUR
- - - - - EXISTING 10' CONTOUR
- - - - - PROPOSED 2' CONTOUR
- ▣ EXISTING CATCH BASIN
- ▣ PROPOSED CATCH BASIN
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING STORM PIPES
- - - - - PROPOSED STORM PIPES
- - - - - EXISTING SANITARY PIPES
- - - - - PROPOSED SANITARY PIPES



Filename: 143 Bennett Street Site Lighting - Bridgeport.AGI (7/15/22)

Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
PG	11	PG	Single	4259	37	0.900	B3-U0-G1	9	Lithonia DSXPG LED 20C 530 30K TSM MVOLT PIR DWHXD - SLVSQ
SL3H	3	SL3H	Single	3343	33.21	0.900	B0-U0-G1	16	Lithonia DSX0 LED P1 30K 70CRI BLC3 MVOLT SPA PIR DBLXD - SSS 16 4C DM19AS DBLXD 16FT POLE
SL5-2	2	SL5-2	Back-Back	6191	45.14	0.900	B3-U0-G1	16	Lithonia DSX0 LED P2 30K 70CRI TSM MVOLT SPA PIR DBLXD - SSS 16 4C DM28AS DBLXD 16FT POLE

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.76	5.2	0.0	N.A.	N.A.
NORTHWEST DRIVEWAY	Illuminance	Fc	0.88	2.0	0.2	4.40	10.00
PARKING	Illuminance	Fc	2.74	5.2	0.4	6.85	13.00
SOUTHEAST DRIVEWAY	Illuminance	Fc	0.85	2.4	0.2	4.25	12.00