



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

ORIGINAL

- 1. NAME OF APPLICANT: LANDTECH/Tom Ryder
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 39 Penfield Place, Bridgeport CT 06605
4. Assessor's Map Information: Block No. 116 Lot No. 11
5. Amendments to Zoning Regulations: (indicate) Article: Section:
6. Description of Property (Metes & Bounds): Property is 0.29 acres in size located to the southwest of Penfield Place and Beacon street.
7. Existing Zone Classification: RAA
8. Zone Classification requested:
9. Describe Proposed Development of Property: Proposed pool, accessory boat house, house addition, and garage addition.

Approval(s) requested: Coastal Area Management Review

Signature: [Handwritten Signature]

Date: 12/21/2021

Print Name: Tom Ryder

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature:

[Handwritten Signature]

Print Name: Tom Ryder

Mailing Address: 518 Riverside Avenue Westport CT 06880

Phone: 203.454.2110

Cell:

Fax:

E-mail Address: tryder@landtechconsult.com

\$ Fee received

Date:

Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
A-2 Site Survey
Building Floor Plans
Completed Site / Landscape Plan
Drainage Plan
Building Elevations
Written Statement of Development and Use
Property Owner's List
Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

SEE ATTACHED OWNER AUTHORIZATION

Print Owner's Name

Owner's Signature

Date

Print Owner's Name

Owner's Signature

Date

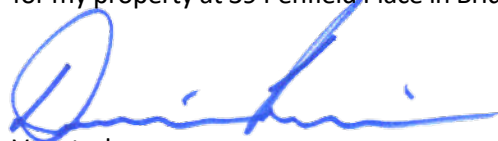
December 15, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604

Subject: Applications for 39 Penfield Place, Bridgeport, CT

Dear Mr. Buckley,

I authorize Thomas Ryder and LandTech to act as my agent in the preparation and submission of applications for my property at 39 Penfield Place in Bridgeport, CT.

A handwritten signature in blue ink, appearing to read "Damien Breier", is written over the typed name. The signature is fluid and cursive, with a large initial "D" and a long horizontal stroke.

Very truly yours,
Damien Breier

**39 Penfield Place
Bridgeport, CT**

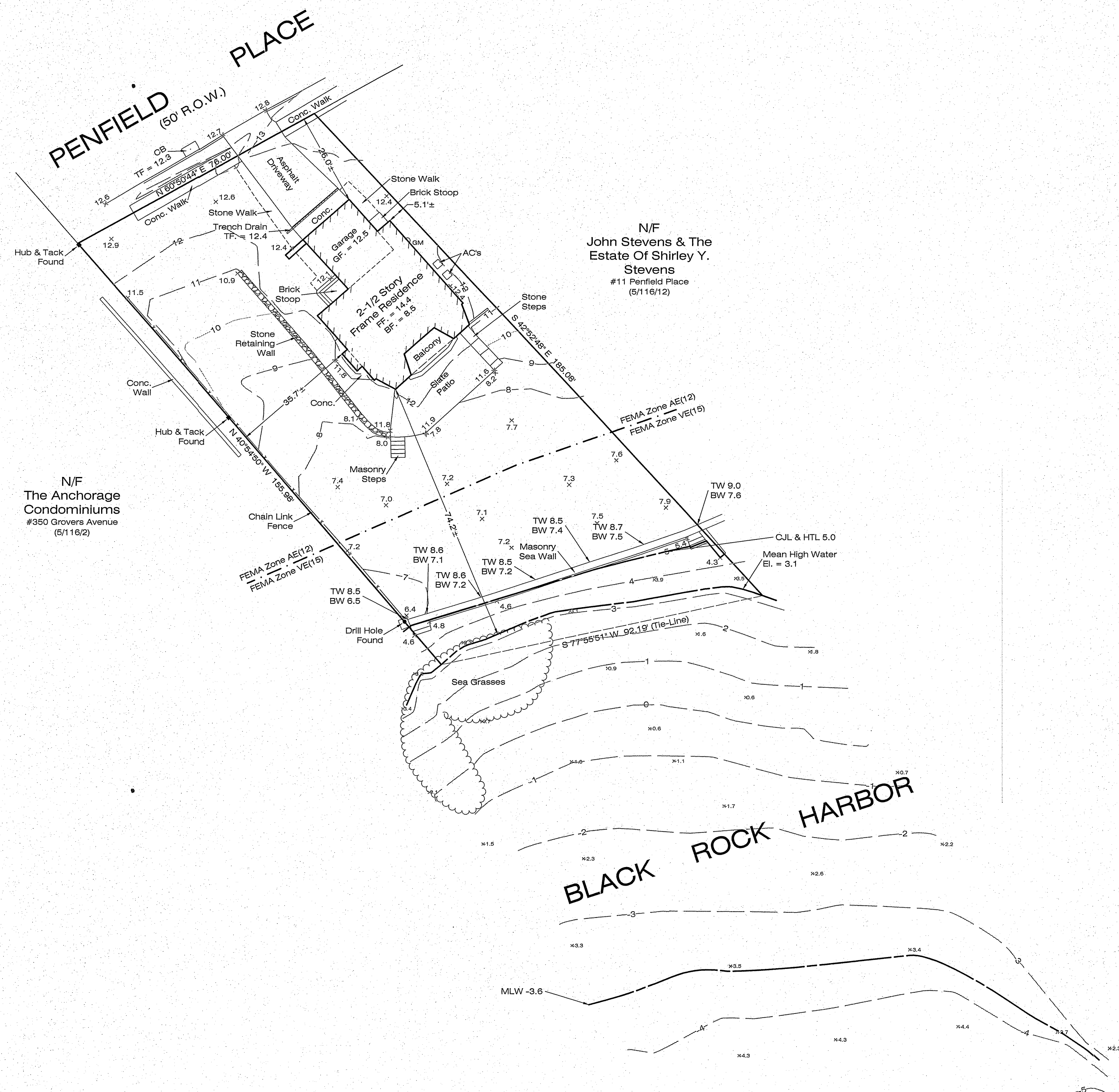
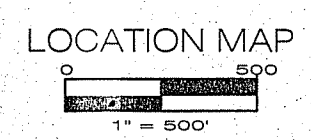
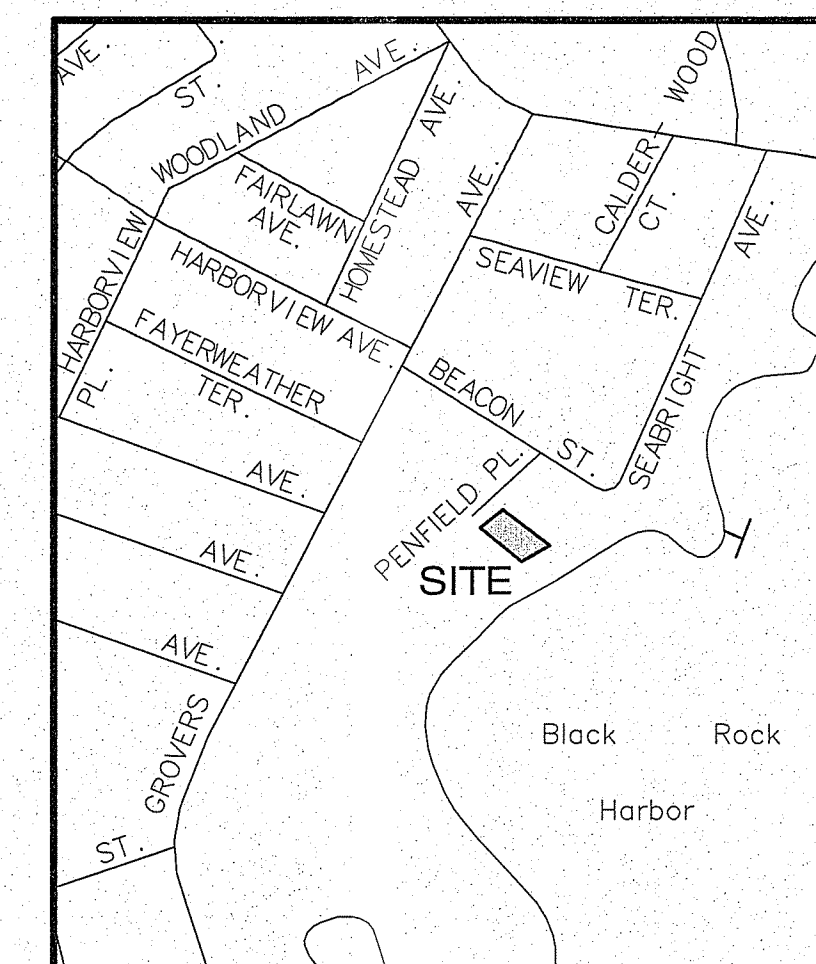
Written Statement of Development Use

The property is currently developed. The property currently contains a single-family house on a 0.29 acre lot located to the southwest of Penfield Place and Beacon Street Intersection. The site is on Black Rock Harbor. The proposal is to construct a 330 square foot pool, accessory boat house, house addition and garage addition. Site improvements will also include a proposed dock on the southern portion of the property. An application for the dock will be submitted to the DEEP for approval, however there is a 9ft x 4ft section of the dock is proposed landward of the mean high-water line and therefore is within the City of Bridgeport's jurisdiction. An existing seawall is currently located at the southern portion of the property abutting the sandy beach along Black Rock Harbor. Repairs are proposed on the seawall within the existing footprint.

The property drains entirely to the Black Rock Harbor; therefore, no reduction of the discharge rate is proposed. A proposed underground detention system has been designed for water quality for the proposed impervious areas. Runoff from the proposed building additions, driveway, pool, and terraces will discharge into the proposed underground detention system.

39 Penfield Place - 100ft Abutters

PARCEL ID	LOCATION	OWNER NAME	OWNER ADDRESS	CITY	STATE	ZIP
18612	21 PENFIELD PL	STEVENS SHIRLEY Y & JOHN S	11 PENFIELD PL	BRIDGEPORT	CT	06605
23550	10 PENFIELD PL	SMELTZ SABRINA	10 PENFIELD PL	BRIDGEPORT	CT	06605
23568	26 PENFIELD PL	JONES GARRY E	26 PENFIELD PL	BRIDGEPORT	CT	06605
23572	350 GROVERS AV #01S	KROOK K CHRISTER & LEENA	1149 FAIRFIELD BEACH RD	FAIRFIELD	CT	06824
23580	36 PENFIELD PL	KILEY ERIN	36 PENFIELD PL	BRIDGEPORT	CT	06605
23586	37 BEACON ST	NAPPI ELISE	37 BEACON ST	BRIDGEPORT	CT	06605
28267	39 PENFIELD PL	BRIER DAMIEN	39 PENFIELD PL	BRIDGEPORT	CT	06605



LEGEND

- HYDRANT
- MANHOLE
- ⊕ GAS VALVE
- UTILITY POLE
- WATER VALVE
- ⊙ LAMP POST
- CATCH BASIN
- ELECTRIC BOX
- ⊙ SIGN
- ⊙ MAILBOX
- EXISTING IRON PIN
- EXISTING CONCRETE MONUMENT
- ⊗ STONE BOUND
- ⊘ HEDGE
- STONEWALL
- WL — INLAND WETLANDS
- X — METAL FENCE
- ○ — WOOD FENCE
- — EXISTING CONTOUR LINE
- — PROPOSED CONTOUR LINE
- ⊙ EXISTING SPOT ELEVATION
- ⊙ PROPOSED SPOT ELEVATION

ZONE: R-AA	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	11,250 sf	12,642±	-	-
Minimum Lot Frontage	90'	76.00'	-	-
Minimum Lot Depth	100'	170.8±	-	-
MINIMUM SETBACK				
Setback From Front Line	20'	26.0±	-	-
Setback From Side Property Lines	10'	-	-	-
Setback From One Side	10'	5.1±	-	-
Setback From Both Sides Shall Add up to	20'	40.8±	-	-
Setback From Rear Property Lines	20'	74.2±	-	-
Setback From Street Line On A Corner Lot - One Story	-	-	-	-
COVERAGE				
Maximum Building Coverage	35%	10.6%	-	-
Maximum Site Coverage	60%	19.3%	-	-
LANDSCAPED AREA				
Minimum	40%	79.0%	-	-
HEIGHT				
To Mid-Point of Highest Roof (Principal Building)	28'	23.2±	-	-
To Ridge (Principal Building)	35'	29.0±	-	-

- NOTES:**
- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2, Topographic Accuracy Class T-2.

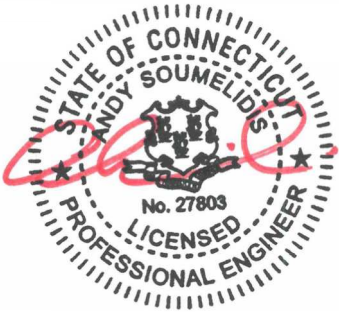
This survey was conducted with snow cover and may not show all surface improvements.
 - Reference is made to the following documents on file in the Bridgeport Town Clerk's Office:
 - A. Volume 41, Page 6 - "As Built Survey Of Property In Bridgeport, Conn. Known As: Glen Cove Estates, Condominiums; Scale: 1"=30'; Dated: May 12, 1975" prepared by Fuller & Co, Inc.
 - B. "Map Of Property For Cornelia Lathrop, Black Rock District, Bridgeport, Conn.; Scale: 1"=40'; Dated" December 27, 1927" prepared by W.C. Morehouse, Surveyor.
 - C. Volume 6002, Page 247.
 - D. Volume 5225, Page 211.
 - E. Volume 2716, Page 1.
 - The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation, Dial 811 or 1-800-922-4455.
 - Property is located in FEMA Zone AE(12) & VE (15). Per Flood Insurance Rate Map #09001C0438G, Effective Date: July 8, 2013; Panel 438 of 626.
 - Vertical Datum: NAVD 88 (GPS Derived).
 - Property is served by municipal water supply and sanitary sewer.
 - Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
 - It is the owner's and/or contractor's responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.
 - Proposed calculations are based on architectural plans submitted by the client. In some cases dimensions are scaled. It is the contractor's responsibility to adjust for siding that will be added to the structure with respect to coverage and setbacks. The surveyor assumes no responsibility for details that are not submitted for our review.

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY
 TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

DATA ACCUMULATION PLAN
 PREPARED FOR
DAMIEN BREIER
 #39 PENFIELD PLACE
 BRIDGEPORT, CONNECTICUT

20 0 20 40

DATE: MARCH 1, 2021	SCALE: 1"=20'	DRAFTER: SJR	JOB NUMBER: 1321	PROJECT #: 1321
NO. DATE DESCRIPTION		THE HUNTINGTON COMPANY, LLC Consulting Engineers & Surveyors 303 Linwood Avenue, Fairfield, CT 203.259.1091		
REVISIONS				

<p>STORMWATER MANAGEMENT</p> <p>REPORT</p> <p>for</p> <p>39 Penfield Place</p> <p>Bridgeport, CT</p> <p>December 17, 2021</p>	
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Narrative:

The owners of 39 Penfield Place, Bridgeport, CT proposes to construct new building additions, boathouse, driveway, pool, terraces, and related site improvements on a previously developed property. Improvements are limited to the areas related to the construction of the above-listed structures and lawn areas as shown on the site plans prepared by LANDTECH.

The property is 0.290± acres in size, it is located to the southwest of the Penfield Place and Beacon Street intersection. The entire site drains to the Black Rock Harbor.

The NRCS soils map indicates the upland soils in the vicinity of the proposed improvements to be Udorthents-Urban land complex, which is a well-drained soil in Hydrologic Soil Group B. Deep test results confirm the hydrologic rating of this area. It is assumed that the underlying soils will allow the detained stormwater to infiltrate within 72 hours, per CT DEEP guidance (requires a 0.18"/hour infiltration rate).

The property drains entirely to the Black Rock Harbor; therefore, no reduction of the discharge rate is proposed, only water quality for the proposed impervious areas. This will be achieved through the implementation of a proposed underground detention system. Runoff from the proposed building additions, driveway, pool, and terraces will be collected via a system of roof leaders catch basins and collection piping and will discharge into the proposed underground detention system. Water quality volume (WQv) calculations are attached herewith and made part of this report.

Table 1 summarizes the required and proposed water quality volumes.

TABLE 1 – TOTAL WATER QUALITY VOLUME (WQv)		
	PRE-DEV/ REQUIRED	POST DEV PROVIDED
WATER QUALITY	340.17 CF	357.10 CF

It is our professional opinion that upon construction of the proposed improvements, water quality will be improved in accordance with the rules and regulations of the City of Bridgeport.

Exhibits:

- NRCS Soils Report;
- Water Quality Volume (WQv) Calculations

NRCS Soils Report

Hydrologic Soil Group—State of Connecticut



Map Scale: 1:439 if printed on A landscape (11" x 8.5") sheet.



































Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

MAP LEGEND

Area of Interest (AOI)	 C
 Area of Interest (AOI)	 C/D
Soils	 D
Soil Rating Polygons	 Not rated or not available
 A	Water Features
 A/D	 Streams and Canals
 B	Transportation
 B/D	 Rails
 C	 Interstate Highways
 C/D	 US Routes
 D	 Major Roads
 Not rated or not available	 Local Roads
Soil Rating Lines	Background
 A	 Aerial Photography
 A/D	
 B	
 B/D	
 C	
 C/D	
 D	
 Not rated or not available	
Soil Rating Points	
 A	
 A/D	
 B	
 B/D	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut
 Survey Area Data: Version 21, Sep 7, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 27, 2014—Jul 22, 2014

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
306	Udorthents-Urban land complex	B	0.4	100.0%
Totals for Area of Interest			0.4	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Water Quality Volume Calculations

Project: **39 Penfield Place**
Bridgeport, CT

By: **SM**
Checked: **AS**

Date: **12/17/2021**
Revised:

1. Water Quality Volume

a. Compute volumetric runoff coefficient, R

$$R = 0.05 + 0.009(I)$$

Proposed

Total Drainage Area, A	0.290	acres
Total Impervious Area	0.088	acres
Percentage of Impervious Area, I	30.3%	
Runoff Coefficient, R	0.323	

b. Compute water quality volume, WQV

$$WQV = [(1")(R)(A)]/12$$

Total Project Area, A	0.290	acres	
Runoff Coefficient, R	0.323		
Water Quality Volume, WQV	0.008	acre-foot	
Water Quality Volume, WQV	340.17	cf	Required
WQV in CULTEC 100HD	357.10	cf	Provided

Water Quality Volume provided > required

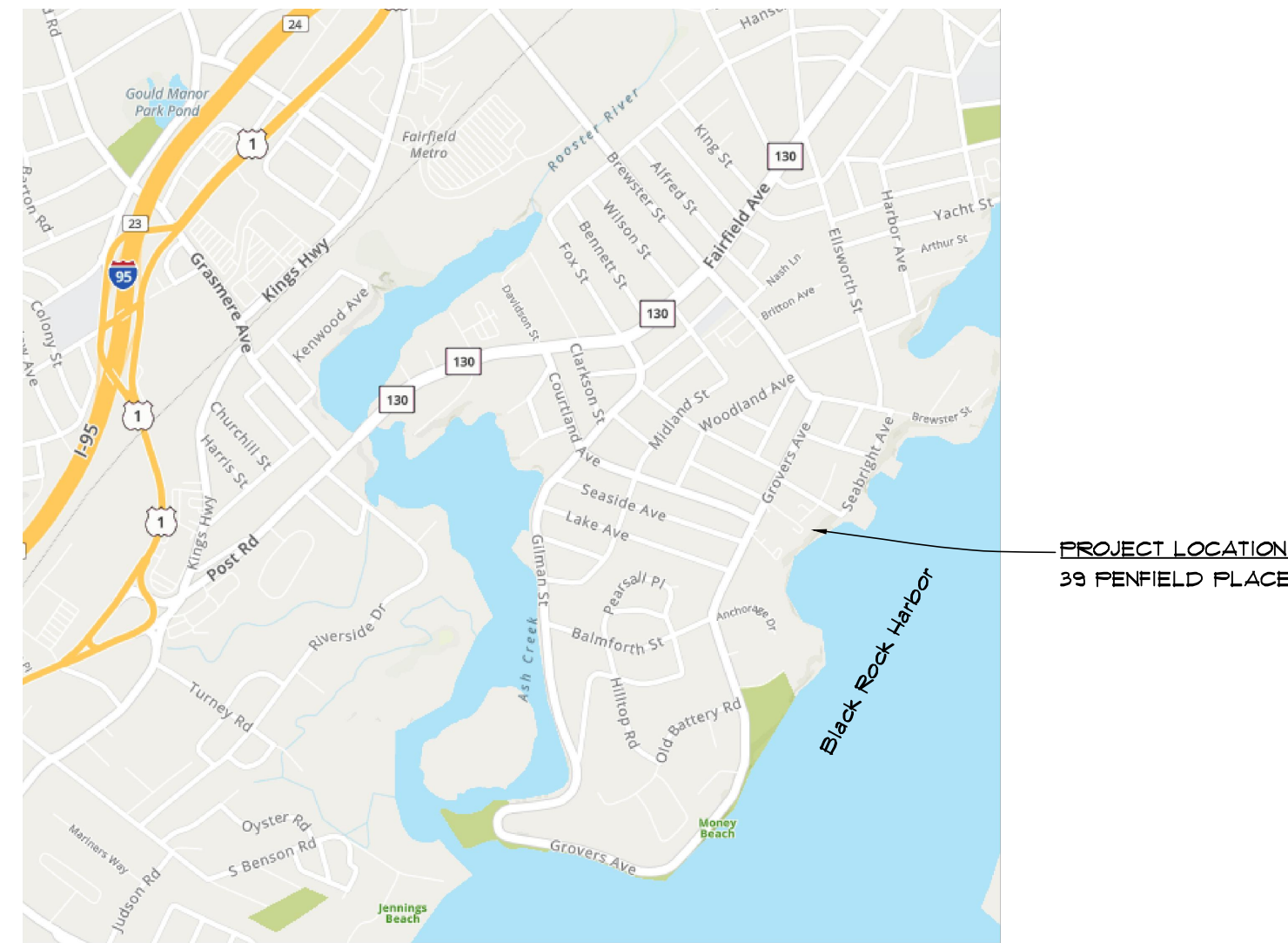
Remodel / Addition / Accessory Building

Breier Residence 39 Penfield Place Bridgeport, Connecticut

General Notes:

- ALL MATERIALS AND WORKMANSHIP TO CONFORM TO THESE PLANS, THE 2018 CONNECTICUT STATE BUILDING CODE WITH CITY OF BRIDGEPORT AMENDMENTS, AND ANY OTHER APPLICABLE CODES AND REGULATIONS OF THIS JURISDICTION.
- ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED THE BEST STANDARDS OF THE TRADE.
- DO NOT SCALE DRAWINGS. ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- PROTECTION OF OWNER'S PROPERTY AND ALL ADJACENT PROPERTIES AS WELL AS THE GENERAL PUBLIC ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MAINTAINED AT ALL TIMES.
- ALL REFERENCES TO THE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHOWN IN THESE PLANS ARE INTENDED TO BE FOR CONCEPTUAL DESIGN ONLY. SPECIALTY SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR DESIGN, SECURING PERMITS, INSTALLATION, AND PROPER OPERATION OF ALL SYSTEMS.
- THESE PLANS ARE NOT INTENDED TO SHOW THE METHOD AND MEANS OF EXECUTION OF THE WORK THAT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW AND FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO COMMENCING WITH CONSTRUCTION. IF ANY CONFLICT EXISTS BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS AND/OR ANY EXISTING SITE CONDITIONS, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE ARCHITECT PRIOR TO EXECUTION.

Location Map



Project Description

THE PROJECT SCOPE OF WORK PROPOSES TO RENOVATE AND EXPAND THE EXISTING 3 BEDROOM, 2-1/2 BATH SINGLE FAMILY RESIDENCE TO A 3 BEDROOM 4-1/2 BATH SINGLE FAMILY RESIDENCE. EXTERIOR DOORS AND WINDOWS WILL BE REPLACED FOR ENERGY EFFICIENCY. NEW INSULATION IS PROPOSED AT EXTERIOR WALLS, BELOW THE GROUND FLOOR AND ABOVE THE SECOND FLOOR CEILING. ALL MECHANICAL SYSTEMS WILL BE REPLACED AND RELOCATED PER THE NEW DESIGN. ALL INTERIOR FINISHES WILL BE REPLACED. THE EXTERIOR FINISHES OF THE HOUSE ARE TO REMAIN THE SAME WITH SHINGLE SIDING AND COMPOSITE SHINGLE ROOFING IN KEEPING WITH THE CHARACTER OF THE EXISTING NEIGHBORHOOD.

THE PROJECT PROPOSES THE FOLLOWING SCOPE OF WORK TO THE EXISTING 3 STORY (PLUS ATTIC) RESIDENCE:

- REMODEL:**
- REPLACE ALL EXISTING EXTERIOR WINDOWS AND DOORS
 - REMOVE ALL INTERIOR WALL FINISHES
 - REMOVE EXISTING INTERIOR WALLS/DOORS PER NEW DESIGN
 - REPLACE EXISTING INTERIOR STAIR
 - RELOCATE EXISTING UTILITIES PER NEW DESIGN
 - CONVERT PORTION OF EXISTING GARAGE TO HABITABLE SPACE AND REORIENT GARAGE ACCESS.
 - REVISE EXISTING DRIVEWAY AND PORCH PER NEW DESIGN
 - REMOVE EXISTING PATIO
 - PATCH AND REPAIR SIDING AND ROOFING AS NEEDED PER NEW DESIGN
- ADDITION:**
- CONSTRUCT NEW 2 CAR GARAGE AT GROUND LEVEL.
 - CONSTRUCT NEW BEDROOMS/BATHROOMS OVER GARAGE
 - ADD NEW DINING PAVILION WITH DECK ABOVE.
 - INFILL PORTION OF GROUND AND SECOND FLOORS.
- ACCESSORY:**
- CONSTRUCT NEW BOAT HOUSE TOWARD REAR OF LOT
- SITE WORK:**
- PROVIDE NEW DRIVEWAY AND DRAIN PER NEW DESIGN
 - CONSTRUCT NEW POOL AND SPA (UNDER SEPARATE PERMIT)
 - PROVIDE NEW PATIO AROUND POOL AND SPA
 - PROVIDE NEW STAIRS, POOL EQUIPMENT SCREENS, OUTDOOR SHOWER, GRILL COUNTER AND HARDSCAPE PER NEW DESIGN.
 - EXISTING LANDSCAPING TO REMAIN

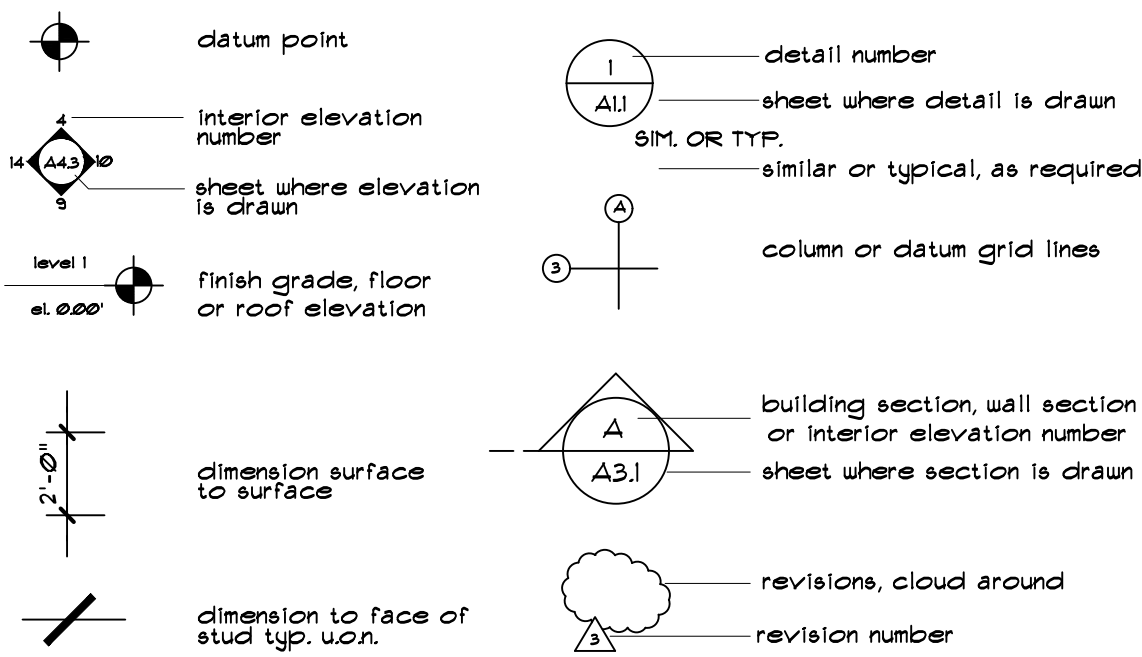
Index of Drawings:

TS	COVER SHEET: INDEX OF DRAWINGS, PROJECT INFO, TESTS & INSPECTIONS, ABBREVIATIONS, PROJECT DIRECTORY & BUILDING AREAS
ARCHITECTURAL DRAWINGS:	
EC-0	EXISTING SITE PLAN
EC-1	EXISTING BASEMENT and GROUND FLOOR PLANS
EC-2	EXISTING SECOND and ATTIC FLOOR PLANS
EC-3	EXISTING EXTERIOR ELEVATIONS
EC-4	EXISTING EXTERIOR ELEVATIONS
A-01	SITE PLAN
A-02	SCHEDULES
A-10	BASEMENT FLOOR PLAN
A-11	GROUND FLOOR PLAN
A-12	SECOND FLOOR PLAN
A-13	ATTIC PLAN
A-21	EXTERIOR ELEVATIONS
A-22	EXTERIOR ELEVATIONS
A-31	BUILDING SECTIONS
A41	ROOF PLAN
SURVEY:	
SHEET 1 OF 1	DATA ACCUMULATION PLAN

Typical Abbreviations:

AB	Anchor Bolt	LB	Lag Bolt
ALUM	Aluminum	LLH	Long Leg Horizontal
ALT	Alternates	LLV	Long Leg Vertical
ATR	All-Thread Rod	LT	Light
		LVL	Laminated Veneer Lumber
BFF	Below Finished Floor	MAX	Maximum
BLDG	Building	MB	Machine Bolt
BLKG	Blocking	MECH	Mechanical
BM	Beam	MFR	Manufacturer
CL	Centerline	MIN	Minimum
CALCS	Calculations	MISC	Miscellaneous
CANT	Cantilever	(N)	New
CB	Carriage Bolt	NA	Not Applicable
CJ	Control Joint	N.I.C.	Not in Contract
CLR	Clear	NO.	Number (*)
CMU	Concrete Masonry Unit	N.T.S.	Not to Scale
COL	Column	O	Over (On)
CONC	Concrete	O.C.	On Center
CONN	Connector	OD	Outside Diameter
CSK	Countersink	OSB	Oriented Strand Board
DBL	Double	PAR	Parallel ()
DEJ	Douglas Fir	PERP	Perpendicular (⊥)
DET	Detail	PDP	Power Driven Fastener
DF	Diameter	PL	Plate
DIA	Dimension	PLWD	Plowwood
DIM	Dimension	P.S.I.	Pounds per Square Inch
DO	Ditto	P&L	Parallel Strand Lumber
DWG	Drawing	P.T.	Pressure Treated
(E)	Existing	R	Radius
EA	Each	REBAR	Reinforcing Steel Bar
EB	Expansion Bolt	REF	Reference
EE	Each End	REINF	Reinforcing
E.F.	Each Face	RET	Return
ELEV	Elevation	REQ'D	Required
EJ	Expansion Joint	R.O.	Rough Opening
EN	Edge Nail	RDWD	Redwood
ES	Each Side	S.A.D.	See Architectural Drawings
EUL	Each Way	S.B.	Solid Block
EXP	Expansion	S.C.D.	See Civil Drawings
EQ	Equal	SHT	Sheet
EXT	Exterior	SHTG	Sheathing
		SH	Similar
FDN	Foundation	S.M.D.	See Mechanical Drawings
FF	Finish Floor	SPECS	Specifications
FIN	Finish	SQ	Square
FLR	Floor	SS	Select Structural
FN	Field Nail	STL	Steel
F.O.C.	Face of Concrete	S.W.	Shear Wall
F.O.M.	Face of Masonry	SYM	Symmetrical
F.O.S.	Face of Stud	S4S	Surfaced All Four Sides
FT	Feet	TC	Top of Curb
FTG	Footing	T&B	Top & Bottom
GA	Gauge	T&G	Tongue & Groove
GALV	Galvanized	T.N.	Toe Nail
GLB	Glu-Laminated Beam	T.O.	Top of
GYP. BD.	Gypsum Board	T.O.C.	Top of Concrete
		TS	Tube Steel
HD	Header	T-U	Tilt-Up
HDR	Hanger	TYP	Typical
HGR	Horizontal	UBC	Uniform Building Code
HORZ	Horizontal	U.O.N.	Unless Otherwise Noted
H.S.	High Strength	VERT	Vertical
H.S.B.	High Strength Bolt	V.B.	Vapor Barrier
HT	Height	V.I.F.	Verify in Field
		W	With
ID	Inside Diameter	W.P.	Waterproof
INT	Interior	WUF	Welded Wire Fabric
JH	Joist Hanger		
J&T	Joist		
JT	Joint		
KD	Kiln Dried		

Symbols



Separate Building Permits Required

ITEMS LISTED BELOW, WHILE DELINEATED WITHIN THESE DRAWINGS REQUIRE SEPARATE BUILDING PERMITS FROM NAPA COUNTY. PERMIT DRAWINGS FOR THESE ITEMS ARE TO BE PROVIDED BY OTHERS ON A DESIGN BUILD BASIS.

- POOL AND SPA
- PRE-FABRICATED ROOF TRUSSES

Project Info

ADDRESS: 39 PENFIELD PLACE BRIDGEPORT, CT
LOT AREA: 12,642 SF (0.29 ACRES)
ZONING: R-4A SINGLE FAMILY RESIDENTIAL
OCCUPANCY GROUP: R-3 / U
CONSTRUCTION TYPE: V-B
FLOOD ZONE: FEMA ZONE AE(1)2 and FEMA ZONE VE(1)5

CODES: 2015 INTERNATIONAL BUILDING CODE
 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
 2015 INTERNATIONAL EXISTING BUILDING CODE
 2015 INTERNATIONAL PLUMBING CODE
 2015 INTERNATIONAL MECHANICAL CODE
 2015 INTERNATIONAL ENERGY CONSERVATION CODE
 2011 NFPA 70, NATIONAL ELECTRIC CODE, OF THE NATIONAL FIRE PROTECTION ASSOCIATION INC.
 2015 INTERNATIONAL RESIDENTIAL CODE OF THE INTERNATIONAL CODE COUNCIL, INC.
 2018 CITY OF BRIDGEPORT AMENDMENTS

DEVELOPMENT STANDARD	ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA:	11,250 SF	12,642 SF	No Change
MINIMUM LOT FRONTAGE:	90 LF	76 LF	No Change
MINIMUM LOT DEPTH:	100 LF	170 LF	No Change

BUILDING HEIGHTS:	ALLOWED	EXISTING	PROPOSED
MAXIMUM RIDGE HT.	35'-0"	29'-0"	No Change
MIDPT OF HIGHEST ROOF	28'-0"	23'-3"	No Change

BUILDING COVERAGE	ALLOWED	EXISTING	PROPOSED
MAXIMUM SITE COVERAGE	35%	10.6%	19.4 % (2,454.3 SF)
	60%	19.3%	44.8 % (5,664.1)

SETBACKS:	ALLOWED	EXISTING	PROPOSED
FRONT	20'-0"	26'-0"	No Change
SIDE-LEFT	10'-0"	5'-1"	No Change
SIDE-RIGHT	10'-0"	35'-0"	14'-11"
COMBINED SIDE	20'-0"	40'-3"	20'-0"
REAR	20'-0"	74'-3"	60'-11"

SETBACKS (ACCESSORY):	ALLOWED	EXISTING	PROPOSED
FRONT	75 LF or 50% OF LOT DEPTH (Whichever is less)	---	90 LF
SIDE	10 LF	---	10.25 LF
REAR	5 LF	---	42.2 LF

FLOOR AREA:	ALLOWED	EXISTING	PROPOSED
BASEMENT	(910) gsF	---	No Change
FIRST FLOOR - RESIDENCE	947 gsF	1,431 gsF	---
FIRST FLOOR - GARAGE/STOR	331 gsF	171 gsF	---
FIRST FLOOR - BOAT HOUSE	---	(240) gsF	---
SECOND FLOOR	1,234 gsF	1,862 gsF	---
ATTIC	(776) gsF	342 gsF	---
TOTALS:	2,512 gsF	4,418 gsF	

Project Directory

Owner & Applicant

DAMIEN BREIER
 39 Penfield Place
 Bridgeport, CT 06625
 T: (203) 434-9426
 E: dmbreier@bnpassociates.com

Designer

STEVE CARTER
 CARTER + ASSOCIATES
 4742 Newburg Court
 Santa Rosa, CA 95405
 T: (707) 291-3111
 E: stcarch@comcast.net

Land Surveyor

JASON SPATH
 THE HUNTINGTON CO. LLC
 Consulting Engineers & Surveyors
 303 Linwood Avenue
 Fairfield, CT
 T: (203) 259-1091
 E: jspath@huntingtonco.com

REVISIONS	DATE	BY

Remodel/Addition
 Breier Residence
 39 Penfield Place
 Bridgeport, Connecticut

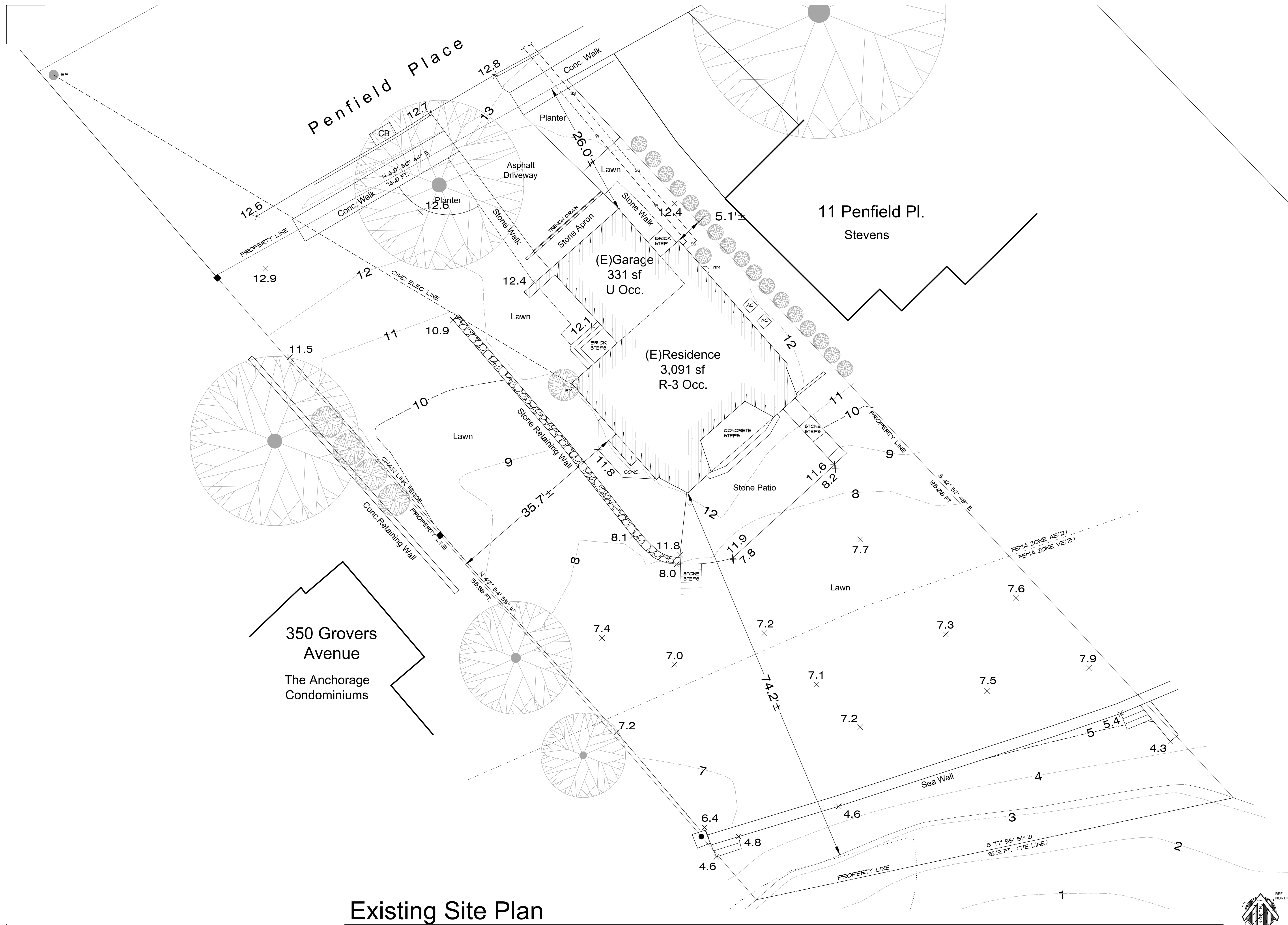
Cover Sheet

DATE: 11-09-21
 SCALE: N/A
 DRAWN: STC
 JOB NO.
 SHEET NO:

TS

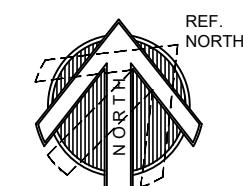
39 Penfield Place
 Bridgeport, CT

Preliminary Not for Construction



Existing Site Plan

SCALE: 1/8" = 1'-0"



REVISIONS	DATE	BY

Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

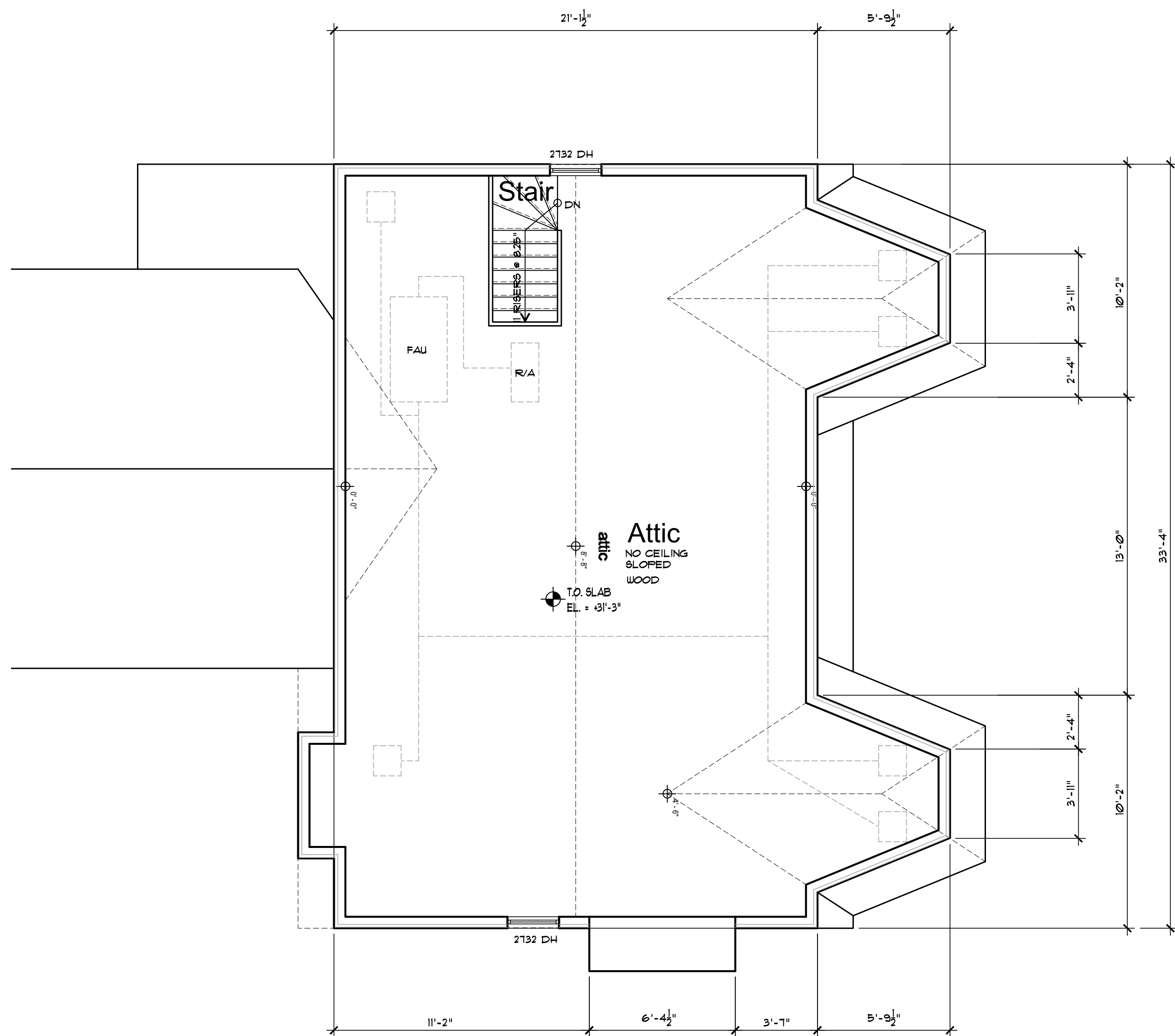
Existing
Site Plan

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH P. FARRELL, ARCHITECT.
DATE: 11-09-21
SCALE: 1/8"=1'-0"
DRAWN: STC
JOB NO.
SHEET NO:

EC-0
39 Penfield Place
Bridgeport, CT

Preliminary Not for Construction

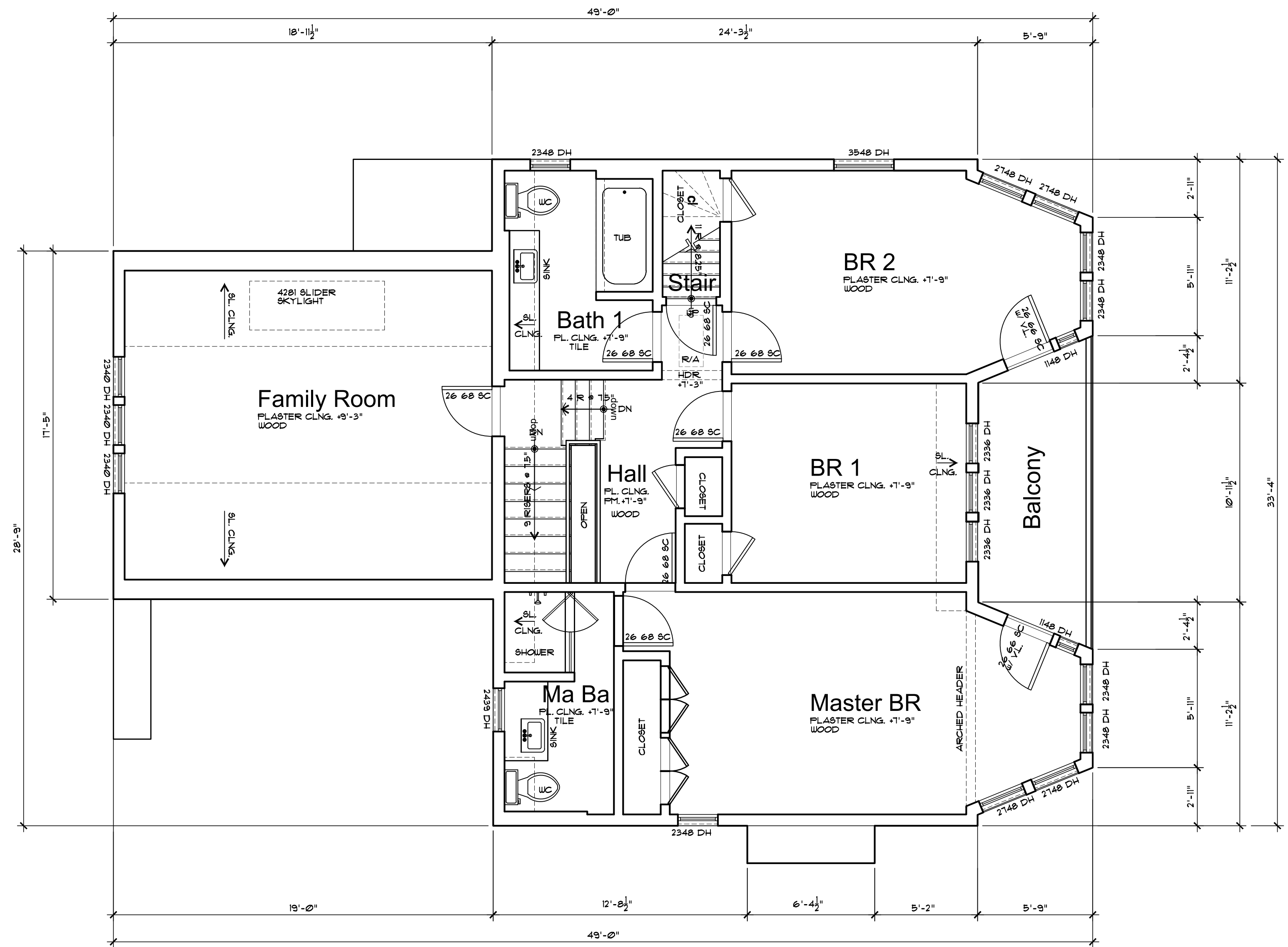
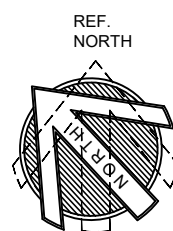
PLAN LEGEND	
	2x6 STUDWALL
	2x4 STUDWALL
	DETAIL NO.
	SHEET NO.
	PLAN NOTE
	DOOR SYMBOL
	WINDOW SYMBOL



Existing Attic Floor Plan

776 gsf

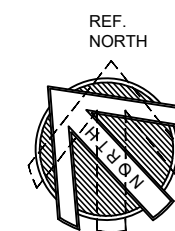
SCALE: 3/16" = 1'-0"



Existing Second Floor Plan

1,234 gsf

SCALE: 3/16" = 1'-0"



Preliminary Not for Construction

REVISIONS	DATE	BY

Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

Existing
Floor Plans

REVIEW THE DRAWINGS CAREFULLY.
DO NOT SCALE THE DRAWINGS. ANY CONFLICTS
BETWEEN DIMENSIONS AND DETAILS SHALL BE
RESOLVED TO THE IMMEDIATE ATTENTION OF
JOSEPH P. FARRELL, ARCHITECT

DATE: 11-09-21
SCALE: 1/4"=1'-0"
DRAWN: STC
JOB NO.
SHEET NO:

EC-2
39 Penfield Place
Bridgeport, CT



Existing Front Elevation at Entry (West)

SCALE: 1/4" = 1'-0"



Existing Front Elevation (West)

SCALE: 1/4" = 1'-0"

REVISIONS	DATE	BY

Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

Existing
Exterior
Elevations

REVIEW THE DRAWINGS CAREFULLY.
DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH W. FARRELL, ARCHITECT.

DATE: 11-09-21
SCALE: 1/4"=1'-0"
DRAWN: STC
JOB NO.
SHEET NO:

EC-3
39 Penfield Place
Bridgeport, CT

Preliminary Not for Construction



Existing Side Elevation (South)

SCALE: 1/4" = 1'-0"



Existing Rear Elevation (East)

SCALE: 1/4" = 1'-0"

REVISIONS	DATE	BY

Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

Existing
Exterior
Elevations

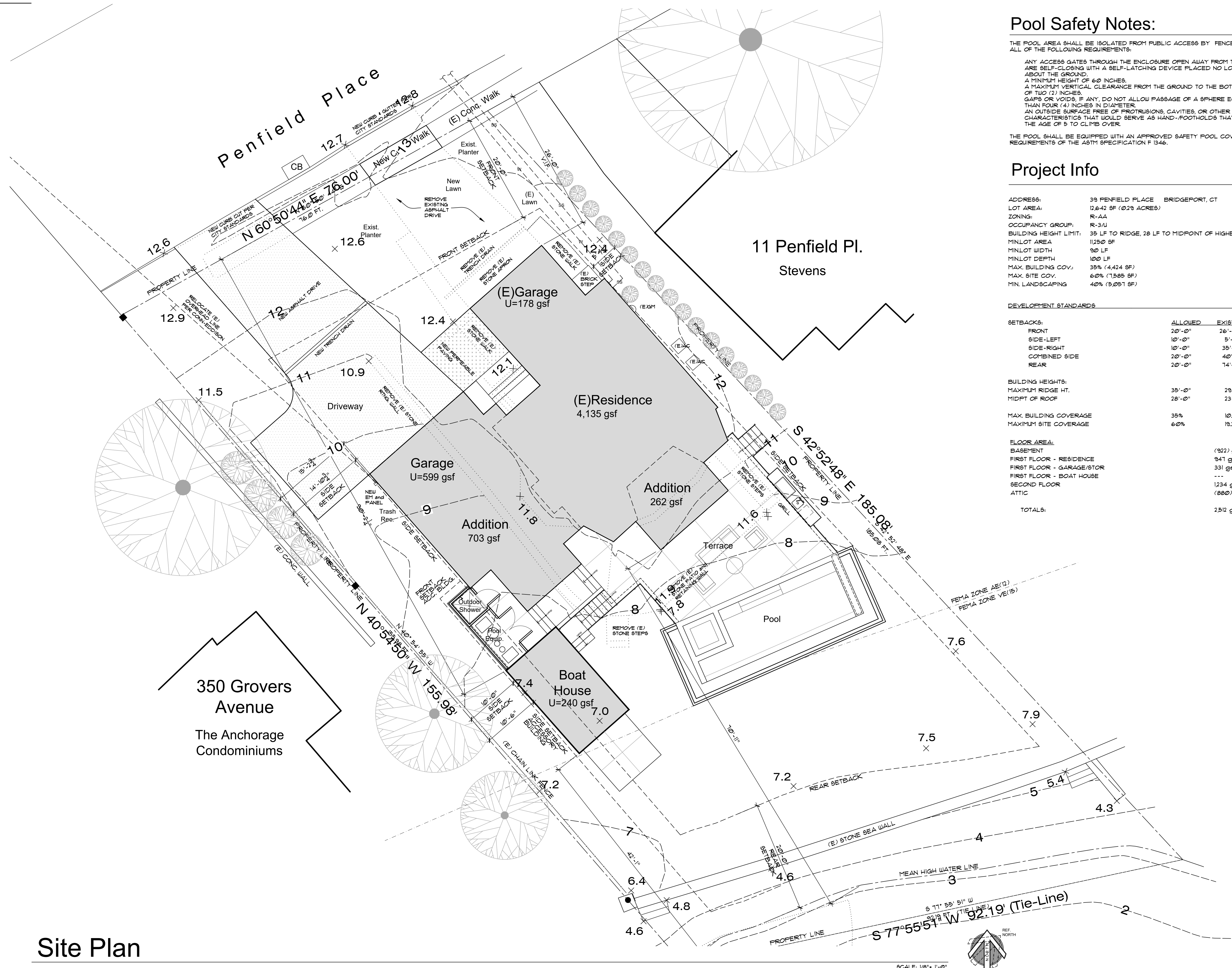
REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH P. FARRELL, ARCHITECT.

DATE: 11-09-21
SCALE: 1/4"=1'-0"
DRAWN: STC
JOB NO.
SHEET NO:

EC-4
39 Penfield Place
Bridgeport, CT

Preliminary Not for Construction

Site Plan



Pool Safety Notes:

THE POOL AREA SHALL BE ISOLATED FROM PUBLIC ACCESS BY FENCE/ENCLOSURE THAT MEETS ALL OF THE FOLLOWING REQUIREMENTS:
 ANY ACCESS GATES THROUGH THE ENCLOSURE OPEN AWAY FROM THE SWIMMING POOL, AND ARE SELF-CLOSING WITH A SELF-LATCHING DEVICE PLACED NO LOWER THAN 60 INCHES ABOUT THE GROUND.
 A MINIMUM HEIGHT OF 60 INCHES.
 A MAXIMUM VERTICAL CLEARANCE FROM THE GROUND TO THE BOTTOM OF THE ENCLOSURE OF TWO (2) INCHES.
 GAPS OR VOIDS, IF ANY, DO NOT ALLOW PASSAGE OF A SPHERE EQUAL TO OR GREATER THAN FOUR (4) INCHES IN DIAMETER.
 AN OUTSIDE SURFACE FREE OF PROTRUSIONS, CAVITIES, OR OTHER PHYSICAL CHARACTERISTICS THAT WOULD SERVE AS HAND-FOOTHOLDS THAT COULD ENABLE A CHILD THE AGE OF 5 TO CLIMB OVER.

THE POOL SHALL BE EQUIPPED WITH AN APPROVED SAFETY POOL COVER THAT MEETS ALL REQUIREMENTS OF THE ASTM SPECIFICATION F 1346.

Project Info

ADDRESS: 39 PENFIELD PLACE BRIDGEPORT, CT
 LOT AREA: 12,642 SF (0.29 ACRES)
 ZONING: R-AA
 OCCUPANCY GROUP: R-3/U
 BUILDING HEIGHT LIMIT: 35 LF TO RIDGE, 28 LF TO MIDPOINT OF HIGHEST ROOF
 MIN LOT AREA: 11,250 SF
 MIN LOT WIDTH: 90 LF
 MIN LOT DEPTH: 100 LF
 MAX. BUILDING COV.: 35% (4,424 SF)
 MAX. SITE COV.: 60% (7,585 SF)
 MIN. LANDSCAPING: 40% (5,051 SF)

DEVELOPMENT STANDARDS

SETBACKS:	ALLOWED	EXISTING	PROPOSED
FRONT	20'-0"	26'-0"	No Change
SIDE-LEFT	10'-0"	5'-1"	No Change
SIDE-RIGHT	10'-0"	35'-8"	14'-11"
COMBINED SIDE	20'-0"	40'-9"	20'-0"
REAR	20'-0"	74'-3"	60'-11"
BUILDING HEIGHTS:			
MAXIMUM RIDGE HT.	35'-0"	29'-0"	No Change
MIDPT OF ROOF	28'-0"	23'-3"	No Change
MAX. BUILDING COVERAGE			
	35%	10.6%	19.4 % (2,454 SF)
MAXIMUM SITE COVERAGE	60%	19.3%	44.8 % (5,664)
FLOOR AREA:			
BASEMENT		(922) gsf	No Change
FIRST FLOOR - RESIDENCE		1,431 gsf	
FIRST FLOOR - GARAGE/STOR		331 gsf	711 gsf
FIRST FLOOR - BOAT HOUSE		---	(240) gsf
SECOND FLOOR		1,234 gsf	1,862 gsf
ATTIC		(880) gsf	342 gsf
TOTALS:		2,512 gsf	4,418 gsf

Preliminary Not for Construction

Remodel/Addition
 Breier Residence
 39 Penfield Place
 Bridgeport, Connecticut

Proposed
 Site Plan

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH P. FARRELL, ARCHITECT.
 DATE: 11-09-21
 SCALE: 1/8"=1'-0"
 DRAWN: STC
 JOB NO.
 SHEET NO:

A0.1
 39 Penfield Place
 Bridgeport, CT

Notes and Schedules:

Window Schedule:

WINDOW SCHEDULE			
MARK	UNIT DESIGNATION	HD HT	COMMENTS
A	2 ⁶ 4 ⁰ DOUBLE HUNG	6'-8"	
B	2 ⁶ 4 ⁰ DOUBLE HUNG	6'-8"	
C	2 ⁶ 4 ⁰ DOUBLE HUNG	6'-8"	
D	2 ³ 3 ⁶ DOUBLE HUNG	6'-8"	REPLACEMENT WINDOW
E	5 ⁰ 4 ⁰ DOUBLE HUNG PAIR	6'-8"	MULLED, REPLACE (E) HDR. PER STR. DIAGS.
F	4 ⁶ 4 ⁰ DOUBLE HUNG PAIR	6'-8"	MULLED, REPLACE (E) HDR. PER STR. DIAGS.
G	4 ⁶ 4 ⁰ DOUBLE HUNG PAIR	6'-8"	MULLED, REPLACE (E) HDR. PER STR. DIAGS.
H	5 ⁰ 4 ⁰ DOUBLE HUNG PAIR	6'-8"	MULLED, REPLACE (E) HDR. PER STR. DIAGS.
I	3 ⁰ 4 ⁶ FIXED	7'-0"	TEMPERED
J	3 ⁰ 4 ⁶ OXO DOUBLE HUNG	7'-0"	TEMPERED
K	3 ⁰ 4 ⁶ FIXED	7'-0"	TEMPERED
L	2 ⁶ 2 ⁶ AWNING	7'-0"	
M	2 ⁶ 2 ⁶ AWNING	7'-0"	
N	2 ² 3 ⁴ DOUBLE HUNG	6'-8"	REPLACEMENT WINDOW
O	6 ³ 4 ⁰ DOUBLE HUNG PAIR (EGRESS)	6'-8"	MULLED, REPLACE (E) HDR. PER STR. DIAGS., TMP.
P	2 ⁰ 4 ⁰ DOUBLE HUNG	6'-8"	REPLACEMENT WINDOW, TMP.
Q	2 ⁰ 4 ⁰ DOUBLE HUNG	6'-8"	REPLACEMENT, ALL METAL, TMP., PRIVACY
R	5 ⁰ 5 ⁰ DOUBLE HUNG PAIR	6'-8"	MULLED, REPLACE (E) HDR., TMP.
S	4 ⁶ 5 ⁰ DOUBLE HUNG PAIR	6'-8"	MULLED, REPLACE (E) HDR., TMP.
T	4 ⁶ 5 ⁰ DOUBLE HUNG PAIR	6'-8"	MULLED, REPLACE (E) HDR., TMP.
U	5 ⁰ 5 ⁰ DOUBLE HUNG PAIR	6'-8"	MULLED, REPLACE (E) HDR., TMP.
V	6 ⁰ 5 ⁰ DOUBLE HUNG PAIR (EGRESS)	7'-0"	MULLED
W	2 ⁶ 3 ⁰ DOUBLE HUNG	7'-0"	TEMPERED
X	2 ⁶ 3 ⁰ DOUBLE HUNG	7'-0"	TEMPERED
Y	6 ⁰ 5 ⁰ DOUBLE HUNG PAIR (EGRESS)	7'-0"	MULLED
Z	EXISTING SKYLIGHT TO REMAIN		
AA	2 ⁶ 1 ⁶ AWNING	7'-0"	METAL WINDOW, TEMPERED,
BB	2 ⁶ 1 ⁶ AWNING	7'-0"	METAL WINDOW, TEMPERED,
CC	2 ⁶ 1 ⁶ AWNING	7'-0"	METAL WINDOW, TEMPERED,
DD	2 ⁶ 1 ⁶ AWNING	7'-0"	METAL WINDOW, TEMPERED,

VERIFY ROUGH OPENING DIMENSIONS W/ MANUFACTURER

WINDOW NOTES:

** VERIFY ROUGH OPENING DIMENSIONS W/ MANUFACTURER

- ALL WINDOW UNITS ARE METAL CLAD WOOD UNITS WITH HIGH PERFORMANCE LOW E IMPACT RESISTANT GLAZING AS MANUFACTURED BY KOLBE OR APPROVED EQUAL. FINISH TO MATCH EXISTING WINDOWS OR PER OWNER.
- PROVIDE INSECT SCREENS AT ALL OPERABLE WINDOWS.
- ALL EXTERIOR DOOR/PATIO UNITS (SWINGING, SLIDING AND POCKETING) ARE METAL CLAD WOOD UNITS WITH HIGH PERFORMANCE LOW E/TEMPERED IMPACT RESISTANT GLAZING AS MANUFACTURED BY KOLBE OR APPROVED EQUAL, TO BE SELECTED BY OWNER. FINISH PER OWNER.
- "TMP" OR "TEMP" INDICATES TEMPERED GLASS.
- ALL HARDWARE AS SELECTED BY OWNER.
- EGRESS WINDOWS: EACH BEDROOM SHALL HAVE ONE (1) MIN. EGRESSIBLE WINDOW PER 2015 IRC. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.530 M²). (EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.465 M²)). THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 MM); THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 MM); WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR.
- SEE SHEET AD4 FOR WINDOW INSTALLATION DETAILS.
- ALL WINDOWS AND PATIO DOORS SHALL MEET OR EXCEED THE FOLLOWING U-VALUE CRITERIA:

	U-FACTOR	SHGC
FIXED WINDOWS:	0.31	0.25
OPERABLE WINDOWS:	0.31	0.25
PATIO DOORS:	0.31	0.25
SKYLIGHTS:	0.33	0.23

NOTE:

ALL TEMPERED GLASS SHALL MEET THE SAFETY GLAZING REQUIREMENTS PER 2015 IRC.

Door Schedules:

EXTERIOR DOOR SCHEDULE			
MARK	DOOR SIZE (W X H)	HD HT	COMMENTS
E1	3 ⁰ 6 ⁶ FRENCH INSWING ENTRY w/ 2 ⁰ 6 ⁶ SIDELIGHT	6'-8"	TEMPERED, WEATHERPROOF SILL.
E2	2 ⁰ 6 ⁶ P.G. SOLID CORE	6'-8"	
E3	2 ⁰ 6 ⁶ P.G. SOLID CORE w/ 2 ⁰ 2 ⁰ VIEW LIGHT	6'-8"	TEMPERED, WEATHERPROOF SILL.
E4	8 ⁰ 6 ⁶ ROLL-UP GARAGE- ALUMINUM w/ VIEW LIGHTS	6'-8"	TEMPERED VIEW LIGHTS, GASKETS AT EDGES
E5	2 ⁰ 6 ⁶ P.G. SOLID CORE	6'-8"	REPLACEMENT
E6	6 ⁰ 7 ⁰ 0X SLIDING STACKING PATIO	7'-0"	TEMPERED, FLUSH SILL
E7	15 ⁶ 7 ³ 5-PANEL BI-FOLD	7'-0"	WEATHERPROOF SILL, ROLL DOWN SCREEN
E8	6 ⁰ 7 ⁰ 0X SLIDING STACKING PATIO	7'-0"	TEMPERED, FLUSH SILL
E9	3 ⁰ 7 ⁰ P.G. SOLID CORE w/ 2 ⁴ 2 ⁰ VIEW LIGHT	7'-0"	TMP. VIEW LIGHT
E10	8 ⁰ 7 ⁰ ROLL-UP GARAGE- ALUMINUM w/ VIEW LIGHTS	7'-0"	TEMPERED VIEW LIGHTS, GASKETS AT EDGES
E11	8 ⁰ 7 ⁰ ROLL-UP GARAGE- ALUMINUM w/ VIEW LIGHTS	7'-0"	TEMPERED VIEW LIGHTS, GASKETS AT EDGES
E12	12 ⁰ 6 ⁶ 0X SLIDING STACKING PATIO	7'-0"	TEMPERED, FLUSH SILL
E13	8 ⁰ 7 ⁰ P.G. SOLID CORE PAIR w/ 4-1 ⁶ 1 ⁶ VIEW LIGHTS	7'-0"	PROVIDE CANE BOLTS 4 LOCKING HARDWARE
E14	3 ⁰ 3 ⁰ CEDAR WOOD GATE	N/A	
E15	3 ⁰ 3 ⁰ CEDAR WOOD GATE	N/A	

VERIFY ROUGH OPENING DIMENSIONS W/ MANUFACTURER

INTERIOR DOOR SCHEDULE			
MARK	DOOR SIZE (W X H)	HD HT	COMMENTS
1	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	INSULATED DOOR (TO GARAGE)
2	2 ⁶ 6 ⁶ P.G. HOLLOW CORE WOOD	6'-8"	
3	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	INSULATED DOOR (TO BASEMENT)
4	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	
5	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	
6	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	
7	3 ⁰ 8 ⁰ P.G. SOLID CORE WOOD	6'-8"	INSULATED DOOR (TO EXGARAGE)
8	2 ⁶ 6 ⁶ EXISTING P.G. SOLID CORE WOOD	6'-8"	REFINISH PER OWNER
9	2 ⁶ 6 ⁶ PAIR P.G. SOLID CORE WOOD	6'-8"	
10	2 ⁶ 6 ⁶ P.G. POCKET WOOD	7'-4"	
11	2 ⁶ 6 ⁶ EXISTING P.G. SOLID CORE WOOD	6'-8"	REFINISH PER OWNER
12	5 ⁴ 6 ⁶ PAIR P.G. SOLID CORE WOOD	6'-8"	PROVIDE ASTRAGAL 4 LOCKING SHOOT BOLTS
13	2 ⁶ 6 ⁶ FRENCH WOOD	6'-8"	PRIVACY GLASS
14	2 ⁶ 6 ⁶ P.G. POCKET WOOD	6'-8"	
15	2 ⁶ 6 ⁶ FRENCH WOOD	6'-8"	PRIVACY GLASS
16	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	
17	2 ⁶ 6 ⁶ EXISTING P.G. SOLID CORE WOOD	6'-8"	REFINISH PER OWNER
18	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	
19	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	
20	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD- BARN	6'-8"	SLIDING BARN DR. HARDWARE
21	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	
22	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD	6'-8"	
23	2 ⁶ 6 ⁶ P.G. SOLID CORE WOOD- BARN	6'-8"	SLIDING BARN DR. HARDWARE

DOOR NOTES:

** VERIFY ROUGH OPENING DIMENSIONS W/ MANUFACTURER

- ALL EXTERIOR DOOR/PATIO UNITS (SWINGING, SLIDING AND POCKETING) ARE METAL CLAD WOOD UNITS WITH HIGH PERFORMANCE LOW E/TEMPERED GLAZING AS MANUFACTURED BY KOLBE OR APPROVED EQUAL, TO BE SELECTED BY OWNER. FINISH PER OWNER.
- BOAT HOUSE SWINGING DOORS ARE CARRIAGE HOUSE OR APPROVED EQUAL BY OWNER.
- ALL GARAGE DOORS ARE CLOPAY CANYON RIDGE 5-LAYER ALUM. OR EQUAL PER OWNER.
- ALL INTERIOR DOORS ARE TRU-STILE OR PER OWNER.
- "TMP" OR "TEMP" INDICATES TEMPERED GLASS.
- ALL HARDWARE AS SELECTED BY OWNER.
- SEE SHEET ADXX FOR DOOR 4 WINDOW INSTALLATION DETAILS.
- ALL WINDOWS AND PATIO DOORS SHALL MEET OR EXCEED THE FOLLOWING U-VALUE CRITERIA:

	U-FACTOR	SHGC
FIXED WINDOWS:	0.31	0.25
OPERABLE WINDOWS:	0.31	0.25
PATIO DOORS:	0.31	0.25
SKYLIGHTS:	0.33	0.23

NOTE:

ALL TEMPERED GLASS SHALL MEET THE SAFETY GLAZING REQUIREMENTS PER CRC SECTION R308.4.5

Demolition Notes:

Floor Plan Notes:

- GENERAL CONTRACTOR, FOUNDATION SUBCONTRACTOR, ELECTRICAL SUBCONTRACTOR, SHEET METAL SUBCONTRACTOR, AND PLUMBING SUBCONTRACTOR TO COORDINATE LOCATION OF ALL EXTERIOR LIGHT FIXTURES, EXTERIOR RECEPTACLES, VENTS, HOSE BIBS, DOWNSPOUTS AND SUBSURFACE CONNECTIONS TO DOWNSPOUTS TO AVOID CONFLICTS.
- THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT). (EXCEPTION: EXTERIOR BALCONIES LESS THAN 60 SQUARE FEET (5.6 M²) AND ONLY ACCESSIBLE FROM A DOOR ARE PERMITTED TO HAVE A LANDING LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL.) LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" (38 MM) LOWER THAN THE TOP OF THE THRESHOLD. (EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 1 1/4" (36 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 1 1/4" (36 MM) BELOW THE TOP OF THE THRESHOLD. (EXCEPTION: A LANDING IS NOT REQUIRED WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRWAY.)
- PROVIDE 1/2" GYPSUM WALL BOARD AT ALL WALL AND CEILING SURFACES WITH FRAMING MEMBERS AT 16" O.C. PROVIDE 3/8" GYPSUM WALL BOARD AT CEILING SURFACES WITH FRAMING MEMBERS AT 24" O.C., TYP.
- PROVIDE FIRE TAPED, ONE HOUR FIRE RATED 3/8" TYPE "X" GYP. BOARD AT ALL GARAGE/MECHANICAL RM./STORAGE ROOM WALL AND CEILING SURFACES.
- KITCHEN/SCULLERY/LAUNDRY - ALL APPLIANCES, CABINETS AND FIXTURES AS SELECTED BY OWNER.
- 42" ENERGY STAR REFRIGERATOR w/ WATER LINES FOR ICE-MAKER - PANEL READY AS SELECTED BY OWNER.
- 60" GAS RANGE / OVEN AND OVERHEAD EXHAUST HOOD VENTED TO EXTERIOR. SEE MECHANICAL DRAWINGS FOR ADDITIONAL VENTING REQUIREMENTS. AS SELECTED BY OWNER.
- DISHWASHER- AS SELECTED BY OWNER. PROVIDE APPROVED AIR-GAP FITTINGS ON DISCHARGE SIDE IF DIRECTLY CONNECTED TO DRAINAGE SYSTEM OR FOOD WASTE DISPOSAL.
- BUILT-IN COFFEE MAKER AS SELECTED BY OWNER. COORDINATE WITH CABINET MANUFACTURER.
- 30" MICROWAVE WITH PULL OUT DRAWER AS SELECTED BY OWNER. INSTALL IN ISLAND PER OWNER.
- SOLID SURFACE OR STONE COUNTER TOPS 4 BACK-SPLASH AS SELECTED BY OWNER.
- TRASH/RECYCLING BINS AT LOWER CABINET.
- KITCHEN SINK WITH GARBAGE DISPOSAL AS SELECTED BY OWNER.
- UPPER CABINETS AS SELECTED BY OWNER.
- BUILT-IN SHELVING/CABINET/DESK/WORKBENCH UNIT(S) PER OWNER SPECIFICATIONS.
- 24"x20"x12" LAUNDRY UTILITY SINK PER OWNER. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- LAUNDRY-APPLIANCES AND FIXTURES AS SELECTED BY OWNER. INSTALL ENERGY STAR WASHER AND ENERGY STAR DRYER AS SELECTED BY OWNER. INSTALL UTILITIES FOR LAUNDRY APPLIANCES. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION. COORDINATE INSTALLATION WITH CABINET SUB CONTRACTOR.
- PROVIDE A SHELF AND POLE AT ALL CLOTHES CLOSETS.
- PREFAB CLOSET ORGANIZER SYSTEM TO BE DESIGNED AND SELECTED BY OWNER.
- BATHROOMS: ALL FIXTURES AND FINISHES AS SELECTED BY OWNER. TANK TYPE PORCELAIN WATER CLOSET, ENAMEL LAVS. PROVIDE PLUMBING PER CODE FOR ALL FIXTURES AND SEPARATE SHOWER. MIRROR OVER LAVS AS SELECTED BY OWNER. PROVIDE TOILET PAPER DISPENSER, TOWEL BARS AND ALL ACCESSORIES AS SELECTED BY OWNER. PROVIDE 2x12 WALL BLOCKING AT ALL BATHROOMS ADJACENT TO TOWEL BAR LOCATIONS (BLOCK 4 48" AFF).
- PROVIDE FLOOR TO CEILING FRAME-LESS TEMPERED GLASS ENCLOSURE WITH DOOR AT ALL SHOWERS - WHERE OCCURS.
- SHOWER STALL - TILE FLOOR AND WALLS SURFACES (12" MIN. ABOVE DRAIN); TEMPERED GLASS ENCLOSURE. PROVIDE WATERPROOFING AND SEALED CEMENTITIOUS SUB-STRATE TO RECEIVE TILE AT ALL SURFACES. SEE DETAIL "2/AD8" FOR ADDITIONAL INFORMATION. TEMPERED GLASS SHOWER DOORS SHALL BE 2" MIN. WIDE. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION OF SHOWER GLASS ENCLOSURE. SHOWER GLASS ENCLOSURE SHALL COMPLY WITH 2015 IRC REQUIREMENTS AS FOLLOWS:
- 2403.2 GLASS SUPPORTS: WHERE ONE OR MORE SIDES OF ANY PANE OF GLASS ARE NOT FIRMLY SUPPORTED, OR ARE SUBJECT TO UNUSUAL LOAD CONDITIONS, DETAILED CONSTRUCTION DOCUMENTS, DETAILED SHOP DRAWINGS AND ANALYSIS OR TEST DATA ASSURING SAFE PERFORMANCE FOR THE SPECIFIC INSTALLATION SHALL BE PREPARED.
- 2403.2.1 ADDITIONAL REQUIREMENTS: IN ADDITION TO THE REQUIREMENTS OF SECTION 2403.2, GLASS SUPPORTS SHALL COMPLY WITH THE FOLLOWING: THE CONSTRUCTION DOCUMENTS AND ANALYSIS OR TEST DATA REQUIRED PER SECTION 2403.2 SHALL BE SUBMITTED TO THE ENFORCEMENT AGENCY FOR APPROVAL. GLASS FIRMLY SUPPORTED ON ALL FOUR EDGES SHALL BE GLAZED WITH MINIMUM LAPS AND EDGE CLEARANCES SET FORTH IN TABLE 2403.2.1 OF THE 2015 CBC.
- 2403.3 FRAMING: TO BE CONSIDERED FIRMLY SUPPORTED, THE FRAMING MEMBERS FOR EACH INDIVIDUAL PANE OF GLASS SHALL BE DESIGNED SO THE DEFLECTION OF THE EDGE OF THE GLASS PERPENDICULAR TO THE GLASS PANE SHALL NOT EXCEED 1/16" OF THE GLASS EDGE LENGTH OR 3/4 INCH, WHICHEVER IS LESS, WHEN SUBJECT TO THE LARGER OF THE POSITIVE OR NEGATIVE LOAD WHERE LOADS ARE COMBINED AS SPECIFIED IN 2015 CBC SECTION 1605.
- PROVIDE CLASS 1 VAPOR RETARDER MEMBRANE BELOW CONCRETE SLAB, TYP. (FORTIFIBER MOISTOP ULTRA 15" OR RAVEN INDUSTRIES' RUFICO SUPER SAMSON' 400888). INSTALLED PER MANUFACTURERS SPECIFICATIONS (ALL BEAMS SHALL BE TAPED), OR APPROVED EQUAL. JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6" AND SHALL BE SEALED OR TAPED. THE EDGES OF THE VAPOR RETARDER SHALL EXTEND AT LEAST 6" UP THE STEM WALL AND SHALL BE ATTACHED EQUAL. JOINTS OF THE VAPOR RETARDER SHALL OVERLAP BY 6" AND SHALL BE SEALED OR TAPED.
- PROPANE WATER HEATER 100 GAL CAPACITY AS SELECTED BY OWNER. REQUIRES 3" HW AND CW LINES, 120V/1PH/60A CIRCUIT. CSA AND ENERGY STAR LISTED. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- DUAL FUEL FORCED AIR UNIT PER OWNER. SEE UTILITY PLANS FOR ADDITIONAL INFO.
- EXISTING AIR-CONDITIONING CONDENSING UNIT SET ON 4" MIN. REINFORCED CONC. SLAB. VERIFY IN FIELD.
- EXTERIOR RATED 200 AMP ELEC. SUB-PANEL. CONNECT TO MAIN SERVICE. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- EXTERIOR RATED 100 AMP ELECTRICAL SUB-PANEL. CONNECT TO MAIN SERVICE. SEE MEP DRAWING FOR ADDITIONAL INFORMATION.
- DESIGNATED EMERGENCY ESCAPE AND RESCUE OPENING. PROVIDE OPERABLE WINDOW WITH A MINIMUM CLEAR OPENING OF 24" HIGH x 20" WIDE WITH A NET CLEAR OPENABLE AREA OF NOT LESS THAN 5.7 SQUARE FEET. THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES ABOVE FINISHED FLOOR.
- CONCRETE OUTDOOR SHOWER PAN WITH 4" DRAIN. SLOPE 1/4":12" TO DRAIN AT CENTER OF PAN. CONNECT DRAIN TO SANITARY SEWER SYSTEM PER SONOMA COUNTY REQUIREMENTS.
- WOOD FLOORING TO MATCH EXISTING PER OWNER SPECIFICATION.
- TILE OR STONE FLOORING PER OWNER SPECIFICATION.

Notes & Schedules

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH W. PARRELL, ARCHITECT.

DATE: 11-05-21

SCALE: N/A

DRAWN: STC

JOB NO.

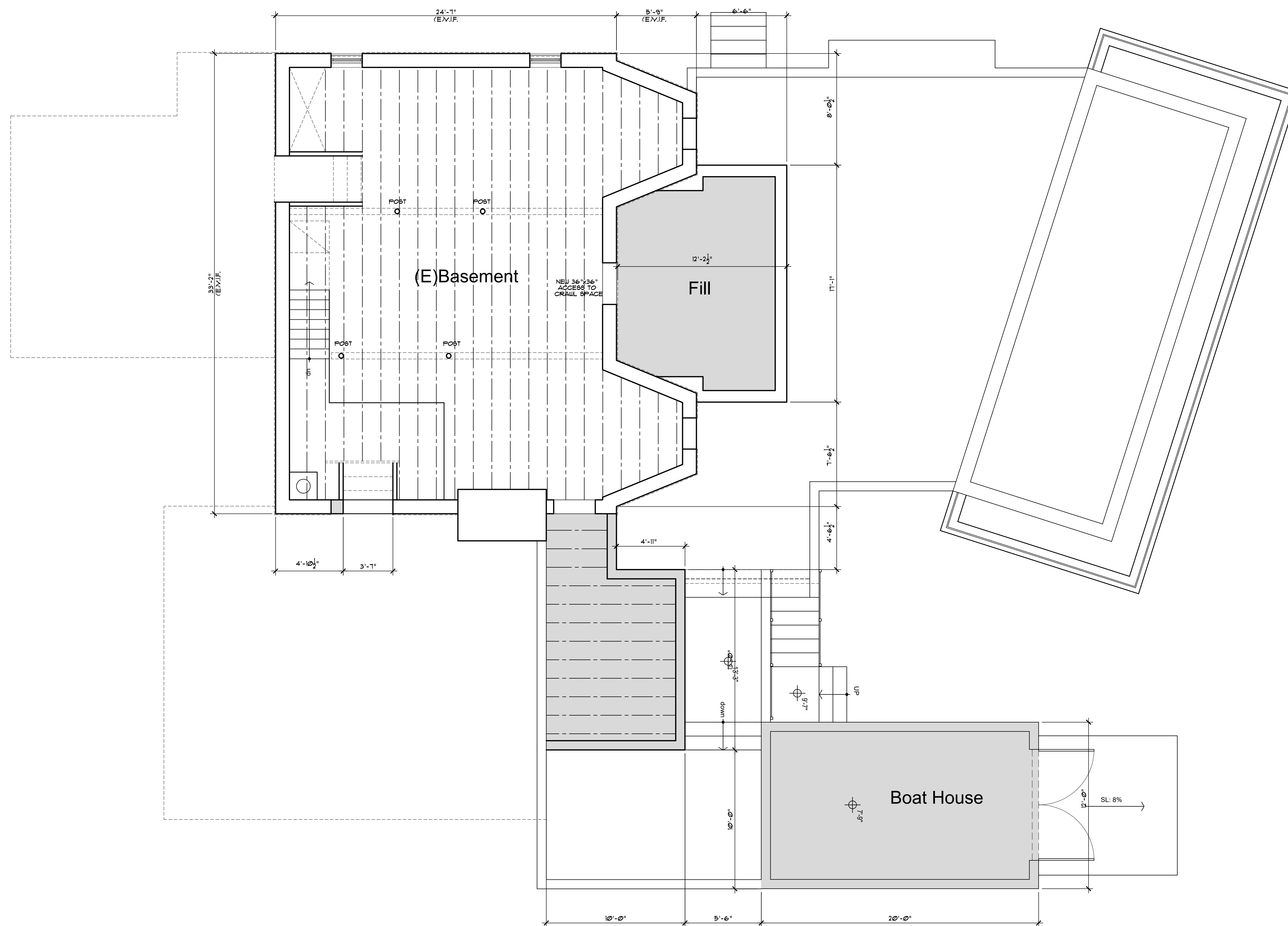
SHEET NO:

A-0.2
39 Penfield Place
Bridgeport, CT

Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

REVISIONS DATE BY

PLAN LEGEND	
	2x6 STUDWALL
	2x4 STUDWALL
	DETAIL
	DETAIL NO.
	SHEET NO.
	PLAN NOTE
	DOOR SYMBOL
	WINDOW SYMBOL



Basement Floor Plan

910 gsf

SCALE: 3/16" = 1'-0"



REVISIONS	DATE	BY

Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

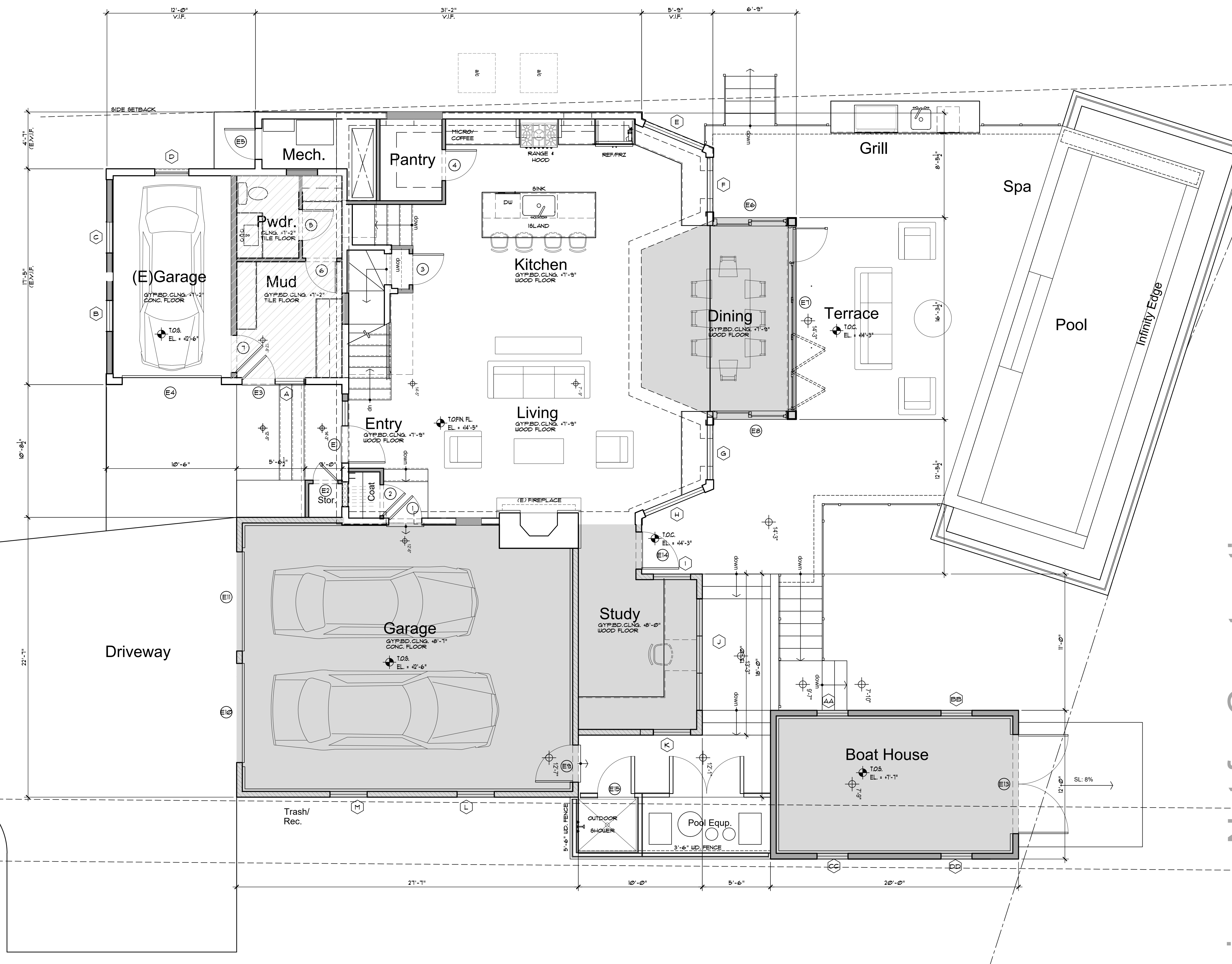
Basement Floor Plan

DATE: 11-09-21
SCALE: 1/4"=1'-0"
DRAWN: STC
JOB NO.
SHEET NO.

A1.0
39 Penfield Place
Bridgeport, CT

Preliminary Not for Construction

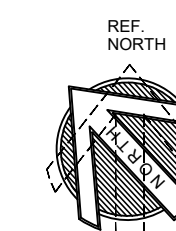
PLAN LEGEND		
	INFILL WALL	
	2x6 STUDWALL	
	2x4 STUDWALL	
	DETAIL	DETAIL NO.
	PLAN NOTE	SHEET NO.
	DOOR SYMBOL	
	WINDOW SYMBOL	



Proposed Ground Floor Plan

Residence: (E) - 947 sf + 187+153+150 sf = 1,437 sf Garages: (E) - 178 sf + 599 sf = 777 sf Boat House: 240 sf

SCALE: 1/4" = 1'-0"



Preliminary Not for Construction

REVISIONS	DATE	BY

Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

Ground Floor Plan

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY CONFLICTS IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH P. FARRELL, ARCHITECT.

DATE: 11-09-21

SCALE: 1/4"=1'-0"

DRAWN: STC

JOB NO.

SHEET NO.

A1.1
39 Penfield Place
Bridgeport, CT

REVISIONS	DATE	BY

Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

Second
Floor Plan

REVIEW THE DRAWINGS CAREFULLY.
DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH P. FARRELL, ARCHITECT.

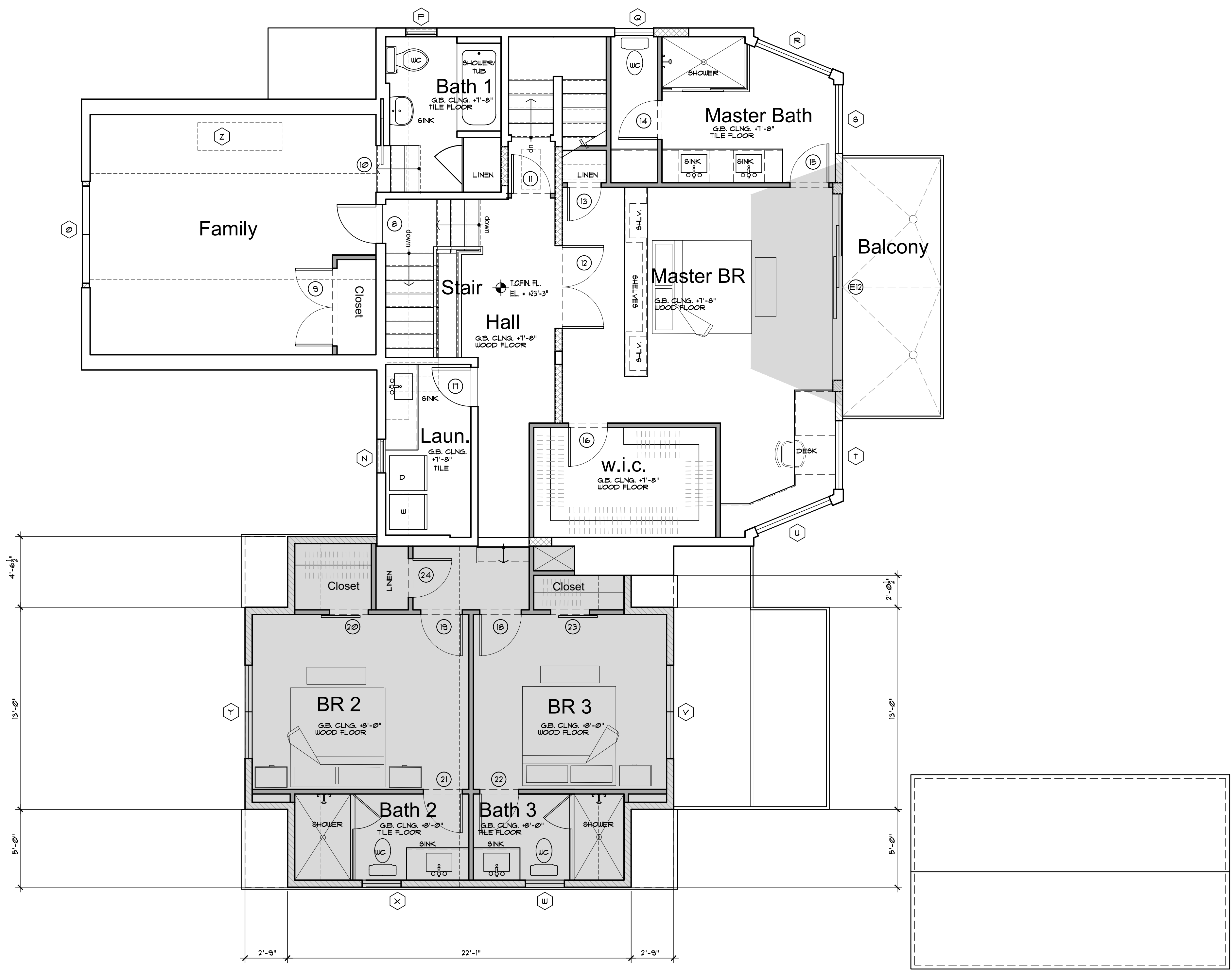
DATE: 11-09-21
SCALE: 1/4"=1'-0"
DRAWN: STC
JOB NO.
SHEET NO.

A1.2
39 Penfield Place
Bridgeport, CT

Preliminary Not for Construction

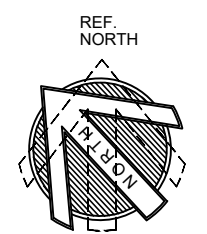
PLAN LEGEND

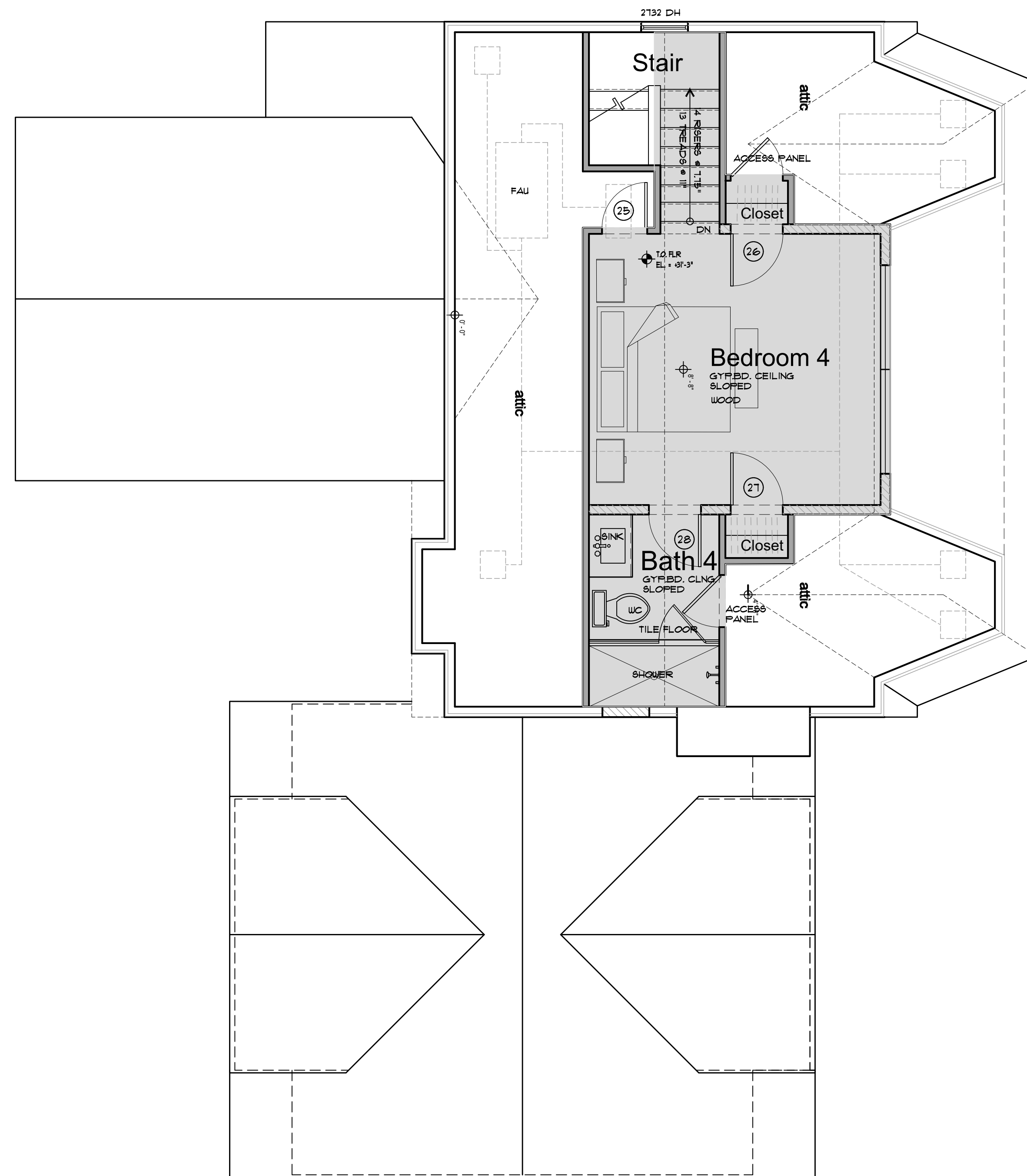
	INFILL WALL
	2x6 STUDWALL
	2x4 STUDWALL
	DETAIL
	DETAIL NO.
	DETAIL SHEET NO.
	PLAN NOTE
	DOOR SYMBOL
	WINDOW SYMBOL



Proposed Second Floor Plan
Residence - (E) 1,234 sf + 553 sf +75 sf = 1,862 sf

SCALE: 1/4" = 1'-0"





PLAN LEGEND	
	2x6 STUDWALL
	2x4 STUDWALL
	DETAIL SHEET NO.
	DETAIL SHEET NO.
	PLAN NOTE
	DOOR SYMBOL
	WINDOW SYMBOL

Proposed Attic Floor Plan

Residence -342 sf Stor./Mech. - 434 sf

SCALE: 1/4" = 1'-0"



REVISIONS	DATE	BY

Remodel/Addition
 Breier Residence
 39 Penfield Place
 Bridgeport, Connecticut

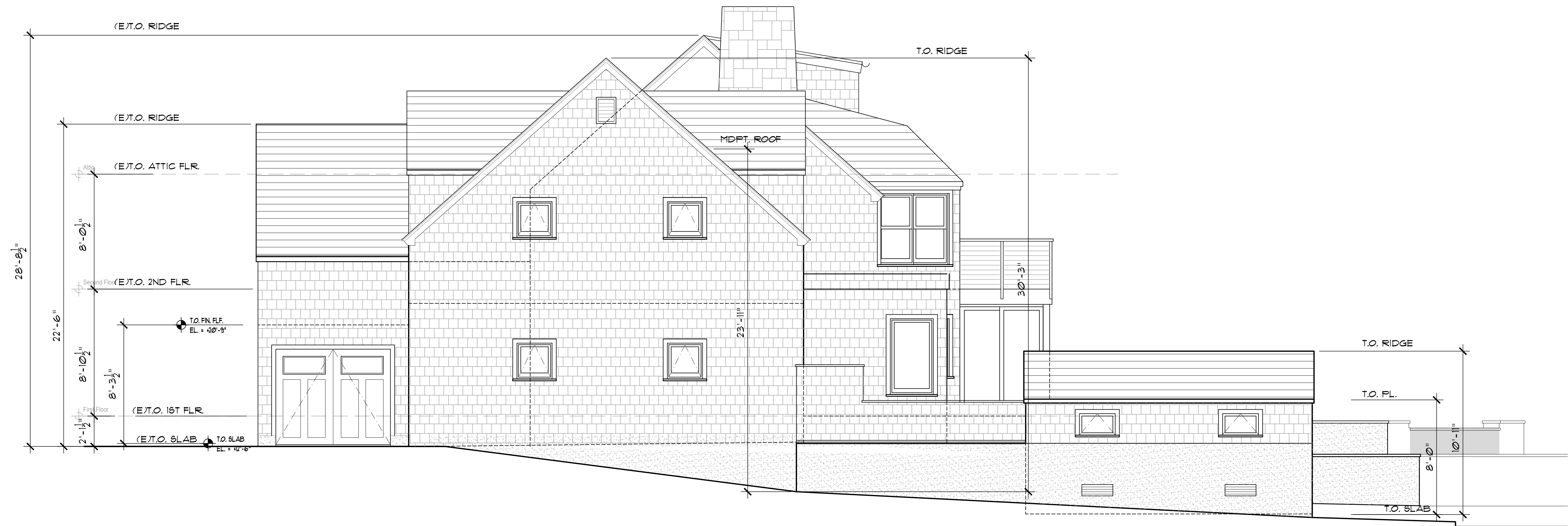
Attic
 Floor Plan

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY CORRECTIONS, DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH P. FANELLI, ARCHITECT.

DATE: 11-09-21
 SCALE: 1/4"=1'-0"
 DRAWN: STC
 JOB NO.
 SHEET NO.

A1.3
 39 Penfield Place
 Bridgeport, CT

Preliminary Not for Construction



Side Elevation (South)

SCALE: 1/4" = 1'-0"



Front Elevation (West)

SCALE: 1/4" = 1'-0"

REVISIONS	DATE	BY

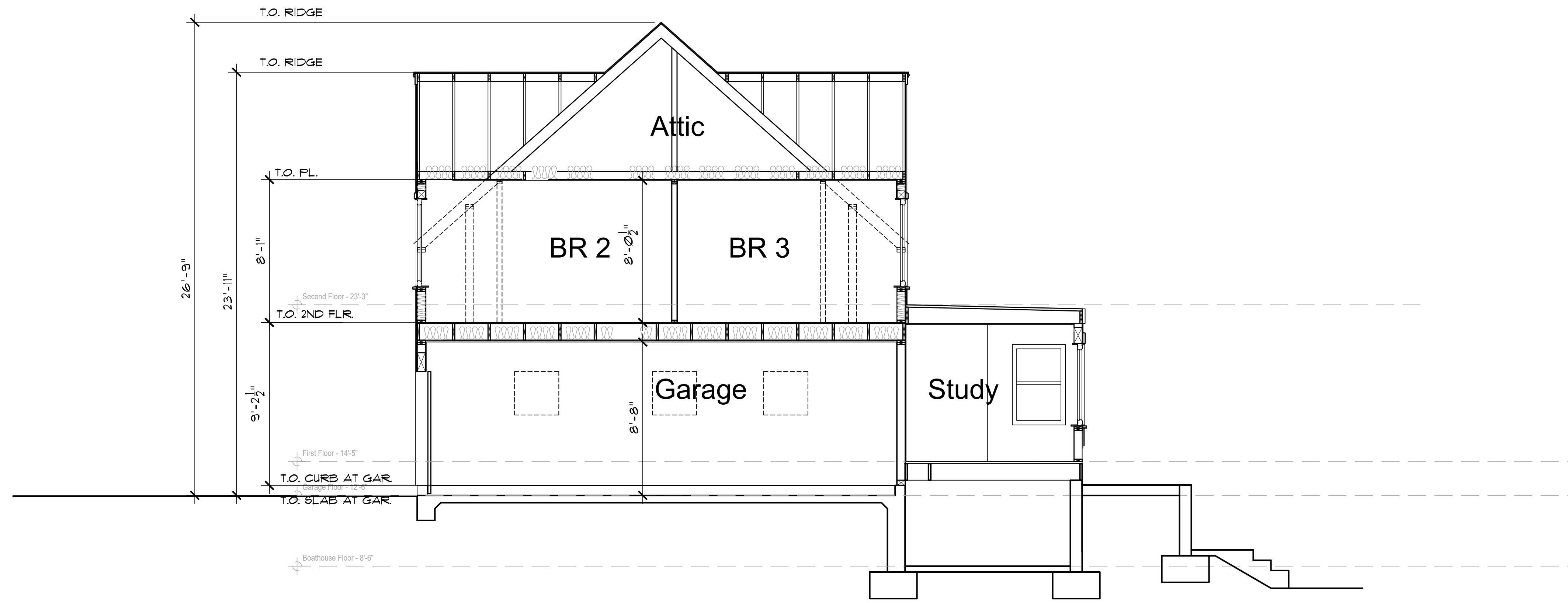
Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

Exterior Elevations

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH W. FARRELL, ARCHITECT.
DATE: 11-09-21
SCALE: 1/4"=1'-0"
DRAWN: STC
JOB NO.
SHEET NO:

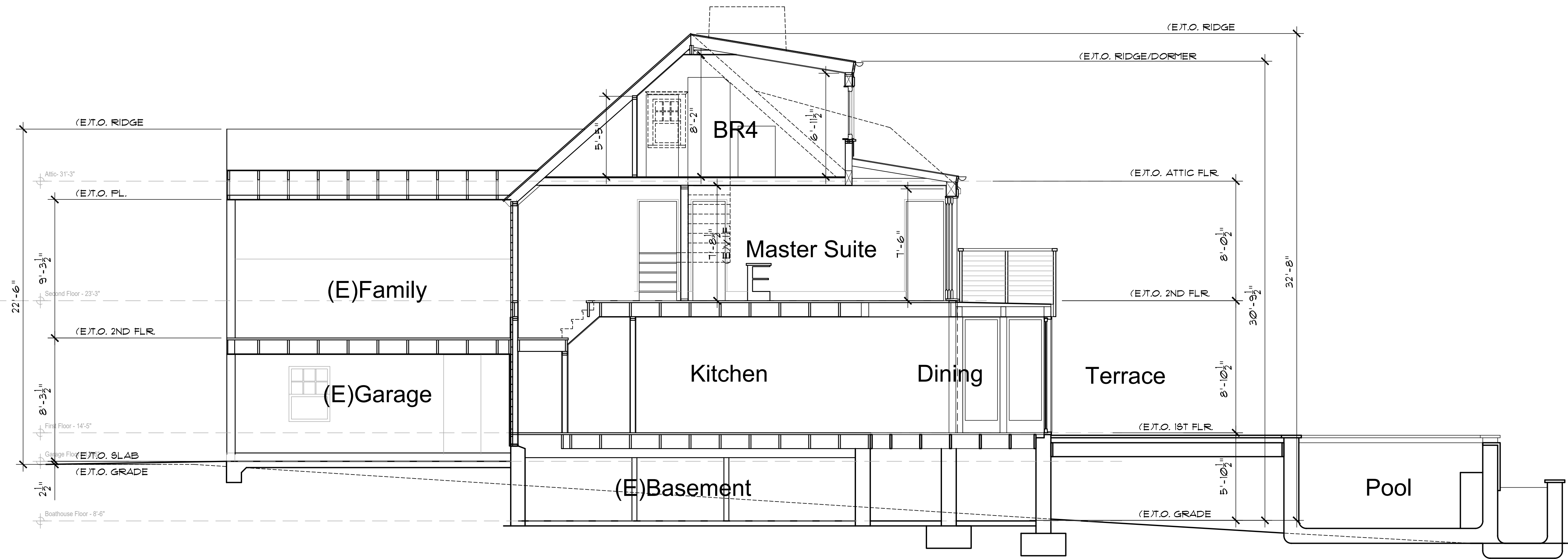
A2.1
39 Penfield Place
Bridgeport, CT

Preliminary Not for Construction



Cross Section at New Addition

SCALE: 1/4" = 1'-0"



Cross Section at Existing Residence

SCALE: 1/4" = 1'-0"

REVISIONS	DATE	BY

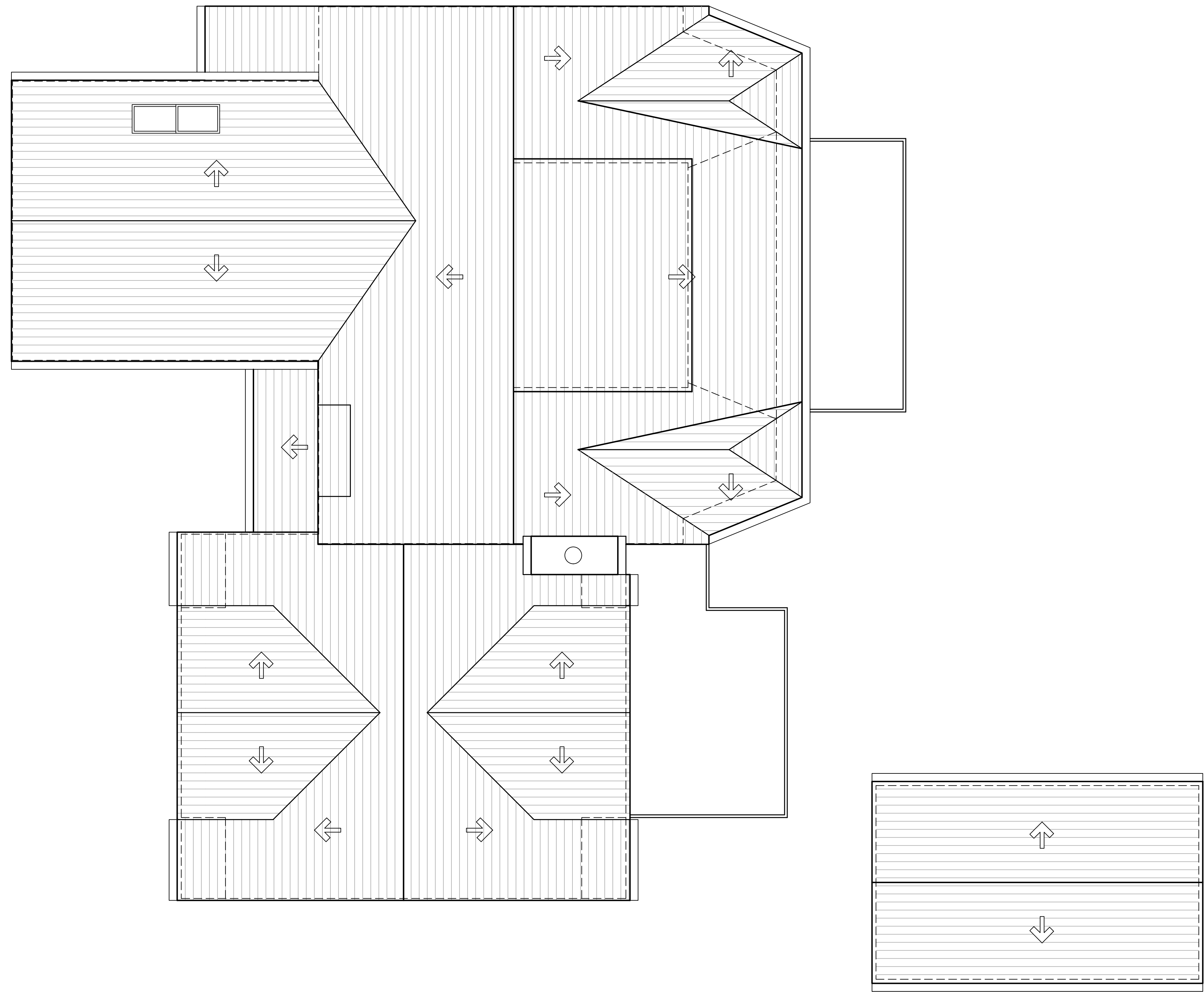
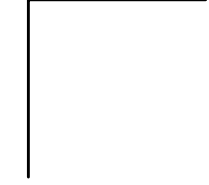
Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

Building Sections

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH W. FARRELL, ARCHITECT.
DATE: 11-09-21
SCALE: 1/4"=1'-0"
DRAWN: STC
JOB NO.
SHEET NO:

A3.1
39 Penfield Place
Bridgeport, CT

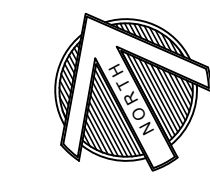
Preliminary Not for Construction



PLAN LEGEND		
	DETAIL	DETAIL NO. SHEET NO.
	PLAN NOTE	
	RIDGE VENT	

Roof Plans

SCALE: 1/8" = 1'-0"



Preliminary Not for Construction

REVISIONS	DATE	BY

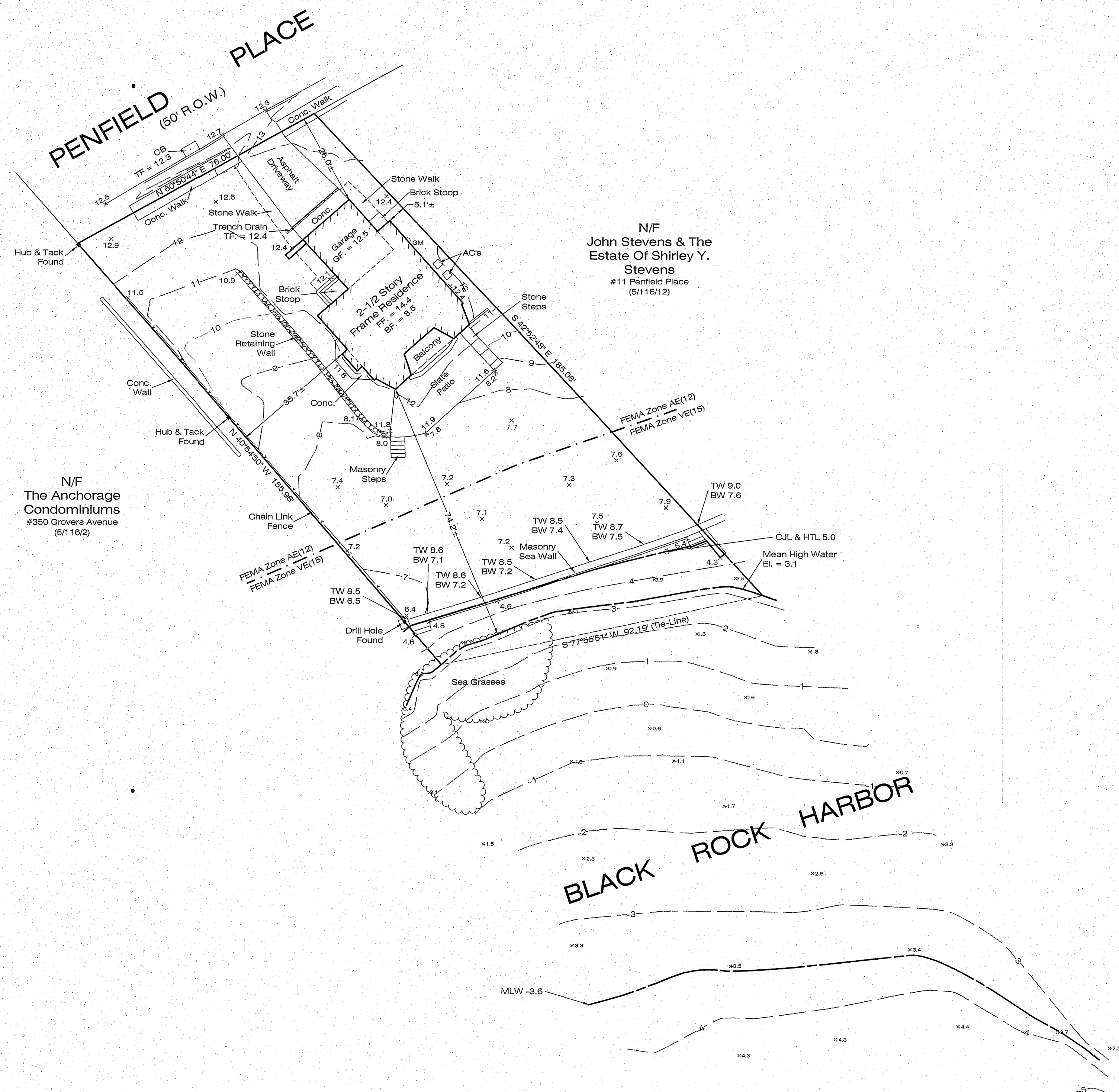
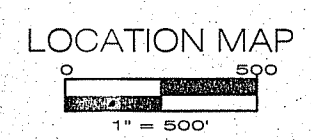
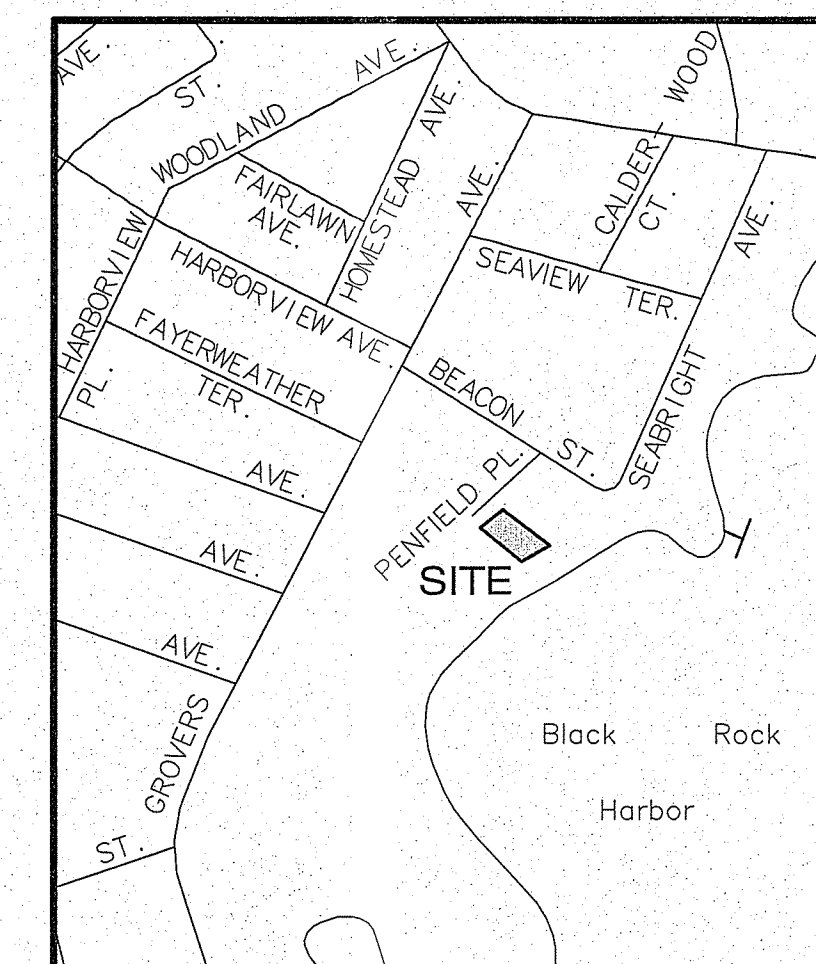
Remodel/Addition
Breier Residence
39 Penfield Place
Bridgeport, Connecticut

Proposed
Roof Plan

REVIEW THE DRAWINGS CAREFULLY.
DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF JOSEPH H. FARRELL, ARCHITECT.

DATE: 11-09-21
SCALE: 1/8" = 1'-0"
DRAWN: STC
JOB NO.
SHEET NO:

A4.1
39 Penfield Place
Bridgeport, CT



LEGEND

- HYDRANT
- MANHOLE
- ⊕ GAS VALVE
- UTILITY POLE
- WATER VALVE
- ⊕ LAMP POST
- CATCH BASIN
- ELECTRIC BOX
- ⊕ SIGN
- ⊕ MAILBOX
- EXISTING IRON PIN
- EXISTING CONCRETE MONUMENT
- ⊗ STONE BOUND
- ⊕ HEDGE
- STONEWALL
- WL — INLAND WETLANDS
- X — METAL FENCE
- ○ — WOOD FENCE
- — EXISTING CONTOUR LINE
- — PROPOSED CONTOUR LINE
- ⊕ EXISTING SPOT ELEVATION
- ⊕ PROPOSED SPOT ELEVATION

ZONE: R-AA	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	11,250 sf	12,642±	-	-
Minimum Lot Frontage	90'	76.00'	-	-
Minimum Lot Depth	100'	170.8±	-	-
MINIMUM SETBACK				
Setback From Front Line	20'	26.0±	-	-
Setback From Side Property Lines	10'	-	-	-
Setback From One Side	10'	5.1±	-	-
Setback From Both Sides Shall Add up to	20'	40.8±	-	-
Setback From Rear Property Lines	20'	74.2±	-	-
Setback From Street Line On A Corner Lot - One Story	-	-	-	-
COVERAGE				
Maximum Building Coverage	35%	10.6%	-	-
Maximum Site Coverage	60%	19.3%	-	-
LANDSCAPED AREA				
Minimum	40%	79.0%	-	-
HEIGHT				
To Mid-Point of Highest Roof (Principal Building)	28'	23.2±	-	-
To Ridge (Principal Building)	35'	29.0±	-	-

- NOTES:**
- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2, Topographic Accuracy Class T-2.

This survey was conducted with snow cover and may not show all surface improvements.
 - Reference is made to the following documents on file in the Bridgeport Town Clerk's Office:
 - A. Volume 41, Page 6 - "As Built Survey Of Property In Bridgeport, Conn. Known As: Glen Cove Estates, Condominiums; Scale: 1"=30'; Dated: May 12, 1975" prepared by Fuller & Co, Inc.
 - B. "Map Of Property For Cornelia Lathrop, Black Rock District, Bridgeport, Conn.; Scale: 1"=40'; Dated" December 27, 1927" prepared by W.C. Morehouse, Surveyor.
 - C. Volume 6002, Page 247.
 - D. Volume 5225, Page 211.
 - E. Volume 2716, Page 1.
 - The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation, Dial 811 or 1-800-922-4455.
 - Property is located in FEMA Zone AE(12) & VE (15). Per Flood Insurance Rate Map #09001C0438G, Effective Date: July 8, 2013; Panel 438 of 626.
 - Vertical Datum: NAVD 88 (GPS Derived).
 - Property is served by municipal water supply and sanitary sewer.
 - Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
 - It is the owner's and/or contractor's responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.
 - Proposed calculations are based on architectural plans submitted by the client. In some cases dimensions are scaled. It is the contractor's responsibility to adjust for siding that will be added to the structure with respect to coverage and setbacks. The surveyor assumes no responsibility for details that are not submitted for our review.

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

DATA ACCUMULATION PLAN
 PREPARED FOR
DAMIEN BREIER
#39 PENFIELD PLACE
BRIDGEPORT, CONNECTICUT

20 0 20 40

DATE:	MARCH 1, 2021	SCALE:	1"=20'	DRAFTER:	SJR	JOB NUMBER:	1321	PROJECT #:	1321
NO.	DATE	DESCRIPTION							
1	4-1-21	Additional Topographic Data							
		REVISIONS							

HC
 THE HUNTINGTON COMPANY, LLC
 Consulting Engineers & Surveyors
 303 Linwood Avenue, Fairfield, CT
 203.259.1091

1/1



CITY OF BRIDGEPORT

Application Form

Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I: Applicant Identification

Applicant: <u>LANDTECH/ Tom Ryder</u>	Date: <u>12/20/2021</u>
Address: <u>518 Riverside Avenue Westport CT 06880</u>	Phone: <u>203.454.2110</u>
Project Address or Location: <u>39 Penfield Place</u>	
Interest in Property: <input type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant:	
Name: _____	
Address: _____	
City/Town: _____	State: _____ Zip _____
Code: _____	
Business Phone: _____	
e-mail: _____	

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Stormwater treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description:
39 Penfield Place

City or Town: Bridgeport
2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
Black Rock Harbor, Long Island Sound
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:
Existing land use is single family residence. A 2 story single family residence is located on the site.

5. Indicate the area of the project site: 0.27 acres or square feet (circle one)
6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):
 - Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
 - Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.
 - Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.
7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The property is the site of a single family residence. The property is 0.290 acres in size and is located to the southwest of Penfield Place and Beacon Street intersection. The site is on the Black Rock Harbor. The project includes a proposed 330 square foot pool, accessory boat house, house addition, and garage addition.

Site improvements also include a proposed dock on the southern portion of the property. A separate application will be filed with the DEEP for the full dock, however a 9ft by 4ft section falls within the City of Bridgeport's jurisdiction. Sections of the existing seawall will also be repaired or replaced within the existing footprint. The seawall is also in the State's jurisdiction so a Certificate of Permission will be submitted to the DEEP to repair the seawall.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

The property drains entirely to the Black Rock Harbor; therefore, no reduction of the discharge rate is proposed. A proposed underground detention system has been designed for water quality for the proposed impervious areas. Runoff from the proposed building additions, driveway, pool, and terraces will discharge into the proposed underground detention system.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)	X			
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	X			
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)	X			
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)	X			
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)	X			

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

See Attached Sheet

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- : General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- 9 Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- 9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- 9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- 9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- 9 Boating - CGS Section 22a-92(b)(1)(G)
- 9 Fisheries - CGS Section 22a-92(c)(1)(I)
- 9 Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- 9 Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- 9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- 9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- 9 Solid Waste - CGS Section 22a-92(a)(2)
- 9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- 9 Cultural Resources - CGS Section 22a-92(b)(1)(J)
- 9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities
** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

The subject property is in a residence zone and not suitable for water dependent uses.

However, the proposed project does not prevent future water dependent uses.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

The subject property is in a residence zone and not suitable for water dependent uses.

However the proposed project does not prevent future water dependent uses.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

39 Penfield Place, Bridgeport CT – Coastal Site Plan Review

Part III Text

Beaches and Dunes – a sandy beach is located between the tidal wetlands and the seawall and is exposed at low tide. The beach is in good condition. The project is compliant with applicable policies as the project does not alter the erosion/sedimentation patterns of the shoreline.

Coastal Hazard Area - the property lies within the VE and AE flood zones. The project proposes additions, pool, and an accessory structure within the Coastal Hazard Area. The project is consistent with applicable policies as it does not alter water circulation patterns and does not increase the risk of coastal flooding.

Coastal Waters - The property is located on Black Rock Harbor, off the Long Island Sound. The project is consistent with applicable policies as it does not degrade the water quality or circulation patterns.

Shorelands – The northern portion of the property lies outside of the Coastal Hazard area and the house, garage and driveway and other features consistent with typical developed uplands. The project is consistent with applicable policies as it avoids impacts to coastal resources.

Tidal Wetlands - There are tidal wetlands located waterward of the existing seawall and sandy beach along Black Rock Harbor. The tidal wetlands appear to be in good condition. The project is consistent with applicable policies as it does not negatively impact the wetlands, it does not propose any filling or other physical disturbance to tidal wetlands or nearshore waters, nor does it impact the functions or values of the wetlands.

October 27, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, Connecticut 06604

Re: 547 North Avenue, Bridgeport

Dear Mr. Buckley:

Enclosed please find an Application filed by 547 N Ave Bridgeport Realty, LLC ("Applicant") under the Bridgeport Zoning Regulations ("Regulations") for a Special Permit and Site Plan Review ("Application") for property owned by the Applicant located at 547 North Avenue ("Site") in Bridgeport, Connecticut. The Site is in an I-L zone and is improved with a motor vehicle gas station, including an existing building supporting that use. The present Application proposes to use 850 square feet of the existing building as a convenience store, selling items typically found in a motor vehicle gasoline station convenience store.

The Site is located at the intersection of North Avenue and Housatonic Avenue and the gas station use is long existing. The site can be accessed from both Housatonic and North Avenues. There will be no changes to the existing site, the proposal is just to add the sale of convenience store items to the existing structure on the Site.

The Applicant respectfully requests that the Commission approve its request for a convenience store on this site.

Sincerely,



Patricia C. Sullivan

PCS:rpr



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: 547 N Ave Bridgeport Realty LLC
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 547 North Avenue, Bridgeport, CT 06606
4. Assessor's Map Information: Block No. 53/1514 Lot No. 1
5. Amendments to Zoning Regulations: (indicate) Article: n/a Section:
6. Description of Property (Metes & Bounds): 225.24' x 15.00' x 217.22' x 123.28'
7. Existing Zone Classification: I-L
8. Zone Classification requested: n/a
9. Describe Proposed Development of Property: Petitioner proposes to create approximately 850 SF retail convenience store with an existing building as an accessory use to the existing vehicle service facility

Approval(s) requested: Special Permit and Site Plan Review

Signature: Patricia C. Sullivan, Attorney for the Applicant
Date:
Print Name: Patricia C. Sullivan, Attorney for the Applicant

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Patricia C. Sullivan, Attorney for the Applicant
Print Name: Patricia C. Sullivan, Attorney for the Applicant

Mailing Address: c/o Cohen & Wolf, 1115 Broad Street, Bridgeport, CT 06604
Phone: 203-337-4124 Cell: 203 414 6455 Fax: 203-337-5524
E-mail Address: psullivan@cohenandwolf.com

\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
A-2 Site Survey
Building Floor Plans
Completed Site / Landscape Plan
Drainage Plan
Building Elevations
Written Statement of Development and Use
Property Owner's List
Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

547 N Ave Bridgeport Realty LLC
Print Owner's Name

Owner's Signature

10/26/01
Date

Print Owner's Name

Owner's Signature

Date

PROPERTIES WITHIN 100' OF 547 NORTH AVENUE

PROPERTY ADDRESS	OWNERS NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
596 NORTH AV	MCKENZIE DORETH	747 LAUREL AVE	BRIDGEPORT	CT	06604
635 NORTH AV	EZ REALTY LLC	643 NORTH AVE	BRIDGEPORT	CT	06606
625 NORTH AV	BRACAGLIA PAOLO	291 TOLL HOUSE LN	FAIRFIELD	CT	06825
580 NORTH AV #582	580 NORTH AVE LLC	580-582 NORTH AVE	BRIDGEPORT	CT	06604
547 NORTH AV	547 N AVENUE BRIDGEPORT REALTY LLC	555 S COLUMBUS AVE	MOUNT VERNON	NY	10550
608 NORTH AV #630	MCKENZIE DORETH	747 LAUREL AVE	BRIDGEPORT	CT	06604
529 NORTH AV	MTM FAMILY LIMITED PARTNERSHIP	1137 SEAVIEW AVE	BRIDGEPORT	CT	06607
615 NORTH AV	615 NORTH AVE LLC	580 NORTH AVE	BRIDGEPORT	CT	06606
584 NORTH AV #588	MCCARTHY WILLIAM C	134 SUNRISE HILL CIR	ORANGE	CT	06477

BUSINESS DETAILS

547 N AVE BRIDGEPORT REALTY LLC ACTIVE
555 S COLUMBUS AVE. SUITE 201, MOUNT VERNON, NY, 10550, United States

Business Details

General Information

Business Name
547 N AVE BRIDGEPORT REALTY LLC

Business status
ACTIVE

Citizenship/place of formation
Foreign/NY

Business address
555 S COLUMBUS AVE. SUITE 201, MOUNT VERNON, NY, 10550, United States

Annual report due
3/31/2022

NAICS code
Lessors of Nonresidential Buildings (except Miniwarehouses) (531120)

Business ALEI
1189005

Date formed
10/26/2015

Business type
LLC

Mailing address
555 S COLUMBUS AVE. SUITE 201, MOUNT VERNON, NY, 10550, United States

Last report filed
2021

NAICS sub code

Principal Details

Principal Name
TUMAY BASARANLAR

Principal Title
MANAGER

Principal Business address
555 S COLUMBUS AVE., SUITE 201, MOUNT VERNON, NY, 10550, United States

Principal Residence address
161 DUANE STREET, NEW YORK, NY, 10007, United States

BUSINESS DETAILS

Principal Name
JIMMY KOCHISARLI

Principal Title
MANAGER

Principal Business address
555 SOUTH COLUMBUS AVENUE, SUITE 201, MT. VERNON, NY, 10550, United States

Principal Residence address
3 CROSSBOW LANE, WOODBURY, NY, 11797, United States

Principal Name
JOSE MONTERO

Principal Title
MANAGER

Principal Business address
555 SOUTH COLUMBUS AVE, SUITE 201, MT. VERNON, NY, 10550, United States

Principal Residence address
199 PINESBRIDGE ROAD, OSSINING, NY, 10562, United States

Agent details

Agent name
UNITED CORPORATE SERVICES, INC.

Agent Business address
66 CEDAR STREET, NEWINGTON, CT, 06111, United States

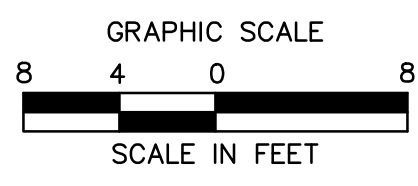
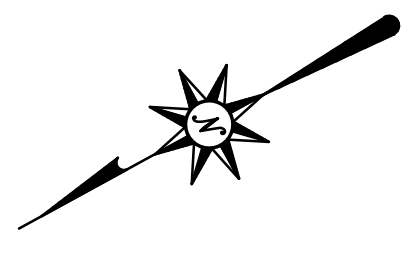
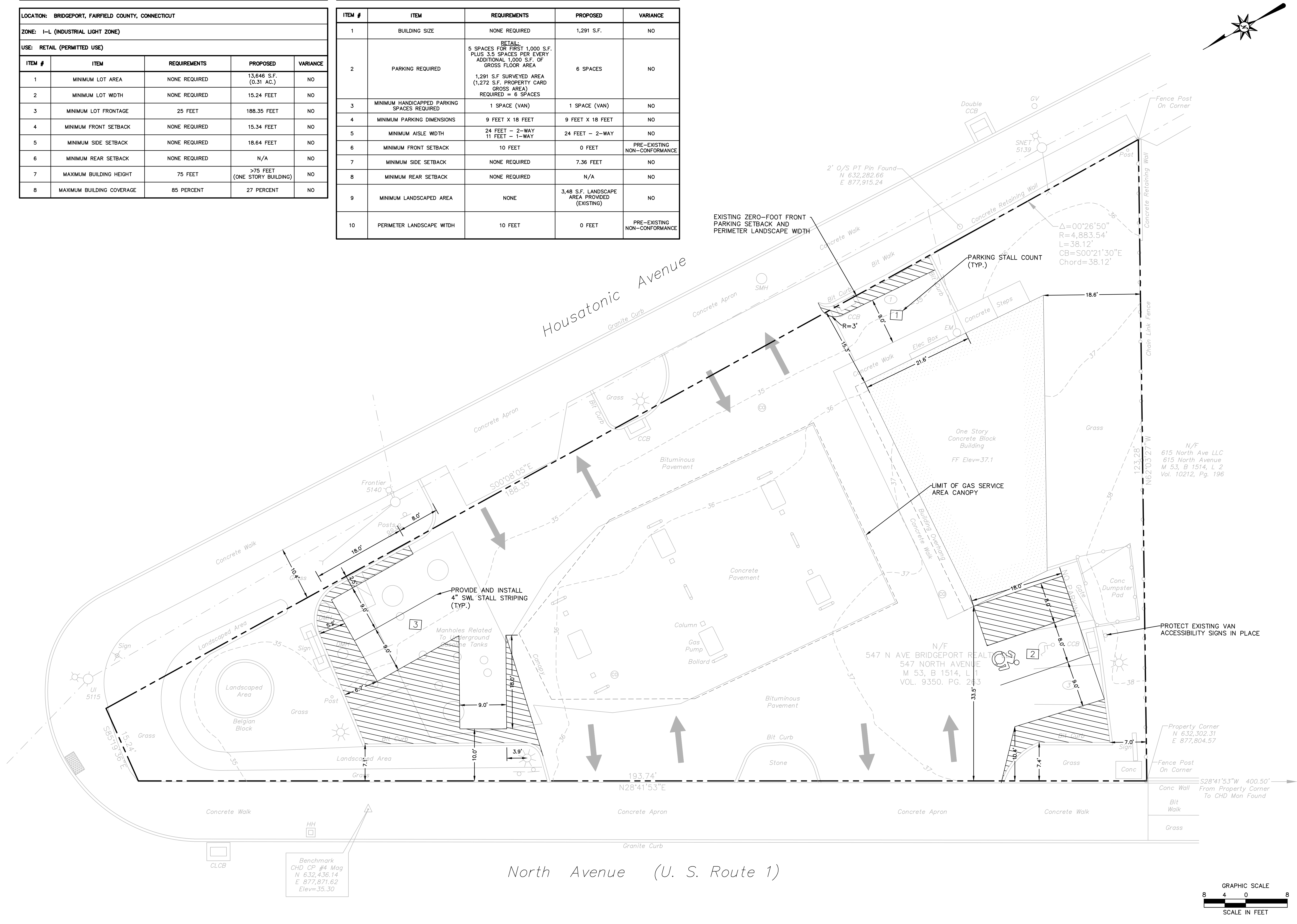
Agent Mailing address
66 CEDAR STREET, NEWINGTON, CT, 06111, United States

ZONING INFORMATION

LOCATION: BRIDGEPORT, FAIRFIELD COUNTY, CONNECTICUT				
ZONE: I-L (INDUSTRIAL LIGHT ZONE)				
USE: RETAIL (PERMITTED USE)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	NONE REQUIRED	13,646 S.F. (0.31 AC.)	NO
2	MINIMUM LOT WIDTH	NONE REQUIRED	15.24 FEET	NO
3	MINIMUM LOT FRONTAGE	25 FEET	188.35 FEET	NO
4	MINIMUM FRONT SETBACK	NONE REQUIRED	15.34 FEET	NO
5	MINIMUM SIDE SETBACK	NONE REQUIRED	18.64 FEET	NO
6	MINIMUM REAR SETBACK	NONE REQUIRED	N/A	NO
7	MAXIMUM BUILDING HEIGHT	75 FEET	>75 FEET (ONE STORY BUILDING)	NO
8	MAXIMUM BUILDING COVERAGE	85 PERCENT	27 PERCENT	NO

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	1,291 S.F.	NO
2	PARKING REQUIRED	RETAIL: 5 SPACES FOR FIRST 1,000 S.F. PLUS 3.5 SPACES PER EVERY ADDITIONAL 1,000 S.F. OF GROSS FLOOR AREA 1,291 S.F. SURVEYED AREA (1,272 S.F. PROPERTY CARD GROSS AREA) REQUIRED = 6 SPACES	6 SPACES	NO
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	1 SPACE (VAN)	1 SPACE (VAN)	NO
4	MINIMUM PARKING DIMENSIONS	9 FEET X 18 FEET	9 FEET X 18 FEET	NO
5	MINIMUM AISLE WIDTH	24 FEET - 2-WAY 11 FEET - 1-WAY	24 FEET - 2-WAY	NO
6	MINIMUM FRONT SETBACK	10 FEET	0 FEET	PRE-EXISTING NON-COMFORMANCE
7	MINIMUM SIDE SETBACK	NONE REQUIRED	7.36 FEET	NO
8	MINIMUM REAR SETBACK	NONE REQUIRED	N/A	NO
9	MINIMUM LANDSCAPED AREA	NONE	3,48 S.F. LANDSCAPE AREA PROVIDED (EXISTING)	NO
10	PERIMETER LANDSCAPE WIDTH	10 FEET	0 FEET	PRE-EXISTING NON-COMFORMANCE



355 Research Parkway
Meriden, CT 06450
(203) 630-1406
(203) 630-2615 Fax



PROPOSED CONVENIENCE STORE
547 NORTH AVENUE
BRIDGEPORT, CONNECTICUT

REVISIONS

Designed	S.M.K.
Drawn	T.J.
Reviewed	J.M.
Scale	AS SHOWN
Project No.	2101903
Date	10/28/2021
CAD File:	SP210190301

Title
SITE PLAN

Sheet No.

SP-1

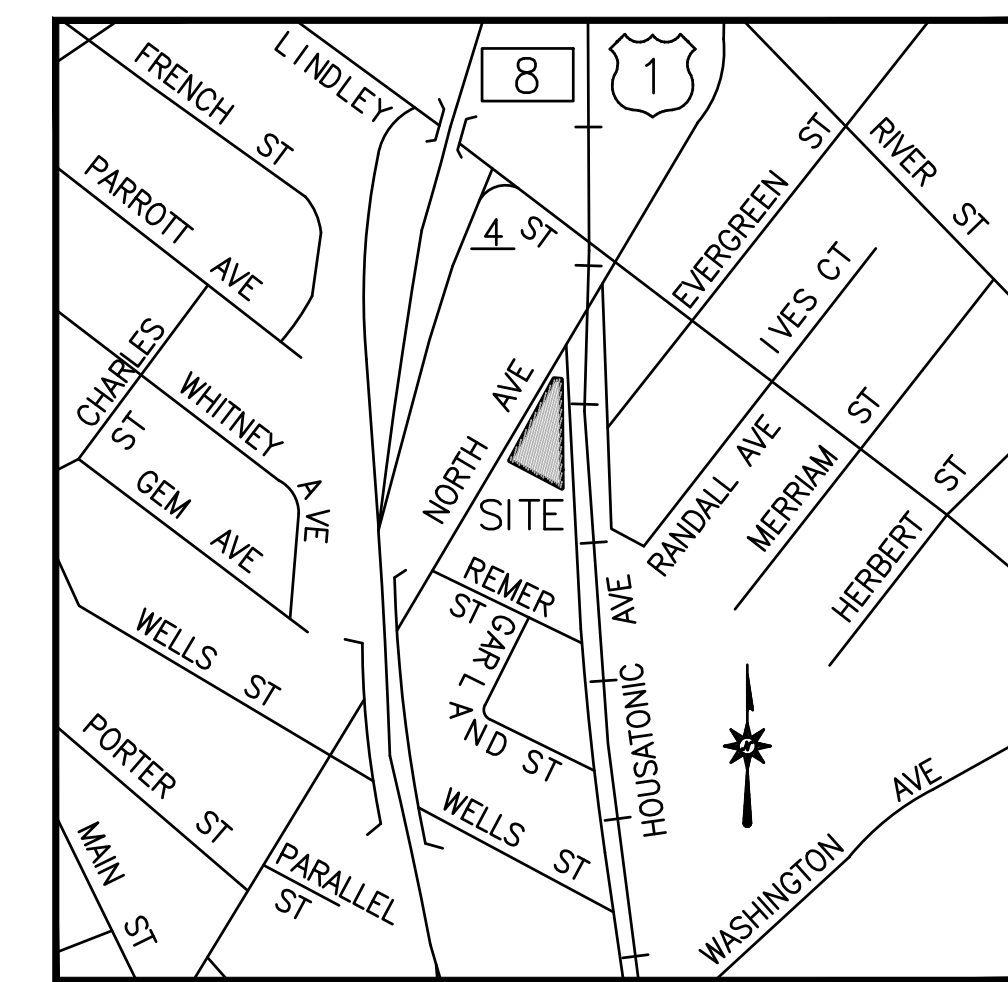
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GENERAL NOTES

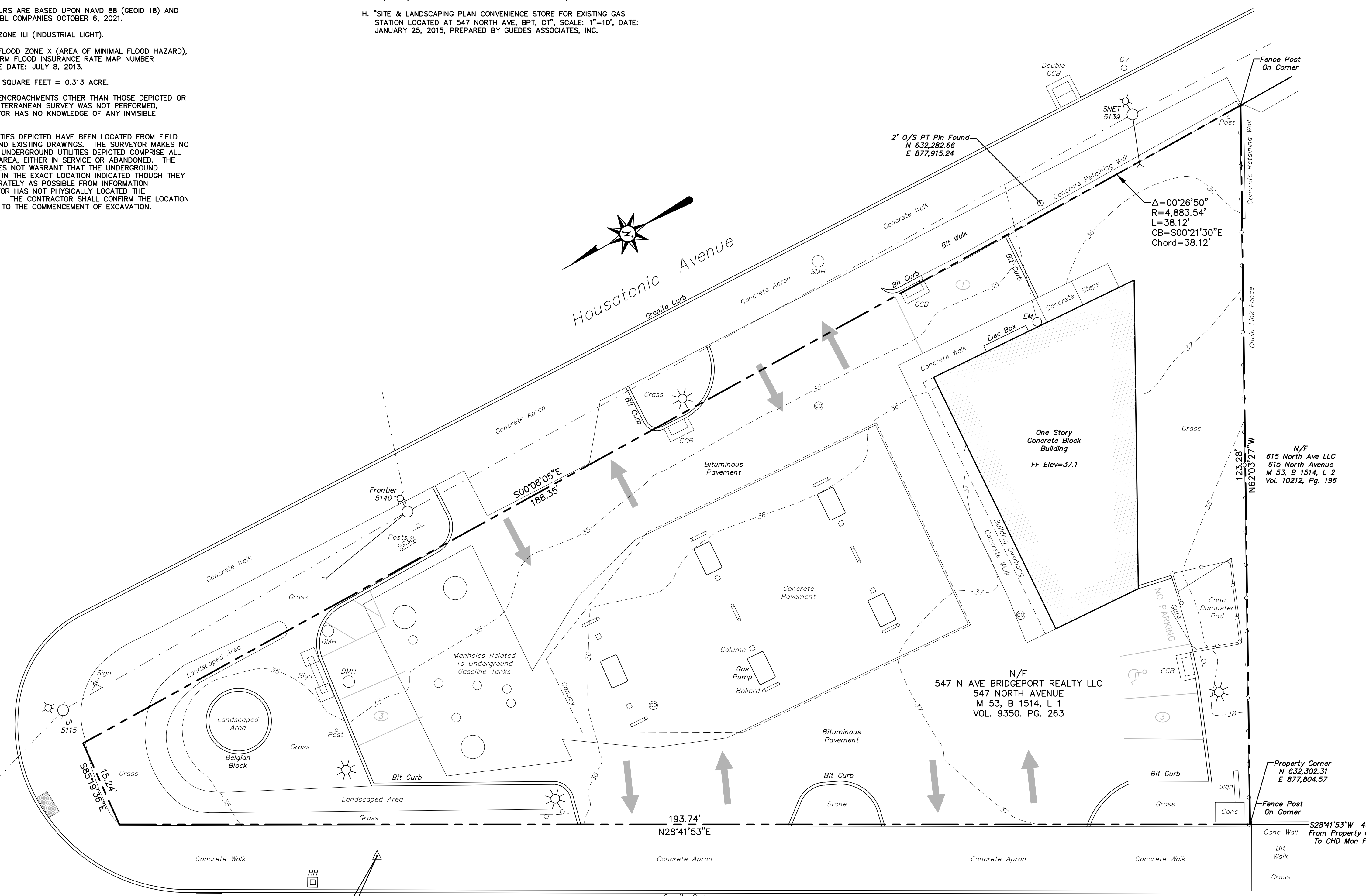
1. A) THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019.
- B) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND VERTICAL ACCURACY CLASS 1-2.
- C) BOUNDARY DETERMINATION IS A RESURVEY.
- D) THE TYPE OF SURVEY PERFORMED IS A ZONING LOCATION SURVEY AND IS INTENDED TO DEPICT THE POSITION OF THE BOUNDARIES WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS, VISIBLE UTILITIES, AND ROADWAYS.
2. CHD RANDOM 4187 FOUND:
N 632,034.60
E 877,563.04
CHD RANDOM 4189 FOUND:
N 632,862.38
E 877,846.58
2' OFFSET PIN FOUND:
N 632,453.86
E 877,810.00
3. NORTH ARROW AND BEARINGS REFER TO NAD 83 AND ARE BASED ON GPS OBSERVATIONS BY BL COMPANIES ON OCTOBER 6, 2021.
4. ELEVATIONS AND CONTOURS ARE BASED UPON NAVD 88 (GEOID 18) AND GPS OBSERVATIONS BY BL COMPANIES OCTOBER 6, 2021.
5. PARCEL IS LOCATED IN ZONE IU (INDUSTRIAL LIGHT).
6. PARCEL IS LOCATED IN FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD), AS DEPICTED ON THE FIRM FLOOD INSURANCE RATE MAP NUMBER 0900100429G, EFFECTIVE DATE: JULY 8, 2013.
7. PARCEL AREA = 13,646 SQUARE FEET = 0.313 ACRE.
8. THERE ARE NO VISIBLE ENCROACHMENTS OTHER THAN THOSE DEPICTED OR NOTED HEREON. A SUBTERRANEAN SURVEY WAS NOT PERFORMED, THEREFORE THE SURVEYOR HAS NO KNOWLEDGE OF ANY INVISIBLE ENCROACHMENTS.
9. THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION.

REFERENCE MAPS

- A. ENGINEERING ASSESSOR, ON FILE IN THE BRIDGEPORT ENGINEERING DEPARTMENT, MAP 15-5.
- B. ENGINEERING PIN SHEET, SCALE: 1"=50', ON FILE IN THE BRIDGEPORT ENGINEERING DEPARTMENT, MAP 1514, 1515, 1518, & 1519.
- C. "CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS RIGHT OF WAY MAP TOWN OF BRIDGEPORT COLONEL HENRY MUGGI HIGHWAY FROM CENTER STREET NORTHERLY TO LINDLEY STREET", DATE: MAY 1, 1974, REVISED: FEBRUARY 7, 1997, SCALE: 1"=80', NUMBER 15-05, SHEET 3 OF 3.
- D. "CITY OF BRIDGEPORT MAP SHOWING LAND ACQUIRED FROM SABINO BOCCUZZI BY THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION RECONSTRUCTION OF HOUSATONIC AVENUE", SCALE: 1"=500, DATE: NOVEMBER 11, 1999, ON FILE IN THE BRIDGEPORT LAND RECORDS, MAP VOLUME 53, PAGE 22.
- E. "MAP OF CONSOLIDATION PREPARED FOR EZ AUTOMOTIVE, LLC #643 NORTH AVENUE BRIDGEPORT, CONNECTICUT", SCALE: 1"=20', DATE: APRIL 8, 2003, PREPARED BY HAMMONS LLC.
- F. "STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION LINDLEY STREET ROUTE 8/25 TO ROUTE 1 IN THE CITY OF BRIDGEPORT", SCALE: 1"=40', DATE: JUNE, 2010, REVISED: MAY 10, 2012, PROJECT NUMBER 15-334.
- G. "MAP OF PROPERTY OWNED BY 547 NORTH AVENUE, LLC 547 NORTH AVENUE, BRIDGEPORT, CONNECTICUT", SCALE: 1"=10', DATE: SEPTEMBER 29, 2010, PREPARED BY LAND SURVEYING SERVICES, LLC.
- H. "SITE & LANDSCAPING PLAN CONVENIENCE STORE FOR EXISTING GAS STATION LOCATED AT 547 NORTH AVE, BPT, CT", SCALE: 1"=10', DATE: JANUARY 25, 2015, PREPARED BY GUEDES ASSOCIATES, INC.



VICINITY MAP
NOT TO SCALE



LEGEND

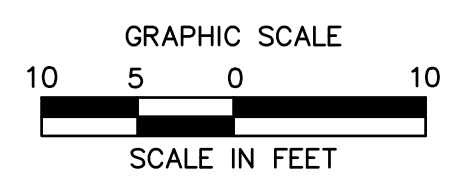
- Property Line
- Minor Contour
- Chain Link Fence
- Handhole
- Light Pole
- Utility Pole w/ Light
- Gas Valve
- Cleanout
- Catch Basin
- Manhole
- Sign



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Jennifer Marks
JENNIFER MARKS L.S. #17939

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR.



REVISIONS	Date	Drawn	D.F.L.
No.		Reviewed	D.C.L.
		Scale	J.M.
		Project No.	1"=10'
		Date	2101903
		Field Book	10/06/21
		CAD File:	EX210190301

Title
ZONING LOCATION SURVEY

Sheet No.
EX-1

Oct 26, 2021 4:36pm - jcmagner - G:\088271\1812101903\06V01E0210190301.dwg
Layout: EX-1_24x36_10c

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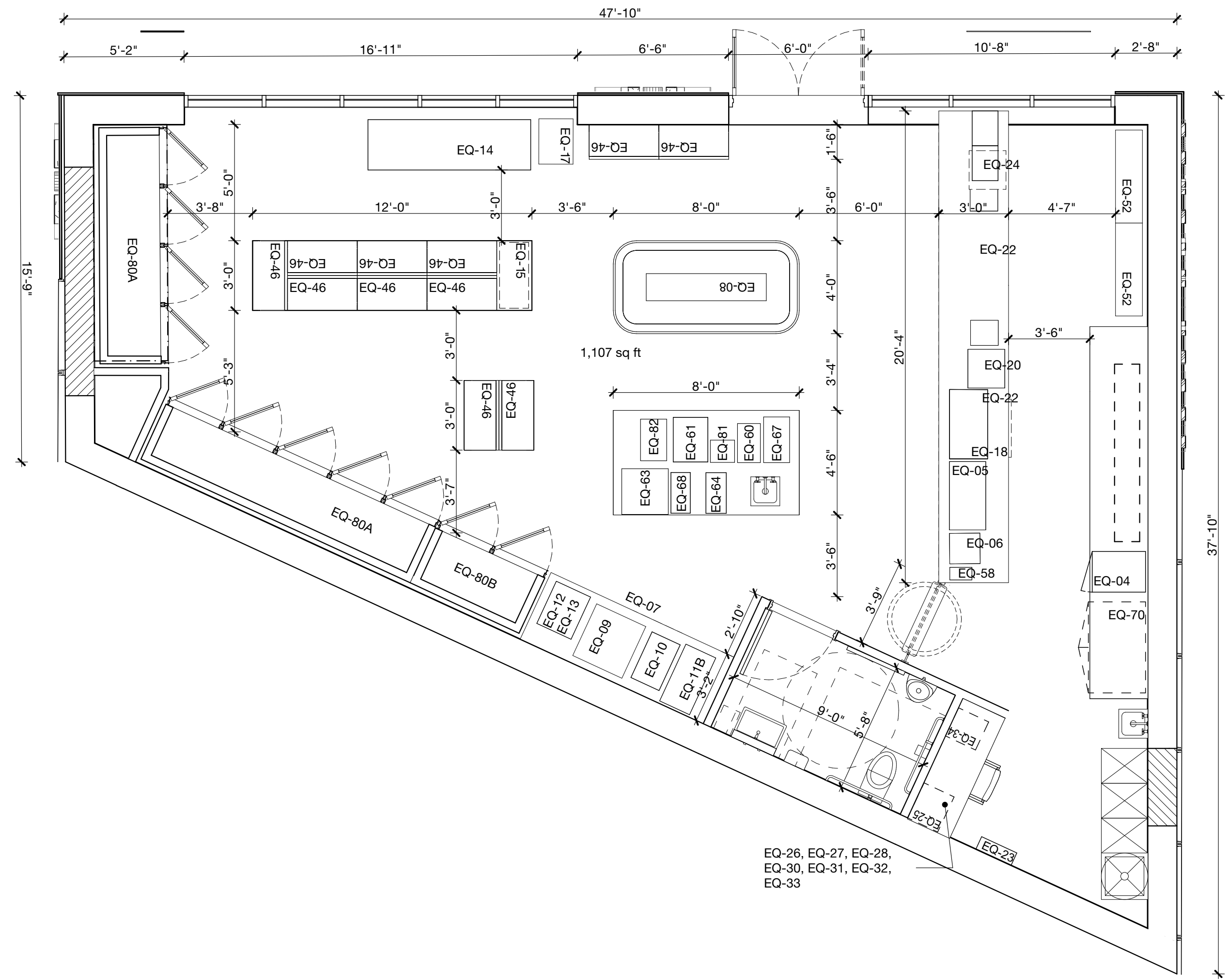
547 North Avenue
Bridgeport, NY 06606
#Site ID

OWNER:

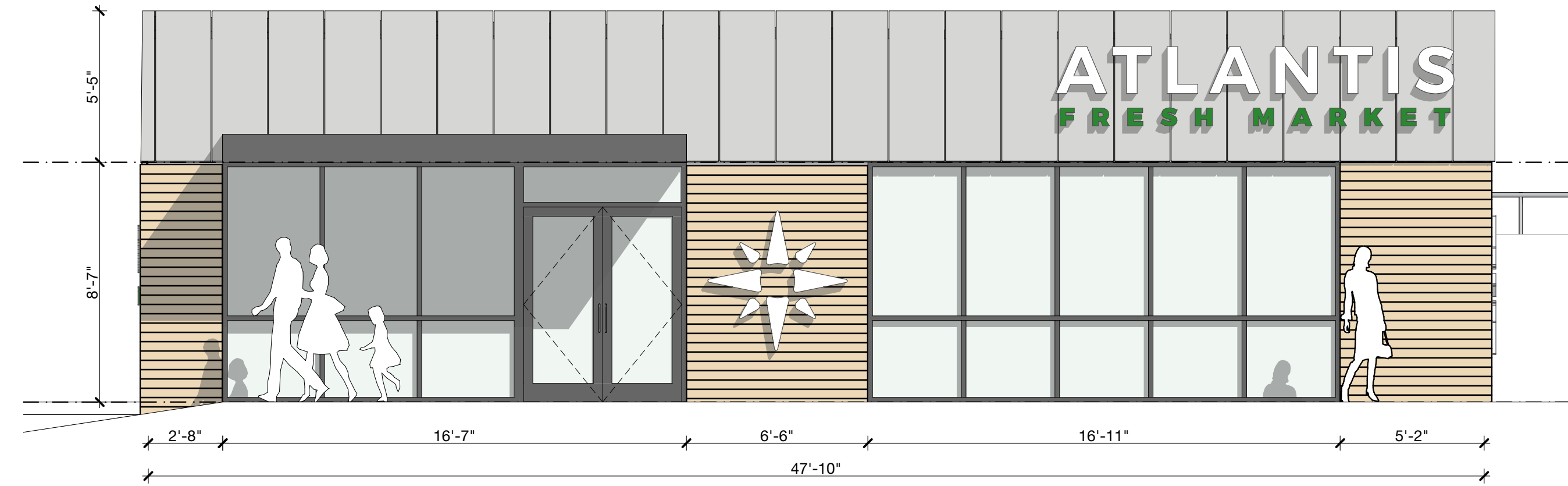
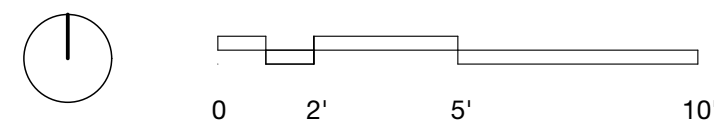
Atlantis Management Group
555 S Columbus Ave #201
Mt. Vernon NY 10550
contact: Jose Montero
T. 914-699-9500 E. Josem@atlantismgmt.com

ARCHITECT:

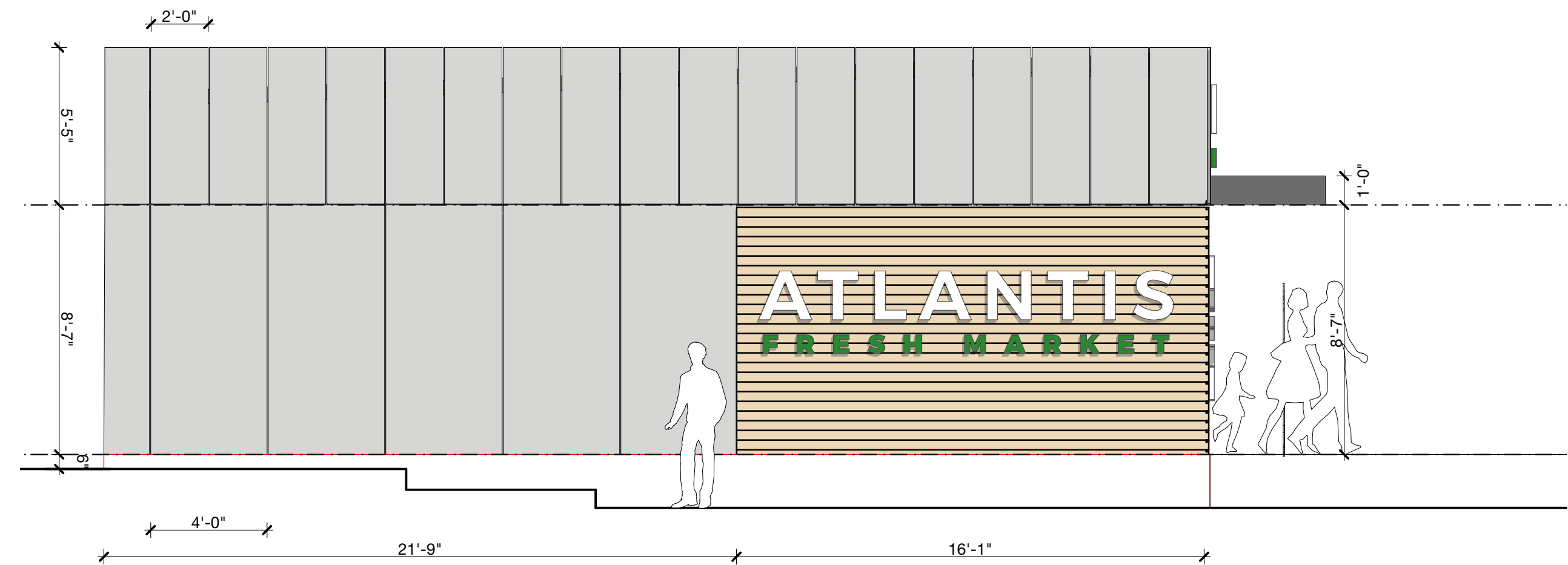
Pablo De Miguel Architect PLLC
162 14th Street
Brooklyn, NY 11215
contact: Pablo de Miguel AIA
T. 646 265 0338 E. pablo@pablodemiguel.com
W. www.pablodemiguel.com



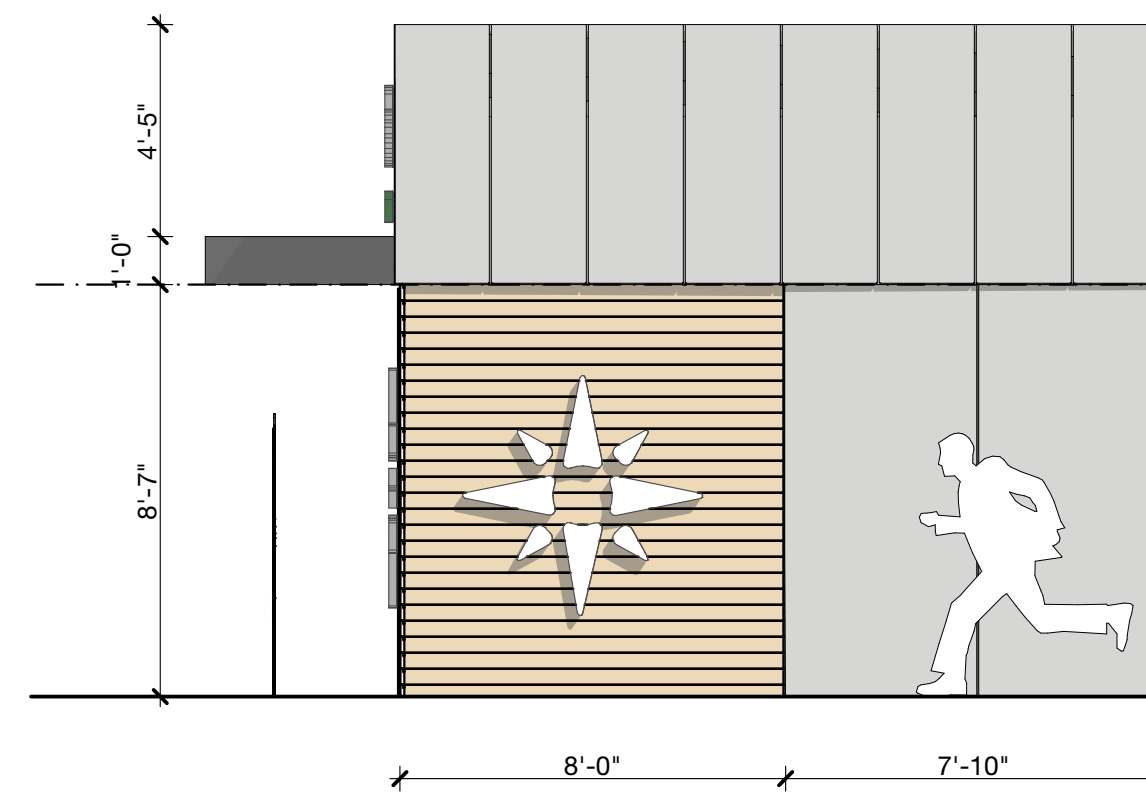
01 PROPOSED ONVENIENCE STORE LAYOUT
SCALE: 1/4" = 1'-0"



02 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



03 EAST ELEVATION
SCALE: 1/4" = 1'-0"

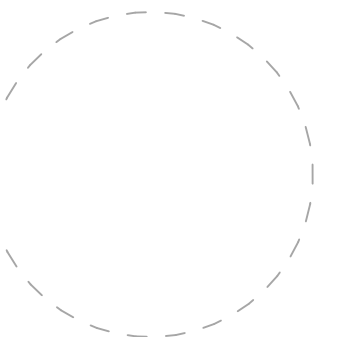


04 WEST ELEVATION
SCALE: 1/4" = 1'-0"

ISSUE	DATE	DESCRIPTION
1	10/28/2021	Issued for Review

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SEAL & SIGNATURE



Pablo de Miguel AIA
SHEET NAME:

**PROPOSED
CONVENIENCE STORE**

DATE:	SCALE: 1/4" = 1'-0"
PROJECT No.: 2112	PAGE: #LayNohSubset of 24
DRAWING No.:	



ATLANTIS FRESH MARKET

547 North Avenue Bridgeport
CT 06606

VIEW 1

SCALE: 1:133.78
DATE: 10/20/21



ATLANTIS FRESH MARKET

547 North Avenue Bridgeport
CT 06606

VIEW 2

SCALE: 1:163.59
DATE: 10/20/21



ATLANTIS FRESH MARKET

547 North Avenue Bridgeport
CT 06606

VIEW 3

SCALE: 1:2.10
DATE: 10/20/21



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: 3115 Fairfield Ave LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X
3. Address of Property: 3115, 3129 and 3135 Fairfield Ave., 704 Courtland Ave. and 30 Clarkson St. / CT / 06605
4. Assessor's Map Information: Block No. 8/107 Lot No. 1/A, 2, 24, 25 & 26
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section:
6. Description of Property (Metes & Bounds): See submitted survey; 213.04' x 170.00' x 104.50' x 43.61' x 101.00' x 175.00'
7. Existing Zone Classification: O-R and R-B
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Proposed construction of a mixed-use building with ground floor retail use and residential multi-family apartment to contain 52 dwelling units and associated Site improvements.

Approval(s) requested: Coastal Site Plan Review and Site Plan Review

Signature: [Handwritten Signature] Date: 12/23/2021
Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: _____

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-520-4603 Fax: _____
E-mail Address: Chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

3115 Fairfield Ave LLC 12/23/2021
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date

Lisa S. Broder*
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* Also Admitted in NY
* Also Admitted in VT
+ Of Counsel

December 23, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604

**Re: Petition for Site Plan Review and Coastal Site Plan Review – 3115, 3129 & 3135
Fairfield Ave., 704 Courtland Ave & 30 Clarkson Street**

Dear Mr. Buckley:

Please accept this Petition to the Bridgeport Planning and Zoning Commission for Site Plan Review and Coastal Site Plan Review on behalf of my client, 3115 Fairfield Ave LLC, for the properties located at 3115, 3129 & 3135 Fairfield Ave., 704 Courtland Ave & 30 Clarkson Street (the “Site”) in the O-R and R-B Zones.

Proposed Development & Use

The Petitioner proposes to construct a single mixed-use retail and residential multi-family apartment dwelling on the Site with associated Site improvements. The proposed building for the Site is located entirely within the O-R Zone and a portion of the proposed parking area is located in the R-B Zone. The entire Site is located within the coastal boundary with Ash Creek as the nearest coastal resource over Six hundred feet (600'+) away from the Site. Finally, the Site is also located within the Commercial Village Overlay District (“CVOD”). The Site has frontage on Fairfield Avenue, Courtland Avenue and Clarkson Street. The Site is predominantly vacant except for an existing two-family dwelling and accessory structures. The Petitioner proposes to demolish all these structures. Restaurants, a vehicle repair shop, an office building, a large apartment building, another mixed-use building and several two-family structures currently surround the Site. Retail uses with under 10,000 SF of floor area and multi-family dwellings are a permitted use within the O-R Zone. The Petitioner proposes to construct a Five-story mixed use building with Three thousand

one hundred and seventy square feet (3,170 SF) of ground floor retail use and a multi-family residential apartment use containing Fifty-two (52) residential dwelling units.

The Site will be accessed via entrance/exit driveways on Courtland Avenue and Clarkson Street. The Petition proposes a parking area located behind the proposed building for a total of Fifty-two (52) off-street parking spaces. As the proposed building and use is located within the O-R Zone, there is no parking requirement for the proposed use, so the Petition is well in compliance with the Regulations. The proposed retail use will occupy Three thousand one hundred and seventy square feet (3,170 SF) of ground floor area. It is proposed to be separated into Two (2) separate units facing and with sole access to Fairfield Avenue. In compliance with Section 9-5-5.5 of the Regulations, the retail use is dominated by window area on its façade to meet the standards of the CVOD.

The balance of the building will contain a multi-family apartment use. A number of amenities are proposed for the Site, including a lobby, tenant lounge, mail area, fitness center, office space, roof deck and a green roof. The residential floors will be accessed on the ground floor room multiple points, including from the parking area and sidewalk on Fairfield Avenue. The upper residential floors will be accessed via Two (2) stairwells and an elevator. The proposed building will contain Four (4) studio, Twenty-five (25) one-bedroom and Twenty-three (23) two-bedroom dwelling units. A typical studio dwelling unit will range in size from 460 SF to 532 SF and contain a full kitchen, living/dining room and open bedroom area, walk-in/storage closet, washer/dryer, roof deck and full bath. A typical one-bedroom dwelling unit will range in size from 593 SF to 690 SF and will contain a private bedroom in addition to the studio unit features. The two-bedroom dwelling units will range in size from 974 SF to 1028 SF and will feature an additional bedroom and full bath.

The submitted elevations show a variety of materials, colors and depths consistent with apartment design found in new construction throughout the City and surrounding area. The Site will be connected via public sidewalks to the convenient Fairfield Avenue corridor. A significant amount of landscaping will be added to the Site with plantings along the rear property line as a buffer to residential properties and street trees along the street frontages in accordance with the CVOD Regulations. Existing structures along the rear property line will also be removed. The Petition will be a tremendous improvement to the Site and neighborhood to provide new construction housing to Bridgeport residents.

Site Plan Review

The Petition satisfies the Section 14-2-5 Site Plan Review standards of the Regulations. The design of the proposed buildings and landscaping create a harmonious building-street interaction providing a tremendous improvement to the existing streetscape. The scale and proportion of the buildings conform to the O-R Zone Development Standards and the CVOD as it is fully compliant with the Regulations. The Petition proposes significant landscaping along the rear property line and street frontages. The proposed retail and multi-family residential dwelling uses and its density are permitted in the O-R Zone. The

proposed uses and building replace a dated dwelling and vacant overgrown land on an underutilized Site. The Site is in close proximity to another high-density apartment building, so the proposed use will be in conformity with the area.

As stated above, the proposed design of the building and its location on the Fairfield Avenue corridor will be a great asset for residents of the neighborhood. The Petition proposes more adequate off-street parking and accessible spaces than required under the Regulations. The Petition conforms to the permitted standards under the Regulations.

Coastal Site Plan Review

The Petition also complies with Section 14-3 of the Regulations regarding coastal site plan review. While the Site is located within the coastal boundary, it is over Six hundred feet (600'+) from Ash Creek, which is the nearest coastal resource. Dozens of buildings and multiple streets and blocks exist between the coastal resource and the Site. It has no connection to the coastal resource but for being included within its boundary. There are no natural features associated with the coastal resource on the Site. As stated above, the Petition fully complies with the site plan review standards of the Regulations. The Petition poses no danger or threat to coastal resources and it has no potential adverse impacts. The proposed building and Site improvements will all be constructed in accordance with current codes and regulations, including appropriate stormwater drainage systems. Appropriate sediment and erosion controls, such as silt fencing and anti-tracking aprons, will be utilized during construction and stockpiles will be located at the rear of the Site.

For these reasons, we respectfully request approval of the Petition to construct a single mixed-use retail and residential multi-family apartment dwelling containing Fifty-two (52) dwelling units on the Site with associated Site improvements.

Sincerely,



Christopher Russo



54CITY OF BRIDGEPORT

Application Form

Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I: Applicant Identification

Applicant: <u>3115 Fairfield Ave LLC</u>	Date: <u>12/23/2021</u>
Address: <u>c/o Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT</u>	Phone: <u>203-528-0590</u>
Project Address or Location: <u>3115, 3129 & 3135 Fairfield Ave, 704 Courtland Ave and 30 Clarkson St, Bridgeport, CT</u>	
Interest in Property: <input checked="" type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant: Name: <u>Chris Russo, Russo & Rizio, LLC</u>	
Address: <u>10 Sasco Hill Road</u>	
City/Town: <u>Fairfield</u>	State: <u>CT</u> Zip _____
Code: <u>06824</u>	
Business Phone: <u>203-528-0590</u>	
e-mail: <u>Chris@russorizio.com</u>	

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:
<input checked="" type="checkbox"/> Project location
<input checked="" type="checkbox"/> Existing and proposed conditions, including buildings and grading
<input checked="" type="checkbox"/> Coastal resources on and contiguous to the site
<input type="checkbox"/> High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
<input checked="" type="checkbox"/> Soil erosion and sediment controls
<input checked="" type="checkbox"/> Stormwater treatment practices
<input checked="" type="checkbox"/> Ownership and type of use on adjacent properties
<input checked="" type="checkbox"/> Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description:
3115, 3129 & 3135 Fairfield Ave, 704 Courtland Ave and 30 Clarkson St
City or Town: Bridgeport
2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
Ash Creek is located over 600' from the Site. There is no adjacent water.
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:
The Site currently contains mostly vacant land, a two-family dwelling and accessory structures. The Site is located in the O-R and R-B Zones.
The Site is surrounded by a mix of commercial uses, including restaurants, a vehicle repair shop, and office, and multi-family residential dwellings, including an apartment building.
5. Indicate the area of the project site: 35,704 acres or square feet (circle one)
6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):
 - Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
 - Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.
 - Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.
7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The Petitioner proposes to demolish the existing buildings on the Site and construct a five-story mixed-use building with ground floor retail space and Fifty-two (52) residential dwelling units. The Petitioner will construct a street level parking area to provide sufficient parking for the development. The proposed grading is shown on the submitted plan. The proposed building and site coverage is below the maximum standards of the zone under the Zoning Regulations. The development will be completed in one phase in an anticipated Eighteen (18) months of construction.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Storm water run-off from the building and the driveway and parking areas will be treated with a subsurface system. The primary stormwater treatment will be implemented as to Stormwater Best Management Practice.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a- 92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a- 93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a- 92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):
Ash Creek, which is the closest coastal resource to the Site, is located over 600' from the Site.
The proposed project complies with CGS Sec. 22a-92(a)(1) "...by promoting economic growth without significantly disrupting the environment...", with CGS Sec. 22a-92(b)(2)(F) "...manage coastal hazard areas to minimize hazards to property..." and with CGS Sec. 22a-92(c)(2)(B) "...maintain patterns of water circulation in the placement of drainage control structures..."

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- 9 Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- 9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- 9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- 9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- 9 Boating - CGS Section 22a-92(b)(1)(G)
- 9 Fisheries - CGS Section 22a-92(c)(1)(I)
- 9 Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- 9 Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- 9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- 9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- 9 Solid Waste - CGS Section 22a-92(a)(2)
- 9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- 9 Cultural Resources - CGS Section 22a-92(b)(1)(J)
- 9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration. This project will be limited to the confines of the Site and will be completed within Eighteen (18) months. All disturbed pervious areas will be loamed, seeded and planted upon completion of construction.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The **Applicable** column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

There is no proposed activity that will qualify as a water-dependent use as there is no adjacent water within 600' of the Site.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

LIST OF PROPERTY OWNERS WITHIN 100' OF 3115, 3129 & 3135 FAIRFIELD AVE, 704 COURTLAND AVE AND 30 CLARKSON ST

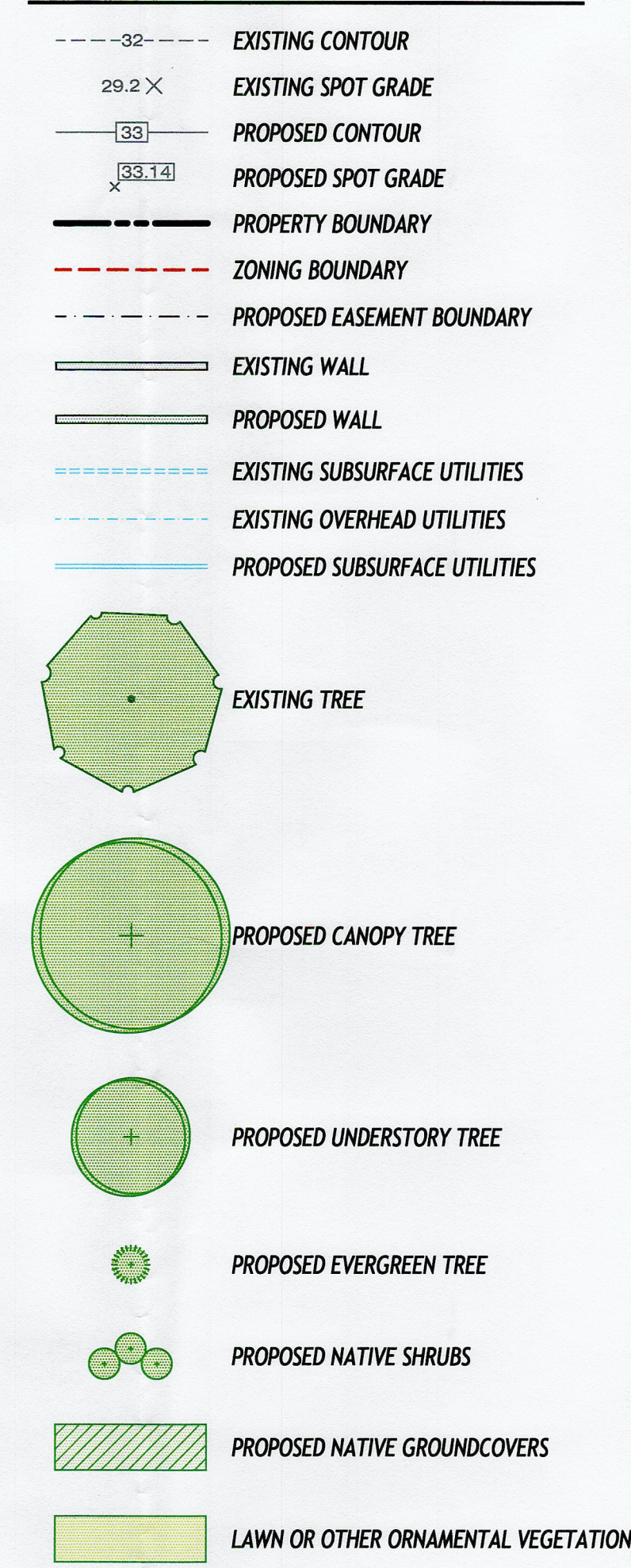
LOCATION	OWNER	MAILING ADDRESS	CITY	STATE	ZIP CODE
8 MONTGOMERY ST #10	ETIENNE DEAN & JEAN	8 MONTGOMERY ST #10	BRIDGEPORT	CT	06605
694 COURTLAND AV	BASJAH JOHN & FORTUNATA	694 COURTLAND AVE	BRIDGEPORT	CT	06605
40 CLARKSON ST	MARGUERITE FRATARCANGELI REVOCABLE TRUST	40 CLARKSON ST	BRIDGEPORT	CT	06605
3142 FAIRFIELD AV	THRESHER HUGH G	42879 SPINKS FERRY RD	LEESBURG	VA	20176
3120 FAIRFIELD AV	KERSTETTER GERALDINE & RICHARD	3120 FAIRFIELD AVE	BRIDGEPORT	CT	06605
3126 FAIRFIELD AV	LORA KARSYS VENTURA	3126 FAIRFIELD AVE	BRIDGEPORT	CT	06605
3150 FAIRFIELD AV	FORMATO JOSEPH	3870 BLACK ROCK TPK	FAIRFIELD	CT	06825
3104 FAIRFIELD AV	NRK LLC	3104 FAIRFIELD AVE	BRIDGEPORT	CT	06604
30 CLARKSON ST	3115 FAIRFIELD AVE LLC	15 AMERIC AVE, STE 110	LAKEWOOD	NJ	08701
704 COURTLAND AV	3115 FAIRFIELD AVE LLC	15 AMERIC AVE, STE 110	LAKEWOOD	NJ	08701
689 COURTLAND AV	PEKAR MARGE	000679 COURTLAND AVE	BRIDGEPORT	CT	06605
3115 FAIRFIELD AV	3115 FAIRFIELD AVE LLC	15 AMERIC AVE, STE 110	LAKEWOOD	NJ	08701
3129 FAIRFIELD AV	3115 FAIRFIELD AVE LLC	15 AMERIC AVE, STE 110	LAKEWOOD	NJ	08701
3135 FAIRFIELD AV	3115 FAIRFIELD AVE LLC	15 AMERIC AVE, STE 110	LAKEWOOD	NJ	08701
3171 FAIRFIELD AV	3171 FAIRFIELD AVENUE LLC	3255 FAIRFIELD AVE	BRIDGEPORT	CT	06605
3083 FAIRFIELD AV #3085	DEPARLE JUDITH & RICHARD	3083 FAIRFIELD AVE	BRIDGEPORT	CT	06605
29 CLARKSON ST	CARNICKE ALLEN	29 CLARKSON ST	BRIDGEPORT	CT	06605
41 CLARKSON ST	MCCARTHY MOLLY & STEPHEN MCCABE III	41 CLARKSON ST	BRIDGEPORT	CT	06605
16 MONTGOMERY ST	AQUILA PROPERTIES LLC	32 SUGAR PLUM LN	FAIRFIELD	CT	06824
675 COURTLAND AV #679	VITORINO JAMES	675 COURTLAND AV #679	BRIDGEPORT	CT	06605
686 COURTLAND AV	WASHBURN THOMAS L ET AL	686 COURTLAND AV	BRIDGEPORT	CT	06605
674 COURTLAND AV #676	PAVEL PEARL	152 WAKEMAN LN	SOUTHPORT	CT	06490
50 CLARKSON ST	CORREA JEAN E	50 CLARKSON ST	BRIDGEPORT	CT	06605
42 CLARKSON ST	MARGUERITE FRATARCANGELI REVOCABLE TRUST	42 CLARKSON ST	BRIDGEPORT	CT	06605

PLANTING PLAN

SCALE: 1" = 10' 1/2"



LEGEND



GENERAL NOTES

- UNLESS NOTED OTHERWISE, EXISTING AND ALL OTHER PROPOSED CONDITIONS INFORMATION TAKEN FROM A DRAWING PREPARED BY THE HUNTINGTON COMPANY, LLC.
- PROPOSED PLANTING INFORMATION PROVIDED BY WILLIAM KENNY ASSOCIATES LLC.

PLANT LIST

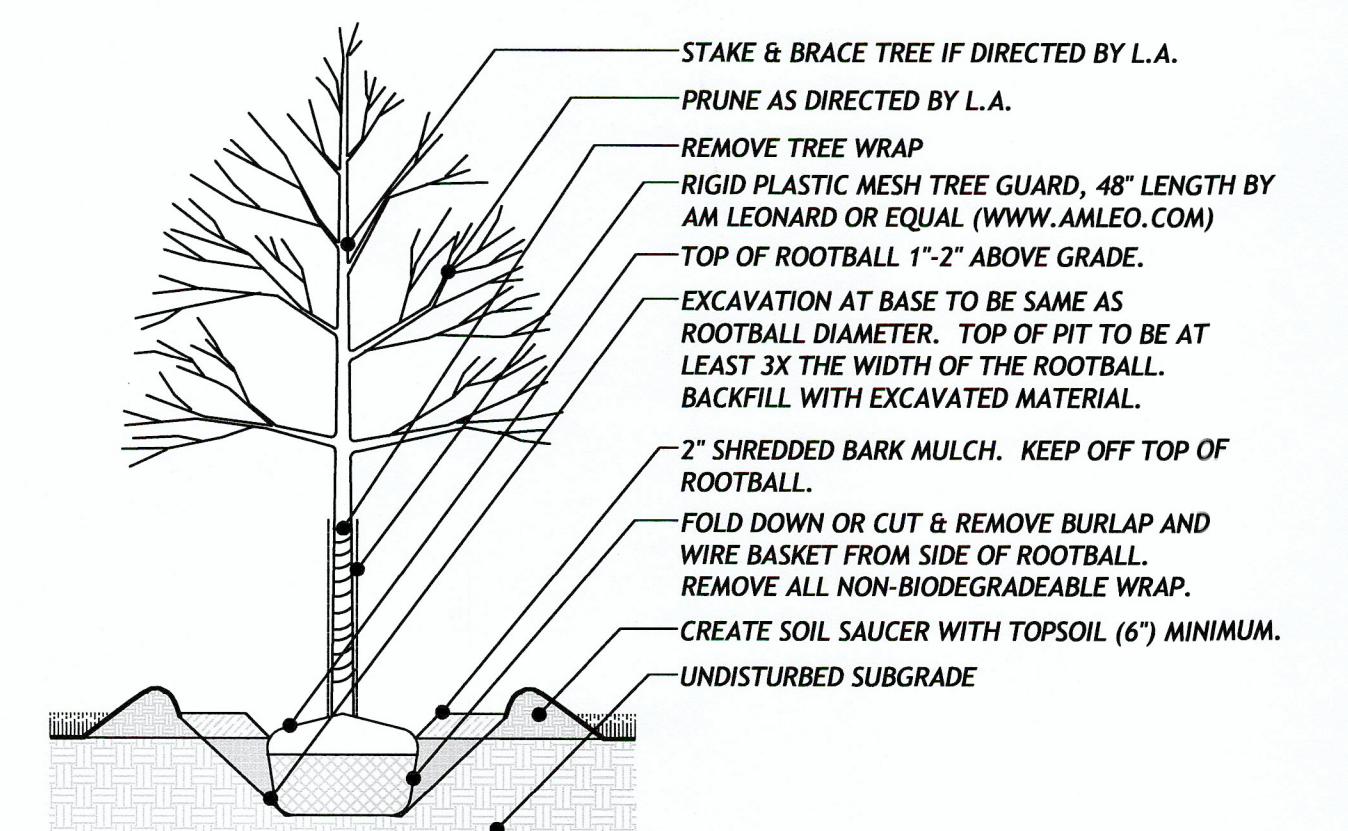
SYM.	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT
PROPOSED NATIVE CANOPY TREES					
QR	7	QUERCUS RUBRA	RED OAK	4" CAL.	B&B
TOTAL	7				
PROPOSED NATIVE UNDERSTORY TREES					
AF	7	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG MAPLE	4" CAL.	B&B
TOTAL	7				
PROPOSED EVERGREEN TREES					
TO	49	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	6'-7' HT.	B&B
TOTAL	49				
PROPOSED NATIVE SHRUBS					
CA	18	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SIXTEEN CANDLES SUMMERSWEET	2'-3' HT.	CONTAINER
HA	22	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL SMOOTH HYDRANGEA	2'-3' HT.	CONTAINER
HL	11	HYDRANGEA ARBORESCENS 'LIMETTA'	LIMETTA SMOOTH HYDRANGEA	2'-3' HT.	CONTAINER
IG	29	ILEX GLABRA 'DENSE'	DENSE INKBERRY	2'-3' HT.	CONTAINER
TOTAL	80				
PROPOSED NATIVE GROUNDCOVERS					
EP	87	ECHINACEA PURPUREA 'POWOW WHITE'	POWOW WHITE CONEFLOWER	2 QUART	CONTAINER
JH	5	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR CREEPING JUNIPER	2 QUART	CONTAINER
PV	62	PANICUM VIRGATUM 'CAPE BREEZE'	CAPE BREEZE SWITCHGRASS	2 QUART	CONTAINER
PS	85	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCHGRASS	2 QUART	CONTAINER
RF	87	RUDBECKIA FULGIDA 'EARLY BIRD GOLD'	BLACK-EYED SUSAN	2 QUART	CONTAINER
TOTAL:	326				

PLANTING NOTES

- PROPOSED TREE AND SHRUB LOCATIONS TO BE ADJUSTED IN FIELD AS NEEDED BASED ON FIELD CONDITIONS.
- PLANT SPACING FOR HERBACEOUS MATERIAL TO BE 24" O.C.
- BOTANICAL NAMES SHALL PREVAIL OVER COMMON NAMES.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN; NO COLLECTED MATERIALS SHALL BE ACCEPTED, UNLESS SPECIFICALLY INDICATED.
- PLANTS SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS IN ALL WAYS INCLUDING DIMENSIONS.
- THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT ANY PLANT MATERIALS UPON DELIVERY TO THE PROJECT. SELECTION BY THE LANDSCAPE ARCHITECT DOES NOT WAIVE THE RIGHT OF REJECTION.
- ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST OR AS NECESSARY TO MATCH SURVIVING PLANTS OF THE SAME PLANTING GROUP. ALL COSTS SHALL BE BORN BY THE LANDSCAPE CONTRACTOR EXCEPT FOR REPLACEMENTS RESULTING FROM LOSS OR DAMAGE DUE TO VANDALISM OR ACTS OF NEGLIGENCE ON THE PART OF OTHERS, PHYSICAL DAMAGE, BY ANIMALS, VEHICLES, FIRE, ETC., AS MAY BE DETERMINED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHOULD BE PLACED, OR LOCATION STAKED, ON THE SITE AS SHOWN ON THE PLANTING PLAN PRIOR TO COMMENCEMENT OF PLANT EXCAVATION FOR THE LANDSCAPE ARCHITECT'S APPROVAL. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT OF ALL PLANTING OPERATIONS A MINIMUM OF 48 HOURS IN ADVANCE.
- ALL PLANT MATERIALS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN OR AS OTHERWISE SPECIFIED. NO CONSTRUCTED BALLS SHALL BE ACCEPTED. REMOVE SYNTHETIC 'BURLAP' AND SYNTHETIC TWINES AND ROPES. REMOVE TOP 1/3 OF METAL BASKETS FROM ROOT BALLS WHEN THE ROOT BALL HAS BEEN POSITIONED IN THE PLANTING PIT. PROVIDE SUPPORT AS NECESSARY TO PROTECT THE ROOT BALL FROM INJURY DURING THIS OPERATION.

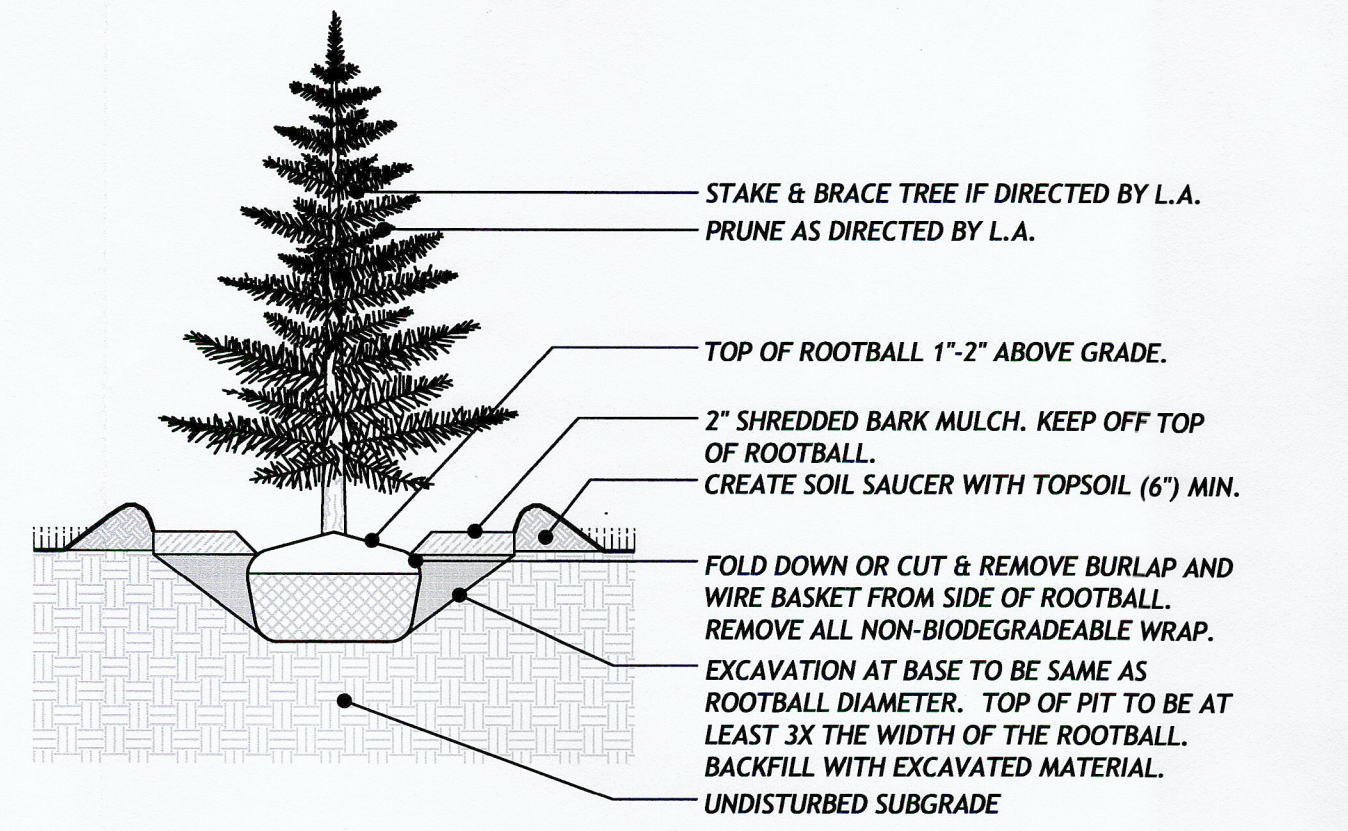
TREE PLANTING DETAIL

NOT TO SCALE



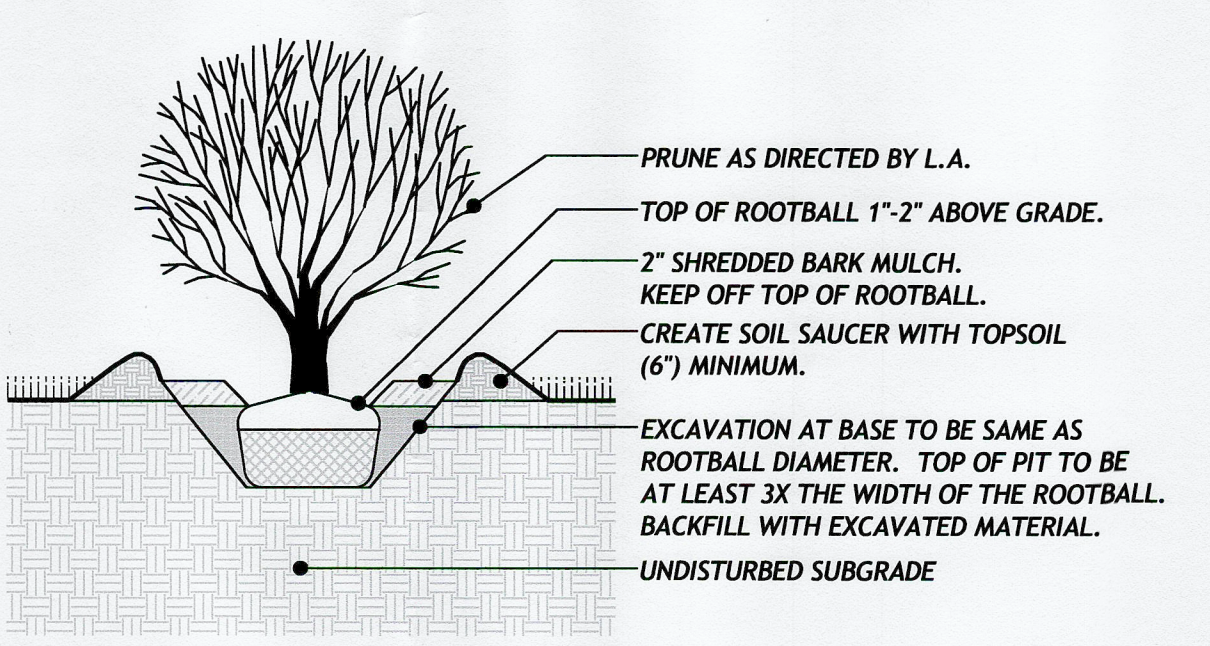
EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE



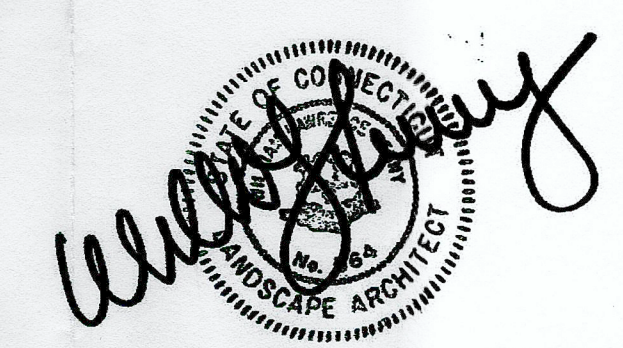
SHRUB PLANTING DETAIL

NOT TO SCALE



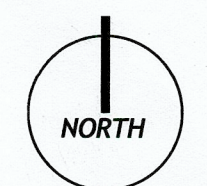
PLANTING PLAN
 PREPARED FOR:
MAGNICO CONTRACTING
 LOCATION:
3125 FAIRFIELD AVENUE
BRIDGEPORT, CONNECTICUT

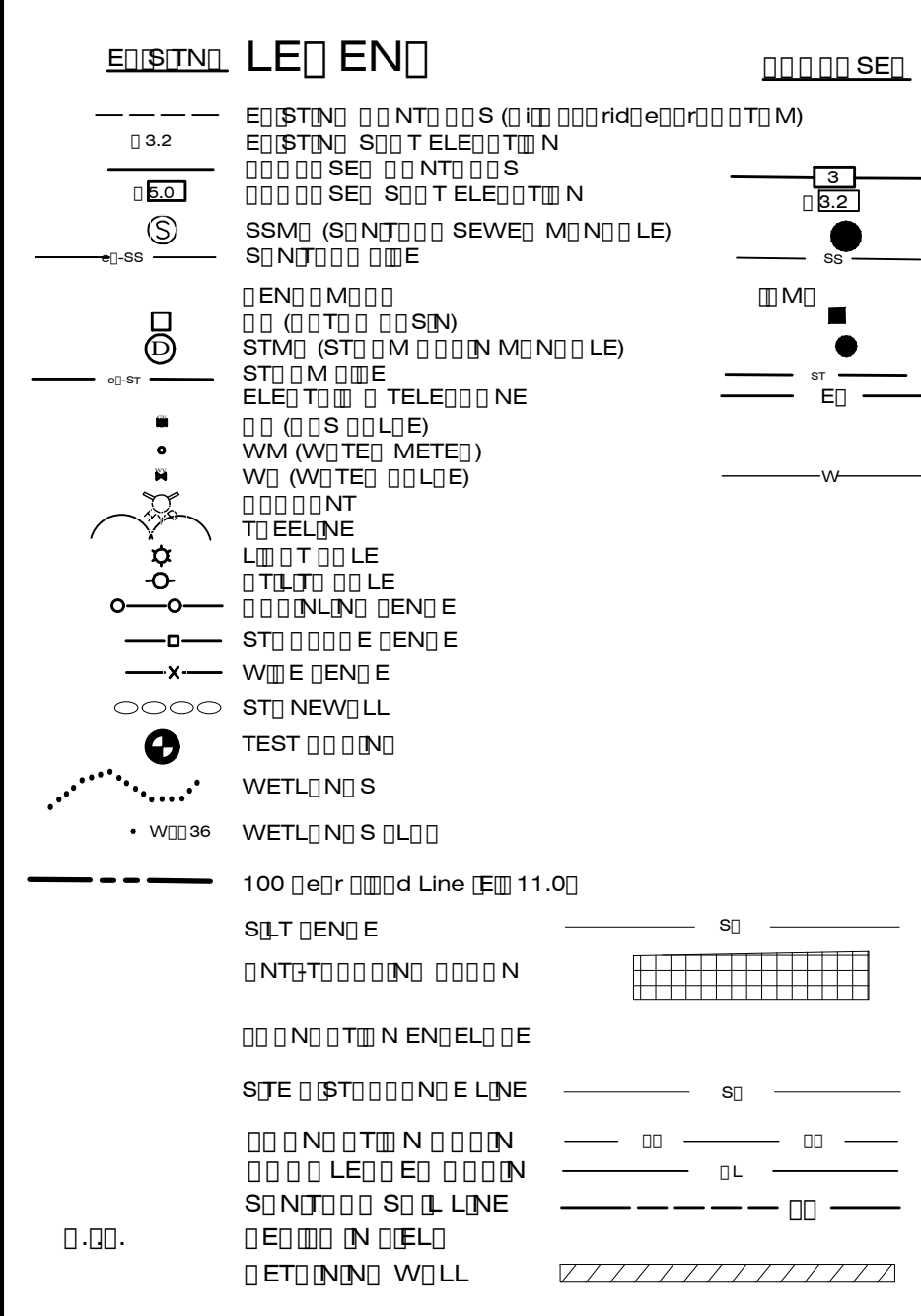
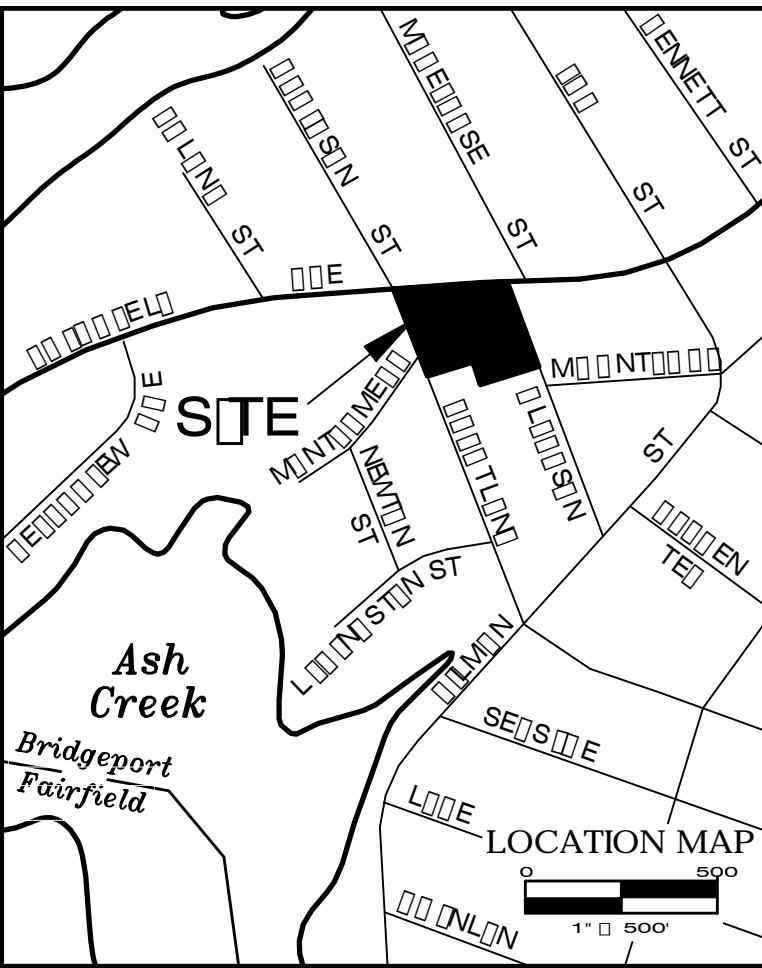
DATE: 10/8/21 - 1
 10/27/21 - 2
 12/22/21 - 3
 SCALE: AS NOTED
 REF NO. 5017



WILLIAM KENNY ASSOCIATES
 LANDSCAPE ARCHITECTURE • ECOLOGICAL SERVICES

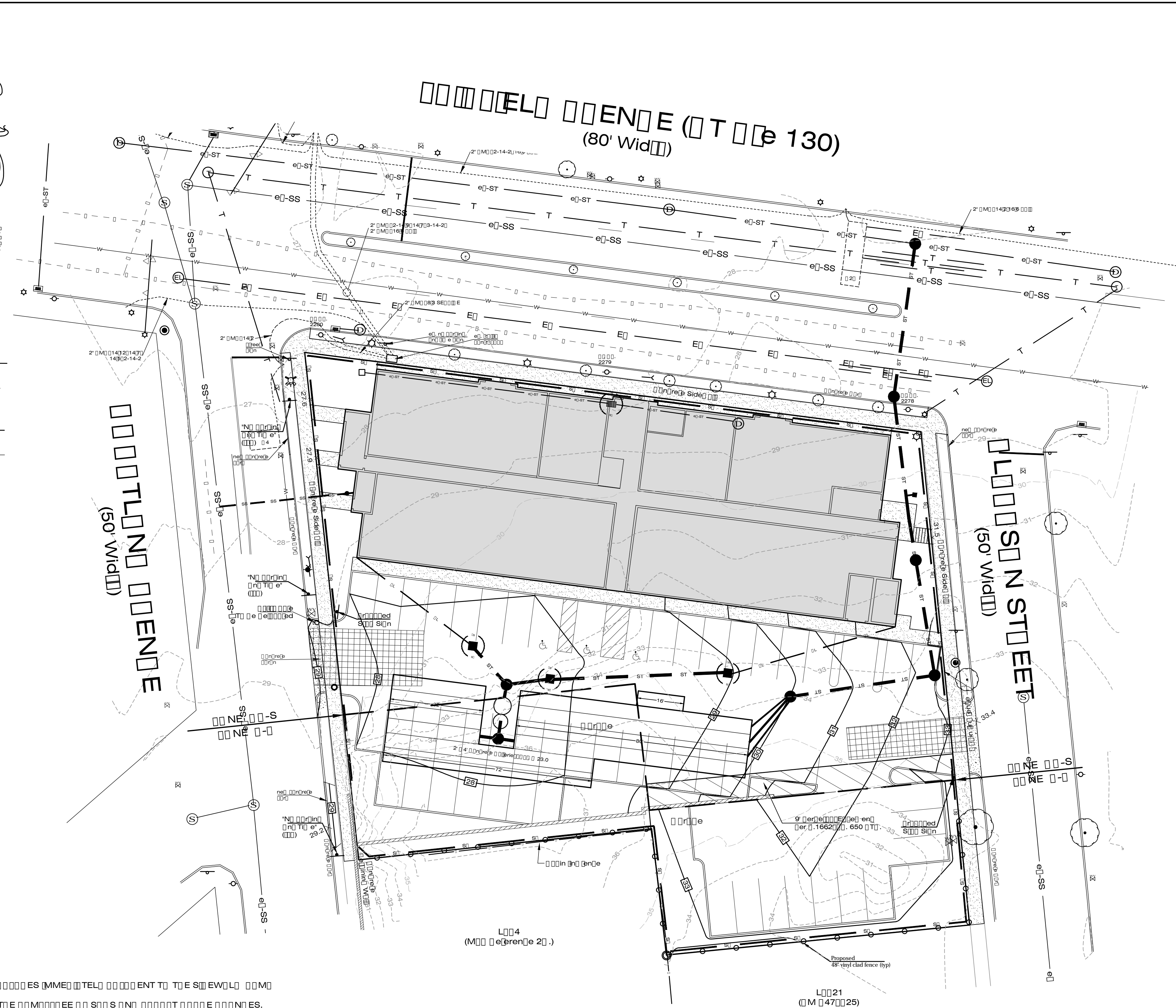
1899 Bronson Road Fairfield CT 06824
 203 366 0588 www.wkassociates.net





GENERAL NOTES

1. MOBILE HOME SITES TO BE CONSTRUCTED IN ACCORDANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES REGULATIONS AND THE CITY OF BRIDGEPORT ZONING REGULATIONS.
2. THE SITES SHALL BE CONSTRUCTED ON A 10% SLOPE. THE SITES SHALL BE CONSTRUCTED ON A 10% SLOPE. THE SITES SHALL BE CONSTRUCTED ON A 10% SLOPE.
3. ALL MOBILE HOME SITES SHALL BE CONSTRUCTED WITH A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.
4. THE MOBILE HOME SITES SHALL BE CONSTRUCTED WITH A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.
5. THE MOBILE HOME SITES SHALL BE CONSTRUCTED WITH A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.
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12. THE MOBILE HOME SITES SHALL BE CONSTRUCTED WITH A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.
13. THE MOBILE HOME SITES SHALL BE CONSTRUCTED WITH A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.
14. THE MOBILE HOME SITES SHALL BE CONSTRUCTED WITH A MINIMUM OF 10 FEET FROM THE PROPERTY LINE.



TEMPORARY VEGETATION SCHEDULE

Date	Activity	
14	12-22-21	Site Preparation
13	10-27-21	Site Preparation
12	8-23-21	Site Preparation
11	12-17-19	Site Preparation
10	11-22-19	Site Preparation
9	10-16-19	Site Preparation
8	9-18-19	Site Preparation
7	10-28-14	Site Preparation
6	9-08-14	Site Preparation
5	8-18-14	Site Preparation
4	7-31-14	Site Preparation
3	6-01-14	Site Preparation
2	5-28-14	Site Preparation
1	1-22-14	Site Preparation

Provide not less than the following quantities of specified materials.

1. 4" topsoil
2. 135 lbs. of lime per 1000 sq. ft.
3. 7.5 lbs. of commercial fertilizer per 1000 sq. ft.
4. Seed:

Sediment and Erosion Control Notes

1. Prior to the start of construction, a preconstruction meeting with the engineer is required.
2. Actual locations and applications of erosion control devices shall be determined in the field prior to the start of construction based on the erosion and sediment control strategy. The strategy will require the contractor to follow the general sequence of construction, provide appropriate controls such as structural practices, maintenance, and stabilization practices along with the proper discharge of dewatering wastewaters. The contractor must follow the general permit for the discharge of stormwater and dewatering wastewaters associated with construction activities.
3. Limits of disturbance shall be flagged in the field and verified prior to initiation of construction.
4. Erosion and sediment control devices shall be installed prior to any site or building demolition at the site. All erosion and sediment control measures shall be constructed in accordance with the standard and specifications of the State of Ct. Dep "Guidelines for Erosion and Sediment Control" Handbook, January, 1985, or as amended.
5. All sediment and erosion control measures shall be installed and functioning prior to any site disturbance. Additional measures may be required during the course of construction and shall be implemented as needed. No activity is to begin until the site monitor has been notified. All sediment and erosion control measures are to be inspected prior to a heavy rain, immediately after and at least daily during prolonged rains.
6. All graded areas with slopes steeper than 3 horizontal to 1 vertical shall be stabilized with jute netting.
 - a) land grading:
 - i) bare soil to be compacted as required to reduce erosion slippage. Settlement, subsidence. Or other related problems.
 - ii) fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris and other unsuitable materials that would interfere with or prevent construction of satisfactory fills.
 7. When all graded areas are permanently stabilized. Remove all erosion and sediment controls. Remove trapped sediment.
 8. It shall be the responsibility of the Owner and the site development contractor to ensure proper implementation of the soil erosion and sediment controls as shown on this plan; and shall include but not be limited to installation and maintenance of control measures, informing all parties of such requirements and notification of any transfer of this responsibility to other parties.
 9. Any disturbed area and piles remaining to be left more than 14 days will have to be seeded or mulched immediately. Recommended seed mixture: pounds per 1,000 square feet: ryegrass, Fiestia II, Blazer II, Dasher II, and Express. A seeding rate of 5-7
 10. When all surfaces are permanently stabilized, any remaining sediment and erosion control devices shall be removed and all trapped sediment shall be removed. All catch basin sumps shall be cleaned.
 11. Construction activities at the project site will result in emissions of fugitive dust to the atmosphere. The quantity of fugitive dust generated will be controlled but is dependent upon weather conditions. Fugitive dust particles have a greater propensity to become airborne during dry and breezy meteorological conditions. Construction activities at the site which will result in the generation of fugitive dust include which will result in the generation of fugitive dust include grading, material loading and unloading, material storage piles and construction traffic. The contractor will implement the following reasonable precautions during construction to minimize the generation of fugitive dust:
 - a) use water for dust control of active construction areas, active unpaved roads, and other surfaces which can give rise to airborne dust. A typical practice to be followed during site grading will be to follow the earth moving equipment with a water truck to immediately wet the new disturbed area.
 - b) apply a vegetative cover on storage piles, especially those that will remain dormant for an extended period.
 - c) apply the binder course of paving material to site drives and parking lots as soon as feasible during construction.
 - d) the contractor must clean/sweep daily all on-site paved roads and that portion of any surrounding roads which are used by construction traffic, for the duration of the project.
 - e) institute a maximum on site speed limit of 10 miles per hour.
 - f) the contractor is responsible for dust control during the construction process. The construction manager shall inspect the site to assure dust is adequately controlled. If the construction manager or owners representative feels dust control measures are not adequate the contractor shall be required to increase these measures as directed by the construction manager.
 12. All construction activities shall comply with the City of Bridgeport Zoning regulations.
 13. Dewatering procedures shall be conducted in a manner that insures no dewatering waste water is directly discharged into any wetland or waterbody. Dewatering wastewater must be discharged in a manner which will not cause erosion and scouring or contain suspended solids in amounts which could reasonably be expected to cause pollution of the waters of the state. The measures shall be conducted in accordance with the dewatering plan submitted by the contractor as part of the contract documents. Dewatering wastewaters shall be discharged in a manner to minimize the discoloration of the receiving waters. Unless otherwise specifically approved, all dewatering wastewaters shall be infiltrated into the ground.
 14. A stockpile of sediment and erosion controls shall be kept on site at all times. This will consist of at least 24 hay bales, under cover, extra stone for the anti-tracking apron, at least 100 feet of silt fence and 100 square yards of non-woven filter fabric additional measures may be required by the site monitor. These measures are to be installed by the request date. Replace construction entrance when the capacity of the apron has reached the 50% full volume.
 15. Sediment removed from control structures will be disposed of in a manner which is consistent with the intent of these plans.
 16. Where construction activities have permanently ceased or have temporarily been suspended for more than seven days, or when final grades are reached in any portion of the site, stabilization practices shall be implemented within three days.
 17. The contractor is responsible for stormwater discharges and must submit a revised general permit registration to Connecticut Department of Environmental Protection prior to the start of construction.
 18. The contractor must prepare a plan which conforms to the stormwater pollution control plan approved by the Connecticut Department of Environmental Protection. The plan must be approved the A/E and will be prepared at the contractors own expense. The contractor must sign and cause to be signed by each appropriate subcontractor, the "certification statement" required by the general permit.
 19. The contractor, during construction, shall inspect the site in conformance with the general permit, including and inspection at least once every seven days and within 24 hours of the end of a storm that is 0.5 inch or greater.

General Sequence of Construction

1. A copy of "Connecticut Guidelines for Soil and Sediment Control" should be on site for reference.
2. The limits of the new construction and limits of grading are to be staked by a licensed land surveyor.
3. Clear the proposed driveway to the grading limits. It is strongly recommended that the wood and brush chips be saved for sediment and erosion control. Brush and trees less than 6" in diameter may be chipped for use as mulch.
4. The construction entrance(s) shall be installed at the locations as shown on the plans. The sediment control system (silt fence, hay bales, temporary swales shall be placed at the locations as shown on the plans. Install an anti-tracking apron per attached detail. The limits of construction are to be clearly marked whether with silt or barrier fence or some other approved means. This applies to the silt and barrier fence, staked hay bales, the anti-tracking apron, stone dams and other protection which might be required due to site conditions.
5. All trees and brush in the area of the new grading shall be cut.
6. a. Stockpile areas for topsoil and extra material are to be ringed, on the downhill side with silt fence, staked hay bales and another approved system of containment. Piles to be left over two weeks should be seeded with a quick grow grass mix. This is to control erosion by both rain and wind.
7. Proceed with cuts and fills for access driveway, maintaining and adding any additional sediment and erosion controls which might be needed due to field conditions and pending weather. Rough grade proposed driveway and stabilize area.
8. Proceed with cuts and fills for parking area and building site. Rough grade proposed parking area and stabilize.
9. The loam shall be stripped and stockpiled in a level area on the site. Stumps shall be removed and disposed of at a legal landfill off-site. The loam stockpiles shall be ringed with silt fence. These rings shall be maintained during the period that materials are stored. The earth excavation shall be done to bring the roadway, structures, shoulders and slope areas to subgrade levels. The slopes shall be stabilized with temporary vegetation (v) as soon as possible after the completion of the earthwork.
10. Demolish existing structures and appurtenances. Use graded parking area as staging area for building construction.
11. Begin new building foundation construction. Use graded parking area as staging area for building construction.
12. As building construction proceeds construct stormwater detention structures and municipal utilities and appurtenances.
13. Install drainage structures. As drainage structures are completed they must be protected with hay bales, silt fence, silt sacks or other approved means. If it is necessary to dewater the area, it must be done in an approved manner. This could be achieved by pumping into a portable sediment control container, into an approved sediment basin, filter bags or by other acceptable means. If any turbidity occurs, which affects the regulated area, the pumping is to cease immediately.
14. The drainage pipe shall be laid to the grades and elevations as shown on the plans starting from the downstream section first. The catch basin frames shall be adjusted to the finish grade elevations as shown on the plans.
15. The catch basins shall be protected with silt fencing or hay bales as shown on the plans.
16. The gravel base shall be placed in the roadway in accordance with the plans and specifications.
17. The first course of pavement and the curbing shall be placed.
18. The topsoil and seed shall be applied to the shoulders and all disturbed slope areas.
19. The second course of pavement shall be placed.
20. As soon as possible, disturbed areas are to be stabilized. On a temporary basis this could mean temporary Seeding, hay mulch, wood chips, netting or whatever method site condition might dictate.
21. Maintenance of all sediment and erosion controls is to be ongoing. Replacement and repairs are to be done immediately.
22. Complete cuts and fills, final grade, pave, and install curbing per specifications.
23. Regrade and restore stockpile and all other disturbed areas.
24. Remove all sediment and erosion controls once the site has been deemed stable

SEAL

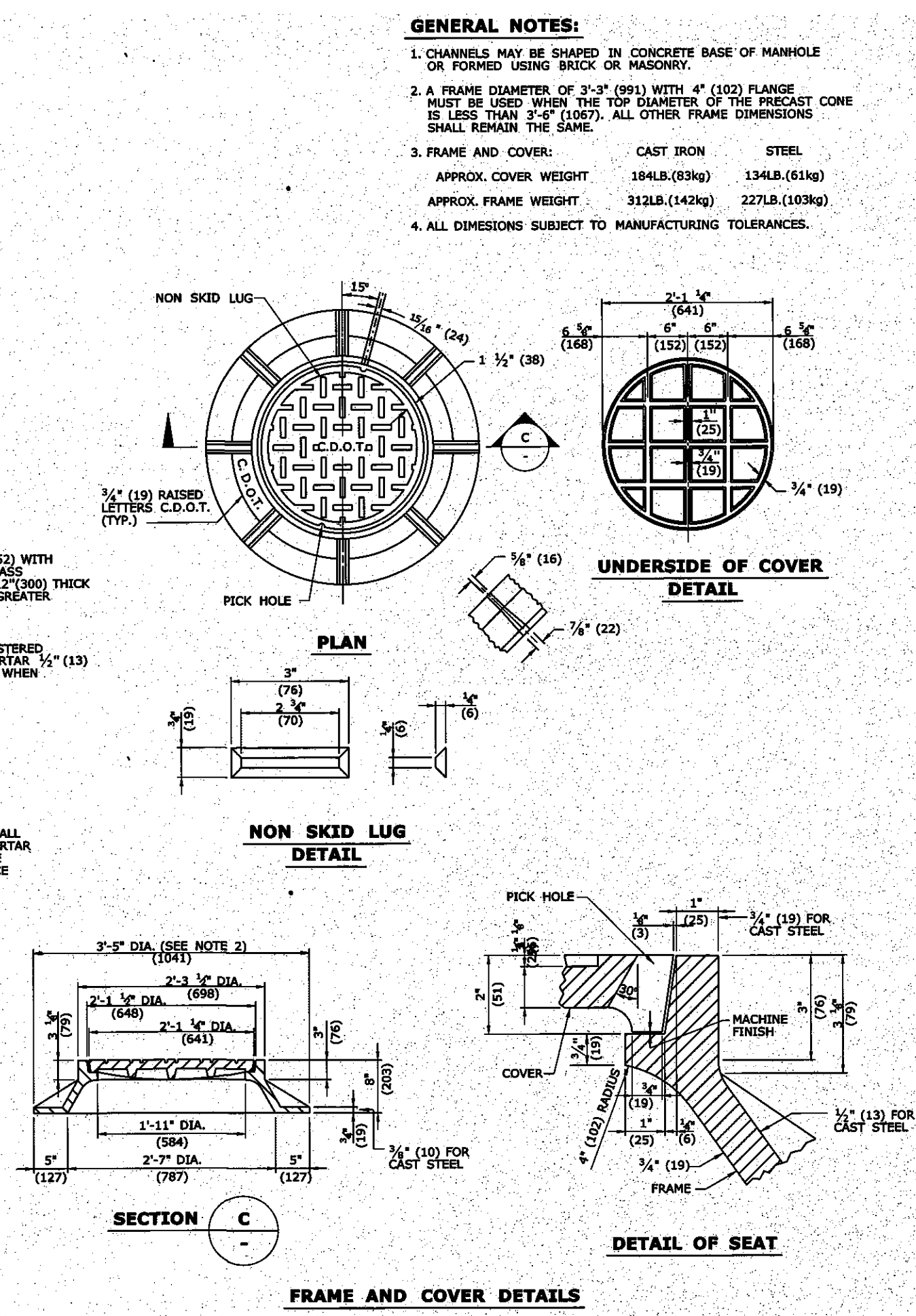
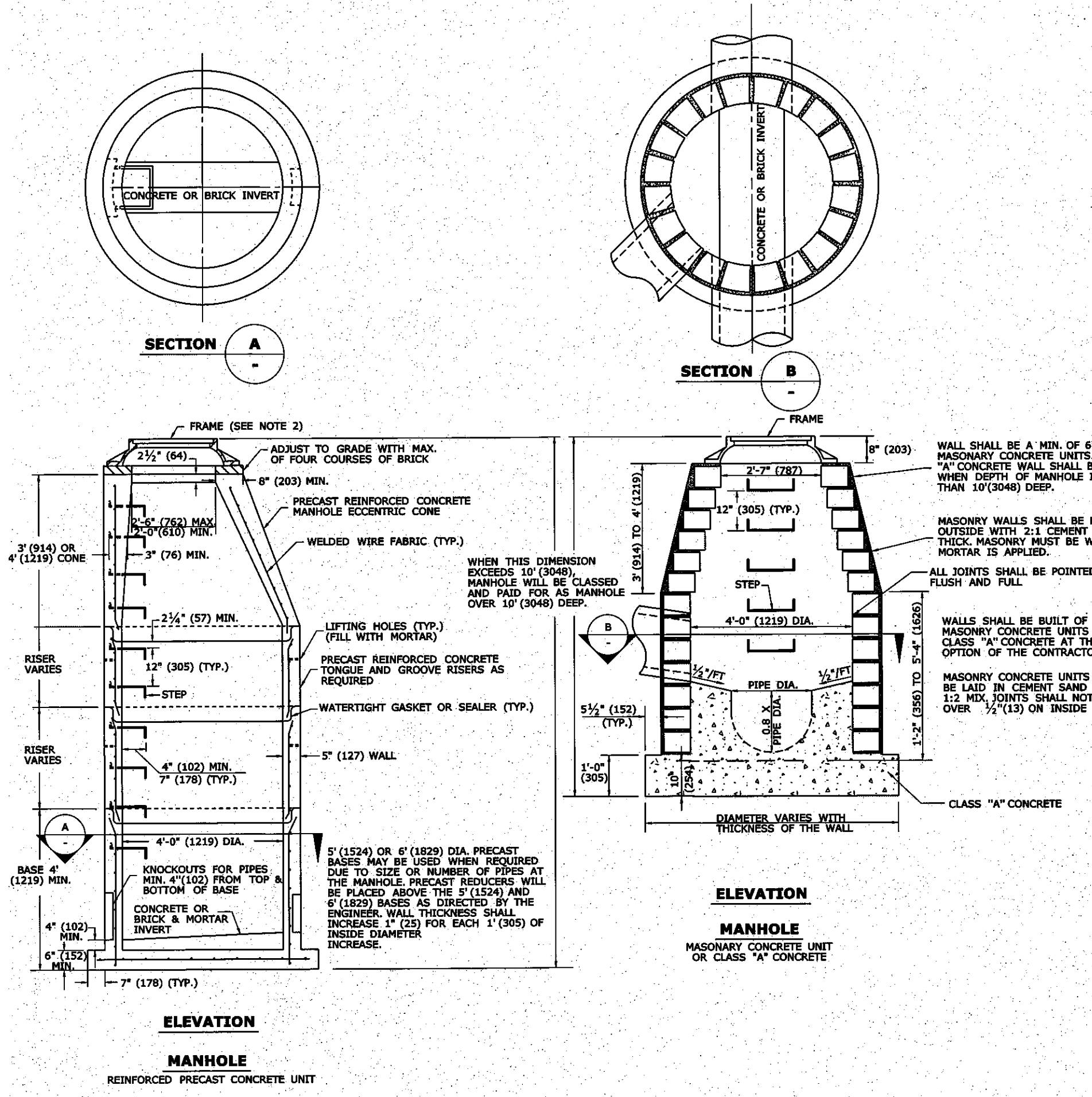
DATE: 9/20/21

SCALE: 1"=20'

PROJECT: THE HUNTINGTON COMPANY, LLC
Consulting Engineers & Surveyors
303 Linwood Avenue, Fairfield, CT
203.259.1091

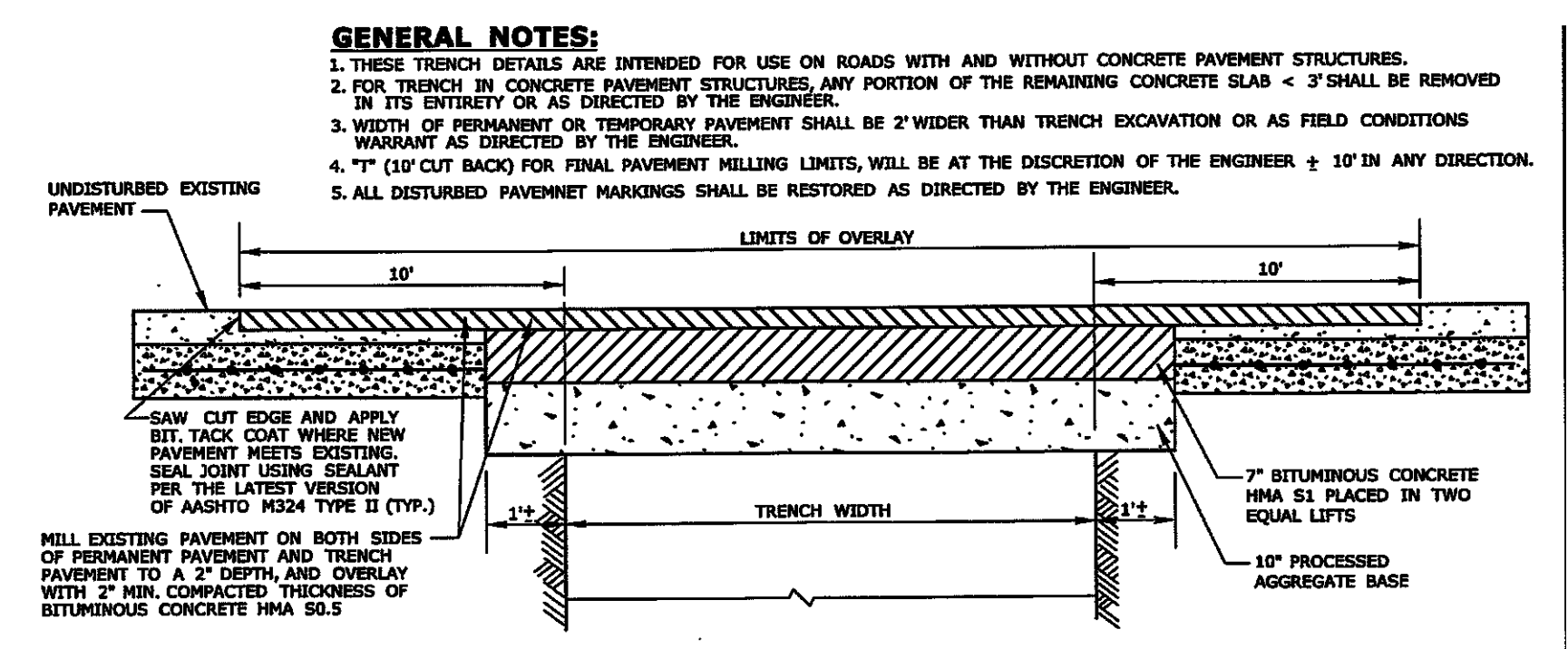
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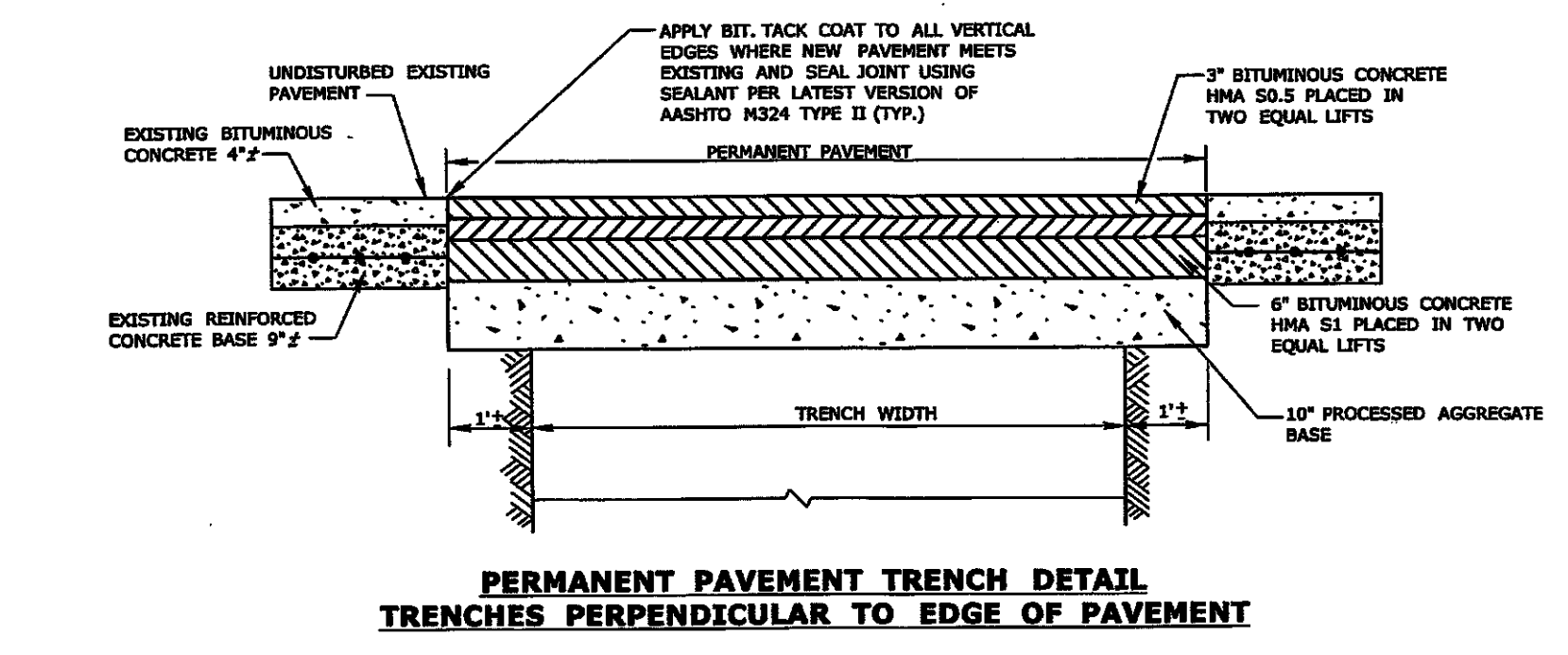


GENERAL NOTES:

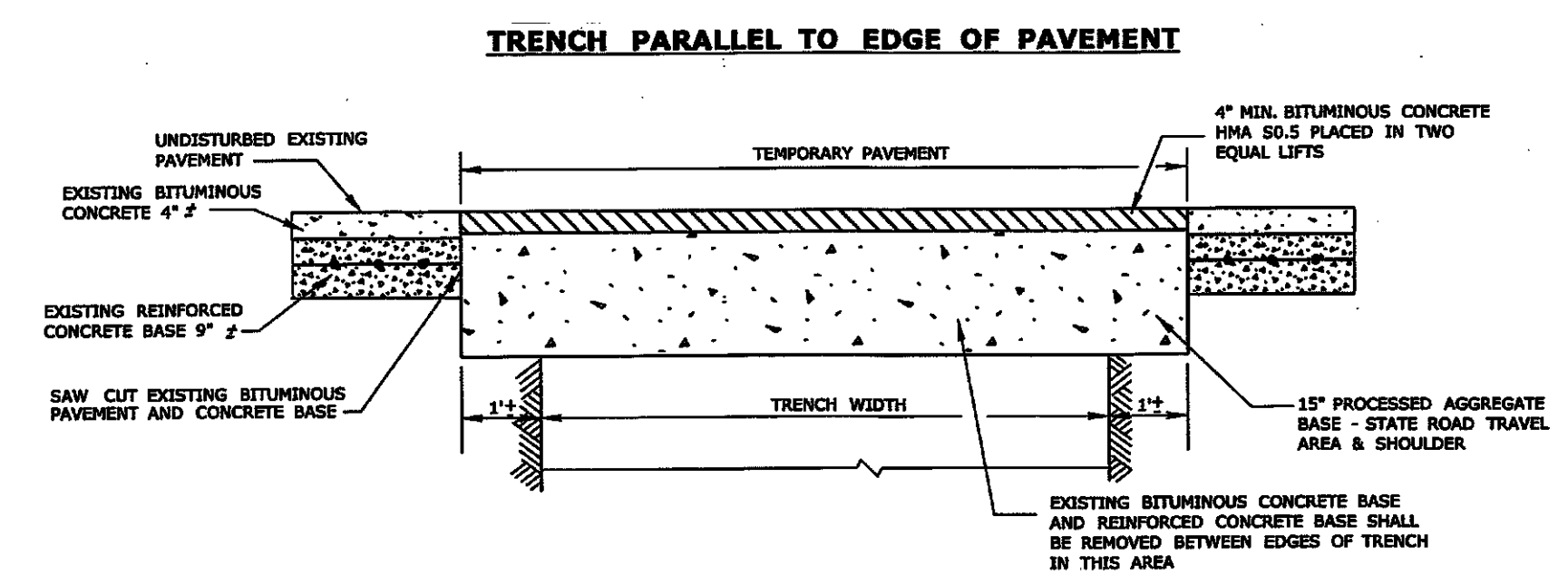
- CHANNELS MAY BE SHAPED IN CONCRETE BASE OF MANHOLE OR FORMED USING BRICK OR MASONRY.
- A FRAME DIAMETER OF 3'-3" (991) WITH 4" (102) FLANGE MUST BE USED WHEN THE TOP DIAMETER OF THE PRECAST CONCRETE IS LESS THAN 3'-6" (1067). ALL OTHER FRAME DIMENSIONS SHALL REMAIN THE SAME.
- FRAME AND COVER: CAST IRON STEEL
- APPROX. COVER WEIGHT 184LB.(83kg) 134LB.(61kg)
- APPROX. FRAME WEIGHT 312LB.(142kg) 227LB.(103kg)
- ALL DIMENSIONS SUBJECT TO MANUFACTURING TOLERANCES.



MILLING AND OVERLAY TRENCHES PERPENDICULAR TO EDGE OF PAVEMENT



PERMANENT PAVEMENT TRENCH DETAIL TRENCHES PERPENDICULAR TO EDGE OF PAVEMENT



TRENCH PARALLEL TO EDGE OF PAVEMENT

TEMPORARY PAVEMENT DETAIL TRENCHES PERPENDICULAR TO EDGE OF PAVEMENT

ETQ L S EET
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3	12-22-21	0000000000	000000	00000000	00000000	00000000
2	10-27-21	0000000000	000000	00000000	00000000	00000000
1	8-23-21	0000000000	000000	00000000	00000000	00000000

THE HUNTINGTON COMPANY, LLC
 Consulting Engineers & Surveyors
 303 Linwood Avenue, Fairfield, CT
 203.259.1091



REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MF	8-10-21	CLIENT REVIEW
2	MF	8-23-21	ZONING SUBMISSION
3	MF	10-27-21	REVISE MATERIALS
4	MF	12-2-21	REVISED BUILDING
5	MF	12-29-21	ZONING SUBMISSION

PROJECT TITLE

**MIXED-USE
BUILDING**

3115-3129 FAIRFIELD AVE.
BRIDGEPORT, CT


Prepared For:

MAGNICO CONTRACTING
276 S. HOPE CHAPEL ROAD
JACKSON, NJ 08527

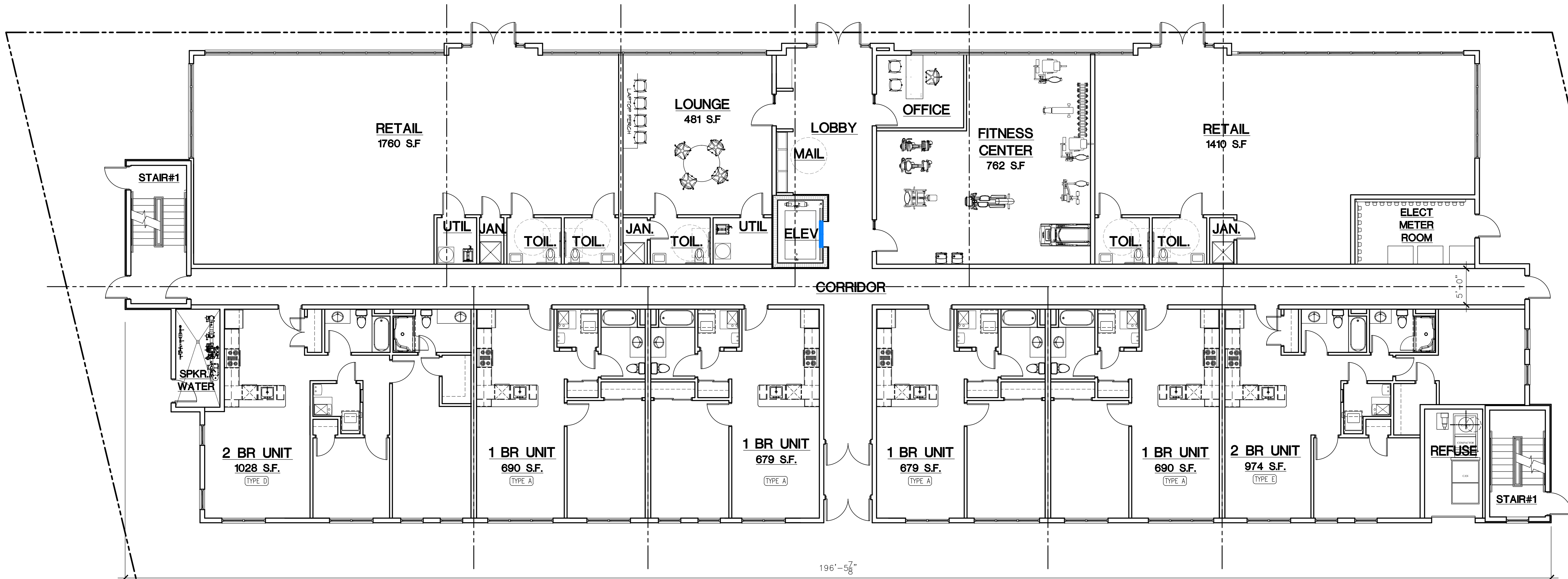
SHEET TITLE
FIRST FLOOR PLAN

DESIGNED BY: MMF	SCALE: AS NOTED
DRAWN BY: MMF	DATE: 8-10-21
CHECKED BY: PMR	PROJECT NUMBER: 2613
CAD FILE: R:/2613/ARCH	

SEAL



SHEET NUMBER
A-101



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

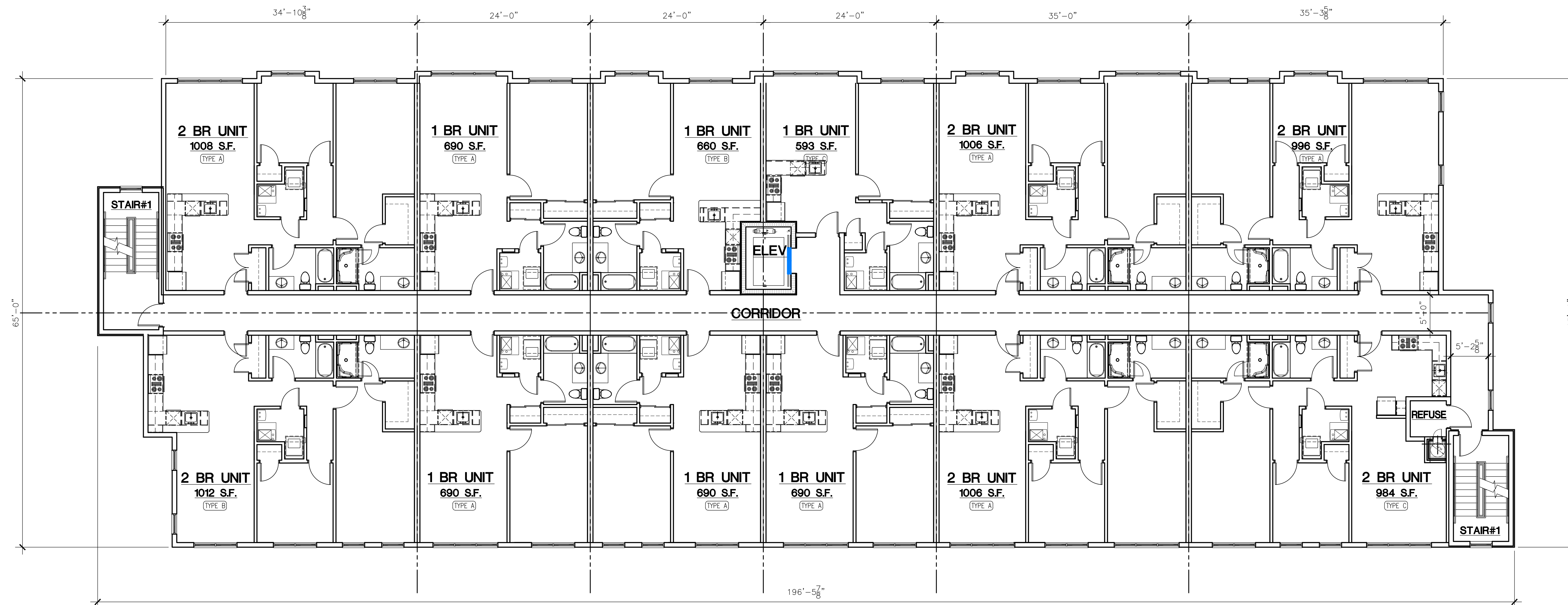
BUILDING FLOOR AREAS

Areas

Ground Floor =	12,087 SF
Second Floor =	12,122 SF
Third Floor =	12,122 SF
Fourth Floor =	12,087 SF
Fifth Floor =	9,032 SF
Total	57,450 SF

APARTMENT DISTRIBUTION

FLOOR	0 BR	1 BR	2 BR	TOTALS
GROUND FLOOR	0	4	2	6
SECOND FLOOR	0	6	6	12
THIRD FLOOR	0	6	6	12
FOURTH FLOOR	0	6	6	12
FIFTH FLOOR	4	3	3	10
TOTALS	4	25	23	52



TYPICAL FLOOR PLAN

SCALE: 1/8" = 1'-0"
SECOND AND THIRD FLOORS

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MF	8-10-21	CLIENT REVIEW
2	MF	8-23-21	ZONING SUBMISSION
3	MF	10-27-21	REVISE MATERIALS
4	MF	12-2-21	REVISED BUILDING
5	MF	12-29-21	ZONING SUBMISSION

PROJECT TITLE

**MIXED-USE
BUILDING**

3115-3129 FAIRFIELD AVE.
BRIDGEPORT, CT

Prepared For:

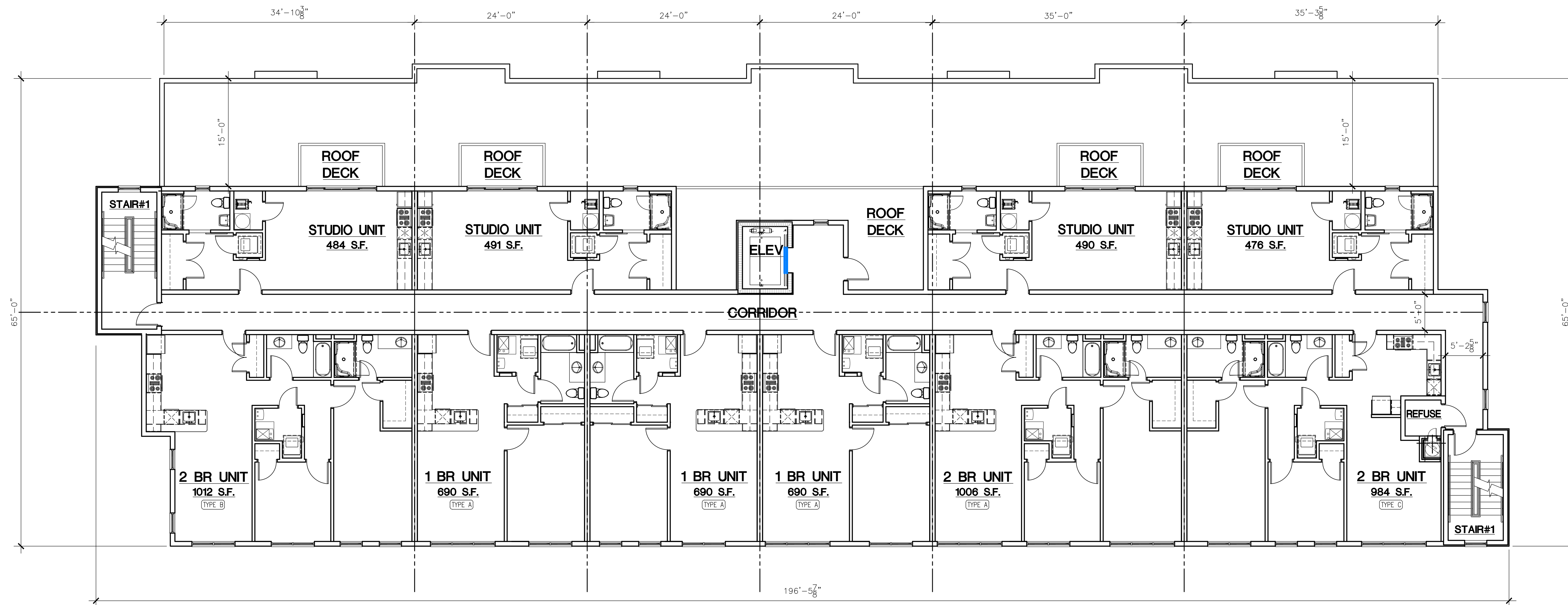
MAGNICO CONTRACTING
276 S. HOPE CHAPEL ROAD
JACKSON, NJ 08527

SHEET TITLE
TYPICAL FLOOR PLAN

DESIGNED BY: MMF	SCALE: AS NOTED
DRAWN BY: MMF	DATE: 8-10-21
CHECKED BY: PMR	PROJECT NUMBER: 2613
CAD FILE: R:/2613/ARCH	

SEAL

SHEET NUMBER
A-102



FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MF	8-10-21	CLIENT REVIEW
2	MF	8-23-21	ZONING SUBMISSION
3	MF	10-27-21	REVISE MATERIALS
4	MF	12-2-21	REVISED BUILDING
5	MF	12-29-21	ZONING SUBMISSION

PROJECT TITLE

**MIXED-USE
BUILDING**

3115-3129 FAIRFIELD AVE.
BRIDGEPORT, CT

Prepared For:

MAGNICO CONTRACTING
276 S. HOPE CHAPEL ROAD
JACKSON, NJ 08527

SHEET TITLE

FIFTH FLOOR PLAN

DESIGNED BY: MMF	SCALE: AS NOTED
DRAWN BY: MMF	DATE: 8-10-21
CHECKED BY: PMR	PROJECT NUMBER: 2613
CAD FILE: R:/2613/ARCH	

SEAL

SHEET NUMBER

A-104

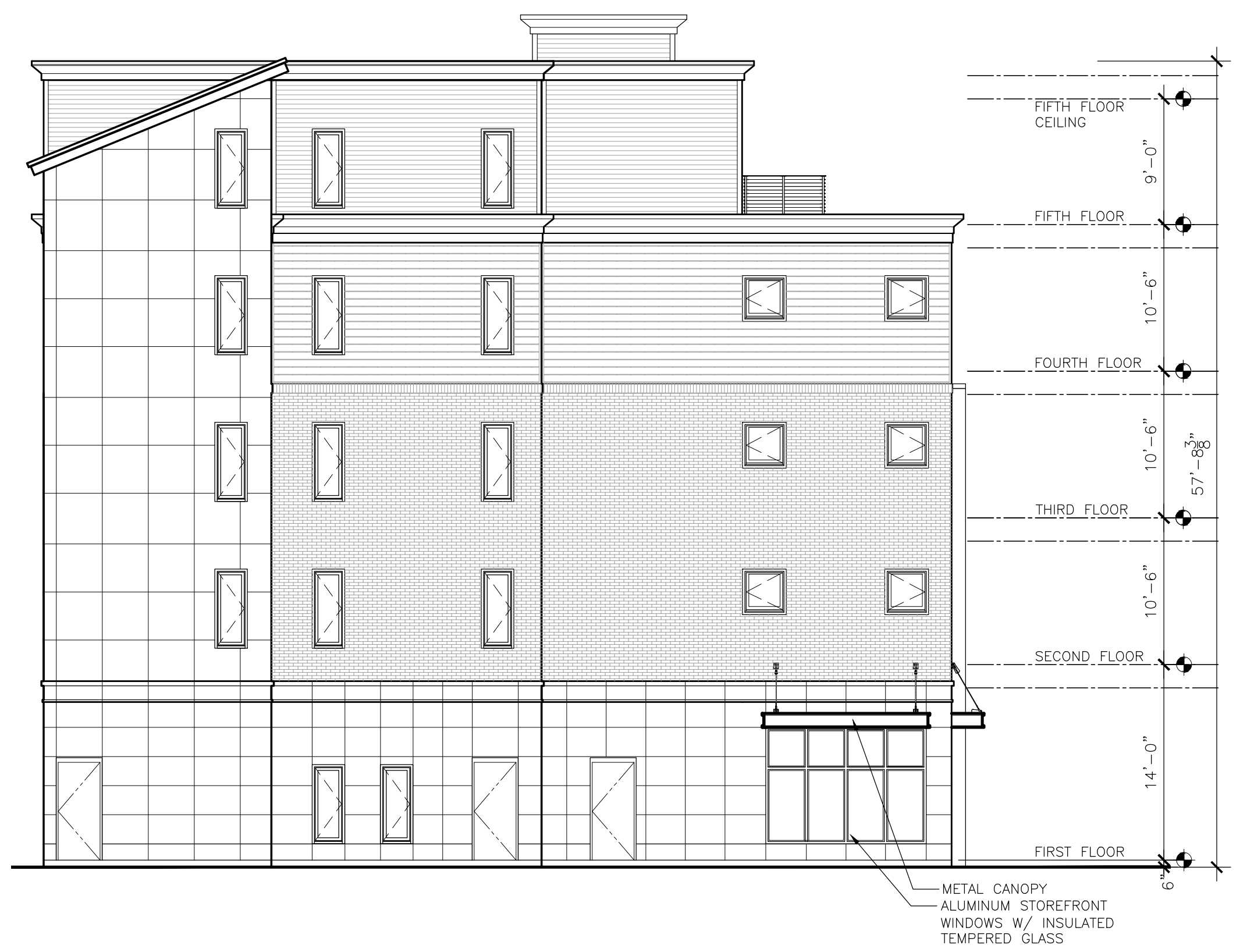


FRONT ELEVATION - FAIRFIELD AVENUE
SCALE: 1/8" = 1'-0"

**ROSE
TISO
& CO. LLC.**
ARCHITECTS • SURVEYORS • ENGINEERS

WWW.ROSETISO.COM
35 BRENTWOOD AVENUE, FAIRFIELD, CT 06825
TEL: (203) 610-6262 • FAX: (203) 610-6404

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	MF	8-10-21	CLIENT REVIEW
2	MF	8-23-21	ZONING SUBMISSION
3	MF	10-27-21	REVISE MATERIALS
4	MF	12-2-21	REVISED BUILDING
5	MF	12-29-21	ZONING SUBMISSION



SCALE: 1/8" = 1'-0"



FRONT ELEVATION DETAIL
SCALE: 3/16" = 1'-0"

PROJECT TITLE

**MIXED-USE
BUILDING**

3115-3129 FAIRFIELD AVE.
BRIDGEPORT, CT

Prepared For:
MAGNICO CONTRACTING
276 S. HOPE CHAPEL ROAD
JACKSON, NJ 08527

SHEET TITLE
EXTERIOR ELEVATIONS

DESIGNED BY: MMF	SCALE: AS NOTED
DRAWN BY: MMF	DATE: 8-10-21
CHECKED BY: PMR	PROJECT NUMBER: 2613
CAD FILE: R:/2613/ARCH	

SEAL

SHEET NUMBER
A-201

