



PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: Benji Wag & Woof LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 105 Island Brook Ave, CT, 06606
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. _____ Lot No. _____
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section: N/A
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 50' x 200' on Island Brook Ave
7. Existing Zone Classification: I-LI
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Dog Daycare and Boarding services franchise - Camp Bow Wow

Approval(s) requested: Special Permit Request

Signature: [Signature] Date: July 1, 2021
 Print Name: Kinsuk Shah

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
 Print Name: _____

Mailing Address: 53 Treadwell Lane, Weston, CT 06883
 Phone: NA Cell: 908-821-8055 Fax: NA
 E-mail Address: kinsuk.shah@campbowwow.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- | | | |
|--|--|---|
| <input type="checkbox"/> Completed & Signed Application Form | <input type="checkbox"/> A-2 Site Survey | <input type="checkbox"/> Building Floor Plans |
| <input type="checkbox"/> Completed Site / Landscape Plan | <input type="checkbox"/> Drainage Plan | <input type="checkbox"/> Building Elevations |
| <input type="checkbox"/> Written Statement of Development and Use | <input type="checkbox"/> Property Owner's List | <input type="checkbox"/> Fee |
| <input type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) | | |

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

<u>Wade Enterprises LLC</u> Print Owner's Name	<u>[Signature]</u> Owner's Signature	<u>7/1/2021</u> Date
_____ Print Owner's Name	_____ Owner's Signature	_____ Date

**Benji Wag & Woof LLC
dba Camp Bow Wow Bridgeport**

**53 Treadwell Lane
Weston, CT 06883
908-821-8055**



**Zoning Administrator
Zoning Department Bridgeport
45 Lyon Terrace
Bridgeport, CT 06604**

Re: Application for special use permit for 105 Island Brook Ave. ("site")

Dear Sir/Madam,

Please accept this letter as written statement in support of our application for special use permit at the site listed above for use as a Camp Bow Wow franchise location, which offers Dog Boarding, Daycare, Grooming and Services facility.

The site has frontage along Island Brook Avenue and is located in a very industrial area surrounded by industrial use facilities, including auto repair shops, industrial machine shops and stone/marble workshops. The use would create minimal to no disturbance to the neighboring properties, additionally there are no residential properties near the site.

We propose to transition the site from an industrial use facility to a pet services facility that houses a Camp Bow Wow franchise location offering dog boarding, daycare and related services. The site provides an ideal location with the space requirements for outdoors and indoors spaces to house a dog boarding and daycare facility. The retail zoning places an undue burden as there are limited standalone retail buildings in the retail zone. Additionally, multi-unit retail buildings may pose stress on neighboring retail business from the activities involved in a dog boarding and daycare service facility.

The proposal would involve demising the existing property with the main bay/warehouse being converted to dog boarding and fenced yards, including outdoor area behind the existing building. The rear of the building provides sufficient outdoor space for our requirements. Lastly, the Bridgeport animal control facility is located almost directly behind the site at 236 Evergreen Street.

We have been working to identify a site within the Bridgeport location, as currently there are no dog daycare or boarding services available to Bridgeport residents. We have faced extreme hardships in meeting the current retail zoning requirements for a viable business, with the size/space needed to operate the same within retail zoning.

Given the above reasons and hardships, we request a special use permit for the facility at the site to enable opening a Camp Bow Wow facility, a nationwide franchise for dog boarding/daycare services facility.

Addressing Special Permit Standards:

- a. The site plan would make no changes to the existing property boundaries and in support of establishing neighborhoods, would bring a new commercial business that would provide a valuable service to Bridgeport and surrounding communities.
- b. Special Permit use will have no impairment to future development, no new buildings or site modifications to impair use
- c. No changes to existing building height and bulk
- d. Property will have adequate fencing, and safety features to ensure adjacent properties are not impacted negatively
- e. No environmental impact to the Long Island Sound, all property drainage will meet current standards and guidelines.
- f. No residential district adjacent to property.
- g. Outdoor signage will be placed on existing building elevation and no new signs will be created on the roof
- h. The proposed improvements to building will seek to create additional property value by adding a retail front and improve overall curb appeal of the property.
- i. Special permit use will not create any disruption that is out of the norm for other businesses in the area, noise level and additional visibility will look to improve visibility for surrounding businesses.
- j. All new signage on premises shall meet identified standards and requirements.

Lastly, to address employee parking and onsite parking, there is additional business parking specific for employee use being allocated 1 block or 300 ft. away at 169 Island Brook ave, as part of the lease agreement for the building. Identified in Section 40 of the lease, also copied below.

“40. Parking: Landlord will provide parking for approximately 15 cars in an open lot located at 169 Island Brook Ave on the next block from the demised premises for Tenant’s sole use.”

Thank you for your consideration on the matter.

Regards,

Kinsuk Shah & Gunjan Shah
Owners, Benji Wag & Woof LLC, dba Camp Bow Wow Bridgeport

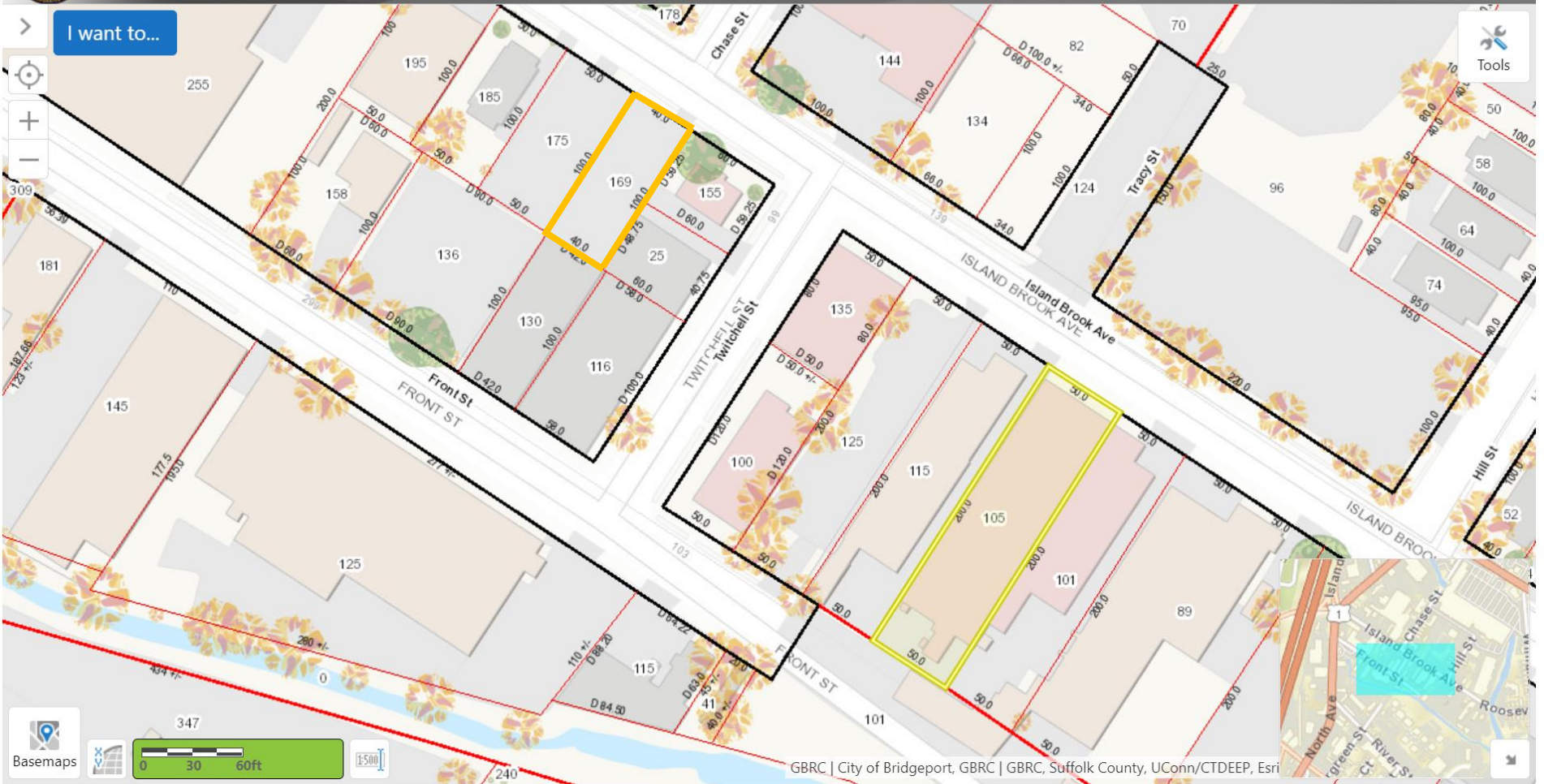
Neighboring Property owners within 100 ft of 105 Island Brook Ave, Bridgeport, CT

Address	Owner	Owner Address
124 Island Brook Ave	Regional Industrial Waste Disposal	469 Brooklawn Ave, Fairfield, CT 06825
89 Island Brook Ave	LCJA LLC	100 Walnut Ave, Shelton, CT 06484
96 Island Brook Ave	MAIN-FAIR LLC	155 Burr St, Fairfield, CT 06824
101 Island Brook Ave	Wade Enterprises LLC	25 Island Brook Ave, Bridgeport, CT 06606
115 Island Brook Ave	HALAPIN SONIA	115 Island Brook Ave, Bridgeport, CT 06606
125 Island Brook Ave	FC & RC LLC	572 Lawlor Terrace, Stratford, CT 06614
41 Front St	FC & RC LLC	572 Lawlor Terrace, Stratford, CT 06614



City of Bridgeport GIS

Search...



- 169 Island Brook Ave, Parking Location for



- 105 Island Brook Ave, Site Location

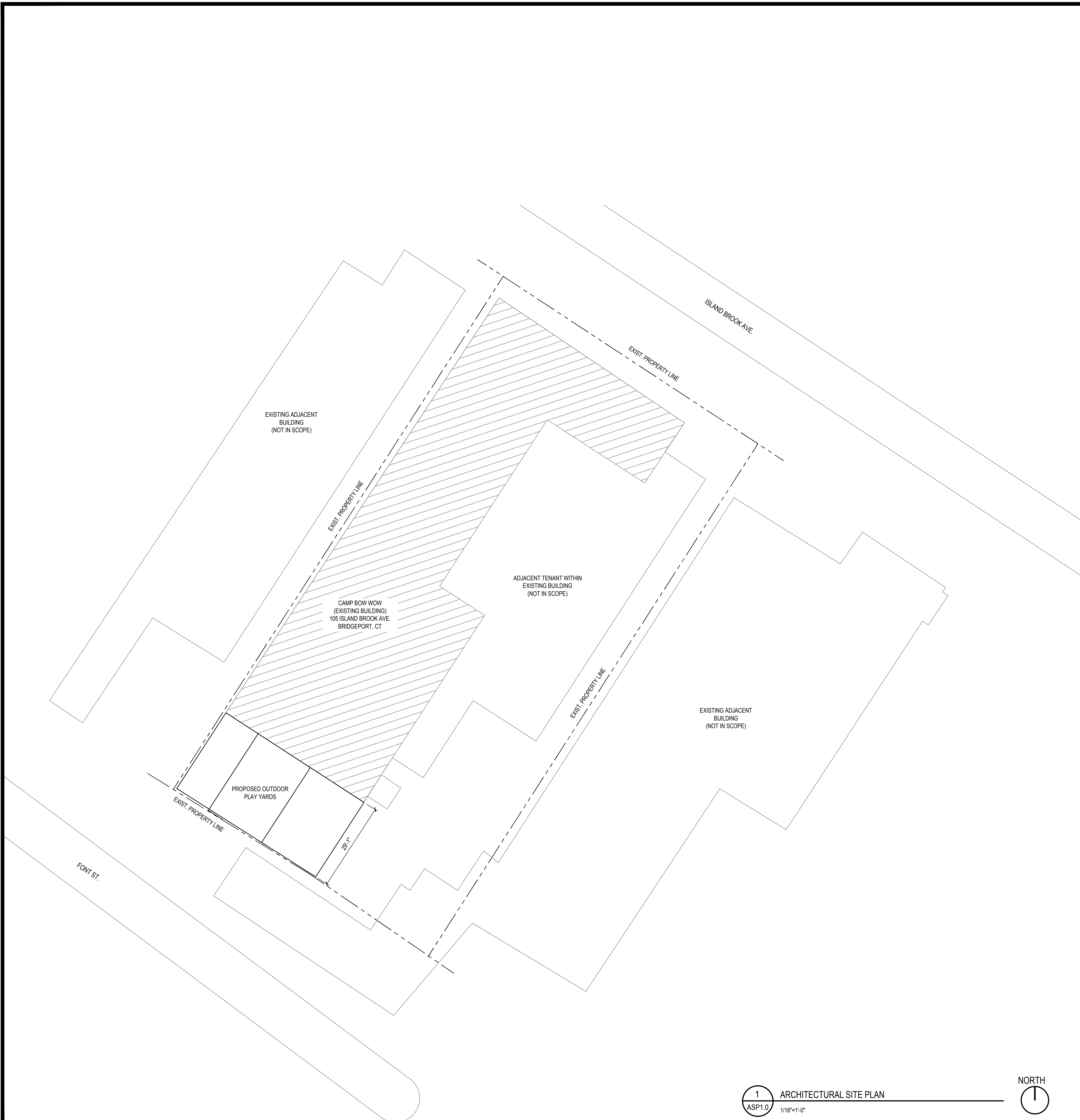
SEAL:

**THIS DOCUMENT IS NOT
FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION.**

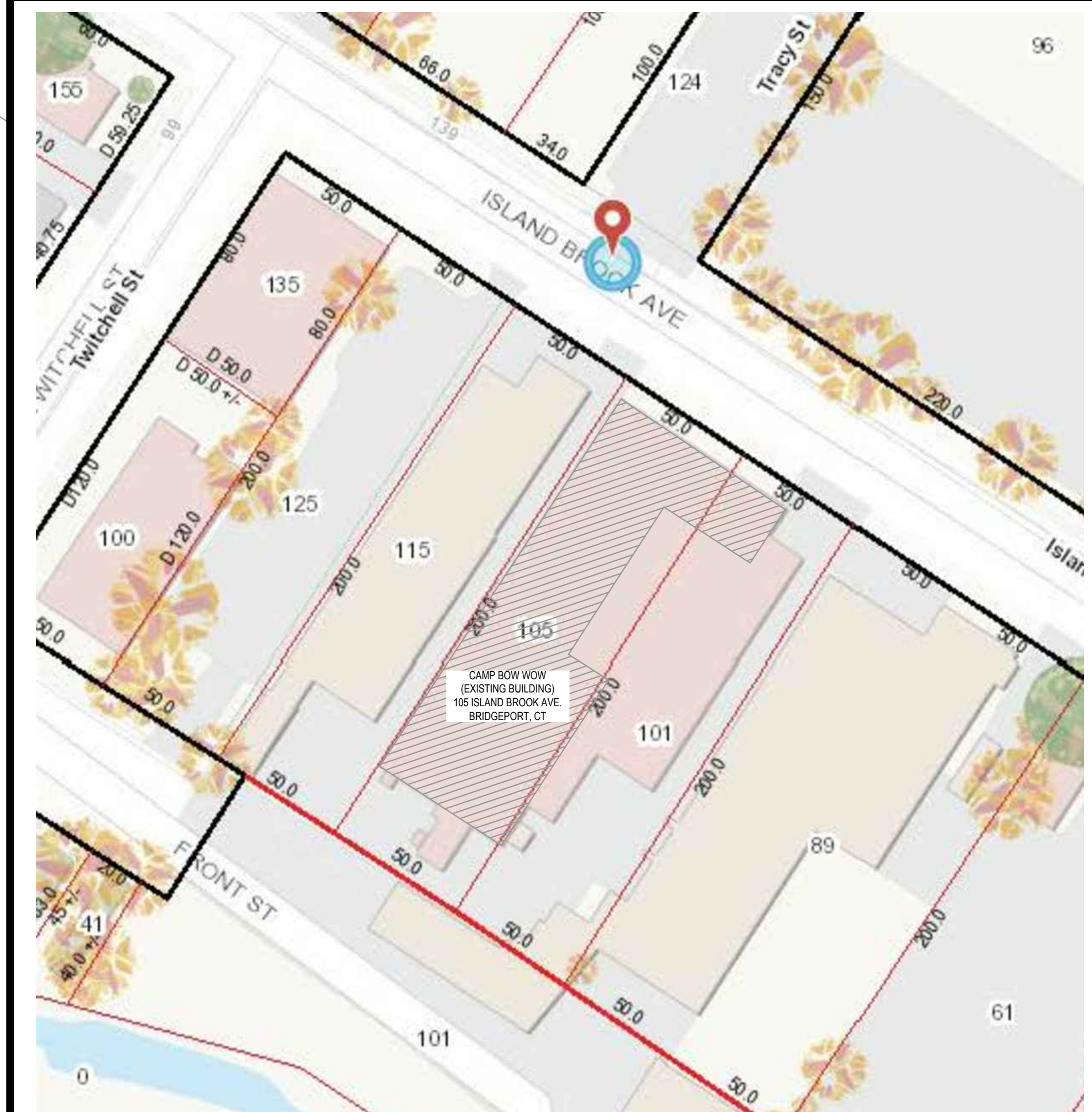
ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES
TABLE 4A

DEVELOPMENT STANDARDS	HL REQUIRED	HL (EXIST. / PROPOSED)
LOT		
LOT AREA, MINIMUM	N/A	N/A
FRONTAGE, MINIMUM	25 FT.	EXIST. TO REMAIN
FLOOR AREA RATIO, MAXIMUM	N/A	N/A
PRINCIPAL BUILDING SIZE, MAXIMUM	N/A	N/A
PRINCIPAL BUILDING SETBACK		
FRONT LOT LINE, MINIMUM FROM	N/A	N/A
STREET LOT LINE, MINIMUM FROM	15 FT.	EXIST. TO REMAIN
MAXIMUM SETBACK	N/A	N/A
SIDE LOT LINE, MINIMUM FROM	N/A	N/A
REAR LOT LINE, MINIMUM FROM	N/A	N/A
NOT TO EXCEED	N/A	N/A
MINIMUM SETBACK FROM:		
OTHER HEAVY INDUSTRIAL USE	10 FT.	EXIST. TO REMAIN
OTHER USE	0	EXIST. TO REMAIN
FROM LOT LINE ABUTTING AN R ZONED LOT	15 FT.	EXIST. TO REMAIN
SIDE	N/A	N/A
REAR	N/A	N/A
FROM LOT LINE ABUTTING AN M.U. OR I ZONED LOT	0	EXIST. TO REMAIN
CORNER LOT YARDS	NOTE 2	EXIST. NOTE 2
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A
ACCESSORY STRUCTURE SETBACK		
SETBACKS	NOTE 9	NOTE 9
COVERAGE		
BUILDING COVERAGE, MAXIMUM	85%	EXIST. TO REMAIN
SITE COVERAGE, MAXIMUM	85%	EXIST. TO REMAIN
LANDSCAPED AREA		
MINIMUM	15%	EXIST. TO REMAIN
IN SETBACKS ABUTTING AN R ZONED LOT, MINIMUM	10 FT. DEEP AT L-4	N/A
HEIGHT		
PRINCIPAL BUILDING	75 FT.	EXIST. TO REMAIN
MAXIMUM FOR PRINCIPAL BUILDING	NOTE 5	NOTE 5
PROJECTS AND FEATURES		
ACCESSORY STRUCTURE	NOTE 7	NOTE 7
HEIGHT, MAXIMUM	NOTE 8	NOTE 8
FLOOR AREA, GROSS MAXIMUM	NOTE 10	NOTE 10
PUBLIC ACCESS EASEMENT	NOTE 10	NOTE 10

NOTES:
 2. ON A CORNER LOT IN ANY ZONE, THERE SHALL BE TWO FRONT YARDS AND TWO SIDE YARDS
 5. SEE SECTION 4-4 HEIGHT
 7. ANY ACCESSORY STRUCTURE WITH A FLAT OR ROUNDED ROOF SHALL BE NO HIGHER THAN TWELVE (12) FEET AND ANY ACCESSORY STRUCTURE WITH A PITCHED ROOF SHALL BE NO HIGHER THAN FIFTEEN (15) FEET, MEASURED FROM THE AVERAGE LEVEL OF THE GROUND ALONG ALL WALLS OF THE STRUCTURE. IN I-H AND I-L ZONES, THE MAXIMUM HEIGHTS FOR ANY ACCESSORY STRUCTURES SHALL NOT EXCEED ONE-THIRD (1/3) OF THE MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES IN THAT ZONE.
 8. SEE SECTION 4-9, ACCESSORY STRUCTURES
 9. SETBACKS FOR ACCESSORY STRUCTURES SHALL BE THE SAME SETBACKS FOR PRINCIPAL STRUCTURES
 10. A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTY ABUTTING A WATERWAY. IN SUCH A CASE, A DEDICATED OPEN SPACE SHALL BE ESTABLISHED FROM THE TOP OF THE EMBANKMENT AND TWENTY (20) FEET INLAND.



1 ARCHITECTURAL SITE PLAN
ASP1.0 1/16"=1'-0"



2 VICINITY MAP
ASP1.0 N.T.S.

NO.	DATE	REMARKS

CAMP BOW WOW
105 ISLAND BROOK AVE.
BRIDGEPORT, CT.

PROJECT NO: 2021.0731
DATE: 7/1/2021

ASP1.0
ARCHITECTURAL SITE PLAN

CHECKED: JS DRAWN: TN

P:\C:\CampBowWow\2021\0731 - Camp Bow Wow - 105 Island Brook Ave - Bridgeport, CT\3 CAD & Drawings\2 Construction Documents\2021\0731 - ASP (020mg Board) Site Plan.dwg, ASP1.0 - ARCHITECTURAL SITE PLAN, 6/20/2021 4:29:43 PM, Rev04.dwg to PDF, AEC Full based on D:\000 - 24\00 inches, 11

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Application Review for Coastal Site Plans

105 Island Brook Avenue.

Table of Contents

1. Project Narrative
2. CAM Application Form
3. Attachment 1: Location Map
4. Attachment 2: FEMA FIRM Map
5. Attachment 3: Bridgeport Zoning Map

Submitted by:

Benji Wag & Woof LLC dba Camp Bow Wow Bridgeport.

Contact:

Kinsuk Shah
53 Treadwell Lane,
Weston, CT 06883
908-821-8055
Kinsuk.shah@campbowwow.com

Project Narrative

The site located at 105 Island Brook Ave is Zoned I-LI and located in FEMA zone AE. The total site consists of a 7000 sq. ft constructed building and an additional 1500 sq.ft of outdoor space towards the rear of the building.

The parcel is within the Coastal Area Boundary per the Bridgeport zoning map and requires a coastal review to be conducted due to a change of use application.

The site has historically been a manufacturing and industrial use facility and is surrounded by various automotive works, metalworks and similar industrial businesses. We propose to convert the site to a national franchise Camp Bow Wow, dog daycare, boarding and services facility. The proposed project plans to maintain the existing building footprint as well as outdoor space, with additional drainage and development of the outdoor area to control for any exposure or waste generated from dog urine or fecal matter. The outdoor spaces will be covered with crushed stone, sand, gravel and overlaid with artificial turf. Further they will be drained directly into the existing building sewage and any runoff will be captured within the drainage system to limit exposure to any coastal area.

The property is being developed to best fit the business and suitable for this business to minimize disturbance to retail or residential neighbors. The use is in line with other similar operations that exist nationally and have been sited in similar Light Industrial zones.

Thank you for your consideration of this application.



CITY OF BRIDGEPORT

Application Form

Municipal Coastal Site Plan Review For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I: Applicant Identification

Applicant: <u>Benji Wag & Woof LLC dba Camp Bow Wow</u>	Date: <u>July 7, 2021</u>
Address: <u>53 Treadwell Lane, Weston, CT</u>	Phone: <u>908-821-8055</u>
Project Address or Location: <u>105 Island Brook Ave, Bridgeport</u>	
Interest in Property: <input type="checkbox"/> fee simple <input type="checkbox"/> option <input checked="" type="checkbox"/> lessee <input type="checkbox"/> easement	
<input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant:	
Name: <u>Applicant</u>	
Address: _____	
City/Town: _____	State: _____ Zip _____
Code: _____	
Business Phone: _____	
e-mail: <u>Kinsuk.shah@campbowwow.com</u>	

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:
<input checked="" type="checkbox"/> Project location
<input checked="" type="checkbox"/> Existing and proposed conditions, including buildings and grading
<input type="checkbox"/> Coastal resources on and contiguous to the site - Not Applicable
<input type="checkbox"/> High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only) - Not Applicable
<input checked="" type="checkbox"/> Soil erosion and sediment controls
<input checked="" type="checkbox"/> Stormwater treatment practices
<input type="checkbox"/> Ownership and type of use on adjacent properties
<input checked="" type="checkbox"/> Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

--

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit** or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description: 105 Island Brook Ave

City or Town: Bridgeport

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:

Not Applicable

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

The property is a rectangular parcel with an existing 7000 sq.ft building housed on it and approximately 1500 sq. ft of open air space behind the building. The building resides in I-LI zoning and its surrounding buildings have been used for various industrial uses including but not limited to metalworking, auto body shops, steel manufacturing facility

5. Indicate the area of the project site: 8500 (7000 indoors + 1500 outdoors) **square feet**

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities – **Not Applicable**

Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application. – **Not Applicable**

Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review. – **Not Applicable**

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The existing site houses a 7000 sq.ft building that has been used as a manufacturing facility historically. The proposed project seeks to convert building usage from manufacturing and light industrial to dog boarding, daycare and services facility. There will be no new buildings constructed and existing square footage and size of building will be utilized for the daycare, boarding and services facility. Additionally, the open area behind the building of approximately 1500 sq.ft has historically been used for a detached paint booth and storage of various parts and materials. The project will plan to convert this for outdoor yards with contained drainage and artificial turf covering. The artificial turf will be placed above conditioned ground using sand, gravel and other means to prevent other appropriate drainage systems to capture any runoff from cleaning of the site to be placed into the existing sewer and drainage within the building.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

The facility will continue to maintain its existing building and square footage and no new stormwater treatment facilities will be required as it is an existing building and no additional development is being done on site to increase storm water runoff. For the outdoor spaces the water runoff will be collected and drained into existing sewer lines to eliminate any exposure from animal fecal or urine matter into stormwater drains.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)				X
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

No resources identified. Section Not applicable.

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- : General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- 9 Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- 9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- 9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- 9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- 9 Boating - CGS Section 22a-92(b)(1)(G)
- 9 Fisheries - CGS Section 22a-92(c)(1)(I)
- 9 Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- 9 Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- 9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- 9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- 9 Solid Waste - CGS Section 22a-92(a)(2)
- 9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- 9 Cultural Resources - CGS Section 22a-92(b)(1)(J)
- 9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities
** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No coastal resources within influence of project.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

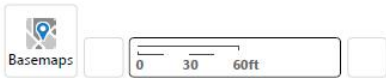
Attachment # 1.

Site location.

7/7/2021

<https://metrocg.mapxpress.net/Bridgeport/>

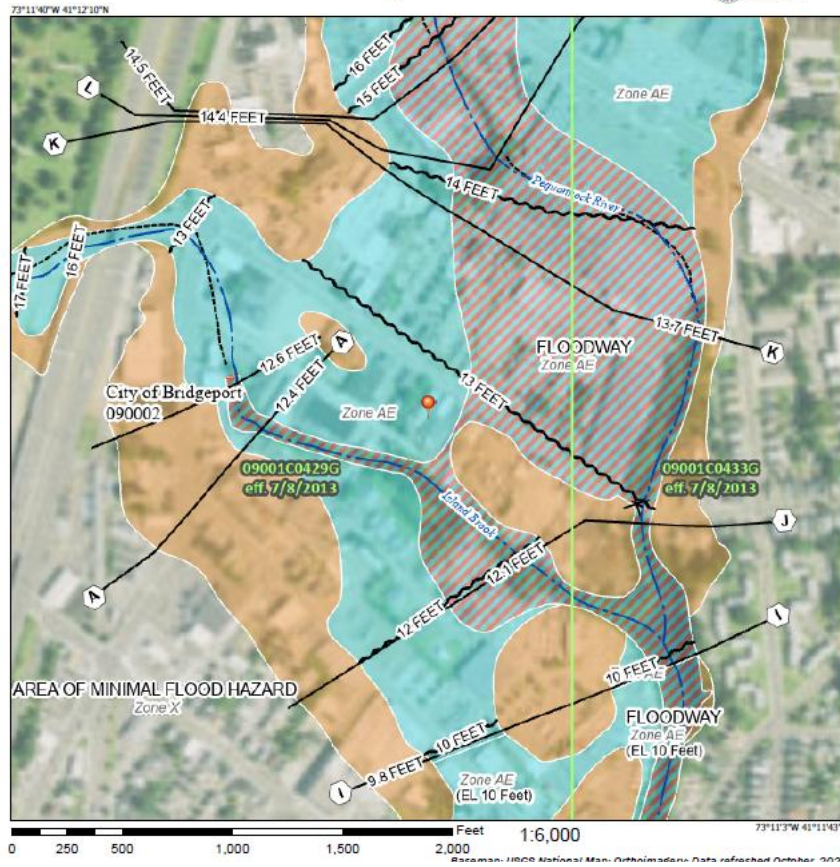
Search...



<https://metrocg.mapxpress.net/Bridgeport/>

1/1

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth Zone AE, AD, AH, VE, AH
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes, Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- No SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- 29.2 Cross Sections with 1% Annual Chance
- 12.8 Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

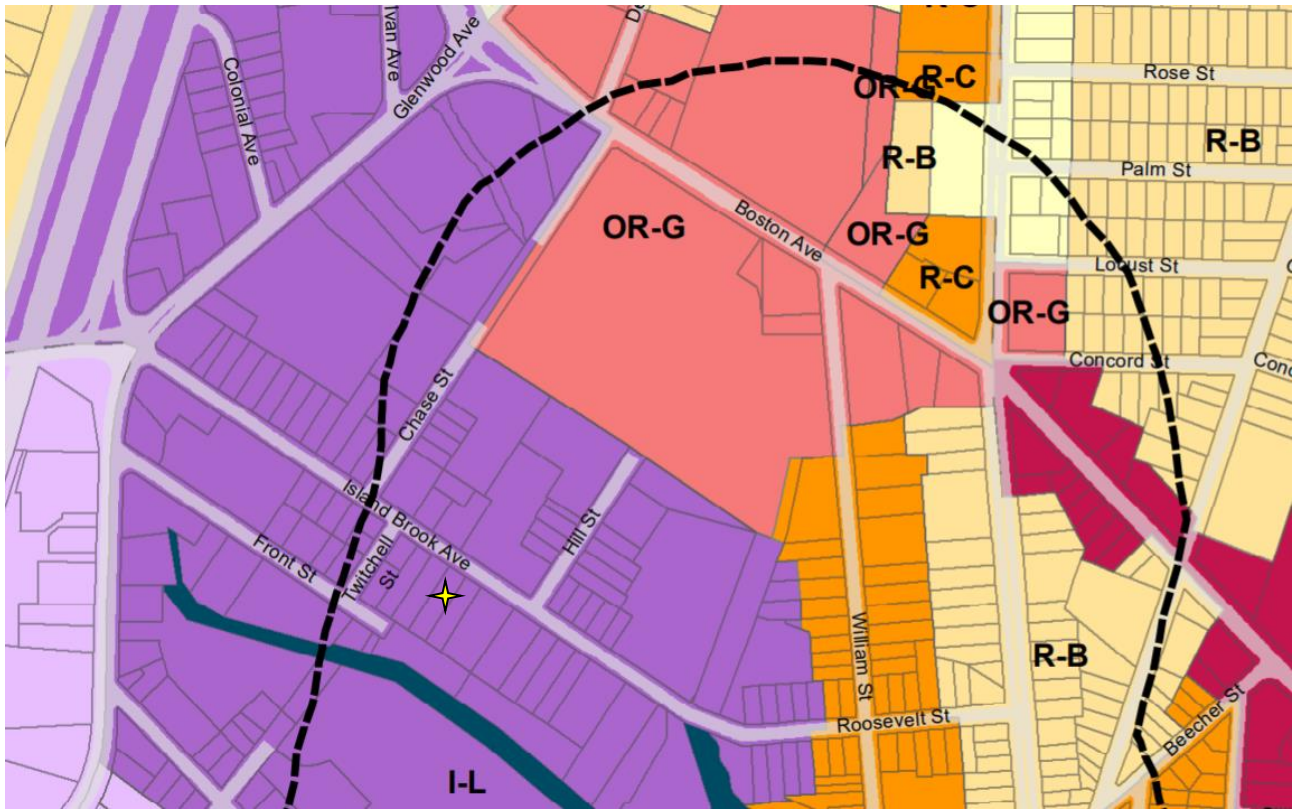
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 7/8/2013 at 10:54 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Map Pin - 105 Island Brook Ave.

Attachment # 3 Bridgeport Zoning Map



★ - 105 Island Brook Ave.



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: 141 N AVE LLC
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 141 North Avenue and 196, 218, 226 & 234 Island Brook Avenue
4. Assessor's Map Information: Block No. 60/1535 Lot No. 4/B
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section:
6. Description of Property (Metes & Bounds): 193.98' x 128.33' x 87.40' x 283.13' x 214.02' x 50.00' x 250.00' x 50.00' x 150.00' x 50.00' x 150.00' x 150.00' x 150.00' x 120.90' x 62.00' x 131.96'
7. Existing Zone Classification: I-L
8. Zone Classification requested: I-L
9. Describe Proposed Development of Property: Convert interior of Two (2) existing rear buildings to self-service storage facility use with existing two-story front office building to remain

Approval(s) requested: Special Permit and Site Plan Review

Signature: Date: 06/29/2021
Print Name:

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature:
Print Name:

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-520-4603 Fax:
E-mail Address: Chris@russorizio.com

\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

141 N AVE LLC 06/29/2021
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date



Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

June 28, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace, Room 210
Bridgeport, CT 06604

Re: Application for Special Permit and Site Plan Review – 141 North Avenue and 196, 218, 226 & 234 Island Brook Avenue (the “Site”)

Dear Mr. Buckley:

Please accept this letter on behalf of our client for an application for Special Permit and Site Plan Review to convert the interior of the Two (2) existing industrial buildings located in the rear of the Site into a self-service storage facility use with the existing two-story office building near North Avenue to remain.

Narrative

The Site is located in the I-L Zone with frontages on both North Avenue and Island Brook Avenue. It is located in the middle of an industrial zone. Housing trends have substantially changed in the past two decades as residents downsize and the number of residential apartments rise. This housing trend has created a significant demand for extra storage space to accommodate personal belongings. The result has been a robust market for self-service storage facilities which cater to individuals and families as a retail storage option.

To cater more to individuals and families, self-service storage facilities have been located near main retail corridors. Here are some examples:

- E-Z Access Self Storage along Route 162 in Milford
- Extra Space Storage on Route 1 in Orange
- CubeSmart facility on Lordship Boulevard in Stratford
- U-Haul Storage facilities on Boston Avenue and Fairfield Avenue in Bridgeport
- Westy Self Storage and Public Storage on Kings Highway in Fairfield
- Westy Self Storage and CubeSmart on Route 7 in Wilton

10 Sasco Hill Road
Fairfield, CT 06824
Tel 203-255-9928
Fax 203-255-6618

The Site will easily accommodate the conversion of use to a self-storage facility and is a great reuse of these Two (2) existing buildings at the rear of the Site. The main building is a large two-story building sits at the rear of the Site from the North Avenue frontage behind Two (2) other existing buildings. The building marked as a “one-story metal building” will also contain a self-storage use. The building nearest the North Avenue frontage and marked as a “two-story office building” will remain as an office use and will be intended for future redevelopment as a retail/commercial use consistent with the uses along that corridor.

The Site can be accessed from both North Avenue and Island Brook Avenue. The parking area off Island Brook Avenue includes Four (4) garage bay doors for loading/unloading into the large building. Island Brook Avenue is a very industrial street and the perfect location for this type of activity. One of the great benefits of self-service storage facilities is that the use requires very little off-street parking and, therefore, they adapt well on properties with large existing buildings. Once a patron delivers their goods into storage, the patron rarely returns to the facility until final removal of the goods. With Four (4) loading bays and multiple parking areas on the Site, the Site can easily accommodate this use with regards to off-street parking.

Within the rear buildings, the interior will contain a number of storage units of different sizes, which can be altered by collapsing unit walls. The range of sizes will be catered towards individual retail customers. In addition, the main building will contain a small accessory retail sales area where customers can purchase items associated with packing and storage as seen in many existing self-storage facilities.

The Petition satisfies the Special Permit standards of Sec. 14-4-4 of the Regulations. The proposed use is permitted in the I-L Zone. It will not impair the future development of the surrounding area as it is a conversion of use for an existing large industrial building with a use that has low parking and traffic demands. There is no proposed increase in building footprint or floor area associated with the Petition. The Site is surrounded completely by the I-L Zone and, therefore, its use is compatible with the surrounding neighborhood. It will not impact any residential neighborhood. Finally, the use will actually improve surrounding property values by installing a new, invigorated use within a large existing building.

In addition, the Site has a long history for storage and warehousing uses, In 1954, the Site was first approved for storage. Additions were made to the existing buildings on the Site in 1985 for additional storage. So, the Site has been utilized for storage for decades. The Site had previously been approved for more intense uses, including a used car dealership and motor vehicle repair facility. The proposed self-storage facility will be well contained within the two existing buildings at the rear. No loading and offloading will be visible from North Avenue, the corridor where most traffic is located, as the rear buildings are located directly behind the front office building and a fence secures that area.

The City is in desperate need of new self-storage units. The Commission has reviewed multiple self-storage facility applications within the past year in office-retail zones with much contention. This Site is perfectly located in the heart of the I-L Zone where self-storage facilities are permitted under a special permit. For the above-stated reasons, the Petitioner respectfully requests approval of this application for Special Permit and Site Plan Review.

Thank you for your assistance in this matter.

Sincerely,



Ray Rizio

PROPERTY OWNERS WITHIN 100' OF 141 NORTH AVE AND 196, 218, 226 & 234 ISLAND BROOK AVE

PROPERTY ADDRESS	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
141 NORTH AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
218 ISLAND BROOK AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
75 CHASE ST	DEL VENTO ARLENE A	385 STEPNEY RD	EASTON	CT	06612
234 ISLAND BROOK AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
66 NORTH AV	SYLVAN AVENUE ASSOCIATES	60 NORTH AVE	BRIDGEPORT	CT	06606
248 ISLAND BROOK AV	DSCW LLC TRUSTEE OF THE 246-248 ISLAND BROOK TRUST	30 ISLAND BROOK AVE	BRIDGEPORT	CT	06602
118 NORTH AV	SAMUEL M RIZZITELLI, JR, TRUSTEE	26 PRINDLE AVE	DERBY	CT	06418
90 NORTH AV	SAMUEL M RIZZITELLI, JR, TRUSTEE	26 PRINDLE AVE	DERBY	CT	06418
125 CHASE ST	125 CHASE STREET LLC	385 STEPNEY RD	EASTON	CT	06612
164 NORTH AV	BATRA ARVINDER	80 SALEM RD	TRUMBULL	CT	06611
83 NORTH AV	DELVENTO ROBERT ET AL	83 NORTH AVE	BRIDGEPORT	CT	06606
161 NORTH AV	SPETSARIS ANTONIOS & KONSTANTINOS	91 STRAWBERRY HILL, APT 1030	STAMFORD	CT	06902
12 CHASE ST	DEL VENTO ARLENE A	385 STEPNEY RD	EASTON	CT	06612
140 NORTH AV #154	140 NORTH AVENUE REALTY LLC	9 JACKSON ST	HIGHLAND MILLS	NY	10930
186 ISLAND BROOK AV	BORGES ENTERPRISES LLC	12 JARVIS ST	NORWALK	CT	06851
193 NORTH AV	HESS RETAIL STORES LLC C/O PROPERTY TAX DEPARTMENT	539 SOUTH MAIN ST	FINDLAY	OH	45840
274 ISLAND BROOK AV #276	VOIGHT LLC	264 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
264 ISLAND BROOK AV	VOIGHT LLC	264 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
94 NORTH AV #96	92-94 NORTH AVENUE LLC	750 DANIELS FARM ROAD	TRUMBULL	CT	06611
61 NORTH AV	61 NORTH AVENUE LLC	43 NORTH AVE	BRIDGEPORT	CT	06606
256 ISLAND BROOK AV	256 ISLAND BROOK AVENUE LLC C/O DAVID SHAPIRO	480 OLD OAKS RD	FAIRFIELD	CT	06825
226 ISLAND BROOK AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
196 ISLAND BROOK AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
206 ISLAND BROOK AV	ISLAND BROOK LLC	81-52 LITTLE NECK PKWY	FLORAL PARK	NY	11004
178 ISLAND BROOK AV	PARKER ENOCH	178 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
175 ISLAND BROOK AV	CGM REALTY LLC	195 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
185 ISLAND BROOK AV	NUNEZ FRANCISCO	185 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
195 ISLAND BROOK AV	CGM REALTY LLC	195 ISLAND BROOK AVE	BRIDGEPORT	CT	06606

211 ISLAND BROOK AV	255 ISLAND BROOK LLC C/O PETER	323 NORTH AVE	BRIDGEPORT	CT	06606
233 NORTH AC	DINARDO ENTERPRISES	PO BOX 295	BOGOTA	NJ	07603
	PROSPECT REALTY DEVELOPMENT LLC				

Business Inquiry**Business Details**

Business Name: 141 N AVE LLC
Business ID: 1361061
Business Address: 1862 EAST MAIN, BRIDGEPORT, CT, 06610, USA
Mailing Address: 4775 COLLINS AVENUE, SUITE 2504, MIAMI BEACH, FL, 33140, USA
Date Inc/Registration: Sep 29, 2020
Annual Report Due Date: 03/31/2022
NAICS Code: Real Estate and Rental and Leasing (53)

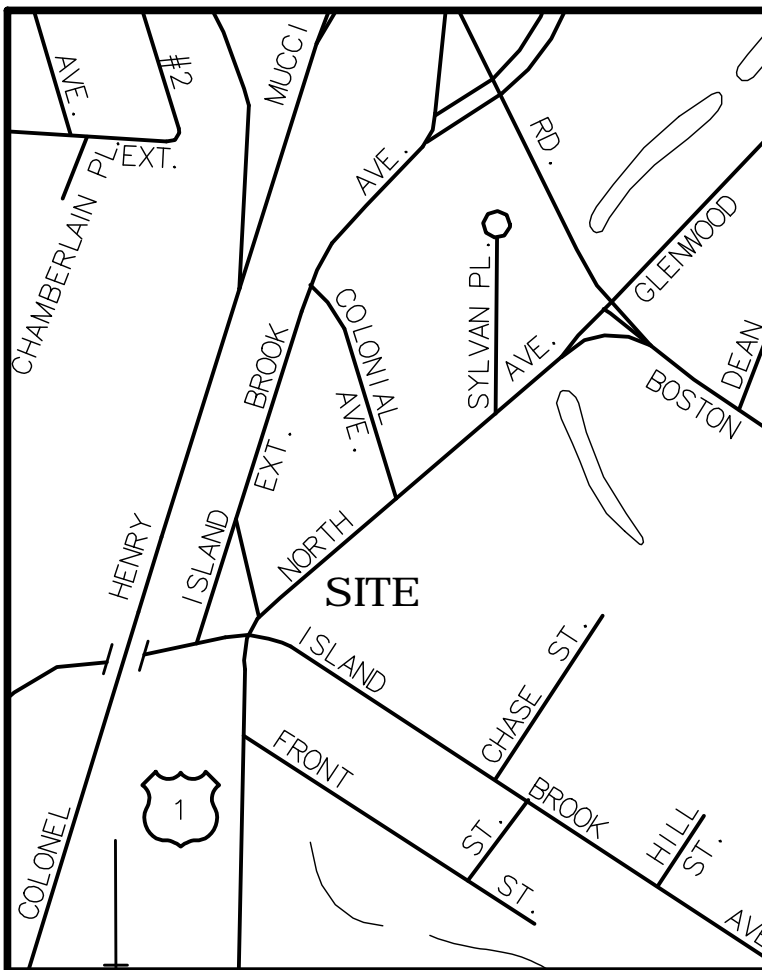
Citizenship/State Inc: Domestic/CT
Last Report Filed Year: 2021
Business Type: Domestic Limited Liability Company
Business Status: Active
NAICS Sub Code: Lessors of Other Real Estate Property (531190)

Principals Details

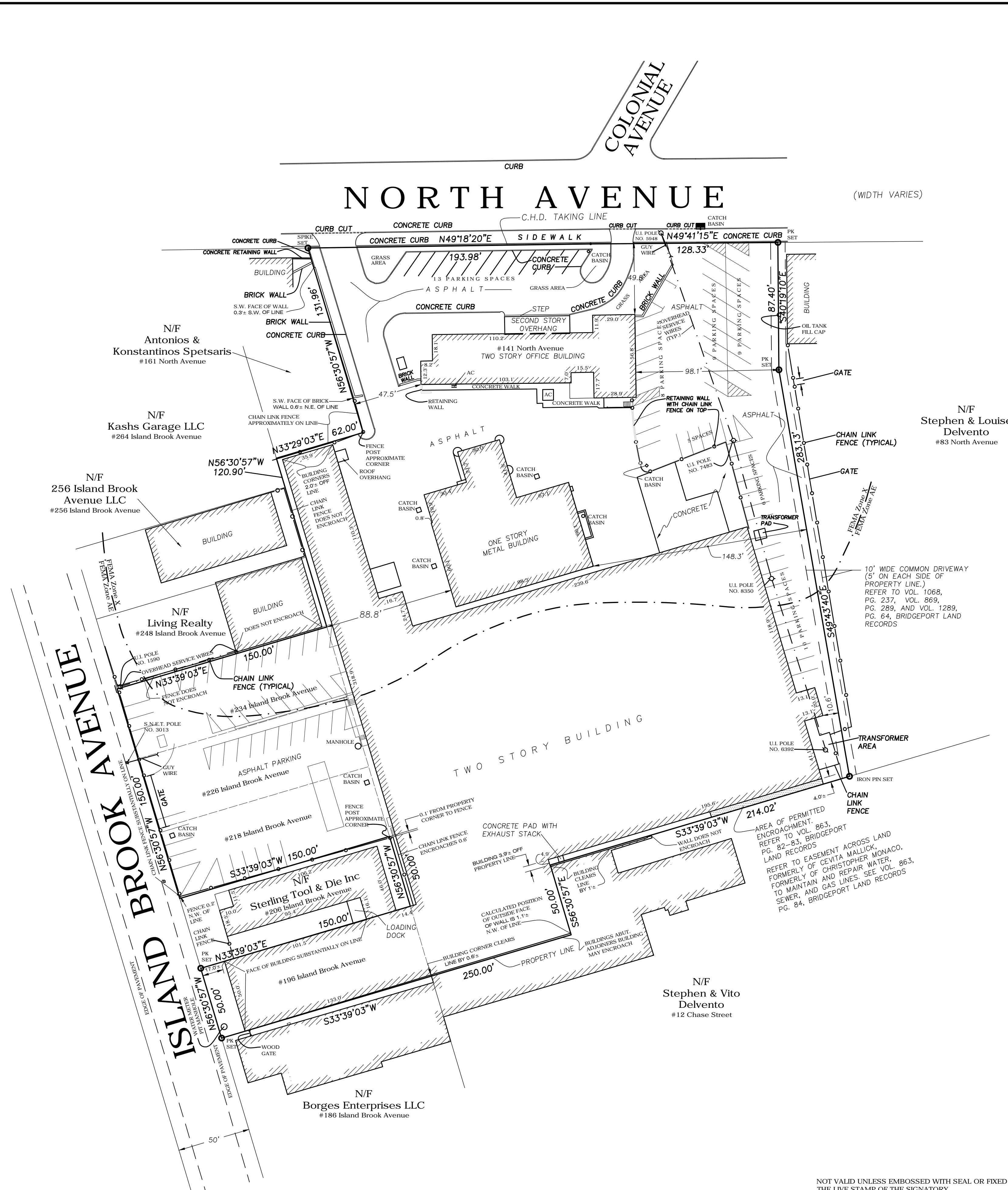
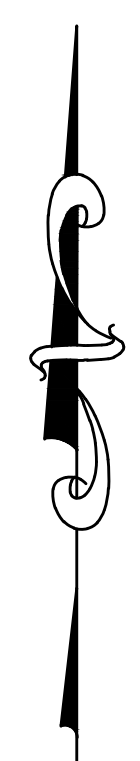
Name/Title	Business Address	Residence Address
ROJA LLC MANAGER	4775 COLLINS AVE UNIT 2504, MIAMI BEACH, FL, 33140	NONE

Agent Summary

Agent Name INCORP SERVICES, INC.
Agent Business Address 6 LANDMARK SQ, 4TH FLOOR, STAMFORD, CT, 06901-2704
Agent Residence Address NONE
Agent Mailing Address 6 LANDMARK SQ, 4TH FLOOR, STAMFORD, CT, 06901-2704



LOCATION MAP
1" = 500'



DEVELOPMENT STANDARDS	I-L ZONE	EXISTING	PROPOSED	AS-BUILT
MINIMUM LOT AREA	N/A	3.884 AC		
BUILDING SETBACKS:				
STREET LOT LINE	15 FT.	17.0±		
FRONT LOT LINE	N/A			
SIDE LOT LINE	N/A			
SIDE LOT LINE (BOTH ADD UP TO)	N/A			
REAR LOT LINE	N/A			
ABUTTING R ZONE	15 FT.			
MINIMUM FRONTAGE	25 FT.	322.31'		
MAXIMUM BUILDING COVERAGE	85%	49.1%		
MAXIMUM SITE COVERAGE	85%	96.0%		
MINIMUM LANDSCAPED AREA	15%	4.0%		
MAXIMUM HEIGHT PRINCIPAL BUILDING	75 FT.	22±		
MAXIMUM HEIGHT ACCESSORY STRUCTURE	12' TO MIDPOINT OF ROOF, 15' MAX. TO RIDGE	N/A		

NOTES:

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.
- Reference is made to the following documents titled:
 - A. "Map of Property, Dynamics Corporation of America, Bridgeport, Conn., Scale: 1"=40, Dec. 13, 1979", Prepared by Thomas J. Hardiman
 - B. "State of Connecticut Department of Transportation Right of Way Map, Town of Bridgeport, Colonel Henry Mucci Highway from Lindley Street Northerly to the Trumbull Town Line" Date: 3/94, Sheets 1 and 2 of 5, State File 15-06
 - C. "Relocation Connecticut Route 25, Construction and Drainage Details" Project No. 15-53, Sheets 25 and 27, Dated 1969
 - D. "Relocation Route 8 & 25" Project N. 15-45, Sheet 38, Dated 1969, Revised Dec. 1971 and April 1973
 - E. "Town of Bridgeport, Map Showing Land To Be Acquired From The Frouge Corp. by The State of Connecticut, Relocation of Routes 25 & 8, Scale 1"=40' Jan. 1967", Project No. 15-53, Sheet 1 of 1 (Recorded Map Vol. 34 Pg. 40)
 - F. "Map of Property of The Frouge Corporation, Bridgeport, Connecticut for Title Guarantee Company and The Equitable Life Assurance Society of The United States, New York, New York and the State National Bank of Connecticut", Dated March 26, 1965, Revised June 22, 1965
 - G. "Survey of Joseph Bacchiocchi Property, Bridgeport, CT, Oct. 23, 1945", Prepared by T. Risberg (Recorded Map Vol. 869 Pg. 291)
- The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation. Dial 811 or 1-800-922-4455.
- Property is located in FEMA Zone X & AE Per Flood Insurance Rate Map #09001C0429, Effective Date: July 8, 2013; Panel 429 of 626.
- Property is located in Zone I-L
- Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.
- It is the owner's and/or contractor's responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY
I HEREBY CERTIFY TO:
141 N AVE LLC
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
Jason T. Spahr Sr., L.S. #70136

PROPERTY SURVEY
PREPARED FOR
#141 N AVE LLC
#196, 218, 226 & 234 ISLAND BROOK AVENUE
BRIDGEPORT, CONNECTICUT

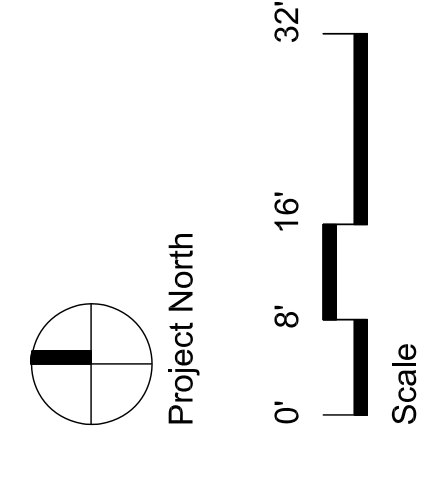
HC

DATE:	12-21-30	SCALE:	1"=40'	DRAFTER:	JS	JOB NUMBER:	14520	PROJECT #:	14520
NO.		DATE	DESCRIPTION						

THE HUNTINGTON COMPANY, LLC
Consulting Engineers & Surveyors
303 Linwood Avenue, Fairfield, CT
203.259.1091

1/1

Date:	Issued:
06.18.21 Prelim. Schematic Layout	
06.30.21 Revised Schematic Layout	

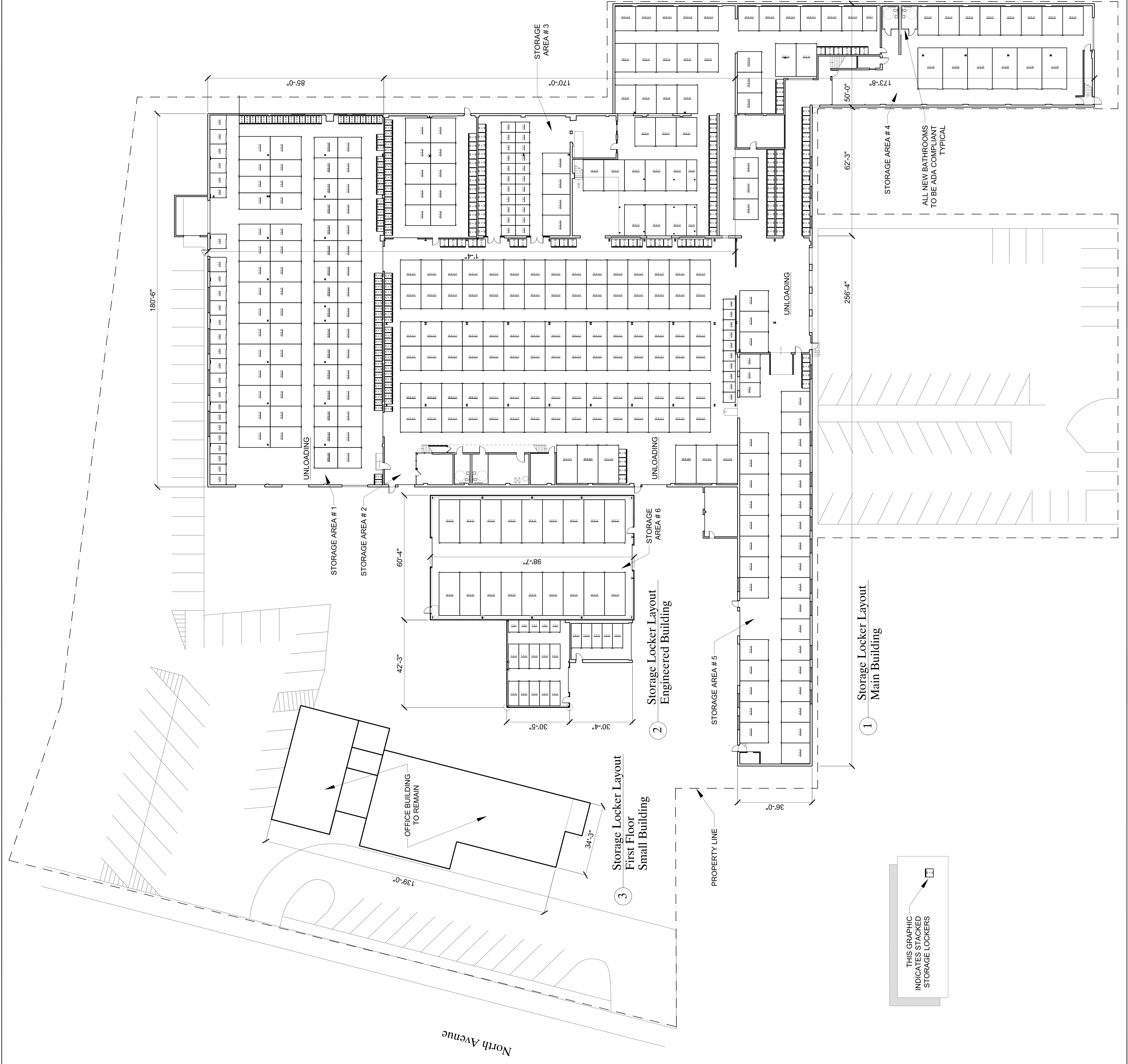


141 North Ave
Bridgeport, Connecticut
06606

David Barbour Architects
202 Pearsall Place
Bridgeport, CT 06605
203.335.4474
www.DavidBarbourArchitects.com

Preliminary Schematic Layouts
for Storage Units and Site Plan

Drawing No. SC-1



THIS GRAPHIC
INDICATES STACKED
STORAGE LOCKERS



CITY OF BRIDGEPORT

Application Form

Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I: Applicant Identification

Applicant: <u>141 N AVE LLC</u>	Date: <u>07/07/21</u>
Address: <u>c/o Ray Rizio, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824</u>	
Phone: <u>203-528-0590</u>	
Project Address or Location: <u>141 North Avenue and 196, 218, 226 & 234 Island Brook Avenue</u>	
Interest in Property: <input checked="" type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant:	
Name: <u>Ray Rizio</u>	
Address: <u>Russo & Rizio, LLC, 10 Sasco Hill Rd</u>	
City/Town: <u>Fairfield</u>	State: <u>CT</u> Zip Code: <u>06824</u>
Business Phone: <u>203-528-0590</u>	
e-mail: <u>Chris@russorizio.com</u>	

Section II: Project Site Plans

<p>Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:</p> <ul style="list-style-type: none"><input checked="" type="checkbox"/> Project location<input checked="" type="checkbox"/> Existing and proposed conditions, including buildings and grading<input checked="" type="checkbox"/> Coastal resources on and contiguous to the site<input type="checkbox"/> High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)<input type="checkbox"/> Soil erosion and sediment controls<input type="checkbox"/> Stormwater treatment practices<input checked="" type="checkbox"/> Ownership and type of use on adjacent properties<input type="checkbox"/> Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description: 141 North Avenue and 196, 218, 226 & 234 Island Brook Avenue

City or Town: Bridgeport

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:

Island Brook Channel and Pequonnock River

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

The Site is the location of a number of industrial uses through its history including manufacturing, warehousing, used car dealership and general repairer's license. The Site is located within a significant industrial corridor that contains a number of industrial uses closer to coastal resources. The Site currently contains Three (3) existing buildings, including a two-story office building, a large warehouse building, and a small one-story metal building, as well as parking areas and truck loading bays.

5. Indicate the area of the project site: 3.884 acres or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities

Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.

Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The Applicant proposes to convert the interior of two of the three existing buildings – the large warehouse building and the one-story metal building – to a self-storage facility use. The two-story office retail building will remain with the same use. There will not be any site clearing, grading, increase in impervious coverage. All work will be confined within the building except for the addition of landscaping throughout the Site.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

As the Applicant is proposing no change to the impervious cover on the Site and is merely converting the interior of Two existing buildings on the Site, which have previously been used for warehousing, to support a self-storage facility use, the Applicant is not proposing any stormwater management beyond the existing conditions.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	X			
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

The Site is located within the coastal zone management area designated as "Coastal Hazard Area." There are no coastal resources immediately adjacent or on-Site. Coastal waters identified as Island Brook Channel and the Pequonnock River are located east of the Site and downstream.

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- ☒: General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
- Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

There are no applicable coastal uses or activity policies and standards on the Site. The Site has never had a water-dependent use as it would physically not be able to.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

There is no potential for water-dependent uses on the Site. The Site is located a significant distance from any body of water.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

The project will not have any adverse impact on coastal resources and/or future water-dependent development opportunities.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

There are no remaining adverse impacts resulting from the proposed activity.



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: Wilmot Ave LLC
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 152, 156 & 166 Wilmot Avenue, Bridgeport, CT 06607
4. Assessor's Map Information: Block No. 31/655 Lot No. 2/A, 3 & 4
5. Amendments to Zoning Regulations: (indicate) Article: Section:
6. Description of Property (Metes & Bounds): 137.75' x 162.20' x 145.70' x 61.40' x 102.65'
7. Existing Zone Classification: R-BB & I-L
8. Zone Classification requested: I-L
9. Describe Proposed Development of Property: Proposed Zone Change of Property

Approval(s) requested: Zone Change, Coastal Site Plan Review and Site Plan Review

Signature: [Handwritten Signature] Date: 06/18/2021
Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: _____

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-520-4603 Fax: 203-255-6618
E-mail Address: Chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Wilmot Ave LLC 06/18/2021
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date



Colin B. Connor
Robert C. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

June 18, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for a Zone Change, Coastal Site Plan Review and Site Plan Review – 152, 156 & 166 Wilmot Avenue

Dear Mr. Buckley:

Please accept, on behalf of Wilmot Ave, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application for a Zone Change, Coastal Site Plan Review and Site Plan Review under the Bridgeport Zoning Regulations (the “Regulations”) for the properties located at 152, 156 & 166 Wilmot Avenue (the “Site”) to locate the entire Site, currently split-zoned between the R-BB and I-L Zones, within the I-L Zone and to convert the use of the existing building to a wholesale trade use with associated Site improvements in the I-L Zone.

Narrative

The Site is located on Wilmot Avenue on the industrial portion of Wilmot Avenue. The Site is currently split-zoned between the R-BB Zone and the I-L Zone. The existing building currently spans both zones. The Site has historically been used and continues to be used as an industrial building. A land use approval was obtained back in 1978 for a metal plating & finishing business within the existing building. The lot area of the Site is Twenty-three thousand and sixty square feet (23,060 SF).

The Petitioner proposes that the entire Site be designated within the I-L Zone. The Zone Boundary Line currently splits the existing building containing an industrial use between the I-L and R-BB Zones. The southern end of Wilmot Avenue is dominated by industrial buildings and uses. The Site itself has a history of decades as an industrial use. In addition, the Plan of Conservation and Development (“POCD”) discourages split-zoned properties, particularly where an existing building also splits the zone in addition to the actual property. Due to its historical use and the goals of the POCD to eliminate split-zones, the Site should be located entirely within the I-L Zone.

While the Petitioner proposes to locate the entire Site within the I-L Zone, the Petitioner also proposes to increase its buffer to neighboring properties from existing conditions. Currently, asphalt pavement extends to all neighboring property lines with no drainage. The Petitioner

10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

proposes a substantial improvement to Site conditions by adding a landscape buffer around the entire Site to the L-4 standard. Fifteen percent (15%) of the Site will be landscaped area where no landscaping currently exists that is not weeds. In addition, drainage will be added to the parking area along with re-striping of the parking lot to the Regulations standards. The proposed off-street parking will conform to the Regulations in its design and for the proposed use. The Petitioner proposes to convert the interior use to wholesale trade, which is a permitted use in the I-L Zone. The proposed is significantly less intense than prior uses on the Site, including the plating business. The existing building already contains Two (2) bay doors to support the proposed use. A draft of the zoning map from the Office of Planning and Economic Development places this portion of Wilmot Avenue in the "CX" Zone, which is intended for heavy commercial and wholesale uses. In all, the Petition will be a tremendous improvement to existing conditions.

Coastal waters are not located on or adjacent to the Site. There is no potential for water-dependent uses. The coastal waters are located hundreds of feet from the Site. The Petition will also not have any adverse impact on coastal resources and/or future water-dependent development opportunities. In fact, the Petition greatly improves Site conditions with the addition of a proposed storm drainage system to handle run-off on the Site. Under the Petition, there will be a significant decrease in site coverage as existing pavement will be removed around the perimeter of the Site and replaced with a landscape buffer.

For the reasons stated above, the Petitioner respectfully requests approval of the Petition for a Zone Change, Coastal Site Plan Review and Site Plan Review.

Sincerely,



Christopher Russo

PROPERTY ADDRESSES WITHIN 100' OF 152, 156 & 166 WILMOT AVENUE

PROPERTY ADDRESS	OWNERS NAME	MAILING ADDRESS	CITY/TOWN	STATE	ZIP CODE
85 HOLLISTER AV #87	MAPLE REAL ESTATE LLC	PO BOX 626	LITCHFIELD	CT	06759
166 WILMOT AV	MASKOWSKI CARL EST OF C/O RONALD HOJDICH	260 POST OAK RD	STRATFORD	CT	06614
307 ORANGE ST	305 ORANGE STREET ASSOCIATES LLC	307 ORANGE ST	BRIDGEPORT	CT	06607
127 WILMOT AV	E AND M REAL ESTATE INC	127 WILMOT AVE	BRIDGEPORT	CT	06607
137 HOLLISTER AV #139	AFRIFA ALEX D	137 HOLLISTER AVE	BRIDGEPORT	CT	06610
174 WILMOT AV	CUNDIFF MICHAEL SR	174 WILMOT AVE	BRIDGEPORT	CT	06605
107 HOLLISTER AV #109	FERNANDEZ ARIEL	107 HOLLISTER AVE #109	BRIDGEPORT	CT	06607
152 WILMOT AV	WILMOT AVE LLC	152 WILMOT AVE	BRIDGEPORT	CT	06607
149 WILMOT AV	WILSON VALERIE	2121 FAUNCE ST	PHILADELPHIA	PA	19152
150 WILMOT AV	ENGLISH CHAPEL CATHEDRAL OF MIRCALES UNIFIED FREE WILL BAPTIST CHURCH INC	285 WILMOT AVE	BRIDGEPORT	CT	06607
123 HOLLISTER AV #125	COUNCIL PAULETTE	123 HOLLISTER AVE #125	BRIDGEPORT	CT	06607
156 WILMOT AV	CORBALITE LLC	100 LUPES DR	STRATFORD	CT	06615
141 WILMOT AV	ELLIS DAVID E	141 WILMOT AVE	BRIDGEPORT	CT	06607
155 WILMOT AV	ARDOUNI ELMOSTAFA	155 WILMOT AVE	BRIDGEPORT	CT	06607
95 HOLLISTER AV	MAPLE REAL ESTATE LLC	PO BOX 626	LITCHFIELD	CT	06759
147 HOLLISTER AV	LOCKHART BENJAMIN F & RUTH E	145 HOLLISTER AVE	BRIDGEPORT	CT	06607
130 WILMOT AV	ENGLISH CHAPEL CATHEDRAL OF MIRCALES UNIFIED FREE WILL BAPTIST CHURCH INC	285 WILMOT AVE	BRIDGEPORT	CT	06607
127 HOLLISTER AV #129	NEW WAVE HOLDINGS LLC	82 UNION AVE	NEW ROCHELLE	NY	10801
157 WILMOT AV	CRAWLEY ROOSEVELT & ANNA M	157 WILMOT AVE	BRIDGEPORT	CT	06607
161 WILMOT AVE #163	DIMON JAMES B JR	163 WILMOT AVE	BRIDGEPORT	CT	06607
179 WILMOT AVE	DIMON JAMES B JR	163 WILMOT AVE	BRIDGEPORT	CT	06607
195 WILMOT AVE	176 LEWIS LLC	478 ALBANY AVE	BROOKLYN	CT	11203
184 WILMOT AVE	TORRES MARIA	148 SEAFLOWER RD	MILFORD	CT	06460
194 WILMOT AVE	ARDOUNI MOSTAFA	2109 NORTH AVE	BRIDGEPORT	CT	06604
28 CARRIE ST	RODRIGUEZ LUZ ET AL	28 CARRIE ST	BRIDGEPORT	CT	06607
38 CARRIE ST	VEGA JOSE	38 CARRIE ST	BRIDGEPORT	CT	06607

153 HOLLISTER AVE #157

G & H ENTERPRIZES LLC

4 MOUNTAIN VIEW RD

WEST HAVEN

CT

06516

**APPLICATION FOR REVIEW
OF COASTAL SITE PLANS**

PREPARED FOR:

James Montelbano

**152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT**

MARCH 19, 2021

Prepared by: Washington Cabezas, Jr., PE, LS
CT License No. PEL 0070210







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Project Narrative

CAM Application Form

Figure A – Location Map

Figure B – FEMA Firm Map

Figure C – Coastal Resource Map
*(Per Coastal Master Plan of Bridgeport, Connecticut
On file City of Bridgeport Engineering Department)*

Figure D – Zone Map

Figure E – Coastal Resource Map
*(Per Coastal Area Management Program,
Connecticut Department of Environmental Protection
1979)*



PROJECT NARRATIVE

The parcels are located at 152, 156 & 166 Wilmot Avenue as Lots 4, 3 & 2A on Map 31, Block 655; is Zoned I-L and found in Zone X (Un-Shaded) and Zone AE (Between Elevations 10 & 11) FEMA Panel 441 of 626, Map Number 09001C441G, Map Revised July 8, 2013.

The parcel is within a Residential Section of the Coastal Area Management Zone per Coastal Master Plan of Bridgeport, Connecticut (Sheet 3 of 4) found on file in the City of Bridgeport Engineering Department.

This site is occupied by a warehouse facility. Proposed improvements include designated parking areas on the north and west side of an existing masonry building and perimeter landscape areas. A proposed storm drainage system consisting of three cultec 330 recharger chambers has been designed to handle the run-off based on water quality analysis. Lawn areas to be provided which will create green areas to aid in best management practices.

There will be a decrease in site coverage because existing pavement will be removed and replaced with perimeter landscaping. This property will be developed in keeping with the integrity of this zone and have no negative impact to abutting parcels. Construction is anticipated to have a twelve-month duration.



Application Form
Municipal Coastal Site Plan Review
For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions and submit it with the appropriate plans to appropriate municipal agency.

Section I: Applicant Identification

Applicant: <u>James Montelbano</u>	Date: <u>03/19/2021</u>
Address: <u>63 Hillside Avenue, Farmingdale, NY 11735</u>	Phone: <u>631-445-0858</u>
Project Address or Location: <u>152, 156 & 166 Wilmot Avenue</u>	
Interest in Property: <input type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement	
<input checked="" type="checkbox"/> other (specify) <u>Purchaser</u>	
List primary contact for correspondence if other than applicant:	
Name: <u>James Montelbano</u>	
Address: <u>63 Hillside Avenue</u>	
City/Town: <u>Farmingdale</u>	State: <u>NY</u> Zip Code: <u>11735</u>
Business Phone: <u>631-445-0858</u>	
e-mail: <u>jmontelbano@gmail.com</u>	

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- N/A High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Stormwater treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

	<input checked="" type="checkbox"/>	Site Plan for Zoning Compliance
N/A	<input type="checkbox"/>	Subdivision or Resubdivision
	<input checked="" type="checkbox"/>	Special Permit or Special Exception
N/A	<input type="checkbox"/>	Variance
N/A	<input type="checkbox"/>	Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description: 152, 156 & 166 Wilmot Avenue

City or Town: Bridgeport

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
There are no adjacent waters - parcel is within 800'± of Johnson's Creek, FEMA Zone AE & X (Unshaded)

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:
The parcel supports a one story, warehouse building located within R-BB & IL zones. The present zone line is running through the parcel and is proposed to be relocated to the northerly boundary line in order to locate the parcel entirely within the IL zone. The parcels to the north and east and directly across the street are single and multi-family residences. The two parcels to the south are vacant. A marine service shop is also across the street.

5. Indicate the area of the project site: 23,060± acres or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

<input type="checkbox"/>	Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
<input type="checkbox"/>	Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.
<input checked="" type="checkbox"/>	Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

Proposal to remove exterior wood stock piles and install perimeter landscaping in order to conform to the 15% minimum landscape requirement. The use of the building will change from warehouse to whole sale trade with an accessory retail use. The purchaser will park service vehicles on site incident to the new business use. No other outdoor activity is proposed. A storm drainage system has been designed to accommodate existing run-off from the existing paved areas. Lawn areas will be provided which will create green areas to aid in storm water quality. There will be no increase in site coverage since new lawn areas are proposed. This property will be developed in keeping with the integrity of this zone. Construction will have a twelve month duration.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Storm water run-off from the structure will be treated with a sub-grade stormwater infiltration system. The primary stormwater treatment will be implemented as to Stormwater Best Management Practice. Stormwater run-off will also be improved by the planting of new lawn areas which will also aid in the attenuation of storm water run-off. Pre- and post-development stormwater run-off rates and volumes were computed using the TR-55 method. Water quality volume (WQV) was determined using methods as outlined in CT DEEP Stormwater Quality Manual (SWQM). The greater of the two is held for design purposes. This primary treatment method will remove at least 80% of the average annual total suspended solids (TSS) load.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)	X	X		
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

Complies w/ CGS 22a-92(a)(1) "...by promoting economic growth without significantly disrupting the environment..."

Complies w/ CGS 22a-92(b)(2)(F) "...manage coastal hazard areas to minimize hazards to property..."

Complies w/ CGS 22a-92(c)(2)(B) "...maintain patterns of water circulation in the placement of drainage control structures..."

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)

Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);

Definition CGS Section 22a-93(16)

Ports and Harbors - CGS Section 22a-92(b)(1)(C)

Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)

Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)

Boating - CGS Section 22a-92(b)(1)(G)

Fisheries - CGS Section 22a-92(c)(1)(I)

Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(c)(1)(j) and 22a-92(c)(1)(K)

Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)

Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)

Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)

Solid Waste - CGS Section 22a-92(a)(2)

Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)

Cultural Resources - CGS Section 22a-92(b)(1)(J)

Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on off-site coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration.

This project will be limited to the confines of the site and will be completed within twelve (12) months. All disturbed areas will be loamed, seeded and planted upon completion of construction. No other disturbance on or off site is proposed.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		✗
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		✗
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		✗
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		✗
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		✗
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		✗
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		✗
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		✗

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The **Applicable** column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		✗
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		✗
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		✗

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

Not applicable - the project does not qualify as a water-dependent use.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

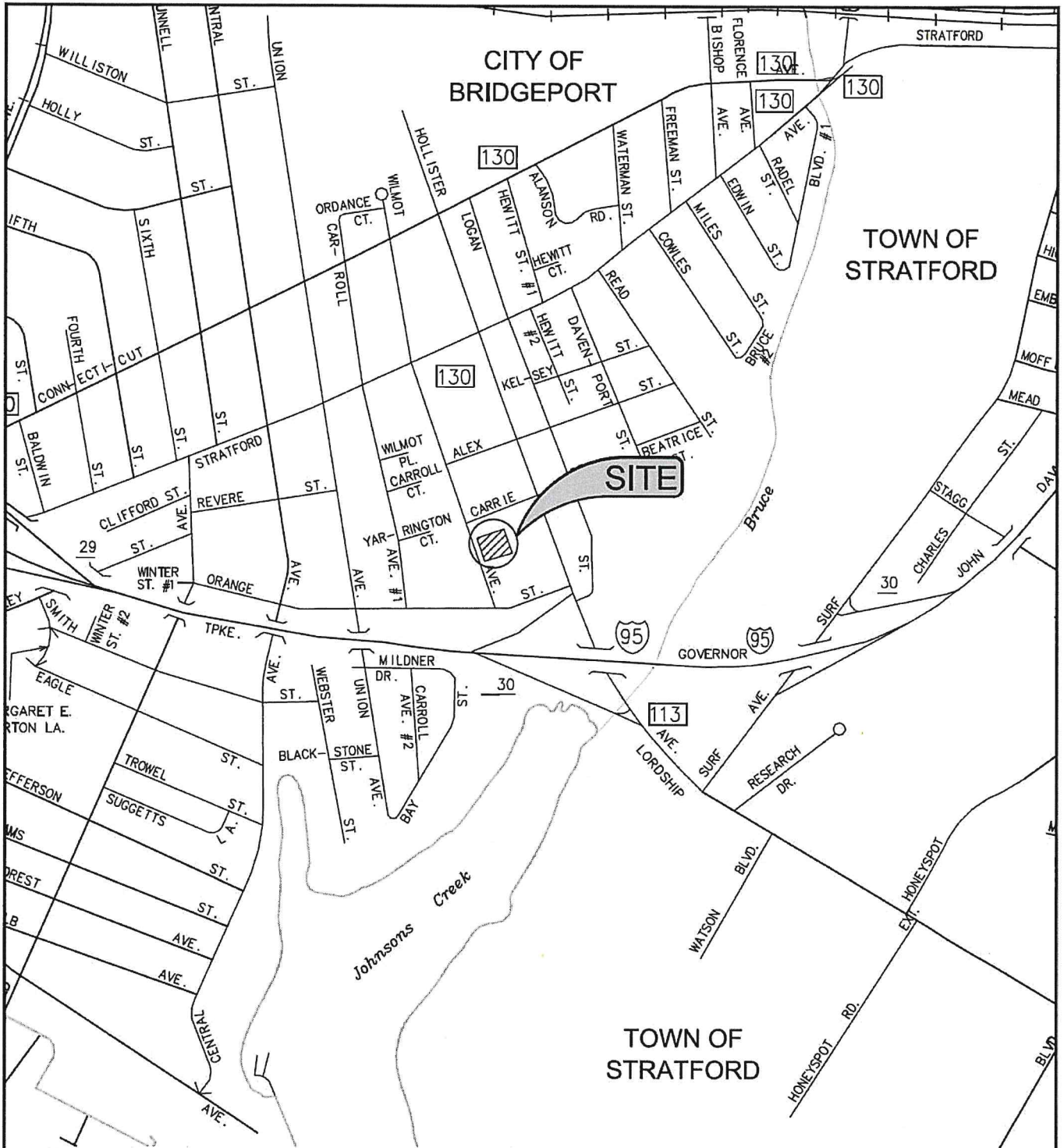
Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. The proposed activity will be constructed with the appropriate soil erosion and control measures and will include the design of a storm drainage system to ensure there will be no adverse impact on the adjoining properties. New lawn areas will also reduce erosion and provide storm water infiltration. No building construction is proposed therefore, no disturbance is required within the street right-of-way nor the excavation of existing street utilities.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

No adverse impacts resulting from the proposed activity is anticipated and appropriate measures will be utilized and designed as outlined above.



SCALE: 1" = 800'

**Cabezas
DeAngelis**

ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 • F: 203 330 8701



LOCATION MAP	
- PREPARED FOR - JAMES MONTELBANO 152, 156 & 166 WILMOT AVENUE BRIDGEPORT, CONNECTICUT	
DATE: MARCH 2021	FIGURE A



SCALE: 1" = 500'

Johnson's Creek

MAP NUMBER 09001C0441G. MAP REVISED JULY 8, 2013

**Cabezas
DeAngelis**
ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

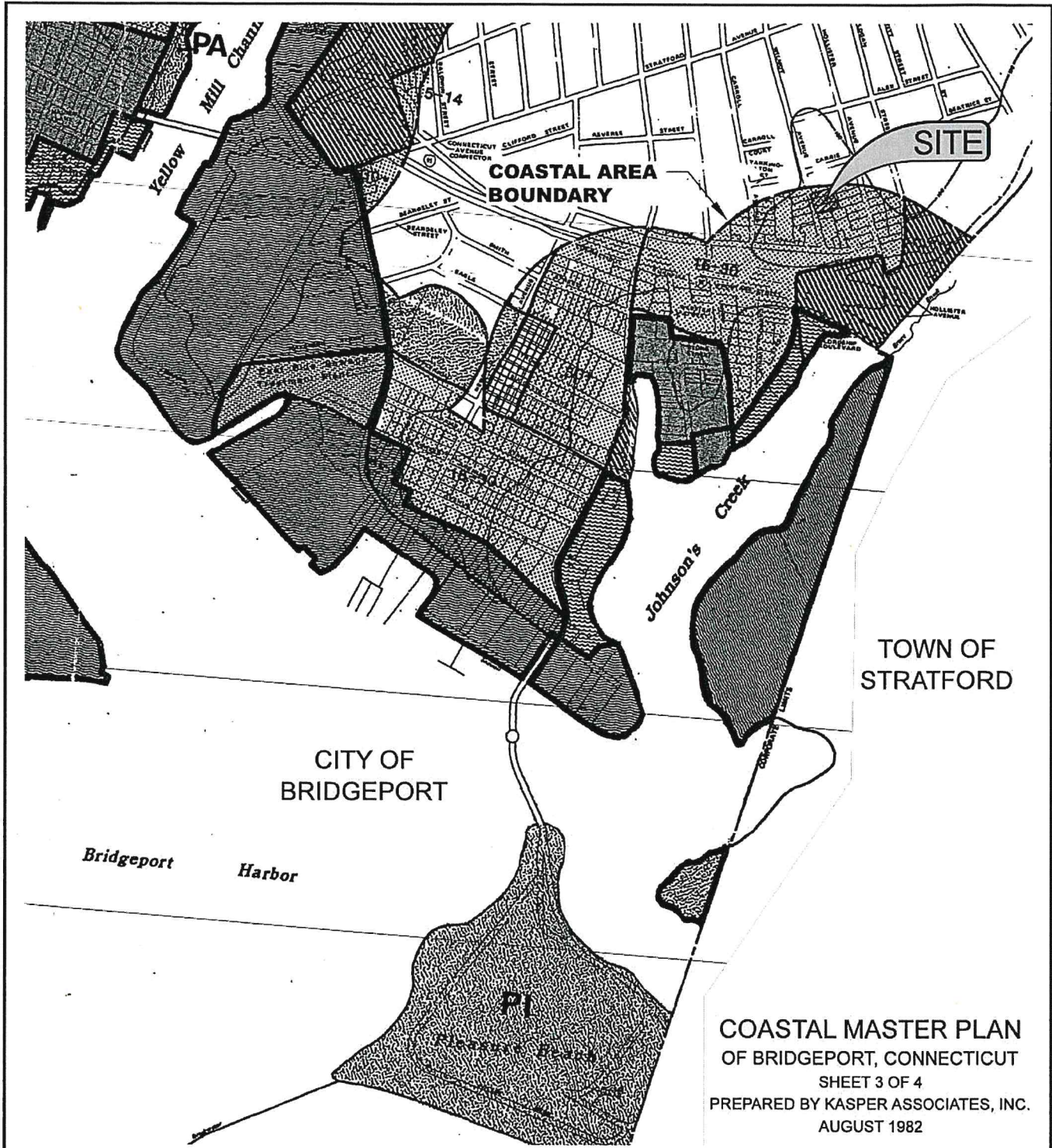


FEMA FIRM MAP

- PREPARED FOR -
JAMES MONTELBANO
152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT

DATE: MARCH 2021

FIGURE B



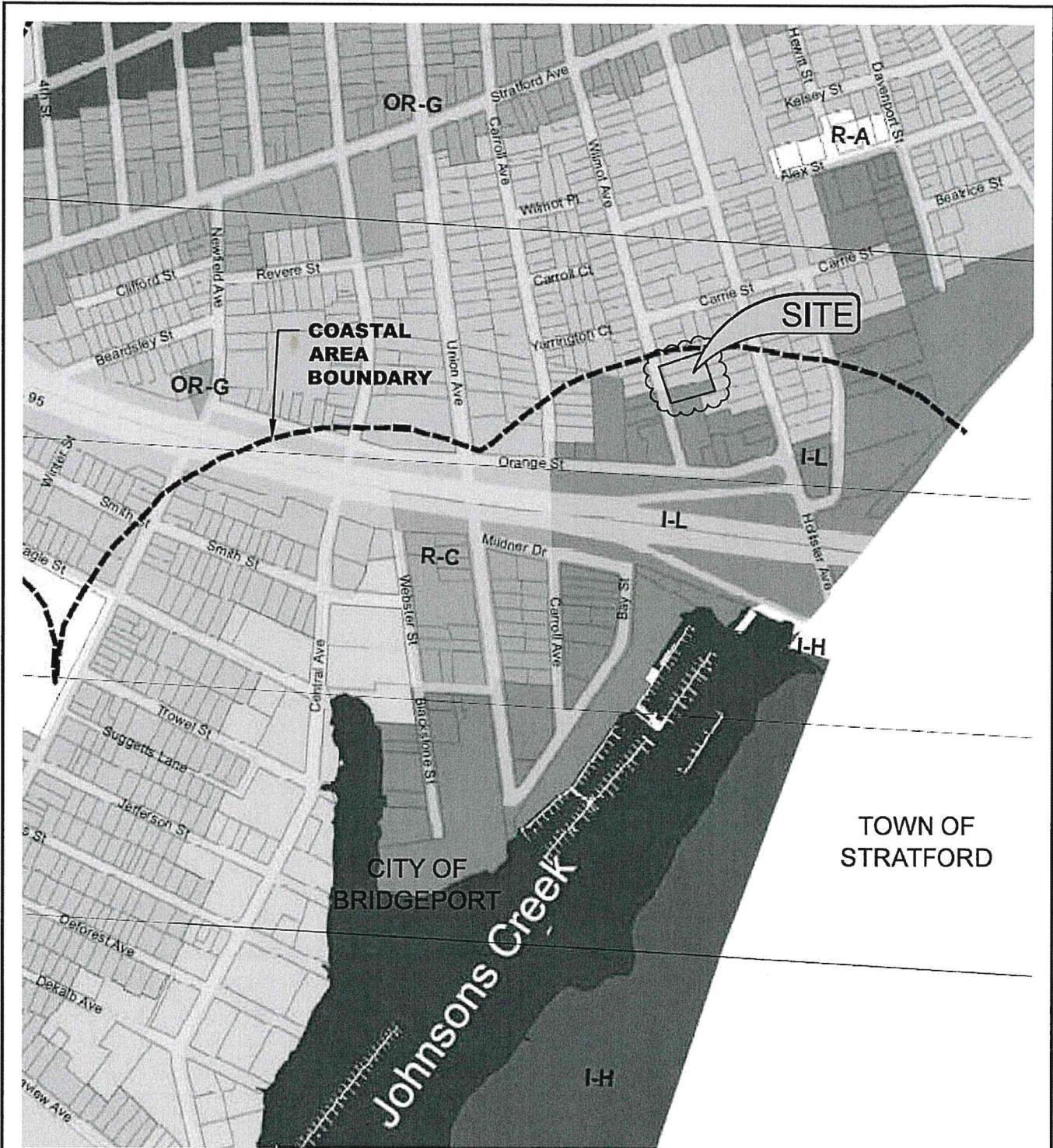
COASTAL MASTER PLAN
 OF BRIDGEPORT, CONNECTICUT
 SHEET 3 OF 4
 PREPARED BY KASPER ASSOCIATES, INC.
 AUGUST 1982

SCALE: 1" = 1000'

**Cabezas
DeAngelis**
 ENGINEERS & SURVEYORS
 78 ELM STREET, BRIDGEPORT, CT 06604
 P: 203 330 8700 • F: 203 330 8701



COASTAL RESOURCE MAP	
- PREPARED FOR - JAMES MONTELBANO 152, 156 & 166 WILMOT AVENUE BRIDGEPORT, CONNECTICUT	
DATE: MARCH 2021	FIGURE C



SCALE: 1" = 500'


**Cabezas
DeAngelis**
 ENGINEERS & SURVEYORS
 78 ELM STREET, BRIDGEPORT, CT 06604
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ZONE MAP	
- PREPARED FOR - JAMES MONTELBANO 152, 156 & 166 WILMOT AVENUE BRIDGEPORT, CONNECTICUT	
DATE: MARCH 2021	FIGURE D



COASTAL RESOURCES
COASTAL AREA MANAGEMENT
 BASE MAP U.S.G.S. 7 1/2 MINUTE QUADRANGLE
 PREPARED BY:
 COASTAL AREA MANAGEMENT PROGRAM
 CONNECTICUT DEPARTMENT OF
 ENVIRONMENTAL PROTECTION
 1979

Cabezas DeAngelis
 ENGINEERS & SURVEYORS
 78 ELM STREET, BRIDGEPORT, CT 06604
 P: 203 330 8700 • F: 203 330 8701



COASTAL RESOURCE MAP

- PREPARED FOR -
JAMES MONTELBANO
152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT

DATE: MARCH 2021

FIGURE E
 NOT TO SCALE

DESIGN REPORT

STORMWATER MANAGEMENT SYSTEM

**152, 156 & 166 Wilmot Avenue
Bridgeport, Connecticut**



Prepared By: _____
Washington Cabezas, Jr., PEL 70210

Date: **March 19, 2021**



GENERAL INFORMATION

Per the City of Bridgeport Tax Assessor records, **152, 156 & 156 Wilmot Avenue** is listed as Map **31** Block **655**, Lots **4, 3 and 2A** and is a total of **23,060±** square feet in area combined. The parcels are zoned **I-L** and is presently occupied by a one story building with a gravel travel area and paved area for parking at the front of the existing building with access from Wilmot Avenue. The parcel has a grade change of approximately four feet pitching in a easterly direction. There is very little vegetation at the perimeter of the gravel parking area.

The site is partially within a FEMA Special Flood Hazard Zone and is designated in areas known as Zone X (Un-shaded) and Zone AE (between Elevations 10 & 11) per FEMA FIRM Map Number 09001C0441G, Panel Number 441 of 626, Map Revised July 8, 2013.

Sanitary sewer, water, gas and electric services are available on **Wilmot Avenue**. Proposed Improvements include the construction of a bituminous concrete paved parking area with a sub-grade stormwater infiltration system underneath. All remaining yard areas are to be loamed and seeded to establish good grass cover. The storm system will accommodate the theoretical storage volume required by the City of Bridgeport Storm Management Manual.

DESIGN METHODOLOGY

The stormwater runoff resulting from the existing and proposed conditions was analyzed using a 24-hour, 2-year, 10-year, 25-year & 50-year frequency, Type III storm event. HydroCAD software was used to run the storm analysis based on the SCS TR-20 method. A 2-year storm frequency for the Bridgeport area has a rainfall of 3.3 inches, a 10-year storm frequency has a rainfall of 5.0 inches, a 25-year storm frequency has a rainfall of 5.7 inches and a 50-year storm frequency has a rainfall of 6.4 inches per ConnDOT Drainage Manual. The minimum time of concentration of ten (10) minutes is used per section 7 of the City of Bridgeport Storm Management Manual. Hydrographs are also included in this report reflecting runoff information for the existing and proposed conditions under the 2, 10, 25 and 50-year storm events.

RESULTS

The resultant hydrographs provided the following information for 50 year storm event:

Total Drainage Area: **3,551 Ft²**

Existing Conditions Runoff Volume..... 1,751 Ft³

Post Conditions Runoff Volume 1,351 Ft³

Increase in Runoff..... - 400 Ft³ (Decrease)

10% Minimum Volume

Reduction Requirement 175.1 Ft³

(Based on Existing Conditions during 50-Year Storm Event: 0.10 (1,751.0 CF)

Total Storage Required 175.1 Ft³

(0+175.1)

PROPOSED SYSTEM



The proposed proposed stormwater system consists of a total of three (3) 330 Cultec Recharger chambers that will collect runoff from driveway areas. The proposed system will provide a total storage volume of **311.1 Ft³**. Forty percent of total angular stone volume is used as the crushed stone storage capacity. The calculations for sizing the system are included in this report.

Pre vs. Post Analysis

From hydrographs of 50-Year Event:

Post Conditions Volume = 1,351 Ft³
 Existing Conditions Volume = 1,751 Ft³
 Runoff Volume Increase= 1,351 Ft³ – 1,751 Ft³ = - 400 Ft³ (Decrease)
 10% Storm Runoff Volume Reduction: 0.10(1,751 Ft³) = 175.1 Ft³
 Minimum Volume Required by City of Bridgeport: **0 Ft³ + 175.1 Ft³ = 175.1 Ft³**

From the Water Quality Equation:

WQV= 1" RA/12 and R = 0.05+0.009(% Existing Impervious)
 R = 0.05+0.009(11.4%) = 0.1526
 WQV = 1" (0.1526) (0.529)/12 = 0.0067 Acre-Ft = **291.9 Ft³**

Minimum Storage Required: 291.9 Ft³

Stormwater Storage Provided

One Set of Three (3) Cultec 330 chambers x 52.2 Ft³ /unit = 156.6 Ft³
 Stone Volume = [(6.33)(24.5)(3.5) – 156.6] 0.4 = 154.5 Ft³
 Storage Provided: (156.6 Ft³ + 154.5 Ft³) = **311.1 Ft³**
 (Three chambers on the northerly side of the site)

Six (6) inches of angular stone to be installed under units with a minimum of six (6) inch depth of angular stone over top and twelve (12) inches on sides.

* Filter Fabric to be installed on all sides of crushed stone. (See detail on plan)

Minimum Storage Provided = 311.1 Ft³

Pre Vs. Post Runoff Volumes (Multi-Family)			
Storm Frequency	Post Conditions (Ft³)	Existing Conditions (Ft³)	Runoff Increase (Ft³)
2	522	842	- 320 (Decrease)
10	966	1,340	- 374 (Decrease)
25	1,157	1,545	- 388 (Decrease)
50	1,351	1,751	- 400 (Decrease)

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Summary for Subcatchment 1S: Existing Conditions

Runoff = 0.22 cfs @ 12.14 hrs, Volume= 842 cf, Depth> 2.84"

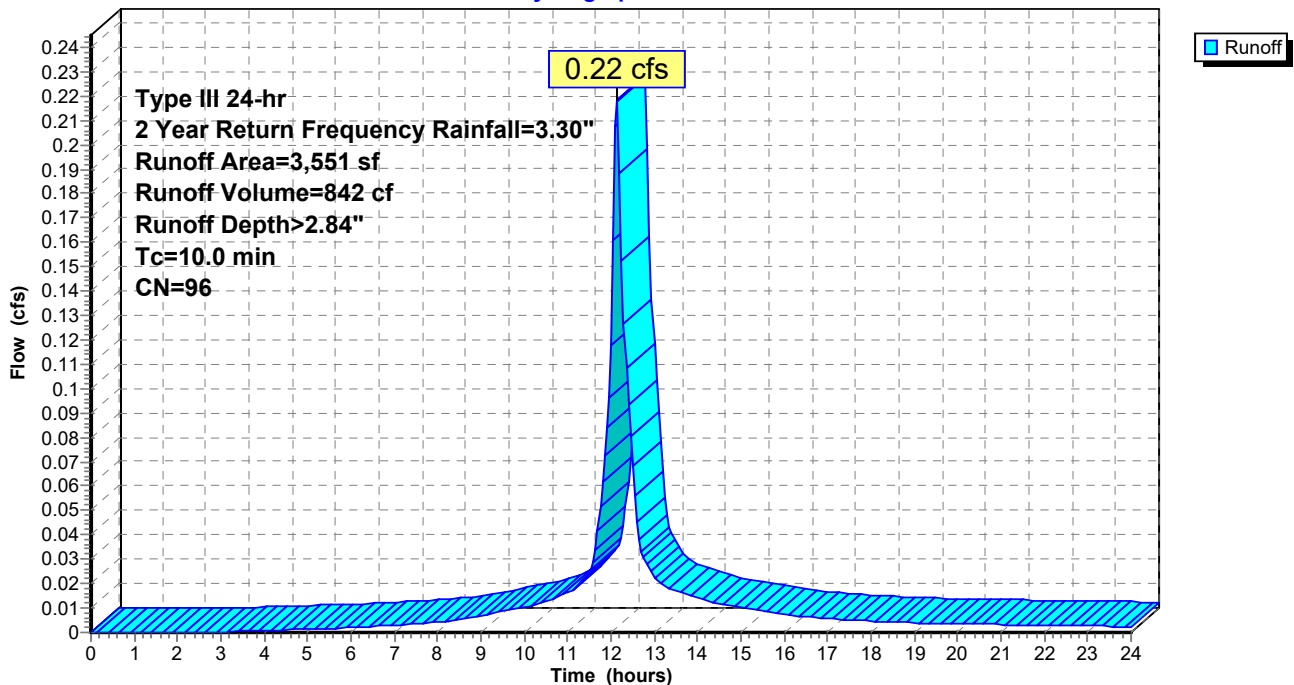
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type III 24-hr 2 Year Return Frequency Rainfall=3.30"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG D
922	89	<50% Grass cover, Poor, HSG D
3,551	96	Weighted Average
922		25.96% Pervious Area
2,629		74.04% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 1S: Existing Conditions

Hydrograph



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Summary for Subcatchment 2S: Proposed Conditions

Runoff = 0.15 cfs @ 12.15 hrs, Volume= 522 cf, Depth> 1.76"

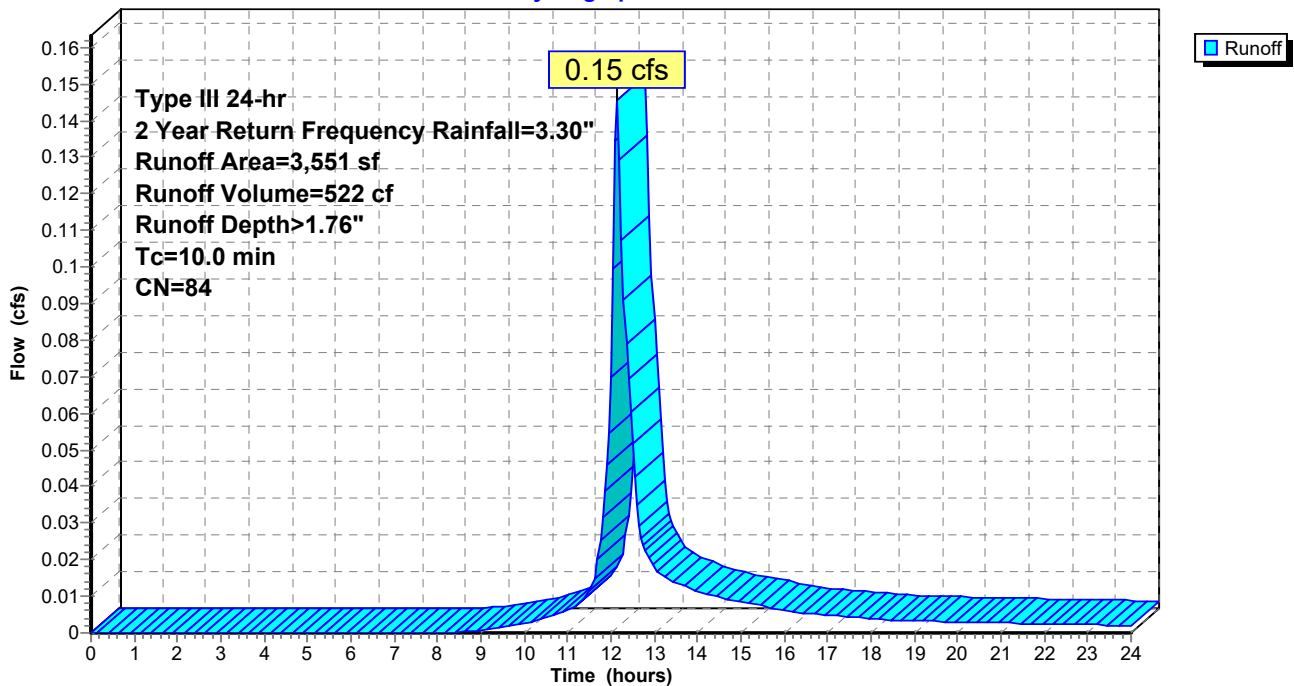
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type III 24-hr 2 Year Return Frequency Rainfall=3.30"

Area (sf)	CN	Description
3,551	84	50-75% Grass cover, Fair, HSG D
3,551		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 2S: Proposed Conditions

Hydrograph



152-166 Wilmot Avenue - (Disturbed Type III 24-hr 10 Year Return Frequency Rainfall=5.00"

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net

Printed 3/18/2021

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Summary for Subcatchment 1S: Existing Conditions

Runoff = 0.34 cfs @ 12.14 hrs, Volume= 1,340 cf, Depth> 4.53"

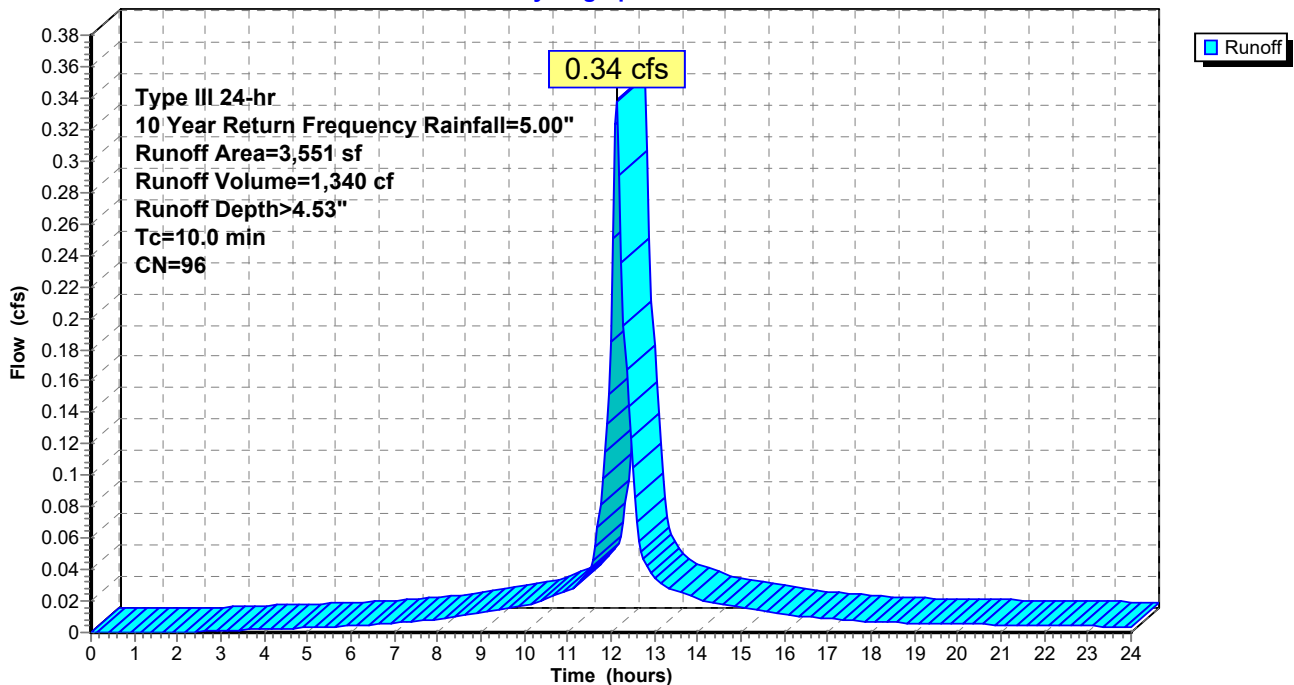
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Return Frequency Rainfall=5.00"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG D
922	89	<50% Grass cover, Poor, HSG D
3,551	96	Weighted Average
922		25.96% Pervious Area
2,629		74.04% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 1S: Existing Conditions

Hydrograph



152-166 Wilmot Avenue - (Disturbed Type III 24-hr 10 Year Return Frequency Rainfall=5.00"

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Summary for Subcatchment 2S: Proposed Conditions

Runoff = 0.27 cfs @ 12.14 hrs, Volume= 966 cf, Depth> 3.27"

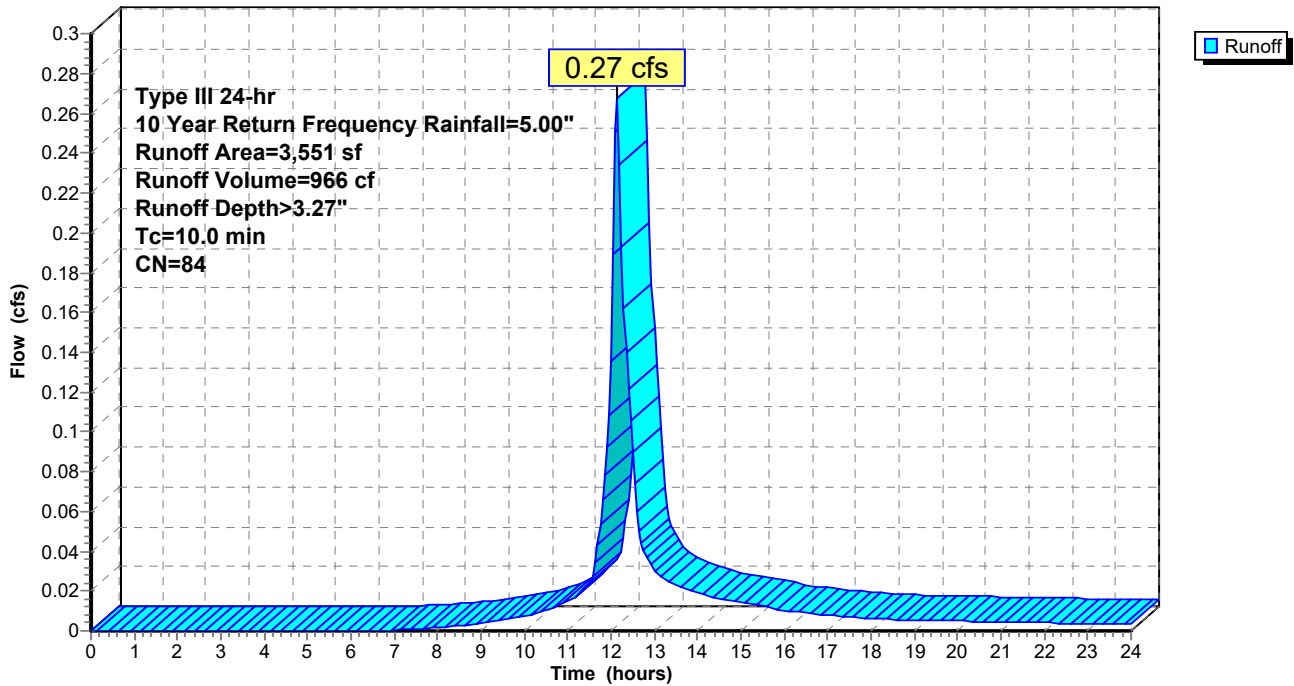
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Return Frequency Rainfall=5.00"

Area (sf)	CN	Description
3,551	84	50-75% Grass cover, Fair, HSG D
3,551		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 2S: Proposed Conditions

Hydrograph



152-166 Wimot Avenue - (Disturbed Type III 24-hr 25 Year Return Frequency Rainfall=5.70"

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Summary for Subcatchment 1S: Existing Conditions

Runoff = 0.39 cfs @ 12.14 hrs, Volume= 1,545 cf, Depth> 5.22"

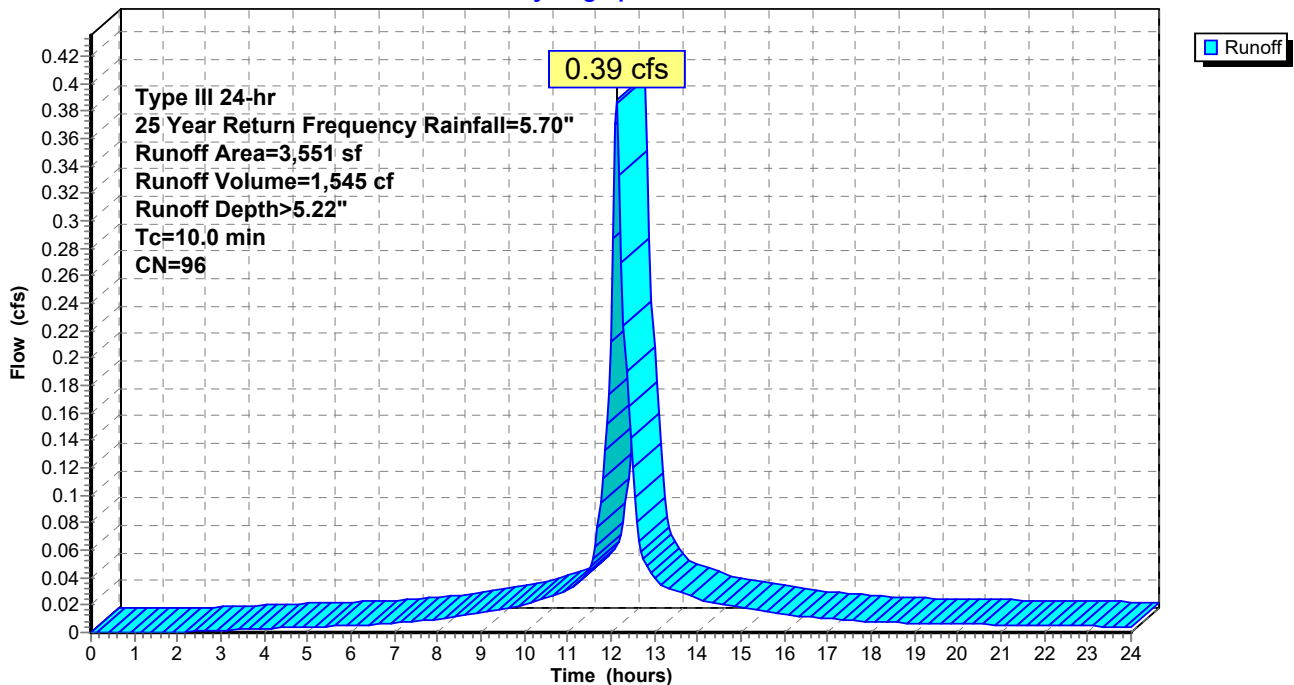
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 Year Return Frequency Rainfall=5.70"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG D
922	89	<50% Grass cover, Poor, HSG D
3,551	96	Weighted Average
922		25.96% Pervious Area
2,629		74.04% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 1S: Existing Conditions

Hydrograph



152-166 Wimot Avenue - (Disturbed Type III 24-hr 25 Year Return Frequency Rainfall=5.70"

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Summary for Subcatchment 2S: Proposed Conditions

Runoff = 0.32 cfs @ 12.14 hrs, Volume= 1,157 cf, Depth> 3.91"

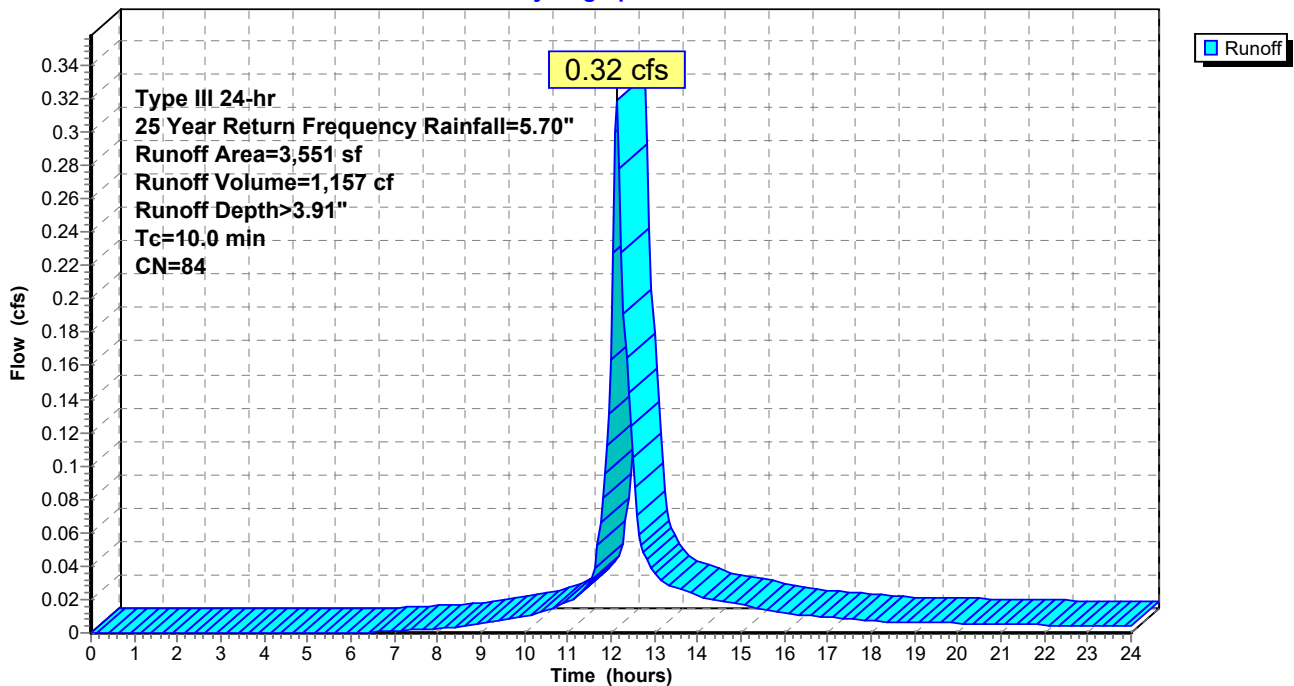
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 Year Return Frequency Rainfall=5.70"

Area (sf)	CN	Description
3,551	84	50-75% Grass cover, Fair, HSG D
3,551		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 2S: Proposed Conditions

Hydrograph



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Summary for Subcatchment 1S: Existing Conditions

Runoff = 0.44 cfs @ 12.14 hrs, Volume= 1,751 cf, Depth > 5.92"

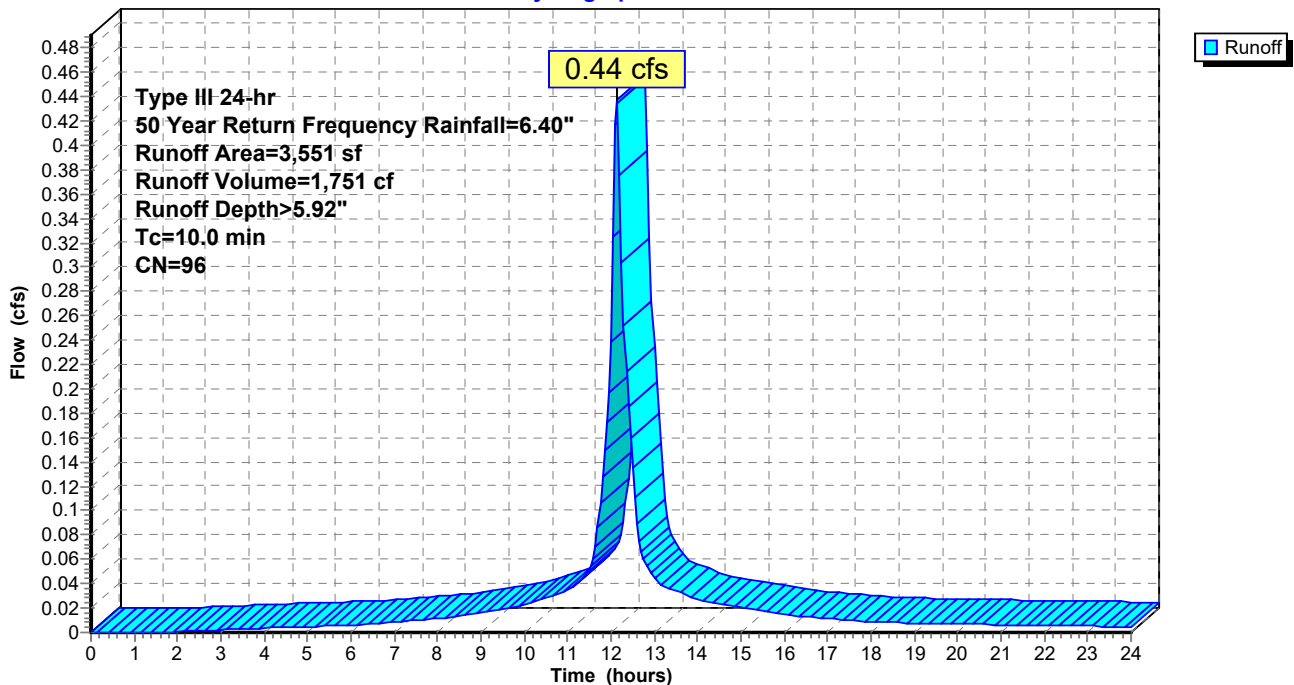
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type III 24-hr 50 Year Return Frequency Rainfall=6.40"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG D
922	89	<50% Grass cover, Poor, HSG D
3,551	96	Weighted Average
922		25.96% Pervious Area
2,629		74.04% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 1S: Existing Conditions

Hydrograph



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Summary for Subcatchment 2S: Proposed Conditions

Runoff = 0.37 cfs @ 12.14 hrs, Volume= 1,351 cf, Depth> 4.57"

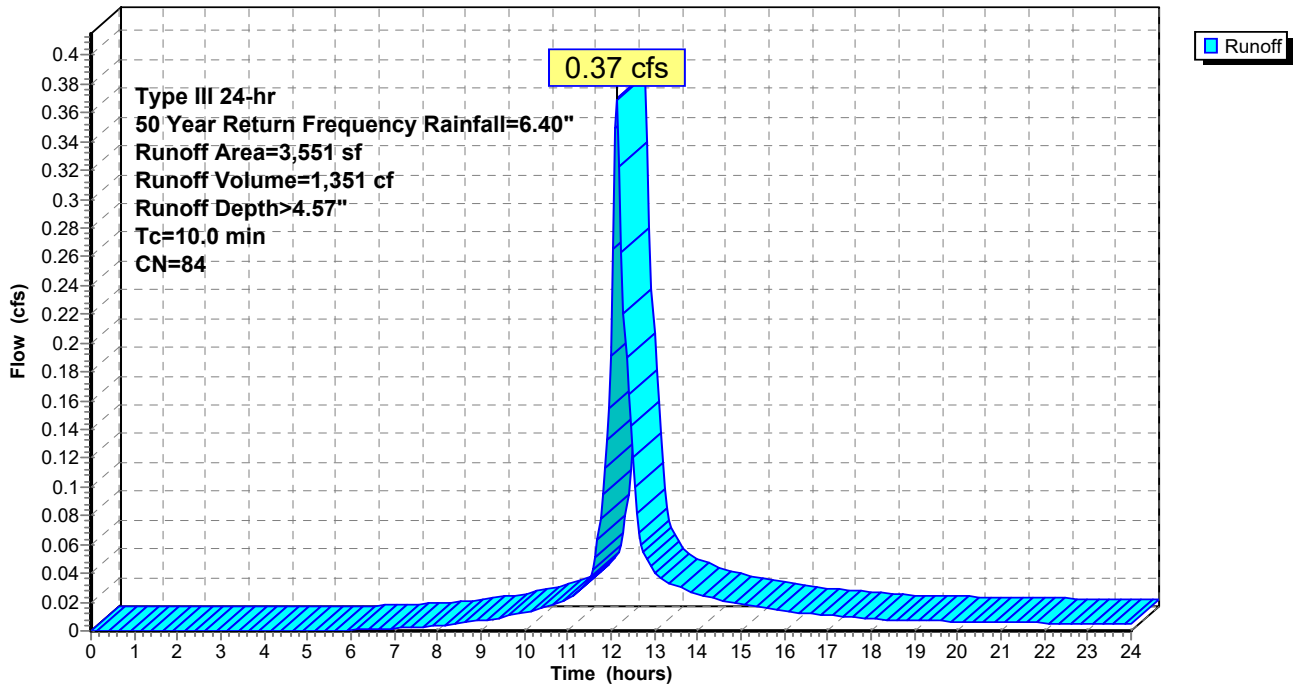
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type III 24-hr 50 Year Return Frequency Rainfall=6.40"

Area (sf)	CN	Description
3,551	84	50-75% Grass cover, Fair, HSG D
3,551		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry,

Subcatchment 2S: Proposed Conditions

Hydrograph



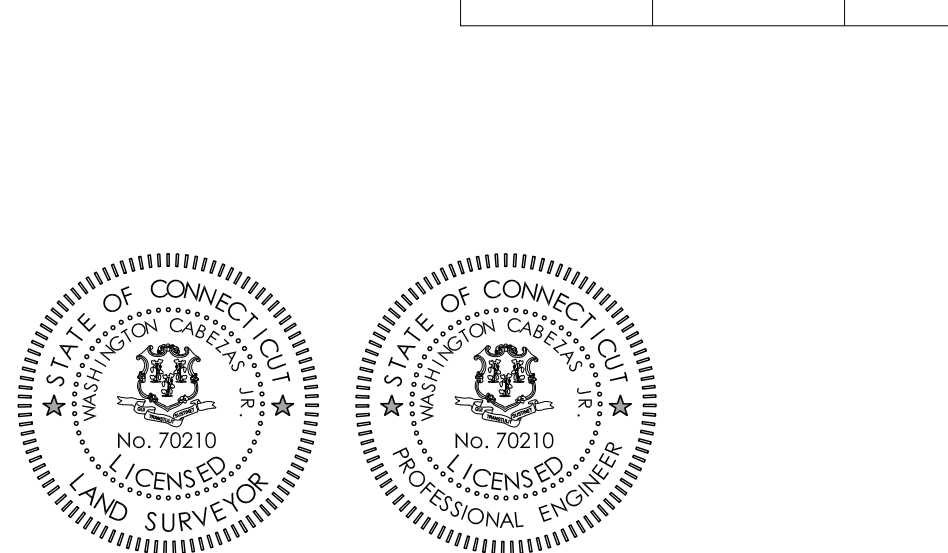
NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN IMPROVEMENT LOCATION SURVEY AND TOPOGRAPHIC SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2 AND IS INTENDED FOR MUNICIPAL COMPLIANCE PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) AS DETERMINED USING GEODESIC AND COINTEGRATED TO THE CITY OF BRIDGEPORT DATUM (+14.60'). LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CON83). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON JUNE 11, 2014 IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:
STATION: ORANGE
NORTHING 653,555.9292; EASTING 927,267.5499
LATITUDE 41°15'15.87404"; LONGITUDE 73°00'52.60263";
ELIFSOID -4.143
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
A. MAP ENTITLED "MAP NO. 1, PROPERTY OF D.F. HOLLISTER ESQ., WEST STRATFORD CONN., DATED FEBRUARY 1887", AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOL. 4, PG. 28.
B. MAP ENTITLED "FAIRFAX, BRIDGEPORT CONN., SCALE: 1" = 100', DATED SEPTEMBER 12, 1906" PREPARED BY SCOFIELD AND FORD AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOL. 6, PG. 53.
C. MAP ENTITLED "PROPERTY DIVISION FOR ANTONIA CARUSO AND ROSE AND JOHN SANTACROCE, LOCATED IN BRIDGEPORT CONN., SCALE: 1" = 20', DATED AUGUST 10, 1955" PREPARED BY ROBERT F. WASHALL AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOL. 20, PG. 97.
D. MAP ENTITLED "PROPOSED SUBDIVISION, PREPARED FOR ERNESTO AND LAURA BATISTA BRIDGEPORT, CONNECTICUT, SCALE: 1" = 20', DATED FEBRUARY 4, 1992", PREPARED BY CHARLES T. GALIAN AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOL. 51, PG. 185.
E. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING BLOCK 655.
- PARCEL INFORMATION:
A. 152 WILMOT AVENUE
A. ASSESSOR'S REFERENCE: MAP 31, BLOCK 655, LOT 4
B. PARCEL AREA: 8,864± SQ. FT., OR 0.204± AC.
C. RECORD OWNER: CORBALITE, LLC, VOL. 9840, PG. 30
D. PARCEL LOCATED WITHIN THE 'L-1' ZONING DISTRICT
156 WILMOT AVENUE
A. ASSESSOR'S REFERENCE: MAP 31, BLOCK 655, LOT 3
B. PARCEL AREA: 5,301± SQ. FT., OR 0.121± AC.
C. RECORD OWNER: CORBALITE, LLC, VOL. 9840, PG. 30
D. PARCEL LOCATED WITHIN THE 'R-BB' ZONING DISTRICT
166 WILMOT AVENUE
A. ASSESSOR'S REFERENCE: MAP 31, BLOCK 655, LOT 2A
B. PARCEL AREA: 8,893± SQ. FT., OR 0.204± AC.
C. RECORD OWNER: CORBALITE, LLC, VOL. 9840, PG. 30
D. PARCEL LOCATED WITHIN THE 'R-BB' ZONING DISTRICT

- THE SUBJECT PARCELS ARE LOCATED WITHIN THE JOHNSON'S CREEK COASTAL BOUNDARY - RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT SHEET 3 OF 4, SCALE: 1" = 500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 441 OF 626, COMMUNITY BRIDGEPORT, CITY OF NUMBER 09000 PANEL 0441 SUFFIX G, MAP NUMBER 09001C0441G, MAP REVISED JULY 8, 2013. THE PARCELS ARE LOCATED IN AREAS DESIGNATED AS ZONE X (UN-SHADED) AND ZONE AE (BETWEEN ELEVATIONS 10 & 11).
- DEEDS, RECORD MAPS, AND OTHER DRAWINGS IN THE FILES OF VARIOUS DEPARTMENTS OF THE CITY OF BRIDGEPORT EVIDENCE DISCREPANCIES. IN SOME CASES SIGNIFICANT, WITH RESPECT TO LINES OF TITLE (INCLUDING STREET LINES), THE LINES OF TITLE EVIDENCED IN THE DOCUMENTS REFERENCED HEREIN DO NOT NECESSARILY AGREE WITH OCCUPATION LINES, PINS, MONUMENTS, ETC., FOUND OR WITH OTHER PHYSICAL EVIDENCE FOUND. THE CITY OF BRIDGEPORT HAS ESTABLISHED STREET LINES IN THE SUBJECT AREA; HOWEVER, ORIGINAL MONUMENTATION HAS BEEN REMOVED OR NOT FOUND. THE PROPERTY LINES, INCLUDING THE STREET LINES DEPICTED AND NOTED HEREON REPRESENT THE APPARENT "BEST FIT" OF THESE CONFLICTING ELEMENTS AND ARE CONSIDERED TO BE THOSE WHICH ARE TO BE MOST LIKELY CORRECT AND ARE SUBJECT TO ANY REVISION OR CORRECTION WHICH MAY BE REQUIRED BY APPROPRIATE LEGAL PROCEEDINGS OR BY DISCOVERY OF ADDITIONAL INFORMATION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).
- REFERENCE TO OTHER INSTRUMENTS FOUND ON FILE: ZONING COMPLIANCE FIELD CARD NUMBERS 10891, 17895, 18387, 19290 AND 38439.

MINIMUM OFF-STREET PARKING REQUIREMENTS, NON-DVD ZONES
Table 8.A

	REQUIRED	PROVIDED
WAREHOUSE (primary use) 0.5 / 1000 sq ft and 0.5 / employee	5.2 + 1 = 6.2	7
TOTAL	6.2	7



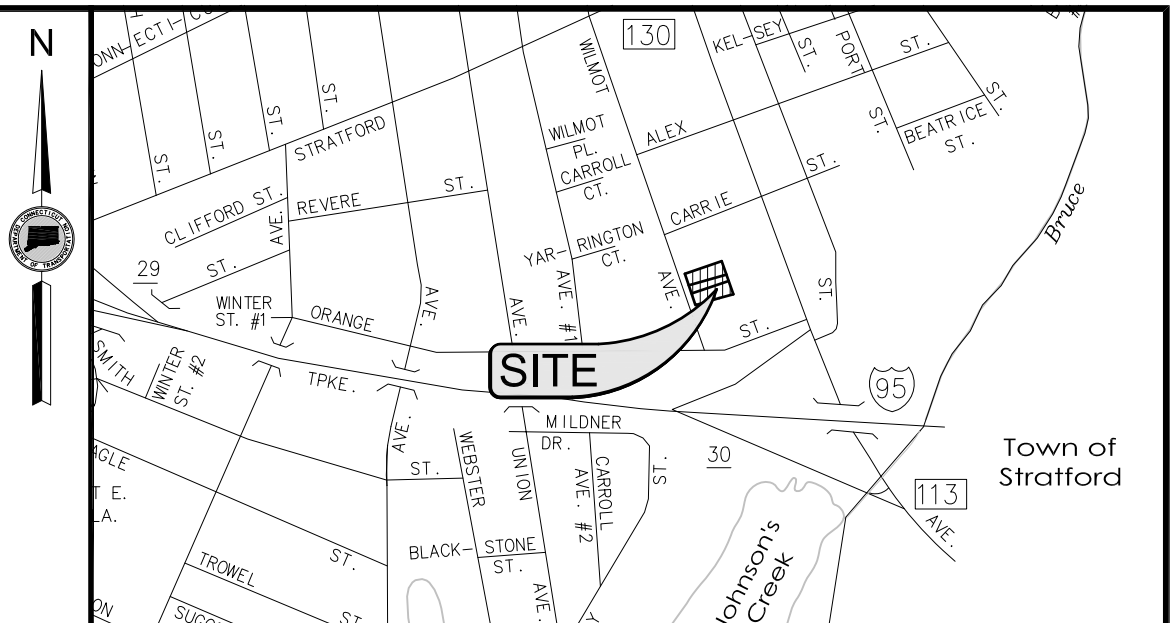
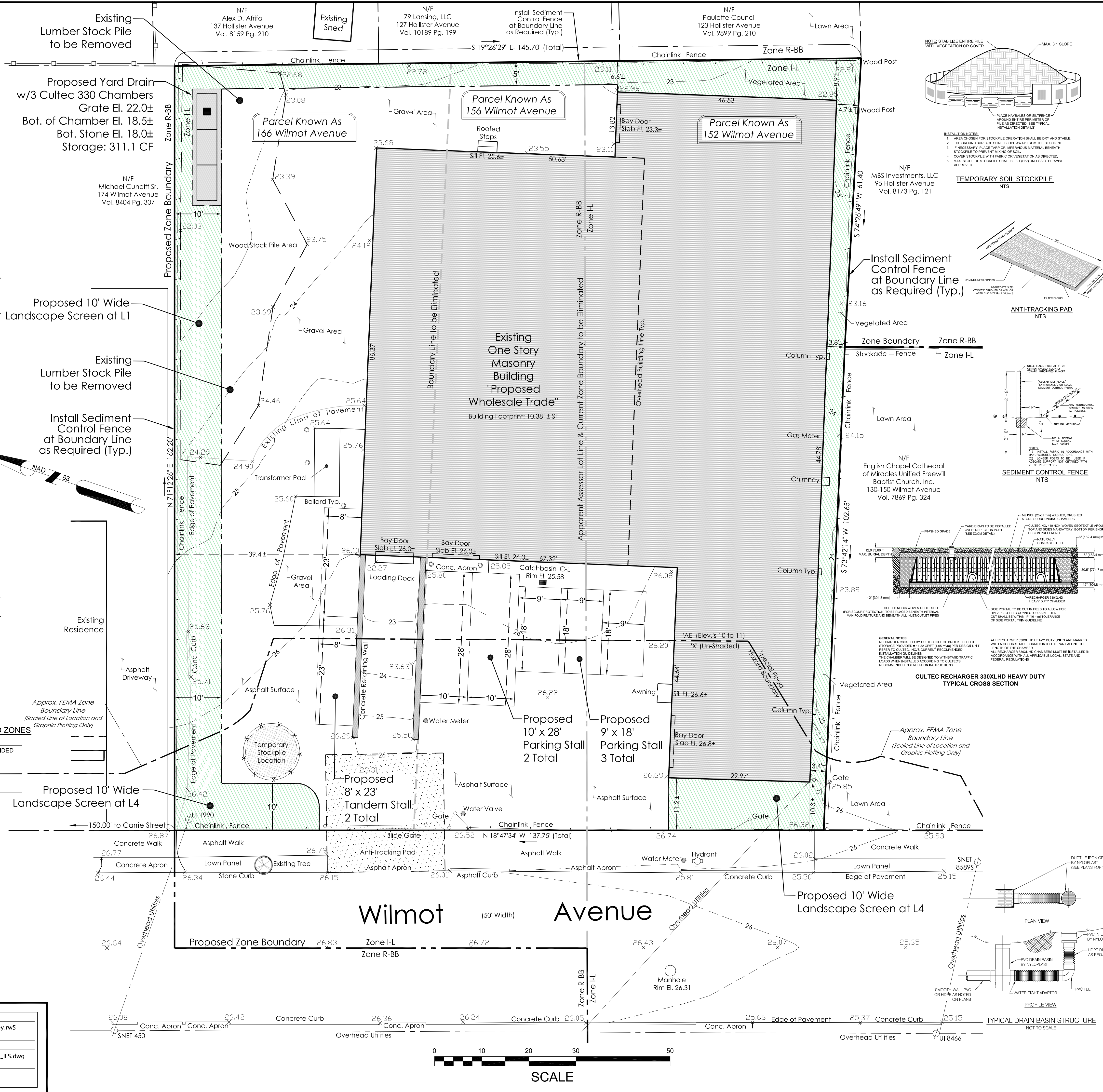
TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WASHINGTON CABEZAS, JR. PEL 70219

Cabezas DeAngelis
ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=10'
FIELD FILE: 156 wilmot survey.rws
PROJECT NO. CD1494
DATE: March 19, 2021
CAD FILE: 152-166 Wilmot Ave_ILS.dwg
SHEET 1 OF 1
REV:



I-L Zone Development Standards

LOT	REQUIRED	PROPOSED
LOT AREA, MINIMUM	N/A	23,060± SF
FRONTAGE, MINIMUM	25 FT	137.75 FT
FLOOR AREA RATIO, MAXIMUM	N/A	N/A
PRINCIPLE BUILDING SIZE, MAXIMUM	N/A	N/A
FRONT LOT LINE, MINIMUM FROM	N/A	N/A
STREET LOT LINE, MINIMUM FROM	15 FT	10.3± FT
MAXIMUM SETBACK	N/A	N/A
SIDE LOT LINE, MINIMUM FROM	N/A	N/A
REAR LOT LINE, MINIMUM FROM	N/A	N/A
NOT TO EXCEED	N/A	N/A
MINIMUM SETBACK FROM:		
OTHER HEAVY INDUSTRIAL USE	10 FT	N/A
OTHER USE	0	3.4± FT
LOT LINE ABUTTING AN 'R' ZONE	15 FT	3.8± FT
SIDE	N/A	N/A
REAR	N/A	N/A
LOT LINE ABUTTING AN 'M' OR 'T' ZONE	0	3.4± FT
CORNER LOT YARDS	NOTE 2	N/A
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A
ACCESSORY STRUCTURE	NOTE 9	N/A
COVERAGE		
BUILDING COVERAGE, MAXIMUM	85%	45%
SITE COVERAGE, MAXIMUM	85%	85%
LANDSCAPED AREA		
MINIMUM	15%	15%
IN SETBACK ABUTTING AN 'R' ZONE, MIN.	10 FT DEEP @ L4	PARTIALLY PROVIDED
HEIGHT		
PRINCIPAL BUILDING		
MAXIMUM FOR PRINCIPAL BUILDING	75 FT	18± FT
PROJECTIONS AND FEATURES	NOTE 5	20± FT (ROOF MECHANICALS)
ACCESSORY STRUCTURE, MAXIMUM		
HEIGHT, MAXIMUM	NOTE 7	N/A
FLOOR AREA, GROSS MAXIMUM	NOTE 8	N/A
PUBLIC ACCESS EASEMENT	NOTE 10	N/A

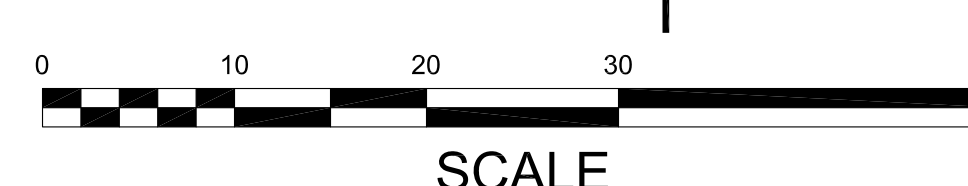
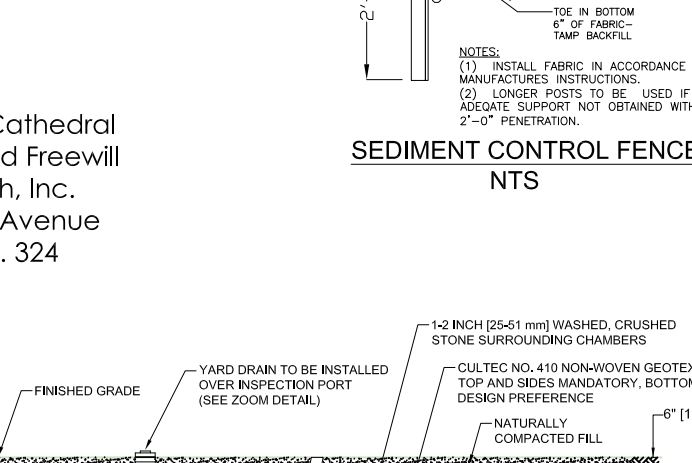
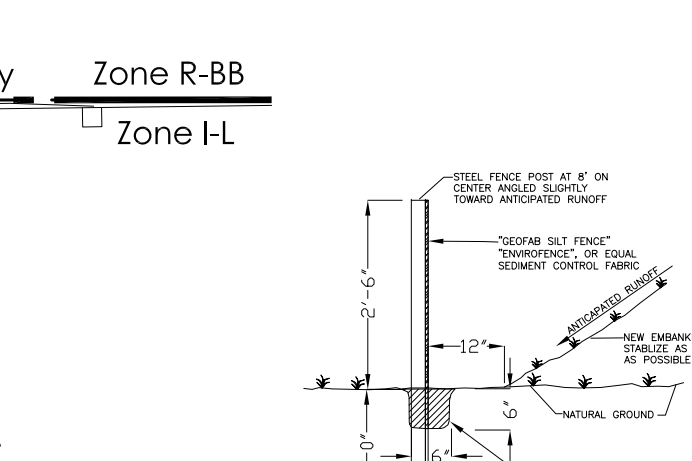
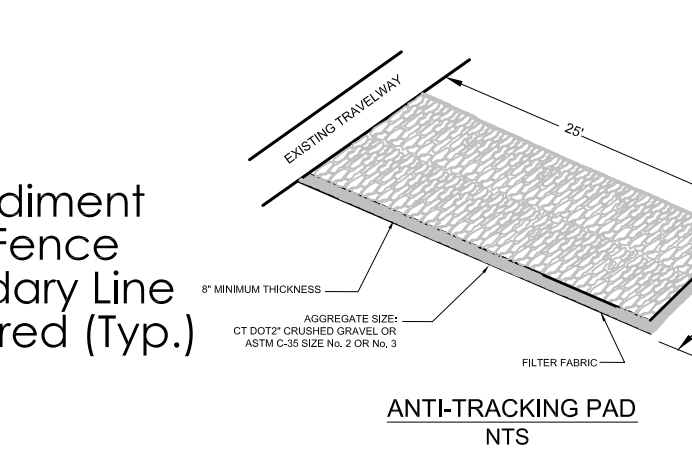
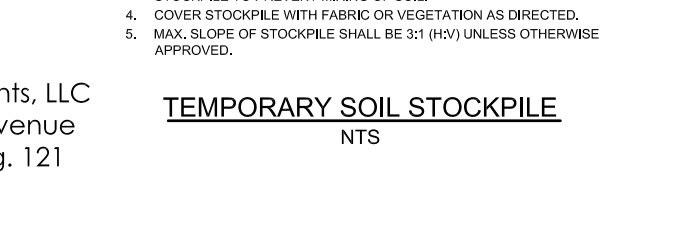
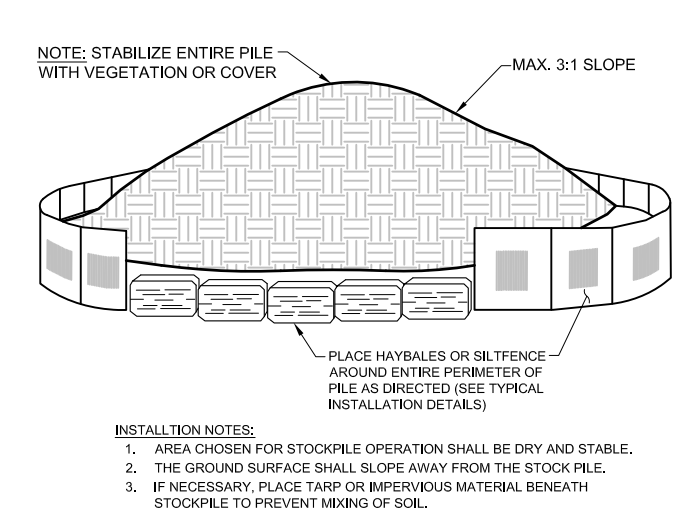
- NOTES:
- NO MAXIMUM BUILDING SETBACK FROM A STREET LOT LINE SHALL BE REQUIRED FOR ANY PARCEL OF LAND BOUNDARY ON THREE OR MORE SIDES BY CITY STREETS AND OWNED BY A CITY GOVERNMENT AGENCY.
 - ON A CORNER LOT IN ANY ZONE, THERE SHALL BE TWO FRONT YARDS AND TWO SIDE YARDS.
 - THE MINIMUM SETBACK FROM MEAN HIGH WATER SHALL BE THIRTY (30) FEET EXCEPT FOR BUILDINGS SUPPORTING WATER DEPENDENT USES THAT MAY REQUIRE LOCATION IMMEDIATELY ADJACENT TO THE WATER.
 - SEE SECTION 11-3, LANDSCAPING AND SCREENING - THE MINIMUM AREAS REQUIRED TO BE LANDSCAPED ARE LISTED IN TABLE 3, ZONE DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONES AND TABLE 4, A AND 4-B, ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES. ANY REQUIRED LANDSCAPING AS FOR REQUIRED AREAS OF PARKING LOTS, MAY BE APPLIED TOWARD THE MINIMUM LANDSCAPED AREA PERCENTAGE REQUIREMENT. REQUIRED LANDSCAPING AND SCREENING MUST MEET THE LEVELS REFERENCED IN EACH APPLICABLE ZONE DEVELOPMENT STANDARDS TABLE AND APPLICABLE STANDARDS SET FORTH ELSEWHERE IN THESE REGULATIONS. LANDSCAPING AND SCREENING STANDARDS LEVELS ARE SET FORTH IN SECTION 11-3.1.
 - SEE SECTION 4.4, HEIGHT - MAXIMUM HEIGHTS FOR STRUCTURES ARE LISTED IN THE ZONE DEVELOPMENT STANDARDS TABLES. EXCEPTIONS TO THE MAXIMUM HEIGHTS ARE SET FORTH IN SECTION 4-4.1 (PROJECTIONS ALLOWED) AND 4-4.2 (ARCHITECTURAL FEATURES).
 - BUILDINGS PROPOSED FOR MORE THAN THREE (3) STORES SHALL REQUIRE A SPECIAL PERMIT.
 - ANY ACCESSORY STRUCTURE WITH A FLAT OR ROOUNDED ROOF SHALL BE NO HIGHER AT ITS HIGHEST POINT THAN TWELVE (12) FEET AND ANY ACCESSORY STRUCTURE WITH A PITCHED ROOF SHALL BE NO HIGHER THAN TWENTY (20) FEET. MEASUREMENTS SHALL BE TAKEN FROM THE FINISHED GRADE AT THE HIGHEST POINT OF THE STRUCTURE. IN 'H' AND 'L' ZONES, THE MAXIMUM HEIGHT FOR ANY ACCESSORY STRUCTURE SHALL NOT EXCEED (5) OF THE MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES IN THAT ZONE.
 - SEE SECTION 4-4, ACCESSORY STRUCTURES - OUTSTANDING ACCESSORY STRUCTURES ARE ALLOWED IN ALL ZONES, AS SPECIFICALLY REGULATED IN THAT ZONE UNDER THE PROVISIONS OF A. LOCATION; B. COMPANION C. SIDE AND D. PROHIBITED USE.
 - REQUIREMENTS FOR ACCESSORY STRUCTURES SHALL BE THE SAME AS SETBACKS FOR PRINCIPAL STRUCTURES.
 - A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTY ABUTTING A WATERWAY. IN SUCH A CASE, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED FROM THE TOP OF THE EMBANKMENT AND FOR TWENTY (20) FEET BEYOND.
 - PARKING GARAGES SHALL BE EXEMPT FROM THE FLOOR AREA RATIO (FAR) REQUIREMENT AND SHALL NOT BE INCLUDED IN THE CALCULATION OF THE GROSS FLOOR AREA IN AN 'M' ZONE.
 - MINIMUM HEIGHT OF A PASSENGER TERMINAL SHALL BE 40 FT.
 - N/A - NOT APPLICABLE
 - N/C - NO CHANGE

IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY

PREPARED FOR
JAMES MONTELBANO
152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 31 | BLOCK 655 | LOT 4, 3 & 2A

SHEET 1 OF 1

MARCH 19, 2021 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'





CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: 547 N Ave Bridgeport Realty LLC
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 547 North Avenue, Bridgeport, CT 06606
4. Assessor's Map Information: Block No. 53/1514 Lot No. 1
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section:
6. Description of Property (Metes & Bounds): 225.24' x 15.00' x 217.22' x 123.28'
7. Existing Zone Classification: I-L
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Petitioner proposes to create approximately 850 SF retail convenience store within an existing building as an accessory use to the existing vehicle service facility

Approval(s) requested: Special Permt and Site Plan Review

Signature: [Signature] Date: 06/10/2021
Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: _____

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-528-0590 Fax: 203-255-6618
E-mail Address: Chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

547 N Ave Bridgeport Realty LLC 06/10/2021
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date

PROPERTIES WITHIN 100' OF 547 NORTH AVENUE

PROPERTY ADDRESS	OWNERS NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
596 NORTH AV	MCKENZIE DORETH	747 LAUREL AVE	BRIDGEPORT	CT	06604
635 NORTH AV	EZ REALTY LLC	643 NORTH AVE	BRIDGEPORT	CT	06606
625 NORTH AV	BRACAGLIA PAOLO	291 TOLL HOUSE LN	FAIRFIELD	CT	06825
580 NORTH AV #582	580 NORTH AVE LLC	580-582 NORTH AVE	BRIDGEPORT	CT	06604
547 NORTH AV	547 N AVENUE BRIDGEPORT REALTY LLC	555 S COLUMBUS AVE	MOUNT VERNON	NY	10550
608 NORTH AV #630	MCKENZIE DORETH	747 LAUREL AVE	BRIDGEPORT	CT	06604
529 NORTH AV	MTM FAMILY LIMITED PARTNERSHIP	1137 SEAVIEW AVE	BRIDGEPORT	CT	06607
615 NORTH AV	615 NORTH AVE LLC	580 NORTH AVE	BRIDGEPORT	CT	06606
584 NORTH AV #588	MCCARTHY WILLIAM C	134 SUNRISE HILL CIR	ORANGE	CT	06477
10 EVERGREEN ST	10 EVERGREEN ST LLC	59 CHAMBERLAIN DR	SHELTON	CT	06484
55 RANDALL AV #61	GBC COMPANY INC	128 FERNWOOD RD	TRUMBULL	CT	06611



Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Victoria Miller
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa B. Wambolt
(*Also Admitted in NY)

June 10, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Special Permit and Site Plan Review – 547 North Avenue

Dear Mr. Buckley:

Please accept, on behalf of 547 N Ave Bridgeport Realty, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application for Special Permit and Site Plan Review of the Bridgeport Zoning Regulations (the “Regulations”) for the property located at 547 North Avenue (the “Site”) to create an approximately 850 SF retail convenience store within an existing building as an accessory use to the existing motor vehicle service gas station in the I-L Zone.

Proposed Development

The Petitioner requests approval of a special permit and site plan review under the Regulations. The Site is located at the intersection of North Avenue and Housatonic Avenue and contains Six thousand two hundred and thirty-seven square feet (6,237 SF). The Site is in the I-L Zone and is located in a mixed industrial-commercial corridor. The Site currently contains four (4) separate entrance/exit driveways onto Housatonic and North Avenues. The Site contains seven (7) off-street parking spaces, which exceeds the requirement by two (2) spaces, including a handicap accessible space. The Petitioner proposes over twenty-five percent (25%) of the lot area to be landscaped, which is over ten percent (10%) of the requirement in the I-L Zone.

The Petitioner proposes to convert eight hundred and fifty square feet (850 sq. ft.) of the interior of an existing vehicle service facility into a retail convenience store. A vehicle service facility with gasoline fuel sales is permitted in the zone, while a non-automotive retail store requires a Special Permit and Site Plan Review. The Petitioner currently owns and operates the existing vehicle service facility, which offers gasoline fuel sales at five (5) different pump stations. The retail convenience store will sell consumer products typically found at related gasoline convenience stores, such as Cumberland Farms.

The proposed retail convenience store is compatible with and implement the objectives and policies of Bridgeport’s Master Plan of Conservation and Development, which contemplated mixed

10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

uses in light industrial areas, including the Enterprise Zone neighborhood. The proposed accessory commercial retail use fits this objective. The retail use will add a convenient resource to the surrounding area. Since the proposed off-street parking exceeds its requirement, the Petition will not have any negative impact on the surrounding neighborhood in terms of parking and it will not impair the future development of the surrounding area. The existing exterior of the buildings will not change in size and appearance, so there will be no impact from the bulk of the building under this Petition. The landscaping is in excess of the requirement, which is aesthetically beneficial to the neighborhood. The Site is entirely surrounded by the I-L Zone and, therefore, it will not have a negative impact on a residential district, which does not exist between the Route 8/25 connector and the Pequonnock River in this area. The existing vehicle service facility has been operating for years and has been able to handle the traffic it generates. The compliant parking will ensure there will be no negative traffic impact. The proposed accessory use is compatible with the vehicle service facility use and neighboring uses and it will not depreciate neighboring property values. In fact, a similar facility is located directly across the street.

For the reasons stated above, the Petitioner respectfully requests approval of the application for a Special Permit and Site Plan Review.

Sincerely,



Christopher Russo

Business Inquiry

Business Details

Business Name: **547 N AVE BRIDGEPORT REALTY LLC** Citizenship/State Inc: **Foreign/NY**
 Business ID: **1189005** Last Report Filed Year: **2021**
 Business Address: **555 S COLUMBUS AVE., SUITE 201, MOUNT VERNON, NY, 10550, USA** Business Type: **Foreign Limited Liability Company**
 Mailing Address: **555 S COLUMBUS AVE., SUITE 201, MOUNT VERNON, NY, 10550, USA** Business Status: **Active**
 Date Inc/Registration: **Oct 26, 2015** Name in Place of Formation: **547 N AVE BRIDGEPORT REALTY LLC**
 Commence Business Date: **Oct 26, 2015**
 Annual Report Due Date: **03/31/2022**
 NAICS Code: **Real Estate and Rental and Leasing (53)** NAICS Sub Code: **Lessors of Nonresidential Buildings (except Miniwarehouses) (531120)**

Principals Details

Name/Title	Business Address	Residence Address
TUMAY BASARANLAR MANAGER	555 S COLUMBUS AVE., SUITE 201, MOUNT VERNON, NY, 10550	161 DUANE STREET, NEW YORK, NY, 10007
JIMMY KOCHISARLI MANAGER	555 SOUTH COLUMBUS AVENUE, SUITE 201, MT. VERNON, NY, 10550	3 CROSSBOW LANE, WOODBURY, NY, 11797
JOSE MONTERO MANAGER	555 SOUTH COLUMBUS AVE, SUITE 201, MT. VERNON, NY, 10550	199 PINESBRIDGE ROAD, OSSINING, NY, 10562

Agent Summary

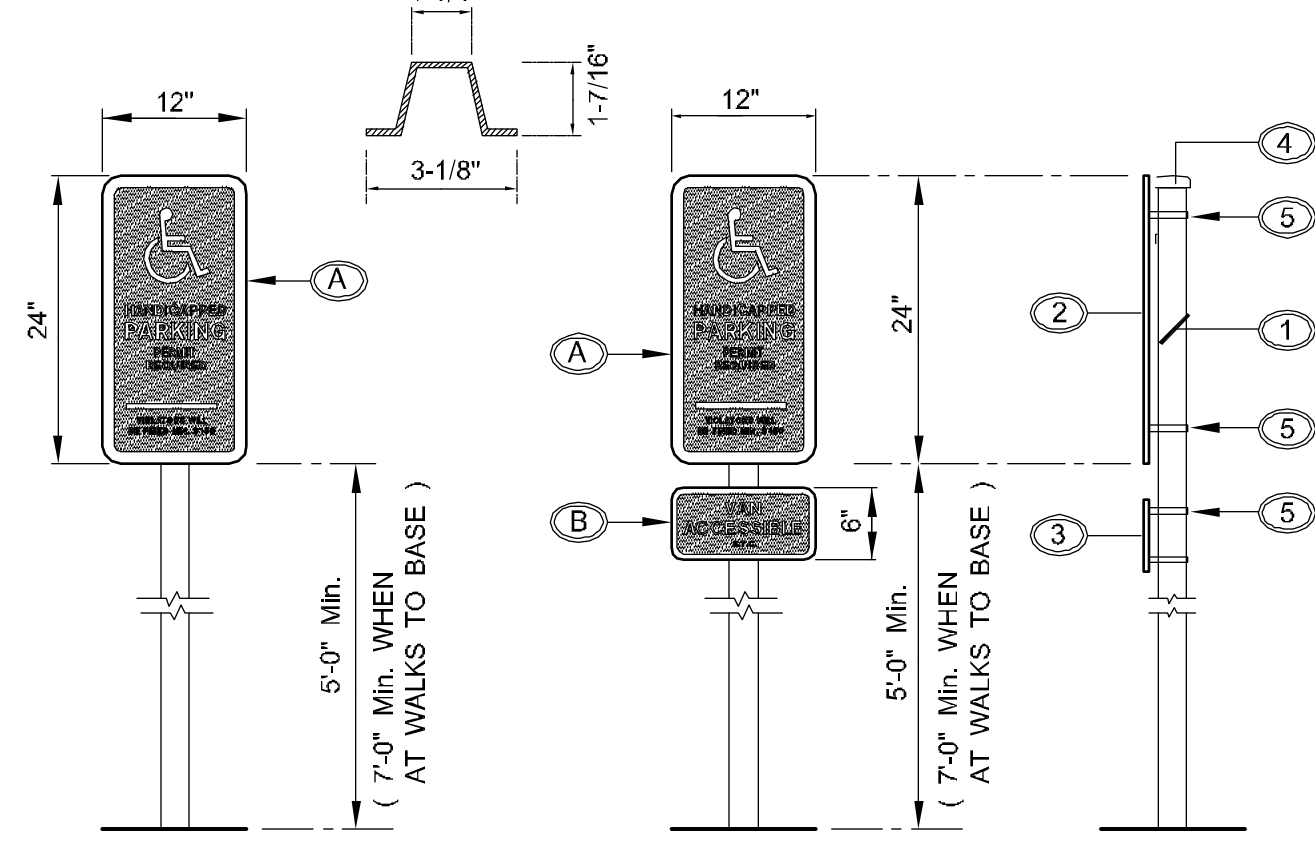
Agent Name **UNITED CORPORATE SERVICES, INC.**
 Agent Business Address **66 CEDAR STREET, NEWINGTON, CT, 06111**
 Agent Residence Address **NONE**
 Agent Mailing Address **66 CEDAR STREET, NEWINGTON, CT, 06111, USA**

OTHER ADDRESSES:

Address in the State of Formation: **555 S COLUMBUS AVE., SUITE 201, MOUNT VERNON, NY, 10550, USA**
 Mailing Address in the State of Formation: **555 S COLUMBUS AVE., SUITE 201, MT. VERNON, NY, 10550**

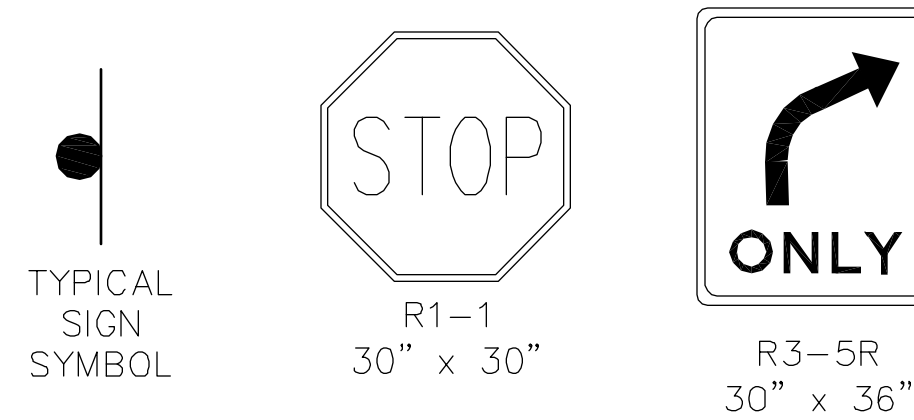
HANDICAP PARKING SIGN

- ① ROUND SIGN POST – 2-3/8" O.D. SCHEDULE 40 GALVANIZED STEEL PIPE
- ALTERNATIVE POST
 - a. HIGH STRENGTH U-CHANNEL POST
 - b. 3/8" DIAMETER HOLES SPACED 1" O.C. FOR SIGN MOUNTING
 - c. 12 GA. STEEL GAL (GALVANIZED), COLOR – SILVER OR BE (BAKED ENAMEL), COLOR – YELLOW OR GREEN
 - d. Minimum Feet REQUIRED UNDERGROUND POST – 6 Ft TO 8 Ft – 1-1/2 Feet Min. POST – 9 Ft & ABOVE – 2-1/2 Feet Min.
- ② HANDICAP PARKING SIGN – DURABLE REFLECTIVE ALUMINUM SIGN :
 - A. SIZE – 12" WIDE X 24" Min. HEIGHT
 - B. 0.080" ALUMINUM ALLOY
 - C. SPECIFIC STATE COMPLIANT ADA SIGN COMPLY WITH CONNECTICUT STATE AND FEDERAL GUIDELINE
 - D. REFLECTIVE – DAY AND NIGHT VISIBILITY
 - E. WHITE LETTERING AGAINST A BLUE BACKGROUND AND SHALL BEAR THE WORDS " HANDICAP PARKING PERMIT REQUIRED " AND " VIOLATORS WILL BE FINED "
 - F. SIGN SHALL BEAR THE INTERNATIONAL SYMBOL OF ACCESS.
 - G. SIGN SHALL INDICATE THE Minimum FINE FOR A VIOLATION.
- ③ ADA SUPPLEMENTAL SIGN – REFLECTIVE ALUMINUM
 - a. WHITE LETTERING AGAINST A BLUE BACKGROUND
- ④ ACORN ROUND POST CAP or FLAT ROUND POST CAP
- ⑤ SIGN MOUNTING BRACKET – ALUMINUM BRACKET AND HARDWARE TO MOUNT UP TO 2 SIGNS
- ⑥ CONNECTICUT HANDICAPPED PARKING SIGN " SETON " STATE SPECIFIC ADA SIGN 12" X 24" MODEL NO. 80662 OR EQUAL
- ⑦ CONNECTICUT HANDICAPPED PARKING SIGN " SETON " ADA SUPPLEMENTAL SIGN 12" X 6" MODEL NO. 80660 OR EQUAL



DETAILS OF ADA PARKING SIGN
SCALE NTS

SIGN DETAIL

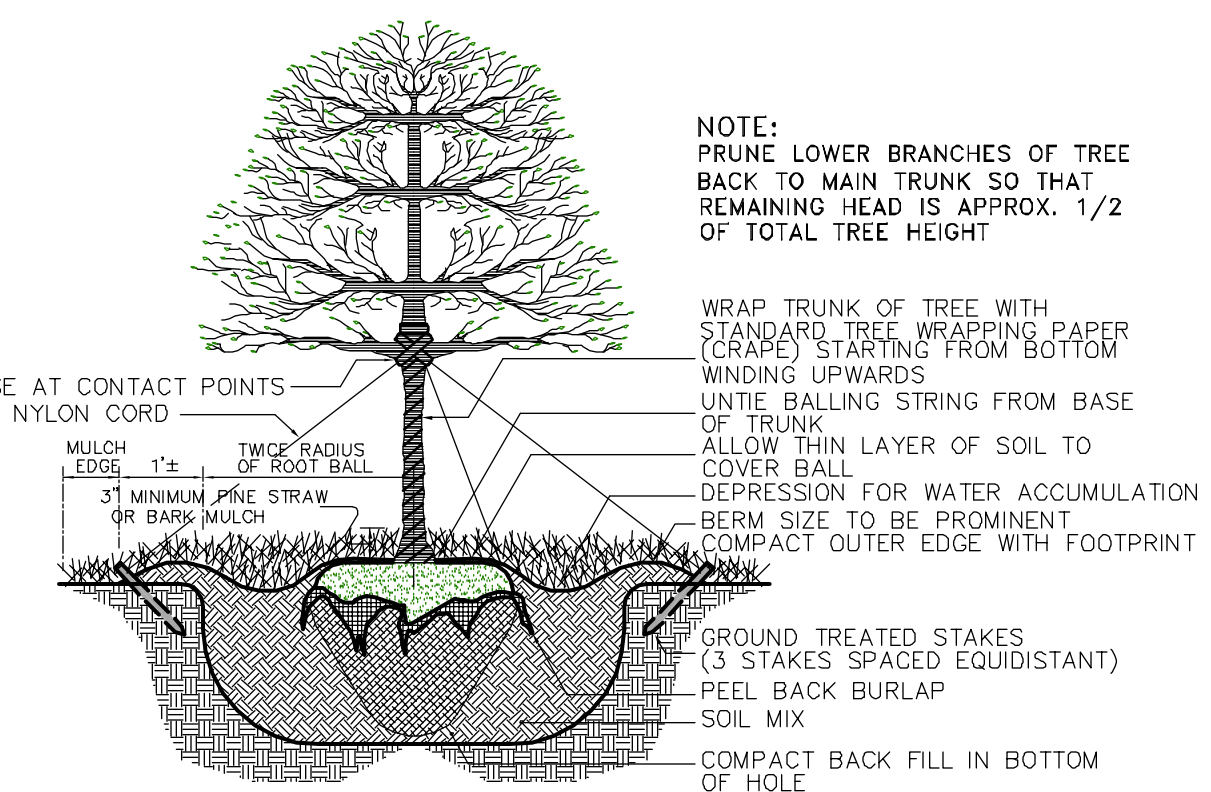


PLANT NOTES

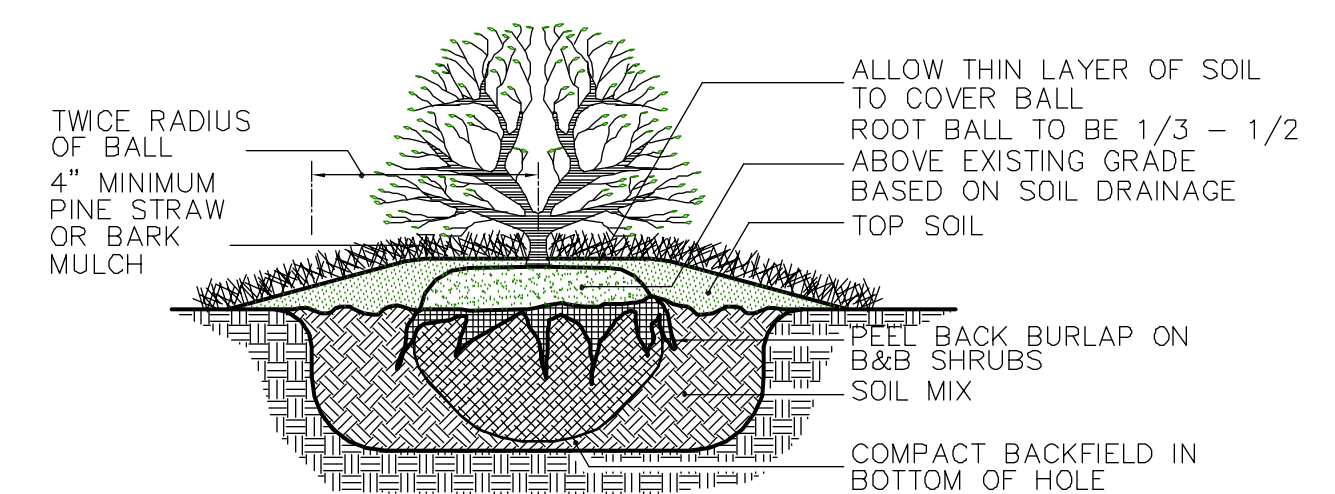
1. BOTANICAL NAMES SHALL PREVAIL OVER COMMON NAMES.
2. PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED ON THESE PLANS AND SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. TREES SHALL BE FROM NORTHERN NURSERIES (ZONE 6 OR NORTHERN).
3. ALL TREES TO BE APPROVED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL IF IT DOES NOT CONFORM TO THE SPECIFICATIONS OR IF SHOWN SIGNS OF DAMAGE BY HANDLING OR TRANSPORT.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
5. QUANTITIES SHOWN ON THE DRAWINGS TAKE PRECEDENCE OVER THE PLANT LIST. REPORT ALL DISCREPANCIES IMMEDIATELY.
6. ALL TREES SHALL BE BALLED AND BURLAPPED, NOT CONTAINER GROWN.
7. PLANTS SHALL BE PLANTED IN LOCATIONS DESIGNATED ON THE PLAN OR AS STAKED OUT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
9. PLANTING MIX SHALL CONSIST OF 6 PARTS OIL TAKEN FROM THE HOLE, ONE PART PEAT MOSS AND ONE PART DEHYDRATED COW MANURE.
10. ALL NEW PLANTS SHALL BE MULCHED WITH 4" OF AN APPROVED SHREDDED BARK.
11. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ACCEPTANCE. PLANTS SHALL BE WATERED, REMULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT. CONTRACTOR SHALL REMOVE FROM THE SITE EXCESS SOIL AND DEBRIS AND REPAIR ANY DAMAGE RESULTING FROM PLANTING OPERATIONS.
12. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND THRIVING ONE YEAR AFTER ACCEPTANCE. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED. THE COST SHALL BE BORNE BY THE LANDSCAPE CONTRACTOR EXCEPT FOR REPLACEMENTS RESULTING FROM LOSS OR DAMAGE DUE TO VANDALISM OR ACTS OF NEGLIGENCE ON THE PART OF OTHERS.
13. TOPSOIL SHALL BE PROVIDED IN PLANT BEDS AND IN LAWN AREAS TO A SETTLED, COMPACTED DEPTH OF NOT LESS THAN SIX INCHES. SOIL SHALL BE FROM A SOURCE APPROVED BY THE LANDSCAPE ARCHITECT. TOPSOIL SHALL BE FREE OF ROOTS, RUBBISH OF ALL KINDS, AND STONES LARGER THAN 1". THE CONTRACTOR SHALL SUBMIT TEST SAMPLES OF THE SOIL TO THE CONNECTICUT AGRICULTURAL STATION SOILS LABORATORY OBTAINING THE SOIL'S CHARACTERISTICS, ORGANIC CONTENT, PH, AND NUTRIENT STATUS. CONTRACTOR SHALL ADD AMENDMENTS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AG. STATION.
14. LAWN AREAS SHALL BE SEEDED WITH A SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT SHOWN AT THE RATE OF 4#/1000 SF. AND PROTECTED BY A SUITABLE MULCH. SEEDING SHALL BE RESTRICTED TO THE PERIODS OF APRIL AND MAY IN THE SPRING, AND FROM AUGUST 15 TO OCTOBER 15 IN THE FALL. CONTRACTOR IS RESPONSIBLE TO WATER, WEED, FERTILIZE, AND MOW SEEDING AREAS UNTIL AN EVEN STAND OF WEED-FREE TURF IS ESTABLISHED. (USUALLY AFTER 3 CUTTINGS).

PARKING CALCULATION

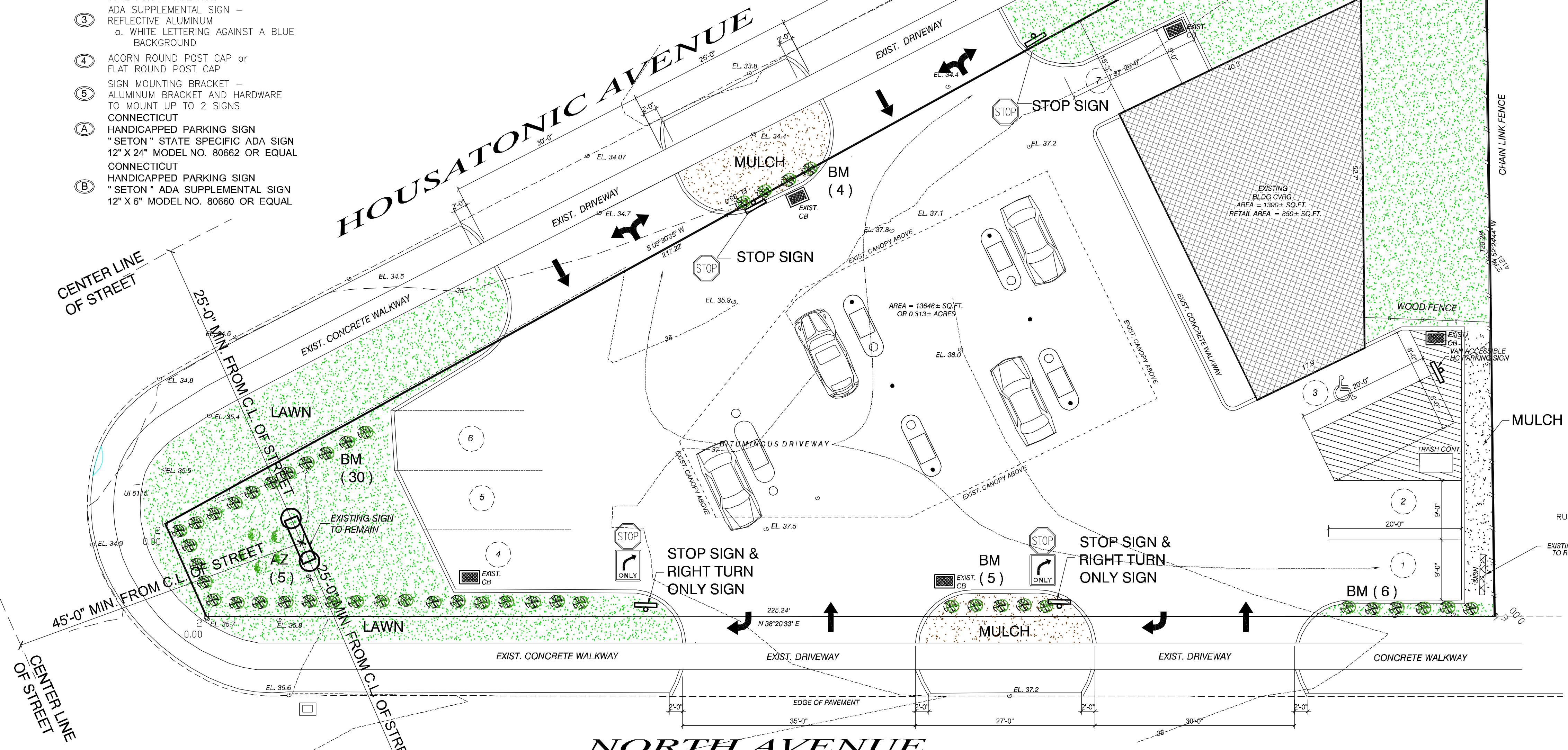
AS PER TABLE 8.A - ZONING REGULATIONS
 FUEL SALE / CONVENIENCE STORE - 5 SPACES / FIRST 1000SF
 RETAIL AREA - 850 SF
 TOTAL NUMBER OF PARKING REQUIRED = 5 SPACES
TOTAL NUMBER OF PARKING PROVIDED = 7 SPACES



STAKING AND PLANTING TREE DETAIL
NOT TO SCALE



SHRUB DETAIL CONTAINER AND B&B NOT TO SCALE



SITE & LANDSCAPING PLAN
SCALE 1" = 10' - 0"

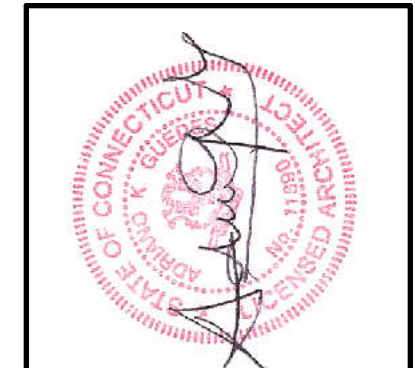
PLANTING LIST

KEY	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE / MIN. PLANTING DIST.	MAX. MATURITY HEIGHT	REMARKS
TC		LITTLE LEAF LINDEN	TILIA CORDATA	2'-2.5" CAL.	70'-0"	DECIDUOUS FLOWERING TREE
DW		DOGWOOD	CORNUS-STELLAR PINK	7'-8" / 2'-2.5" CAL.	20'-40"	DECIDUOUS FLOWERING TREE
BM		GREEN BEAUTY BOXWOOD	BUXUS MICROPHYLLA 'GREEN BEAUTY'	24" H. AT 36" O.C.		EVERGREEN SHRUB
AZ		AZALEA	RHODODENDRON/ MOTHERS DAY-RED	24"-30"		SHRUB
TO		AMERICAN ARBORVITAE	THUJA OCCIDENTALIS			EVERGREEN SHRUB

STANDARD I-I ZONE	REQUIRED	EXISTING - PROPOSED
MAXIMUM FAR	NO LIMIT	NO LIMIT
MINIMUM LOT COVERAGE	NO LIMIT	NO LIMIT
MINIMUM FRONTAGE	25 FT	480.58 FT EXISTING
MINIMUM BUILDING SETBACKS		
STREET LOT LINE	15 FT	15.2 FT
LOT LINE ABUTTING AN MU, OR, I, ZONED LOT	0 FT	18.93FT
LOT LINE ABUTTING AN R, ZONED LOT	15 FT	N/A
HIGH IMPACT INDUSTRIAL ZONE	10 FT	N/A
LANDSCAPING IN SETBACK ABUTTING AN R ZONED LOT	10 FT @ L4	N/A
MAXIMUM BUILDING COVERAGE	85%	3,620SF 26.4% ±
MINIMUM LANDSCAPED AREA	15%	3,470SF 25.4% ±
MAXIMUM HEIGHT	75 FT	18 FT CANOPY 12.5 FT BUILDING
PARKING ALLOWED BETWEEN BUILDING AND STREETS	YES	YES
DRIVE-THROUGH FACILITIES PERMITTED	YES	NO
OUTDOOR DISPLAY PERMITTED	YES	YES
OUTDOOR STORAGE PERMITTED	YES	NO
TRUCKS AND EQUIPMENT PERMITTED	ALL CATEGORIES	ALL CATEGORIES



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

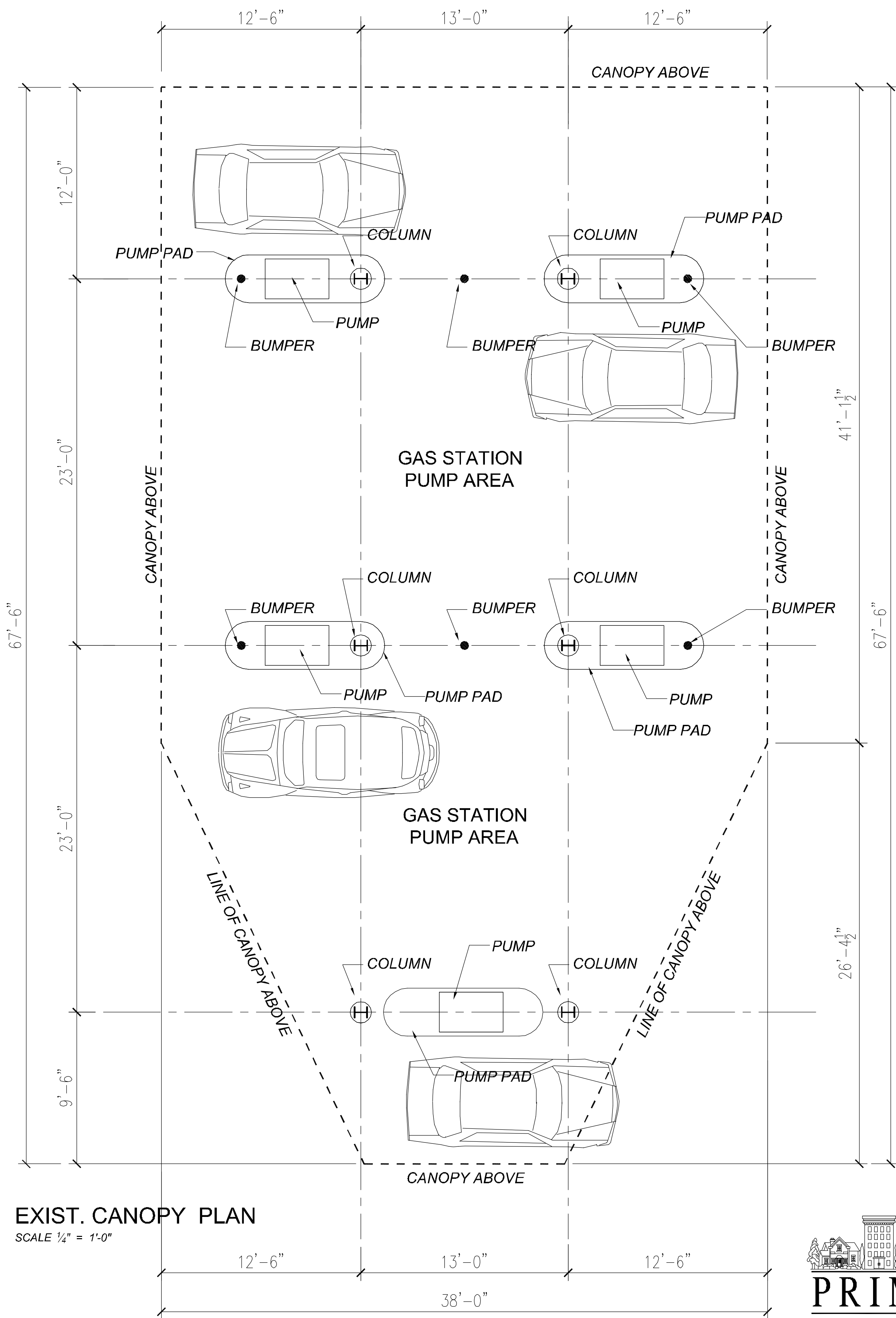
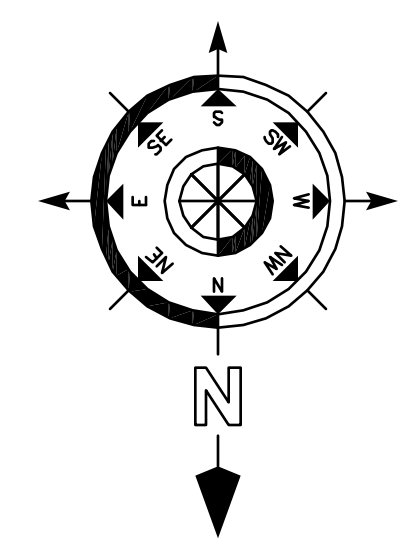
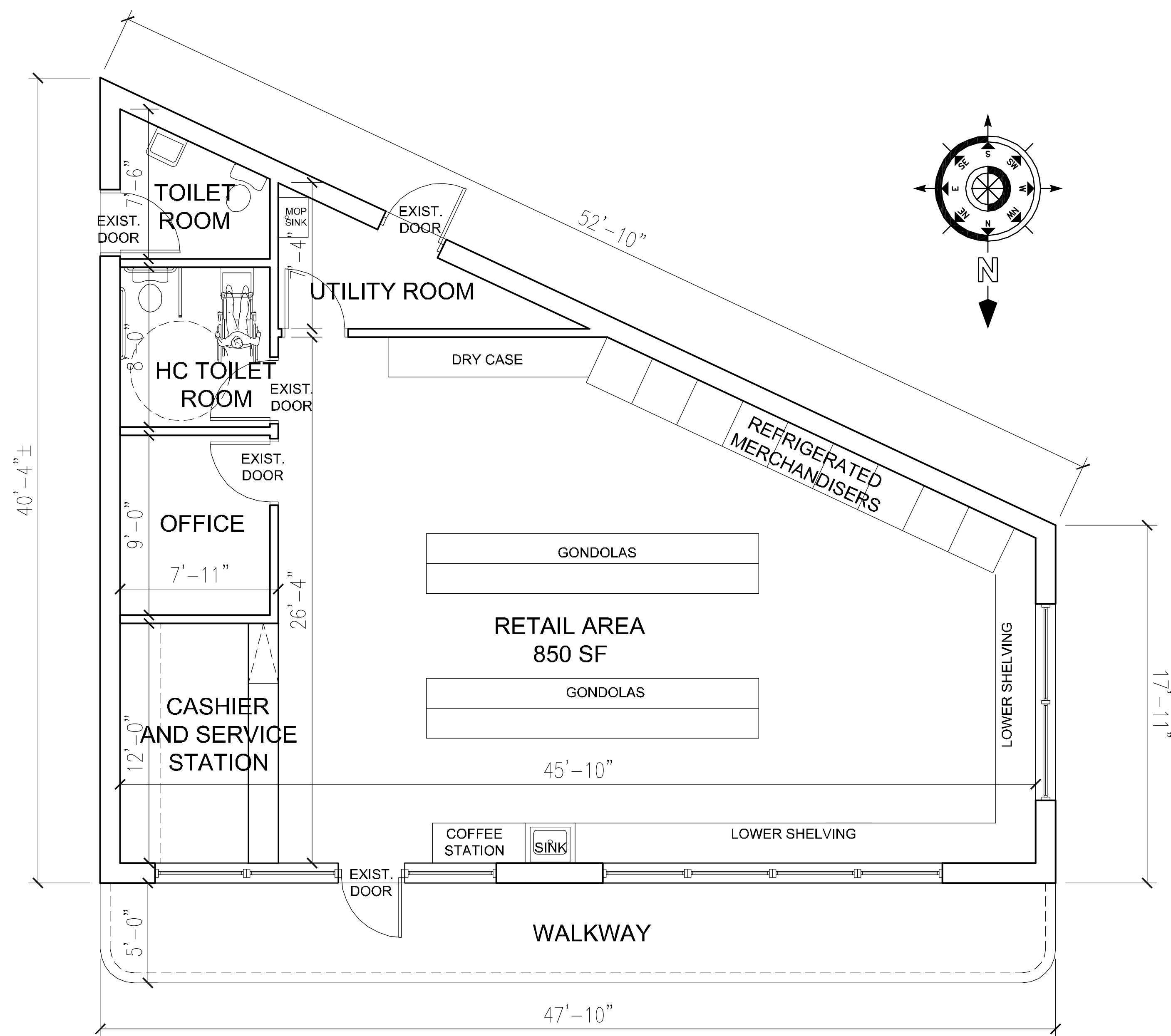
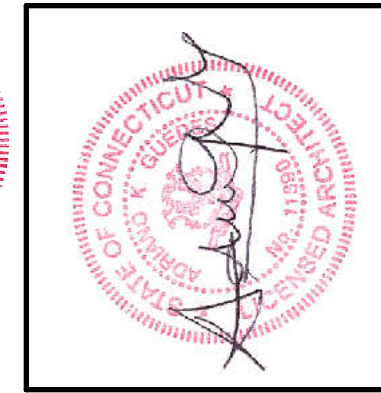
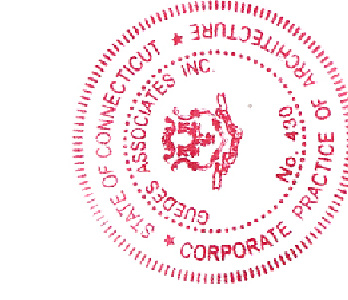


1	2	3	4	5	6
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GUEDES ASSOCIATES, INC.
 Designers, Architects & Project Managers
 1425 Noble Avenue, Bpt., CT. 06610
 Tel. 203-367-5180 Fax. 203-367-4961

CONVENIENCE STORE FOR EXISTING GAS STATION LOCATED AT 547 NORTH AVE. BPT, CT	scale: AS NOTED	project #: 2013-306
SITE & LANDSCAPING PLAN	date: 01-25-15	drawn:

ST-1



1
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6

REVISIONS

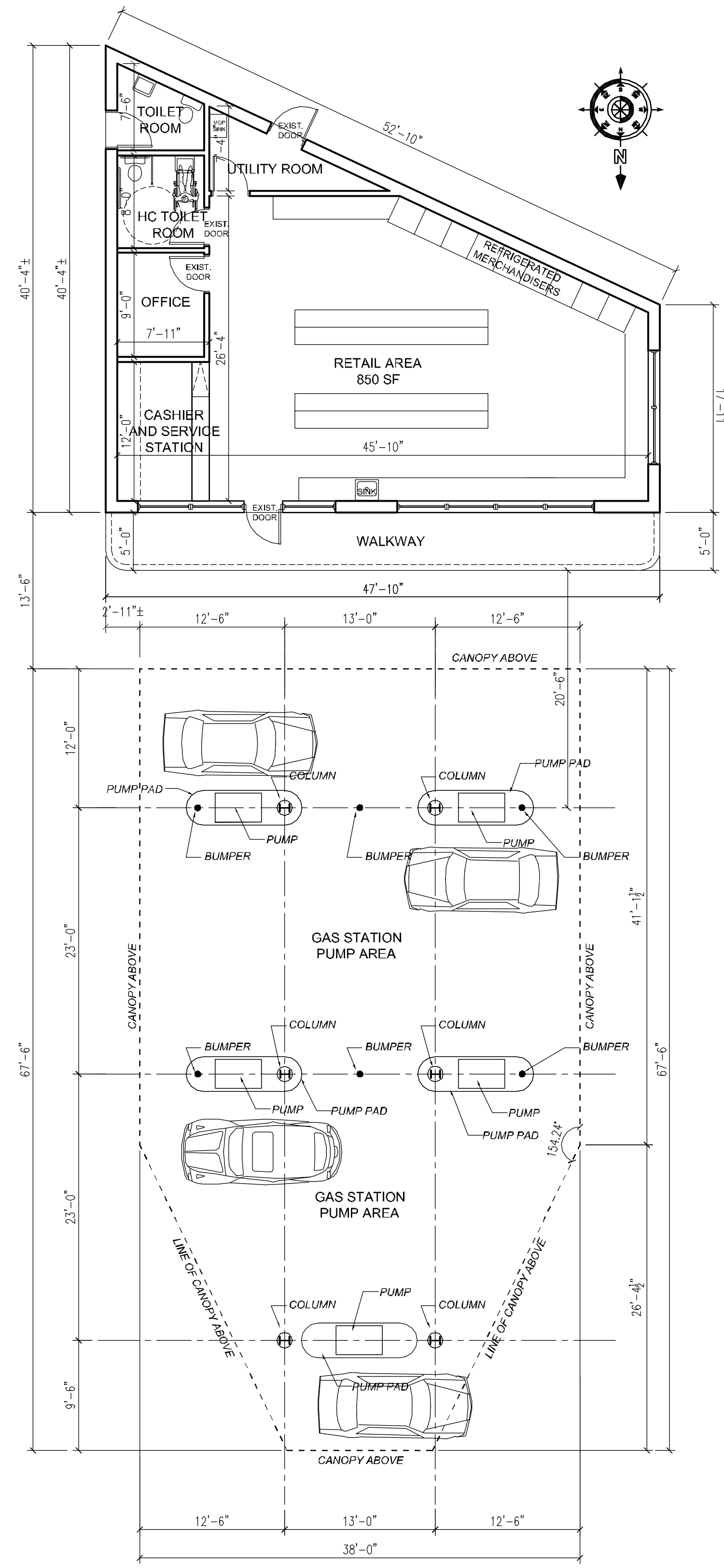
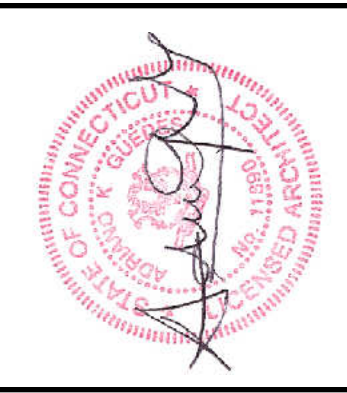
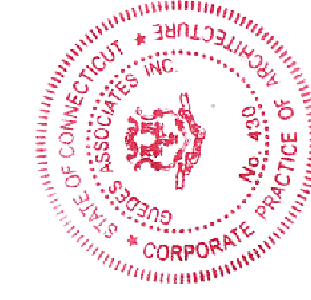
GUEDES ASSOCIATES, INC.
Designers, Architects & Project Managers
1425 Noble Avenue, Bpt., CT. 06610
Tel. 203-367-5180 Fax. 203-367-4961

CONVENIENCE STORE FOR EXISTING GAS STATION LOCATED AT 547 NORTH AVE. BPT, CT
FLOOR PLANS
date: 01-25-15
drawn:
scale: AS NOTED
project #: 2013-306

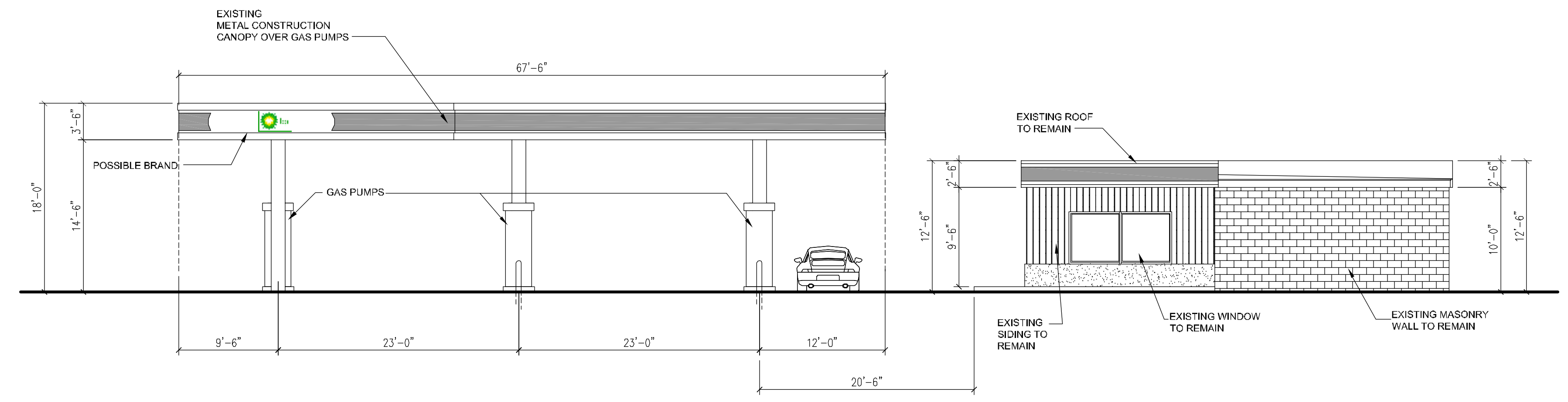


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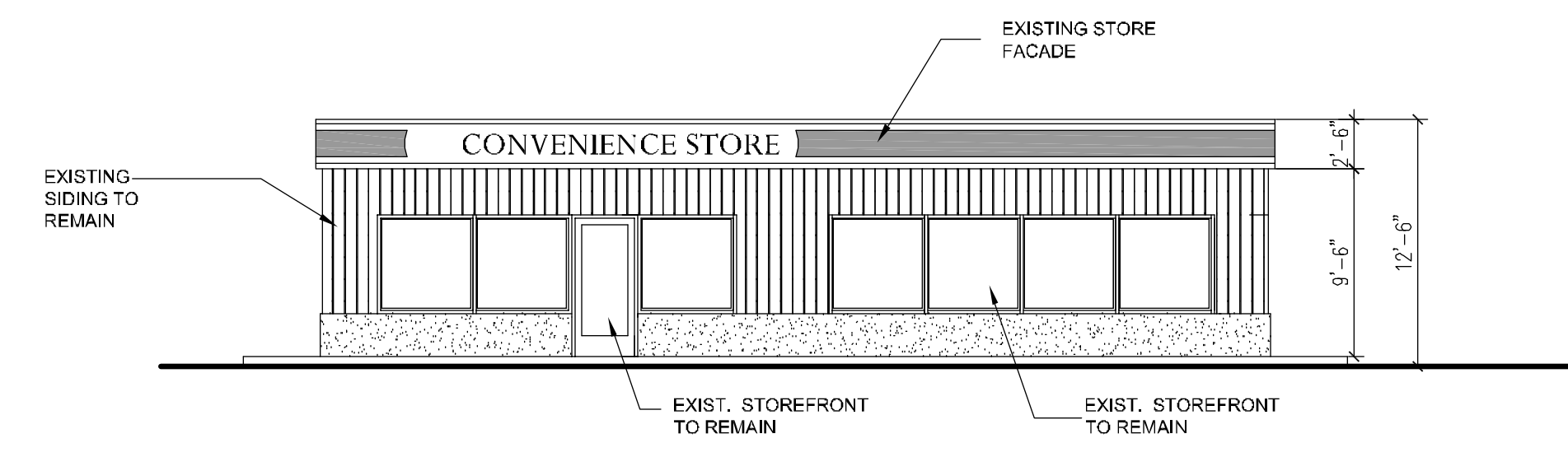
A-1



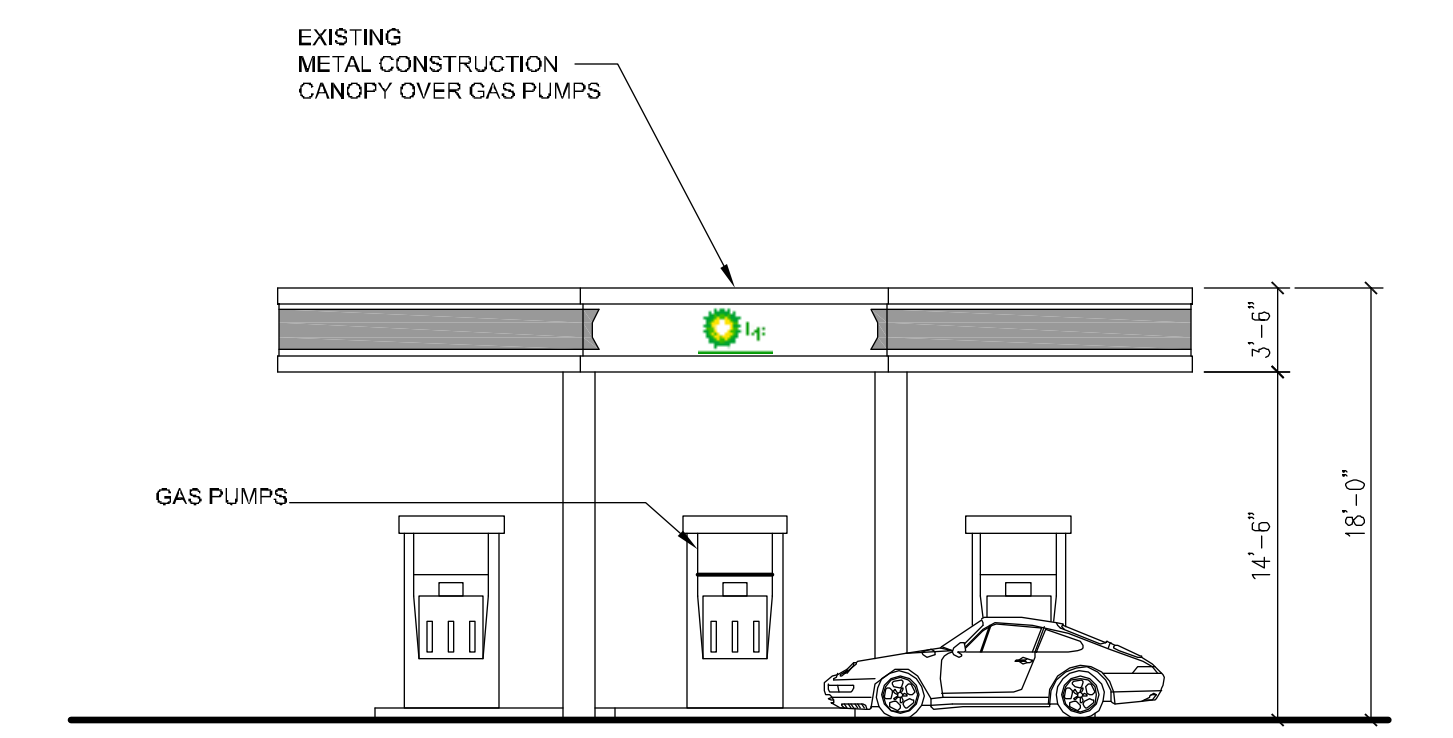
OVERALL FLOOR PLAN
SCALE 1/8" = 1'-0"



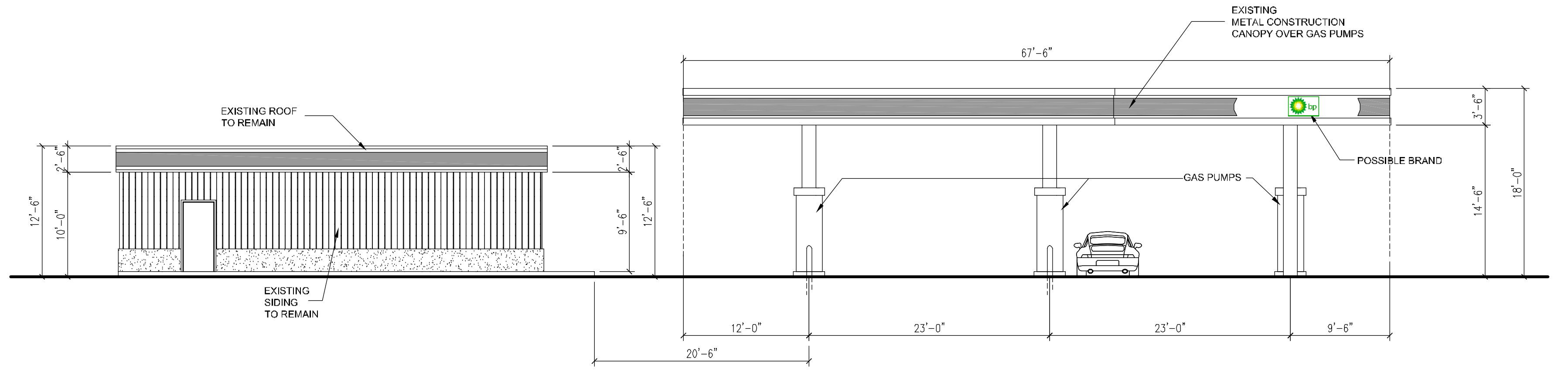
WEST ELEVATION
SCALE 1/8" = 1'-0"



NORTH ELEVATION
SCALE 1/8" = 1'-0"



CANOPY NORTH ELEVATION
SCALE 1/8" = 1'-0"



EAST ELEVATION
SCALE 1/8" = 1'-0"

REVISIONS					
1					
2					
3					
4					
5					
6					

GUEDES ASSOCIATES, INC.
Designers, Architects & Project Managers
1425 Noble Avenue, Bpt., CT. 06610
Tel. 203-367-5180 Fax. 203-367-4961

CONVENIENCE STORE FOR EXISTING GAS STATION LOCATED AT 547 NORTH AVE. BPT, CT	date: 01-25-15	scale: AS NOTED
	drawn:	project #: 2013-306
ELEVATIONS		



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

A-2



PLANNING & ZONING COMMISSION APPLICATION

File No. 21-29
REC'D IN THE OPT. ZONING DEPT. ON 5/26/21
MAY 26 '21 PM 10:01

- 1. NAME OF APPLICANT: Hartford HealthCare - St. Vincent's Medical Center
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 2800 Main Street, Bridgeport, CT 06606
4. Assessor's Map Information: Block No. 2120 Lot No. 1/X
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section:
6. Description of Property (Metes & Bounds): East side of Main Street between Hawley Ave. and Hunting St.
7. Existing Zone Classification: MUEM
8. Zone Classification requested: Same
9. Describe Proposed Development of Property: Hospital

Approval(s) requested: Install 199.16 sf sign on terrace elevation facing Rt. 8. See attached drawings for details.

Signature: Karen J Goyette Date: 5/24/21
Print Name: KAREN T. goyette

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Tracy Becker Date: 2021.05.21 08:40:04 -04'00'
Print Name: Tracy Becker

Mailing Address: Sign Pro Inc., 60 Westfield Drive, Plantsville, CT 06479 (Sign Contractor)
Phone: 860.229.1812 Cell: 860.426.3033 Fax: 860.223.1812
E-mail Address: tracy@signpro-usa.com

\$ 595.00 Fee received Date: 5/26/21 Clerk: DR
ck 1252

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
Completed Site / Landscape Plan
Written Statement of Development and Use
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
A-2 Site Survey
Drainage Plan
Property Owner's List
Building Floor Plans
Building Elevations
Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION
Karen J Goyette Karen J Goyette 5/24/21
Print Owner's Name Owner's Signature Date



Sign Pro Inc.
60 Westfield Drive
Plantsville, CT 06479 USA

P. 860.229.1812
F. 860.223.1812

CTLIC# ELC.0196771-C7
CTLIC# MCO.0903117

signpro-usa.com

Bridgeport Planning & Zoning Commission

Statement regarding Hartford HealthCare St. Vincent's Medical Center, 2800 Main Street

Thank you to the Planning & Zoning Commission for reviewing Hartford HealthCare's application for signage at St. Vincent's Medical Center (SVMC) located at 2800 Main St. Bridgeport, CT. In October 2019, Hartford HealthCare (HHC) acquired St. Vincent's Medical Center. At Hartford HealthCare our mission is to improve the health and healing of the people and communities we serve. Over the past year and a half since Hartford HealthCare acquired SVMC, we have invested over \$175m in Fairfield County, including a world class Orthopaedic Institute located within SVMC. We have also added approximately 45 new sites of care and 240 new physicians in Fairfield County. We not only invest in the communities we serve, we also partner with them to create long lasting relationships. For example, Hartford HealthCare has sponsored the "Hartford HealthCare Amphitheater" located right here in Bridgeport. We are proud of the mission and vision we support, and we want the people in the community to know we are here for them. Our logo and signage are part of the HHC brand. Within this application, please see the renderings we are putting forth to this Commission for approval. We are proposing to install a 199.16 square foot sign on the terrace elevation as shown on the attached drawings. This sign will face Route 8 and will offer drivers way finding for the hospital. Thank you again for your support of this application.

Hartford HealthCare

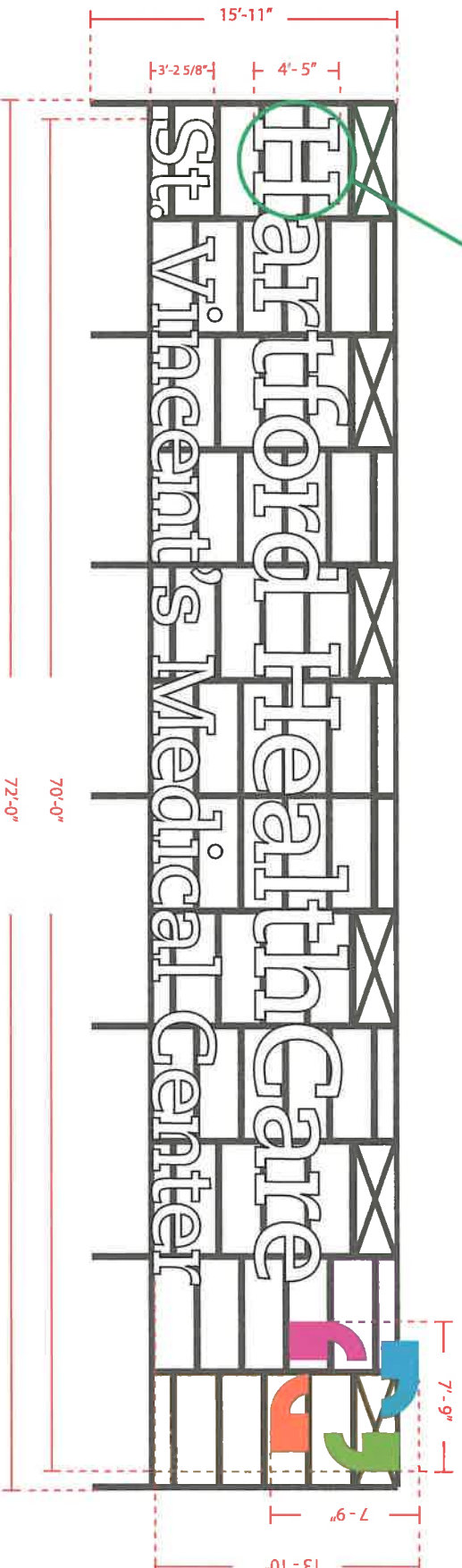
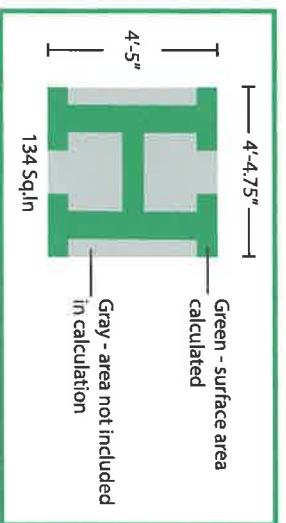
The logo for Hartford HealthCare, featuring a stylized 'H' composed of four curved segments in blue, green, orange, and pink.

Hartford HealthCare

St. Vincent's Medical Center - Terrace Sign • Version 5 • Job# 57524 • May 6, 2021

 **SIGN PRO** 60 Westfield Drive
Plantsville, CT 06479
860.229.1812

signpro-usa.com



Signage Area: 19916 SF

Illuminated Channel Letters
Mounted to Terrace

Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

PRINT SIGN DATE
 @ COPYRIGHT 2014, BY SIGN PRO INC. ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF SIGN PRO INC.
 AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION FROM SIGN PRO INC.



Project Address:
 Hartford HealthCare (St. Vincent's)
 2800 Main St
 Bridgeport, CT

SPI WO #: _____
 Issue Date: 3/17/2021

Salesperson: Pete Rappocci
 Designer: Gigi

DRAWINGS ARE NOT TO SCA
 UNLESS OTHERWISE NOTED

Revisions:
 R1: GD 3/26/2021
 R2: GD 3/26/2021
 R3: GD 4/28/2021
 R4: SB 5/6/21

Color Key:

	PMS 313c
	PMS 377c
	PMS 173c
	PMS 2405c

60 Westfield Drive
 Plantsville, CT 06479
 860.229.1812



Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgeport, CT

SPI WO #: -----
Issue Date: 3/17/2021

Salesperson: Pete Rappocci
Designer: Gigi

DRAWINGS ARE NOT TO SCA
UNLESS OTHERWISE NOTED

Revisions:
RV1: GP 3/26/2021
RV2: GP 3/26/2021
RV3: GP 4/6/2021
RW: SB 3/6/21

Color Key:
 PMS 313c
 PMS 377c
 PMS 173c
 PMS 2405c

SIGN TYPE
Channel Letter
PAGE
4 of 4



60 Westfield Drive
Plantsville, CT 06479
860.229.1812



Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

PRINT _____ SIGN _____ DATE _____
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PRINT

SIGN

DATE

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60 Westfield Drive
Plantsville, CT 06479
860.229.1812



SIGN TYPE
Mock Up
PAGE
2 of 4



Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgewater, CT

SPI WO #: -----
Issue Date: 3/18/2021

Salesperson: Pete Rappoccio
Designer: Gigi

DRAWINGS ARE NOT TO SCA
UNLESS OTHERWISE NOTED

Revisions:
RVA: GD 4/26/2021
RVC: GD 4/26/2021
RVA: GD 4/26/2021
RVA: SB 5/6/21

Color Key:

- PMS 313c
- PMS 377c
- PMS 173c
- PMS 2405c

Property Owner's within 100'

ST VINCENTS DEVELOPMENT INC
002979 MAIN ST
BRIDGEPORT, CT 06606

STOKES MICHAEL J SR & DEBORAH
000280 GURDON ST
BRIDGEPORT, CT 06606

ST. VINCENT'S MEDICAL CENTER
002800 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002800 MAIN ST
BRIDGEPORT, CT 06604

PADILLA AIESHA
000184 MARTIN TER
BRIDGEPORT, CT 06606

AMARAL MANUEL J & PHILOMENA
000636 WEST TAFT AVE
BRIDGEPORT, CT 06604

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

ONEIL PAULINE B & REVEREND
000199 HAWLEY AVE
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENT DEVELOPMENT CORP
002800 MAIN ST
BRIDGEPORT, CT 06606

JEANCALIXTE ALFRED ET AL
000265 HAWLEY AVE
BRIDGEPORT, CT 06606

ENNIS VALERIE
PO BOX 5080
BRIDGEPORT, CT 06610

LYDDY CHRISTOPHER J&BARBARA
270 GURDON ST
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

CRESPO JOAQUIN
002857 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

VIRGO CLIVE
000255 HAWLEY AVE
BRIDGEPORT, CT 06606

ONWAUSOANYA OBIJULUM R
000225 HAWLEY AVE
BRIDGEPORT, CT 06606

NORTHBRIDGE HEALTH CARE
2875 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENT'S MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

COLLAZO MARIA
000066 HUNTING ST
BRIDGEPORT, CT 06606

ST VINCENT'S MEDICAL CENTER
002800 MAIN ST
BRIDGEPORT, CT 06606

ST. VINCENT'S DEVELOPMENT CORP
2800 MAIN STREET
BRIDGEPORT, CT 06606

CIRILO DOLORES & MARIA
136 HAWLEY AVE
BRIDGEPORT, CT 06606

FEOLA GENE N & EVELYN
49 LAUREL ST
TRUMBULL, CT 06611

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENT MEDICAL CENTER
88 HUNTING STREET
BRIDGEPORT, CT 06606

PROVENZANO LOUIS
309 HOUSATONIC AVE
STRATFORD, CT 06615

SALVUCCI VALERIE F
PO BOX 6032
BRIDGEPORT, CT 06606

SIMILIEEN ANTOINE & MARIE D
000104 HUNTING ST
BRIDGEPORT, CT 06606

VILLAFANE ANTONY
000260 GURDON ST
BRIDGEPORT, CT 06610

VIRGILE FRANCOISE
248 GURDON ST
BRIDGEPORT, CT 06606

LUNA EUSEBIO & MARIA LUNA
000140 HAWLEY AVE
BRIDGEPORT, CT 06606

NORTHBRIDGE HEALTH CARE
002875 MAIN ST
BRIDGEPORT, CT 06606

ANTON FREDERICK W III ET AL
159 HAWLEY AVE
BRIDGEPORT, CT 06610

OTERO RAFAEL & IVONNE PEREZ
169 HAWLEY AVENUE
BRIDGEPORT, CT 06606

AFM ENTERPRISES INC
PO BOX 6321
BRIDGEPORT, CT 06606

HESKE RONALD W & NANCY A
000177 HAWLEY AVE
BRIDGEPORT, CT 06606

FRANCO DALTON E
209 HAMLEY AVE
BRIDGEPORT, CT 06610

ST VINCENTS MEDICAL CENTER
2979 MAIN ST
BRIDGEPORT, CT 06606

ONWUASOANYA OBJAJULUM
000237 HAWLEY AVE
BRIDGEPORT, CT 06606

RYAN ROSEMARY
146 SHELTON RD
TRUMBULL, CT 06611

BONHOMME ILARION & LUCIENNE
002756 MAIN ST
BRIDGEPORT, CT 06606

ABD INC
323 NORTH AVENUE
BRIDGEPORT, CT 06606

(21-29)

RECEIPT (REC-002546-2021)
FOR CITY OF BRIDGEPORT

BILLING CONTACT
Tracy Becker
Sign Pro

PAID



PZC Hearing - June 28, 2021

Payment Date: 06/03/2021

Reference Number	Fee Name	Transaction Type	Payment Method	Amount Paid
PZC-000800-2021	Special Permit & Site Plan Review	Fee Payment	Check #1252	\$520.00
	State Conservation Fee	Fee Payment	Check #1252	\$60.00
	Tech Fee	Fee Payment	Check #1252	\$15.00
			SUB TOTAL	\$595.00
			TOTAL	\$595.00

2800 Main St Bridgeport, CT 06606

CERTIFICATE OF INCORPORATION

OF

SVMC HOLDINGS, INC.

1. The name of the corporation is **SVMC Holdings, Inc.** (the "Corporation").
2. The Corporation is organized and shall be operated exclusively for charitable, scientific, literary or educational purposes within the meaning of Section 501(c)(3) of the Internal Revenue Code of 1986, as amended (the "Code"). The Corporation shall be operated as a component part of the integrated health care delivery system of which the parent is Hartford HealthCare Corporation (the "System"). The nature and activities to be conducted, or the purposes to be promoted or carried out by the Corporation, are as follows:
 - 2.1. establishing and maintaining one or more hospitals or other health care facilities in the City of Bridgeport, Connecticut and in additional communities served by the Corporation;
 - 2.2. providing health and wellness services and promoting and improving the general health and welfare of the communities served by the Corporation;
 - 2.3. engaging in medical and scientific research, and in educational and other activities to promote and improve the general health and welfare of the communities served by the Corporation;
 - 2.4. making grants to organizations within the System recognized as exempt from federal income tax under Section 501(c)(3) of the Code;
 - 2.5. conducting activities, either directly or through related organizations recognized as exempt from federal income tax under Section 501(c)(3) of the Code, to raise funds in furtherance of the foregoing purposes of the Corporation, subject, however, to all limitations on the nature or extent of such activities applicable to organizations recognized as exempt from federal income tax under Section 501(c)(3) of the Code; and
 - 2.6. in furtherance of the foregoing, engaging in any lawful act or activity for which corporations may be formed under the Revised Nonstock Corporation Act of the State of Connecticut (the "Act") as the same may be amended from time to time.
3. The Corporation is nonprofit and shall not have or issue shares of stock or make distributions or pay dividends.
4. The Corporation shall have a single member, namely, Hartford HealthCare Corporation, a Connecticut nonstock corporation (the "Member"). The Member shall have the exclusive power to elect directors of the Corporation ("Directors") and to remove Directors with or without cause, shall have the exclusive power to adopt, amend, and repeal the Bylaws of the Corporation (the "Bylaws"), and shall have such other rights, powers, and responsibilities as are accorded to members under the Act, this Certificate of Incorporation, or the Bylaws.
5. Notwithstanding any other provision of this Certificate of Incorporation to the contrary, the Corporation shall not carry on any activities not permitted to be carried on: (a) by

an organization exempt from federal income tax under Section 501(a) of the Code as an organization described in Section 501(c)(3) of the Code; or (b) by an organization, contributions to which are deductible under Section 170(c)(2) of the Code.

6. The net earnings of the Corporation or any part thereof may not be distributed to or inure to the benefit of any private individual or a Director or officer of the Corporation. However, nothing herein shall restrict the right of the Corporation to reasonably compensate any officer, Director or other individual for services rendered to the Corporation or to reimburse any officer, Director or other individual for expenses, disbursements or liabilities properly made or incurred, on account of that individual's service to the Corporation.

7. A substantial part of the activities of the Corporation shall not consist of the carrying on of propaganda or attempting to influence legislation except to the extent permitted by Section 501(h) of the Code. The Corporation may not participate in or intervene in (including the publication or distribution of statements) any political campaign on behalf of (or in opposition to) any candidate for public office.

8. Upon dissolution of the Corporation, the Board shall dispose of and distribute the assets remaining, after payment of all liabilities, exclusively for the purposes of the Corporation, to the Member exclusively for its charitable, scientific, literary or educational purposes, provided the Member shall be then exempt from federal taxation as an organization described in Section 501(c)(3) of the Code. If the Member shall not be so qualified as an organization described in Section 501(c)(3) of the Code, then the Board shall dispose of and distribute the assets remaining, after payment of all liabilities, exclusively for the charitable, scientific, literary or educational purposes of the Corporation, to one or more organizations as shall be then exempt from federal taxation as an organization or organizations described in Section 501(c)(3) of the Code, in such proportions and amounts and in such manner as the Board shall determine. No part of the Corporation's assets shall ever be distributed to its Directors or officers, or inure to the benefit of any private individual.

9. The personal liability of a Director of the Corporation to the Corporation for monetary damages for breach of duty as a Director of the Corporation shall be limited to the fullest extent permitted by the Act or any other applicable laws presently or hereafter in effect. Without limiting the effect of the preceding sentence, no Director of the Corporation shall be personally liable to the Corporation for monetary damages for breach of duty as a Director of the Corporation in an amount greater than the compensation received by the Director for serving the Corporation during the year of the violation if such breach did not: (i) involve a knowing and culpable violation of law by the Director; (ii) enable the Director, or an associate, as defined in Section 33-840 of the Connecticut General Statutes, to receive an improper personal economic gain; (iii) show a lack of good faith and a conscious disregard for the duty of the Director to the Corporation under circumstances in which the Director was aware that his or her conduct or omission created an unjustifiable risk of serious injury to the Corporation; or (iv) constitute a sustained and unexcused pattern of inattention that amounted to an abdication of the Director's duty to the Corporation. No amendment to, or modification or repeal of, this Article 9 shall adversely affect any right or protection of a Director of the Corporation existing hereunder with respect to any act or omission occurring prior to such amendment, modification or repeal. Nothing contained in this Article 9 shall be construed to deny to the Directors of the Corporation the benefit of Section 52-557m of the Connecticut General Statutes as in effect at the time of the violation.

10. The Corporation shall, to the fullest extent permitted by law, indemnify any Director, officer, or committee member of the Corporation (and, to the extent provided in a resolution of the Member's Board of Directors or by contract, may indemnify any employee, agent, or volunteer of the Corporation) (collectively, the "Agents") who was or is a party to or threatened to be made a party to any threatened, pending, or completed action, suit, or proceeding by reason of the fact that the person is or was an Agent, or is or was serving at the request of the Corporation as an Agent of another corporation, partnership, joint venture, trust, or other enterprise, whether for-profit or not-for-profit, against expenses, including attorney's fees (other than taxes, penalties, or expenses of correction), judgments, penalties, fines, and amounts paid in settlement actually and reasonably incurred by the Agent in connection with the action, suit, or proceeding if the Agent acted in good faith and in a manner that the Agent reasonably believed to be in or not opposed to the best interests of the Corporation, and with respect to any criminal proceeding, if the Agent had no reasonable cause to believe his or her conduct was unlawful.

11. The name and address of the initial registered agent of the Corporation is Hartford HealthCare Corporation, 85 Jefferson Street, Legal Department, Hartford, CT 06106.

12. References in this Certificate of Incorporation to the Act shall be deemed to include amendments adopted from time to time to such Act, and references to a Section of the Code shall be construed to refer both to such Section and to the regulations promulgated thereunder, as they now exist or as the same may hereafter be amended from time to time (or the corresponding provision of any future United States Internal Revenue Law).



SECRETARY OF THE STATE OF CONNECTICUT

MAILING ADDRESS: COMMERCIAL RECORDING DIVISION, CONNECTICUT SECRETARY OF THE STATE, P.O. BOX 150470, HARTFORD, CT 06115-0470
DELIVERY ADDRESS: COMMERCIAL RECORDING DIVISION, CONNECTICUT SECRETARY OF THE STATE, 30 TRINITY STREET, HARTFORD, CT 06105
PHONE: 860-509-6003 WEBSITE: www.concord-sols.ct.gov

CERTIFICATE OF INCORPORATION
NONSTOCK CORPORATION

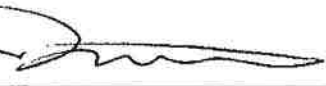
FILING #0006251242 PG 01 OF 05 VOL B-02578
FILED 09/25/2018 10:00 AM PAGE 01714
SECRETARY OF THE STATE
CONNECTICUT SECRETARY OF THE STATE

USE INK. COMPLETE ALL SECTIONS. PRINT OR TYPE. ATTACH 8 1/2 X 1

FILING PARTY (CONFIRMATION WILL BE SENT TO THIS ADDRESS)
NAME: Michelle Thompson
ADDRESS: 80 Seymour Street
Legal Department
CITY: Hartford
STATE: CT ZIP: 06102
MAKE CHECKS PAYABLE TO "SECRETARY OF THE STATE"
1. NAME OF CORPORATION: SVMC Holdings, Inc
THE CORPORATION IS NONPROFIT AND SHALL NOT HAVE OR ISSUE SHARES OF STOCK OR MAKE DISTRIBUTIONS.
2. PLACE A CHECK NEXT TO THE APPROPRIATE STATEMENT:
A. THE CORPORATION SHALL NOT HAVE MEMBERS.
B. THE CORPORATION SHALL ONLY HAVE MEMBERS, WHICH ARE NOT ENTITLED TO VOTE.
C. THE CORPORATION SHALL HAVE ONE CLASS OF MEMBERS.
D. THE CORPORATION SHALL HAVE MULTIPLE CLASSES OF MEMBERS WHICH CLASSES ARE DESIGNATED AS FOLLOWS:
PLEASE NOTE: THE MANNER OF ELECTION AND APPOINTMENT OF MEMBERS ALONG WITH THEIR QUALIFICATIONS AND RIGHTS MAY BE SET FORTH IN THIS CERTIFICATE OR IN THE CORPORATION'S BYLAWS. PLEASE SEE C.G.S. § 33-1055 & -1056.
3. APPOINTMENT OF REGISTERED AGENT: (PLEASE SELECT ONLY ONE A. OR B.)
A. INDIVIDUAL'S AGENT NAME:
BUSINESS ADDRESS: (P.O. BOX UNACCEPTABLE) RESIDENCE ADDRESS: (P.O. BOX UNACCEPTABLE)
ADDRESS: ADDRESS:
CITY: CITY:
STATE: ZIP: STATE: ZIP:
B. BUSINESS ENTITY AGENT NAME: HARTFORD HEALTHCARE CORPORATION
ADDRESS: (P.O. BOX UNACCEPTABLE)
ADDRESS: 85 JEFFERSON ST.
LEGAL DEPARTMENT
CITY: HARTFORD
STATE: CT ZIP: 06106

ACCEPTANCE OF APPOINTMENT

SIGNATURE OF AGENT

 David Mack VP Legal Affairs

4. THE NATURE OF THE ACTIVITIES TO BE CONDUCTED OR THE PURPOSES TO BE PROMOTED BY THE CORPORATION:

FILING #0006251242 PG 02 OF 05 VOL B-02578
 I FILED 09/25/2018 10:00 AM PAGE 01715
 SECRETARY OF THE STATE
 CONNECTICUT SECRETARY OF THE STATE

SEE ATTACHMENT SHEET

5. OTHER INFORMATION:

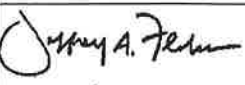
SEE ATTACHMENT SHEET

6. CORPORATION EMAIL ADDRESS - REQUIRED: (IF NONE, MUST STATE "NONE.")

NONE

7. EXECUTION: CERTIFICATE MUST BE SIGNED BY EACH INCORPORATOR

DATED THIS 25th DAY OF September, 2018

NAME OF INCORPORATOR	ADDRESS	SIGNATURE(S)
Jeffrey A. Flaks	ADDRESS: One State Street Suite 19 CITY Hartford STATE: CT ZIP: 06103	
	ADDRESS: CITY STATE: ZIP:	
	ADDRESS: CITY STATE: ZIP:	
	ADDRESS: CITY STATE: ZIP:	



STATE OF CONNECTICUT
Department of Public Health

In accordance with the provisions of the General Statutes of Connecticut Section 19a-493 the following license to maintain and operate a

General Hospital

LICENSE NO:

77

has been granted to
SVMC HOLDINGS, INC.

d/b/a
ST. VINCENT'S MEDICAL CENTER

Located at
2800 MAIN ST
BRIDGEPORT, CT 06606-4201

For the period from 10/01/2019 to 09/30/2021 .

During the license period and in accordance with the Regulations of the Connecticut State Agencies, changes to any of the following must be submitted to the Department of Public Health and are subject to the approval of the Department of Public Health:
Maximum number of Beds:

- Hospital beds: 473
- Bassinets: 47



Renée D. Coleman-Mitchell, MPH
Commissioner

Appendix A: Satellite Locations

STATE OF CONNECTICUT
Department of Public Health
LICENSE APPENDIX A: SATELLITE LOCATIONS

General Hospital
LICENSE NO:
77
SVMC HOLDINGS, INC.

For the period from 10/01/2019 to 09/30/2021.

ST. VINCENT'S BEHAVIORAL HEALTH CENTER - WESTPORT - 47 LONG LOTS RD, WESTPORT, CT 06880-3828,
ST. VINCENT'S CENTER FOR WOUND HEALING - STRATFORD - 3272 MAIN ST, STRATFORD, CT 06614-4819,
ST. VINCENT'S CENTER FOR WOUND HEALING - TRUMBULL - 115 TECHNOLOGY DR, TRUMBULL, CT 06611-6337,
ST. VINCENT'S OUTPATIENT BEHAVIORAL HEALTH - BRIDGEPORT - 2400 MAIN ST, BRIDGEPORT, CT 06606-5323,
ST. VINCENT'S OUTPATIENT BEHAVIORAL HEALTH - NORWALK - 1 LOIS ST, NORWALK, CT 06851-4404



City of Bridgeport
Zoning Department
PLANNING AND ECONOMIC DEVELOPMENT

45 Lyon Terrace • Bridgeport, Connecticut 06604
Telephone (203) 576-7217
Fax (203) 576-7213

June 10, 2021

HARTFORD HEALTHCARE
ST VINCENT'S MEDICAL CENTER
C/O TRACY BECKER
60 WESTFIELD DRIVE
PLANTSVILLE, CT 06479
FILE: 21-29

RE: 2800 MAIN STREET

Dear Tracy Becker:

This is to notify you that the Planning & Zoning Commission of the City of Bridgeport, CT has scheduled a public hearing **Monday, June 28, 2021 at 6:30pm.**

You or your authorized representative must participate in this hearing which will be held **via Zoom video/teleconference.** On the date indicated please use the direct link below.

<https://zoom.us/j/98015718434>

Meeting ID: 980 1571 8434

Dial in (toll-free): (877) 853-5257 or (888) 475-4499

In accordance with Section 14-2-4C; 14-3-4C; 14-4-2C; or 14-7-3b of the Zoning Regulations of the City of Bridgeport you are required to **notify only the abutting property owners** adjacent to the property lines on the sides and the rear of the property by certified mail (**10 days prior** to the hearing) and provide proof to the Chairperson at the beginning of your presentation by showing the green signature cards and/or the dated receipts from the Post Office.

(See form enclosed). This form is a courtesy. If the wording is not to your liking or is inaccurate you may use your own form of notification to the abutters.

You are also required to post **public hearing signs** on the referenced property (**7 days prior** to the hearing). We will email or call you when these signs are ready to be picked up.

Cordially,

Dennis Buckley, Clerk
Planning & Zoning Commission

DB/gb

(21-29)

Hartford HealthCare

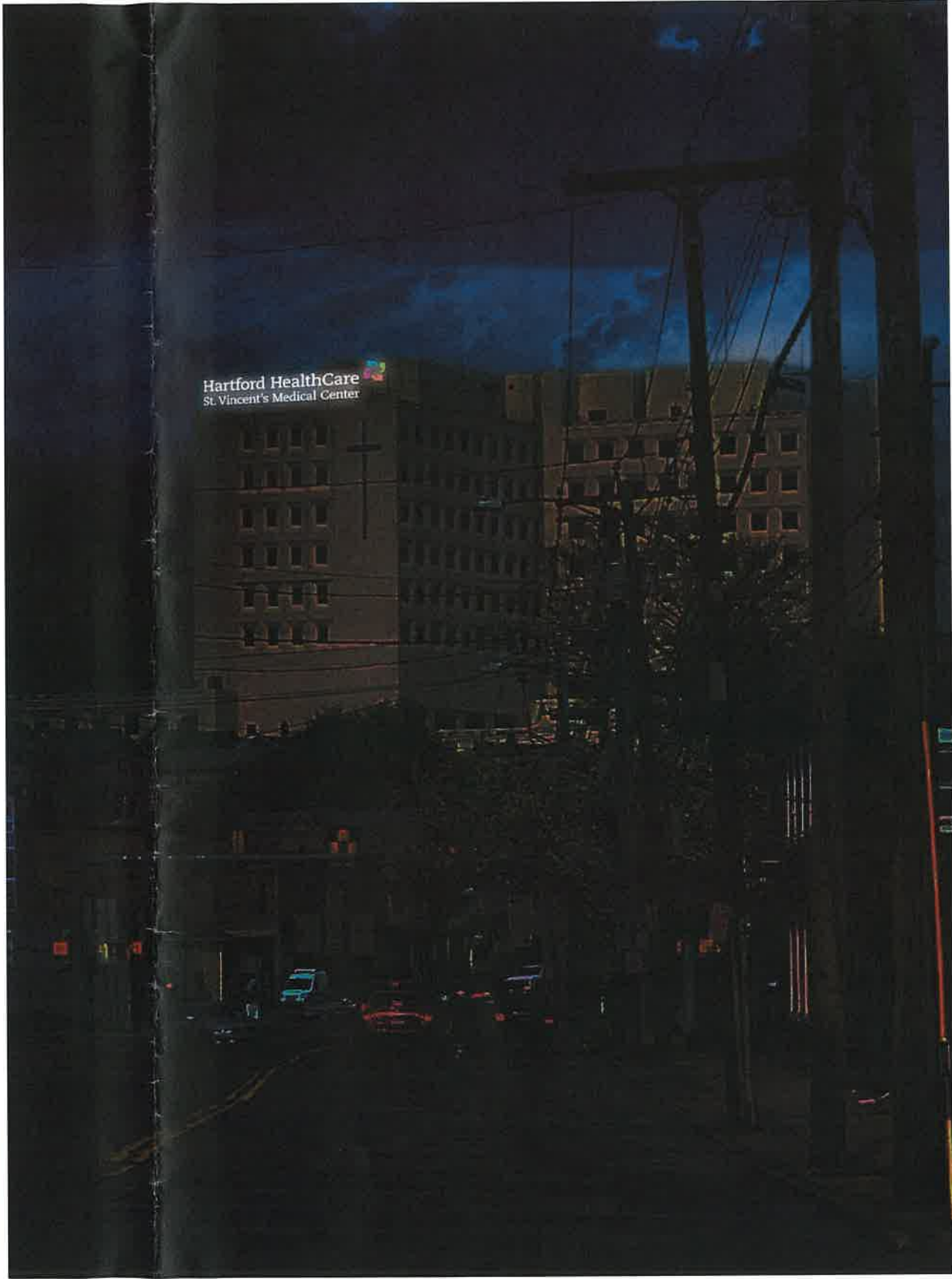
The logo consists of four stylized, overlapping shapes: a blue shape at the top, a green shape on the right, a red shape at the bottom, and a purple shape on the left, all arranged in a circular pattern.

Hartford HealthCare

St. Vincent's Medical Center - Terrace Sign • Version 5 • Job# 57524 • May 6, 2021



60 Westfield Drive
Plantsville, CT 06479
860.229.1812



Project Address:
 Hartford HealthCare (St. Vincent's)
 2800 Main St
 Bridgeport, CT

SPI WO #: -----
 Issue Date: 3/18/2021

Salesperson: Pete Rappoccio
 Designer: Gigi

DRAWINGS ARE NOT TO SCALE
 UNLESS OTHERWISE NOTED

Revisions:
 RV1: GD 3/26/2021
 RV2: GD 3/26/2021
 RV3: GD 4/26/2021
 RV4: SB 5/6/21

Color Key:
 PMS 313c
 PMS 377c
 PMS 173c
 PMS 2405c

Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

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 Plantsville, CT 06479
 860.229.1812

SIGN TYPE
Mock Up
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2 of 4

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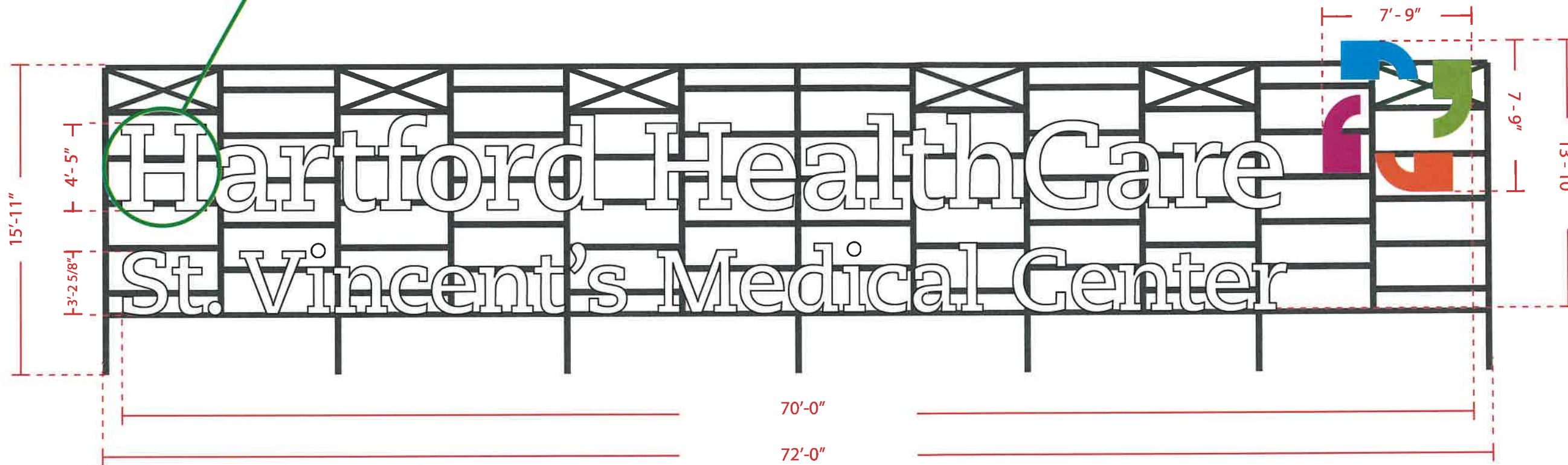
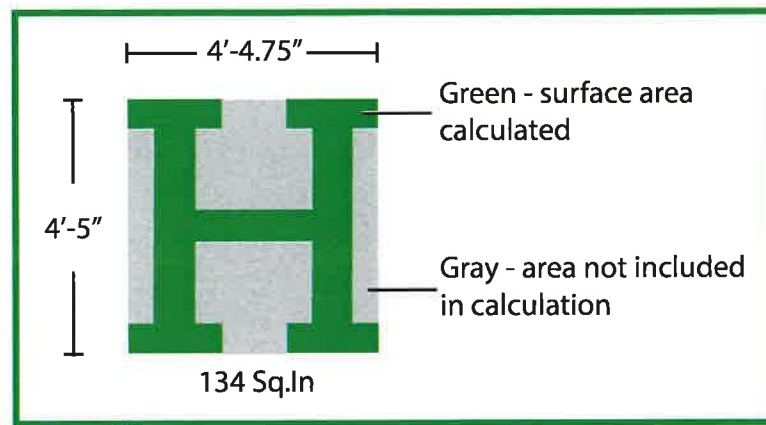
Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgeport, CT

SPI WO #: ----
Issue Date: 3/17/2021

Salesperson: Pete Rappoccio
Designer: Gigi

DRAWINGS ARE NOT TO SCALE
UNLESS OTHERWISE NOTED

Revisions:
RV1: GD 3/26/2021
RV2: GD 3/26/2021
RV3: GD 4/26/2021
RV4: SB 5/6/21



Signage Area: 199.16 SF

Illuminated Channel Letters
Mounted to Terrace

- Color Key:
- PMS 313c
 - PMS 377c
 - PMS 173c
 - PMS 2405c

Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

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Channel Letters

PAGE

3 of 4




Project Address:
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