



CITY OF BRIDGEPORT

File No. _____

**PLANNING & ZONING COMMISSION
APPLICATION**

- 1. **NAME OF APPLICANT:** 29 DeKalb Avenue LLC
- 2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
- 3. Address of Property: 29 DeKalb Avenue, Bridgeport, CT 06607
(number) (street) (state) (zip code)
- 4. Assessor's Map Information: Block No. 30/607 Lot No. 5
- 5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
- 6. Description of Property (Metes & Bounds): 100.00' x 98.03' x 100.17' x 97.99'
- 7. Existing Zone Classification: R-BB
- 8. Zone Classification requested: R-BB
- 9. Describe Proposed Development of Property: Construction of a one-story, 1,260 SF addition to the existing garage building in an R-BB Zone and Coastal Area

Approval(s) requested: Coastal site plan review and site plan review

Signature: _____ Date: 10/01/2021
Print Name: 29 DeKalb Avenue LLC

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: Christopher Russo

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-520-4603 Fax: 203-255-6618
E-mail Address: Chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

<u>29 DeKalb Avenue LLC</u>	<u>[Signature]</u>	<u>10/01/2021</u>
Print Owner's Name	Owner's Signature	Date
_____	_____	_____
Print Owner's Name	Owner's Signature	Date



PROJECT NARRATIVE

The parcel is located at 29 Dekalb Avenue as Lot 5 on Map 30, Block 607; is Zoned R-BB and found in Zone AE (Base Flood Elevation 13) FEMA Panel 441 of 626, Map Number 09001C441G, Map Revised July 8, 2013.

The parcel is within a Port Industrial Section of the Coastal Area Management Zone per Coastal Master Plan of Bridgeport, Connecticut (Sheet 3 of 4) found on file in the City of Bridgeport Engineering Department.

This site is occupied by a one story, masonry block, commercial building and the remaining parcel area is fully paved. Proposed improvements include a one story, 21 foot by 60 foot, masonry block addition on the easterly side of the existing structure. A new driveway apron and parking area is proposed in front of the addition area. A proposed storm drainage system consisting of a 14" crushed stone trench bed under the paved driveway area has been designed to handle the run-off based on a water quality computation. The storm infiltration system will comply with best management practices and City of Bridgeport storm water regulations.

There will be no increase in site coverage or impervious areas because the new addition is proposed over existing on-site pavement. A zoning variance is required in order to enlarge a non-conforming use in a residential zone, however, this property will be developed in keeping with the integrity of this zone and have no negative impact to abutting parcels. Construction is anticipated to have a twelve-month duration.



ENGINEERS & SURVEYORS • 78 ELM STREET • BRIDGEPORT • CONNECTICUT 06604

**APPLICATION FOR REVIEW
OF COASTAL SITE PLANS**

PREPARED FOR:

29 Dekalb Avenue, LLC

**29 DEKALB AVENUE
BRIDGEPORT, CONNECTICUT**

JULY 27, 2021

Prepared by: Washington Cabezas, Jr., PE, LS
CT License No. PEL 0070210



Washington Cabezas, Jr.

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

Site Plan for Zoning Compliance

N/A Subdivision or Resubdivision

Special Permit or Special Exception

Variance

N/A Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description:

City or Town:

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
There are no adjacent waters - parcel is within 185'± of the Pequonnock River, FEMA Zone X (Unshaded)

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:
Presently the parcel supports a furniture warehouse found within Zone MU-LI (Mixed Use Light-Industrial). The properties to the east are found within Zone R-C (Residential Multi-Family) and are multi-family residences. The properties to the north and south are in Zone MU-LI. Abutting Stillman Street to the north are two-family residences; abutting Ogden Street and Knowlton Street to the south is a Marble/Granite Warehouse.

5. Indicate the area of the project site: 9,808± acres or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities

Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.

Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	X			
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on off-site coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration.

This project will be limited to the confines of the site and will be completed within twelve (12) months. All disturbed areas will be finished as per plan. The proposed addition will utilize existing connections to street utilities.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		✗
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		✗
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		✗
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		✗
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		✗
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		✗
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		✗
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		✗

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. The proposed activity will be constructed with the appropriate soil erosion and control measures and will include the design of a storm drainage system to ensure there will be no adverse impact on the adjoining properties. Roof leader connections to the sub-grade crushed stone bed will also reduce erosion and provide storm water infiltration. The proposed addition will utilize existing lateral connections to the street utilities which will minimize off-site disturbance.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

No adverse impacts resulting from the proposed activity is anticipated and appropriate measures will be utilized and designed as outlined above.



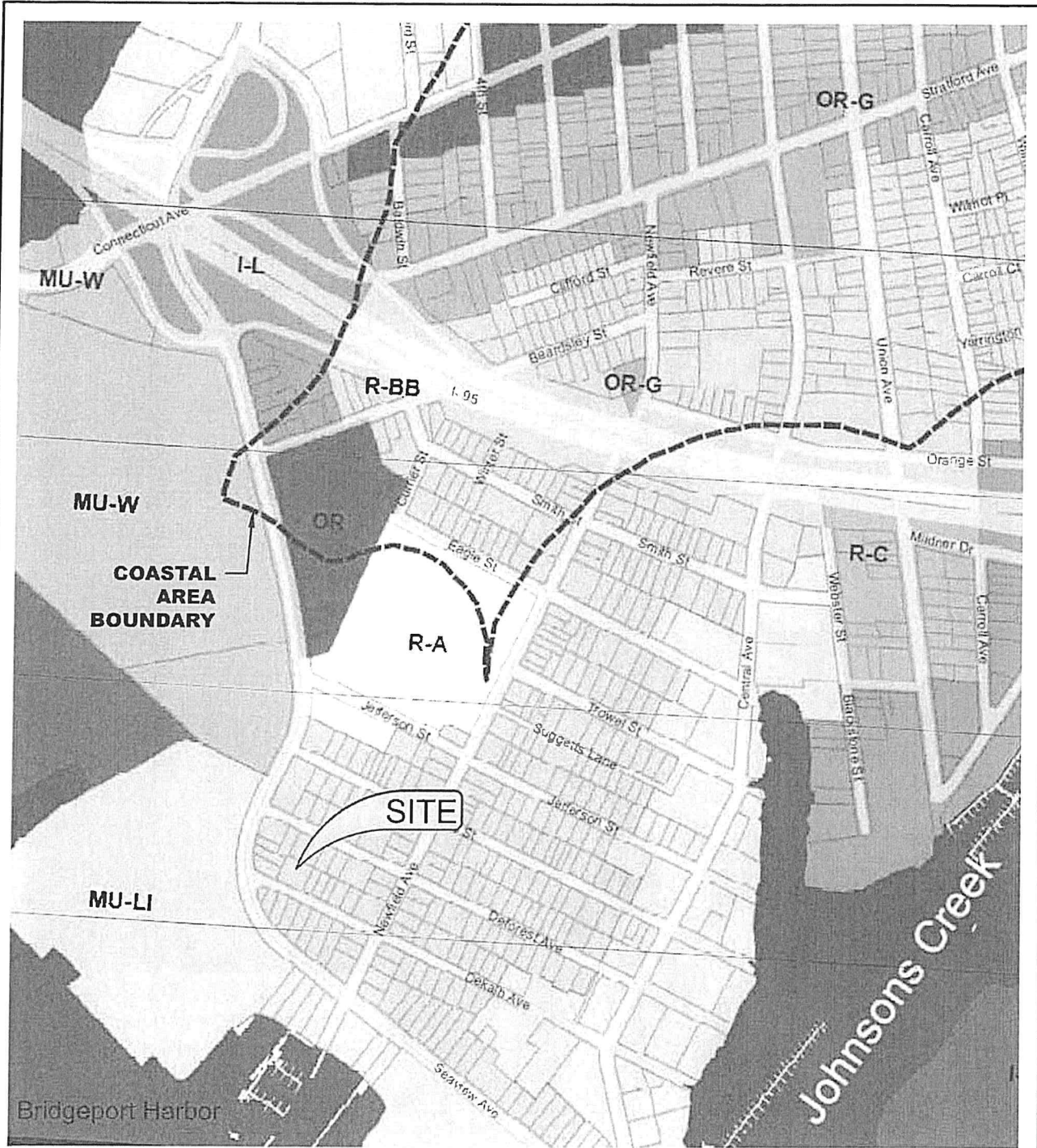
NOT TO SCALE

MAP NUMBER 09001C0441G. MAP REVISED JULY 8, 2013

**Cabezas
DeAngelis**
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701



FEMA FIRM MAP	
- PREPARED FOR - 29 DEKALB AVENUE, LLC 29 DEKALB AVENUE BRIDGEPORT, CONNECTICUT	
DATE: JULY 2021	FIGURE B



SCALE: 1" = 500'



Cabezas DeAngelis
ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 • F: 203 330 8701



ZONE MAP

- PREPARED FOR -
29 DEKALB AVENUE, LLC
29 DEKALB AVENUE
BRIDGEPORT, CONNECTICUT

DATE: JULY 2021

FIGURE D

DESIGN REPORT

STORMWATER MANAGEMENT SYSTEM

**29 Dekalb Avenue
Bridgeport, Connecticut**



Washington Cabezas, Jr.

Prepared By: _____
Washington Cabezas, Jr., PEL 70210

Date: July 27, 2021



GENERAL INFORMATION

Per the City of Bridgeport Tax Assessor records, **29 Dekalb Avenue** is listed as Map **30 Block 607, Lot 5** and is a total of **9,808±** square feet in area. The parcel is zoned **R-BB** and is presently occupied by a one story commercial building. Remainder of lot is fully paved. The parcel has a grade change of approximately three feet pitching in a southerly direction.

The site is within a FEMA Special Flood Hazard Zone and is designated in areas known as Zone AE (Base Flood Elevation 13) per FEMA FIRM Map Number 09001C0441G, Panel Number 441 of 626, Map Revised July 8, 2013.

Sanitary sewer, water, gas and electric services are available on **Dekalb Avenue**. Proposed Improvements include the construction of one story, masonry addition on the easterly side of the existing building with a sub-grade stormwater infiltration system underneath the driveway area immediately south of the addition. Remaining parcel area is to remain as is. The storm system will accommodate the theoretical storage volume required by the City of Bridgeport Storm Management Manual.

DESIGN METHODOLOGY

The stormwater runoff resulting from the existing and proposed conditions was analyzed using a 24-hour, 2-year, 10-year, 25-year & 50-year frequency, Type III storm event. HydroCAD software was used to run the storm analysis based on the SCS TR-20 method. A 2-year storm frequency for the Bridgeport area has a rainfall of 3.3 inches, a 10-year storm frequency has a rainfall of 5.0 inches, a 25-year storm frequency has a rainfall of 5.7 inches and a 50-year storm frequency has a rainfall of 6.4 inches per ConnDOT Drainage Manual. The minimum time of concentration of ten (10) minutes is used per section 7 of the City of Bridgeport Storm Management Manual. Hydrographs are also included in this report reflecting runoff information for the existing and proposed conditions under the 2, 10, 25 and 50-year storm events.

RESULTS

The resultant hydrographs provided the following information for 50 year storm event:

Total Drainage Area: **1,659 Ft²**

Existing Conditions Runoff Volume.....851 Ft³

Post Conditions Runoff Volume851 Ft³

Increase in Runoff0 Ft³ (No Increase)

10% Minimum Volume

Reduction Requirement85.1 Ft³

(Based on Existing Conditions during 50-Year Storm Event: 0.10 (851.0 CF)

Total Storage Required85.1 Ft³
(0+85.1)



PROPOSED SYSTEM

The proposed proposed stormwater system consists of a 14" crushed stone trench bed under the driveway area immediately south of the new addition. System to collect new roof and driveway areas. The proposed system will provide a total storage volume of **186.7 Ft³**. Forty percent of total angular stone volume is used as the crushed stone storage capacity. The calculations for sizing the system are included in this report.

Pre vs. Post Analysis

From hydrographs of 50-Year Event:

Post Conditions Volume = 851 Ft³
Existing Conditions Volume = 851 Ft³
Runoff Volume Increase= 851 Ft³ – 851 Ft³ = 0 Ft³ (No Increase)
10% Storm Runoff Volume Reduction: 0.10(851 Ft³) = 85.1 Ft³
Minimum Volume Required by City of Bridgeport: **0 Ft³ + 85.1 Ft³ = 85.1 Ft³**

From the Water Quality Equation:

WQV= 1" RA/12 and R = 0.05+0.009(% Impervious)
R = 0.05+0.009(17%) = 0.2030
WQV = 1" (0.2030) (0.225)/12 = 0.0038 Acre-Ft = **165.5 Ft³**

Minimum Storage Required: 165.5 Ft³

Stormwater Storage Provided

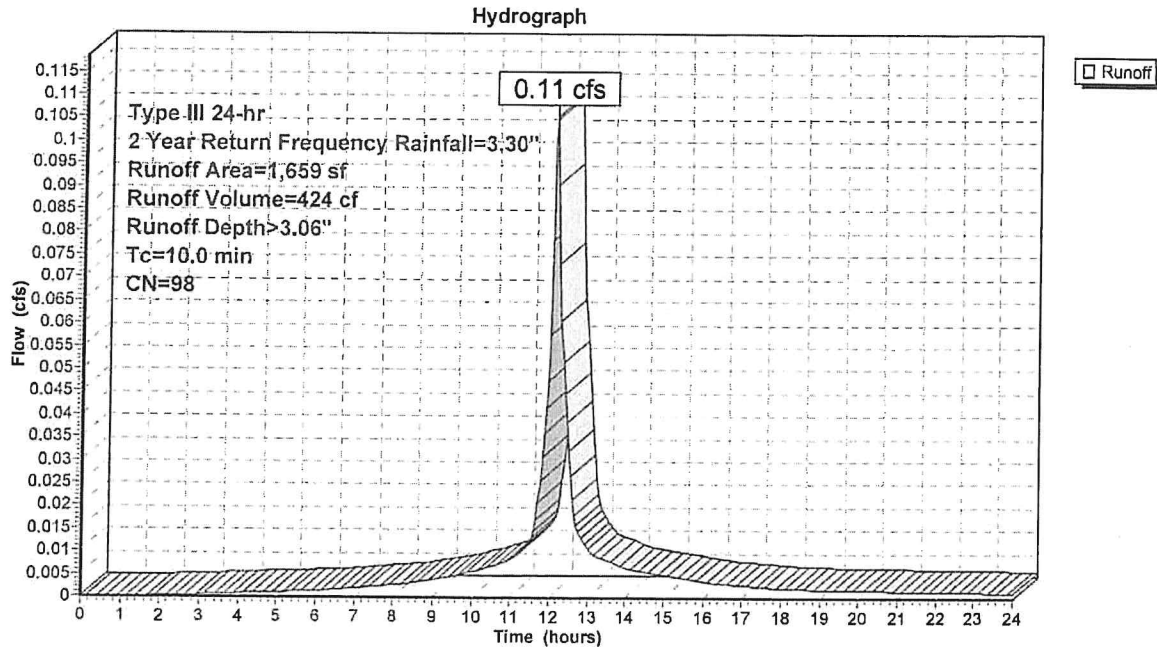
20' x 20' x 14" Crushed Stone Bed = (20x20x14/12)0.4 = 186.7 Ft³

* Filter Fabric to be installed on all sides of crushed stone. (See detail on plan)

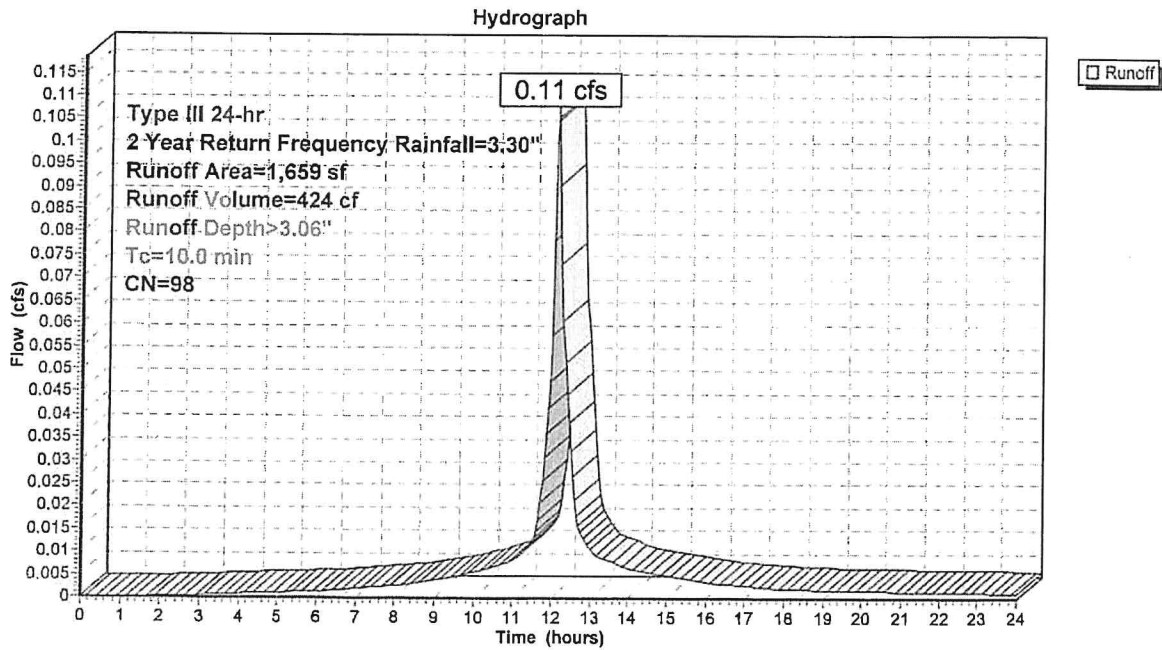
Minimum Storage Provided = 186.7 Ft³

Pre Vs. Post Runoff Volumes (Multi-Family)			
Storm Frequency	Post Conditions (Ft³)	Existing Conditions (Ft³)	Runoff Increase (Ft³)
2	424	424	0
10	658	658	0
25	754	754	0
50	851	851	0

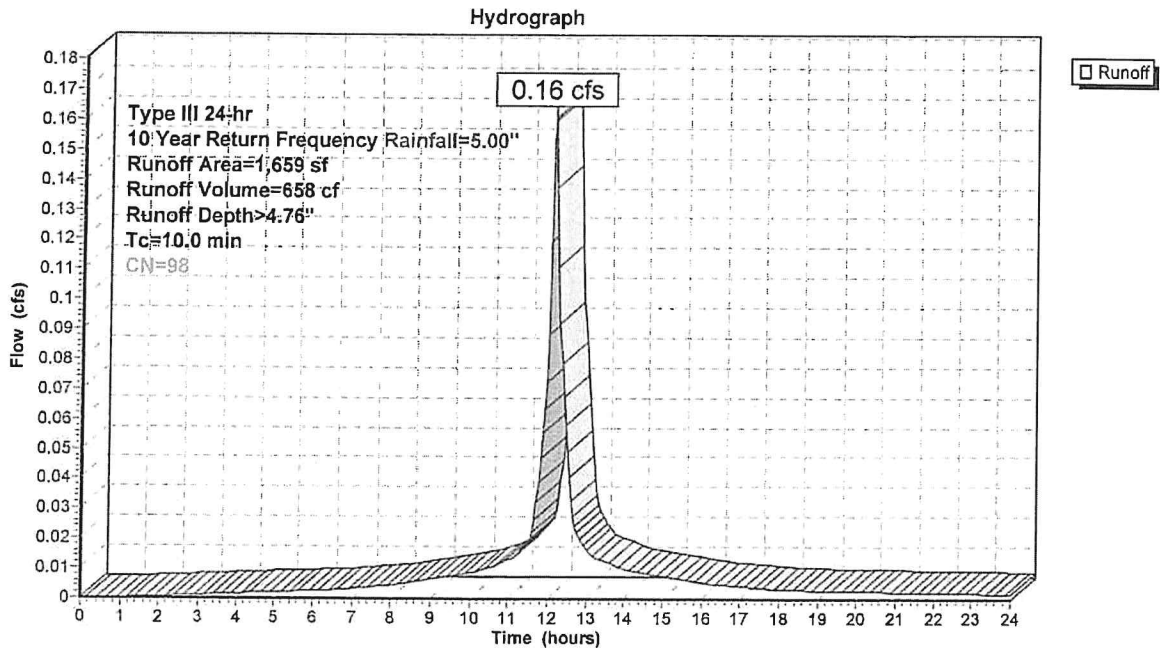
Subcatchment 1S: Existing Conditions



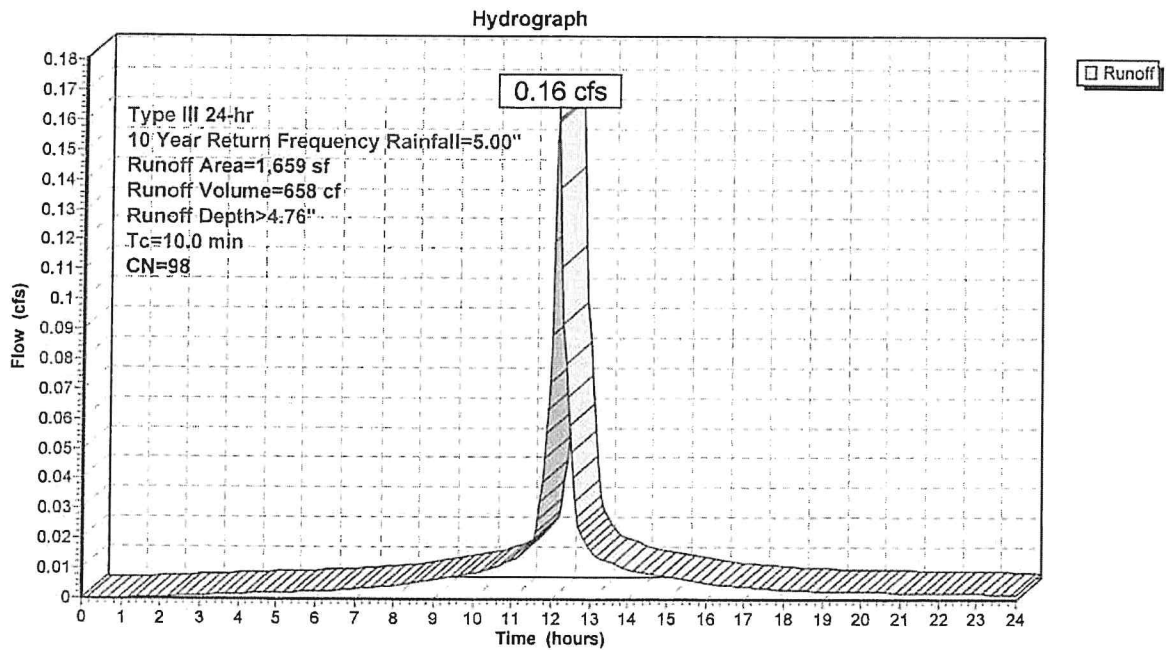
Subcatchment 2S: Proposed Conditions



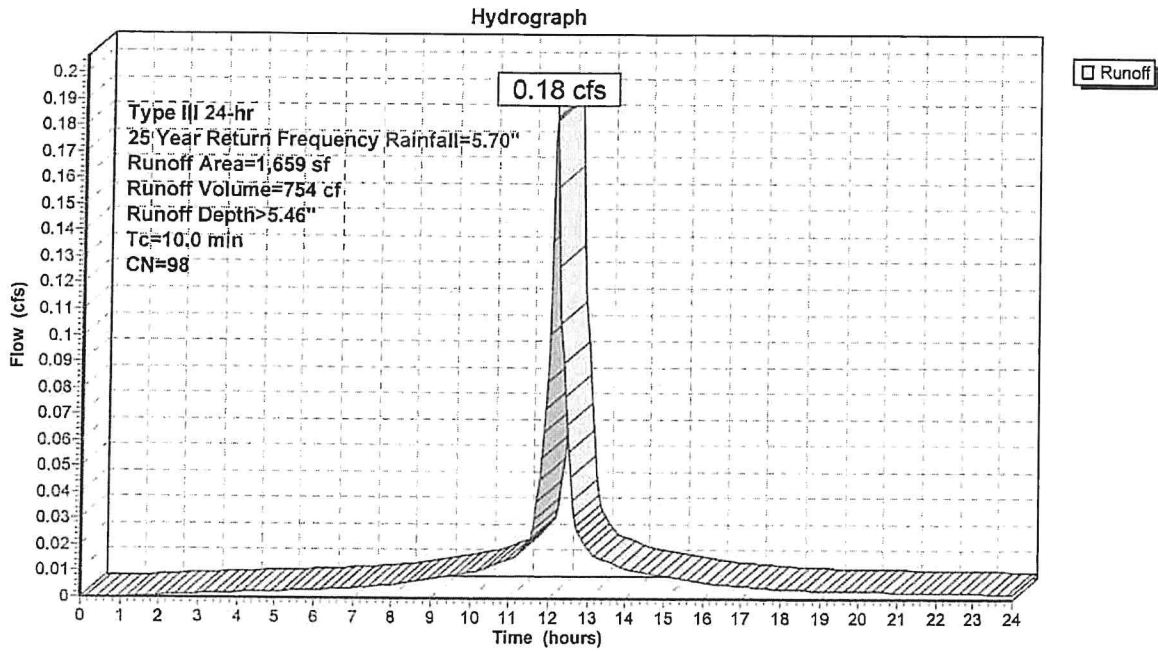
Subcatchment 1S: Existing Conditions



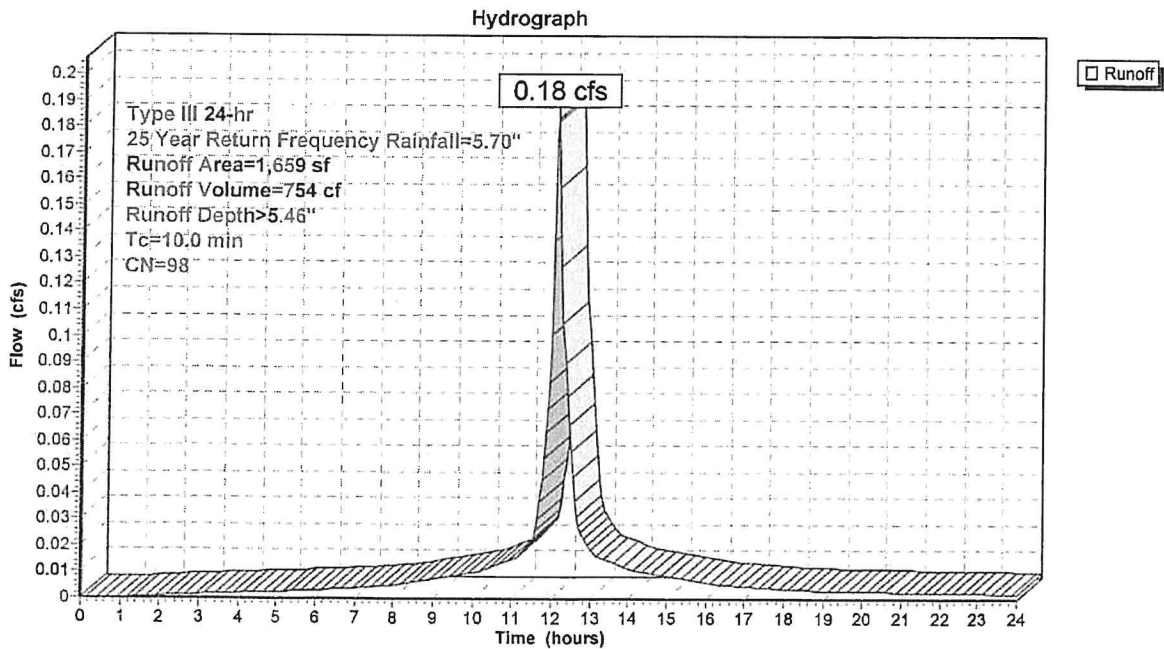
Subcatchment 2S: Proposed Conditions



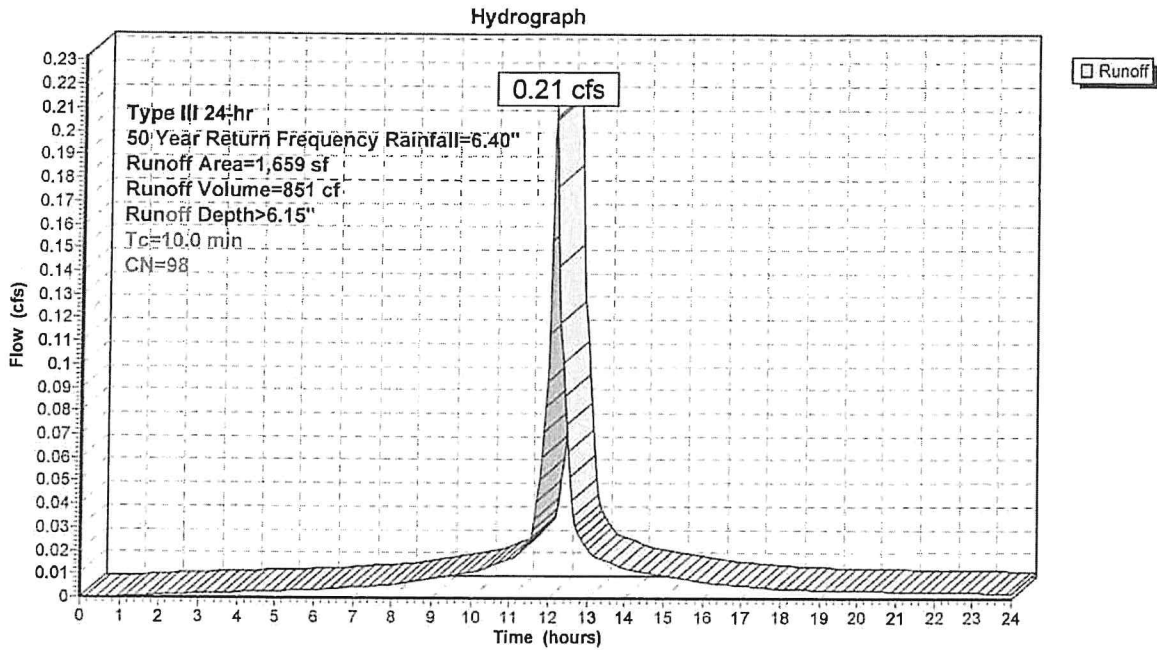
Subcatchment 1S: Existing Conditions



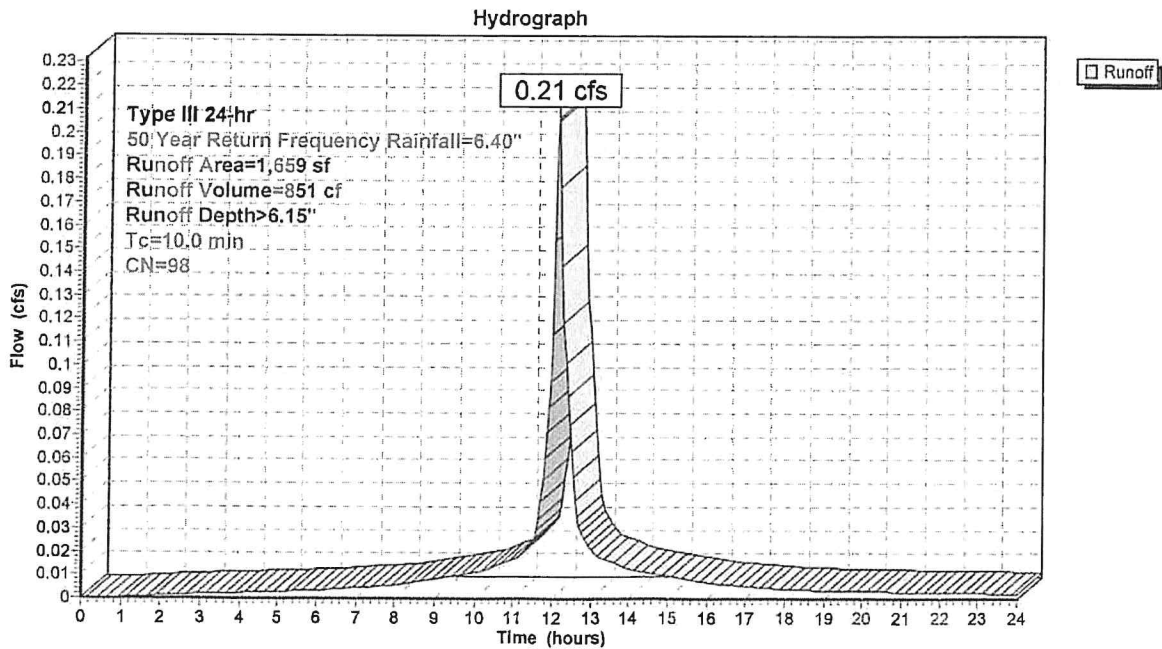
Subcatchment 2S: Proposed Conditions



Subcatchment 1S: Existing Conditions



Subcatchment 2S: Proposed Conditions



PROPERTIES WITHIN 100' OF 29 DEKALB AVENUE

PROPERTY ADDRESS	OWNER	MAILING ADDRESS	CITY	STATE	ZIP CODE
76 DEFOREST AV	STEPHENS SAMUEL	70 DEFOREST AVE #76	BRIDGEPORT	CT	06607
500 SEAVIEW AV #502	LOBO PROPERTIES & CONSTRUCTION LLC	301 WAVERLY ROAD	SHELTON	CT	06484
46 DEFOREST AV	SILVA ANA M & MARIO I SILVA	7 JOHN PERRY DR	DANBURY	CT	06811
562 SEAVIEW AV	JIMENEZ AIDA L	562 SEAVIEW AVE	BRIDGEPORT	CT	06605
28 DEFOREST AV	RAMIREZ EDDY L & LYDIA	28 DEFOREST AVE	BRIDGEPORT	CT	06607
580 SEAVIEW AV	GOGGI MARY	296 WAKELEE AVENUE	ANSONIA	CT	06401
478 SEAVIEW AV	LOBO JEFFREY C ET AL	301 WAVERLY ROAD	SHELTON	CT	06484
492 SEAVIEW AV	BARNUM LANDING II LLLC	330 WATER ST	BRIDGEPORT	CT	06604
63 DEKALB AV	MCALLISTER UNITA, ET AL	63 DEKALB AVE	BRIDGEPORT	CT	06607
546 SEAVIEW AV	RIVERA HECTOR L ET AL	546 SEAVIEW AVE	BRIDGEPORT	CT	06607
62 DEFOREST AV #64	PBHMX BPT LLC	62 DEFOREST AVENUE # 64	BRIDGEPORT	CT	06607
41 DEKALB AV #43	CONSTITUTION PORTFOLIO LLC	700 CANAL ST	STAMFORD	CT	06610
47 DEKALB AV #49	LCBR LLC	47 DEKALB AVE	BRIDGEPORT	CT	06607
55 DEKALB AV #57	MATO EDUART	6015A CATALPA AVE	RIDGEWOOD	NY	11385
36 DEFOREST AV	36 DEFOREST AVENUE LLC	15 HALLOWEEN BLVD	STAMFORD	CT	06901
54 DEFOREST AV	GAGSTETTER ROBERT J (CONSERVED)				
464 SEAVIEW AV	STUART P MCCARTHY KR (CONSERVATOR)	12 EUGENE DR	NORWALK	CT	06851
29 DEKALB AV	464 SEAVIEW AVENUE LLC	421 SEARVIEW AVENUE	BRIDGEPORT	CT	06607
540 SEAVIEW AV	29 DEKALB LLC	236 FOLINO DR	BRIDGEPORT	CT	06606
474 SEAVIEW AV	MCCOY ALVIN ETAL	540 SEAVIEW AVE	BRIDGEPORT	CT	06607
520 SEAVIEW AV	474 SEAVIEW AVENUE LLC	421 SEARVIEW AVENUE	BRIDGEPORT	CT	06607
	GONCALVES ANTONIO	454 SEAVIEW AVE	BRIDGEPORT	CT	06608

29 DEKALB AVENUE, LLC ACTIVE

326 FOLINO DRIVE, BRIDGEPORT, CT, 06606

BUSINESS DETAILS

Business Details

General Information

Business Name

29 DEKALB AVENUE, LLC

Business status

ACTIVE

Citizenship/place of formation

Domestic/Connecticut

Business address

326 FOLINO DRIVE, BRIDGEPORT, CT, 06606

Annual report due

3/31/2021

NAICS code

Business ALEI

1344635

Date formed

5/15/2020

Business type

LLC

Mailing address

326 FOLINO DRIVE, BRIDGEPORT, CT, 06606

Last report filed

NAICS sub code

000000

Principal Details

Principal Name

THOMAS F. FOLDY

Principal Title

MEMBER

Principal Business address

326 FOLINO DRIVE, BRIDGEPORT, CT, 06606, United States

Principal Residence address

326 FOLINO DRIVE, BRIDGEPORT, CT, 06606, United States

Principal Name

THOMAS F. FOLDY

Principal Title

MANAGER

Principal Business address

326 FOLINO DRIVE, BRIDGEPORT, CT, 06606, United States

Principal Residence address

326 FOLINO DRIVE, BRIDGEPORT, CT, 06606, United States

Agent details

Agent name

VINCENT L. NOCE JR.

Agent Business address

3354 MAIN STREET, BRIDGEPORT, CT, 06606, United States

Agent Mailing address

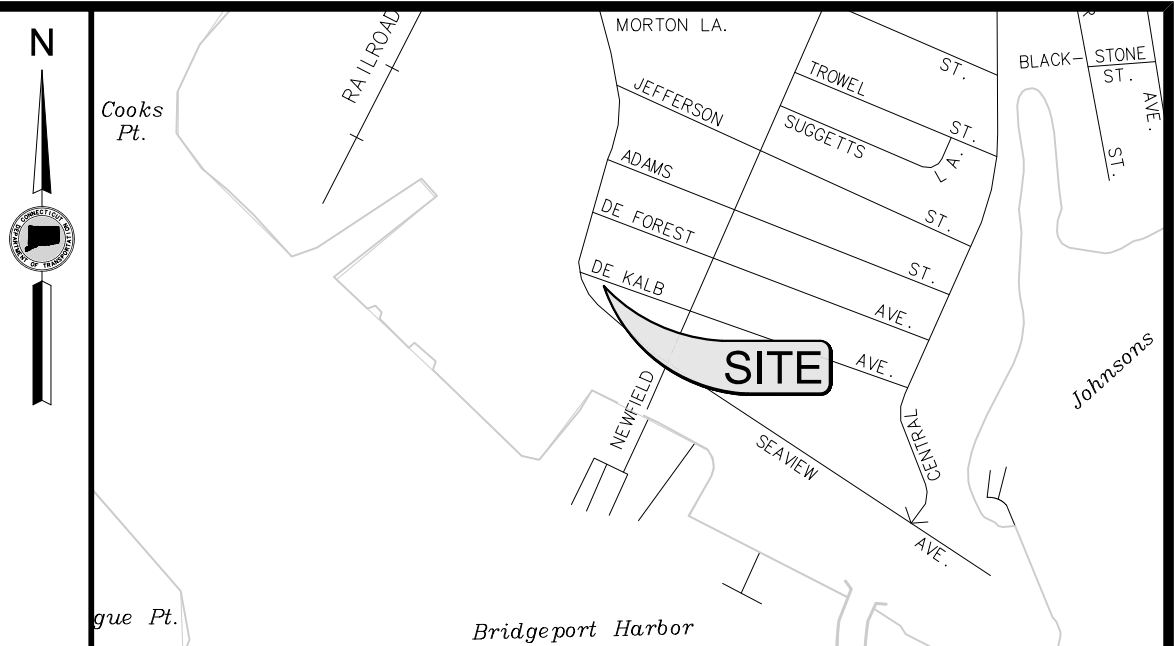
3354 MAIN STREET, BRIDGEPORT, CT, 06606, United States

Agent Residence addresss

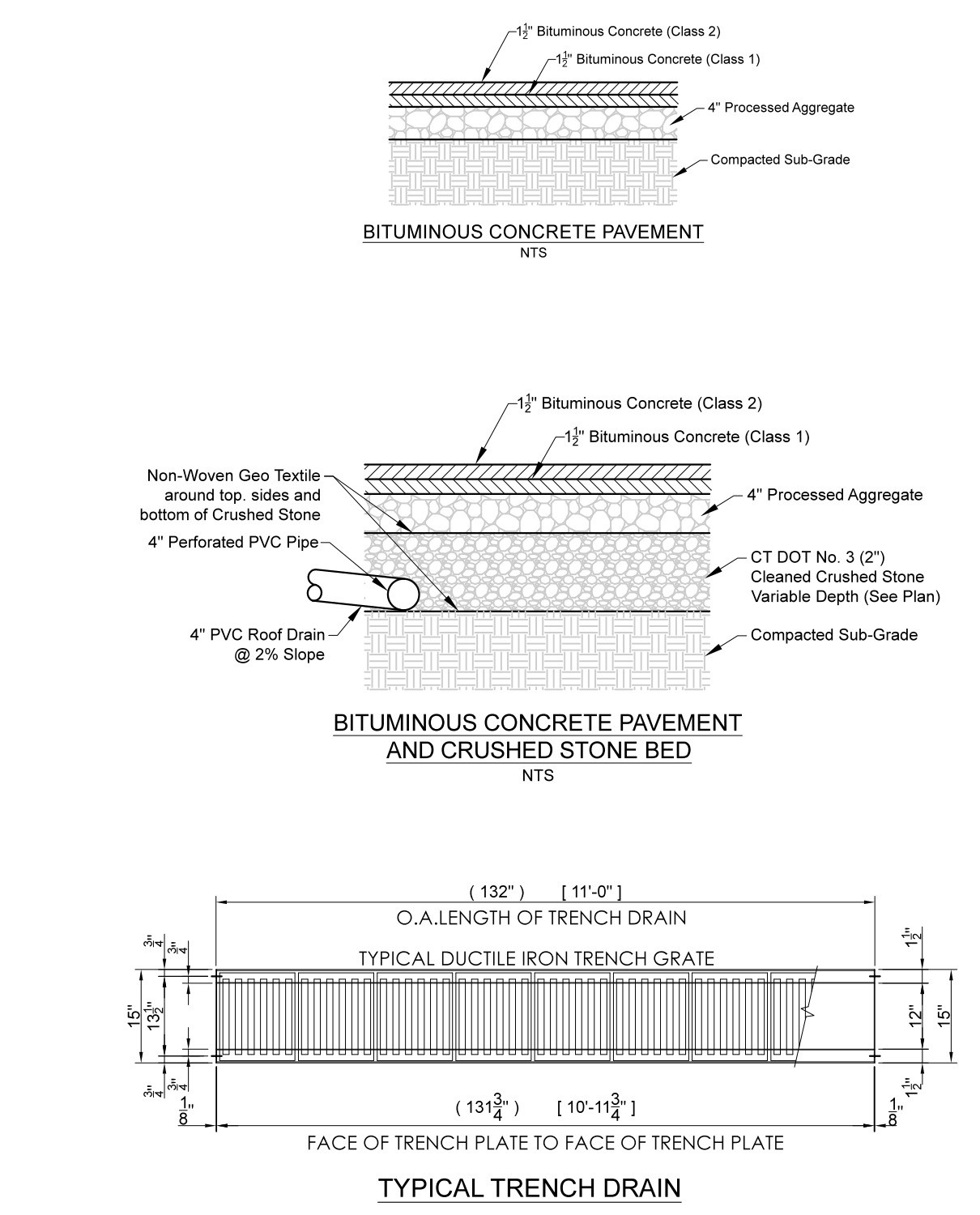
23 INDIAN LEDGE ROAD , MONROE, CT, 06468, United States

NOTES

- THIS SITE PLAN IS BASED ON AN IMPROVEMENT LOCATION SURVEY PREPARED FOR TOM FOLDY, 29 DEKALB AVENUE, BRIDGEPORT, CONNECTICUT, SCALE: 1"=10', JULY 30, 2018 PREPARED BY LAND SURVEYING SERVICES, LLC. ZONING SETBACKS, COVERAGE CALCULATIONS AND HEIGHT CALCULATION ARE DEPENDENT UPON SAID SURVEY.
- THIS PLAN IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON AFOREMENTIONED SURVEY MAP.
- ELEVATIONS ARE BASED ON AFOREMENTIONED SURVEY MAP.
- RECORD OWNER: 29 DEKALB AVENUE, LLC VOL. 10239 PG. 311
- ASSESSOR'S REFERENCE: MAP 30 | BLOCK 607 | LOT 5
- PARCEL AREA: 9,808± SQ. FT., OR 0.225± AC.
- PARCEL IS LOCATED WITHIN THE R-BB ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 441 OF 626, COMMUNITY BRIDGEPORT, CITY OF, NUMBER 090022 PANEL 0441 SUFFIX G, MAP NUMBER 09001C0441G, MAP REVISED JULY 8, 2013 THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE AE 13.
- BOUNDARY LINES DEPICTED HEREON ARE FOR ORIENTATION PURPOSES ONLY. THIS PLAN IS NOT A SURVEY AND IS NOT TO BE CONSTRUED AS SUCH. NO BOUNDARY OPINION IS RENDERED.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).
- THE SUBJECT PARCEL IS LOCATED WITHIN THE BRIDGEPORT HARBOR AND JOHNSON'S CREEK COASTAL BOUNDARY - PORT INDUSTRIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT SHEET 3 OF 4, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.

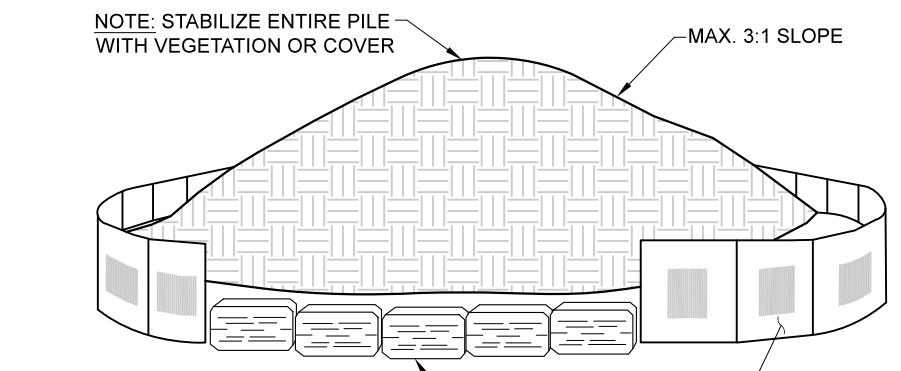
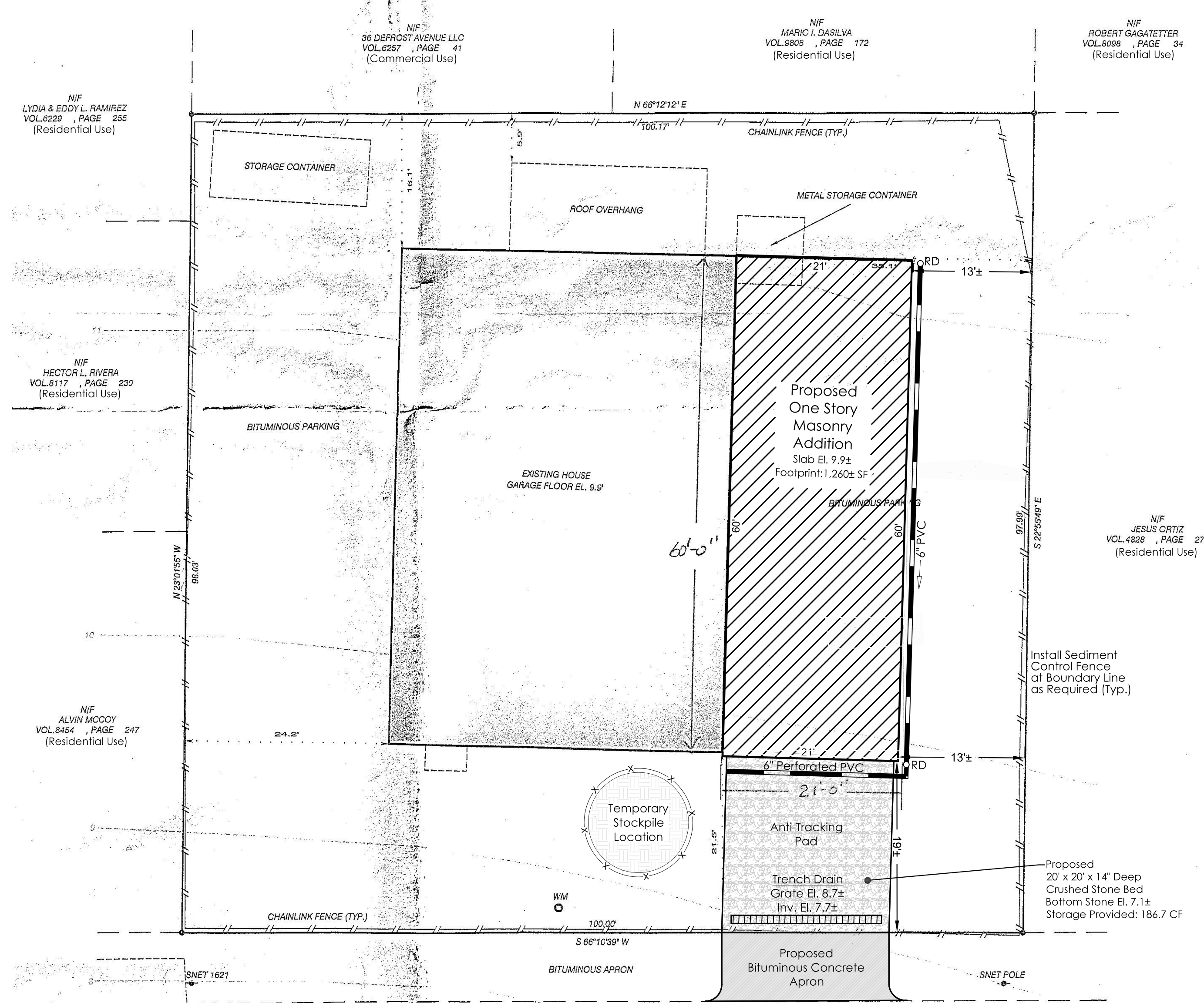


LOCATION MAP
SCALE: 1" = 800'

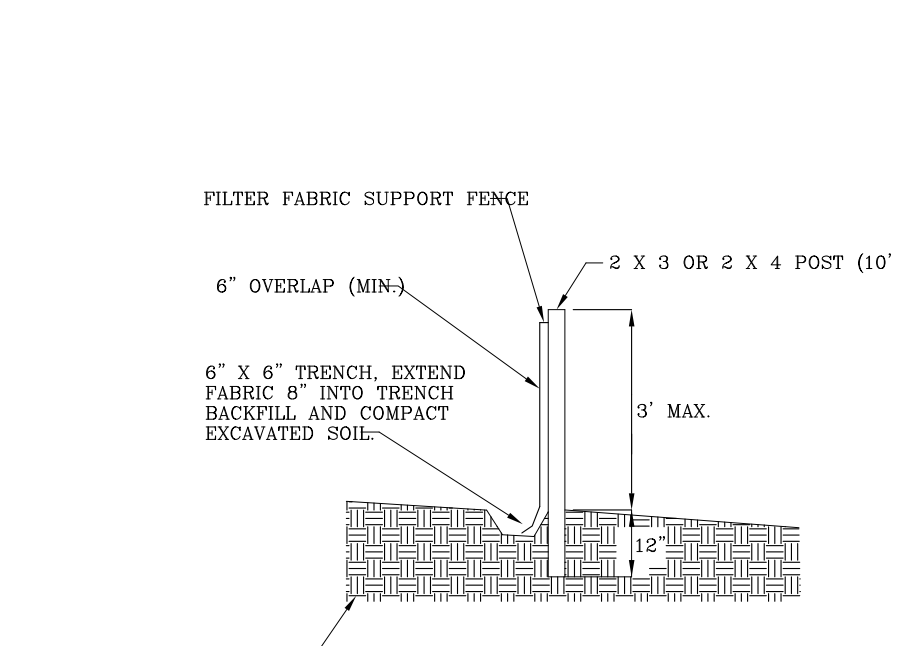
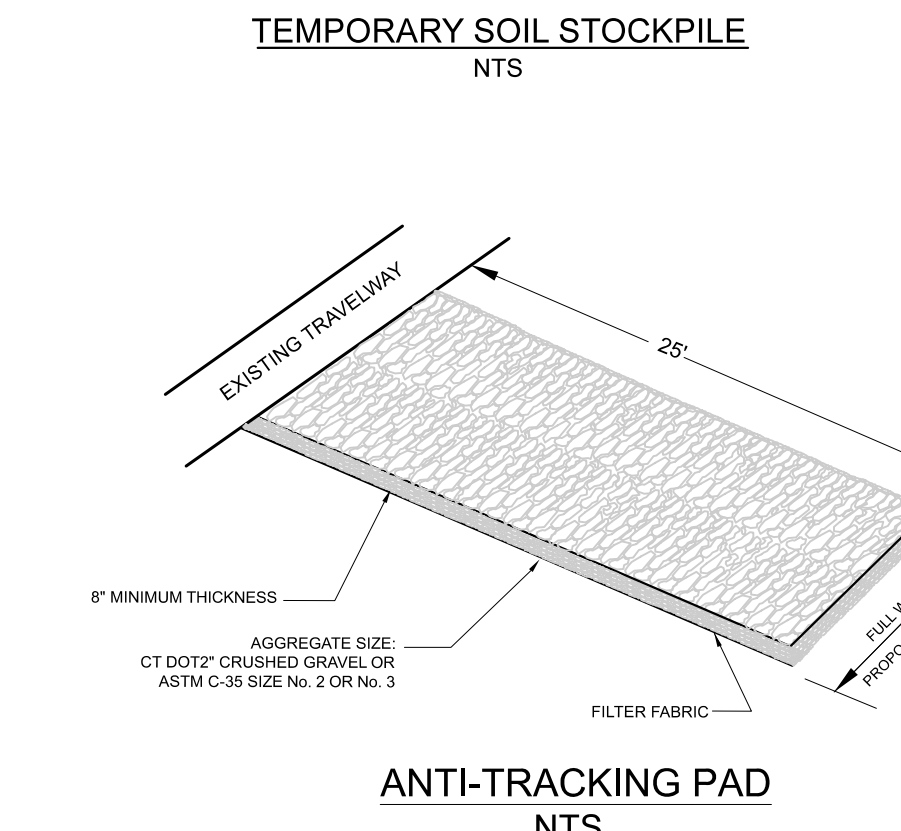


LEGEND

NF	NOW OR FORMERLY	CB	CATCH BASIN
MON	MONUMENT	WM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND.	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDERGROUND	INT	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
U.P.	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EQP	EDGE OF PAVEMENT	± 5.05	EXISTING SPOT GRADE
RET.	RETAINING	---100---	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFF	FINISHED FLOOR ELEVATION	②	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
⊙	EXISTING CONIFER TREE	⊙	EXISTING DECIDUOUS TREE



- INSTALLATION NOTES:**
- AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE.
 - THE GROUND SURFACE SHALL SLOPE AWAY FROM THE STOCK PILE.
 - IF NECESSARY PLACE TARP OR IMPERVIOUS MATERIAL BENEATH STOCKPILE TO PREVENT MIXING OF SOIL.
 - COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED.
 - MAX. SLOPE OF STOCKPILE SHALL BE 3:1 (H:V) UNLESS OTHERWISE APPROVED.



R-BB Zone Development Standards

LOT	REQUIRED	EXISTING	PROPOSED
LOT AREA, MINIMUM	7,500 SF	9,808± SF	9,808± SF
FRONTAGE, MINIMUM	75 FT	100 FT	100 FT
DEPTH, MINIMUM	100 FT	98± FT	98± FT
LOT AREA / DWELLING UNIT, MINIMUM	N/A	N/A	N/A
PRINCIPLE BUILDING SETBACK			
FRONT LOT LINE, MINIMUM FROM	15 FT OR PREVAILING	21.5± FT	19± FT
SIDE LOT LINE, MINIMUM FROM	6 FT	24.2± FT	13± FT
ONE SIDE	6 FT	24.2± FT	13± FT
BOTH SIDES SHALL ADD UP TO	20% OF LOT WIDTH	59.3± FT	37.2± FT
REAR LOT LINE	20% OF LOT DEPTH	5.9± FT	5.9± FT
MAXIMUM	20 FT	5.9± FT	5.9± FT
ACCESSORY STRUCTURE			
SETBACK MINIMUM FROM:			
FRONT LOT LINE	THE LESSER OF 50% OF LOT DEPTH OR 75 FT	N/A	N/A
SIDE LOT LINE	3 FT	N/A	N/A
REAR LOT LINE	3 FT	N/A	N/A
CORNER LOT	NOTE 2	N/A	N/A
FLOOR AREA MAXIMUM	NOTE 4	N/A	N/A
COVERAGE			
BUILDING COVERAGE, MAXIMUM	55%	27%	42%
SITE COVERAGE, MAXIMUM	70%	100%	100%
LANDSCAPED AREA			
MINIMUM	30%	0%	0%
HEIGHT (NOTE 8 & 10)			
PRINCIPAL BUILDING, MAXIMUM	3-1/2 STORIES AND 38 FT MAX.	1 STORY / 13.5± FT	1 STORY / 13.5± FT
ACCESSORY STRUCTURE, MAXIMUM			
FLAT OR ROUNDED ROOF	12 FT	N/A	N/A
TO RIDGE	15 FT	N/A	N/A

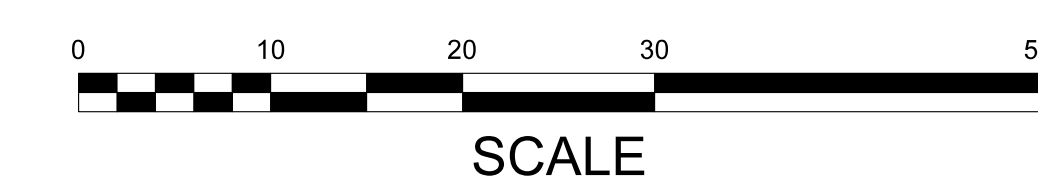
- NOTES:**
- SIDE SETBACK SHALL BE EITHER TEN (10) FT MINIMUM OR FORTY (40) PERCENT OF THE PRINCIPAL BUILDING HEIGHT, WHICHEVER IS GREATER.
 - CORNER LOTS ARE REQUIRED TO PROVIDE TWO FRONT YARDS AND TWO SIDE YARDS.
 - R-A 5,000 SF LOT MINIMUM SHALL APPLY ONLY TO LAWFULLY CREATED LOTS THAT PRE-EXIST THE EFFECTIVE DATE OF THESE REGULATIONS. NO NEW SUCH LOTS SHALL BE CREATED.
 - THE MAXIMUM TOTAL SQUARE FOOTAGE OF ANY AND ALL ACCESSORY STRUCTURES ON A LOT SHALL NOT EXCEED FIFTY (50) PERCENT OF THE FIRST OR SECOND FLOOR OF THE PRINCIPLE STRUCTURES. WITH THE EXCEPTION OF IN-GROUND POOLS AND OTHER SIMILAR STRUCTURES AT GRADE LEVEL WHICH SHALL NOT BE COUNTED TOWARDS THE MAXIMUM SQUARE FOOTAGE OF ACCESSORY STRUCTURES. (PER SECTION 4-9-1(C)(2)).
 - ON LOTS OF FIVE (5) ACRES OR MORE, BUILDING COVERAGE SHALL NOT EXCEED 60% AND SITE COVERAGE SHALL NOT EXCEED 70%.
 - FOR NURSING HOMES, CONVALESCENT HOMES, ASSISTED LIVING FACILITY OR CONGREGATE HOUSING, MAXIMUM ALLOWABLE HEIGHT OF A PRINCIPAL BUILDING SHALL BE 3-STORIES OR 20 FT THE LOT SIDE IS AT LEAST FIVE (5) ACRES. (DORMITORIES EXCLUDED.)
 - FOR PUBLIC INTER-DISTRICT MULTI-MAGNET SCHOOLS WITH 200,000 SF OR MORE OF FLOOR AREA IN THE R-A ZONE, SEE TABLE 3.A. ALL OTHER SCHOOLS, SEE TABLE 3.
 - IN FLOOD PLAIN AREAS WHERE THE LOWEST FLOOR OF THE BUILDING IS ELEVATED TO MEET THE FLOOD DAMAGE PREVENTION STANDARDS, THE MAXIMUM TOTAL BUILDING HEIGHT SHALL BE MEASURED FROM THE BASE FLOOD ELEVATION (BFE) + 1 ELEVATION PROVIDED THAT THE RESULTING HEIGHT OF THE BUILDING IS NOT MORE THAN FIVE (5) FEET GREATER THAN THE MAXIMUM BUILDING HEIGHT PERMITTED IN THE RCC ZONE.
 - MINIMUM SIDE SETBACK ALONG COMMERCIAL CORRIDORS IS 0'.
 - HALF STORY: AN ATTIC OR STORY IMMEDIATELY BELOW A SLOPING ROOF WITH NO MORE THAN 50% OF SAID SPACE HAVING A FLOOR TO CEILING HEIGHT GREATER THAN SEVEN FEET SIX INCHES (7'6").
 - N.A. - NOT APPLICABLE

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

SCALE: 1"=10'
FIELD FILE:
PROJECT NO. CD1558
DATE: July 27, 2021
CAD FILE: 29 Dekalb Avenue SDP.dwg
SHEET 1 OF 1
REV:



TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
Washington Cabezas, Jr.
WASHINGTON CABEZAS, JR. PEL 70210



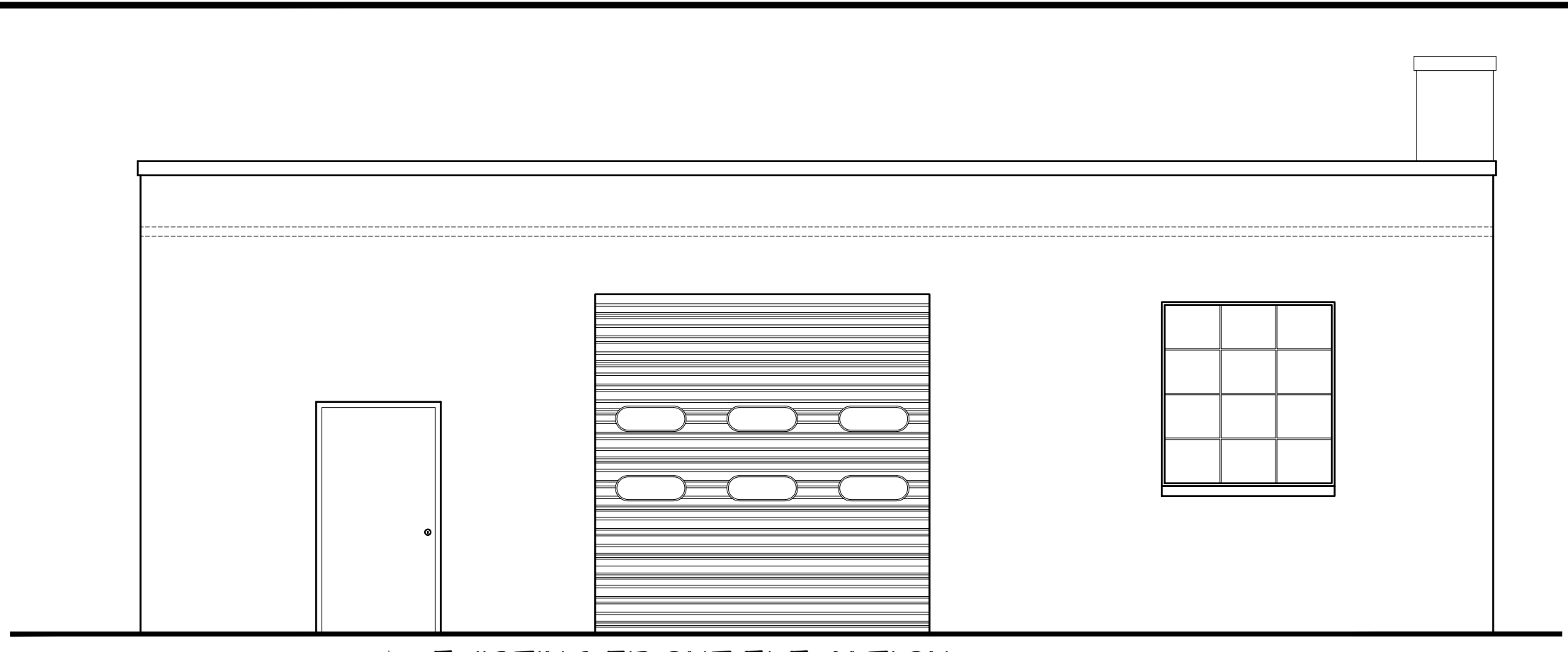
Percolation Test Results

Time	Measurement to Water Surface	Drop in Water Level (0.01')	Rate (Min./Inch)
8:31 AM	1.25		
8:33 AM	1.18	0.07	3.57
8:35 AM	1.12	0.06	4.17
8:37 AM	1.06	0.04	6.25
8:39 AM	1.06	0.02	12.50
8:41 AM	1.05	0.01	25.00
8:43 AM	1.04	0.01	25.00
Overall Percolation Rate (Min/Inch)			7.14
Minimum Percolation Rate (Min/Inch)			25.00
Based on minimum percolation rate, a 12" tall system will drain in (Hours):			5.0

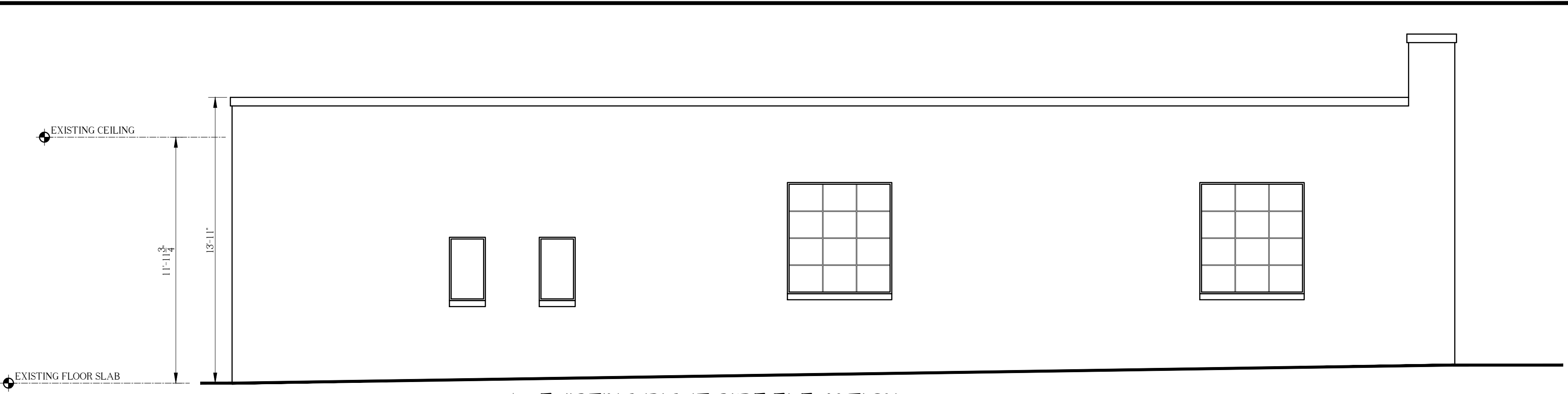
SITE DEVELOPMENT PLAN

PREPARED FOR
29 DEKALB AVENUE, LLC
29 DEKALB AVENUE
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 30 | BLOCK 607 | LOT 5

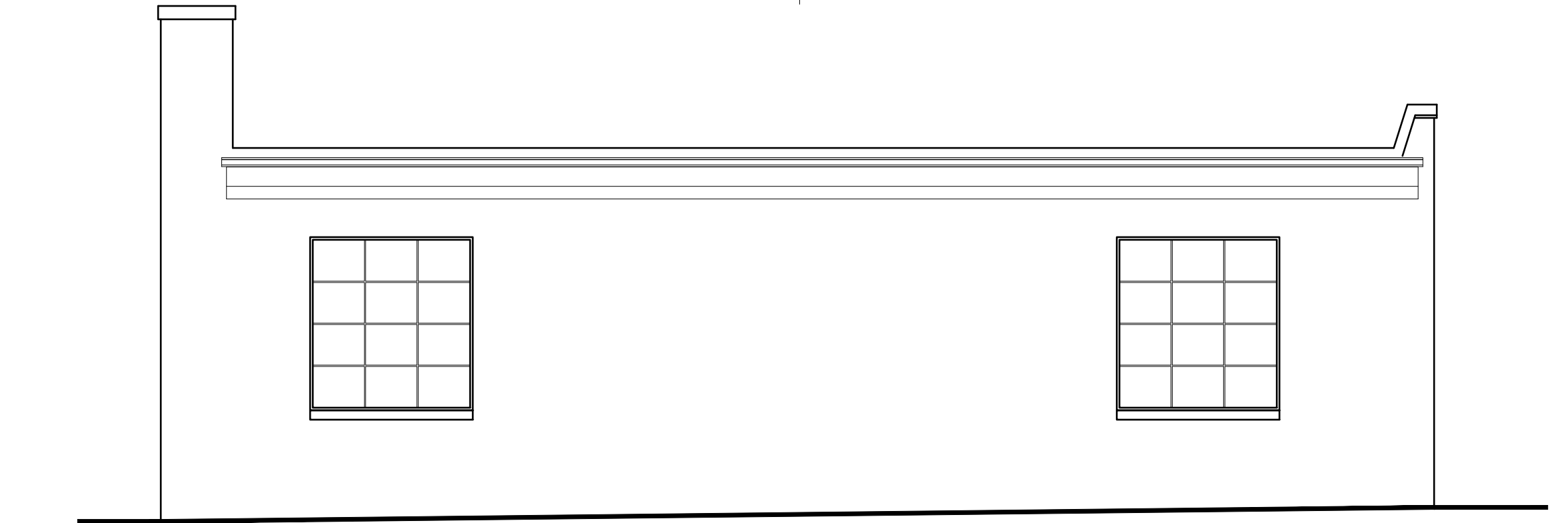
SHEET 1 OF 1
JULY 27, 2021 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'



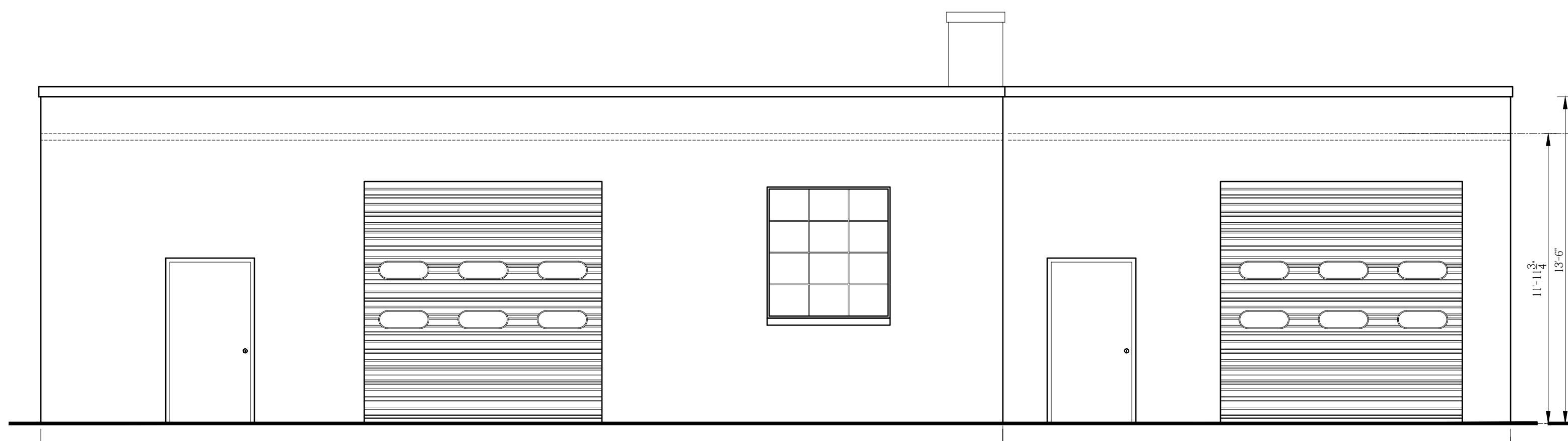
EXISTING FRONT ELEVATION
 SCALE = 1/4" = 1'-0"



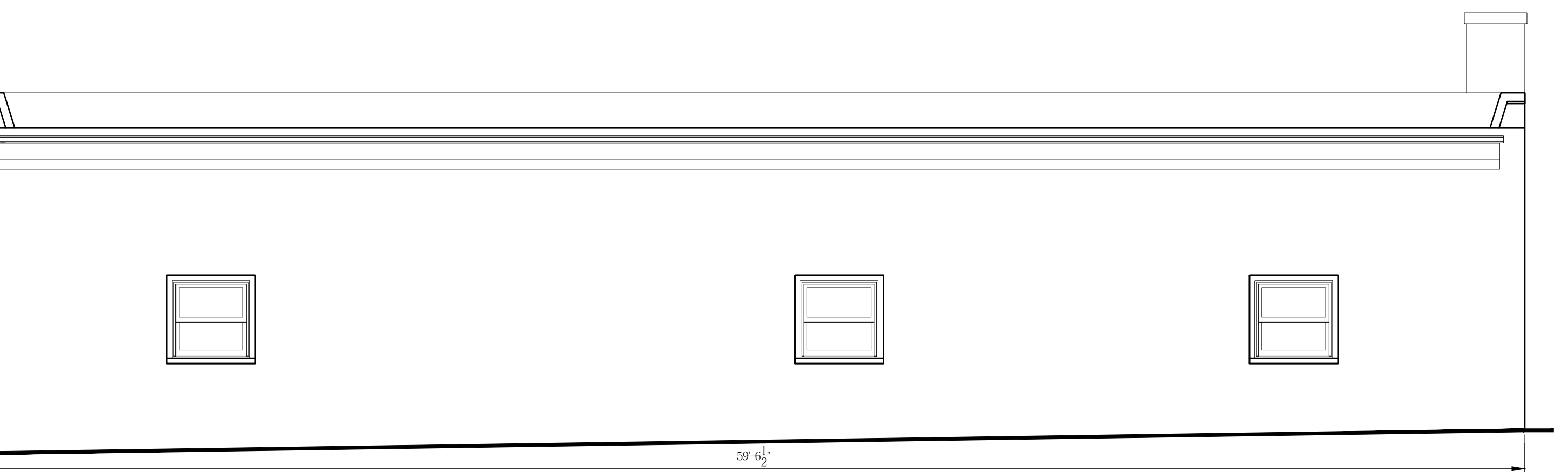
EXISTING RIGHT SIDE ELEVATION
 SCALE = 1/4" = 1'-0"



EXISTING REAR ELEVATION
 SCALE = 1/4" = 1'-0"

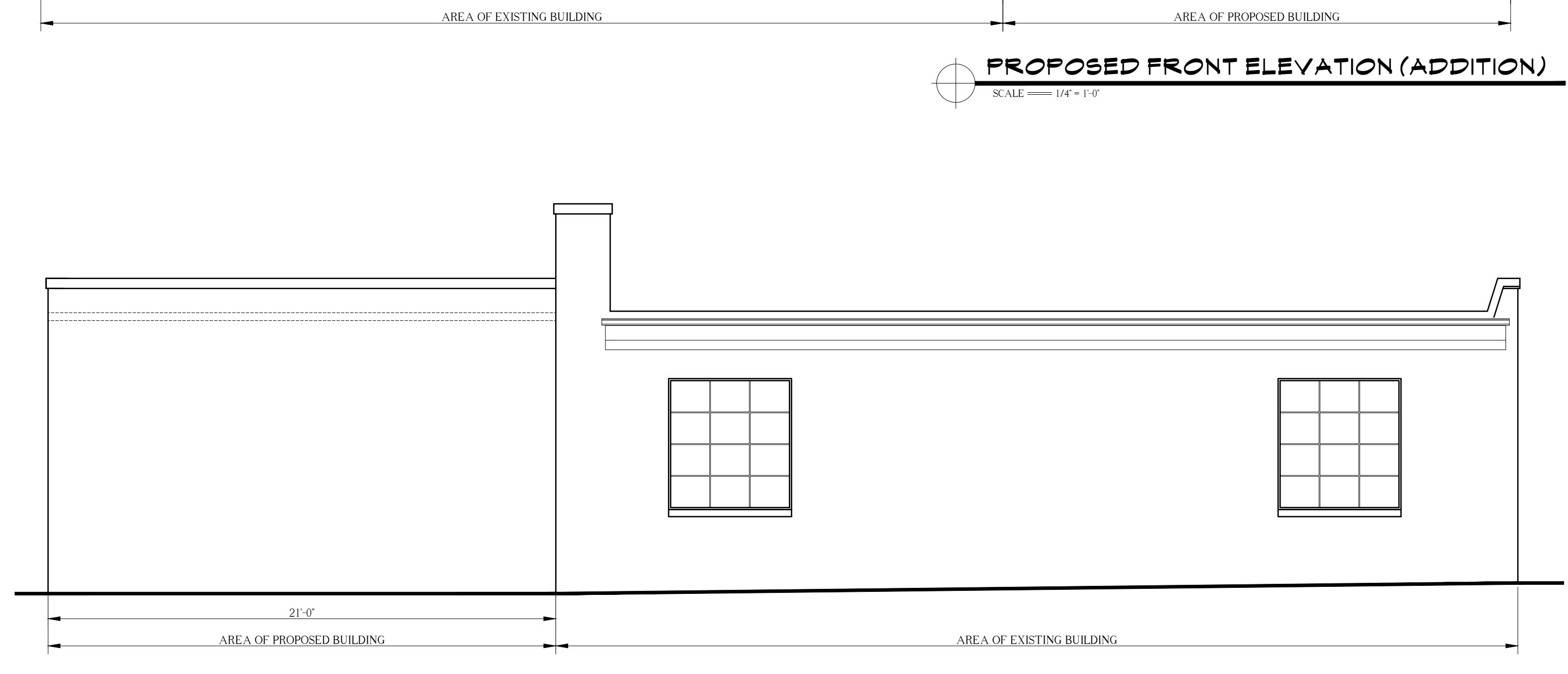


PROPOSED FRONT ELEVATION (ADDITION)
 SCALE = 1/4" = 1'-0"

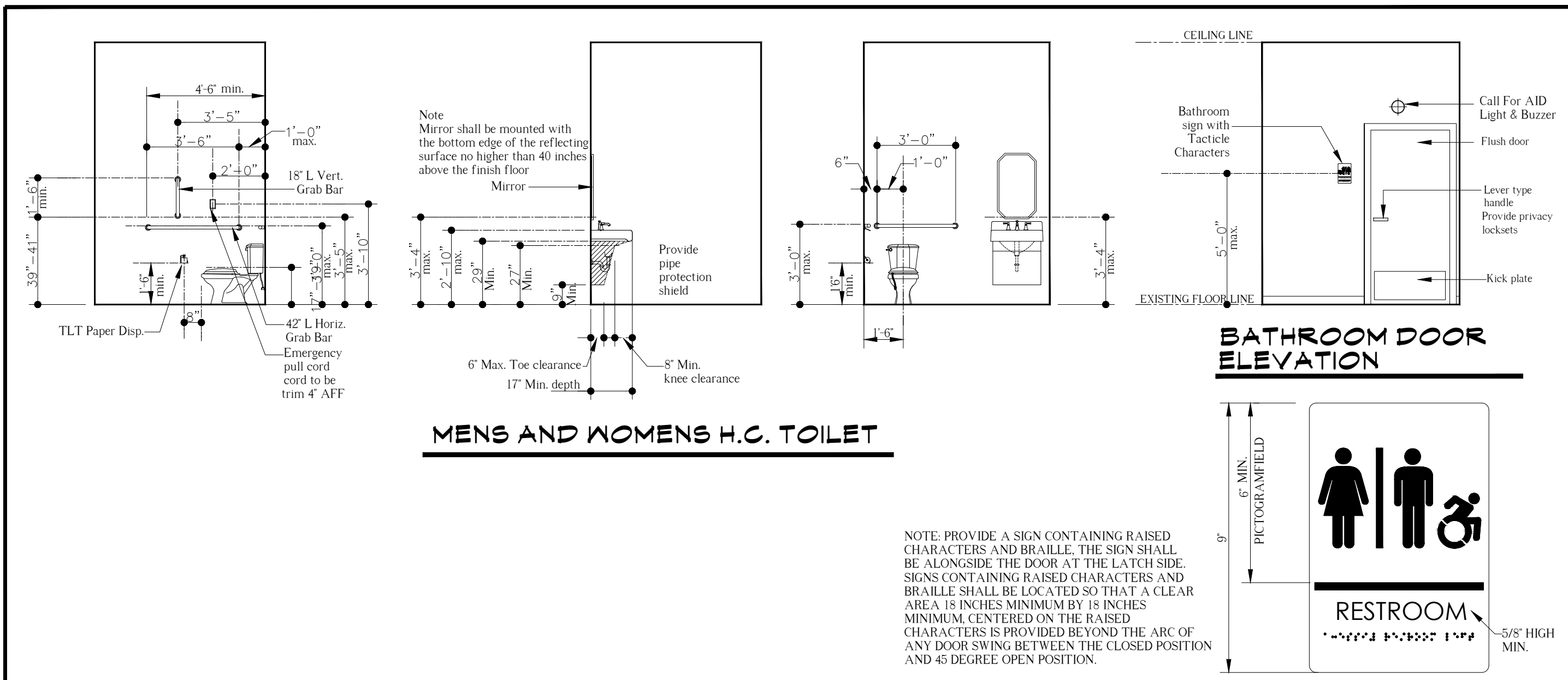


PROPOSED RIGHT SIDE ELEVATION (ADDITION)
 SCALE = 1/4" = 1'-0"

THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH THE 2015 Connecticut State Building Code



PROPOSED REAR ELEVATION (ADDITION)
 SCALE = 1/4" = 1'-0"



USE OF CONSTRUCTION DOCUMENTS

- This drawing is property of d'Haiti Design, LLC. It has been prepared specially for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of d'Haiti Design, LLC. Method of construction shown on this drawing should be followed exactly. Any deviation without d'Haiti Design, LLC consent or supervision, d'Haiti Design, LLC will not be held responsible for damages.
- Do not scale drawings.
- All dimensions given are to face of stud or other material unless otherwise noted.
- Contractor shall verify all conditions and dimensions at the job site and notify the Designer of any dimensional errors, omissions or discrepancies before beginning or fabricating any work.
- Homeowner will take necessary precautions to remove or relocate items of value to be reused and/or saved. Or in any danger or being damaged due to construction process.

Note:
 The building inspector is the applicable building code enforcer and that the building code supersedes the construction documents directives when conflicted.

CALL BEFORE YOU DIG
 DIAL 811

ENGINEER:

Project Issue Dates:

No.	DATE	PURPOSE

Project Description:
PROPOSED GARAGE ADDITION ONE STORY

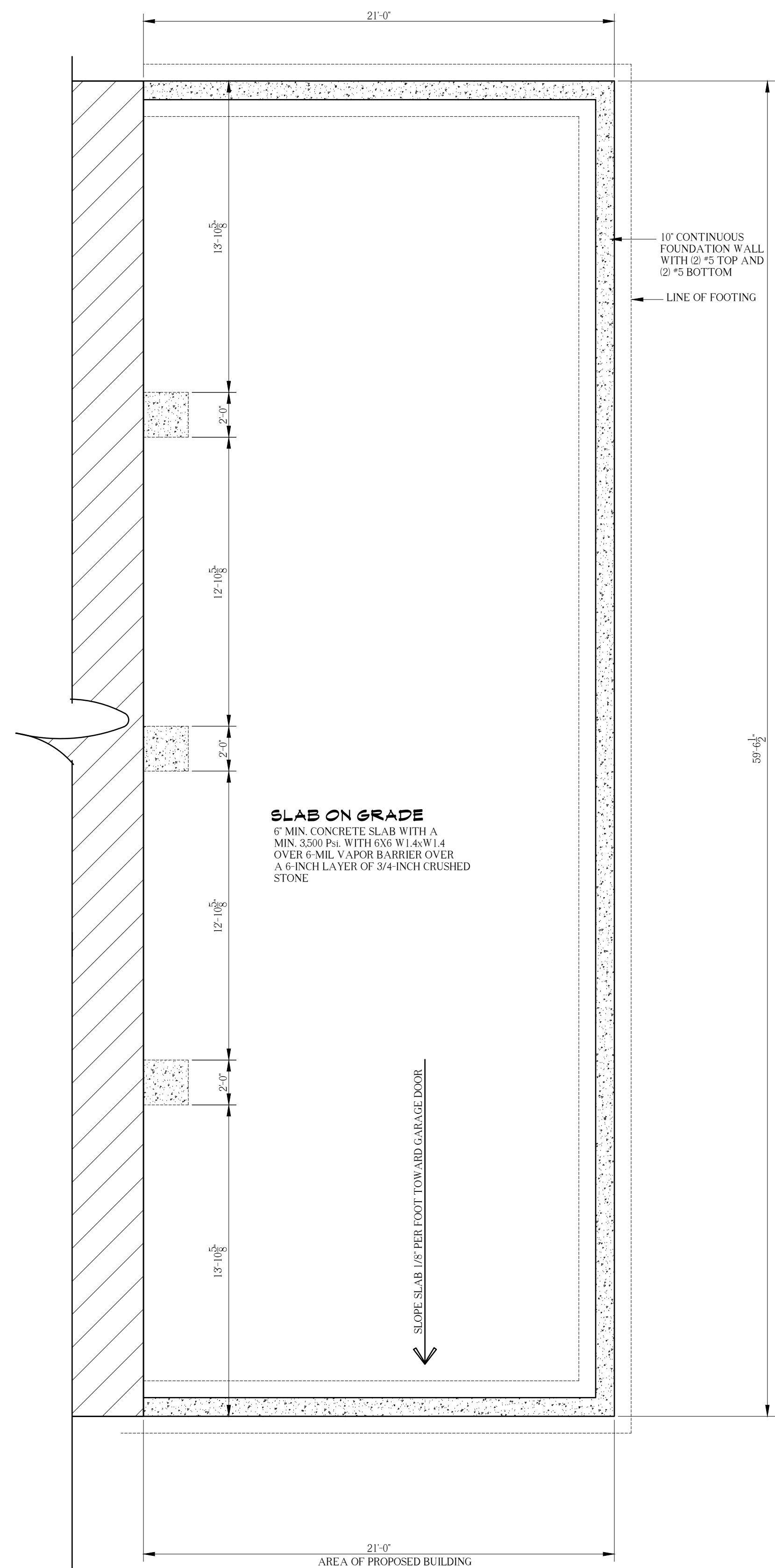
29 DEKALB AVENUE
 BRIDGEPORT, CT

Prepared For:
TOM FOLDY

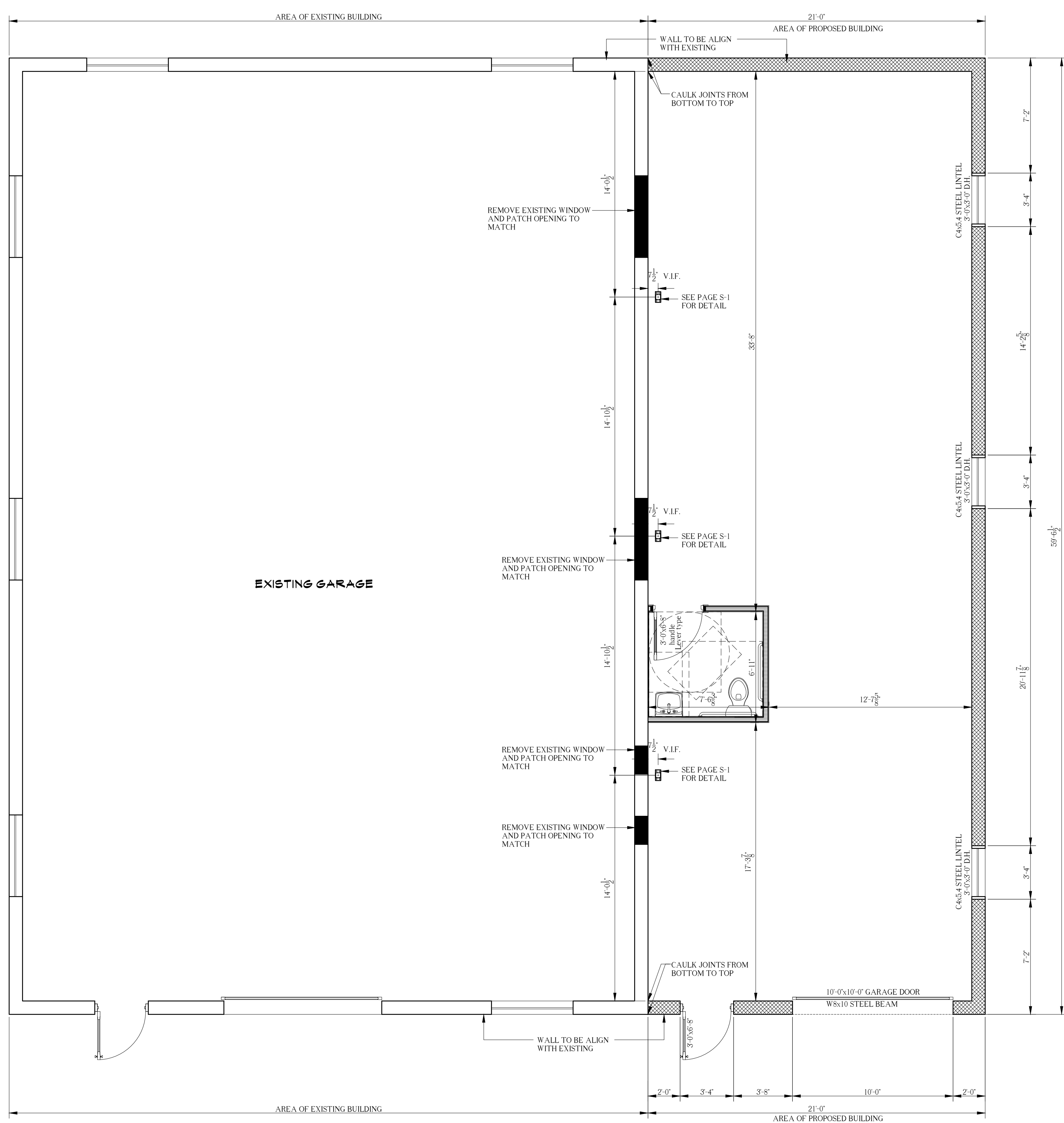
DRAWING SCALE: AS NOTED
 DRAWN BY: **KATY HAITT**
 ZONE: C
 DATE: 5-21-2021
 PROJECT NUMBER: FW_1955017
 29 DEKALB AVE

DRAWING TITLE:
ELEVATIONS

DRAWING NUMBER:
A-1.1



PROPOSED FOUNDATION PLAN
 SCALE = 1/4" = 1'-0"



PROPOSED FLOOR PLAN (ADDITION)
 SCALE = 1/4" = 1'-0"
 1290 SF

INTERIOR WALLS AT BATHROOM:
 2x4 WOOD STUDS AT 16" ON CENTER WITH 5/8" TYPE 'X' GYPSUM BOARD EACH FACE. GYPSUM BOARD FINISH TAPED AND READY FOR PAINT.
 2x6 CEILING JOIST AT 16" ON CENTER AT BATHROOM CEILING ONLY
 5/8" TYPE 'X' GYPSUM BOARD
 FLOOR FINISHES AT BATHROOM: CERAMIC TILE

USE OF CONSTRUCTION DOCUMENTS
 1. This drawing is property of d'Haiti Design, LLC. It has been prepared specially for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of d'Haiti Design, LLC. Method of construction shown on this drawing should be followed exactly. Any deviation without d'Haiti Design, LLC consent or supervision, d'Haiti Design, LLC will not be held responsible for damages.
 2. Do not scale drawings.
 3. All dimensions given are to face of stud or other material unless otherwise noted.
 4. Contractor shall verify all conditions and dimensions at the job site and notify the Designer of any dimensional errors, omissions or discrepancies before beginning or fabricating any work.
 5. Homeowner will take necessary precautions to remove or relocate items of value to be reused and/or saved. Or in any danger or being damaged due to construction process.
 Note:
 The building inspector is the applicable building code enforcer and that the building code supersedes the construction documents directives when conflicted.

CALL BEFORE YOU DIG
 DIAL 811

ENGINEER:

Project Issue Dates:

No.	DATE	PURPOSE

Project Description:
PROPOSED GARAGE ADDITION ONE STORY
 29 DEKALB AVENUE
 BRIDGEPORT, CT

Prepared For:
TOM FOLDY

DRAWING SCALE: AS NOTED
 DRAWN BY: RALPH d'HAITI
 ZONE: C DATE: 5-21-2021
 PROJECT NUMBER: FW_1950017
 29 DEKALB AVE

DRAWING TITLE:
FLOOR PLANS

DRAWING NUMBER:
A-1.0



**PLANNING & ZONING COMMISSION
APPLICATION**

1. NAME OF APPLICANT: 800 Union Ave Realty LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 800 Union Avenue CT 06607-1422
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 725 Lot No. 7
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 257.21' x 40.00' x 100.00' x 10.50' x 79.51' x 71.32' x 57.51'
x 191.80' x 123.00' x 101.59' x 100.00' x 5.00' x 37.99' x 22.12' x 69.62' x 345.92' x 664.72'
7. Existing Zone Classification: I-L
8. Zone Classification requested: _____
9. Describe Proposed Development of Property: Interior Renovation of existing industrial building to include use as a full service restaurant.

Approval(s) requested: Special permit, site plan approval for the full service restaurant.

Signature: _____ Date: _____
Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: Charles J. Willinger, Jr.

Mailing Address: 1000 Bridgeport Ave., Suite 501, Shelton, CT 06484

Phone: _____ Cell: _____ Fax: _____

E-mail Address: dlord@wwblaw.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- | | | |
|--|--|---|
| <input type="checkbox"/> Completed & Signed Application Form | <input type="checkbox"/> A-2 Site Survey | <input type="checkbox"/> Building Floor Plans |
| <input type="checkbox"/> Completed Site / Landscape Plan | <input type="checkbox"/> Drainage Plan | <input type="checkbox"/> Building Elevations |
| <input type="checkbox"/> Written Statement of Development and Use | <input type="checkbox"/> Property Owner's List | <input type="checkbox"/> Fee |
| <input type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) | | |

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

800 Union Ave LLC
Print Owner's Name
By: Kumarz Guela, Duly Authorized
Print Owner's Name

Owner's Signature

Owner's Signature

9/22/2021
Date
9/22/2021
Date

**CITY OF BRIDGEPORT
PLANNING & ZONING COMMISSION
800 UNION AVE REALTY, LLC
STATEMENT IN SUPPORT OF SPECIAL PERMIT
800 UNION AVENUE
SEPTEMBER 22, 2021**

The applicant is the owner of 800 Union Avenue. The property is improved with a 236,200 square foot building, formerly the home of Moore Tool & Dye.

Earlier this year, on June 1, 2021, the Planning & Zoning Commission (“P&Z”) approved a special permit for event space in a portion of the second floor. The applicant now seeks special permit approval to add a full-service restaurant with full liquor service in a portion of the second floor. The P&Z found that the proposal was compatible with the Master Plan, that it would benefit area residents, that it would not have any adverse impacts and that it complied with the special permit and site plan standards in the zoning regulations.

The instant proposed use is also compatible with the Master Plan, will benefit area residents, will not have any adverse impacts and complies with the special permit and site plan standards in the zoning regulations. It is respectfully suggested that the P&Z has ample reasons to approve this application.

800 UNION AVE REALTY, LLC
800 UNION AVENUE, BRIDGEPORT, CT
ABUTTING PROPERTY OWNERS & OWNERS
WITHIN 100 FEET OF SUBJECT PROPERTY

ABUTTING PROPERTY OWNERS

Property Description	Owner(s)	Mailing Address
810 Union Ave.	810 Union Ave.	810 Union Ave. Bridgeport, CT 06607
785 Union Ave.	800 Union Ave. Realty	P.O. Box 234550 Great Neck, NY 11023
757 Union Ave.	CREAM Enterprises, LLC	851 Central Ave. Bridgeport, CT 06607
751 Union Ave.	Juan Ortiz	751 Union Ave. Bridgeport, CT 06607
745 Union Ave.	Heather Stewart	745 Union Ave. Bridgeport, CT 06607
689 Union Ave.	Foundation Capital, Inc.	3900 Overland Ave. Springfield, MO 65807
718 Union Ave.	726 Union Ave., LLC	P.O. Box 234550 Great Neck, NY 11023
759 Connecticut Ave.	Bridgeport Wilmont Apartments	61 Wilmont Ave. Bridgeport, CT 06607
823 Connecticut Ave.	Bridgeport Wilmont Apartments	61 Wilmont Ave. Bridgeport, CT 06607
571 Hollister Ave.	Wayne Jenkins	15 Point Beach Dr. Milford, CT 06460
561 Hollister Ave.	Eagle 892, LLC	2254 Grand Ave. #8 Bronx, NY 10453
955 Connecticut Ave.	BIC TEI Investors, LLC	55 5 th Ave., 15 th Fl. New York, NY 10003
586 Hollister Ave.	Lauro Maldonado	586 Hollister Ave. Bridgeport, CT 06607
604 Hollister Ave.	Martha Alvarez	604 Hollister Ave. Bridgeport, CT 06607
650 Hollister Ave.	Pequonnock Enterprises	850 Union Ave. Bridgeport, CT 06607

FILING RECEIPT

ENTITY NAME: 800 UNION AVE REALTY LLC

DOCUMENT TYPE: ARTICLES OF ORGANIZATION (DOM LLC)

COUNTY: BRON

FILED:10/14/2016 DURATION:***** CASH#:161014000002 FILM #:161014000002
DOS ID:5023141

FILER:

EXIST DATE

KINGSPPOINT HEIGHTS LLC
PO BOX 234550

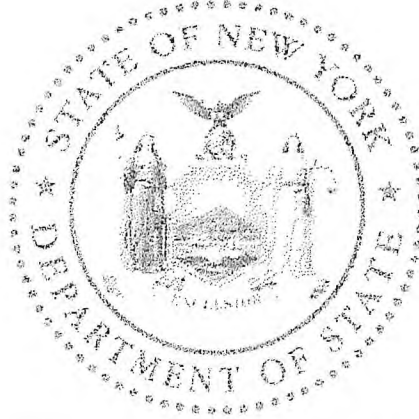
10/14/2016

GREAT NECK, NY 11023

ADDRESS FOR PROCESS:

THE LLC
3251 THIRD AVENUE, 2ND FLOOR
BRONX, NY 10456

REGISTERED AGENT:



The limited liability company is required to file a Biennial Statement with the Department of State every two years pursuant to Limited Liability Company Law Section 301. Notification that the biennial statement is due will only be made via email. Please go to www.email.ebiennial.dos.ny.gov to provide an email address to receive an email notification when the Biennial Statement is due.

SERVICE COMPANY: UNITED CORPORATE SERVICES - 37

SERVICE CODE: 37 *

FEEs 235.00

FILING 200.00
TAX 0.00
CERT 0.00
COPIES 10.00
HANDLING 25.00

PAYMENTS 235.00

CASH 0.00
CHECK 0.00
CHARGE 0.00
DRAWDOWN 235.00
 OPAL 0.00
 REFUND 0.00

800UNI2215

DOS-1025 (04/2007)

1
002

UNI-37

FILED

2016 OCT 14 AM 7:47

115
STATE OF NEW YORK
DEPARTMENT OF STATE
FILED OCT 14 2016
TAXS _____

ARTICLES OF ORGANIZATION BY M

OF

800 UNION AVE REALTY LLC

Under and Pursuant to Section 203 of the Limited Liability Company Law
of the State of New York

Kingspoint Heights LLC
PO Box 234550
Great Neck, NY 11023

RECEIVED

2016 OCT 13 PM 4:09

Customer Reference # 800UN12215

DRAWDOWN

002

STATE OF NEW YORK
DEPARTMENT OF STATE

I hereby certify that the annexed copy has been compared with the original document in the custody of the Secretary of State and that the same is a true copy of said original.



WITNESS my hand and official seal of the Department of State, at the City of Albany, on October 17, 2016.

A handwritten signature in black ink, appearing to read "B. Fitzgerald", written over a horizontal line.

Brendan W. Fitzgerald
Executive Deputy Secretary of State

161014000 002

ARTICLES OF ORGANIZATION

OF

800 UNION AVE REALTY LLC

**Under and Pursuant to Section 203 of the Limited Liability Company Law
of the State of New York**

The undersigned being the organizer of the Limited Liability Company does hereby certify:

FIRST: The name of the limited liability company is:

800 UNION AVE REALTY LLC

SECOND: The office of the Limited Liability Company shall be located in the County of Bronx.

THIRD: The Secretary of State is designated as the agent of the Limited Liability Company upon whom process against the Limited Liability Company may be served, and the address to which the Secretary of State shall mail a copy of any process against the Limited Liability Company served upon him is 3251 Third Avenue, 2nd Floor, Bronx, NY 10456.

IN WITNESS WHEREOF, I hereunto sign my name this thirteenth day of October, 2016.

/s/ Kiumarz Geula
Kiumarz Geula, Organizer

SECRETARY OF THE STATE OF CONNECTICUT
30 TRINITY STREET
P.O. BOX 150470
HARTFORD, CT 06115-0470

Online Business Filing Confirmation Receipt

Business Name:	800 UNION AVE REALTY LLC	Business ID:	1274143
Type of Request:	REPORT (2020)	Payment Received:	\$20.00
Request Date/Time:	01/17/2020 03:42 PM	Filing Number:	0006726819

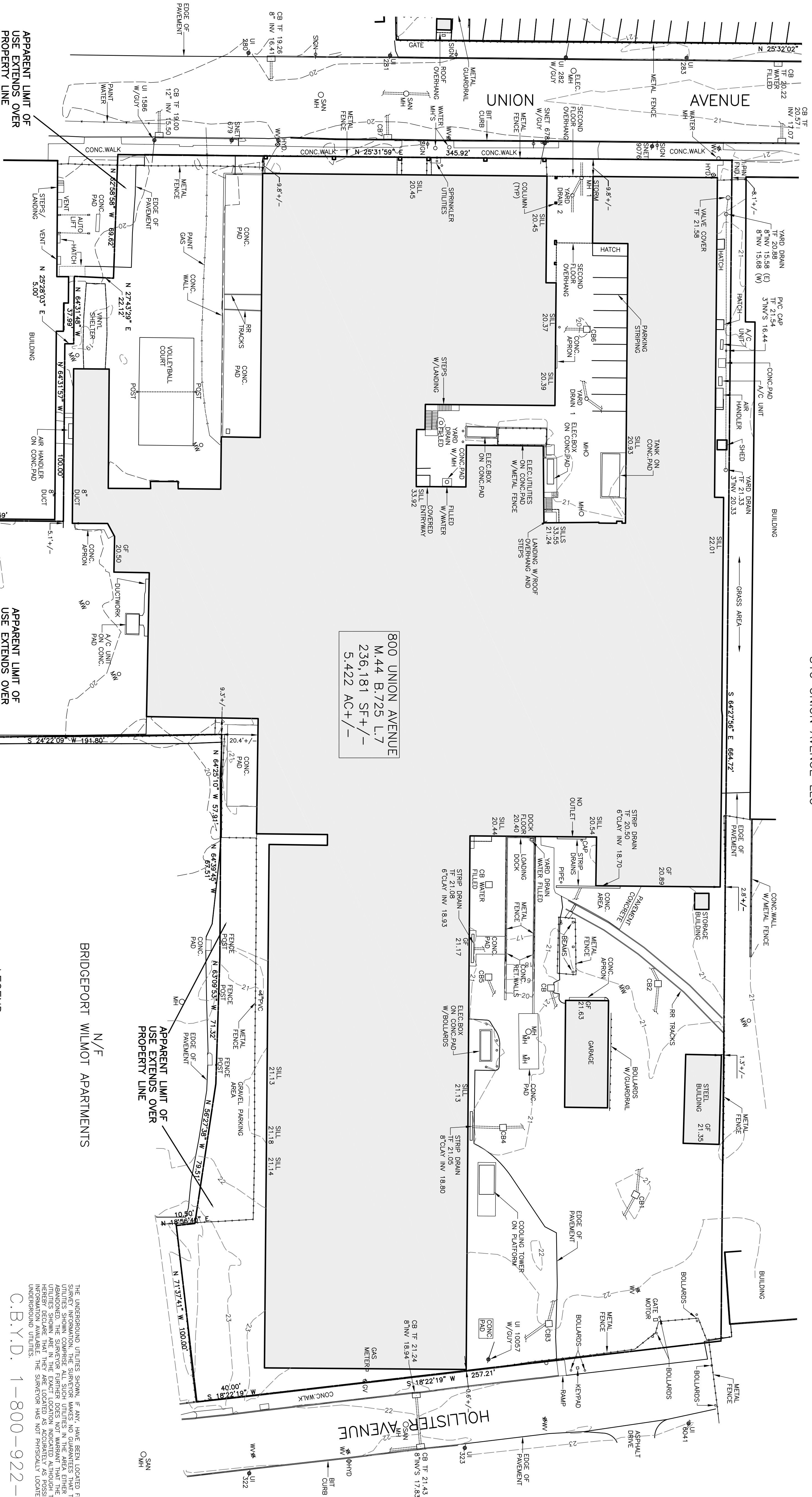
Payment Receipt

Credit Card #:	*****9008	Authorization #:	244593
Customer Account:	003436864	Billing Date/Time:	01/17/2020 03:42 PM
Billing Amount:	\$20.00		

Note: You can verify the filing details from the CONCORD website <http://www.concord-sots.ct.gov> by clicking the business inquiry link and searching on the above mentioned Business ID.

N/F
810 UNION AVENUE LLC

SEE SHEET 2 OF 2



APPARENT LIMIT OF USE EXTENDS OVER PROPERTY LINE

APPARENT LIMIT OF USE EXTENDS OVER PROPERTY LINE

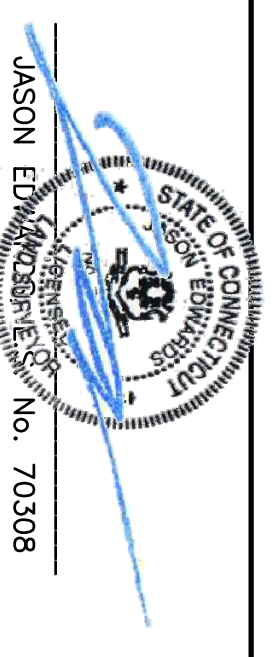
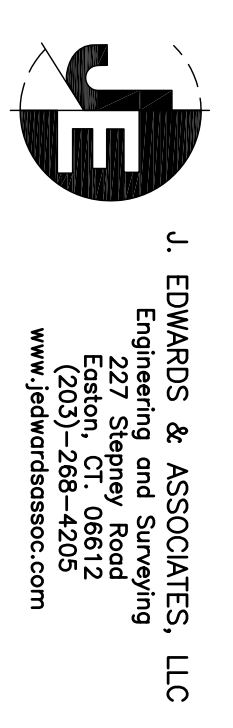
APPARENT LIMIT OF USE EXTENDS OVER PROPERTY LINE

N/F
COACHMEN LLC

N/F
BRIDGEPORT WILMOT APARTMENTS

I HEREBY CERTIFY TO:
FIRST AMERICAN TITLE INSURANCE COMPANY;
800 UNION AVE. REALTY LLC;
THAT THIS SURVEY WAS ACTUALLY MADE UPON THE GROUND ON 02-01-2017 AND THAT IT AND THE BOUNDS AND CORNERS SHOWN THEREON ARE CORRECT WITHIN THE STATUTES FOR SUCH SURVEYS AND LINES IN THE STATE OF CONNECTICUT ADOPTED ON SEPTEMBER 26, 1998, AND THAT UNLESS OTHERWISE SHOWN, TITLE LINES AND LINES OF ACTUAL POSSESSION APPEAR TO BE THE SAME. BUILDINGS ARE LOCATED AS SHOWN AND DO NOT REPRESENT THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES NOT KNOW OF ANY ENCROACHMENTS AFFECTING THIS PROPERTY APPARENT FROM A CAREFUL INSPECTION OF THE SAME.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
THIS MAP IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OR AFFIXED WITH THE LIVE STAMP OF THE SIGNATORY.



LEGEND

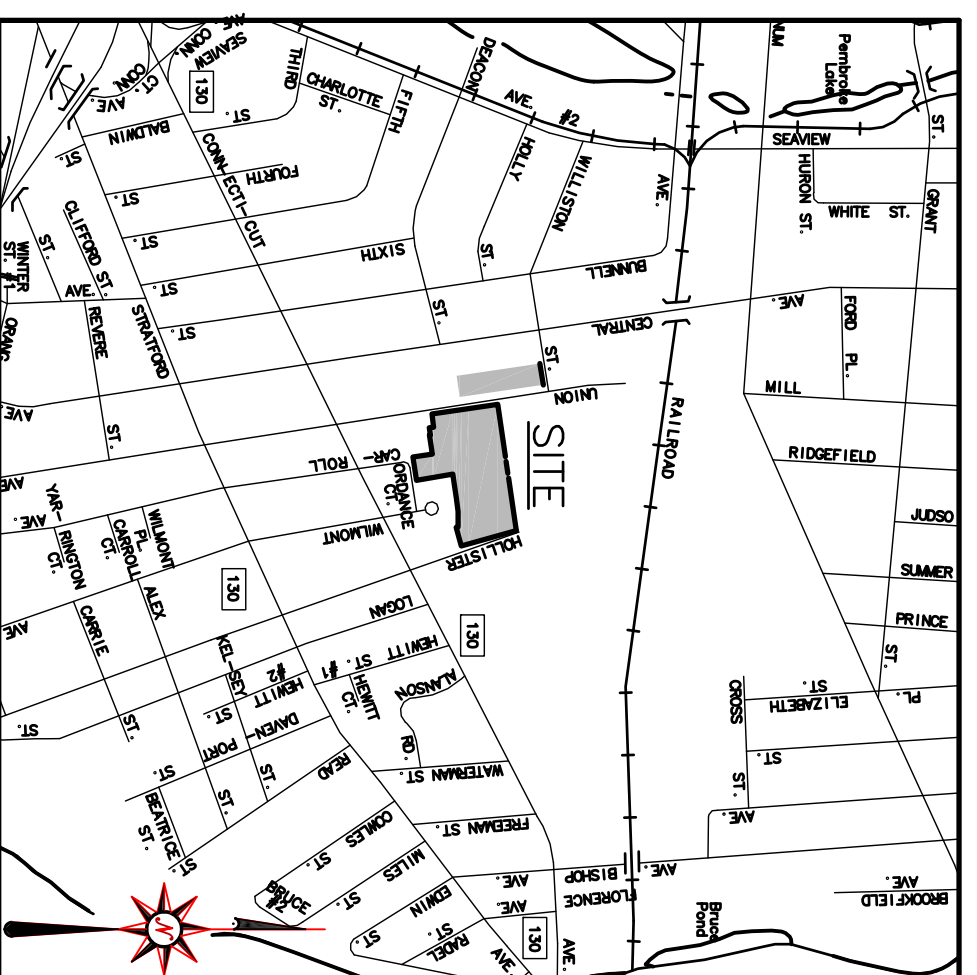
- CL CATCH BASIN
- GL CATCH BASIN
- GAS VALVE
- POLE
- HYDRANT
- IRON PIN, DRILL HOLE
- MANHOLE
- MONITORING WELL
- ELECTRIC PAINT LINE
- GAS PAINT LINE
- WATER PAINT LINE
- CONTOUR LINE

THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM VERBAL FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR NOT IN SERVICE. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HEREBY DECLARES THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM UNDERGROUND UTILITIES. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

C.B.Y.D. 1-800-922-4455

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
800 UNION AVE. REALTY LLC
800 & 785 UNION AVENUE
BRIDGEPORT, CONNECTICUT

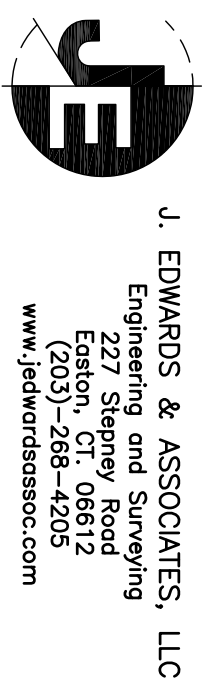
SCALE 1"=30'
FEBRUARY 1, 2017



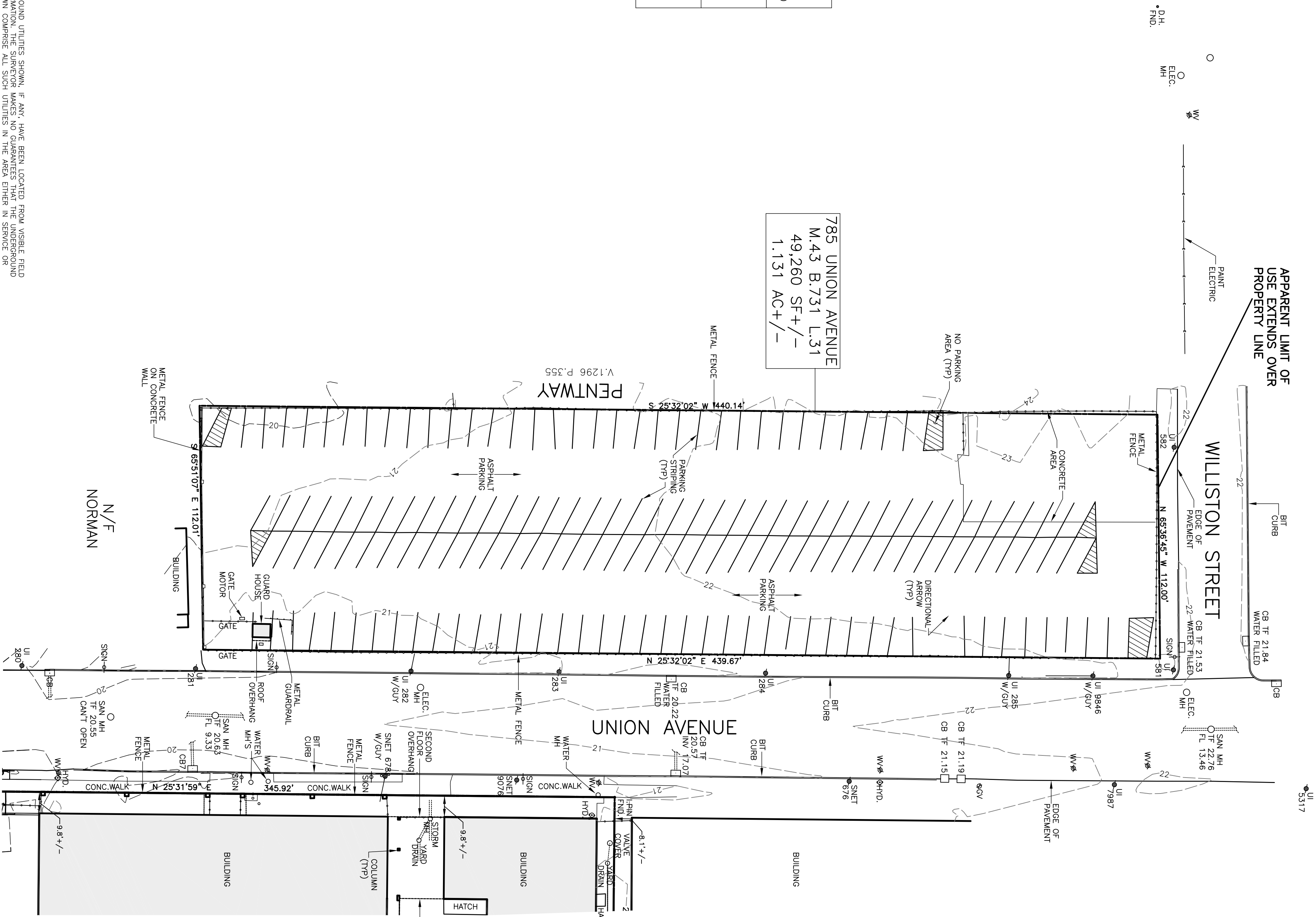
LOCATION MAP
SCALE: 1"=1000'

DRAINAGE STRUCTURES			
CB1 TF 20.74 8" CLAY INV 17.19 (W) 8" CLAY INV 17.14 (SE)	CB2 TF 20.23 6" CLAY INV 18.43 (W) 8" CLAY INV 18.03 (SE)	CB3 TF 21.88 12" RCP INV 14.38 (SE) 12" RCP INV 14.23 (NW)	CB4 TF 20.51 8" CLAY INV 18.01 (S) 12" CLAY INV 17.31 (N)
CB5 TF 20.16 8" PVC INV 18.16 (NE)	CB6 TF 19.91 8" RCP INV 16.31	CB7 TF 19.45 8" INV 17.45	YARD DRAIN 1 TF 20.21 6" PVC INV 14.21 (NE) 8" PVC INV 14.06 (W)
YARD DRAIN 2 TF 19.94 8" INV S 14.40	STORM MH 1 TF 20.44 8" FL 14.44		

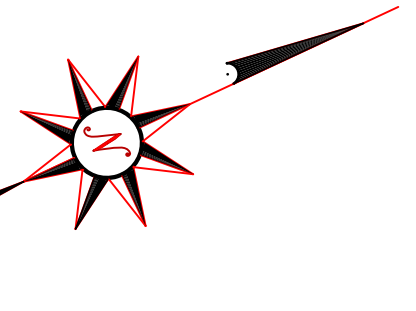
LEGEND	
	CL CATCH BASIN
	QL CATCH BASIN
	GAS VALVE
	SIGN
	POLE
	HYDRANT
	IRON PIN, DRILL HOLE
	WATER VALVE
	MANHOLE
	MONITORING WELL
	ELECTRIC PAINT LINE
	GAS PAINT LINE
	WATER PAINT LINE
	CONTOUR LINE



J. EDWARDS & ASSOCIATES, LLC
Engineering and Surveying
2271 Steeply Road
Farmington, CT 06031
(203)-568-4205
www.jedwardsassoc.com

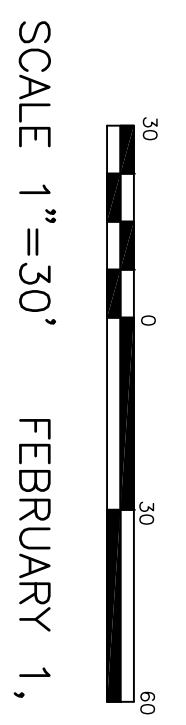


SEE SHEET 1 OF 2



- NOTES:
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEY AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN IMPROVEMENT LOCATION SURVEY BASED UPON A DEPENDENT RESURVEY AND CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS AND DOCUMENTS ON FILE IN THE BRIDGEPORT CITY CLERK'S OFFICE:
 - "BOUNDARY MAP OF PROPERTY LOCATED ON UNION AVENUE, CARROLL AVENUE, ORDINANCE COURT, HOLLISTER AVENUE, AND WILLISTON STREET, BRIDGEPORT, CONNECTICUT; PREPARED FOR MOORE SPECIAL TOOL COMPANY, INC.; AND THE UNION CARROLL COMPANY; SCALE: 1"=50'; JANUARY 1, 1981; REVISED TO: 4/28/81; PREPARED BY J&D KASPER & ASSOCIATES."
 - "BOUNDARY MAP OF PROPERTY LOCATED ON UNION AVENUE, CARROLL AVENUE, AND WILLISTON STREET, BRIDGEPORT, CONNECTICUT; PREPARED FOR THE ESTATE OF RICHARD F. MOORE; SCALE: 1"=50'; DECEMBER 23, 1993; PREPARED BY KASPER GROUP, INC."
 - "DATA ACCUMULATION PLAN DEPICTING LOT LINE REVISION; PREPARED FOR BLACK HORSE AUTOMOTIVE SERVICES, INC.; UNION AVENUE, CARROLL AVENUE, & ORDINANCE COURT, BRIDGEPORT, CONNECTICUT; 7/8/05; SCALE: 1"=40'; PREPARED BY SPATH-BORUKLIND ASSOC."
 - "ENVIRONMENTAL LAND USE RESTRICTION; 810 UNION AVENUE; PREPARED FOR MARK HARTON & SUSAN HARTON; BRIDGEPORT, CONNECTICUT; SCALE: 1"=40'; 3/31/05; PREPARED BY CODESPOTT & ASSOCIATES P.C."
 - "VOLUME 3208 PAGES 189-194; VOLUME 5016 PAGES 242-244
VOLUME 6620 PAGES 298-301; VOLUME 7220 PAGES 140-142
F. BRIDGEPORT TOWN ENGINEERING DEPARTMENT PIN MAP NUMBERS 728, 729, & 730.
 - THE LOCATION OF UNDERGROUND UTILITIES, IF ANY, IS UNKNOWN
 - CURRENT OWNER OF RECORD IS: MOORE TOOL COMPANY INC.
 - LOT CORNER MARKERS DEPICTED HEREON WERE FOUND AND/OR SET DURING COMPLETION OF THIS SURVEY.
 - BEARING BASED ON REFERENCE MAP C.
 - CERTIFICATION OF THIS MAP APPLIES TO CONDITIONS AS OF THE ORIGINAL DATE OR REVISED DATE DEPICTED HEREON. EXISTING CONDITIONS ON THIS PROPERTY MAY HAVE CHANGED SINCE THAT DATE AND AN UPDATED SURVEY IS RECOMMENDED TO ACCURATELY DEPICT THE CURRENT CONDITIONS.
 - 785 UNION AVE. IS IN CITY OF BRIDGEPORT ZONE RC. 800 UNION AVE. IS IN CITY OF BRIDGEPORT ZONE UL.
 - PROPERTY IS IN FEMA ZONE X. PER FIRN 0901004416, DATED JULY 8, 2013.
 - VERTICAL DATUM IS NAVD1988. REFERENCE TO SURVEY CONTROL PROVIDED BY CT DOT.
 - LOCATION OF LICENSE AREA DESCRIBED IN V.6755 P.223 IS UNKNOWN.
 - PARKING LOT ON 785 UNION AVENUE APPEARS TO SUBJECT TO USE AGREEMENT, V.7480 P.216
 - SURVEY BASED AND RELIED ON TITLE COMMITMENT NO. CTS12359834, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY. DATED OCTOBER 5, 2016

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
800 UNION AVE. REALTY LLC
800 & 785 UNION AVENUE
BRIDGEPORT, CONNECTICUT



SCALE 1"=30' FEBRUARY 1, 2017

	INDUSTRIAL PARKING REQUIREMENTS 1/1200 SQF	EVENT SPACE PARKING REQUIREMENTS 10/1000 SQF
GROSS SQF	222,952.00	
NET SQF	185,000.00	
EVENT SPACE	9,800.00	98
NET INDUSTRIAL SPACE	175,200.00	
TOTAL PARKING UNITS REQUIREMENTS	245	147

PARKING AREA A	120
PARKING AREA B	12
PARKING AREA C	82
PARKING AREA D	43
TOTAL PARKING UNITS AVAILABLE	257

785 UNION AVENUE
 M.43 B.731 L.31
 49,260 SF +/-
 1.131 AC +/-

PARKING AREA "A"
 PARKING= 115
 HANDICAP PARKING= 5
 TOTAL PARKING= 120

PARKING AREA "B"
 PARKING= 11
 HANDICAP PARKING= 1
 TOTAL PARKING= 12

PARKING AREA "C"
 PARKING= 78
 HANDICAP PARKING= 4
 TOTAL PARKING= 82

800 UNION AVENUE
 M.44 B.725 L.7
 236,181 SF +/-
 5.422 AC +/-

PARKING AREA "D"
 PARKING= 41
 HANDICAP PARKING= 2
 TOTAL PARKING= 43

1 800 UNION AVENUE - SCHEMATIC SITE PLAN
 SCALE: 1" = 40'-0"

DO NOT SCALE DRAWINGS
 REFER ALL QUESTIONS
 AND CLARIFICATIONS TO
 THE ARCHITECT

**PLANNING & ZONING
 SUBMISSION**

PRINTED
 03-22-2021

(SEAL)

**800 UNION AVENUE
 IMPROVEMENTS FOR
 EVENT SPACE**

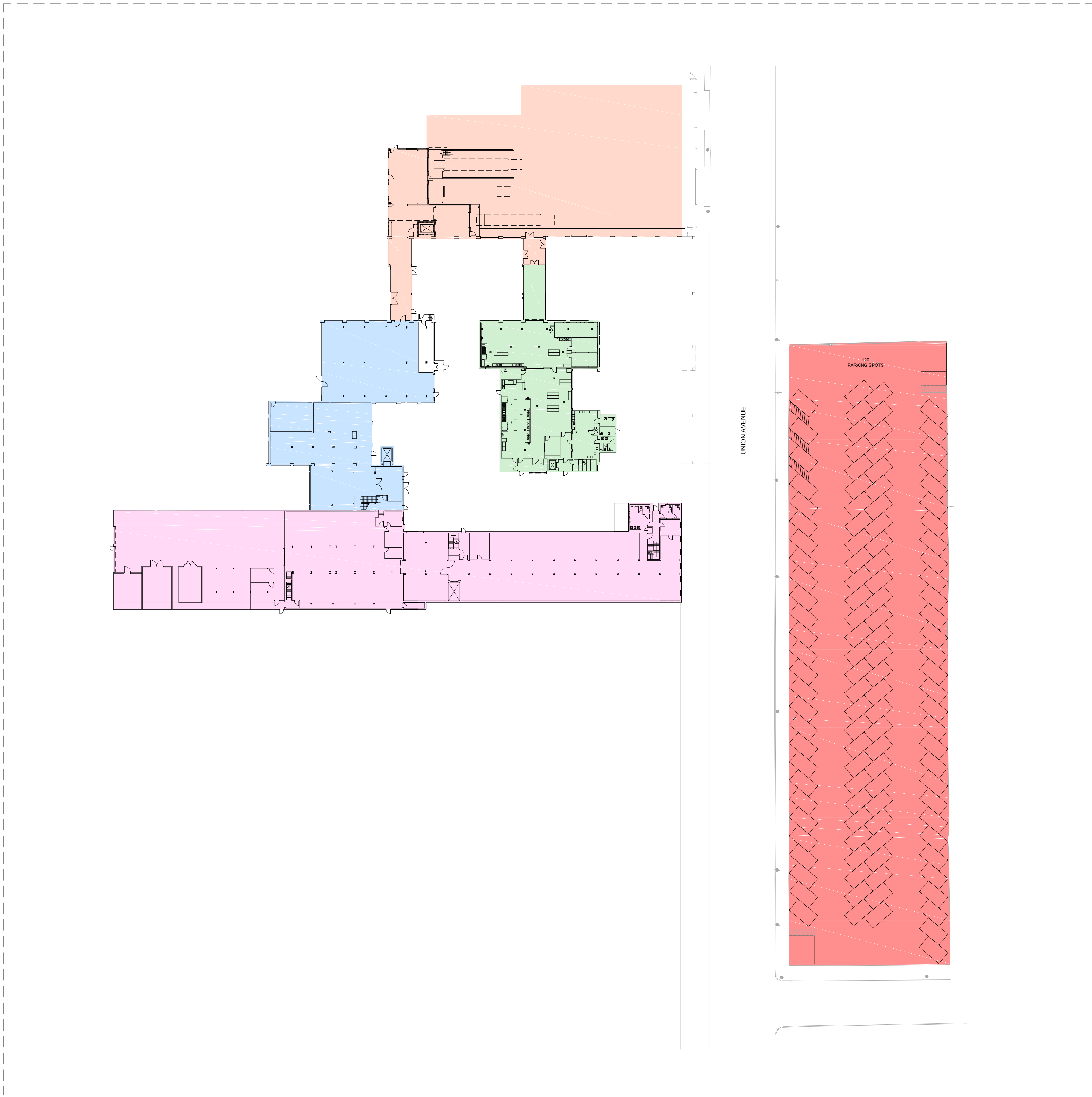
800 UNION AVENUE
 BRIDGEPORT, CONNECTICUT

**SCHEMATIC
 SITE PLAN**

SCALE: SCALED AS NOTED

REVISIONS		
No.	DATE	DESCRIPTION

DATE: MARCH 22, 2021



- EAST END BREWERY
- BLACK HORSE GARAGE
- COMMERCIAL KITCHEN
- LOADING
- PARKING AREA

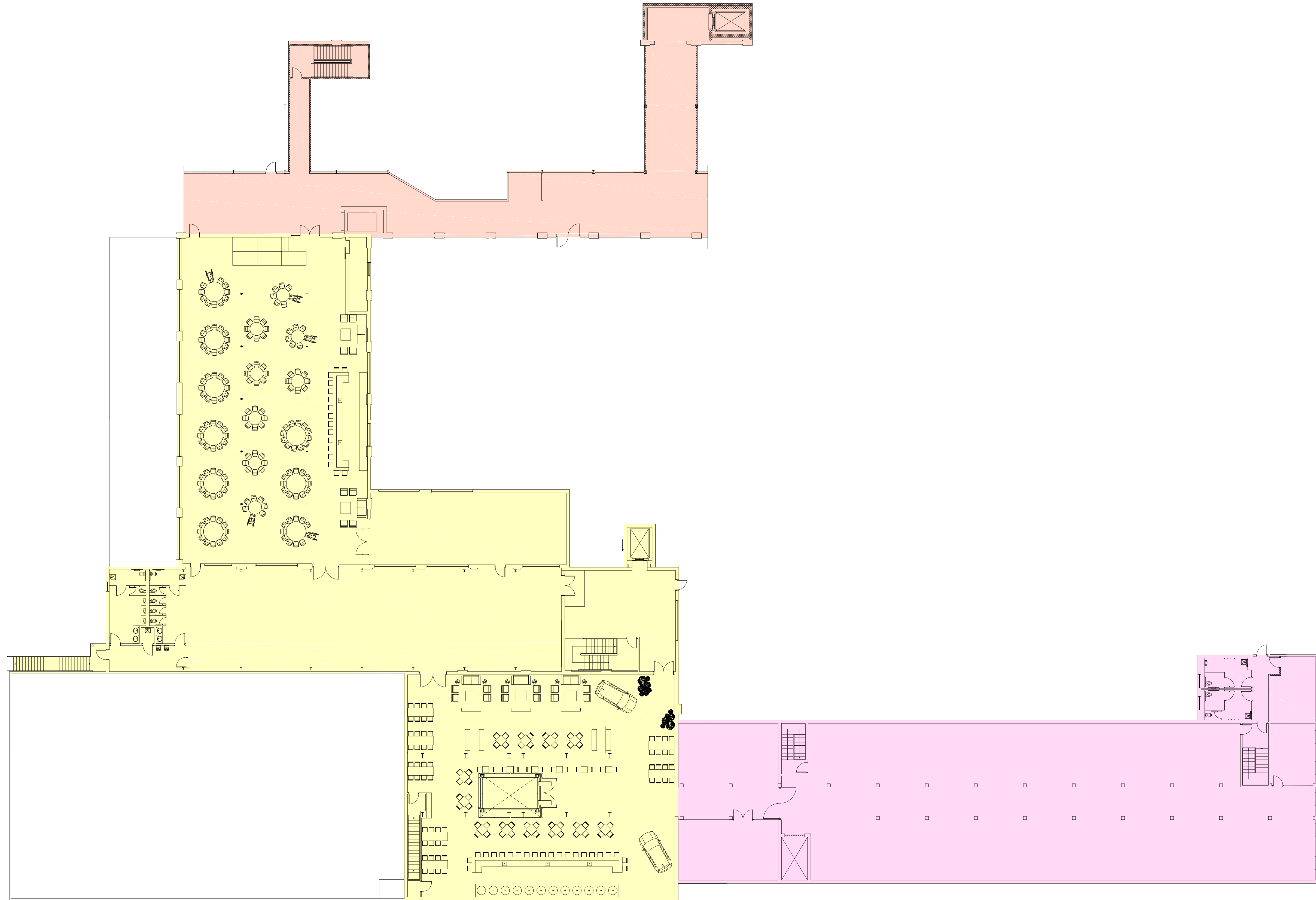
REV.	MODIFICATION	DATE	AUTHOR	DEVELOPMENT
REV02	UPDATED LAYOUT	09/21/2021	RODRIGO	
REV01	UPDATED LAYOUT	09/17/2021	RODRIGO	
REV00	INITIAL REGISTRATION	09/15/2021	RODRIGO	

PILLAR PROPERTY
 MANAGEMENT, LLC
 3251 3rd AVENUE, 2nd FLOOR
 NEW YORK - NY
 www.pillarnyc.com

800, UNION AVENUE,
 BRIDGEPORT, CT 06607

CT-800
 ARCHITECTURAL PLAN
 1st FLOOR

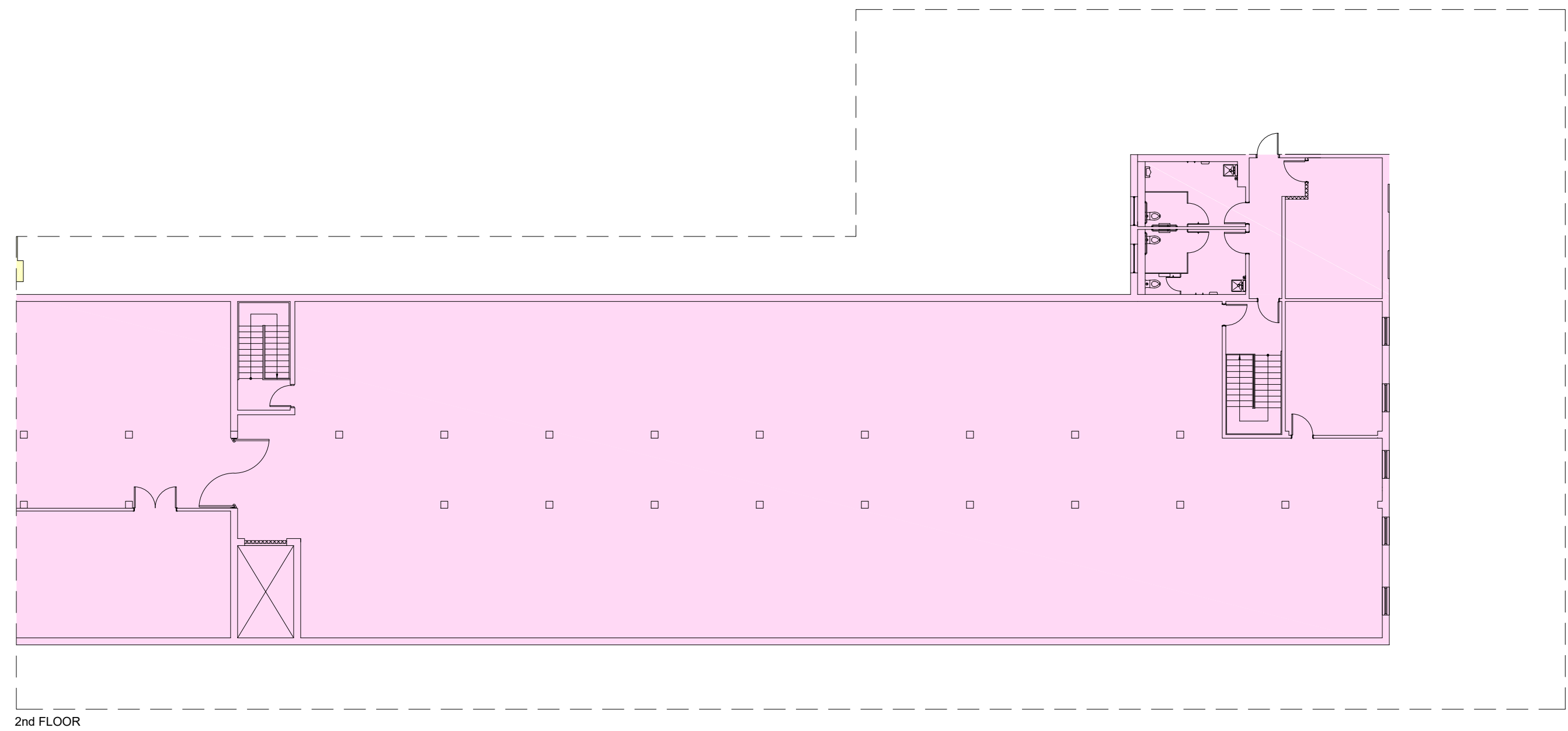
scale	project	drawing	sheet	rev.
-	RODRIGO	RODRIGO	01	
date	file name			
09/15/2021	CT_800 - PRESENTATION-R02.ADWG			



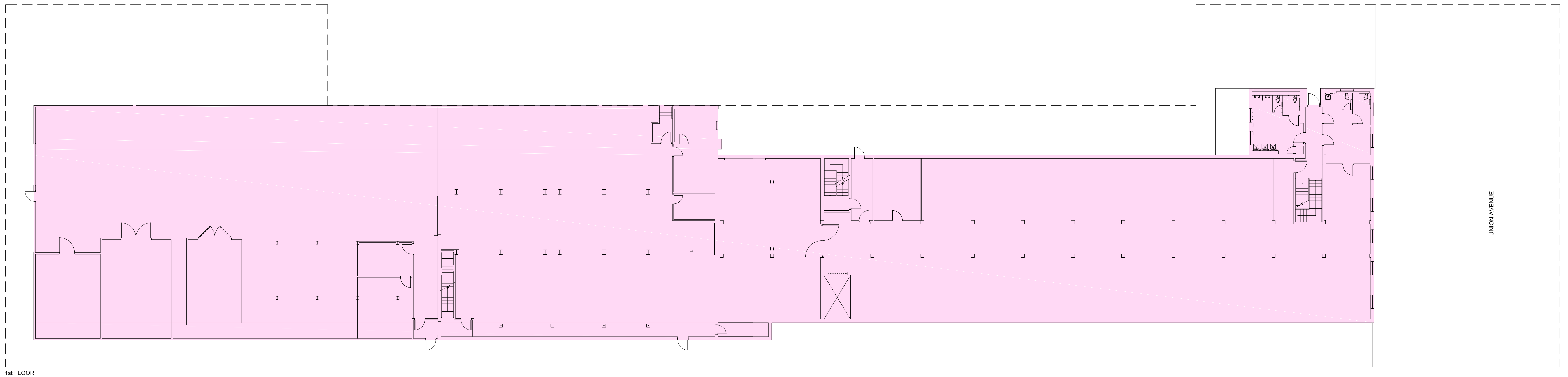
■ BLACK HORSE GARAGE RESTAURANT
■ BLACK HORSE GARAGE
■ LOADING

REV02 UPDATED LAYOUT 09/21/2021 RODRIGO REV01 UPDATED LAYOUT 09/17/2021 RODRIGO REV00 INITIAL REGISTRATION 09/15/2021 RODRIGO		PILLAR PROPERTY MANAGEMENT LLC 3251 3rd AVENUE, 2nd FLOOR NEW YORK - NY www.pillarnyc.com	800, UNION AVENUE, BRIDGEPORT, CT 06607	CT-800 ARCHITECTURAL PLAN 2nd FLOOR	scale - project RODRIGO drawing RODRIGO sheet 02 rev:
REV.	MODIFICATION	DATE	AUTHOR	DEVELOPMENT	PROJECT
					02

date 09/15/2021 file name CT_800 - PRESENTATION-R02.A.DWG



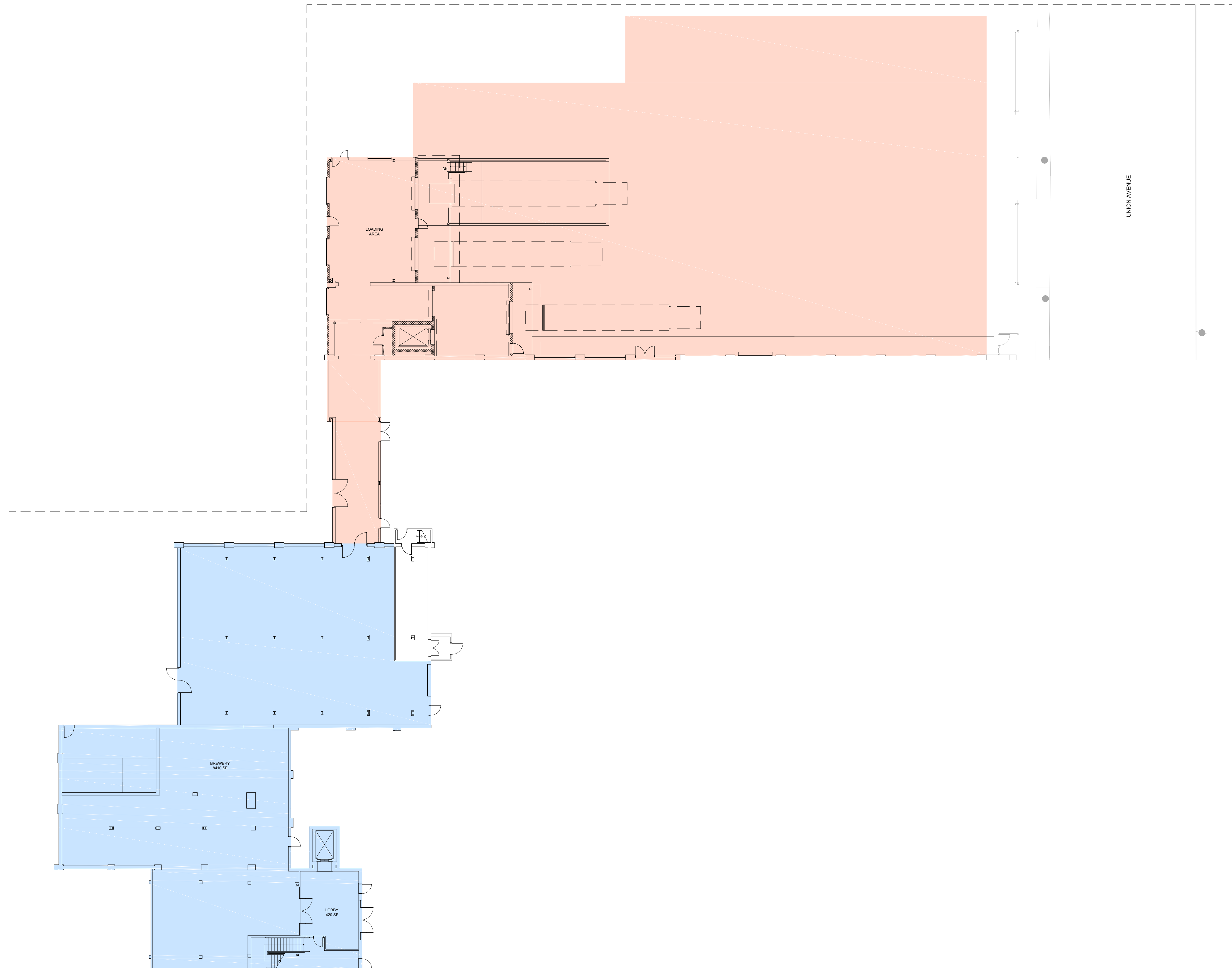
2nd FLOOR



1st FLOOR

BLACK HORSE GARAGE

				PILLAR PROPERTY MANAGEMENT LLC 3251 3rd AVENUE, 2nd FLOOR NEW YORK - NY www.pillarnyc.com		800, UNION AVENUE, BRIDGEPORT, CT 06607		CT-800 ARCHITECTURAL PLAN BLACK HORSE GARAGE - 1st & 2nd FLOOR	
REV02	UPDATED LAYOUT	09/21/2021	RODRIGO	scale	project	drawing	sheet	rev:	
REV01	UPDATED LAYOUT	09/17/2021	RODRIGO	-	RODRIGO	RODRIGO	03		
REV00	INITIAL REGISTRATION	09/15/2021	RODRIGO	date	file name				
REV.	MODIFICATION	DATE	AUTHOR	09/15/2021	CT_800 - PRESENTATION-R03.ADWG				
				DEVELOPMENT	PROJECT				



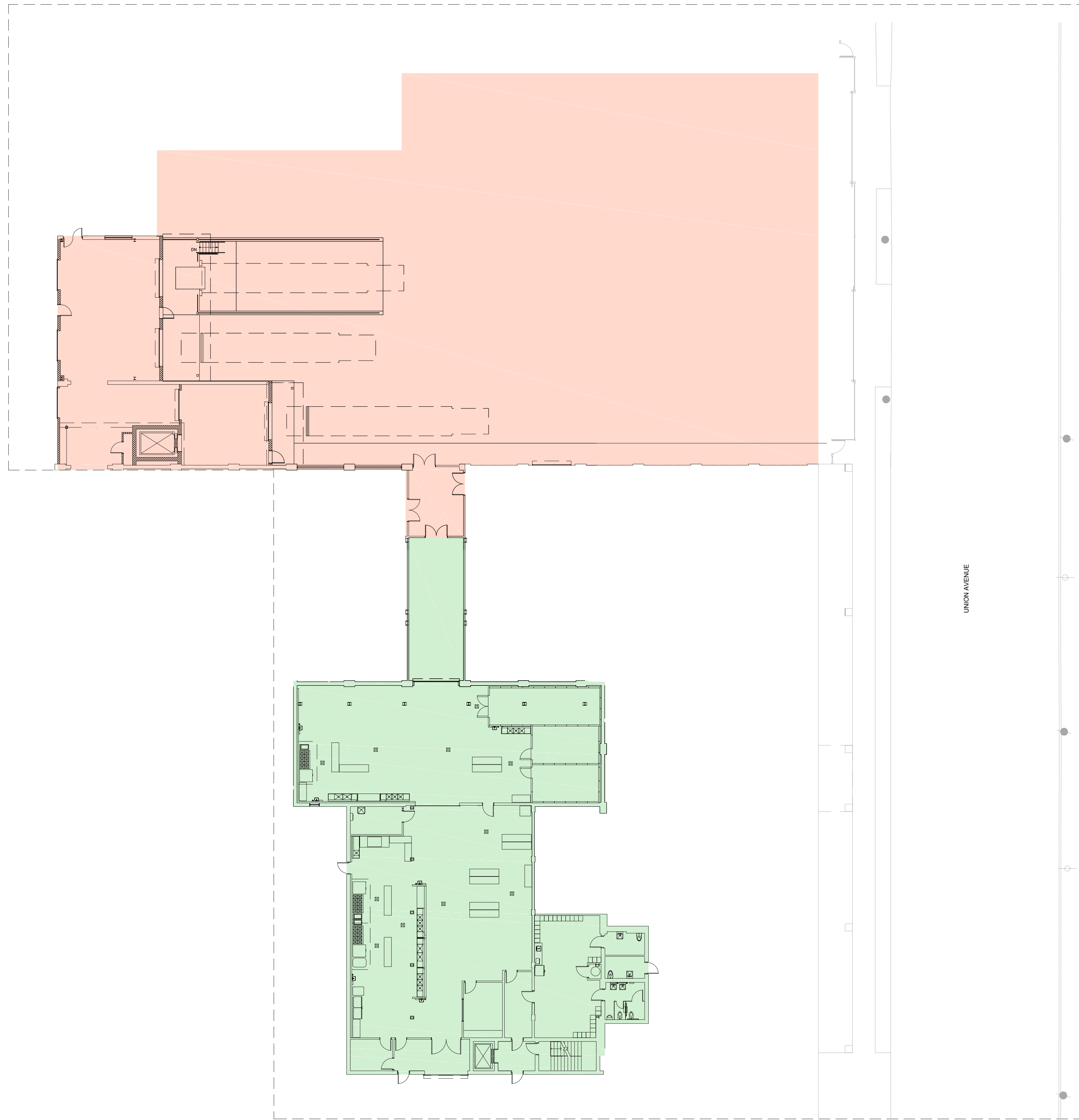
■ EAST END BREWERY
■ LOADING

REV.	MODIFICATION	DATE	AUTHOR	DEVELOPMENT
REV02	UPDATED LAYOUT	09/21/2021	RODRIGO	
REV01	UPDATED LAYOUT	09/17/2021	RODRIGO	
REV00	INITIAL REGISTRATION	09/15/2021	RODRIGO	

PILLAR PROPERTY
 MANAGEMENT LLC
 325 1/2 3rd AVENUE, 2nd FLOOR
 NEW YORK - NY
 www.pillarnyc.com

800, UNION AVENUE,
 BRIDGEPORT, CT 06607

CT-800 ARCHITECTURAL PLAN EAST END BREWERY - 1st FLOOR				
scale	project	drawing	sheet	rev.
-	RODRIGO	RODRIGO	04	
date	file name			
09/15/2021	CT_800 - PRESENTATION-R03-A.DWG			



■ COMMERCIAL KITCHEN
■ LOADING

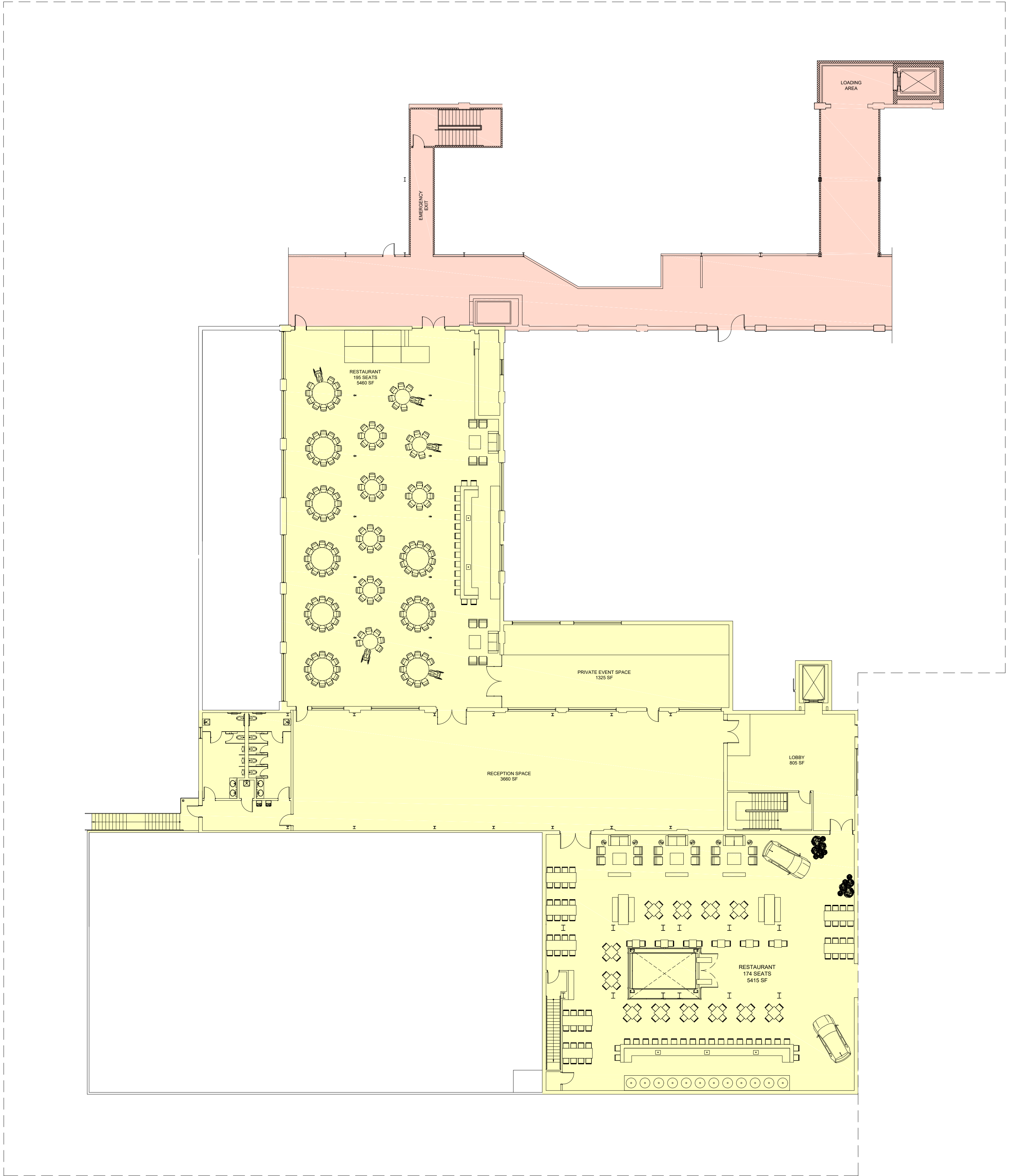
REV.	MODIFICATION	DATE	AUTHOR	DEVELOPMENT
REV02	UPDATED LAYOUT	09/21/2021	RODRIGO	
REV01	UPDATED LAYOUT	09/17/2021	RODRIGO	
REV00	INITIAL REGISTRATION	09/15/2021	RODRIGO	

PILLAR PROPERTY
 MANAGEMENT LLC
 3251 3rd AVENUE, 2nd FLOOR
 NEW YORK - NY
 www.pillarnyc.com

800, UNION AVENUE,
 BRIDGEPORT, CT 06607

CT-800
 ARCHITECTURAL PLAN
 COMMERCIAL KITCHEN - 1st FLOOR

scale	project	drawing	sheet	rev.
-	RODRIGO	RODRIGO	05	
date	file name			
09/15/2021	CT_800 - PRESENTATION-R02.ADWG			



BLACK HORSE GARAGE RESTAURANT
 LOADING

REV.	MODIFICATION	DATE	AUTHOR	DEVELOPMENT
REV02	UPDATED LAYOUT	09/21/2021	RODRIGO	
REV01	UPDATED LAYOUT	09/17/2021	RODRIGO	
REV00	INITIAL REGISTRATION	09/15/2021	RODRIGO	

PILLAR PROPERTY
 MANAGEMENT, LLC
 325 1/2 3rd AVENUE, 2nd FLOOR
 NEW YORK - NY
 www.pillarmc.com

800, UNION AVENUE, BRIDGEPORT, CT 06607

PROJECT

CT-800 ARCHITECTURAL PLAN BLACK HORSE GARAGE RESTAURANT - 2nd FLOOR				
scale	project	drawing	sheet	rev.
-	RODRIGO	RODRIGO	06	
date	file name			
09/15/2021	CT_800 - PRESENTATION-R02-A.DWG			



PLANNING & ZONING COMMISSION APPLICATION

File No. 21-29
REC'D IN THE OPT. ZONING DEPT. ON 5/26/21

MAY 26 '21 PM 10:01

- 1. NAME OF APPLICANT: Hartford HealthCare - St. Vincent's Medical Center
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 2800 Main Street, Bridgeport, CT 06606
4. Assessor's Map Information: Block No. 2120 Lot No. 1/X
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section:
6. Description of Property (Metes & Bounds): East side of Main Street between Hawley Ave. and Hunting St.
7. Existing Zone Classification: MUEM
8. Zone Classification requested: Same
9. Describe Proposed Development of Property: Hospital

Approval(s) requested: Install 199.16 sf sign on terrace elevation facing Rt. 8. See attached drawings for details.

Signature: Karen T. Goyette Date: 5/24/21
Print Name: KAREN T. goyette

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Tracy Becker Date: 2021.05.21 08:40:04 -04'00'
Print Name: Tracy Becker

Mailing Address: Sign Pro Inc., 60 Westfield Drive, Plantsville, CT 06479 (Sign Contractor)
Phone: 860.229.1812 Cell: 860.426.3033 Fax: 860.223.1812
E-mail Address: tracy@signpro-usa.com

\$ 595.00 Fee received Date: 5/26/21 Clerk: DR
ck 1252

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
Completed Site / Landscape Plan
Written Statement of Development and Use
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
A-2 Site Survey
Drainage Plan
Property Owner's List
Building Floor Plans
Building Elevations
Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION
Karen T. Goyette Karen T. Goyette 5/24/21
Print Owner's Name Owner's Signature Date



Sign Pro Inc.
60 Westfield Drive
Plantsville, CT 06479 USA

P. 860.229.1812
F. 860.223.1812

CTLIC# ELC.0196771-C7
CTLIC# MCO.0903117

signpro-usa.com

Bridgeport Planning & Zoning Commission

Statement regarding Hartford HealthCare St. Vincent's Medical Center, 2800 Main Street

Thank you to the Planning & Zoning Commission for reviewing Hartford HealthCare's application for signage at St. Vincent's Medical Center (SVMC) located at 2800 Main St. Bridgeport, CT. In October 2019, Hartford HealthCare (HHC) acquired St. Vincent's Medical Center. At Hartford HealthCare our mission is to improve the health and healing of the people and communities we serve. Over the past year and a half since Hartford HealthCare acquired SVMC, we have invested over \$175m in Fairfield County, including a world class Orthopaedic Institute located within SVMC. We have also added approximately 45 new sites of care and 240 new physicians in Fairfield County. We not only invest in the communities we serve, we also partner with them to create long lasting relationships. For example, Hartford HealthCare has sponsored the "Hartford HealthCare Amphitheater" located right here in Bridgeport. We are proud of the mission and vision we support, and we want the people in the community to know we are here for them. Our logo and signage are part of the HHC brand. Within this application, please see the renderings we are putting forth to this Commission for approval. We are proposing to install a 199.16 square foot sign on the terrace elevation as shown on the attached drawings. This sign will face Route 8 and will offer drivers way finding for the hospital. Thank you again for your support of this application.

Hartford HealthCare

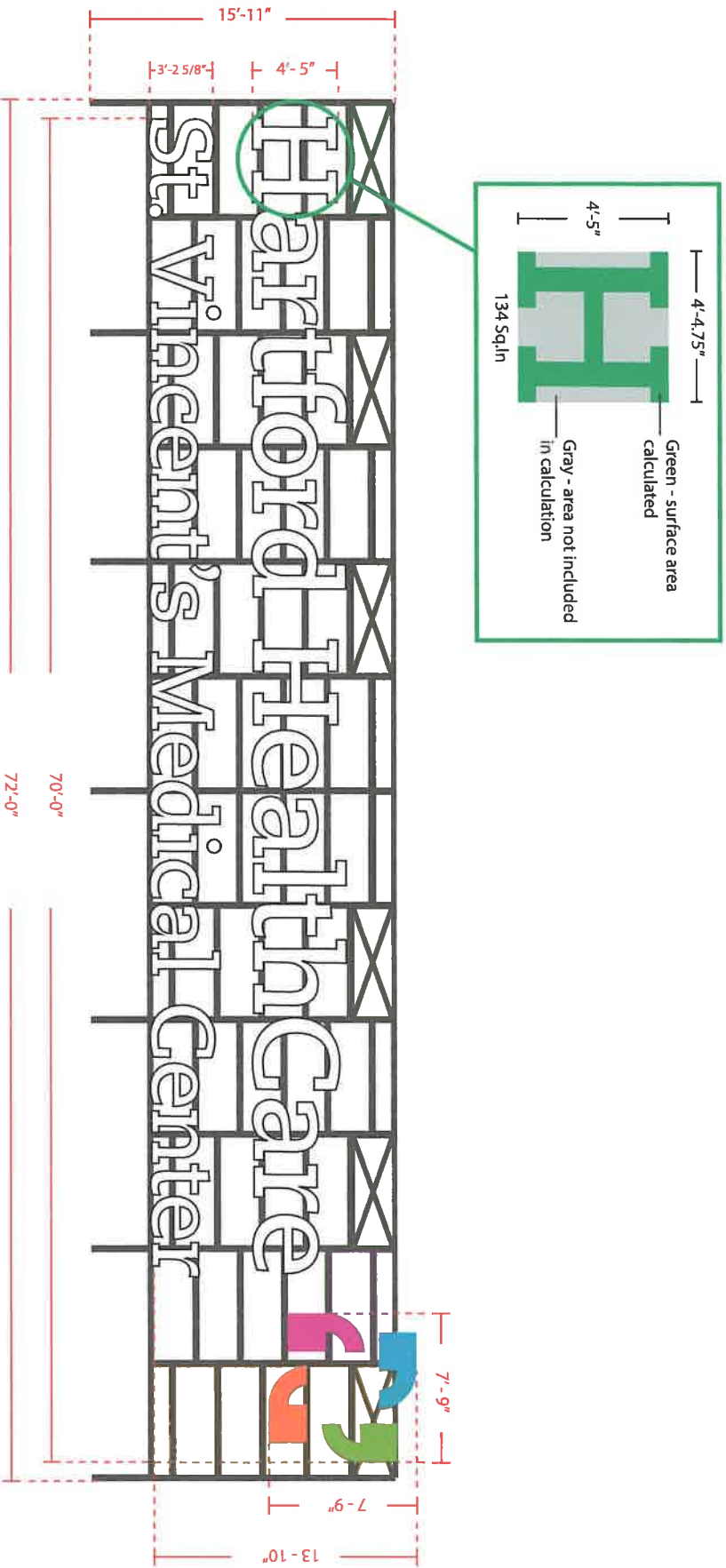
The logo for Hartford HealthCare, featuring a stylized 'H' composed of four curved segments in blue, green, orange, and pink.

Hartford HealthCare

St. Vincent's Medical Center - Terrace Sign • Version 5 • Job# 57524 • May 6, 2021

 **SIGN PRO**
60 Westfield Drive
Plainville, CT 06479
860.229.1812

signpro-usa.com



Signage Area: 19916 SF

Illuminated Channel Letters
Mounted to Terrace

Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

PRINT SIGN DATE
 @ COPYRIGHT 2014, BY SIGN PRO INC. ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF SIGN PRO INC.
 AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION FROM SIGN PRO INC.



Project Address:
 Hartford HealthCare (St. Vincent's)
 2800 Main St
 Bridgeport, CT

SPI WO #: _____
 Issue Date: 3/17/2021

Salesperson: Pete Rappocicco
 Designer: Gigi

DRAWINGS ARE NOT TO SCA
 UNLESS OTHERWISE NOTED

Revisions:
 R1: GD 3/26/2021
 R2: GD 3/26/2021
 R3: GD 4/28/2021
 R4: SB 5/6/21

Color Key:

	PMS 313c
	PMS 377c
	PMS 173c
	PMS 2405c

60 Westfield Drive
 Plantsville, CT 06479
 860.229.1812







Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgeport, CT

SPI WO #: -----
Issue Date: 3/17/2021

Salesperson: Pete Rappoccio
Designer: Gigi

DRAWINGS ARE NOT TO SCA
UNLESS OTHERWISE NOTED

Revisions:
RV1: GP 3/26/2021
RV2: GP 3/26/2021
RV3: GP 4/6/2021
RW: SB 3/6/21

Color Key:
 PMS 313c
 PMS 377c
 PMS 173c
 PMS 2405c

SIGN TYPE
Channel Letter
PAGE
4 of 4



60 Westfield Drive
Plantsville, CT 06479
860.229.1812


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Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

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Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

PRINT

SIGN

DATE

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60 Westfield Drive
Plantsville, CT 06479
860.229.1812



SIGN TYPE
Mock Up
PAGE
2 of 4



Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgewater, CT

SPI WO #: -----
Issue Date: 3/18/2021

Salesperson: Pete Rappoccio
Designer: Gigi

DRAWINGS ARE NOT TO SCA
UNLESS OTHERWISE NOTED

Revisions:
RVA: GD 4/26/2021
RVC: GD 4/26/2021
RVA: GD 4/26/2021
RVA: SB 5/6/21

Color Key:

- PMS 313c
- PMS 377c
- PMS 173c
- PMS 2405c

Property Owner's within 100'

ST VINCENTS DEVELOPMENT INC
002979 MAIN ST
BRIDGEPORT, CT 06606

STOKES MICHAEL J SR & DEBORAH
000280 GURDON ST
BRIDGEPORT, CT 06606

ST. VINCENT'S MEDICAL CENTER
002800 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002800 MAIN ST
BRIDGEPORT, CT 06604

PADILLA AIESHA
000184 MARTIN TER
BRIDGEPORT, CT 06606

AMARAL MANUEL J & PHILOMENA
000636 WEST TAFT AVE
BRIDGEPORT, CT 06604

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

ONEIL PAULINE B & REVEREND
000199 HAWLEY AVE
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENT DEVELOPMENT CORP
002800 MAIN ST
BRIDGEPORT, CT 06606

JEANCALIXTE ALFRED ET AL
000265 HAWLEY AVE
BRIDGEPORT, CT 06606

ENNIS VALERIE
PO BOX 5080
BRIDGEPORT, CT 06610

LYDDY CHRISTOPHER J&BARBARA
270 GURDON ST
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

CRESPO JOAQUIN
002857 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

VIRGO CLIVE
000255 HAWLEY AVE
BRIDGEPORT, CT 06606

ONWAUSOANYA OBIJULUM R
000225 HAWLEY AVE
BRIDGEPORT, CT 06606

NORTHBRIDGE HEALTH CARE
2875 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENT'S MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

COLLAZO MARIA
000066 HUNTING ST
BRIDGEPORT, CT 06606

ST VINCENT'S MEDICAL CENTER
002800 MAIN ST
BRIDGEPORT, CT 06606

ST. VINCENT'S DEVELOPMENT CORP
2800 MAIN STREET
BRIDGEPORT, CT 06606

CIRILO DOLORES & MARIA
136 HAWLEY AVE
BRIDGEPORT, CT 06606

FEOLA GENE N & EVELYN
49 LAUREL ST
TRUMBULL, CT 06611

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENT MEDICAL CENTER
88 HUNTING STREET
BRIDGEPORT, CT 06606

PROVENZANO LOUIS
309 HOUSATONIC AVE
STRATFORD, CT 06615

SALVUCCI VALERIE F
PO BOX 6032
BRIDGEPORT, CT 06606

SIMILIEN ANTOINE & MARIE D
000104 HUNTING ST
BRIDGEPORT, CT 06606

VILLAFANE ANTONY
000260 GURDON ST
BRIDGEPORT, CT 06610

VIRGILE FRANCOISE
248 GURDON ST
BRIDGEPORT, CT 06606

LUNA EUSEBIO & MARIA LUNA
000140 HAWLEY AVE
BRIDGEPORT, CT 06606

NORTHBRIDGE HEALTH CARE
002875 MAIN ST
BRIDGEPORT, CT 06606

ANTON FREDERICK W III ET AL
159 HAWLEY AVE
BRIDGEPORT, CT 06610

OTERO RAFAEL & IVONNE PEREZ
169 HAWLEY AVENUE
BRIDGEPORT, CT 06606

AFM ENTERPRISES INC
PO BOX 6321
BRIDGEPORT, CT 06606

HESKE RONALD W & NANCY A
000177 HAWLEY AVE
BRIDGEPORT, CT 06606

FRANCO DALTON E
209 HAMLEY AVE
BRIDGEPORT, CT 06610

ST VINCENTS MEDICAL CENTER
2979 MAIN ST
BRIDGEPORT, CT 06606

ONWUASOANYA OBJAJULUM
000237 HAWLEY AVE
BRIDGEPORT, CT 06606

RYAN ROSEMARY
146 SHELTON RD
TRUMBULL, CT 06611

BONHOMME ILARION & LUCIENNE
002756 MAIN ST
BRIDGEPORT, CT 06606

ABD INC
323 NORTH AVENUE
BRIDGEPORT, CT 06606

(21-29)

RECEIPT (REC-002546-2021)
FOR CITY OF BRIDGEPORT

BILLING CONTACT
Tracy Becker
Sign Pro

PAID



PZC Hearing - June 28, 2021

Payment Date: 06/03/2021

Reference Number	Fee Name	Transaction Type	Payment Method	Amount Paid
PZC-000800-2021	Special Permit & Site Plan Review	Fee Payment	Check #1252	\$520.00
	State Conservation Fee	Fee Payment	Check #1252	\$60.00
	Tech Fee	Fee Payment	Check #1252	\$15.00
			SUB TOTAL	\$595.00
			TOTAL	\$595.00

2800 Main St Bridgeport, CT 06606

CERTIFICATE OF INCORPORATION

OF

SVMC HOLDINGS, INC.

1. The name of the corporation is **SVMC Holdings, Inc.** (the "Corporation").
2. The Corporation is organized and shall be operated exclusively for charitable, scientific, literary or educational purposes within the meaning of Section 501(c)(3) of the Internal Revenue Code of 1986, as amended (the "Code"). The Corporation shall be operated as a component part of the integrated health care delivery system of which the parent is Hartford HealthCare Corporation (the "System"). The nature and activities to be conducted, or the purposes to be promoted or carried out by the Corporation, are as follows:
 - 2.1. establishing and maintaining one or more hospitals or other health care facilities in the City of Bridgeport, Connecticut and in additional communities served by the Corporation;
 - 2.2. providing health and wellness services and promoting and improving the general health and welfare of the communities served by the Corporation;
 - 2.3. engaging in medical and scientific research, and in educational and other activities to promote and improve the general health and welfare of the communities served by the Corporation;
 - 2.4. making grants to organizations within the System recognized as exempt from federal income tax under Section 501(c)(3) of the Code;
 - 2.5. conducting activities, either directly or through related organizations recognized as exempt from federal income tax under Section 501(c)(3) of the Code, to raise funds in furtherance of the foregoing purposes of the Corporation, subject, however, to all limitations on the nature or extent of such activities applicable to organizations recognized as exempt from federal income tax under Section 501(c)(3) of the Code; and
 - 2.6. in furtherance of the foregoing, engaging in any lawful act or activity for which corporations may be formed under the Revised Nonstock Corporation Act of the State of Connecticut (the "Act") as the same may be amended from time to time.
3. The Corporation is nonprofit and shall not have or issue shares of stock or make distributions or pay dividends.
4. The Corporation shall have a single member, namely, Hartford HealthCare Corporation, a Connecticut nonstock corporation (the "Member"). The Member shall have the exclusive power to elect directors of the Corporation ("Directors") and to remove Directors with or without cause, shall have the exclusive power to adopt, amend, and repeal the Bylaws of the Corporation (the "Bylaws"), and shall have such other rights, powers, and responsibilities as are accorded to members under the Act, this Certificate of Incorporation, or the Bylaws.
5. Notwithstanding any other provision of this Certificate of Incorporation to the contrary, the Corporation shall not carry on any activities not permitted to be carried on: (a) by

an organization exempt from federal income tax under Section 501(a) of the Code as an organization described in Section 501(c)(3) of the Code; or (b) by an organization, contributions to which are deductible under Section 170(c)(2) of the Code.

6. The net earnings of the Corporation or any part thereof may not be distributed to or inure to the benefit of any private individual or a Director or officer of the Corporation. However, nothing herein shall restrict the right of the Corporation to reasonably compensate any officer, Director or other individual for services rendered to the Corporation or to reimburse any officer, Director or other individual for expenses, disbursements or liabilities properly made or incurred, on account of that individual's service to the Corporation.

7. A substantial part of the activities of the Corporation shall not consist of the carrying on of propaganda or attempting to influence legislation except to the extent permitted by Section 501(h) of the Code. The Corporation may not participate in or intervene in (including the publication or distribution of statements) any political campaign on behalf of (or in opposition to) any candidate for public office.

8. Upon dissolution of the Corporation, the Board shall dispose of and distribute the assets remaining, after payment of all liabilities, exclusively for the purposes of the Corporation, to the Member exclusively for its charitable, scientific, literary or educational purposes, provided the Member shall be then exempt from federal taxation as an organization described in Section 501(c)(3) of the Code. If the Member shall not be so qualified as an organization described in Section 501(c)(3) of the Code, then the Board shall dispose of and distribute the assets remaining, after payment of all liabilities, exclusively for the charitable, scientific, literary or educational purposes of the Corporation, to one or more organizations as shall be then exempt from federal taxation as an organization or organizations described in Section 501(c)(3) of the Code, in such proportions and amounts and in such manner as the Board shall determine. No part of the Corporation's assets shall ever be distributed to its Directors or officers, or inure to the benefit of any private individual.

9. The personal liability of a Director of the Corporation to the Corporation for monetary damages for breach of duty as a Director of the Corporation shall be limited to the fullest extent permitted by the Act or any other applicable laws presently or hereafter in effect. Without limiting the effect of the preceding sentence, no Director of the Corporation shall be personally liable to the Corporation for monetary damages for breach of duty as a Director of the Corporation in an amount greater than the compensation received by the Director for serving the Corporation during the year of the violation if such breach did not: (i) involve a knowing and culpable violation of law by the Director; (ii) enable the Director, or an associate, as defined in Section 33-840 of the Connecticut General Statutes, to receive an improper personal economic gain; (iii) show a lack of good faith and a conscious disregard for the duty of the Director to the Corporation under circumstances in which the Director was aware that his or her conduct or omission created an unjustifiable risk of serious injury to the Corporation; or (iv) constitute a sustained and unexcused pattern of inattention that amounted to an abdication of the Director's duty to the Corporation. No amendment to, or modification or repeal of, this Article 9 shall adversely affect any right or protection of a Director of the Corporation existing hereunder with respect to any act or omission occurring prior to such amendment, modification or repeal. Nothing contained in this Article 9 shall be construed to deny to the Directors of the Corporation the benefit of Section 52-557m of the Connecticut General Statutes as in effect at the time of the violation.

10. The Corporation shall, to the fullest extent permitted by law, indemnify any Director, officer, or committee member of the Corporation (and, to the extent provided in a resolution of the Member's Board of Directors or by contract, may indemnify any employee, agent, or volunteer of the Corporation) (collectively, the "Agents") who was or is a party to or threatened to be made a party to any threatened, pending, or completed action, suit, or proceeding by reason of the fact that the person is or was an Agent, or is or was serving at the request of the Corporation as an Agent of another corporation, partnership, joint venture, trust, or other enterprise, whether for-profit or not-for-profit, against expenses, including attorney's fees (other than taxes, penalties, or expenses of correction), judgments, penalties, fines, and amounts paid in settlement actually and reasonably incurred by the Agent in connection with the action, suit, or proceeding if the Agent acted in good faith and in a manner that the Agent reasonably believed to be in or not opposed to the best interests of the Corporation, and with respect to any criminal proceeding, if the Agent had no reasonable cause to believe his or her conduct was unlawful.

11. The name and address of the initial registered agent of the Corporation is Hartford HealthCare Corporation, 85 Jefferson Street, Legal Department, Hartford, CT 06106.

12. References in this Certificate of Incorporation to the Act shall be deemed to include amendments adopted from time to time to such Act, and references to a Section of the Code shall be construed to refer both to such Section and to the regulations promulgated thereunder, as they now exist or as the same may hereafter be amended from time to time (or the corresponding provision of any future United States Internal Revenue Law).



SECRETARY OF THE STATE OF CONNECTICUT

MAILING ADDRESS: COMMERCIAL RECORDING DIVISION, CONNECTICUT SECRETARY OF THE STATE, P.O. BOX 150470, HARTFORD, CT 06115-0470

DELIVERY ADDRESS: COMMERCIAL RECORDING DIVISION, CONNECTICUT SECRETARY OF THE STATE, 30 TRINITY STREET, HARTFORD, CT 06105

PHONE: 860-509-6003

WEBSITE: www.concord-sols.ct.gov

CERTIFICATE OF INCORPORATION
NONSTOCK CORPORATION

FILING #0006251242 PG 01 OF 05 VOL B-02578
FILED 09/25/2018 10:00 AM PAGE 01714
SECRETARY OF THE STATE
CONNECTICUT SECRETARY OF THE STATE

USE INK. COMPLETE ALL SECTIONS. PRINT OR TYPE. ATTACH 8 1/2 X 1

FILING PARTY (CONFIRMATION WILL BE SENT TO THIS ADDRESS)

NAME: Michelle Thompson
ADDRESS: 80 Seymour Street
Legal Department
CITY: Hartford
STATE: CT ZIP: 06102
MAKE CHECKS PAYABLE TO "SECRETARY OF THE STATE"

1. NAME OF CORPORATION:
SVMC Holdings, Inc

THE CORPORATION IS NONPROFIT AND SHALL NOT HAVE OR ISSUE SHARES OF STOCK OR MAKE DISTRIBUTIONS.

2. PLACE A CHECK NEXT TO THE APPROPRIATE STATEMENT:
A. THE CORPORATION SHALL NOT HAVE MEMBERS.
B. THE CORPORATION SHALL ONLY HAVE MEMBERS, WHICH ARE NOT ENTITLED TO VOTE.
C. THE CORPORATION SHALL HAVE ONE CLASS OF MEMBERS.
D. THE CORPORATION SHALL HAVE MULTIPLE CLASSES OF MEMBERS WHICH CLASSES ARE DESIGNATED AS FOLLOWS:
PLEASE NOTE: THE MANNER OF ELECTION AND APPOINTMENT OF MEMBERS ALONG WITH THEIR QUALIFICATIONS AND RIGHTS MAY BE SET FORTH IN THIS CERTIFICATE OR IN THE CORPORATION'S BYLAWS. PLEASE SEE C.G.S. § 33-1055 & -1056.

3. APPOINTMENT OF REGISTERED AGENT: (PLEASE SELECT ONLY ONE A. OR B.)

A. INDIVIDUAL'S AGENT NAME:
BUSINESS ADDRESS: (P.O. BOX UNACCEPTABLE)
RESIDENCE ADDRESS: (P.O. BOX UNACCEPTABLE)
ADDRESS:
CITY:
STATE: ZIP:

B. BUSINESS ENTITY AGENT NAME: HARTFORD HEALTHCARE CORPORATION
ADDRESS: (P.O. BOX UNACCEPTABLE)
ADDRESS: 85 JEFFERSON ST.
LEGAL DEPARTMENT
CITY: HARTFORD
STATE: CT ZIP: 06106

ACCEPTANCE OF APPOINTMENT

SIGNATURE OF AGENT

David Mack VP Legal Affairs

4. THE NATURE OF THE ACTIVITIES TO BE CONDUCTED OR THE PURPOSES TO BE PROMOTED BY THE CORPORATION:

FILING #0006251242 PG 02 OF 05 VOL B-02578
 FILED 09/25/2018 10:00 AM PAGE 01715
 SECRETARY OF THE STATE
 CONNECTICUT SECRETARY OF THE STATE

SEE ATTACHMENT SHEET

5. OTHER INFORMATION:

SEE ATTACHMENT SHEET

6. CORPORATION EMAIL ADDRESS - REQUIRED: (IF NONE, MUST STATE "NONE.")

NONE

7. EXECUTION: CERTIFICATE MUST BE SIGNED BY EACH INCORPORATOR

DATED THIS 25th DAY OF September, 2018

NAME OF INCORPORATOR	ADDRESS	SIGNATURE(S)
Jeffrey A. Flaks	ADDRESS: One State Street Suite 19 CITY Hartford STATE: CT ZIP: 06103	<i>Jeffrey A. Flaks</i>
	ADDRESS: CITY STATE: ZIP:	
	ADDRESS: CITY STATE: ZIP:	
	ADDRESS: CITY STATE: ZIP:	



STATE OF CONNECTICUT
Department of Public Health

In accordance with the provisions of the General Statutes of Connecticut Section 19a-493 the following license to maintain and operate a

General Hospital

LICENSE NO:

77

has been granted to
SVMC HOLDINGS, INC.

d/b/a
ST. VINCENT'S MEDICAL CENTER

Located at
2800 MAIN ST
BRIDGEPORT, CT 06606-4201

For the period from 10/01/2019 to 09/30/2021 .

During the license period and in accordance with the Regulations of the Connecticut State Agencies, changes to any of the following must be submitted to the Department of Public Health and are subject to the approval of the Department of Public Health:
Maximum number of Beds:

- Hospital beds: 473
- Bassinets: 47



Renée D. Coleman-Mitchell, MPH
Commissioner

Appendix A: Satellite Locations

STATE OF CONNECTICUT
Department of Public Health
LICENSE APPENDIX A: SATELLITE LOCATIONS

General Hospital
LICENSE NO:
77
SVMC HOLDINGS, INC.

For the period from 10/01/2019 to 09/30/2021.

ST. VINCENT'S BEHAVIORAL HEALTH CENTER - WESTPORT - 47 LONG LOTS RD, WESTPORT, CT 06880-3828,
ST. VINCENT'S CENTER FOR WOUND HEALING - STRATFORD - 3272 MAIN ST, STRATFORD, CT 06614-4819,
ST. VINCENT'S CENTER FOR WOUND HEALING - TRUMBULL - 115 TECHNOLOGY DR, TRUMBULL, CT 06611-6337,
ST. VINCENT'S OUTPATIENT BEHAVIORAL HEALTH - BRIDGEPORT - 2400 MAIN ST, BRIDGEPORT, CT 06606-5323,
ST. VINCENT'S OUTPATIENT BEHAVIORAL HEALTH - NORWALK - 1 LOIS ST, NORWALK, CT 06851-4404



City of Bridgeport
Zoning Department
PLANNING AND ECONOMIC DEVELOPMENT

45 Lyon Terrace • Bridgeport, Connecticut 06604
Telephone (203) 576-7217
Fax (203) 576-7213

June 10, 2021

HARTFORD HEALTHCARE
ST VINCENT'S MEDICAL CENTER
C/O TRACY BECKER
60 WESTFIELD DRIVE
PLANTSVILLE, CT 06479
FILE: 21-29

RE: 2800 MAIN STREET

Dear Tracy Becker:

This is to notify you that the Planning & Zoning Commission of the City of Bridgeport, CT has scheduled a public hearing **Monday, June 28, 2021 at 6:30pm.**

You or your authorized representative must participate in this hearing which will be held **via Zoom video/teleconference.** On the date indicated please use the direct link below.

<https://zoom.us/j/98015718434>

Meeting ID: 980 1571 8434

Dial in (toll-free): (877) 853-5257 or (888) 475-4499

In accordance with Section 14-2-4C; 14-3-4C; 14-4-2C; or 14-7-3b of the Zoning Regulations of the City of Bridgeport you are required to **notify only the abutting property owners** adjacent to the property lines on the sides and the rear of the property by certified mail (**10 days prior** to the hearing) and provide proof to the Chairperson at the beginning of your presentation by showing the green signature cards and/or the dated receipts from the Post Office.

(See form enclosed). This form is a courtesy. If the wording is not to your liking or is inaccurate you may use your own form of notification to the abutters.

You are also required to post **public hearing signs** on the referenced property (**7 days prior** to the hearing). We will email or call you when these signs are ready to be picked up.

Cordially,

Dennis Buckley, Clerk
Planning & Zoning Commission

DB/gb

(21-29)

Hartford HealthCare

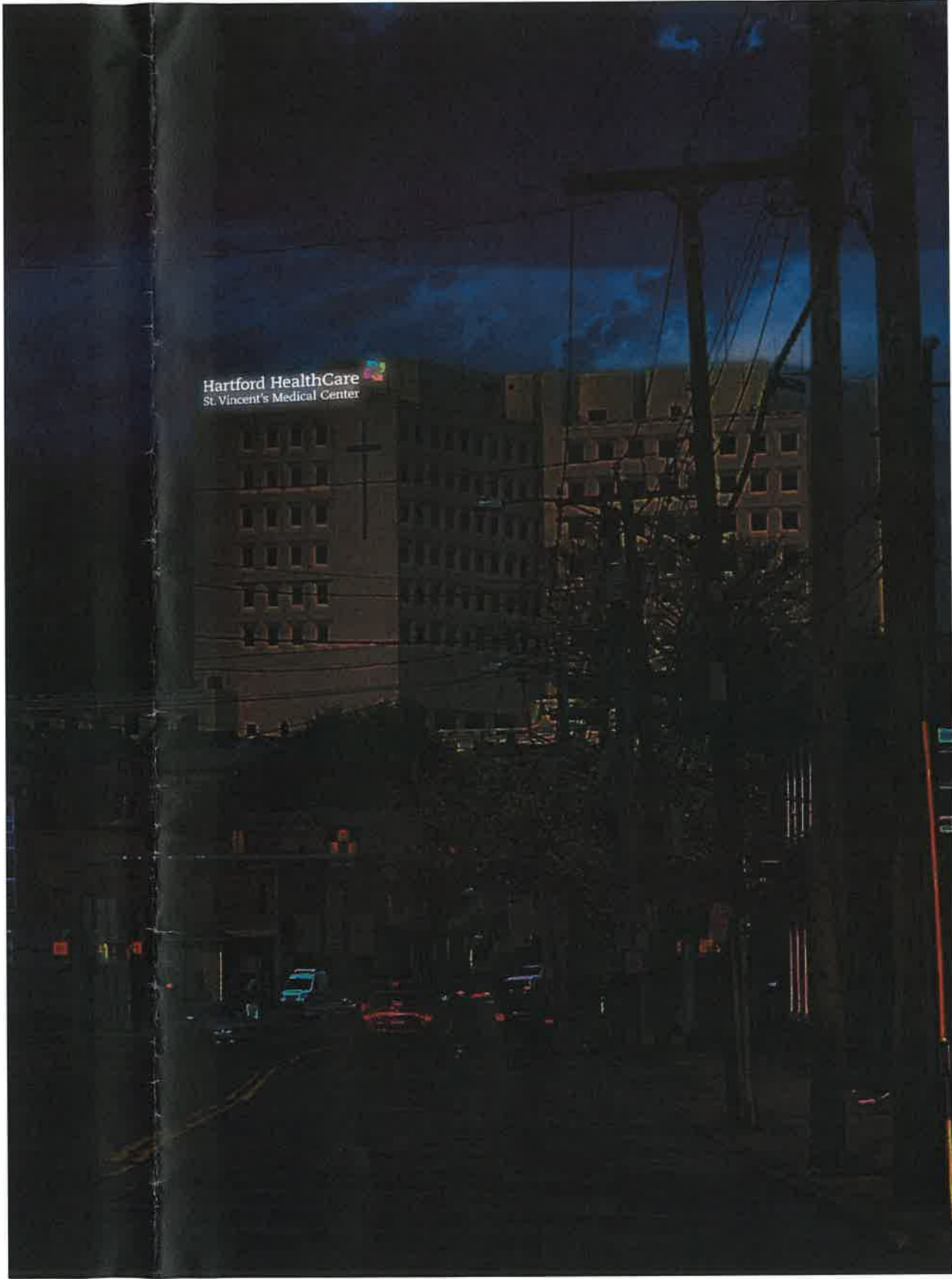
The logo consists of four stylized, overlapping shapes: a blue shape at the top, a green shape on the right, a red shape at the bottom, and a purple shape on the left, all arranged in a circular pattern.

Hartford HealthCare

St. Vincent's Medical Center - Terrace Sign • Version 5 • Job# 57524 • May 6, 2021



60 Westfield Drive
Plantsville, CT 06479
860.229.1812



Project Address:
 Hartford HealthCare (St. Vincent's)
 2800 Main St
 Bridgeport, CT

SPI WO #: -----
 Issue Date: 3/18/2021

Salesperson: Pete Rappoccio
 Designer: Gigi

DRAWINGS ARE NOT TO SCALE
 UNLESS OTHERWISE NOTED

Revisions:
 RV1: GD 3/26/2021
 RV2: GD 3/26/2021
 RV3: GD 4/26/2021
 RV4: SB 5/6/21

Color Key:
 PMS 313c
 PMS 377c
 PMS 173c
 PMS 2405c

Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT


 signpro-usa.com

60 Westfield Drive
 Plantsville, CT 06479
 860.229.1812

SIGN TYPE
Mock Up
 PAGE
2 of 4

PRINT

SIGN

DATE

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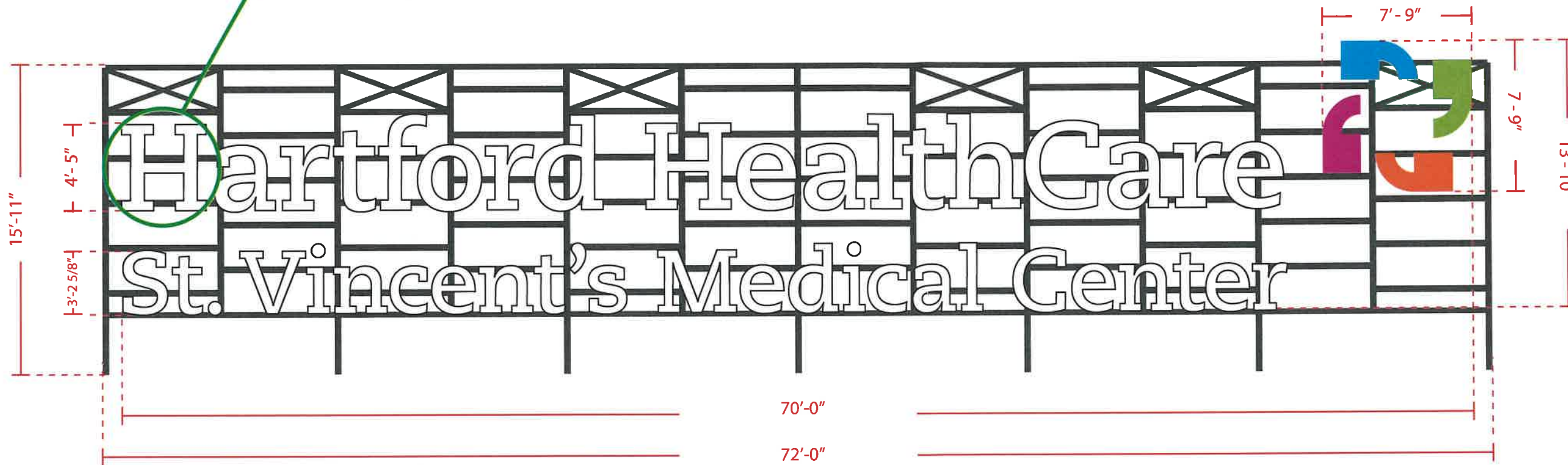
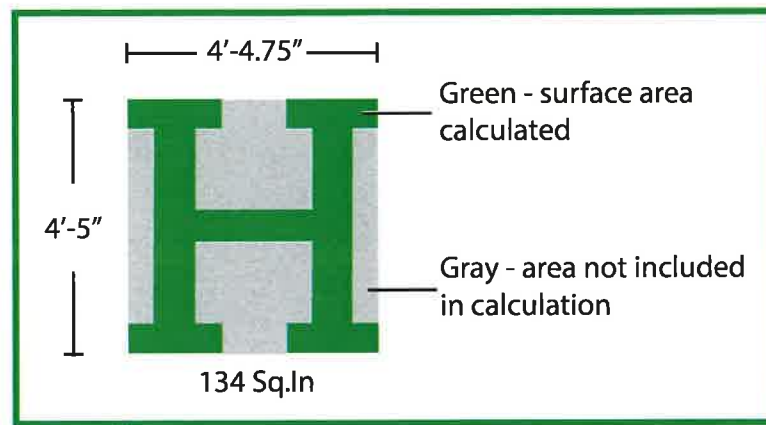
Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgeport, CT

SPI WO #: ----
Issue Date: 3/17/2021

Salesperson: Pete Rappoccio
Designer: Gigi

DRAWINGS ARE NOT TO SCALE
UNLESS OTHERWISE NOTED

Revisions:
RV1: GD 3/26/2021
RV2: GD 3/26/2021
RV3: GD 4/26/2021
RV4: SB 5/6/21



Signage Area: 199.16 SF

Illuminated Channel Letters
Mounted to Terrace

- Color Key:
- PMS 313c
 - PMS 377c
 - PMS 173c
 - PMS 2405c

Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

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SIGN TYPE

Channel Letters

PAGE

3 of 4





Project Address:
 Hartford HealthCare (St. Vincent's)
 2800 Main St
 Bridgeport, CT

SPI WO #: -----
 Issue Date: 3/17/2021

Salesperson: Pete Rappoccio
 Designer: Gigi

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 RV4: SB 5/6/21

Color Key:
 PMS 313c
 PMS 377c
 PMS 173c
 PMS 2405c

Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

PRINT

SIGN

DATE

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 Plantsville, CT 06479
 860.229.1812



SIGN TYPE

Channel Letters

PAGE

4 of 4



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: SVMC Holdings Inc.
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 2800 Main Street, Bridgeport, CT 06606
4. Assessor's Map Information: Block No. 2120 Lot No. 1/X
5. Amendments to Zoning Regulations: (indicate) Article: 11 Section: 11-7-3.j
6. Description of Property (Metes & Bounds): N/A
7. Existing Zone Classification: MU-EM
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Proposed amendment to the Bridgeport Zoning Regulations regarding on-premise roof signs on hospital buildings of at least eight stories

Approval(s) requested: Amendment to the Bridgeport Zoning Regulations

Signature: _____ Date: 08/13/2021
Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: _____

Mailing Address: Attn: Chris Russo, Russo & Rizio, 10 Sasco Hill Road, Fairfield, CT 06824
Phone: (203) 528-0590 Cell: _____ Fax: _____
E-mail Address: chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
Completed Site / Landscape Plan
Written Statement of Development and Use
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
A-2 Site Survey
Drainage Plan
Property Owner's List
Building Floor Plans
Building Elevations
Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

SVMC Holdings Inc. 08/13/2021
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date

PROPOSED AMENDMENT TO SECTION 11-7-3.j OF THE BRIDGEPORT ZONING REGULATIONS

(All changes in bold, italicized and underlined)

Section 11-7-3 Regulations Applying To Signs In All Zones

j. **Roof Signs:** For purposes of this Section 11-7, a roof sign includes any on-premises sign painted, applied or installed above the height of the front wall of a Building. Roof signs require a special permit by the Planning and Zoning Commission. Roof signs installed at the Sports and Entertainment Venue at Harbor Yard as mentioned in Section 11-7-11a, are exempt from the special permit requirement. No roof sign shall exceed a maximum height of three (3) feet above the top of any building on which it is located, measured to include the equipment necessary to securely anchor the sign on the roof of the building in a manner that results in it being certified safe at that location by a licensed professional engineer. No roof sign shall extend more than the width of the building upon which the same shall be constructed.

Notwithstanding this Sec. 11-7-3.j, in the Mixed-Use – Educational/Medical Zone (MU-EM), on-premise roof signs located on hospital buildings of at least eight stories may be installed above the height of the front or side or rear walls of such buildings, shall be exempt from the sign dimension requirements outlined in Sec 11-7-3.d, shall be exempt from the maximum height requirements outlined in Section 11-7-3.e, shall be exempt from the height requirements established in this Section 11-7-3.j, and shall require a special permit by the Planning and Zoning Commission. The maximum height of on-premise roof signs located on hospital buildings of at least eight stories shall be no greater than Twenty (20) feet. The area of any such on-premise roof sign approved under this Section is exempt from, and shall not be counted toward, any otherwise applicable limitations on the total area of signage allowed on such premises.



Colin B. Connor
Elizabeth A. Falkoff*
Robert G. Golger
Michael C. Jankovsky
David K. Kurala
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

August 13, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 066044

Re: Amendment to Section 11-7-3.j of the Bridgeport Zoning Regulations

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the application to amend the Section 11-7-3.j of the Bridgeport Zoning Regulations (the "Regulations").

Narrative

The Petitioner proposes to amend Sec. 11-7-3.j to adjust the regulations concerning on-premise roof signs for hospital buildings. The Commission recently voted to approve amendments to the Regulations for hospital building signage acknowledging the unique circumstances around such use. Hospitals, for better or worse, are a central location for every person. Whether for work, a routine visit, or an emergency, at some point, everyone will need to easily locate a hospital. This not only includes area residents familiar with the location of a hospital, but also persons with no knowledge of this area. Recognizing the uniqueness of hospital buildings, the Commission approved an amendment earlier this year with regards to wall signs.

Similarly, the Petitioner proposes the enclosed text amendment regarding the roof sign Regulations. This Amendment recognizes hospitals as one of the tallest, most prominent buildings of the cityscape and, again, as a central feature of any community. The existing roof sign regulations would be completely unreasonable for hospital buildings. The current regulations restrict the height of a roof sign to a maximum height of Three feet (3') above the top of any building on which it is located. Said restriction is understandable on a two- or three-story building. However, such a restriction on an eight-story hospital building would essentially render a roof sign useless. Sign dimension restrictions detailed in Sec. 11-7-3.d would have a similar effect. The Regulations need to be amended to address the unique characteristics of hospital buildings.

10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

For these reasons, the Petitioner has submitted the proposed text amendment. The proposed text amendment would exempt on-premise roof signs located on hospital buildings of at least eight stories from the sign dimension requirements of Sec. 11-7-3.d and the height requirements of Secs. 11-7-3.e and 11-7-3.j. Instead, the proposed text amendment requires that the height of an on-premise roof sign for such a hospital building shall be no greater than Twenty feet (20'). The width of such a sign would still be restricted by the existing Regulations, which states that no roof sign shall extend more than the width of the building upon which the same shall be constructed. These restrictions would constitute the sign dimension and height requirements of hospital buildings under this Section. In addition, the proposed amendment recognizes the reality that hospital buildings within the City essentially have street frontages on all sides, rather than simply the front. For instance, St. Vincent's Medical Center is bounded by Main Street, Hawley Avenue, Gurdon Street and Hunting Street. For these reasons, the proposed amendment specifies that an on-premise roof sign would be permitted above the front, side or rear wall of said hospital building. Finally, due to the permitted size of the on-premise roof sign, which occupies an entirely peripheral view than signs located near ground level, the proposed text amendment exempts on-premise roof signs from the calculations for the overall signage on a hospital building property. Hospitals will have to provide ground level signage for vehicles and pedestrians entering and exiting their property. At this proximity, the on-premise roof sign on top of a hospital building over eight stories will not even be visible. Instead, said on-premise sign will be visible to those traveling along the major highway thoroughfares that run through the City. The proposed text amendment exempting the on-premise roof sign from the overall signage calculations on a hospital property recognizes that reality.

The proposed text amendment retains power and discretion in the hands of the Planning and Zoning Commission through the Special Permit process. Therefore, the Petitioner will still need to demonstrate that any potential negative impacts have been mitigated. The Commission will have the ability to approve design, layout and analyze impacts to vistas and neighborhoods.

The proposed text amendment is an important addition to the Regulations to recognize the uniqueness of hospital buildings within the context of the Regulations. A roof sign on a two-story building is not comparable to a roof sign on a hospital building over eight stories. The proposed amendment is in accordance with the Plan of Conservation and Economic Development ("POCD"). The POCD recognized that hospital buildings are anchor institutions within the City. They are an incredible service to our community, they represent a growing and significant workforce center and they are a physical presence on the cityscape. The POCD set a goal to work with these institutions to promote their connection to the City. The proposed text

amendments not only add practical regulations regarding on-premise roof signs on hospital buildings, but they also fulfill these goals of the POCD.

For the reasons stated above, the Applicant respectfully requests approval of its application to amend Section 11-7-3.j.

Sincerely,

A handwritten signature in blue ink, appearing to read 'CR', is written over the printed name 'Christopher Russo'.

Christopher Russo