




# PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** Extra Space Properties Two, LLC
2. Is the Applicant's name Trustee of Record? Yes \_\_\_\_\_ No X  
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 2101 Commerce Drive, Bridgeport, CT 06605  
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 18/1234 Lot No. 1/X
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section: \_\_\_\_\_  
**(Attach copies of Amendment)**
6. Description of Property (Metes & Bounds): 160' x 220' x 160.78' x 229.15'
7. Existing Zone Classification: MX2
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: To construct a three-story self-service storage facility and an additional one-story self-service storage facility on a vacant lot.

Approval(s) requested: Special permit, coastal site plan review and site plan review

**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_  
**Print Name:** \_\_\_\_\_

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:**   
**Print Name:** Chris Russo

Mailing Address: Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824  
Phone: 203-528-0590 Cell: 203-528-0590 Fax: 203-576-6626  
E-mail Address: chris@russorizio.com

\$ \_\_\_\_\_ Fee received Date: \_\_\_\_\_ Clerk: \_\_\_\_\_

**THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST**

- |                                                                                                                   |                                                           |                                                          |
|-------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------|----------------------------------------------------------|
| <input checked="" type="checkbox"/> Completed & Signed Application Form                                           | <input checked="" type="checkbox"/> A-2 Site Survey       | <input checked="" type="checkbox"/> Building Floor Plans |
| <input checked="" type="checkbox"/> Completed Site / Landscape Plan                                               | <input checked="" type="checkbox"/> Drainage Plan         | <input checked="" type="checkbox"/> Building Elevations  |
| <input checked="" type="checkbox"/> Written Statement of Development and Use                                      | <input checked="" type="checkbox"/> Property Owner's List | <input type="checkbox"/> Fee                             |
| <input checked="" type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) |                                                           |                                                          |

**PROPERTY OWNER'S ENDORSEMENT OF APPLICATION**

<u>Extra Space Properties Two, LLC</u>		<u>03/30/2023</u>
Print Owner's Name	Owner's Signature	Date
_____	_____	_____
Print Owner's Name	Owner's Signature	Date

Lisa S. Broder\*  
LBroder@russorizio.com  
Colin B. Connor  
Colin@russorizio.com  
Robert G. Golger  
Bob@russorizio.com  
David K. Kurata  
DKurata@russorizio.com  
Stanton H. Lesser+  
Stanton@russorizio.com  
Katherine M. Macol  
Kathy@russorizio.com  
Victoria L. Miller\*  
Victoria@russorizio.com  
Anthony J. Novella\*  
Anovella@russorizio.com



10 Sasco Hill Road, Fairfield, CT 06824  
Tel 203-254-7579 or 203-255-9928  
Fax 203-576-6626  
5 Brook St., Suite 2B, Darien, CT 06820  
Tel 203-309-5500  
[www.russorizio.com](http://www.russorizio.com)

Leah M. Parisi  
Leah@russorizio.com  
William M. Petroccio\*  
WPetro@russorizio.com  
Raymond Rizio\*  
Ray@russorizio.com  
Christopher B. Russo  
Chris@russorizio.com  
Robert D. Russo\*  
Rob@russorizio.com  
John J. Ryan+  
John@russorizio.com  
Jane Ford Shaw  
Jane@russorizio.com  
Vanessa R. Wambolt  
Vanessa@russorizio.com  
\* Also Admitted in NY  
\* Also Admitted in VT  
+ Of Counsel

March 31, 2023

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604

**Re: Application for Special Permit, Coastal Site Plan Review and Site Plan Review –  
2101 Commerce Drive**

Dear Mr. Boucher:

Please accept this Application to the Bridgeport Planning and Zoning Commission for special permit, coastal site plan review and site plan review for the property located at 2101 Commerce Drive (the "Site") in the MX2 Zone.

**Proposed Development & Use**

The Applicant proposes to construct a three-story indoor self-service storage facility and an additional one-story indoor self-service storage facility on the Site. The Site currently contains parking along with access easements to the neighboring self-service storage facility to the east. It is located within the MX2 Zone. The Site is located on Commerce Drive just east of the border with the Town of Fairfield and contains 34,854 SF, or 0.8 acres. The railroad tracks are located on the south side of the Site and Interstate 95 is directly to the north. Vehicle lots are also located to the west and north of the Site. The Site is subject to an access easement to the abutting self-service storage facility that runs along the front of the Site in the area of the Primary Street Build-to Zone ("Access Easement").

The Applicant proposes to construct a three-story indoor self-service storage facility and an additional one-story indoor self-service storage facility. The proposed buildings will be set back from the Primary Street Build-to Zone due to Access Easement. The Applicant is not permitted to build on the Access Easement. In addition, there is a rather steep grade

change from Commerce Drive to the Site. The building is located beyond the access driveway where the Site begins to level off in grade.

The larger L-shaped building will contain a floor area of 32,073 SF over its Three (3) stories with a ground floor area of 10,883 SF. The upper floor will be accessed via Two (2) elevators and Two (2) stairwells. The smaller rectangular building will be one-story and contain 3,716 SF. A covered loading area will be located within the “joint” of the L-shaped building. Gates will control access to this area. A two-way drive aisle will wrap the one-story building for ease of access. Eleven (11) parking spaces will be provided in the front yard, which is more than sufficient parking for the proposed use. Both buildings will feature ground floor storage units with access via an overhead door leading directly to the outside.

The design of the proposed building is in accordance with the Regulations. The street facades of both buildings will feature extensive transparency. The buildings will feature a mix of glass, masonry block and metal panels. The design and color scheme will complement the existing adjacent self-storage facility. The proposed buildings will seamlessly fit in with the character of the neighborhood. The proposed use is a permitted use in the MX2 Zone via a Special Permit.

### **Special Permit and Site Plan Review**

The Petition satisfies the Section 14-2-5 Site Plan Review standards of the Regulations. The design of the proposed building and landscaping create a harmonious building-street interaction providing a tremendous improvement to the existing streetscape. The scale and proportion of the building conform to the MX2 Zone Development Standards and the Petitioner has received the necessary variances to be fully compliant with the Regulations. The proposed use is permitted in the MX2 Zone via Special Permit and in accordance with the master plan of conservation and development. The proposed use and building replace a long vacant and underutilized Site. The Site abuts another indoor self-service storage facility and is an extremely well-buffered site.

The proposed design of the building and its proximity to the highway system will be a great asset for residents. The Petition proposes sufficient off-street parking and accessible spaces. It will not impair future development in the area. A similar facility abuts the Site. It will not depreciate the value of any nearby properties. In addition, as detailed below, it will not have an environmental impact on the Long Island Sound.

### **Coastal Site Plan Review**

The Petition also complies with Section 14-3 of the Regulations regarding coastal site plan review. While the Site is located within the coastal boundary, it is Two hundred and sixty-five feet (655') from Ash Creek, which is the nearest coastal resource. Buildings and streets exist between the coastal resource and the Site. It has no connection to the coastal resource but for being included within its boundary. There are no natural features associated with the coastal resource on the Site. As stated above, the Petition fully complies with the

site plan review standards of the Regulations. The Petition poses no danger or threat to coastal resources and it has no potential adverse impacts. The proposed building and Site improvements will all be constructed in accordance with current codes and regulations, including appropriate stormwater drainage systems. Appropriate sediment and erosion controls, such as silt fencing and anti-tracking aprons, will be utilized during construction.

For these reasons, we respectfully request approval of the above-stated variances for the Site.

Sincerely,

Christopher Russo



# 54CITY OF BRIDGEPORT

Application Form

## Municipal Coastal Site Plan Review For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

### Section I: Applicant Identification

Applicant: <u>Extra Space Properties Two, LLC</u>	Date: <u>03/30/2023</u>
Address: <u>c/o Russo &amp; Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT</u>	Phone: <u>203-528-0590</u>
Project Address or Location: <u>2101 Commerce Drive, Bridgeport, CT</u>	
Interest in Property: <input checked="" type="checkbox"/> fee simple	<input type="checkbox"/> option
	<input type="checkbox"/> lessee
	<input type="checkbox"/> easement
	<input type="checkbox"/> other (specify) _____
List primary contact for correspondence if other than applicant:	
Name: <u>Chris Russo, Russo &amp; Rizio, LLC</u>	
Address: <u>10 Sasco Hill Road</u>	
City/Town: <u>Fairfield</u>	State: <u>CT</u> Zip _____
Code: <u>06824</u>	
Business Phone: <u>203-528-0590</u>	
e-mail: <u>Chris@russorizio.com</u>	

### Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Stormwater treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

### Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

### Part I: Site Information

1. Street Address or Geographical Description:

City or Town: Bridgeport

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)?  YES  NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:  
Ash Creek is located approximately 265' West from the Site. There is no adjacent water.

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:  
The Site is currently vacant. The Site is located in the MX2 Zone. A car dealership is located to the west and a vehicle storage lot is located across Commerce Drive. Railroad tracks are located to the south of the Site.

5. Indicate the area of the project site: 34,854 acres or  square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

- Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
- Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.
- Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d)  Yes  No

### Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The Petitioner proposes to construct a three-story indoor self-service storage facility and an additional one-story indoor self-service storage facility along with associated Site improvements. The development will be completed in one phase in an anticipated 18-24 months.

---

---

---

---

---

---

---

---

---

---

**Part II.B.: Description of Proposed Stormwater Best Management Practices**

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Storm water run-off from the buildings and the driveway and parking areas will be treated with a subsurface system. The primary stormwater treatment will be implemented as to Stormwater Best Management Practice.

---

---

---

---

---

### Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

\* General Coastal Resource policy is applicable to all proposed activities



## Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):  
Ash Creek, which is the closest coastal resource, is located over 265' from the Site.

The proposed project complies with CGS Sec. 22a-92(a)(1) "...by promoting economic growth without significantly disrupting the environment...", with CGS Sec. 22a-92(b)(2)(F) "...manage coastal hazard areas to minimize hazards to property..." and with CGS Sec. 22a-92(c)(2)(B) "...maintain patterns of water circulation in the placement of drainage control structures..."

## Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development\* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- 9 Water-Dependent Uses\*\* - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);  
Definition CGS Section 22a-93(16)
- 9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- 9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- 9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- 9 Boating - CGS Section 22a-92(b)(1)(G)
- 9 Fisheries - CGS Section 22a-92(c)(1)(I)
- 9 ~~Adjacent Water within 425' of the Site~~ - CGS Sections 22a-92(a)(6), 22a-92(c)(1)(j) and 22a-92(c)(1)(K)
- 9 Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- 9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- 9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- 9 Solid Waste - CGS Section 22a-92(a)(2)
- 9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- 9 Cultural Resources - CGS Section 22a-92(b)(1)(J)
- 9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

\* General Development policies are applicable to all proposed activities

\*\* Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

## Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. Stormwater treatment is proposed which will help reduce

erosion impacts as well as provide water infiltration. This project will be limited to the confines of the Site and will be completed within

Twenty-four (24) months. All disturbed pervious areas will be loamed, seeded and planted upon completion of construction.

## Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

*Please complete this section for all projects.*

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

## Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

There is no proposed activity that will qualify as a water-dependent use as there is no adjacent water within 265' of the Site.

---



---



---



---



---



---



---



---



---



---

\*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.



# Secretary of the State of Connecticut Certificate of Legal Existence

Certificate of Legal Existence Certificate

Date Issued: March 21, 2023

I, the Connecticut Secretary of the State, and keeper of the seal thereof, do hereby certify that the below limited liability company organized under the laws of United States / DE and transacting business in the state of Connecticut filed an application for certificate of registration to transact business in this office.

A certificate of withdrawal of registration has not been filed, and so far, as indicated by the records of this office, such limited liability company is authorized to transact business in Connecticut.

## Business Details

Business Name in State of Formation	EXTRA SPACE PROPERTIES TWO LLC
Name used to transact Business in Connecticut	EXTRA SPACE PROPERTIES TWO LLC
Business ALEI	US-CT.BER:1122249
Registration Date	10/25/2013



Secretary of the State

Business ALEI: US-CT.BER:1122249

Note: To verify this certificate, visit [Business.ct.gov](http://Business.ct.gov)

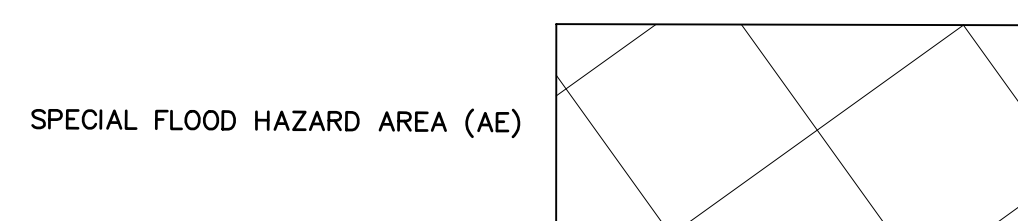
Page 1 of 1

Certificate Number: C-00086080

**PROPERTIES WITHIN 100' OF 2101 COMMERCE DRIVE**

<b>LOCATION</b>	<b>OWNER</b>	<b>ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP</b>
2101 COMMERCE DR	EXTRA SPACE PROPERTIES TWO LLC	P O BOX 320099	ALEXANDRIA	VA	22320
2170 COMMERCE DR	DERI DAVID A JR	2170 COMMERCE DR	BRIDGEPORT	CT	06605
2155 COMMERCE DR	ONE COMMERCE DRIVE LLC	2155 COMMERCE DR	BRIDGEPORT	CT	06605

**LEGEND**

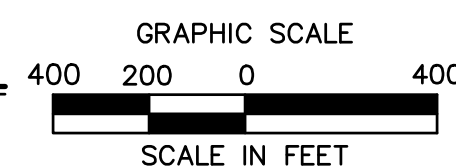


NOTE: THE SUBJECT PARCEL IS LOCATED IN ITS ENTIRETY WITHIN THE COASTAL BOUNDARY.



**COASTAL AREA MANAGEMENT ZONE**

MAP REFERENCE: "COASTAL RESOURCES" DATED 1979, PREPARED BY COASTAL AREA MANAGEMENT PROGRAM, CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION.



**NOTE:**

ALL IMMEDIATELY ADJACENT PROPERTIES ARE WITHIN CAM ZONE.

**ON-SITE AND ADJACENT COASTAL LAND RESOURCES:**

**A. COASTAL 'FLOOD' HAZARD AREA:**

100 YEAR COASTAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). ON THOSE COASTAL ISLANDS CURRENTLY UNMAPPED BY FEMA, THE FLOOD HAZARD AREA IS CONSERVATIVELY APPROXIMATED BY THE 10' CONTOUR INTERVAL.

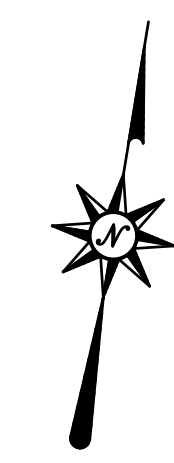
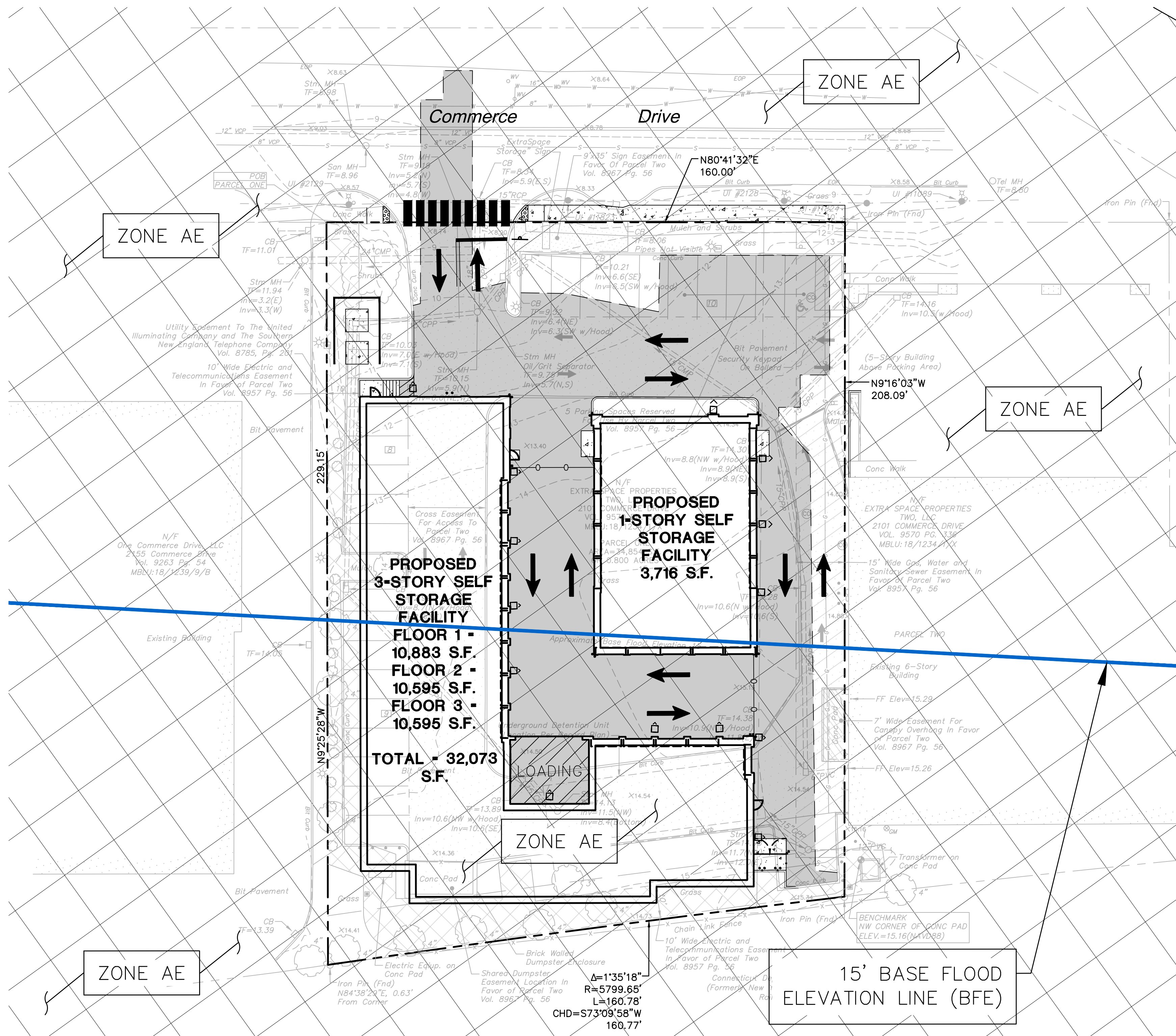
**B. SHORELANDS:**

UPLAND AREAS AT ELEVATIONS IN EXCESS OF THE 100 YEAR STILL WATER FLOOD LEVEL AND LOCATED WITHIN THE COASTAL BOUNDARY.

**NEARBY COASTAL WATERS:**

**EM. ESTUARINE EMBAYMENTS:**

PROTECTED COASTAL WATER BODIES WITH AN OPEN CONNECTION TO THE SOUND INCLUDING TIDAL RIVERS, BAYS, COVES, AND LAGOONS.



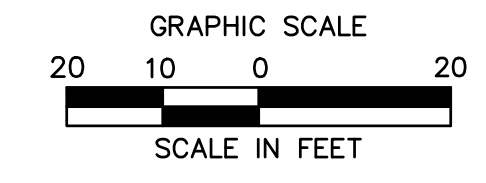
355 Research Parkway  
Meriden, CT 06450  
(203) 630-1406

**PROPOSED SELF STORAGE FACILITY**  
2101 COMMERCE DRIVE  
BRIDGEPORT, CONNECTICUT

REVISIONS	No.	Date	Desc.

Designed: J.J.S.  
Drawn: M.A.G.  
Reviewed:   
Scale: 1"=20'  
Project No.: 2201222  
Date: 02/24/2023  
CAD File: CAM220122201  
Title: **COASTAL AREA MANAGEMENT PLAN**  
Sheet No.:

FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

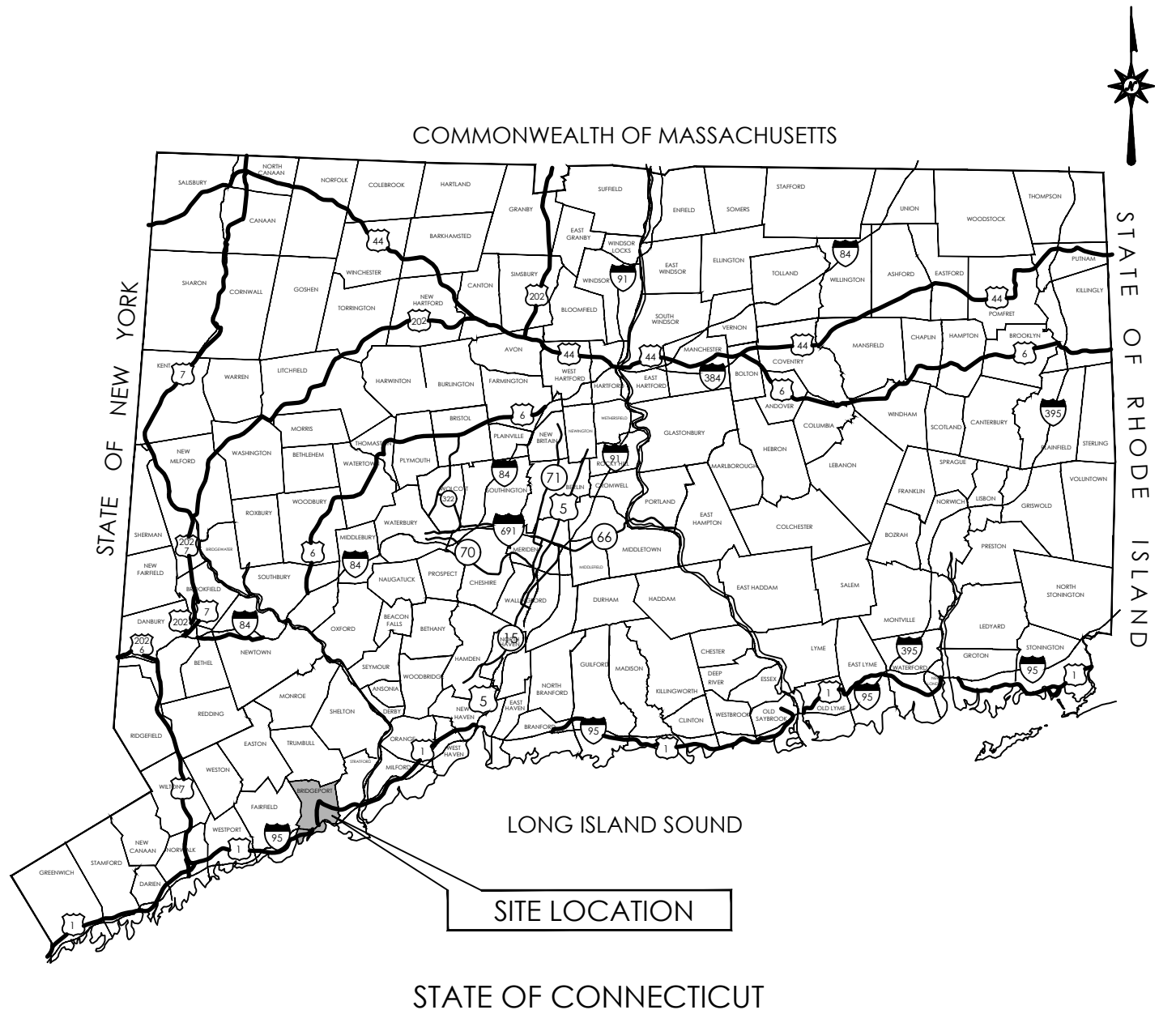


**CAM-1**

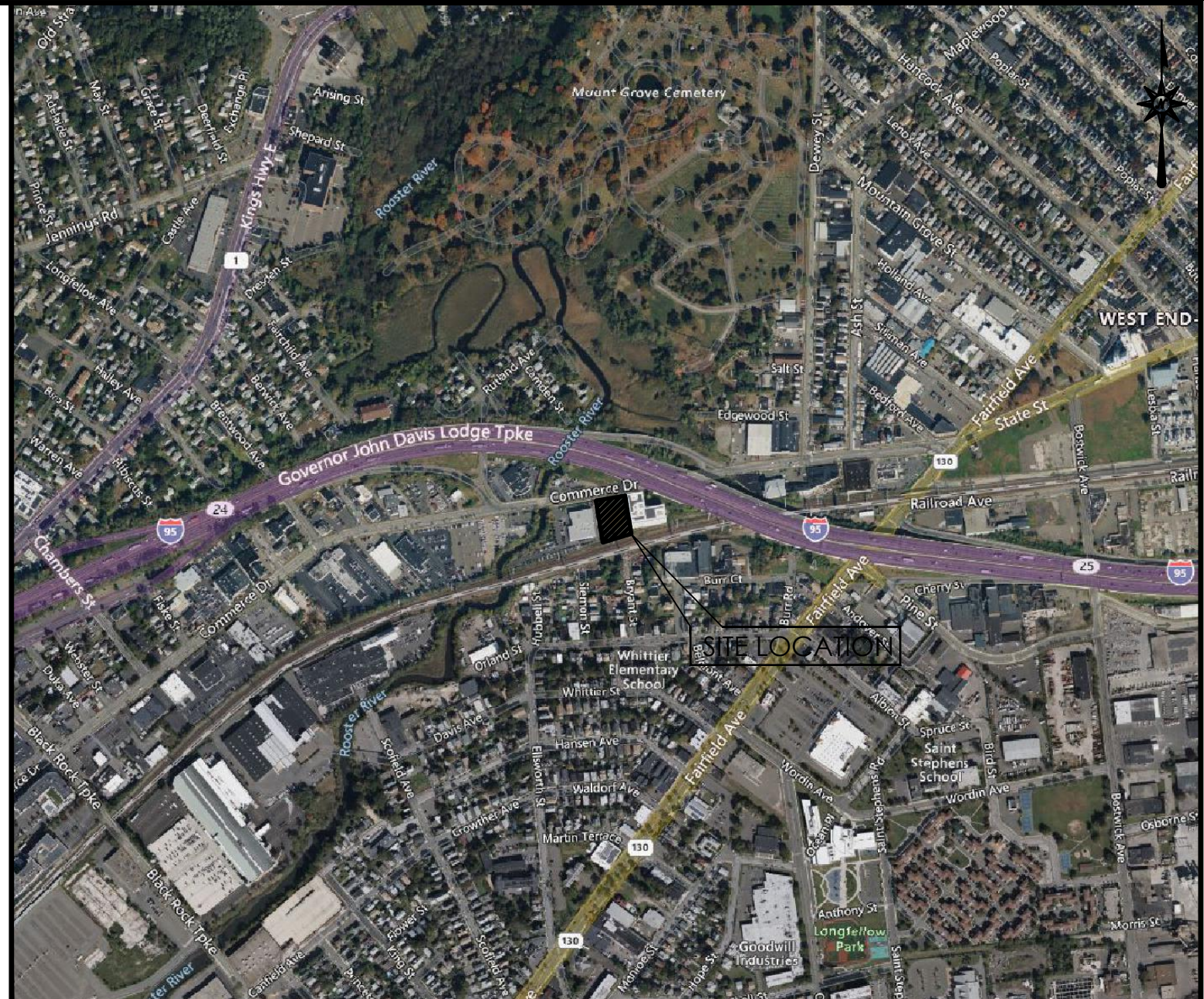
© 2023 BL COMPANIES, INC. THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF BL COMPANIES.

# LAND DEVELOPMENT PLANS FOR PROPOSED SELF STORAGE FACILITIES

2102 STATE STREET EXTENSION  
BRIDGEPORT, CONNECTICUT



LOCATION MAP  
N.T.S.



VICINITY MAP  
SCALE: 1"=800'

PREPARED FOR:  
EXTRA SPACE STORAGE  
2795 E COTTONWOOD PKWY #400  
SALT LAKE CITY, UTAH 84121

PREPARED BY:



355 RESEARCH PARKWAY  
MERIDEN, CONNECTICUT 06450  
(203) 630-1406  
(203) 630-2615 Fax

FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

CONTENTS

	TITLE SHEET
AL-1	ALTA/NSPS LAND TITLE SURVEY
DM-1	DEMOLITION PLAN
SP-1	SITE PLAN
GD-1	GRADING AND DRAINAGE PLAN
SU-1	SITE UTILITIES PLAN
EC-1	SEDIMENT AND EROSION CONTROL PLAN
EC-2	SEDIMENT AND EROSION CONTROL NOTES
EC-3	SEDIMENT AND EROSION CONTROL DETAILS
LL-1	LANDSCAPE PLAN
LL-2	LANDSCAPE NOTES AND DETAILS
LP-1	LIGHTING PLAN
GN-1	GENERAL NOTES
DN-1,2,3	DETAIL SHEETS

SUBCONSULTANTS:

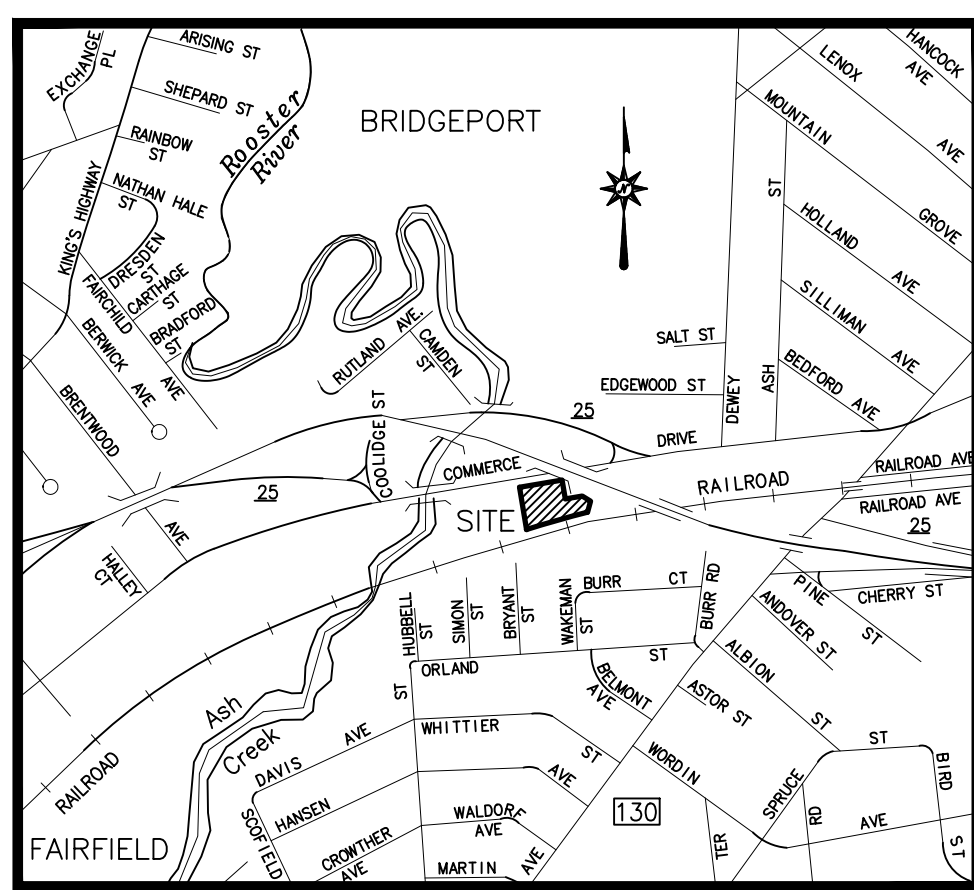
DEVELOPER:  
EXTRA SPACE STORAGE  
2795 E COTTONWOOD PKWY #400  
SALT LAKE CITY, UTAH 84121

OWNER:  
EXTRA SPACE PROPERTIES TWO LLC  
PO BOX 71870  
6890 S 2300 E  
SALT LAKE CITY, UT 84171

DATES

ISSUE DATE: FEBRUARY 17, 2023





**LOCATION MAP**

NOT TO SCALE

**RECORD LEGAL DESCRIPTION**

PARCEL ONE:

ALL THAT TRACT OR PARCEL OF LAND SITUATED IN THE CITY OF BRIDGEPORT, COUNTY OF FAIRFIELD, AND STATE OF CONNECTICUT, CONTAINS 34,854 SQUARE FEET OR 0.800 ACRES AND MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY STREET LINE OF COMMERCE DRIVE, SAID POINT BEING AT THE DIVISION LINE OF LAND NOW OR FORMERLY CLS BRIDGEPORT LLC AND LAND NOW OR FORMERLY SELF STORAGE COMMERCE FAIRFIELD LLC;

THEN RUNNING EASTERLY ALONG SAID SOUTHERLY STREET LINE OF COMMERCE DRIVE NORTH 80°41'32" EAST A DISTANCE OF 160.00 FEET TO A POINT;

THENCE RUNNING SOUTHERLY THROUGH SAID LAND OF SELF STORAGE COMMERCE FAIRFIELD LLC SOUTH 91°16'03" EAST A DISTANCE OF 208.09 FEET TO A POINT ON THE NORTHERLY LINE OF LAND NOW OR FORMERLY NEW YORK, NEW HAVEN & HARTFORD RAILROAD COMPANY;

THENCE RUNNING WESTERLY ALONG SAID LAND OF NEW YORK, NEW HAVEN & HARTFORD RAILROAD COMPANY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 5,799.65 FEET, A DELTA ANGLE OF 1°35'18", AND ARC LENGTH OF 160.78 FEET AND A CHORD BEARING SOUTH 73°09'58" WEST A DISTANCE OF 160.77 FEET TO A POINT;

THENCE RUNNING NORTHERLY ALONG SAID LAND OF CLS BRIDGEPORT LLC NORTH 9°25'28" WEST A DISTANCE OF 229.14 FEET TO THE POINT AND PLACE OF BEGINNING.

**FLOOD ELEVATION DATUM**

2101 Commerce Drive  
Bridgeport, CT  
Flood Elevation Datum Comparison

Datum	Base Flood Elevation	Delta from City Datum
NAVD 88	15	-14.6
NGVD 29	16.1	-13.5
City of Bridgeport	29.6	

**BULK AREA REQUIREMENTS**

LOCATION: 2101 COMMERCE DRIVE BRIDGEPORT, CONNECTICUT		
ZONE: MX2 (MIXED-USE CENTERS)		
ITEM	REQUIREMENTS	EXISTING (PARCEL ONE)
MINIMUM LOT AREA	NONE REQUIRED	34,854 S.F.
MINIMUM LOT WIDTH	NONE REQUIRED	160 FT
PRIMARY STREETWALL	75 PERCENT MIN	0 PERCENT
MINIMUM FRONT SETBACK	0 FT MIN / 152 FT MAX	±9.5 FT
MINIMUM SIDE SETBACK	0 FT	±14 FT
MINIMUM REAR SETBACK	15 FT	±4 FT
MAXIMUM BUILDING HEIGHT	2 STORY MIN / 3 STORY MAX	N/A
MAXIMUM SITE COVERAGE	95 PERCENT	±48 PERCENT

**GENERAL NOTES**

- A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
- B) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- C) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY.
- D) THE TYPE OF SURVEY PERFORMED IS AN ALTA/NSPS LAND TITLE SURVEY AND IS INTENDED TO DEPICT THE EXISTING CONDITIONS AND BOUNDARY WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS, VISIBLE UTILITIES, ROADWAYS AND CONTOURS.
- NORTH ARROW AND BEARINGS REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83 - EPOCH 2011) AND ARE BASED ON GNSS OBSERVATIONS PERFORMED BY BL COMPANIES DURING NOVEMBER, 2022 REFERENCED TO THE C.O.R.S. NETWORK BASE STATION "CTDA" LOCATED IN DARIEN, CT HAVING THE FOLLOWING PUBLISHED VALUES:  
STATION: CTDA (DH5827)  
COORDINATES (US FT): N: 585.6353.42, E: 791.193.16  
ELLIPSOID HEIGHT (US FT): -43.536
- ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88). THE DATUM WAS DETERMINED BY USING GEOID 18 AND IS BASED ON GNSS OBSERVATIONS PERFORMED BY BL COMPANIES IN NOVEMBER, 2022 AND REFERENCED TO C.O.R.S. BASE STATION "CTDA" LOCATED IN DARIEN, CT HAVING THE PUBLISHED COORDINATE AND ELEVATION VALUES AS DESCRIBED IN NOTE 2 ABOVE.
- PARCEL IS LOCATED IN A SPECIAL FLOOD HAZARD AREA "AE", (SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD - BASE FLOOD ELEVATIONS DETERMINED) AS DEPICTED ON F.I.R.M. MAP NO. 09001C0436G; PANEL 436 OF 626. DATED: JULY 8, 2013.
- THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER CONNECTICUT STATE LAW THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL BEFORE YOU DIG 1-800-922-4455.
- NO ZONING REPORT PROVIDED AT TIME OF SURVEY. ZONING INFORMATION FOR PARCEL TAKEN FROM THE CITY OF BRIDGEPORT: ZONING MAP WITH EFFECTIVE DATE: JANUARY 1, 2022.
- TOTAL PARKING SPACES = 10. ONE PARKING SPACE DESIGNATED AS HANDICAPPED.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- NO KNOWN CHANGES IN STREET RIGHT OF WAY LINES. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

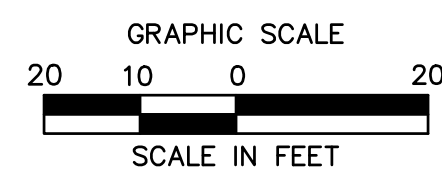
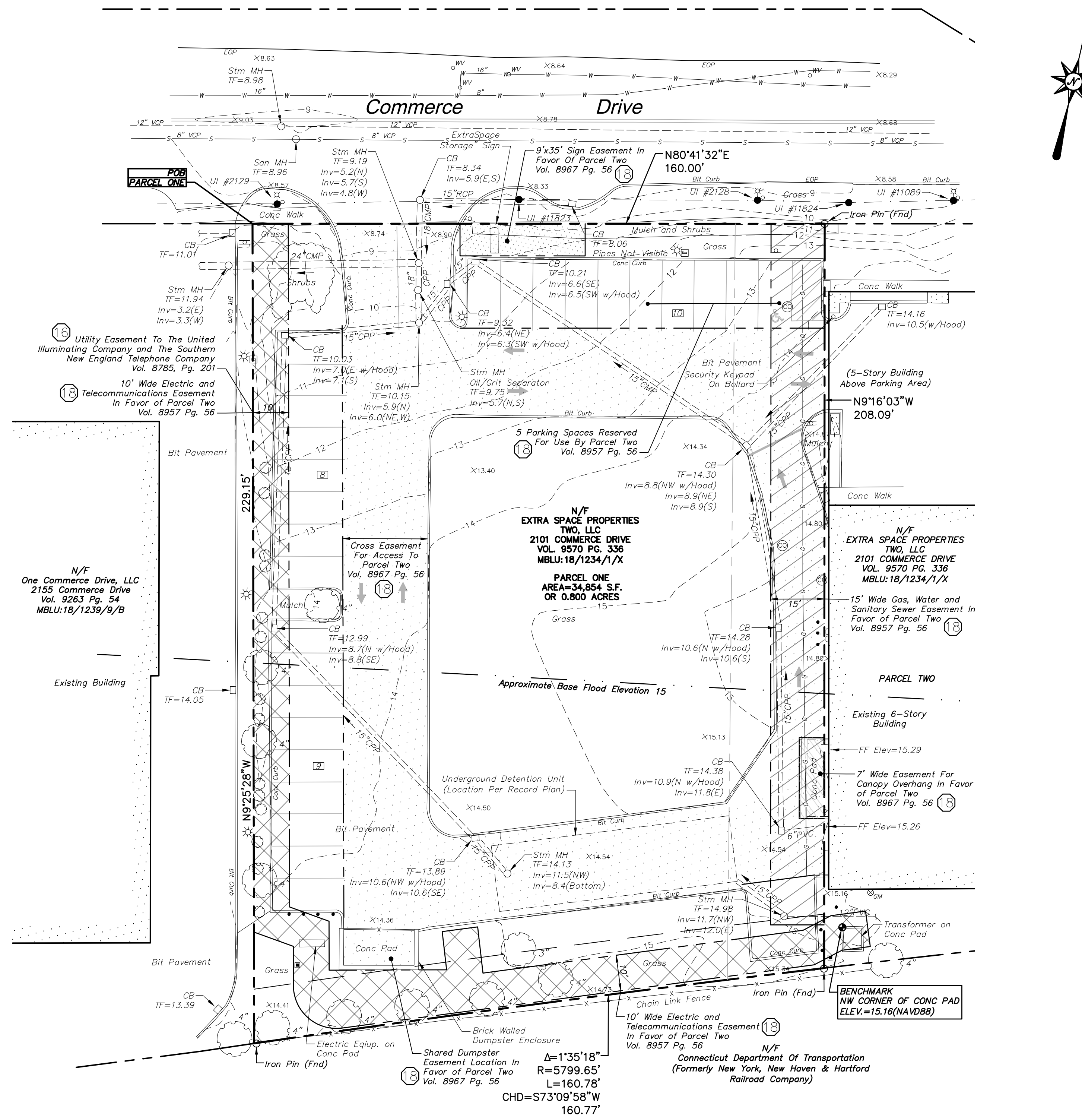
**FIRST AMERICAN TITLE INSURANCE COMPANY,  
SCHEDULE B, SECTION II:**

TITLE COMMITMENT REFERENCE NUMBER	RECORDING REFERENCE	DESCRIPTION	STATUS ON PLAT
8	V 997 P 25	COVENANT SET FORTH IN DEED FROM THE NEW YORK, NEW HAVEN AND HARTFORD RAILROAD COMPANY.	DOES NOT AFFECT PROPERTY
9	V 1348 P 275	EASEMENT BY ALFRED CAPOZZIELLO IN FAVOR OF AMERICAN EQUITIES CORPORATION.	DOES NOT AFFECT PROPERTY
10	V 3652 P 255	TEMPORARY WORK AREA EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT.	DOES NOT AFFECT PROPERTY
11	V 4416 P 327	TEMPORARY WORK AREA EASEMENT IN FAVOR OF THE STATE OF CONNECTICUT.	DOES NOT AFFECT PROPERTY
12	V 7212 P 97 V 7593 P 283	CERTIFICATE OF CONDEMNATION IN FAVOR OF THE STATE OF CONNECTICUT, AS AMENDED.	DOES NOT AFFECT PROPERTY
13	V 8506 P 155	APPROVAL FOR A VARIANCE OR SPECIAL PERMIT.	AFFECTS PROPERTY NOT PLOTTABLE
14	V 8506 P 157	APPROVAL FOR A VARIANCE OR SPECIAL PERMIT.	AFFECTS PROPERTY NOT PLOTTABLE
15	V 8506 P 159	APPROVAL FOR A VARIANCE OR SPECIAL PERMIT.	AFFECTS PROPERTY NOT PLOTTABLE
16	V 8785 P 201	UTILITY EASEMENT IN FAVOR OF THE UNITED ILLUMINATING COMPANY AND THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY a/b/a AT&T CONNECTICUT.	PLOTTED
17	V 8882 P 117	VARIANCE GRANTED BY THE CITY OF BRIDGEPORT ZONING BOARD OF APPEALS.	AFFECTS PROPERTY NOT PLOTTABLE
18	V 8967 P 56	DECLARATION OF EASEMENT.	PLOTTED
19	V 54 P 350	NOTES, NOTATIONS, FACTS, CONDITIONS AND EASEMENTS SHOWN ON MAP	PLOTTED

REFERENCE: FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1131455-SLC1, COMMITMENT DATE: JUNE 1, 2022

**LEGEND**

- Property Line
- Easement Line
- Brushline
- Major Contour
- Minor Contour
- Fence
- Overhead Wires
- Sanitary Sewer
- Storm Sewer
- Water Line
- Handhole
- Electric Meter
- Utility Pole
- Utility Pole w/ Light
- Guy Wire
- Light Pole
- Gas Meter
- Cleanout
- Catch Basin
- Manhole
- Water Valve
- Fire Connection - Double
- Sign
- Bollard
- Handicap Symbol
- Irrigation Control Box
- Shrub
- Deciduous Tree
- Coniferous Tree



**MAP REFERENCES**

- "SUBDIVISION MAP, LAND OF SELF STORAGE COMMERCE FAIRFIELD LLC, 2101 COMMERCE DRIVE, BRIDGEPORT, CONNECTICUT". SCALE: 1"=20'; DATE: 3/7/2013, REVISED 12/30/2013; SHEET NO. SB-1. PREPARED BY BL COMPANIES, MERIDEN, CT AND FILED IN THE BRIDGEPORT TOWN CLERK'S OFFICE IN VOLUME 54, PAGE 350.
- "ALTA/NSPS LAND TITLE SURVEY, ESPAS-WELLS FARGO, SURVEYOR CERTIFICATION, ES-#588, 2101 COMMERCE DRIVE, BRIDGEPORT, CT 06605, COUNTY OF FAIRFIELD". SCALE: 1"=20'; DATE: 6/8/2015, REVISED 7/13/2015; SHEET NO. 1 OF 1. SURVEY PREPARED BY FIRST ORDER, LLC, EASTON, PA AND PROVIDED BY THE CLIENT.

**SURVEY CERTIFICATION**

TO FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2-5, 6(a), 6(b), 7(a), 7(b)(1), 8-10, 11(a), 13, 14 AND 16-18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 11/15/2022.

DATED: \_\_\_\_\_ SIGNED: PATRICK J. CORLESS, JR., L.S. #70015



355 Research Parkway  
Meriden, CT 06450  
(203) 630-1406  
(203) 630-2615 Fax

LAND OF  
**EXTRA SPACE PROPERTIES TWO, LLC**  
2101 COMMERCE DRIVE  
BRIDGEPORT, CONNECTICUT

REV/SIONS	No.	Date	Desc.
Surveyed	JW		
Drawn	JW		
Reviewed	PJC		
Scale	1"=20'		
Project No.	2201222		
Date	11/15/22		
Field Book	570		
CAD File:	AL220122201		

Title  
**ALTA/NSPS  
LAND TITLE  
SURVEY**

Sheet No.

**AL-1**









## LANDSCAPE NOTES

NOTES FOR LANDSCAPE ARCHITECT IN RED TO BE EDITED AND/OR DELETED BASED ON PROJECT CONDITIONS.  
LANDSCAPE NOTES TO BE REVIEWED AND APPROVED BY PROJECT LANDSCAPE ARCHITECT.

- THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE **SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN** FOR ALL OTHER INFORMATION. **(LA-CONFIRM PLAN REFERENCES)**
- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE. PRIOR TO DIGGING AND INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL CONTACT \_\_\_\_\_ 72 HOURS BEFORE COMMENCEMENT OF WORK AT (000)000-0000 AND VERIFY ALL UTILITY SYSTEM LOCATIONS.
- THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF **ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER**. AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT, CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR **ONE FULL YEAR** FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT. **(LA-CONFIRM GUARANTEE REQUIREMENT FOR PROJECT)**
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
- FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
- ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE **UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS**.
- IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
- LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
- PLANTING SOIL:

DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A **MINIMUM DEPTH OF 4"** OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS. **(LA TO CONFIRM DEPTH REQUIRED FOR PROJECT CONDITIONS)**.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL **MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING CRITERIA:**  
**(IF TESTING IS NOT FEASIBLE WITH PROJECT SCOPE, SPECIFIED SOIL MAY CONSIST SOLELY OF INCORPORATION OF BASIC AMENDMENTS. SEE ALTERNATIVE PLANTING SOIL NOTE AT RIGHT)**

- NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLODS, SODS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
- PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

ORGANIC CONTENT	3% – 6% FOR LAWN OR GRASS AREAS. 4% – 8% FOR TREE AND SHRUB PLANTERS. 8%-16% FOR RETENTION OR DETENTION BASINS. (BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)
PH	6.0 – 7.3
- NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.
- SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SO.IN.
- SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDE, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. HERBICIDE APPLICATOR MUST BE LICENSED IN THE **(INSERT NAME OF STATE OR COMMONWEALTH)**, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS.
- PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:

LOAM	- SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%.
	- SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%.
- BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:

	- SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.
	- SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR.
- MODIFICATION TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

12. PLANTING AMENDMENTS:  
APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.

13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR MORE. ALL PLANT MATERIALS ARE SUBJECT TO REVIEW AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

14. INSPECTION AND REVIEW:  
ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.

15. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)

	SPRING	FALL
EVERGREEN TREES AND SHRUBS	APRIL 1 TO JUNE 15	SEPTEMBER 1 TO OCTOBER 15
DECIDUOUS TREES AND SHRUBS	APRIL 1 TO JUNE 15	SEPTEMBER 15 TO NOVEMBER 15
GROUNDCOVERS	APRIL 1 TO JUNE 15	SEPTEMBER 1 TO OCTOBER 15
PERENNIALS	MAY 15 TO JUNE 15	SEPTEMBER 1 TO OCTOBER 15
BULBS	N/A	SEPTEMBER 15 TO NOVEMBER 15
SEED MIXES	PER MANUFACTURERS RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES	

**(LA TO CONFIRM PLANTING SEASONS FOR PARTICULAR REGION IN WHICH PROJECT IS LOCATED. DATES ABOVE ARE FOR TYPICAL STATE OF CONNECTICUT PROJECT).**

16. SEEDING MIXTURES: REFER TO SEED MIX NOTES. **(LA-DEPENDING ON PROJECT LOCATION AND SITE CONDITIONS, THE SEEDING MIXES NEEDED WILL CHANGE. THE SEEDING MIXTURE CAN BE ADDED TO THE LANDSCAPE NOTES OR REMAIN AS A STAND ALONE NOTES SECTION). SEEDED AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.**

17. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.

18. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.

19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE **LAWN SEED MIX. (LA TO CONFIRM SEED MIX)**

20. **[OPTIONAL NOTES THAT MAY BE ADDED]**

H. PROVIDE AND INSTALL LANDSCAPE EDGING AS NOTED ON DRAWING EQUAL TO "OLY-OLA SUM-EDGE 5" HEAVY DUTY BLACK POLYETHYLENE. (630-835-3033)

X. TERRASORB WATER MANAGEMENT POLYMERS OR APPROVED EQUAL SHALL BE USED AS A SOIL AMENDMENT AT THE MANUFACTURER'S RECOMMENDED RATE FOR SPECIFIC TREE AND SHRUB SIZES.

X. ALL SHADE TREE, BUFFER YARD AND OTHER LANDSCAPING REQUIRED BY LOCAL ORDINANCE OR ZONING SHALL BE PERPETUALLY MAINTAINED BY THE PROPERTY OWNER. ANY LANDSCAPING NEEDED TO MEET AN ORDINANCE OR ZONING REQUIREMENT THAT DIES, IS REMOVED, OR IS SEVERELY DAMAGED SHALL BE REPLACED BY THE CURRENT PROPERTY OWNER AS SOON AS IS PRACTICAL CONSIDERING GROWING SEASONS, WITH A MAXIMUM OF 150 DAYS.

## SEED MIX NOTES

LANDSCAPE ARCHITECT TO CONSULT SEED MANUFACTURERS IN REGION APPROPRIATE TO THE SITE FOR SPECIFIC SEED MIXES. AVAILABLE SEED MIXES CHANGE ANNUALLY AND AS SUCH MUST BE ROUTINELY UPDATED.

- A. LAWN SEEDING MIX:  
15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)  
25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)  
60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)  
SEEDING RATE: 5 LBS/1,000 S.F.  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- B. SOD – TUCKAHOE FESCUE TURF BY TUCKAHOE FARMS OR APPROVED EQUAL  
45% REBEL EXEDA TURF TYPE TALL FESCUE, 45% REBEL SENTRY TURF TYPE FALL FESCUE, 10% TUCKAHOE TURF BLUEGREASS BLEND  
  
FERTILIZATION: PER SOIL TEST AND SOD MANUFACTURERS RECOMMENDATIONS
- C. CONSERVATION SEED MIX –  
**(NEW ENGLAND – NO MAINTENANCE MIX APPROPRIATE FOR CUT/FILL, DETENTION BASIN SIDE SLOPES AND DISTURBED AREAS ADJACENT TO COMMERCIAL OR RESIDENTIAL PROJECTS).**  
NEW ENGLAND CONSERVATION/WLDLIFE MIX  
NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL
- SPECIES: VIRGINIA WILD RYE (ELYMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), CREEPING RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PANICLED LEAF TICK TREFOIL (DESMODIUM PANICULATUM), INDIAN GRASS, (SORGHASTRUM NUTANS), BLUE VERVAIN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYE SUSAN (RUDBECKIA HIRTA), COMMON SWEETWEEED (HELENIUM AUTUMALE), HEATH ASTER (ASTERILOLOSUS/SYMPHYOTRICHUM PILOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNANS).
- APPLICATION RATE: 25 LBS/ ACRE (1 LB PER 1,750 SF)  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

D. RESTORATION/EROSION CONTROL SEED MIX –  
**(NEW ENGLAND – NATIVE AND NATURALIZED GRASSES TO QUICKLY RE-VEGETATE DISTURBED SITES. FOR ROAD CUTS, STEEP SLOPES AND OTHER QUICK COVER RESTORATION PROJECTS).**  
NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES  
NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL

SPECIES: CREEPING RED FESCUE (FESTUCA RUBRA), CANADA WILD RYE (ELYMUS CANADENSIS), ANNUAL RYEGRASS (LOLIUM MULTIFLORUM), PERENNIAL RYEGRASS (LOLIUM PERENNE), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), INDIAN GRASS (SORGHASTRUM NUTANS), SWITCH GRASS (PANICUM VIRGATUM), UPLAND BENTGRASS (AGROSTIS PERENNANS).

APPLICATION RATE: 35 LBS/ACRE (1 LB PER 1,250 SF)  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

E. DETENTION BASIN RESTORATION MIX –  
**(NEW ENGLAND – FOR QUICK VEGETATIVE GROWTH AND LONG TERM ESTABLISHMENT OF NATIVE VEGETATION FOR DETENTION BASINS THAT HAVE OCCASIONAL INUNDATION BUT NOT STANDING WATER OR FLOODING).**  
NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASIN AND MOIST SITES  
NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL

SPECIES: RIVER BANK WILD RYE (ELYMUS RIPARIOSUS), CREEPING RED FESCUE (FESTUCA RUBRA), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), SWITCH GRASS (PANICUM VIRGATUM), UPLAND BENTGRASS (AGROSTIS PERENNANS), NODDING BUR MARIGOLD (BIDENS CERNUA), BLUE VERVAIN (VERBENA HASTATA), HOLLOW-STEM JOE PYE WEED (EUPATORIUM FISTULOSUM), NEW ENGLAND ASTER (ASTER NOVAEANGLIAE), BONESET (EUPATORIUM PERFORIATUM), SOFT RUSH (JUNCUS EFFUSUS), WOOL GRASS (SCIRPUS CYPHERNUS).

APPLICATION RATE: 35 LBS/ACRE: 1250 SQ FT/LB  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

F. WETLAND SEED MIX –  
**(NEW ENGLAND – FOR WETLAND RESTORATION SITES THAT ARE NOT PERMANENTLY FLOODED INCLUDING WET MEADOWS, SCRUB SHRUB, OR FORESTED WETLANDS. ALSO WELL SUITED FOR DETENTION BASIN BORDERS AND BOTTOM OF DETENTION BASINS NOT UNDER STANDING WATER).**  
NEW ENGLAND WETMIX (WETLAND SEED MIX)  
NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL

SPECIES: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERVAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA PALUSTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SCIRPUS ATROVIRENS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), FRINGED SEDGE (CAREX CRINITA), SOFT RUSH (JUNCUS EFFUSUS), SPOTTED JOE PYE WEED (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (GLYCERIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), MONKEY FLOWER (MIMULUS RINGENS).

APPLICATION RATE: 20 LBS/ACRE AT STORMWATER PONDS  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

CONSERVATION SEED MIX –  
**(GREATER EASTERN US – PERMANENT MEADOW MIX WHERE MOWING IS NOT ANTICIPATED)**  
ERNM-111 – ERNST NATIVE HABITAT FOR STRIP MINES MIX  
ERNST SEEDS OR APPROVED EQUAL

SPECIES: BIG BLUESTEM (ANDROPOGON GERARDII), SWITCH GRASS (PANICUM VIRGATUM), INDIAN GRASS (SORGHASTRUM NUTANS), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), BLACK EYE SUSAN (RUDBECKIA HIRTA), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), OXEYE SUNFLOWER (HELIOPSIS HELIANTHOIDES), SHOWY TICKTREFOL (DESMODIUM PANICULATUM), WILD BERGAMOT (MONARDA FISTULOSA), PANICLELEAF TICKTREFOIL (DESMODIUM PANICULATUM), NARROWLEAF MOUNTAINMINT (PYCNANTHEMUM TENUIFOLIUM), CANADA GOLDENROD (SOLIDAGO CANADENSIS).

APPLICATION RATE: 20 LBS/ACRE: 2000 SF/LB  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

RESTORATION/EROSION CONTROL SEED MIX –  
**(GREATER EASTERN US – NATIVE GRASS AND FORBS FOR STEEP SLOPES)**  
ERNM-181 – NATIVE STEEP SLOPE MIX WITH ANNUAL RYEGRASS  
ERNST SEEDS OR APPROVED EQUAL

SPECIES: INDIAN GRASS (SORGHASTRUM NUTANS), ANNUAL RYEGRASS (LOLIUM MULTIFLORUM), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), BIG BLUESTEM (ANDROPOGON GERARDII), CANADA WILD RYE (ELYMUS CANADENSIS), AUTUMN BENTGRASS (AGROSTIS PERENNANS), SWITCH GRASS (PANICUM VIRGATUM), DEERTONGUE (PANICUM CLANDESTINUM), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PURPLE CONEFLOWER (ECHINACHEA PURPUREA), PURPLETOP (TRIDENS FLAVUS), LANCELEAF COREOPSIS (COREOPSIS LANCEOLATA), BLACK EYE SUSAN (RUDBECKIA HIRTA), OXEYE SUNFLOWER (HELIOPSIS HELIANTHOIDES), WILD BERGAMOT (MONARDA FISTULOSA), SMOOTH BLUE ASTER (ASTER LAEVIS), NARROWLEAF MOUNTAINMINT (PYCNANTHEMUM TENUIFOLIUM), EARLY GOLDENROD (SOLIDAGO JUNCEA).

APPLICATION RATE: 20 LBS/ACRE: 2000 SF/LB  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

RESTORATION/EROSION CONTROL SEED MIX –  
**(GREATER EASTERN US – NATIVE GRASS AND FORBS FOR STEEP SLOPES)**  
ERNM-181 – NATIVE STEEP SLOPE MIX WITH ANNUAL RYEGRASS  
ERNST SEEDS OR APPROVED EQUAL

SPECIES: INDIAN GRASS (SORGHASTRUM NUTANS), ANNUAL RYEGRASS (LOLIUM MULTIFLORUM), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), BIG BLUESTEM (ANDROPOGON GERARDII), CANADA WILD RYE (ELYMUS CANADENSIS), AUTUMN BENTGRASS (AGROSTIS PERENNANS), SWITCH GRASS (PANICUM VIRGATUM), DEERTONGUE (PANICUM CLANDESTINUM), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PURPLE CONEFLOWER (ECHINACHEA PURPUREA), PURPLETOP (TRIDENS FLAVUS), LANCELEAF COREOPSIS (COREOPSIS LANCEOLATA), BLACK EYE SUSAN (RUDBECKIA HIRTA), OXEYE SUNFLOWER (HELIOPSIS HELIANTHOIDES), WILD BERGAMOT (MONARDA FISTULOSA), SMOOTH BLUE ASTER (ASTER LAEVIS), NARROWLEAF MOUNTAINMINT (PYCNANTHEMUM TENUIFOLIUM), EARLY GOLDENROD (SOLIDAGO JUNCEA).

APPLICATION RATE: 60 LBS/ACRE: 1000 SF/LB  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

DETENTION BASIN RESTORATION MIX –  
**(GREATER EASTERN US – FOR DETENTION BASINS WHERE MOWING IS NOT ANTICIPATED)**  
ERNM-183 – NATIVE DETENTION AREA MIX  
ERNST SEEDS OR APPROVED EQUAL

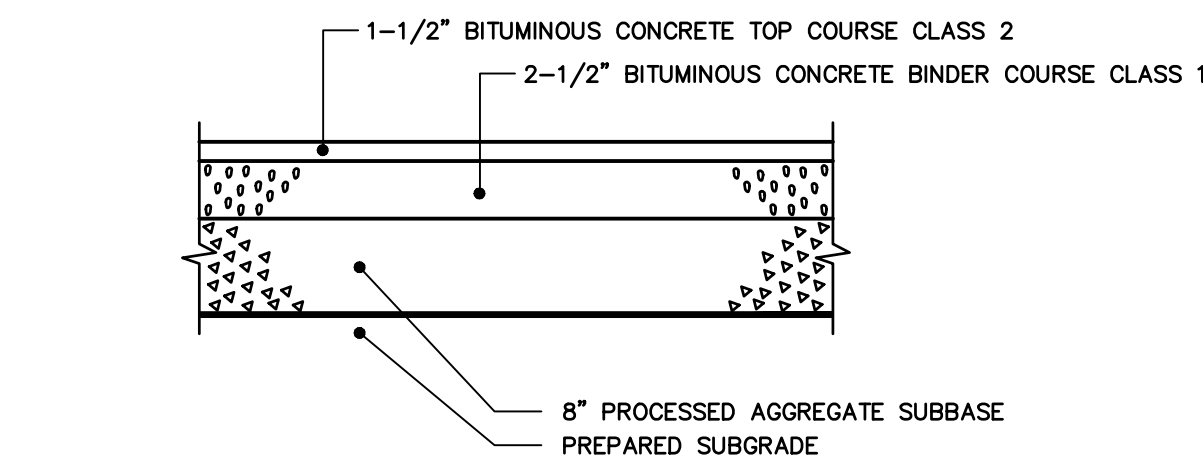
SPECIES: SWITCHGRASS (PANICUM VIRGATUM), DEERTONGUE (PANICUM CLANDESTINUM), FOX SEDGE (CAREX VULPINOIDEA), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), AUTUMN BENTGRASS (AGROSTIS PERENNANS), SOFT RUSH (JUNCUS EFFUSUS), REDTOP PANICGRASS (PANICUM RIGIDULUM).

APPLICATION RATE: 20 LBS/ACRE: 2000 SF/LB  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

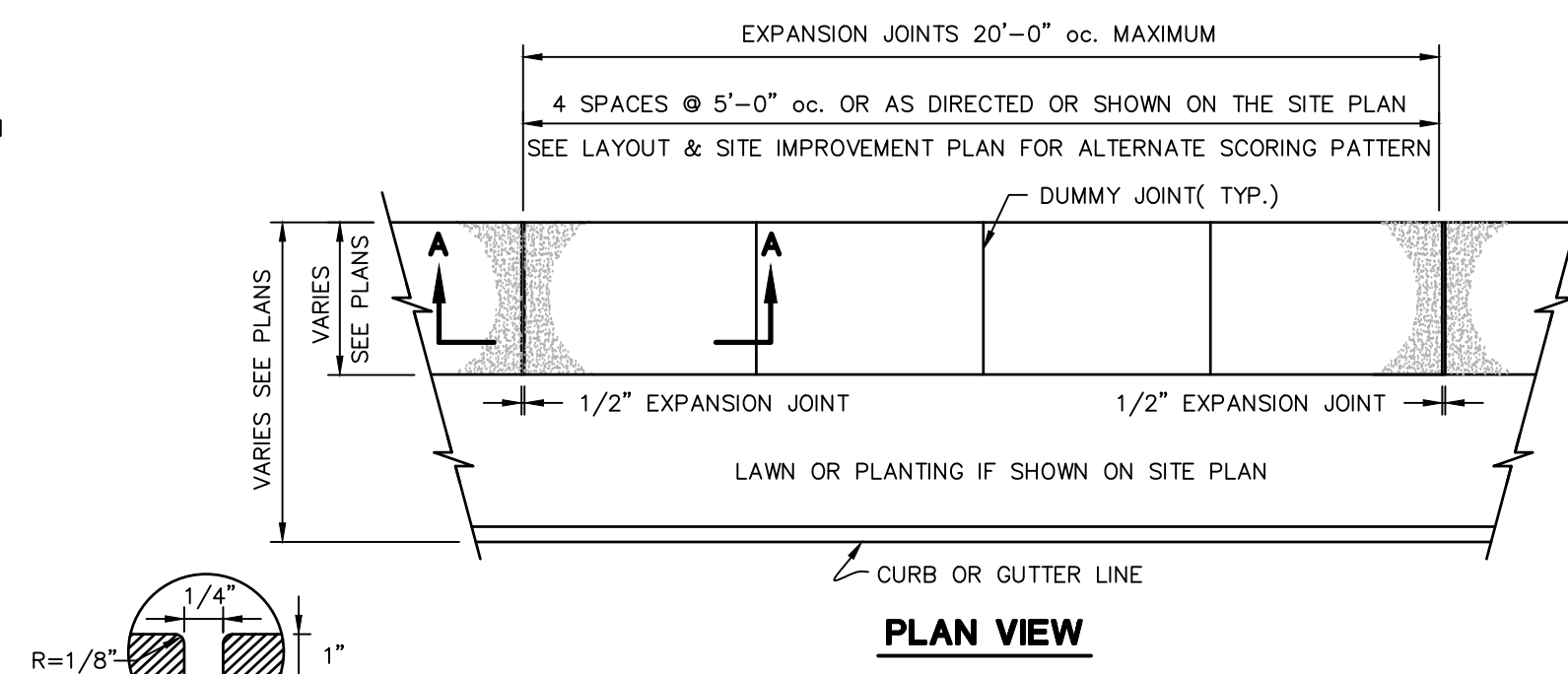
APPLICATION RATE: 20 LBS/ACRE: 2000 SF/LB  
SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

LANDSCAPE  
NOTES AND  
DETAILS

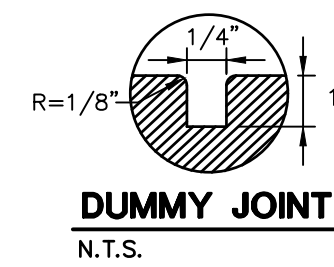
LL-2



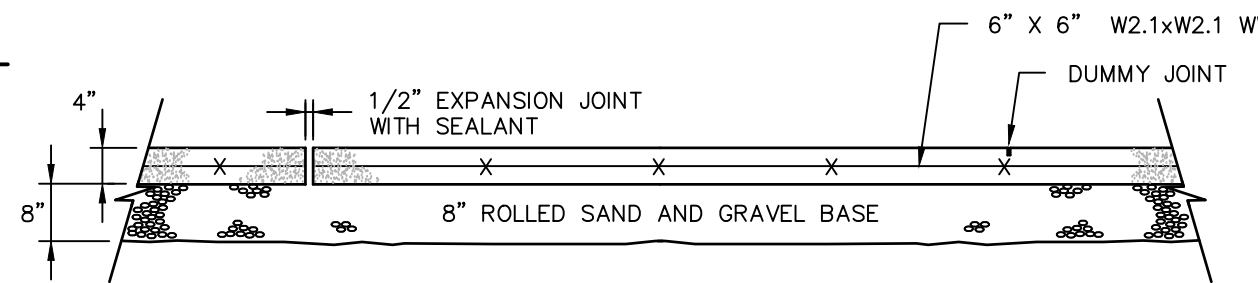
**FULL DEPTH BITUMINOUS CONCRETE PAVEMENT**  
N.T.S. ZPC-006



**PLAN VIEW**

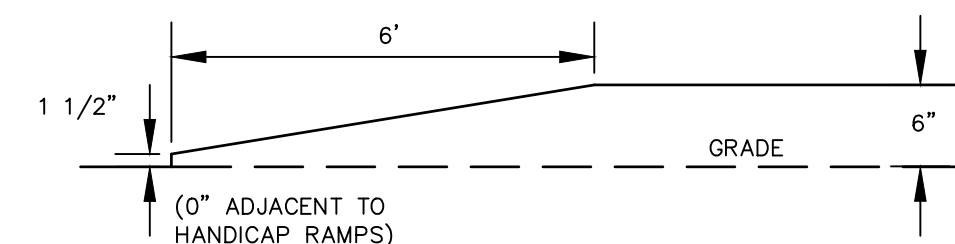


**DUMMY JOINT**  
N.T.S.

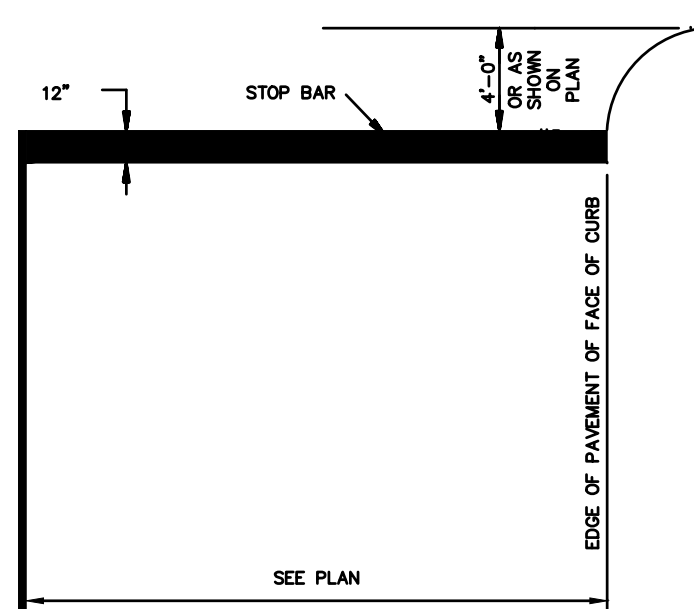


**SECTION A-A**

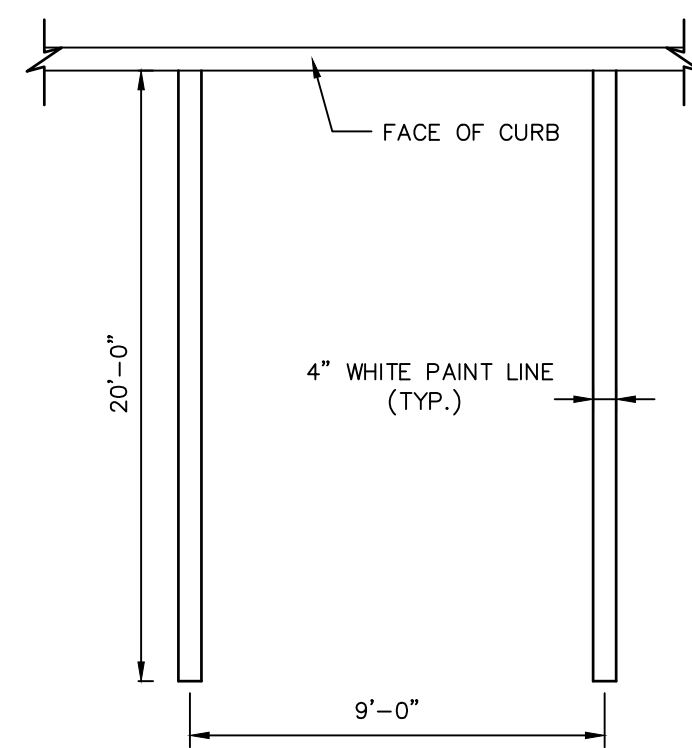
**CONCRETE SIDEWALK DETAIL**  
N.T.S. BLSR-001



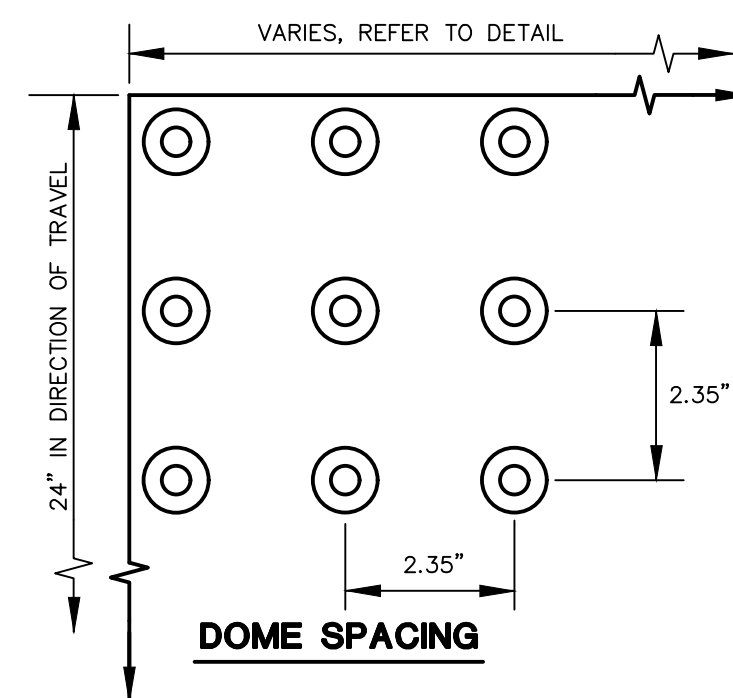
**TRANSITION CURB**  
N.T.S.



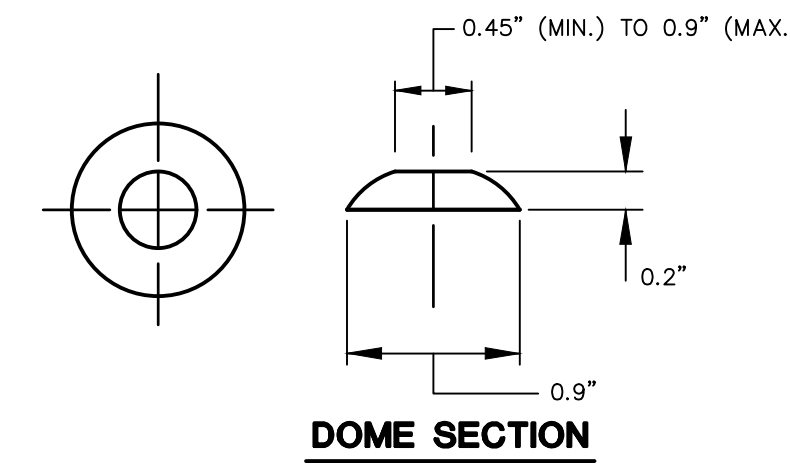
**STOP BAR PAVEMENT MARKING**  
N.T.S.



**TYPICAL PARKING SPACE DETAIL**  
N.T.S. BLPC-003

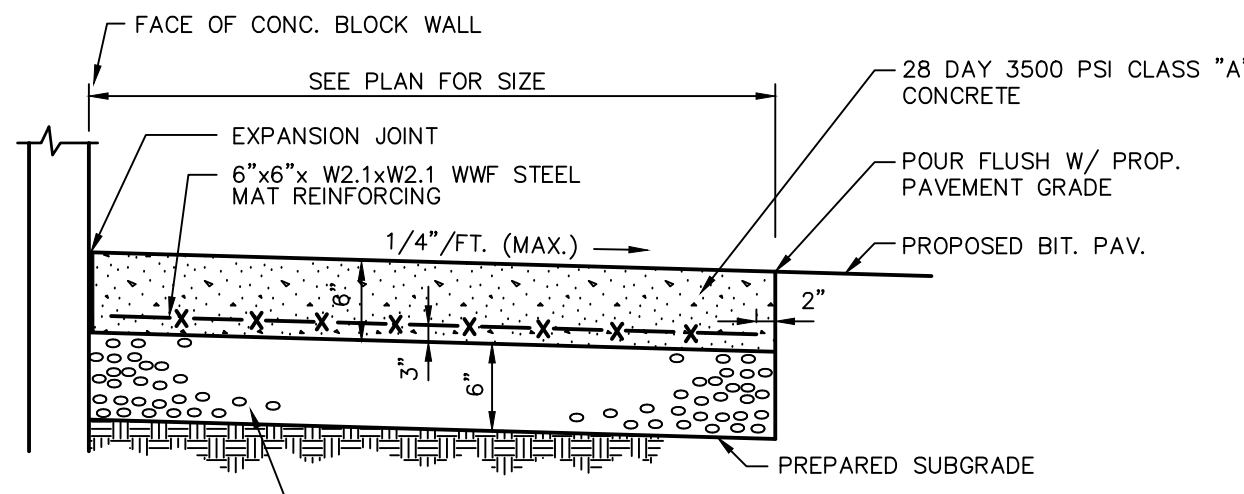


**DOME SPACING**



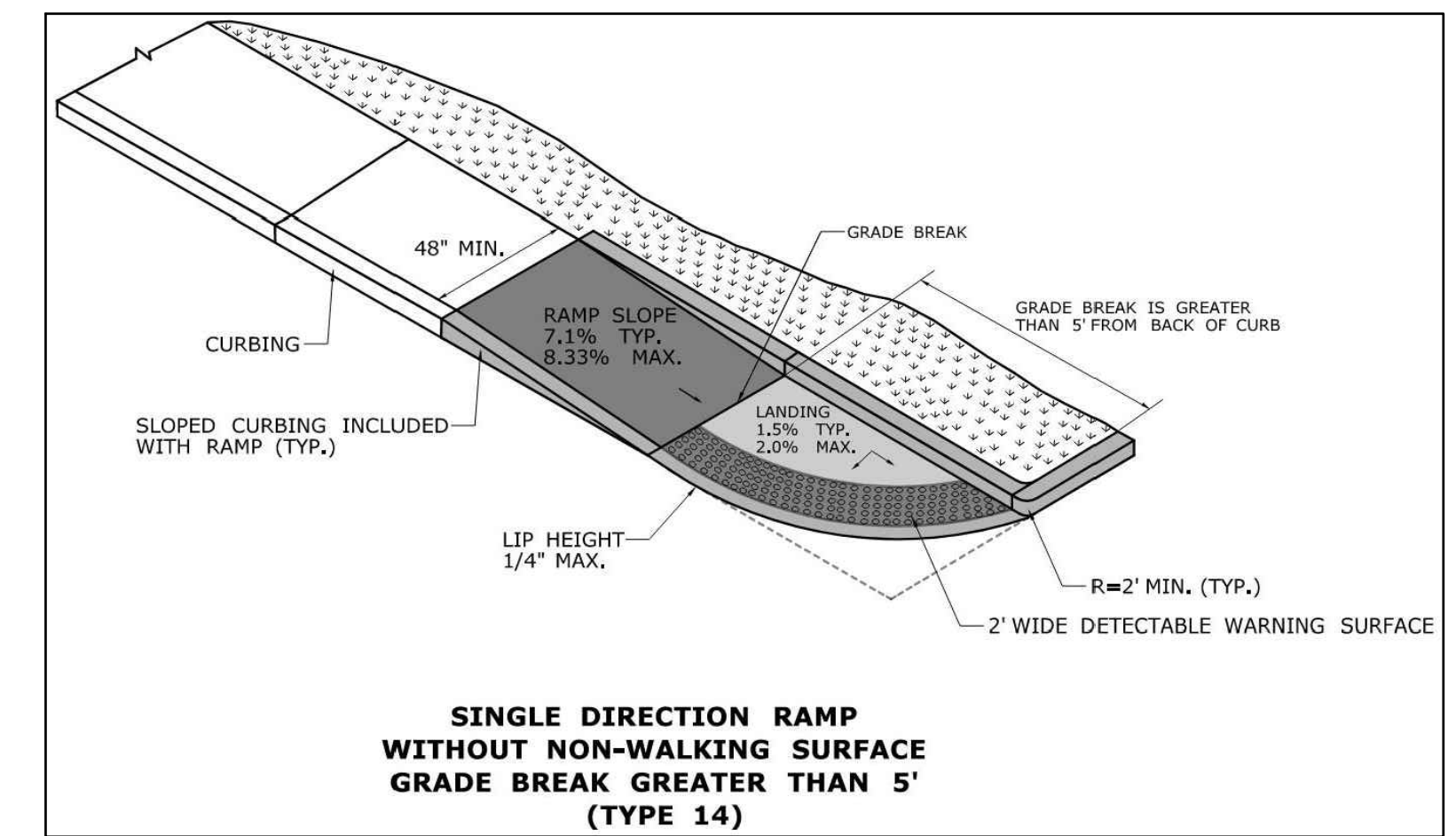
**DOME SECTION**

**DETECTABLE WARNING**  
N.T.S.



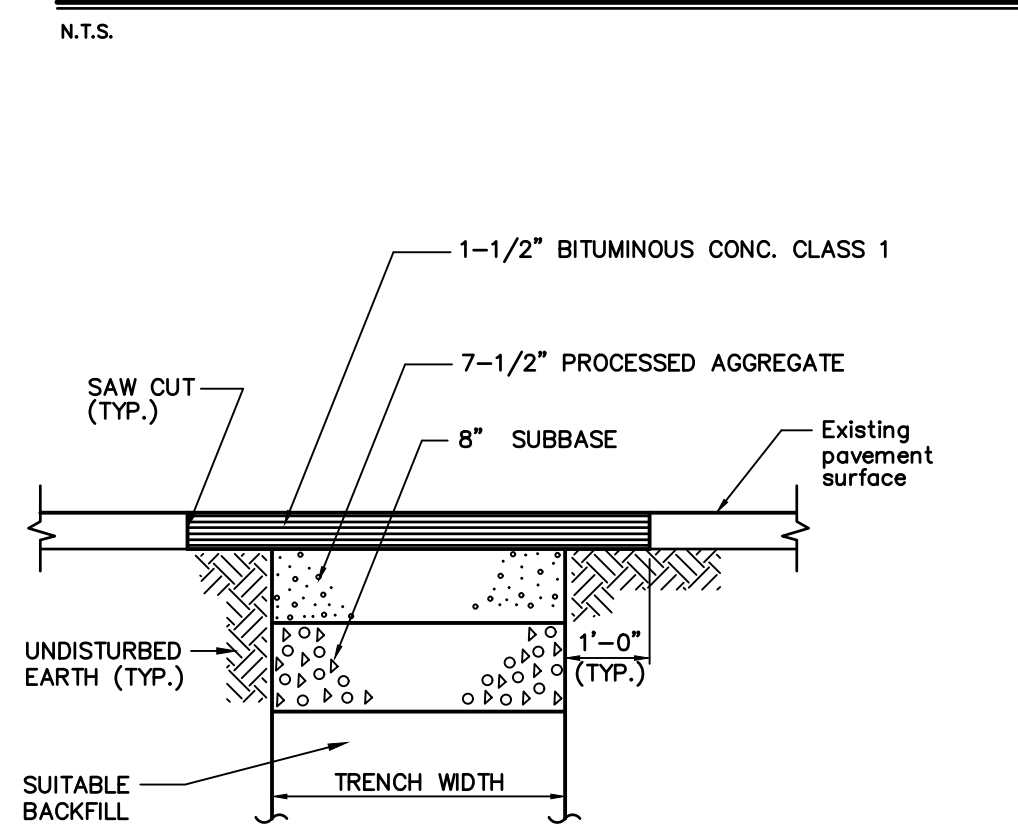
**SECTION VIEW**

**CONCRETE DUMPSTER PAD, CONCRETE PAD, AND CONCRETE PAVEMENT**  
N.T.S. BLPC-002

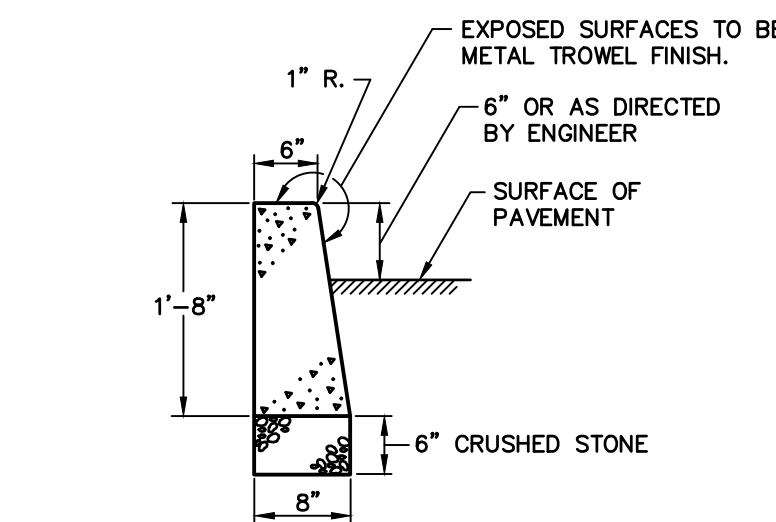


**SINGLE DIRECTION RAMP WITHOUT NON-WALKING SURFACE GRADE BREAK GREATER THAN 5' (TYPE 14)**

**ADA RAMP**

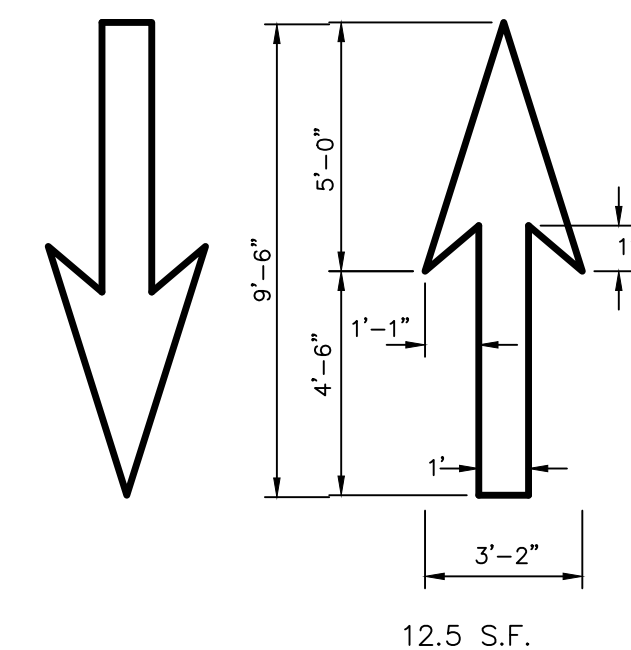


**TEMPORARY PAVEMENT REPAIR (MUNICIPAL STREET)**  
N.T.S.



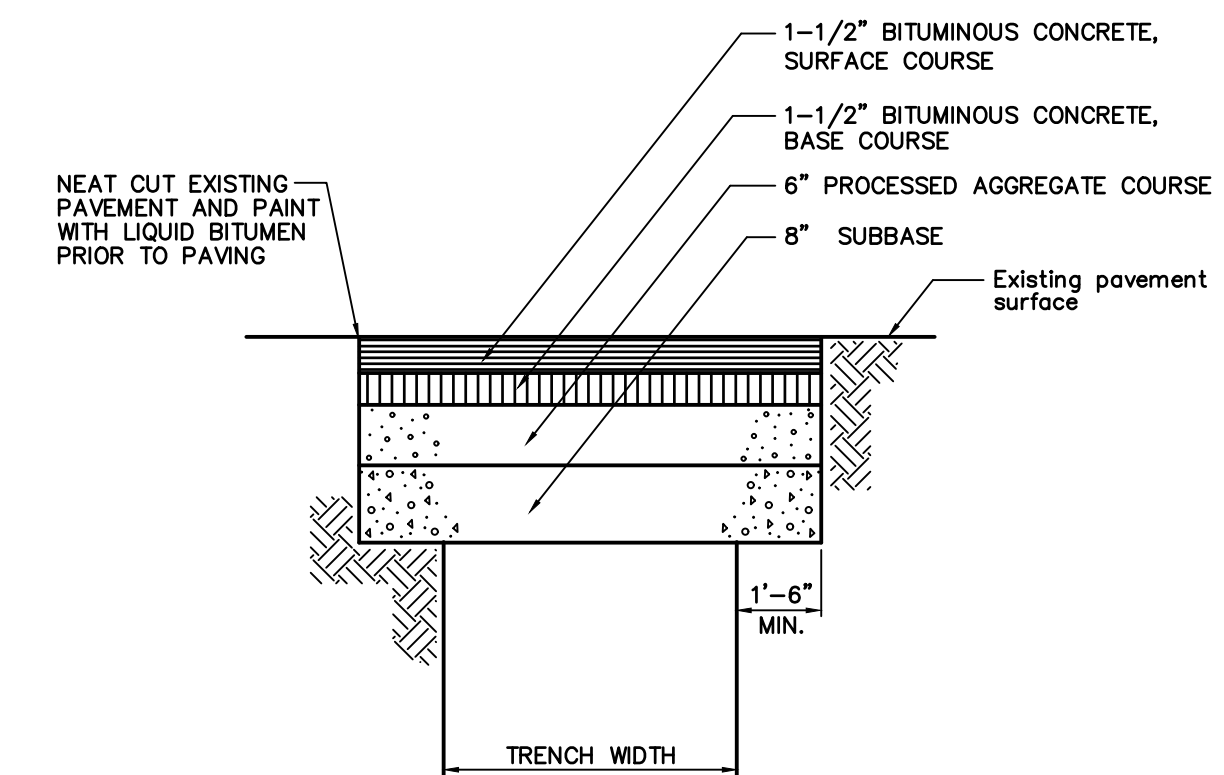
- NOTES:**  
1. CONSTRUCTION JOINTS SHALL BE SPACED APPROXIMATELY EVERY 10 FEET BUT NOT LESS THAN 6 FEET. 1/4" THICK PREFORMED EXPANSION JOINT FILLER SHALL BE INSTALLED EVERY OTHER JOINT.  
2. FORMWORK SHALL REMAIN IN PLACE FOR 24 HOURS FOLLOWING CONCRETE POURING.

**CONCRETE CURB DETAIL**  
N.T.S. ZPC-014

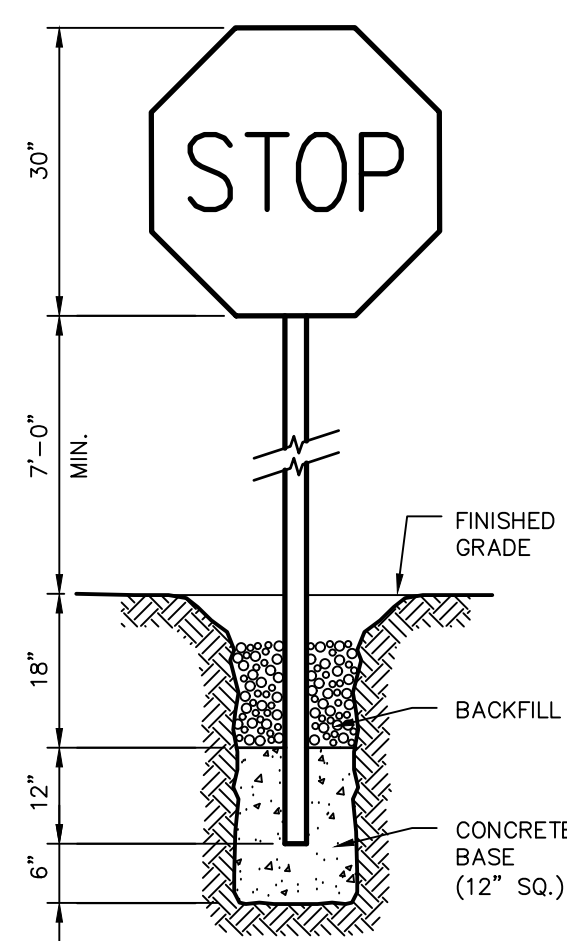


**PAVEMENT ARROW DETAILS**  
N.T.S. BLPC-006

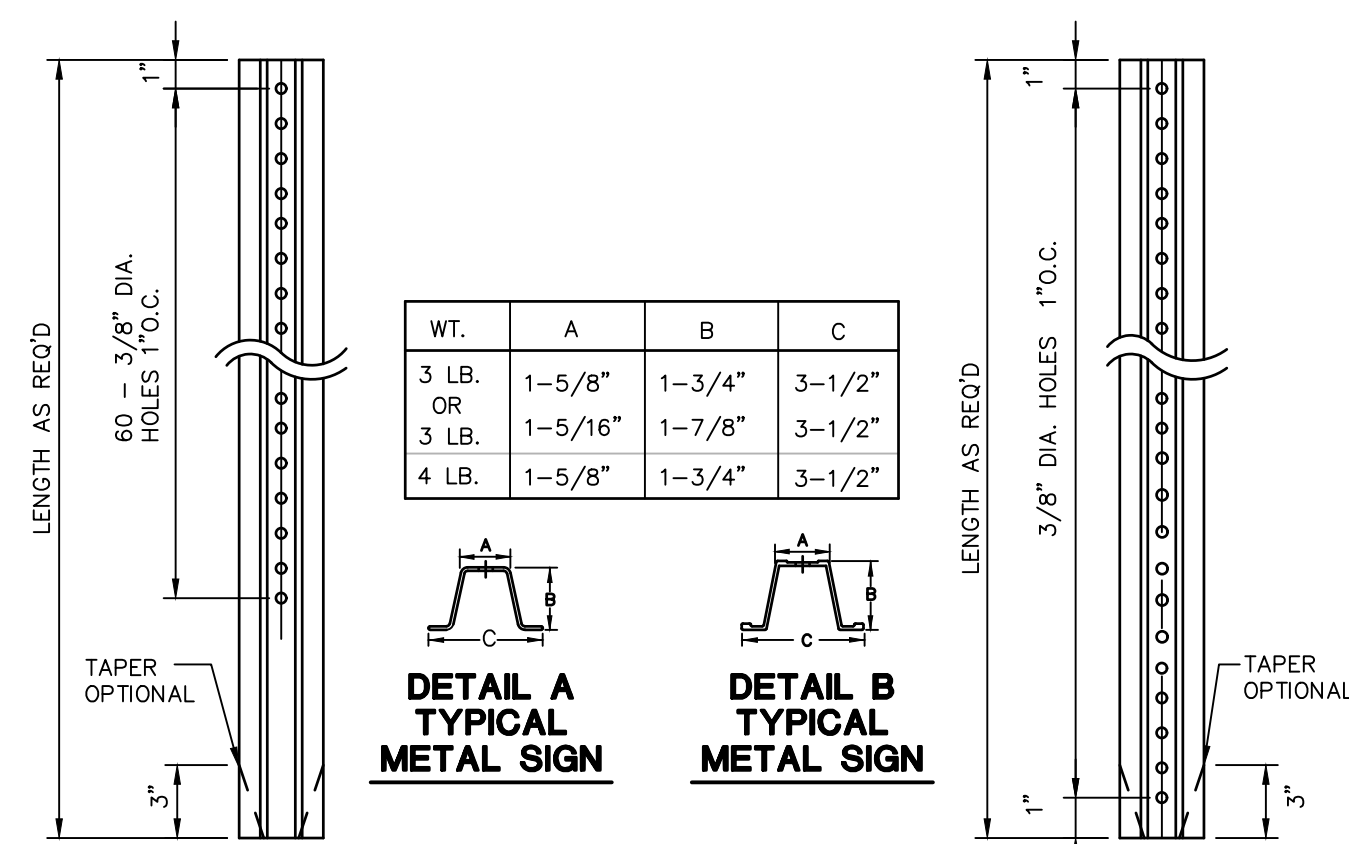
- NOTE:**  
1) ALL BITUMINOUS CONCRETE, PROCESSED AGGREGATE, SUBBASE AND LIQUID BITUMEN SHALL CONFORM TO THE MATERIALS, EQUIPMENT AND CONSTRUCTION REQUIREMENTS AS PER CONDOT SPECS.  
2) THE CONTRACTOR SHALL MAINTAIN A MINIMUM 15' WIDE TRAVELWAY AT ROAD CROSSINGS AT ALL TIMES DURING CONSTRUCTION.



**PAVEMENT REPAIR OVER TRENCH**  
N.T.S.



**STOP SIGN**  
N.T.S. BLSD-002



**DETAIL A TYPICAL METAL SIGN**

**DETAIL B TYPICAL METAL SIGN**

**DETAIL A HOLE LOCATION**

**DETAIL B HOLE LOCATION**

**NOTES:**  
STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1-76 CARBON STEEL TEE RAIL HAVING NOMINAL HEIGHT OF "91 LBS OR GREATER PER LINEAR YARD.  
AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.  
SIGN MOUNTING HEIGHT TO BE APPROVED BY THE ENGINEER.

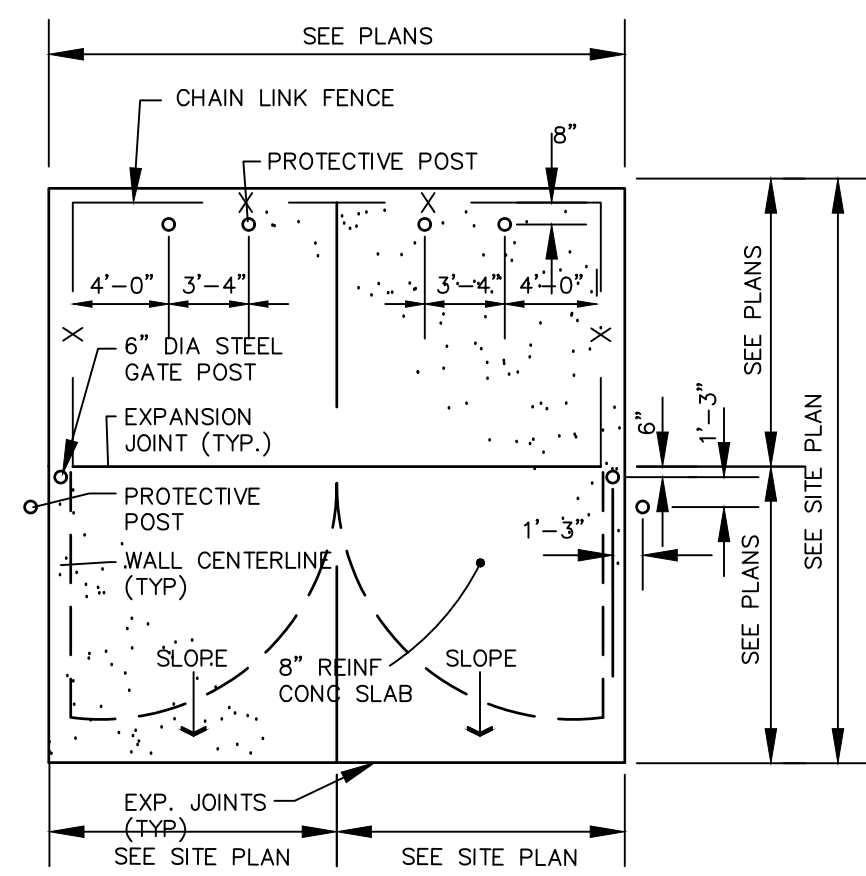
**TYPICAL METAL SIGN POSTS**  
N.T.S. BLSD-001

- NOTE:**  
1. MARKINGS FOR STREET SHALL BE ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 38 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.  
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

**CROSSWALK MARKINGS**  
N.T.S.

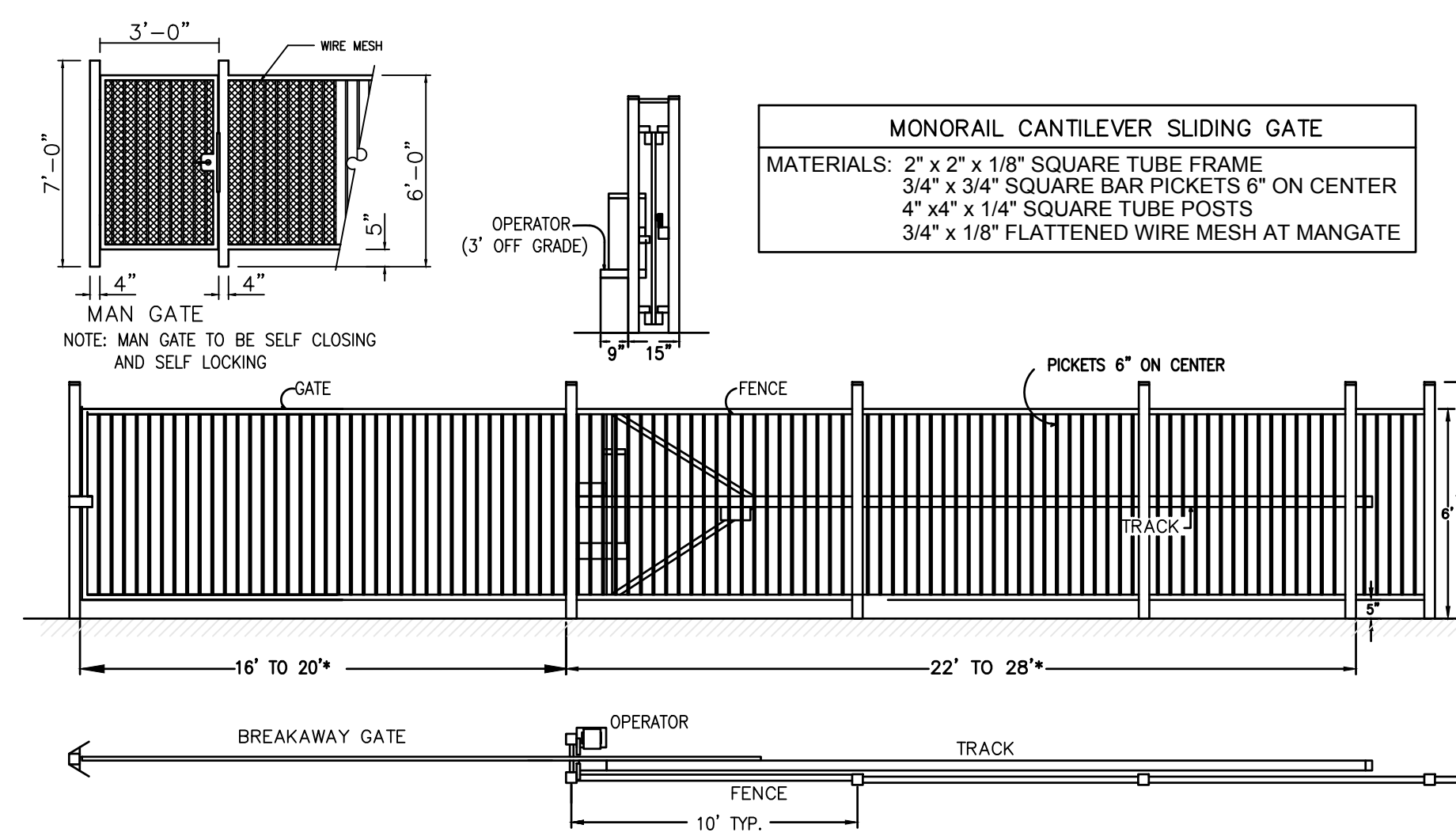
FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

2/17/2023, MGRANDJEAN, C:\WORK\2201222\DWG\DN2201222.DWG, DWG, DN-1, 2X45



**TRASH ENCLOSURE PLAN**

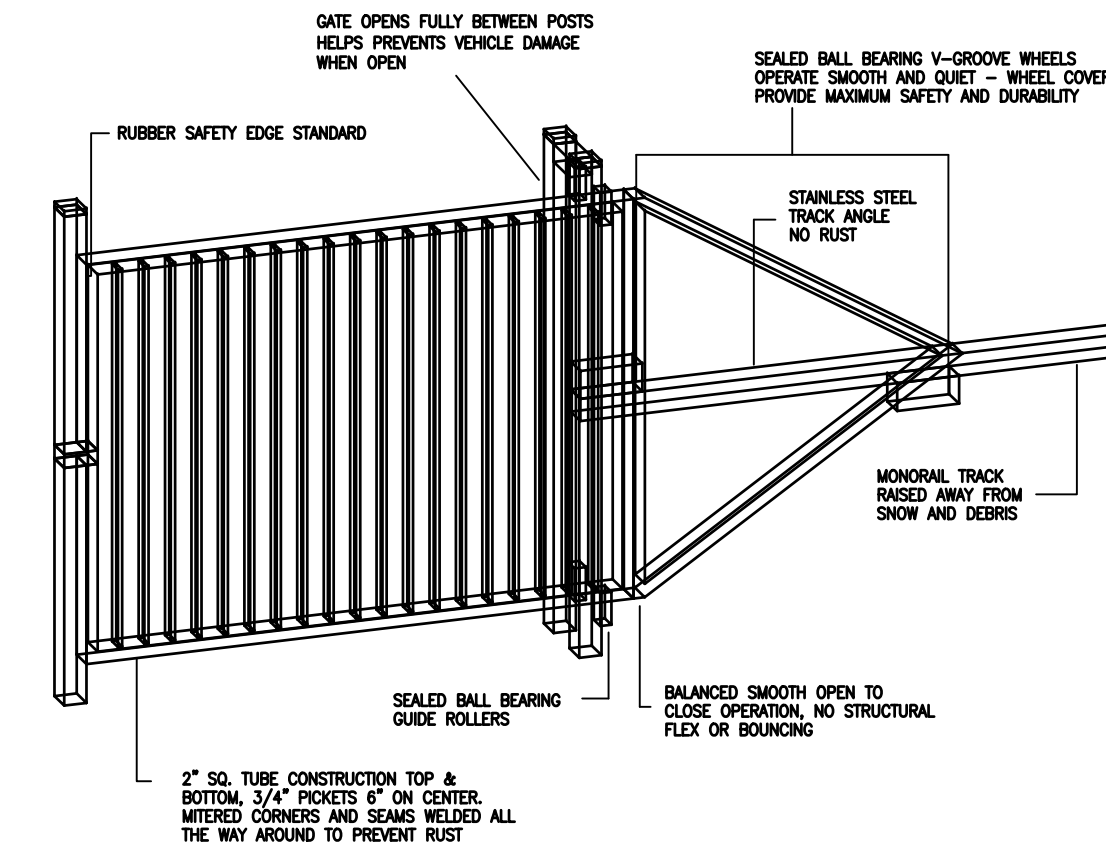
N.T.S. BLSE-004



\*NOTE: DIMENSIONS MAY VARY  
 COLOR TO BE "SPANISH MOSS"

**MONORAIL CANTILEVER SLIDING GATE**

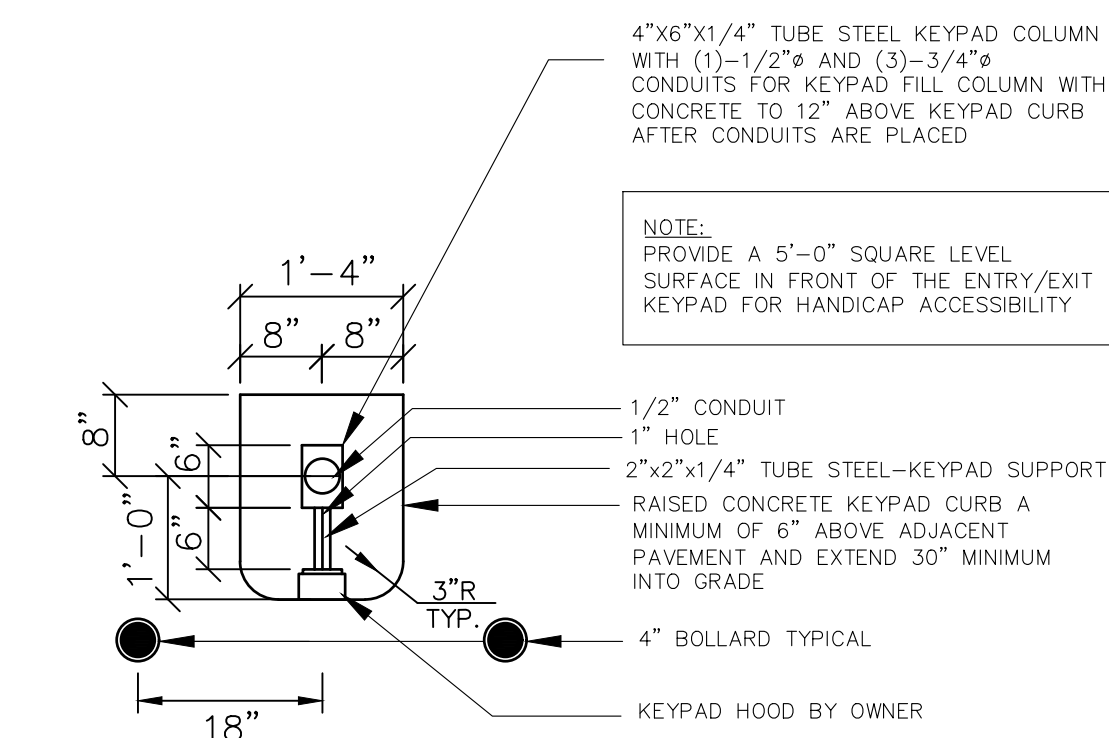
N.T.S. 3-1-12. DWG



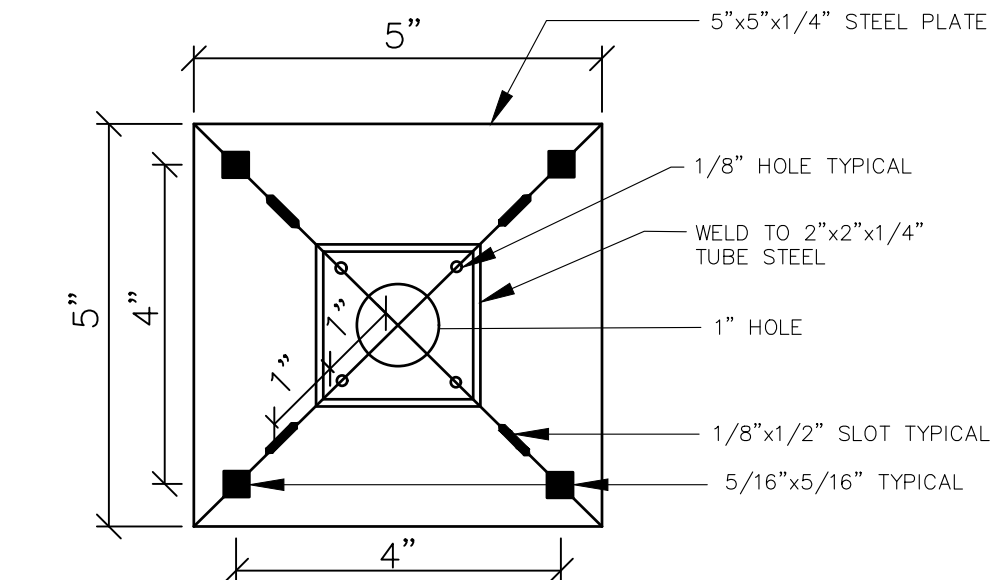
**OTHER STANDARD FEATURES:**  
 NOTES:  
 1. GATE NEEDS LESS BACK SPACE TO OPEN THAN TYPICAL CANTILEVER GATES.  
 2. GATE OPERATOR MOUNTS UP ON GUIDE POST OUT OF SNOW AND DEBRIS.

**MONORAIL CANTILEVER GATE DESIGN SPECIFICATIONS**

N.T.S. 3-1-11. DWG

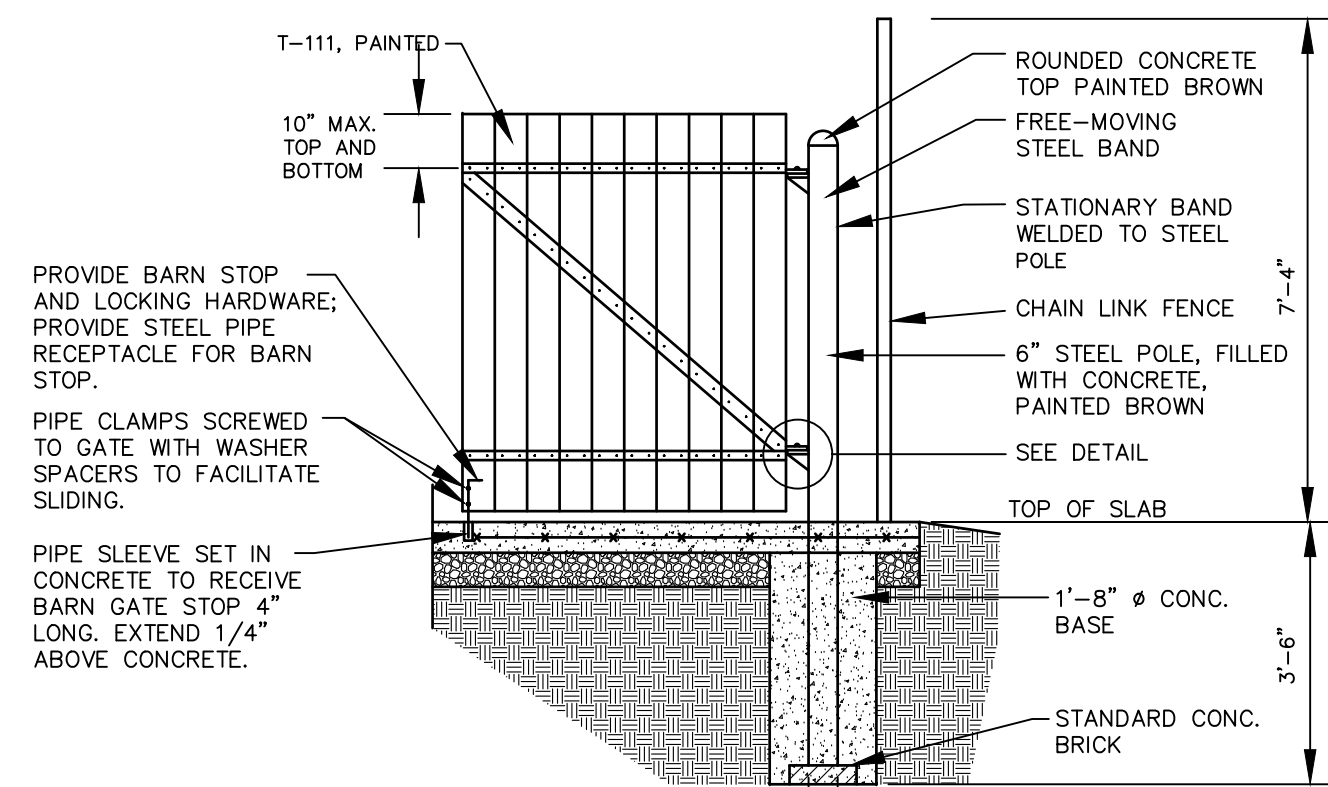


**KEYPAD PLAN**

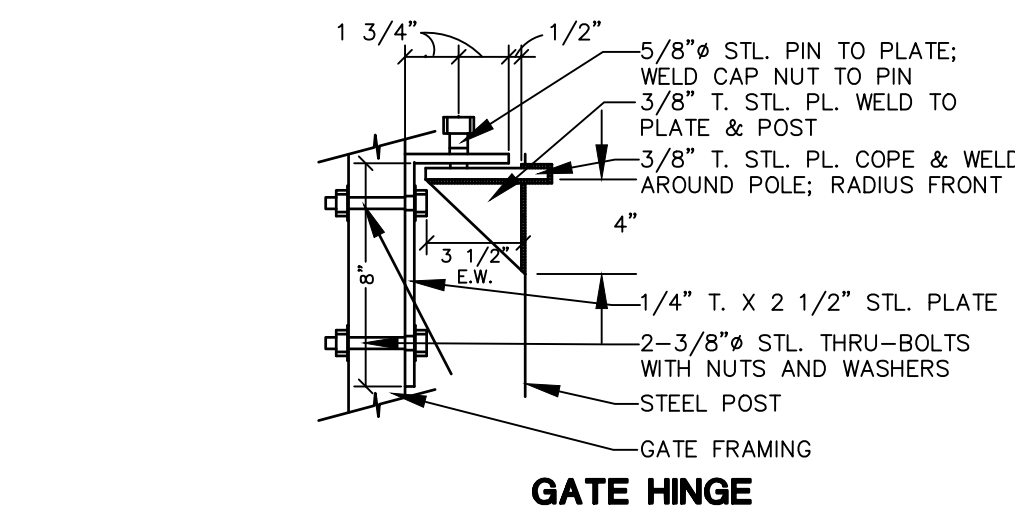


**ENTRY/EXIT KEYPAD PLAN AND DETAIL**

NOT TO SCALE 3-1-15. DWG

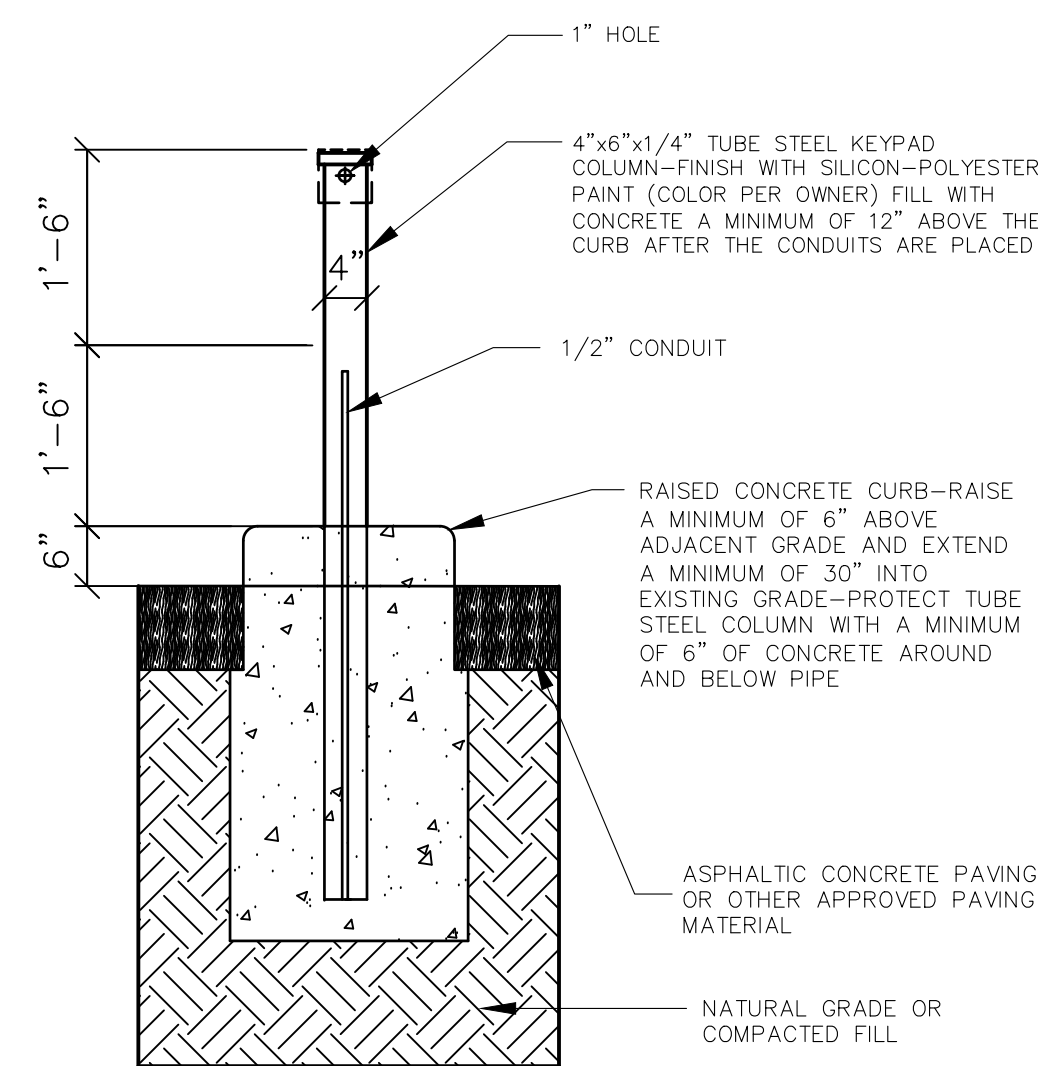


**SECTION**



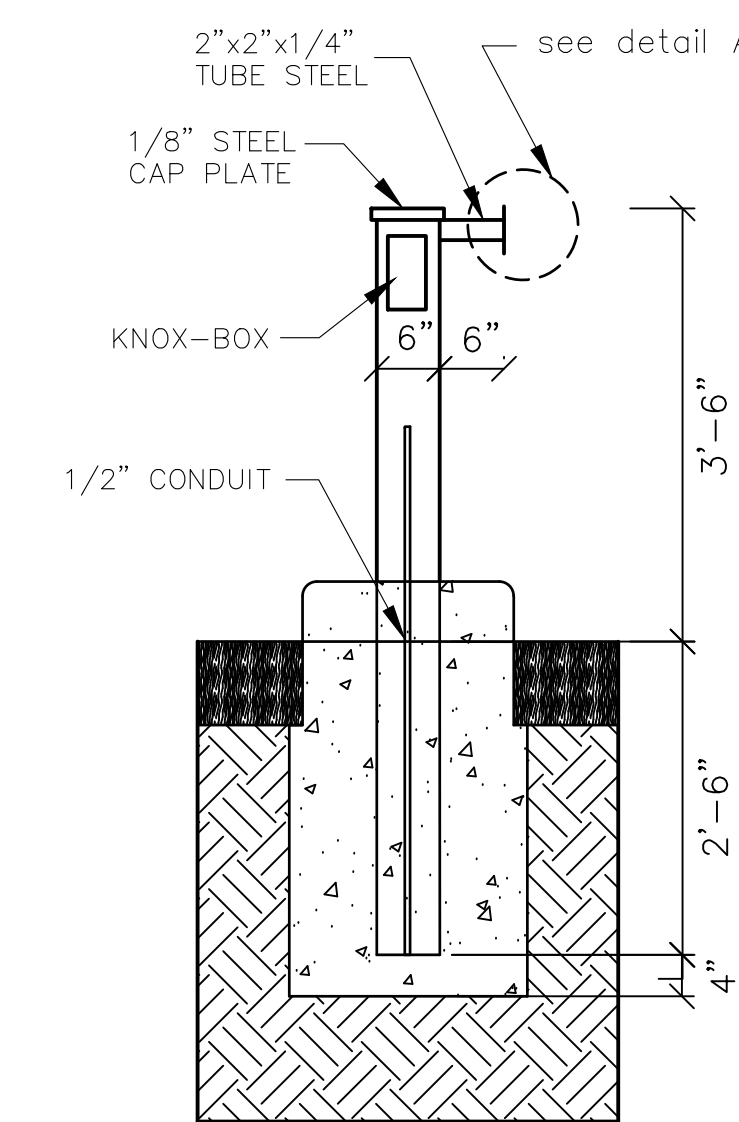
**TRASH ENCLOSURE GATE (HALF SECTION)**

N.T.S. BLSE-001



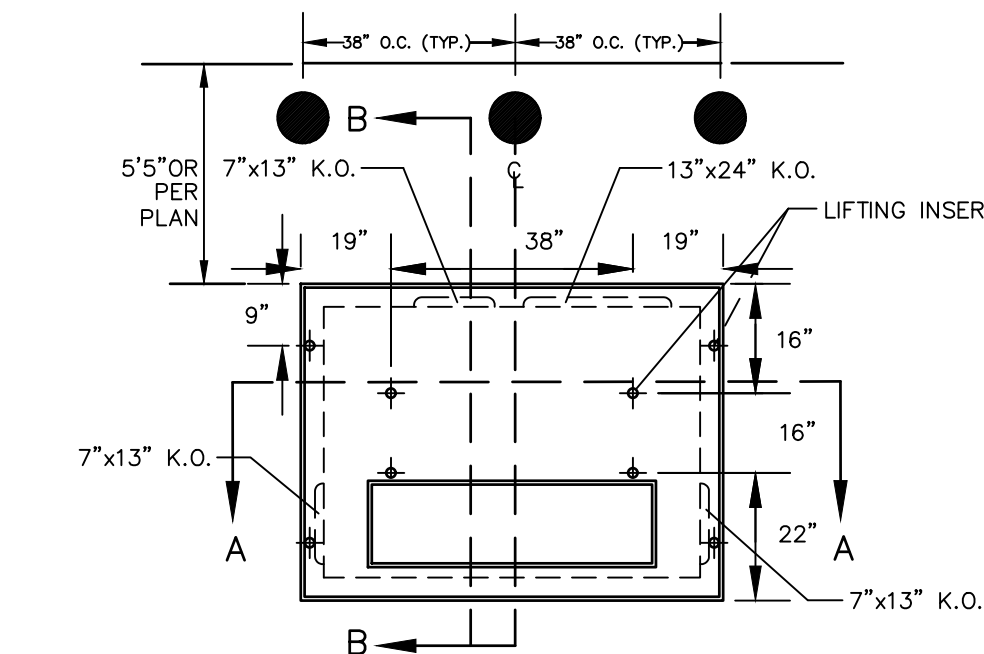
**ENTRY/EXIT KEYPAD ELEVATION 1**

NOT TO SCALE 3-1-16A. DWG



**ENTRY/EXIT KEYPAD ELEVATION 2**

NOT TO SCALE 3-1-16B. DWG

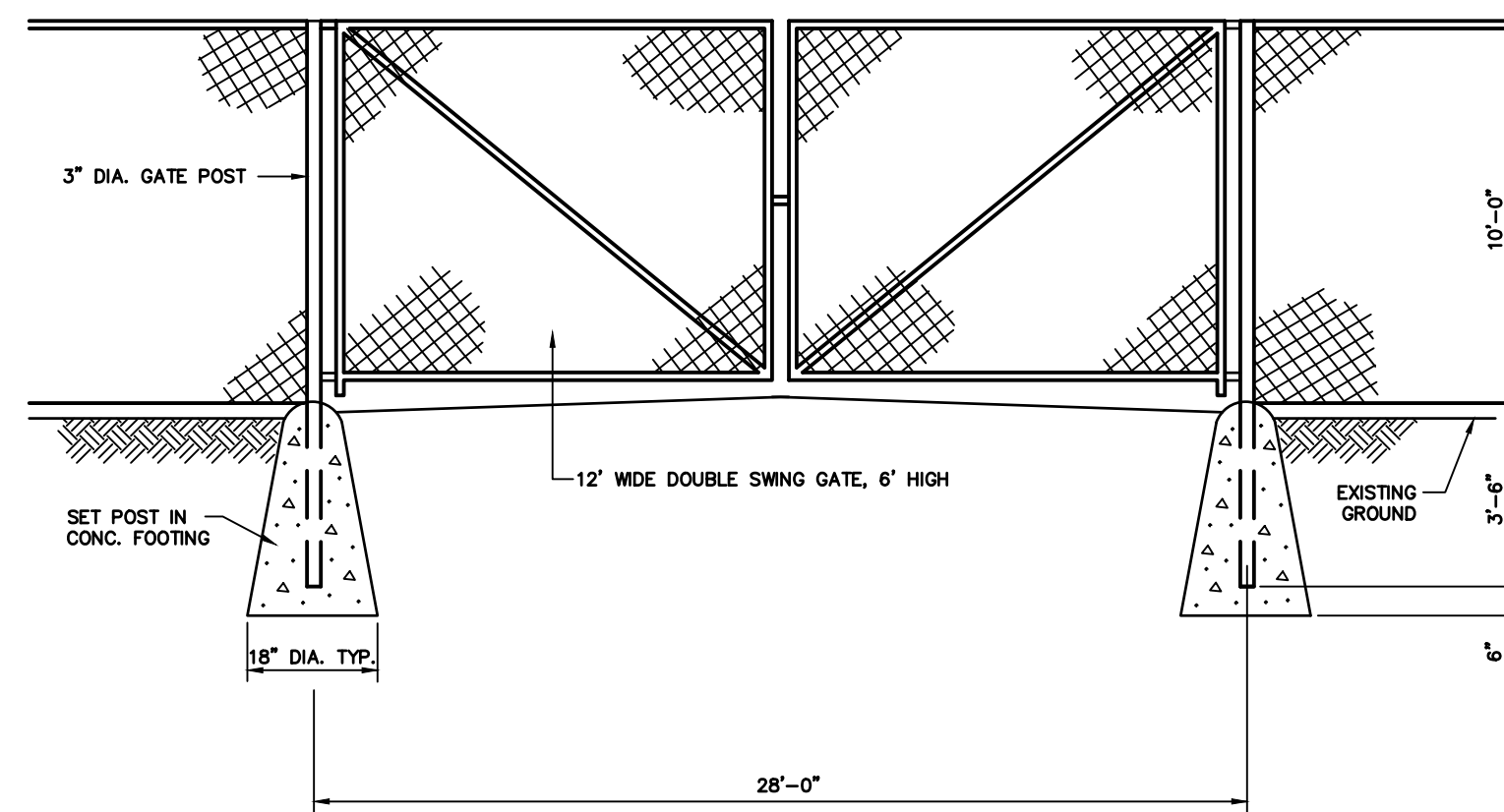


**SECTION A-A**

NOTES:  
 1. CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI AT 28 DAYS  
 2. SHALL MEET ALL PROVISIONS OF ELECTRIC CO.  
 3. SHALL BE INSTALLED 2" MINIMUM OFF CURB AND PROTECTED BY BOLLARDS.  
 4. SEE DETAIL FOR STEEL BOLLARD INSTALLATION  
 5. CONTRACTOR SHALL CONFIRM PAD SIZE AND BOLLARD LOCATION WITH ELECTRIC COMPANY

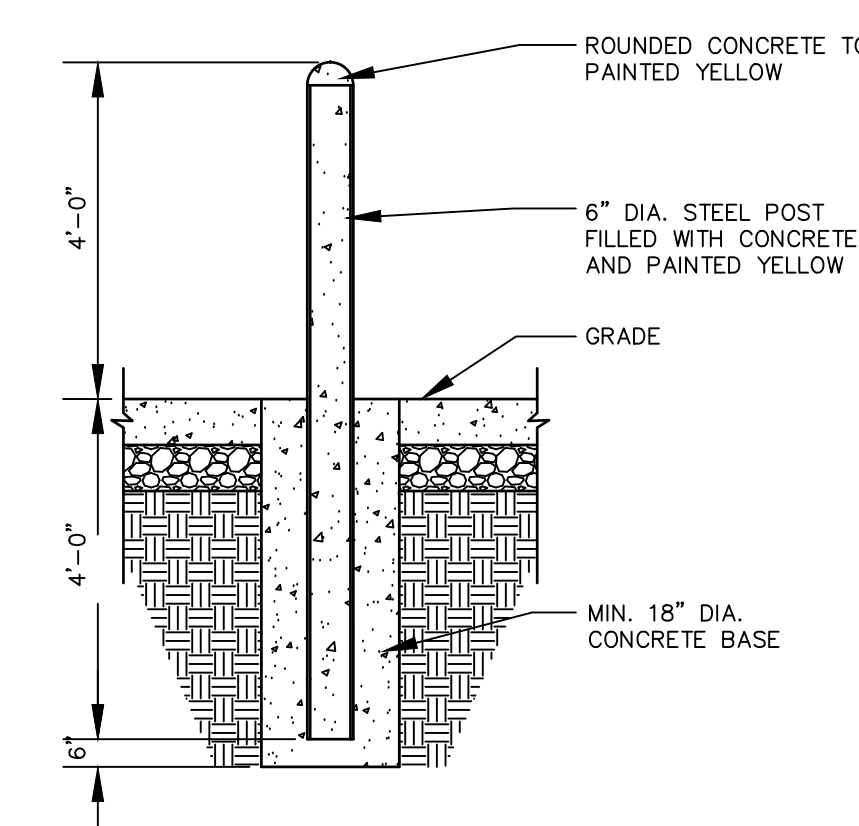
**CONCRETE TRANSFORMER PAD**

N.T.S.



**CHAIN LINK FENCE GATE DETAIL**

N.T.S.



**PROTECTIVE POST (BOLLARD) DETAIL**

N.T.S.

BLSE-005

FOR PERMITTING PURPOSES ONLY  
 NOT RELEASED FOR CONSTRUCTION

Desc.

No. Date

Designed M.A.G.  
 Drawn M.A.G.  
 Reviewed  
 Scale NONE  
 Project No. 2201222  
 Date 02/17/2023  
 CAD File: DN220122201

Title  
**DETAILS SHEET**

Sheet No.

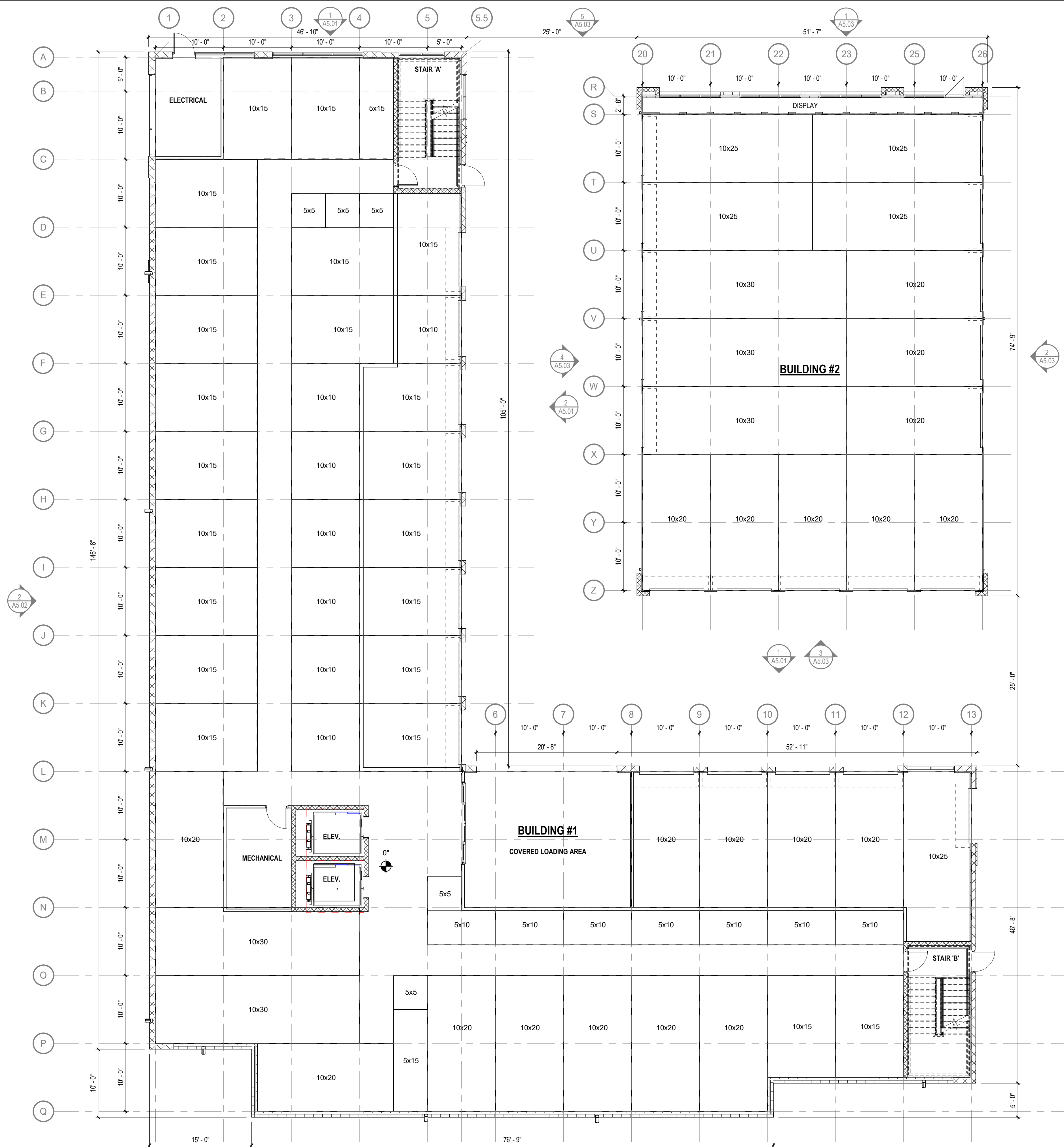
**DN-2**

2/17/2023, MGRANDJEAN, C:\WORK\2201222\DWG\020122201.DWG, DN-2, R24, 6A

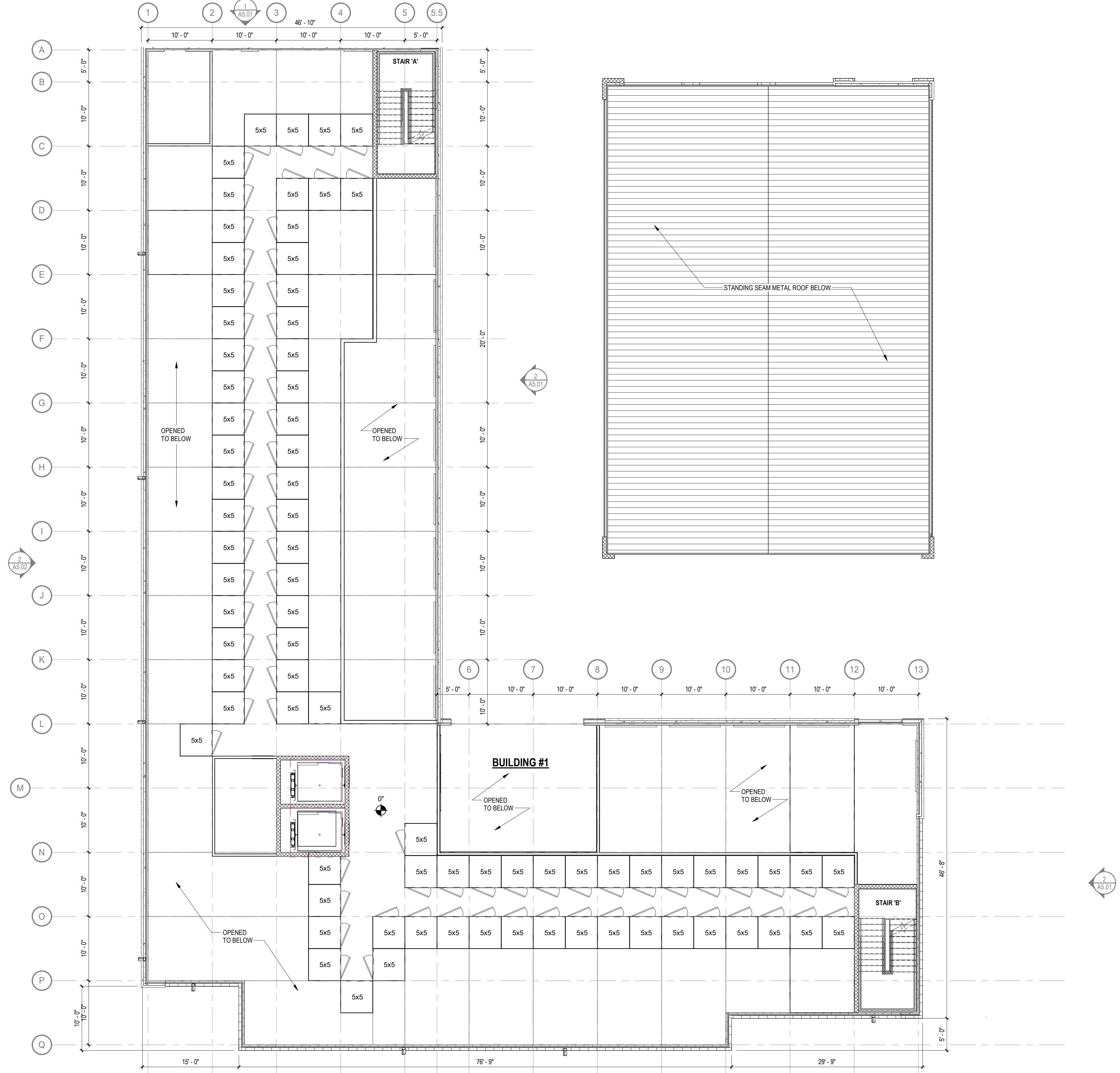
Sheet No.: 02/17/2023







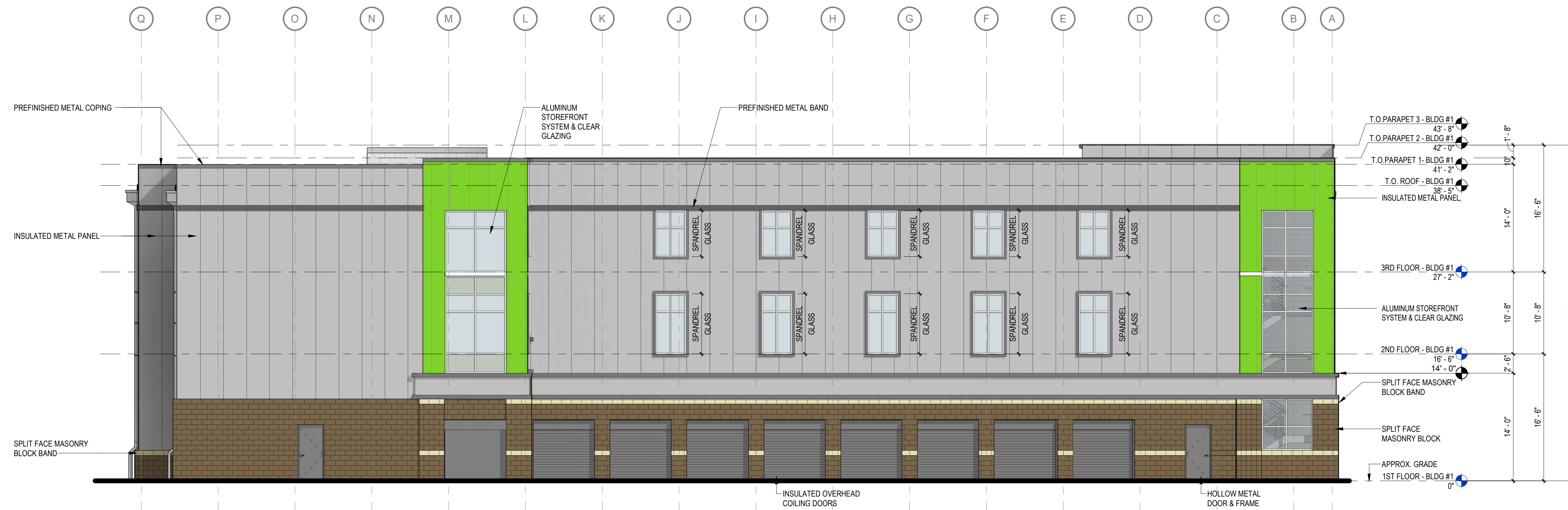
1 FIRST FLOOR PLAN  
1/8" = 1'-0"



1 LOCKERS LEVEL  
1/8" = 1'-0"





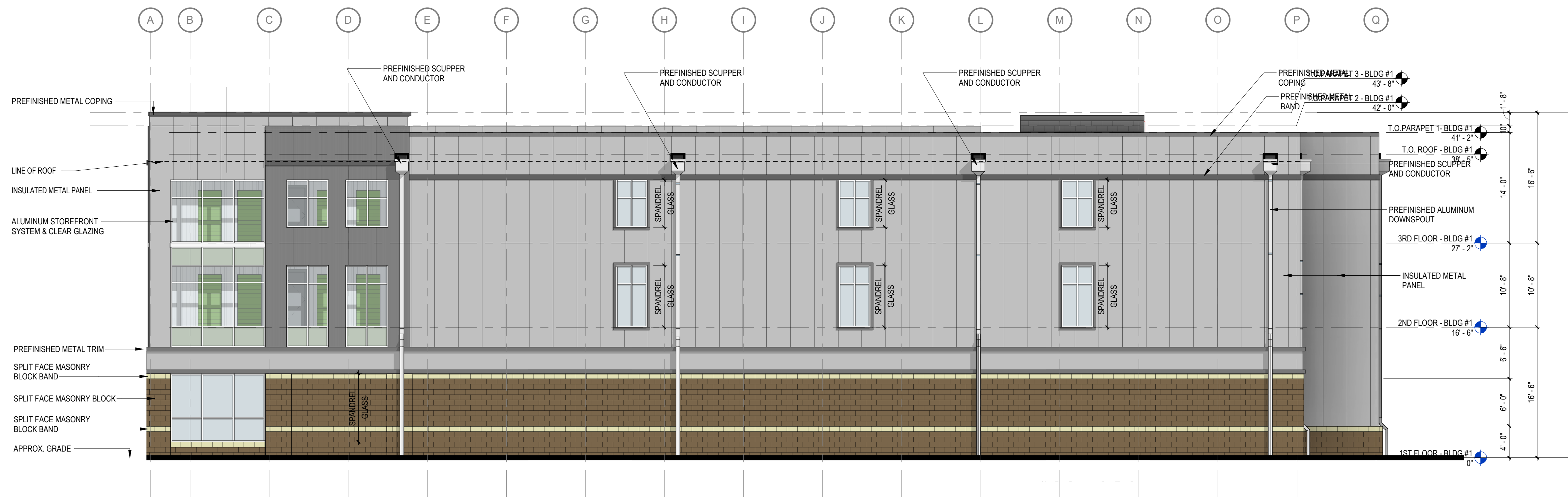


2 EAST ELEVATION - BUILDING #1  
1/8" = 1'-0"



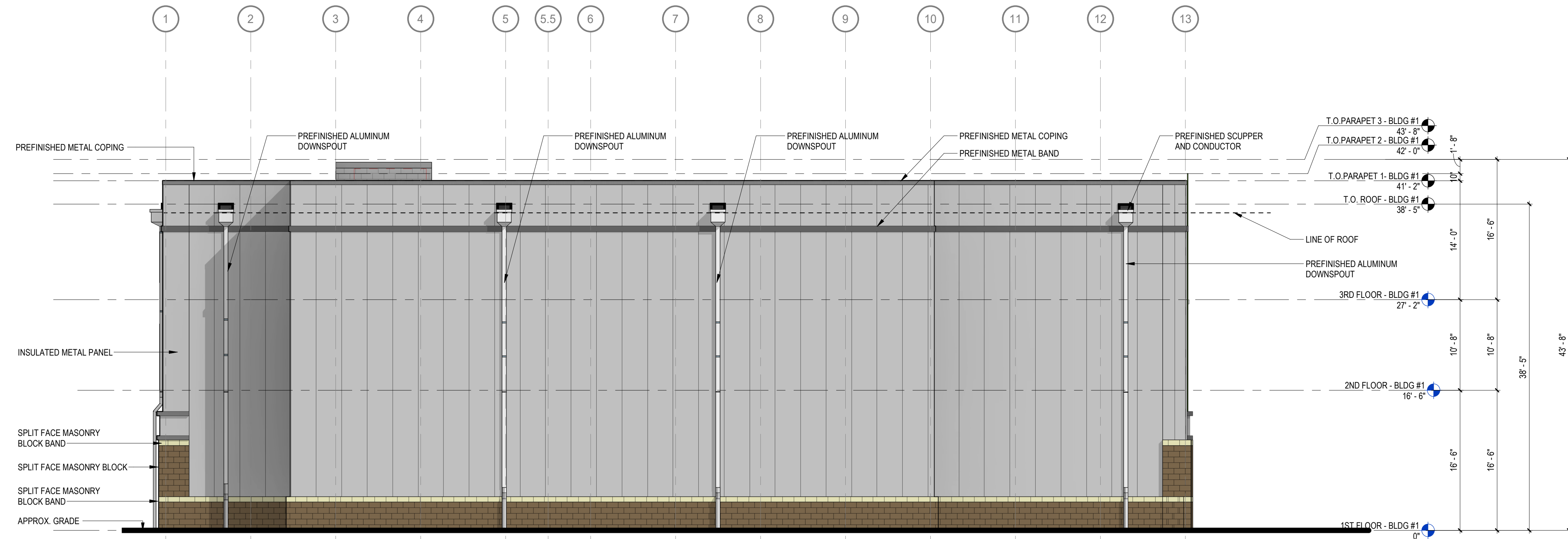
1 NORTH ELEVATION - BUILDING #1  
1/8" = 1'-0"

	KINGSPAN INSULATED METAL PANELS COLOR: DOVE GRAY
	KINGSPAN INSULATED METAL PANELS COLOR: ZINK GRAY
	KINGSPAN INSULATED METAL PANELS COLOR: TO MATCH EXTRA SPACE STORAGE CUSTOM GREEN

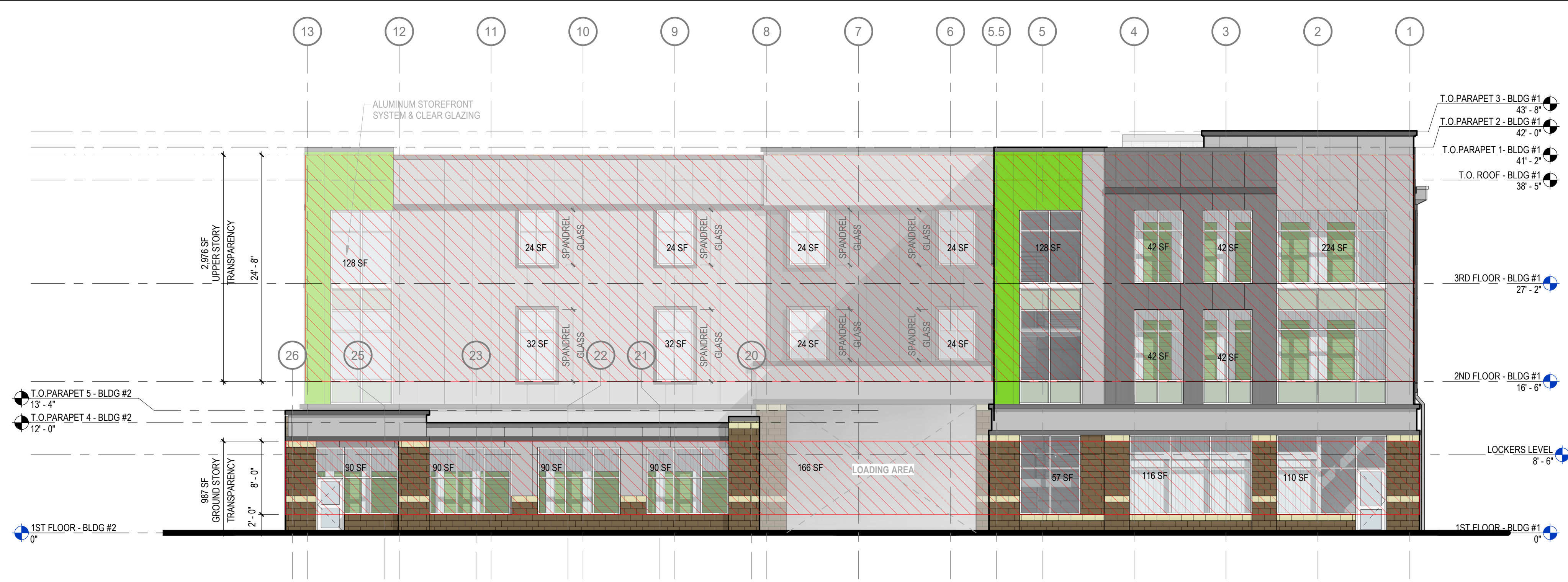


- KINGSPAN INSULATED METAL PANELS  
COLOR: DOVE GRAY
- KINGSPAN INSULATED METAL PANELS  
COLOR: ZINK GRAY
- KINGSPAN INSULATED METAL PANELS  
COLOR: TO MATCH EXTRA SPACE  
STORAGE CUSTOM GREEN

**2 WEST ELEVATION - BUILDING #1**  
1/8" = 1'-0"






**1 SOUTH ELEVATION - BUILDING #1**  
1/8" = 1'-0"



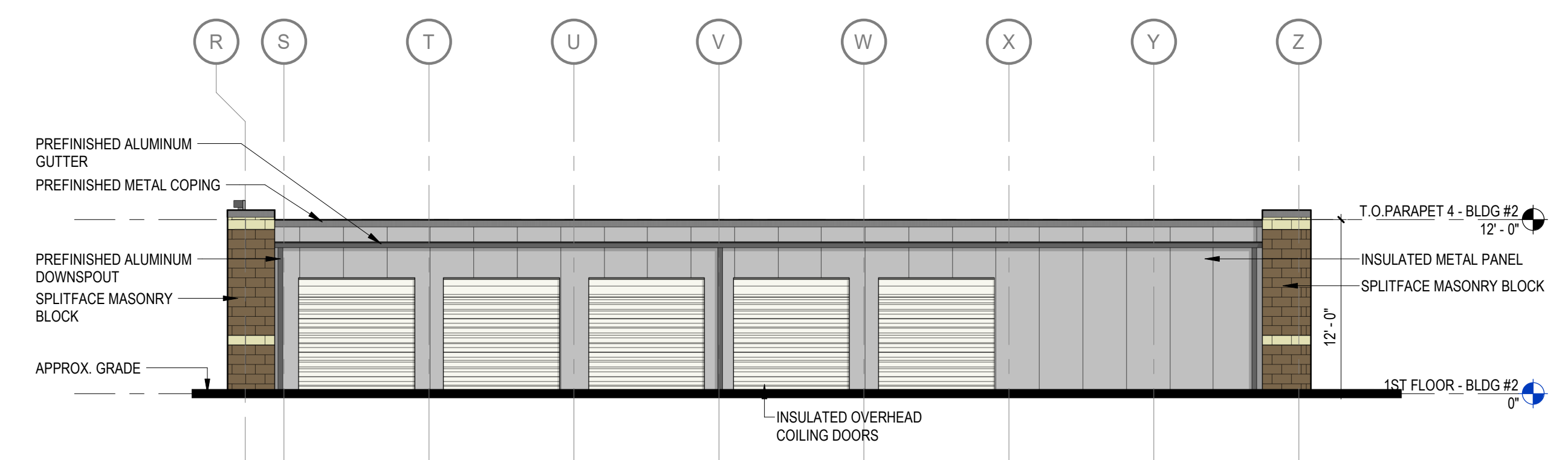
**GROUND AND UPPER STORIES TRANSPARENCY**

3.30.8. PRIMARY & NON-PRIMARY FACADES	
GROUND STORY	75 % REQUIRED 83 % PROVIDED
UPPER STORIES	18 % REQUIRED 28 % PROVIDED

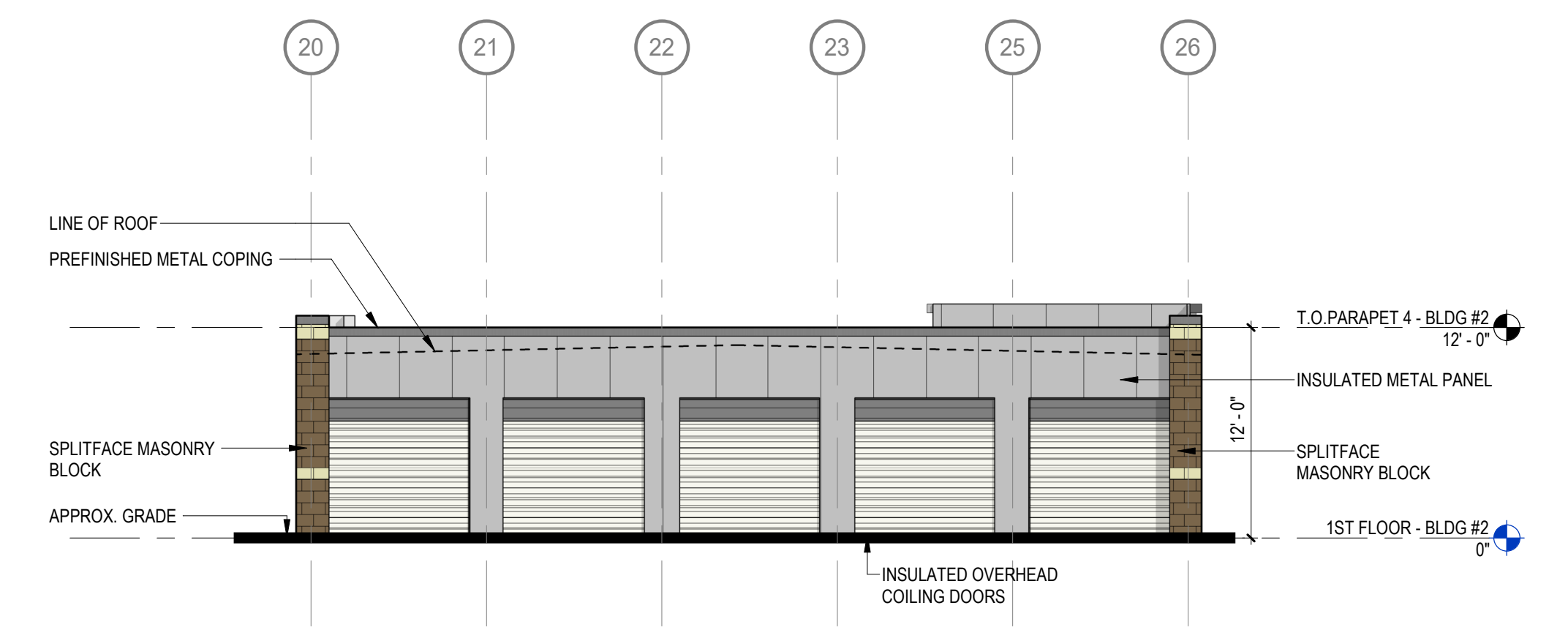
**KINGSPAN INSULATED METAL PANELS**

-  KINGSPAN INSULATED METAL PANELS COLOR: DOVE GRAY
-  KINGSPAN INSULATED METAL PANELS COLOR: ZINK GRAY
-  KINGSPAN INSULATED METAL PANELS COLOR: TO MATCH EXTRA SPACE STORAGE CUSTOM GREEN

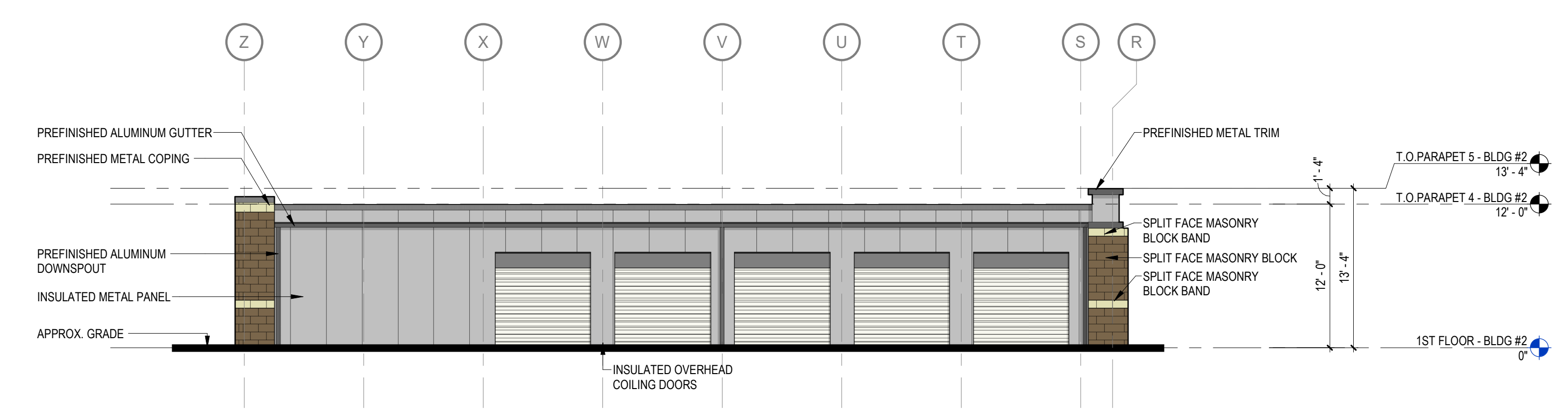
**5 NORTH ELEVATION BUILDING #1 & #2**  
1/8" = 1'-0"



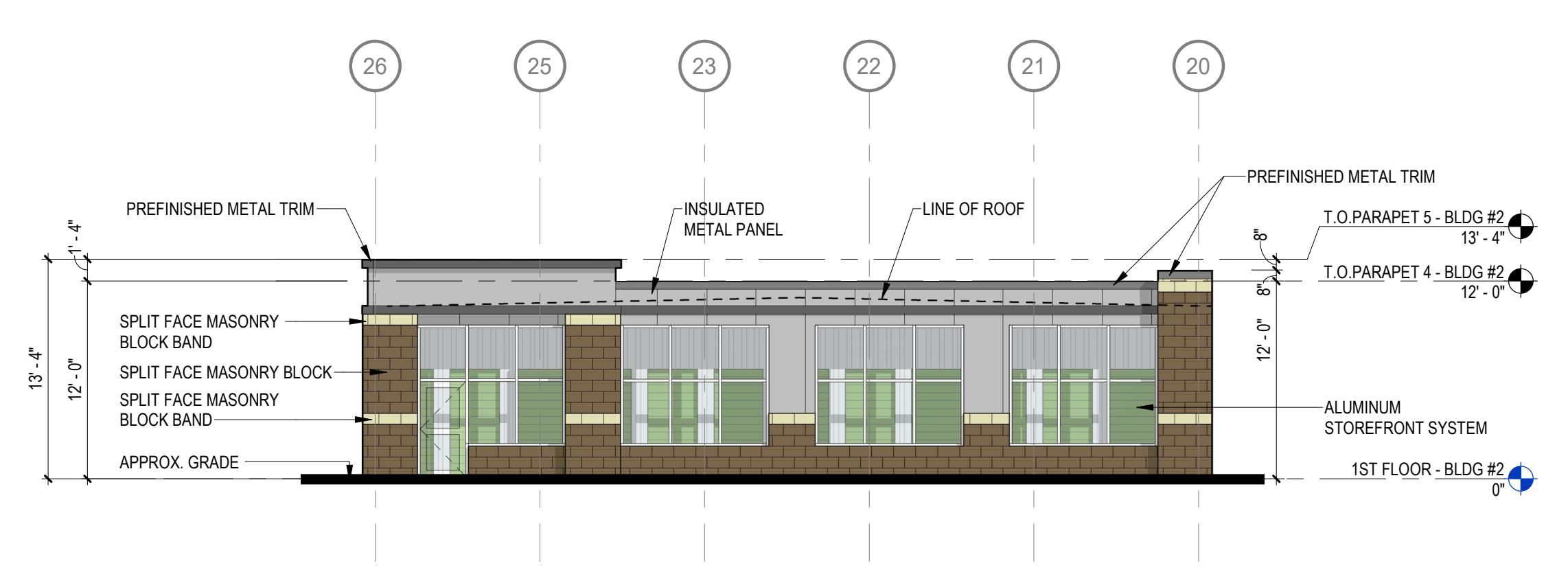
**4 WEST ELEVATION - BUILDING #2**  
1/8" = 1'-0"



**3 SOUTH ELEVATION - BUILDING #2**  
1/8" = 1'-0"



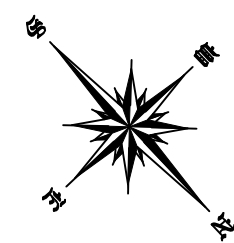
**2 EAST ELEVATION - BUILDING #2**  
1/8" = 1'-0"



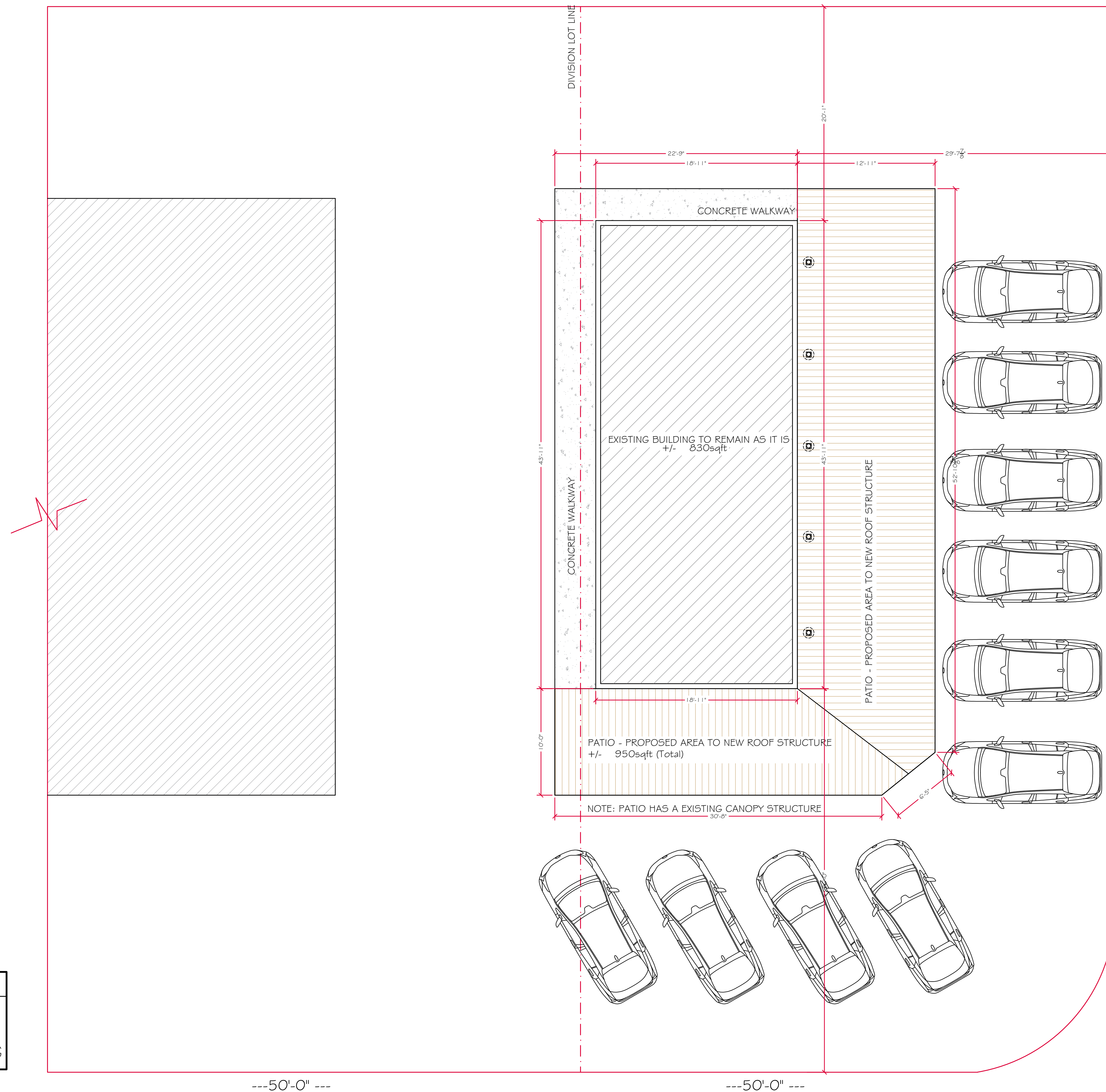
**1 NORTH ELEVATION - BUILDING #2**  
1/8" = 1'-0"



**SITE PLAN**  
SCALE: 3/16" = 1'-0"



LINETYPE LEGEND	
	= LOT
	= PROPOSED ROOF
	= EXISTING BUILDING



**MAIN STREET**

**LOURMEL STREET**

**Veronica Ventreschi**  
Architectural Designer  
(475) 319 - 3176  
Monroe CT  
@veronicaventreschi



**GENERAL NOTES:**  
THE DRAWINGS AND DETAILS ON IT, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF ELIZABETH DESIGN DEVELOPMENT LLC, AND MAY BE USED FOR THIS SPECIFIC PROJECT AND SHALL NOT BE LOANED, COPIED OR REPRODUCED WITHOUT THE CONSENT OF ELIZABETH DESIGN DEVELOPMENT LLC.

**NOTE:**  
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE PRIOR EXECUTION OF CONSTRUCTION

NO.	REVISIONS	BY	DATE

**CLIENT:**  
4187 MAIN STREET  
BRIDGEPORT, CT

**PROJECT NAME:**  
RENOVATION

**DRAWING TITLE:**  
SITE PLAN

BY: WERONICA DE SOUZA

<b>PROJECT NO.</b> IC-01	<b>SCALE:</b> 3/16" = 1'-0"	<b>SHEET NO.</b> A-1
	<b>DATE:</b> JULY./2021	

New asphalt shingles on 15/32 Roof Sheathing  
w full covering of Ice & Water shield

2x8 Roof rafters w/ 2x6 collar  
ties/ c/tyg joists @ 16" OC

2 @2x8 Microlam w/ Hurricane  
straps @ ea Rafter.

Simpson BC4 Top Cap  
Alum pan soffit with  
recessed Led lights

Simpson ABU44Z w/ 1/2 bolts

New Rain Leader to new 4" PVC  
to exist underground  
storm sewer system

6x6 PT post w/ 3/4  
azak wrap trim

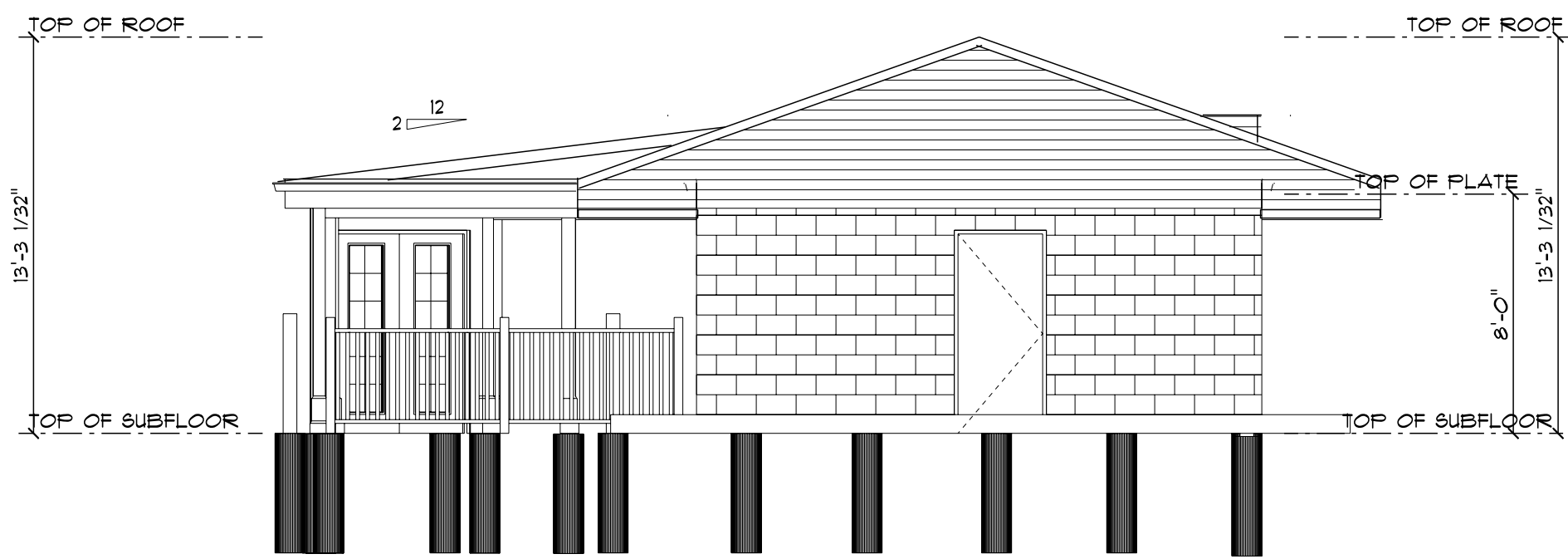
Simpson ABU44Z w/ 1/2 bolts

Exist conc slab cut &  
repair as required.

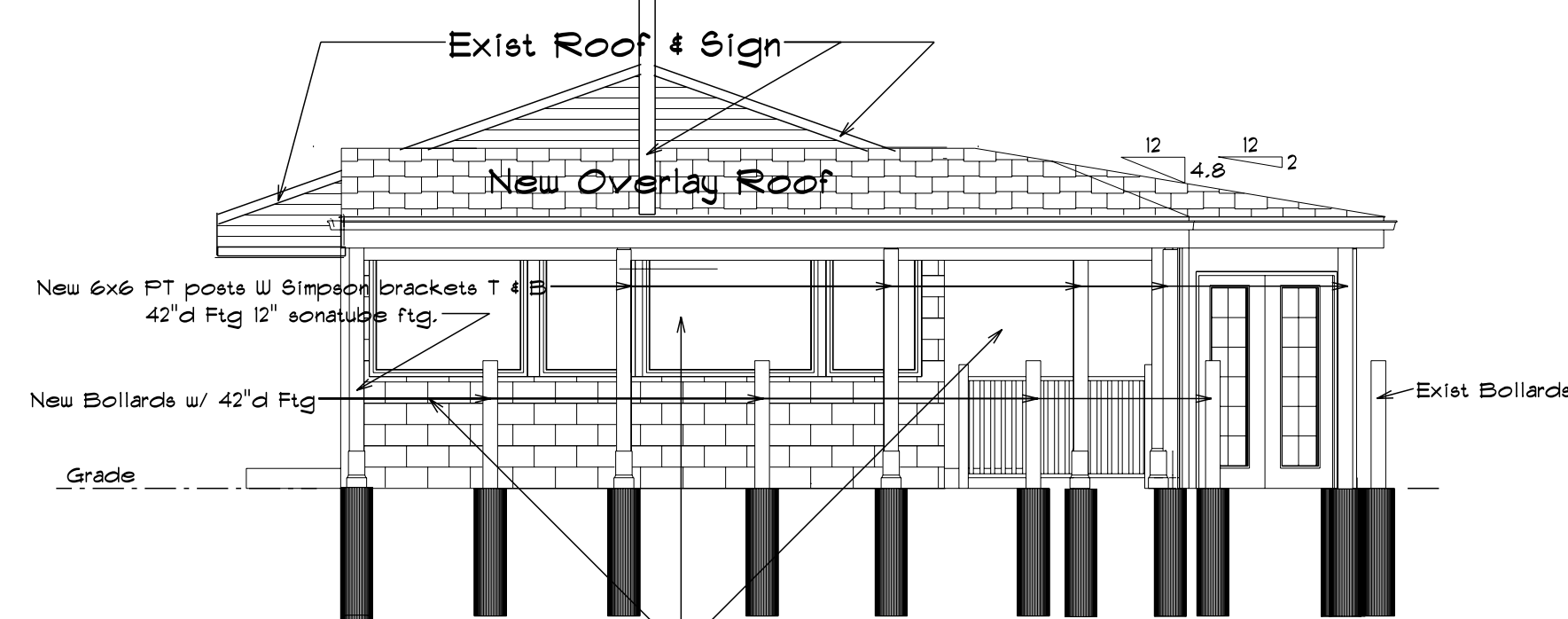
Provide new 2@2x4 haunch  
within exist fascia for exist roof  
Block dn to top w/exist top plate.  
Provide hurricane straps at ea stud  
and use strap material to tie to top plate.

Joist hangers to exist header

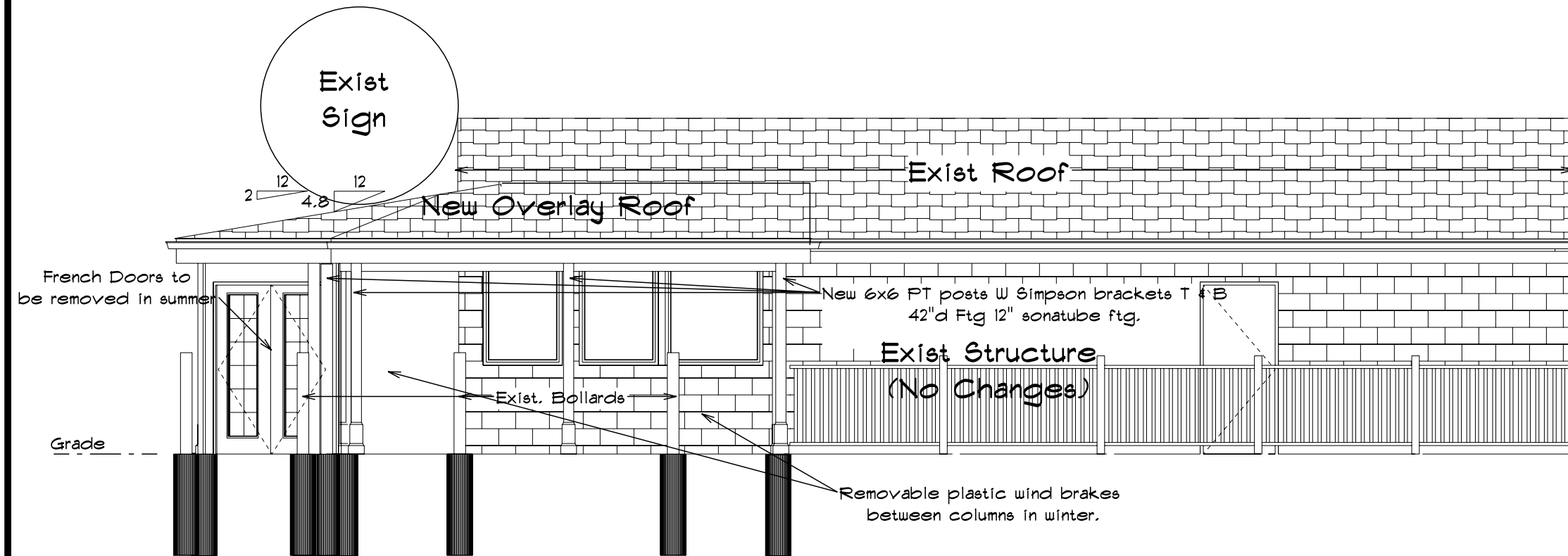
**CROSS SECTION A**  
SCALE: 1/2" = 1'-0"



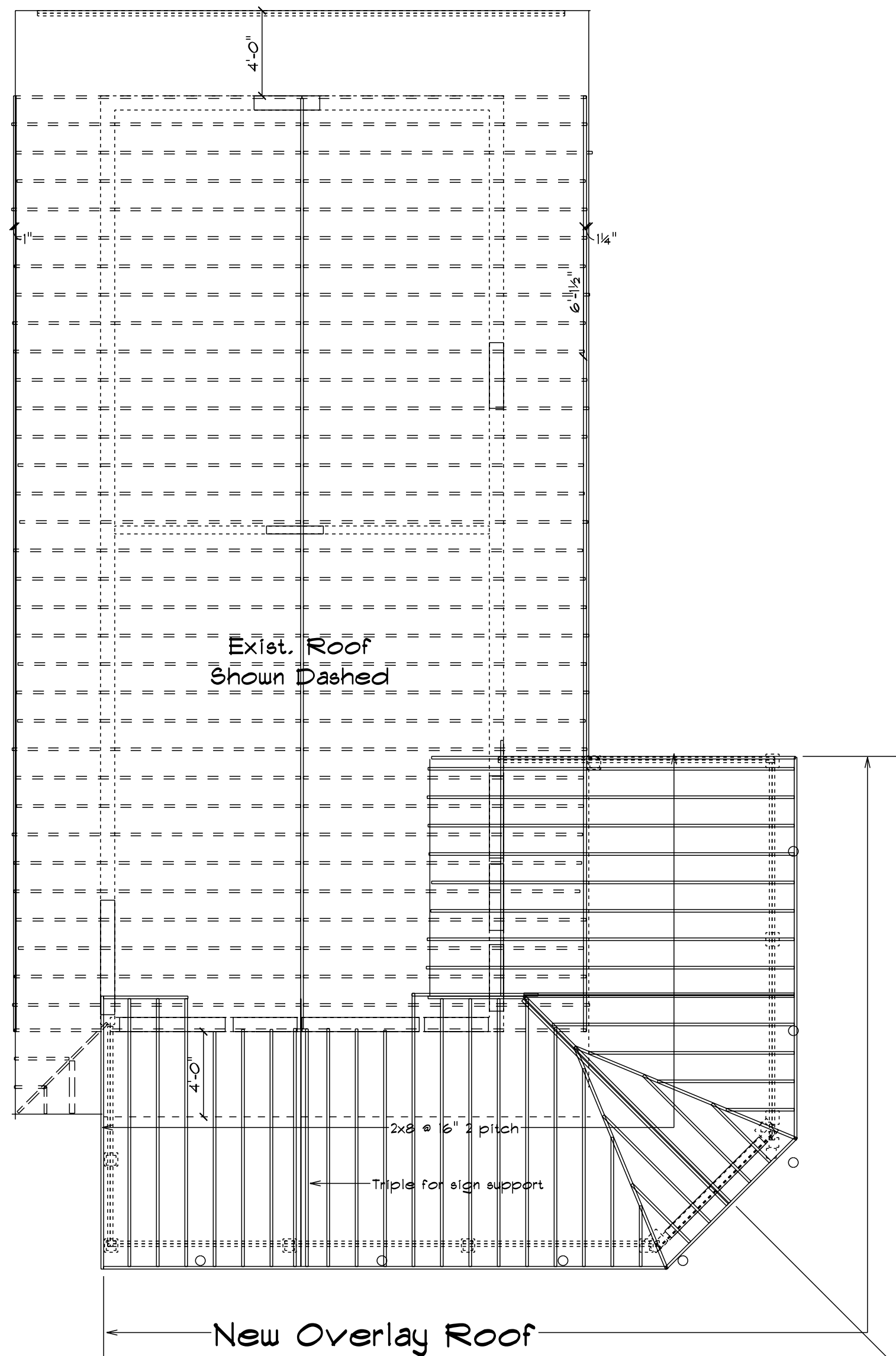
**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



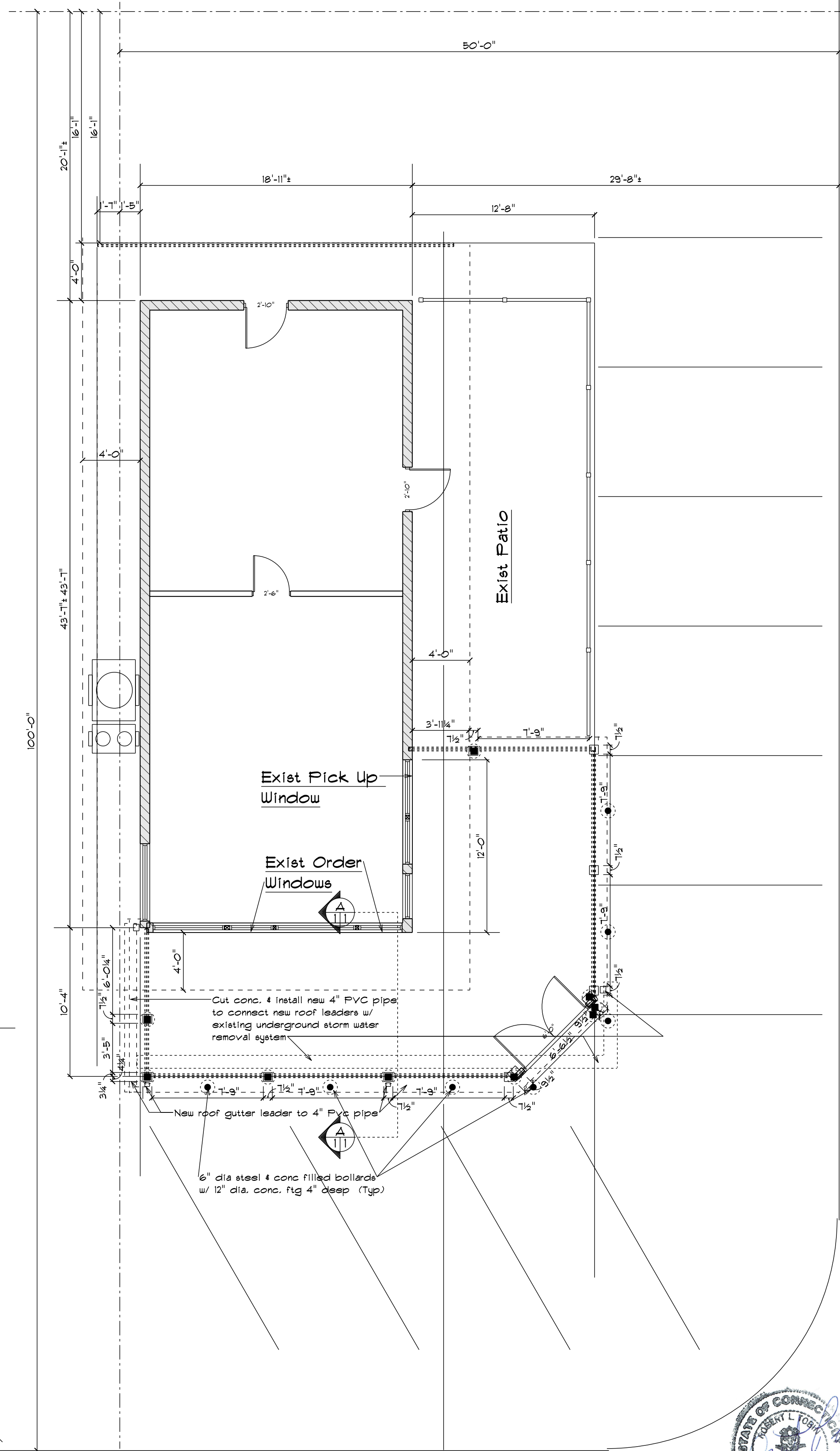
**EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



**NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"



**ROOF FRAMING PLAN**  
SCALE: 3/16" = 1'-0"



**Plan**  
SCALE: 3/16" = 1'-0"



To Whom It May Concern,

I am looking to hang a new sign at my establishment located at 4191 Main Street Bridgeport CT 06606. The reason for the new sign is that I recently remodeled my store front and I want a new sign that would is more appealing and visible to people driving down main street.

Thank You

PALMER DOREEN  
46 MARCEL ST

CONDORI MARIA L M ET AL  
36 MARCEL ST

LEI MARC  
623 SCRUB JAY DR

45 LOURMEL STREET LLC  
P O BOX 110234

MCLEOD CRAIG  
35 LOURMEL ST

TAI SHING CORP  
4171 MAIN ST

QUINONES ROSA E ETAL  
25 LOURMEL ST

SCALZI REBECCA E TRUSTEE  
5916 NEWELL DRIVE

SANTA LUCIA RALPH & PAMELA CO  
TRUSTEE  
948 ROSE AVENUE

MAIN STREET SHOPPING CENTER  
PO BOX 321017



# PLANNING & ZONING COMMISSION APPLICATION

MAR 27 '23 PM 12:10

1. NAME OF APPLICANT: Bulent Sag (Main Street Drury LLC)
2. Is the Applicant's name Trustee of Record? Yes \_\_\_\_\_ No \_\_\_\_\_  
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 4191 Main Street Bridgeport 06606  
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 2312 Lot No. 18A
5. Amendments to Zoning Regulations: (indicate) Article: \_\_\_\_\_ Section: \_\_\_\_\_  
**(Attach copies of Amendment)**
6. Description of Property (Metes & Bounds): 100' x 100'
7. Existing Zone Classification: UX2
8. Zone Classification requested: No Change
9. Describe Proposed Development of Property: No Change.

Approval(s) requested: Erect Roof Sign

Signature: \_\_\_\_\_ Date: 3/21/23  
 Print Name: Bulent Sag

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Mailing Address: 4191 Main Street Bridgeport CT 06606  
 Phone: 9176408764 Cell: 9176408764 Fax: \_\_\_\_\_  
 E-mail Address: bulentsag@hotmail.com

\$ \_\_\_\_\_ Fee received Date: \_\_\_\_\_ Clerk: \_\_\_\_\_

### THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

Kathleen A Palmes Kathleen Palmes 3-21-23  
 Print Owner's Name Owner's Signature Date

\_\_\_\_\_  
 Print Owner's Name Owner's Signature Date

25 FEET

24 FEET

20 INCH  
9 INCH

# MAIN STREET CREAMERY

ICE CREAM



100 INCH

1 FT. / 24 INCH.

1.6 FT./20 INCH.

8.4 FT. / 100 INCH.

12 FT. / 144 INCH.

11.5 FT. / 138 INCH.

2 FT./24 INCH.

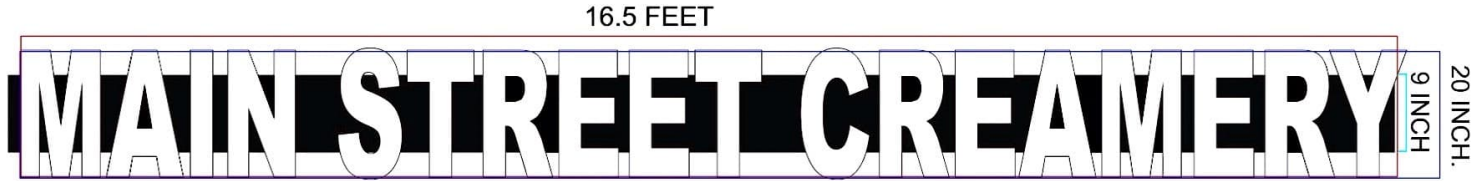
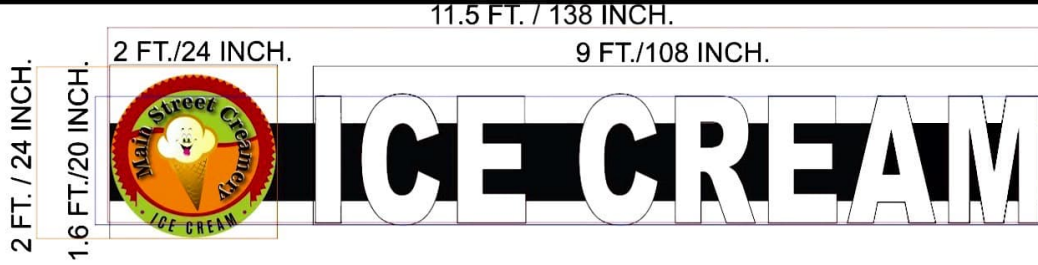
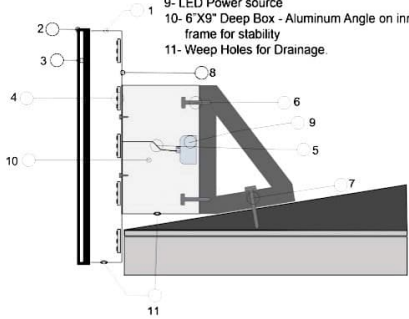
9 FT./108 INCH.



**FLUSH MOUNT - FRONT - LIT CHANNELS ON SMALL BOX**



- 1- 3.5" Deep .032 Aluminum Returns.
- 2- 3/4" Jewelite Trimp Cap.
- 3- 1/8" Plexiglass White Faces Material
- 4- LED Lighting System w/ High Intensity.  
( Est. 400 Candies per Meter/Square - GE Systems)
- 5- Low Voltage Wiring from LED Strip to Transformer.
- 6- 1/4" x 2" Threaded Rod - Thru Bolt w/1/2" Nut
- 7- 1/4" x 2.5" Threaded Rod - Thru Bolt
- 8- 1/8" Durabon white back
- 9- LED Power source
- 10- 6"X9" Deep Box - Aluminum Angle on inner frame for stability
- 11- Weep Holes for Drainage.



24 FEET

