



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: PSEG Power Connecticut, LLC
2. Is the Applicant's name Trustee of Record? Yes No
3. Address of Property: 1 Atlantic Street, Bridgeport, Connecticut 06604
4. Assessor's Map Information: Block No. 542 Lot No. 22
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section:
6. Description of Property (Metes & Bounds): See Attached Exhibit A. Property Description
7. Existing Zone Classification: I-H and DVD-WF
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Resubdivision of the 1 Atlantic Street Property to create two separate parcels for Bridgeport Harbor Station Unit 3 and Unit 5.

Approval(s) requested: Resubdivision of 1 Atlantic Street into two separate parcels: a 22.85 acre parcel (Unit 5) and a 38.17 acre parcel (Unit 3).

Signature: [Handwritten Signature] Date: 3/25/21
Print Name: Thomas J. Regan, Esq.

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: [Handwritten Signature]
Print Name: Thomas J. Regan, Esq. (Attorney)

Mailing Address: Brown Rudnick LLP, 185 Asylum Street, CityPlace 1, Hartford, Connecticut 06103
Phone: 860-509-6522 Cell: 860-833-4329 Fax: 860-509-6501
E-mail Address: tregan@brownrudnick.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

PSEG Power Connecticut LLC [Handwritten Signature] 3/26/21
Print Owner's Name Owner's Signature Date
[Handwritten Signature] 3/26/21
Print Owner's Name Owner's Signature Date

Exhibit A

Parcel 1

PSEG Power Connecticut LLC

A certain piece or parcel of land situated in the City of Bridgeport, County of Fairfield, State of Connecticut as shown on the map referenced Subdivision Plan/Original Survey prepared for: PSEG Power Connecticut LLC, 80 Park Terrace Newark, NJ 07-102-4194, 1 Atlantic Avenue Bridgeport Connecticut Sheet S-1 Scale: 1"=200' Date: 03-02-21 prepared by Design Professionals, Inc. The property is more particularly bounded and described as follows:

Beginning at a point on the northerly street line of Singer Avenue, said point also a southeasterly corner of the property hereon described;

Thence N14°57'59"W along the northerly street line of Singer Avenue, a distance of 186.71 feet to a point;

Thence N74°17'15"E along the easterly property line of land now or formerly The United Illuminating Company, a distance of 154.30 feet to a point;

Thence S13°09'58"E along the northerly property line of land now or formerly The United Illuminating Company, a distance of 85.15 feet to a point;

Thence N79°15'17"E along the easterly property line of land now or formerly The United Illuminating Company, a distance of 50.98 feet to a point;

Thence N09°40'33"W along the northerly property line of land now or formerly The United Illuminating Company, a distance of 387.49 feet to a point;

Thence N12°34'21"W along the northerly property line of land now or formerly The United Illuminating Company, a distance of 77.19 feet to a point;

Thence S81°19'50"E along the northwesterly property line of land now or formerly The United Illuminating Company, a distance of 4.39 feet to a point;

Thence N15°04'35"W along the northerly property line of land now or formerly Connecticut Department of Transportation, a distance of 173.43 feet to a point;

Thence along a curve to the right having a radius of 802.30 feet and an arc length of 104.61 feet, along the northerly property line of land now or formerly Connecticut Department of Transportation to a point;

Thence N07°36'18"W along the northerly property line of land now or formerly Connecticut Department of Transportation, a distance of 645.20 feet to a point;

Thence N75°50'20"E along the easterly property line of land now or formerly Bridgeport Port Authority, a distance of 261.04 feet to a point;

Thence along the mean high water line of Bridgeport Harbor 489'+/- to a point;

Thence N74°30'31"W along the northwesterly property line of land now or formerly United Illuminating, a distance of 118.88 feet to a point;

Thence S15°29'29"W along the southerly property line of land now or formerly United Illuminating, a distance of 86.00 feet to a point;

Thence S41°12'56"E along the southerly property line of land now or formerly United Illuminating, a distance of 51.67 feet to a point;

Thence S15°29'29"W along the southerly property line of land now or formerly United Illuminating, a distance of 135.00 feet to a point;

Thence S03°44'14"W along the southerly property line of land now or formerly United Illuminating, a distance of 57.30 feet to a point;

Thence S04°56'26"E along the southerly property line of land now or formerly United Illuminating, a distance of 55.04 feet to a point;

Thence S74°30'31"E along the southeasterly property line of land now or formerly United Illuminating, a distance of 143.00 feet to a point;

Thence N48°19'44"E along the northeasterly property line of land now or formerly United Illuminating, a distance of 66.40 feet to a point;

Thence N17°13'04"E along the northerly property line of land now or formerly United Illuminating, a distance of 232.70 feet to a point;

Thence along the mean high water line of Bridgeport Harbor 2,548'+/- feet to a point;

Thence S69°14'29"W along the easterly property line of land now or formerly PSEG Power Connecticut LLC, a distance of 759.25 feet to a point;

Thence N80°47'13"W along the easterly property line of land now or formerly PSEG Power Connecticut LLC, a distance of 96.25 feet to a point;

Thence N25°48'51"W along the southerly property line of land now or formerly PSEG Power Connecticut LLC, a distance of 297.72 feet to a point;

Thence N24°15'49"W along the southerly property line of land now or formerly PSEG Power Connecticut LLC, a distance of 42.28 feet to a point;

Thence N46°38'23"W along the southerly property line of land now or formerly PSEG Power Connecticut LLC, a distance of 145.62 feet to a point;

Thence N24°53'15"W along the northerly property line of land now or formerly United Illuminating, a distance of 440.34 feet to a point;

Thence N83°59'32"W along the westerly property line of land now or formerly United Illuminating, a distance of 97.18 feet to a point;

Thence S73°45'15"W along the westerly property line of land now or formerly United Illuminating, a distance of 294.00 feet to the point and place of beginning.

Property described herein contains 1,445,188+/- s.f., or 33.17+/- acres.

Parcel 5

PSEG Power Connecticut LLC

Being that certain parcel of land depicted as Parcel 5 on a land entitled: "Subdivision Plan/Original Survey PSEG Poser Connecticut, LLC Date: 03-02-21 Scale 1"=200' Prepared for PSEG Power Connecticut, LLC 80 Park Terrace Newark, NJ 07-102-4194 Design Professionals, Inc.". Being more particularly described ad follows:

Beginning at a point at the southeasterly property corner of Parcel 1 as depicted on the above referenced plan, also being on the mean high water line of Bridgeport Harbor;

Thence in a southerly direction along the mean highwater line of Bridgeport Harbor 880± feet to a point;

Thence in a westerly direction along the mean highwater line of Bridgeport Harbor 1,602± feet to a point on the easterly property line of land now or formerly 60 Main Street, LLC;

Thence N20°43'58"W along the easterly property line of land now or formerly 60 Main Street, LLC., 305.17 feet to a point;

Thence N35°11'52"W along the easterly property line of land now or formerly 60 Main Street, LLC., 251.53 feet to a point on the southerly right-of-way line of Henry Street;

Thence N73°31'46"E along the southerly right-of-way line of Henry Street, 21.59 feet to a point;

Thence N28°49'14"W along the easterly terminus of Henry Street, 42.99 feet to a point;

Thence S73°31'46"W along the northerly right-of-way line of Henry Street, 141.47 feet to a point;

Thence N40°54'37"E along the southerly property line of land now or formerly United Illuminating, 118.73 feet to a point;

Thence N54°14'32"E along the southerly property line of land now or formerly United Illuminating, 132.43 feet to a point;

Thence N23°32'05"E along the southerly property line of land now or formerly United Illuminating, 43.60 feet to a point;

Thence N24°53'15"W along the easterly property line of land now or formerly United Illuminating, 238.85 feet to a point;

Thence S71°13'14"E along the southerly property line of Parcel 1, now or formerly PSEG Power Connecticut LLC, 145.62 feet to a point;

Thence S24°15'49"E along the westerly property line of Parcel 1, now or formerly PSEG Power Connecticut LLC, 42.28 feet to a point;

Thence S25°48'51"E along the westerly property line of Parcel 1, now or formerly PSEG Power Connecticut LLC, 297.72 feet to a point;

Thence S80°47'13"E along the southerly property line of Parcel 1, now or formerly PSEG Power Connecticut LLC, 96.25 feet to a point;

Thence N69°14'29"E along the southerly property line of Parcel 1, now or formerly PSEG Power Connecticut LLC, 759.25 feet the point and place of beginning.

Said parcel contains 995,494 square feet or 22.85± acres.

Exhibit B

ABUTTERS LIST

CITY OF BRIDGEPORT, 1 ATLANTIC AVE., PER VISION APPRAISAL AS OF MARCH 25, 2021

MBL	Parcel ID	Site Address	Owner	Mailing Address - Street	Mailing Address - Town, State, Zip
22/515/3	515-3	376 MAIN ST	E S M HOLDINGS LLC	525 SOUTH 4TH AVENUE	MOUNT VERNON, NY 10550
22/542/22	542-22	1 ATLANTIC ST	PSEG POWER CONNECTICUT LLC	80 PARK PLAZA T-9 N/A	NEWARK, NJ 07102-4194
29/542/2	542-2	3 ATLANTIC ST	UNITED ILLUMINATING COMPANY	ONE CITY CENTER, 5TH FLOOR	PORTLAND, ME 04101
22/513/5	513-5	54 KIEFER ST	MARIE R CAVALLERI	240 WHITE PLAINS RD	TRUMBULL, CT 06611
22/513/3	513-3	420 MAIN ST #422 300 WATER STREET	ALEKSANDER VUKAJ	888 KINGS HIGHWAY E	FAIRFIELD, CT 06825
29/963/15A	963-15A	BRIDGEPORT HARBOR NA	BRIDGEPORT PORT AUTHORITY	330 WATER ST	BRIDGEPORT, CT 06604
22/528/3	528-3	10 ATLANTIC ST	BRIDGEPORT ENERGY LLC	10 ATLANTIC ST	BRIDGEPORT, CT 06604
22/513/8	513-8	30 KIEFER ST	MARIE R CAVALLERI	240 WHITE PLAINS RD	TRUMBULL, CT 06611
22/513/6	513-6	38 KIEFER ST	MARIE R CAVALLERI	240 WHITE PLAINS RD	TRUMBULL, CT 06611
22/542/8	542-8	27 HENRY ST	MICHAEL MAUZERALL	21 HENRY ST	BRIDGEPORT, CT 06604
22/542/9	542-9	37 HENRY ST #41	60 MAIN STREET LLC ET AL C/O WESTPORT PROPERTY MANAGEMENT LLC	275 POST ROAD EAST, SUITE 10	WESTPORT, CT 06880
22/524/1	542-10	51 HENRY ST	60 MAIN STREET LLC ET AL C/O WESTPORT PROPERTY MANAGEMENT LLC	275 POST ROAD EAST, SUITE 10	WESTPORT, CT 06880
21/516/1	516-1	375 MAIN ST	HOUSING AUTHORITY CITY OF BPT RV PROPERTIES ET AL	376 EAST WASHINGTON AVE	BRIDGEPORT, CT 06608
22/513/4	513-4	418 MAIN ST	VEYTA GIANELLI PSEG POWER CONNECTICUT LLC	20 CHIMNEY LANE	BAYSHORE, NY 11706
22/528/4	528-4	280 MAIN ST	C/O PSEG CORP REAL ESTATE 60 MAIN STREET LLC ET AL	80 PARK PLAZA T6B	NEWARK, NJ 07102-4194
22/542/5	542-5	76 MAIN ST	C/O WESTPORT PROPERTY MANAGEMENT LLC	275 POST ROAD EAST, SUITE 10	WESTPORT, CT 06880
22/542/7	542-7	21 HENRY ST	MICHAEL MAUZERALL	21 HENRY ST	BRIDGEPORT, CT 06604
22/542/18A	542-18A	TONGUE POINT LIGHTHOUSE	FEDERAL	UNKNOWN	
22/515/7	515-7	28 WHITING STREET #30	E S M HOLDINGS LLC	525 SOUTH 4TH AVENUE	MOUNT VERNON, NY 10550
22/515/6	515-6	340 MAIN STREET	PARKSIDE PROPERTIES LLC C/O VINCENT AURELIA	P.O. BOX 38625	BRIDGEPORT, CT 06605
22/515/5	515-5	354 MAIN STREET	MARY & ELIZA FREEMAN CENTER FOR HISTORY & COMMUNITY INC.	360 MAIN STREET	BRIDGEPORT, CT 06604
22/515/4	515-4	360 MAIN STREET #366	MARY & ELIZA FREEMAN CENTER FOR HISTORY & COMMUNITY INC.	360 MAIN STREET	BRIDGEPORT, CT 06604
22/515/2A	515-2A	388 MAIN STREET	388 MAIN STREET LLC	11 WESTFAIR DRIVE	WESTPORT, CT 06880
22/515/1A	515-1A	394 MAIN STREET	388 MAIN STREET LLC	11 WESTFAIR DRIVE	WESTPORT, CT 06880

ABUTTERS MAP – BRIDGEPORT GIS – 100 FOOT BUFFER

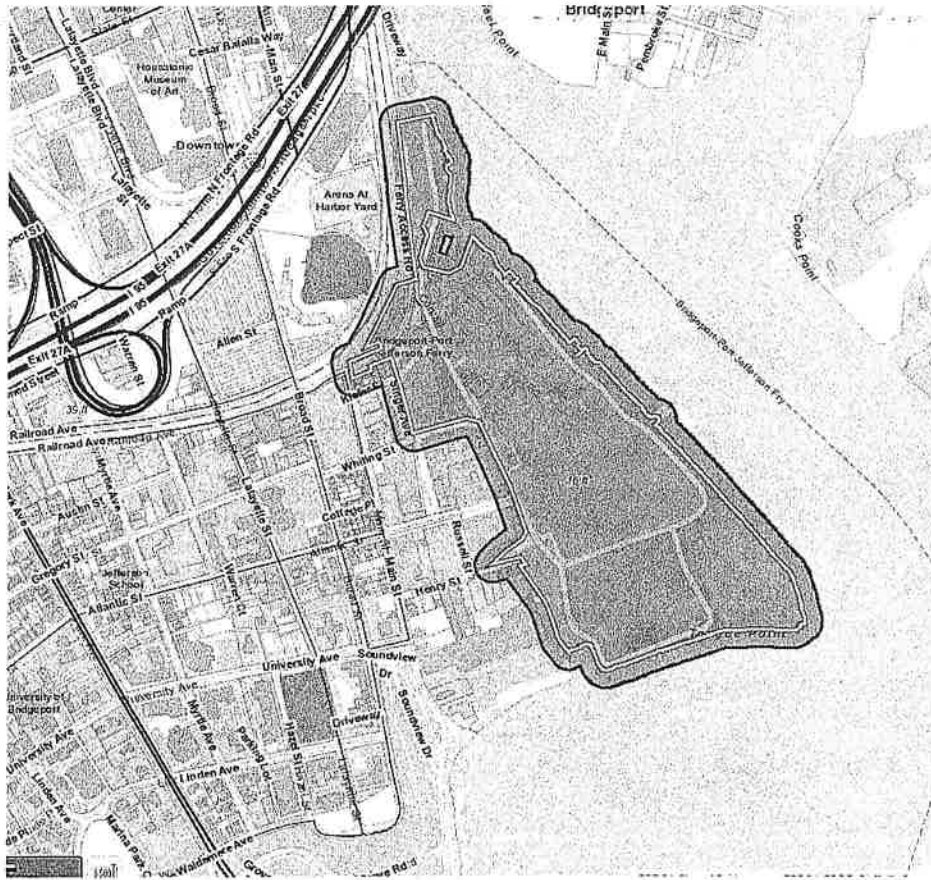


Exhibit C

Office of the Secretary of the State of Connecticut

I, the Connecticut Secretary of the State, and keeper of the seal thereof,
DO HEREBY CERTIFY, that articles of organization for

PSEG POWER CONNECTICUT LLC

a domestic limited liability company, were filed in this office on September 30, 1998. The following is
a list of all documents filed in this office:

Filing Type: -----	File Date/Time: -----	Effective Date/Time: -----
CERTIFICATE OF ORGANIZATION	September 30, 1998 12:17 PM	
DESIGNATION OF ADDRESS	September 01, 1999 03:29 PM	
CHANGE OF AGENT FOR SERVICE OF PROCESS	September 01, 1999 03:29 PM	
REPORT (1999)	September 20, 1999 08:30 AM	
CHANGE OF AGENT FOR SERVICE OF PROCESS	December 14, 1999 08:30 AM	
<hr/>		
CHANGE OF AGENT FOR SERVICE OF PROCESS	May 17, 2000 08:30 AM	
REPORT (2000)	November 14, 2000 02:13 PM	
REPORT (2001)	May 14, 2002 08:30 AM	
REPORT (2002)	September 25, 2002 08:30 AM	
CERTIFICATE OF AMENDMENT with name change from: WISVEST-CONNECTICUT, LLC to: PSEG POWER CONNECTICUT LLC	December 06, 2002 03:00 PM	
REPORT (2003)	April 26, 2004 08:30 AM	
REPORT (2004)	September 20, 2005 03:06 PM	

Office of the Secretary of the State of Connecticut

REPORT (2005)	September 20, 2005 03:08 PM	
CHANGE AGENT ADDRESS	April 02, 2007 08:30 AM	April 02, 2007 08:30 AM
REPORT (2006)	August 10, 2007 11:26 AM	
REPORT (2007)	August 10, 2007 11:45 AM	
REPORT (2008)	September 04, 2008 09:27 AM	
REPORT (2009)	August 20, 2009 09:27 AM	
REPORT (2010)	October 08, 2010 03:54 PM	
REPORT (2011)	August 30, 2011 12:14 PM	
CHANGE AGENT ADDRESS	December 01, 2011 08:30 AM	December 02, 2011 08:30 AM
REPORT (2012)	August 09, 2012 12:17 PM	
REPORT (2013)	November 05, 2013 11:47 AM	
REPORT (2014)	December 03, 2014 09:51 AM	
REPORT (2015)	May 10, 2017 02:18 PM	
REPORT (2016)	May 10, 2017 02:25 PM	
REPORT (2017)	October 30, 2017 04:45 PM	
REPORT (2018)	April 11, 2018 01:40 PM	
REPORT (2019)	July 31, 2019 04:37 PM	
REPORT (2020)	July 22, 2020 09:51 AM	
CHANGE OF AGENT FOR SERVICE OF PROCESS	July 24, 2020 11:28 AM	July 24, 2020 11:28 AM
REPORT (2021)	February 15, 2021 05:05 PM	

Office of the Secretary of the State of Connecticut

Articles of dissolution have not been filed, and so far as indicated by the records of this office such limited liability company is in existence.



Secretary of the State

Date Issued: March 24, 2021

WISVEST - CONNECTICUT, LLC

Articles of Organization

FILING #0001898994 PG 01 OF 01 VOL B-00223
FILED 09/30/1998 12:17 PM PAGE 01549
--- SECRETARY OF THE STATE
CONNECTICUT SECRETARY OF THE STATE

The undersigned Organizer, a natural person, for the purpose of organizing a limited liability company under the provisions and subject to the requirements of the Connecticut Limited Liability Company Act and the acts amendatory thereof and supplemental thereto, hereby certifies that:

§1. **Name.** the name of the limited liability company (the "Limited Liability Company") is **Wisvest - Connecticut, LLC.**

§2. **Purpose.** The nature of the business to be transacted or the purpose to be promoted or carried out by the Limited Liability Company is as follows:

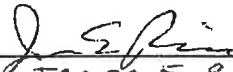
To engage in any lawful activity for which limited liability companies may be formed under the Connecticut Limited Liability Act and the general laws of Connecticut.

§3. **Principal Office Address.** The address of the principal office of the Limited Liability Company is: c/o Marsh, Day & Calhoun, 2507 Post Road, Southport, Connecticut 06490.

§4. **Statutory Agent.** The name of the Statutory Agent for Service of Process for the Limited Liability Company is: James E. Rice, whose business address is Marsh, Day & Calhoun, 2507 Post Road, Southport, Connecticut 06490, and whose residence address is 85 Rowland Road, Fairfield, Connecticut 06430.

The undersigned Organizer hereby declares, under the penalties of false statement, that the statements made in the foregoing Articles of Organization are true.


Subscribed at New Haven, Connecticut, this 30th day of September 1998.



JAMES E. RICE

Acceptance of Appointment by Statutory Agent:

The undersigned, James E. Rice, hereby accepts the foregoing appointment as agent for service of process for Wisvest - Connecticut, LLC.



James E. Rice
Statutory Agent for Service

ARTICLES OF AMENDMENT

Domestic Limited Liability Company

Office of the Secretary of the State

30 Trinity Street / P.O. Box 150470 / Hartford, CT 06115-0470 / Rev. 12/1999

Please see reverse for instructions

Space For Oil

FILING #0002512264 PG 01 OF 01 VOL B-00545
FILED 12/06/2002 03:00 PM PAGE 01074
SECRETARY OF THE STATE
CONNECTICUT SECRETARY OF THE STATE

1. NAME OF LIMITED LIABILITY COMPANY:

Wisvest-Connecticut, LLC

2. THE LIMITED LIABILITY COMPANY'S ARTICLES OF ORGANIZATION ARE (check A, B, or C.):

A. AMENDED

B. AMENDED AND RESTATED

C. RESTATED


3. TEXT OF EACH AMENDMENT / RESTATEMENT:

Article 1 shall be amended to read: "Name. The name of the limited liability company (the "Limited Liability Company") is PSEG Power Connecticut LLC."

Article 3 shall be amended to read: "Principal Office Address. The address of the principal office of the Limited Liability Company is: c/o PSEG Fossil LLC, 80 Park Plaza, P.O. Box 1171, Newark, NJ 07102-1171."

Article 4 shall be amended to read: "Statutory Agent. The name of the Statutory Agent for Service of Process for the Limited Liability Company is: c/o CT Corporation System, One Commercial Plaza, Hartford, CT 06103."


The Acceptance of Appointment by Statutory Agent is also amended to provide: CT Corporation System hereby accepts the foregoing appointment as Agent for Service of Process for PSEG Power Connecticut LLC.


Statutory Agent for Service

(Please reference an 8 1/2 X 11 attachment if additional space is needed)

B. EXECUTION:

Dated this 6th day of December, 2002.

Harold W. Borden	Vice President of PSEG Fossil LLC, Sole Member	
Print or type name of signatory	Capacity of signatory	Signature

brownrudnick

THOMAS J. REGAN, ESQ.
Direct Dial: 860-509-6522
E-Mail: tregan@brownrudnick.com

March 26, 2021

VIA HAND DELIVERY

Dennis Buckley, Zoning Administration
City of Bridgeport
Planning and Zoning Commission
City Hall
45 Lyon Terrace, Room 210
Bridgeport, Connecticut 06604

Re: Application of PSEG Power Connecticut LLC for Resubdivision of 1 Atlantic Street

Dear Dennis:

Per our discussion, on behalf of our client, PSEG Power Connecticut LLC ("PSEG"), we submit the enclosed application for resubdivision of the property located at 1 Atlantic Street (the "Property"). The purpose of the resubdivision is to allow PSEG to separate its Unit 3 facility and Unit 5 facility into two separate, distinct parcels.

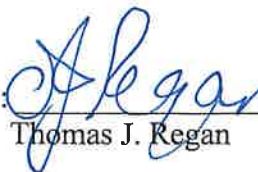
As required, enclosed herewith please find the following:

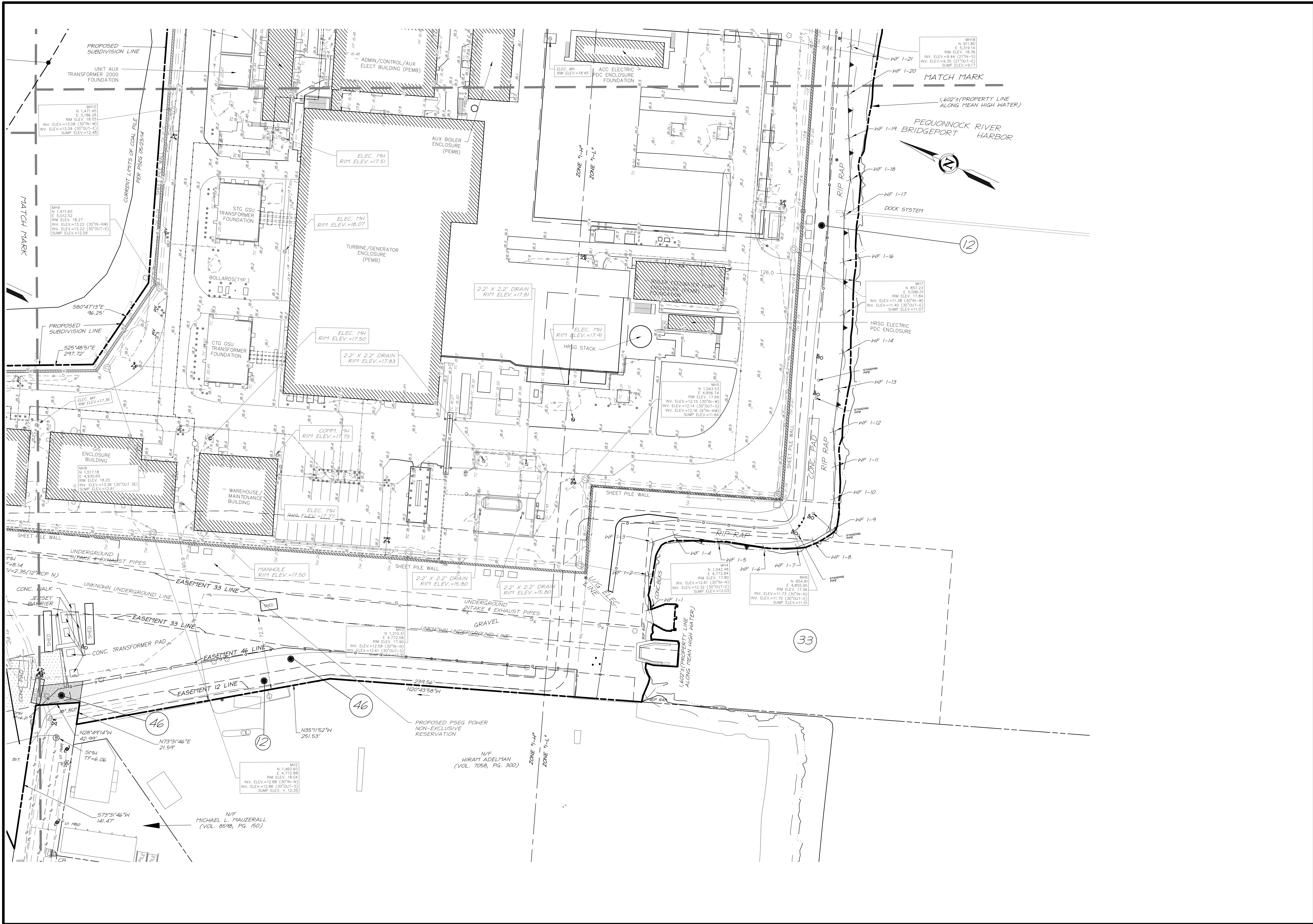
1. Application form.
2. Exhibit A: Property Descriptions of proposed subdivided parcels
3. Exhibit B: Abutter notification list
4. Exhibit C: PSEG Power Connecticut LLC Certificate of Formation
5. Subdivision Plan and Original Survey

The proposed resubdivision meets all the requirements of the City of Bridgeport zoning regulations and, therefore, we ask that the application be granted. Please let us know if you have any questions or need any additional information in connection with the application.

Very truly yours,

BROWN RUDNICK LLP

By: 
Thomas J. Regan



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 21 JEFFREY DRIVE
 P.O. BOX 167
 SOUTH WINDSOR, CT 06074
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 FAX: 860-291-8777
 www.designprofessionalsinc.com

Design Professionals
 CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
 GIS ANALYSTS / LANDSCAPE ARCHITECTS

Prepared For:
PSEG POWER CONNECTICUT, LLC
 80 PARK TERRACE
 NEWARK, NJ 07102-4194

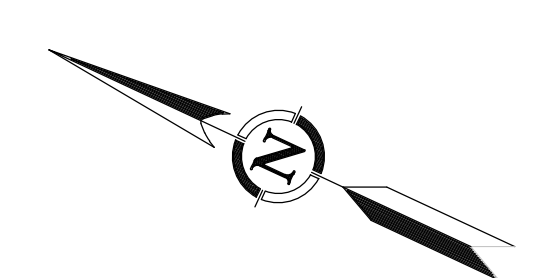
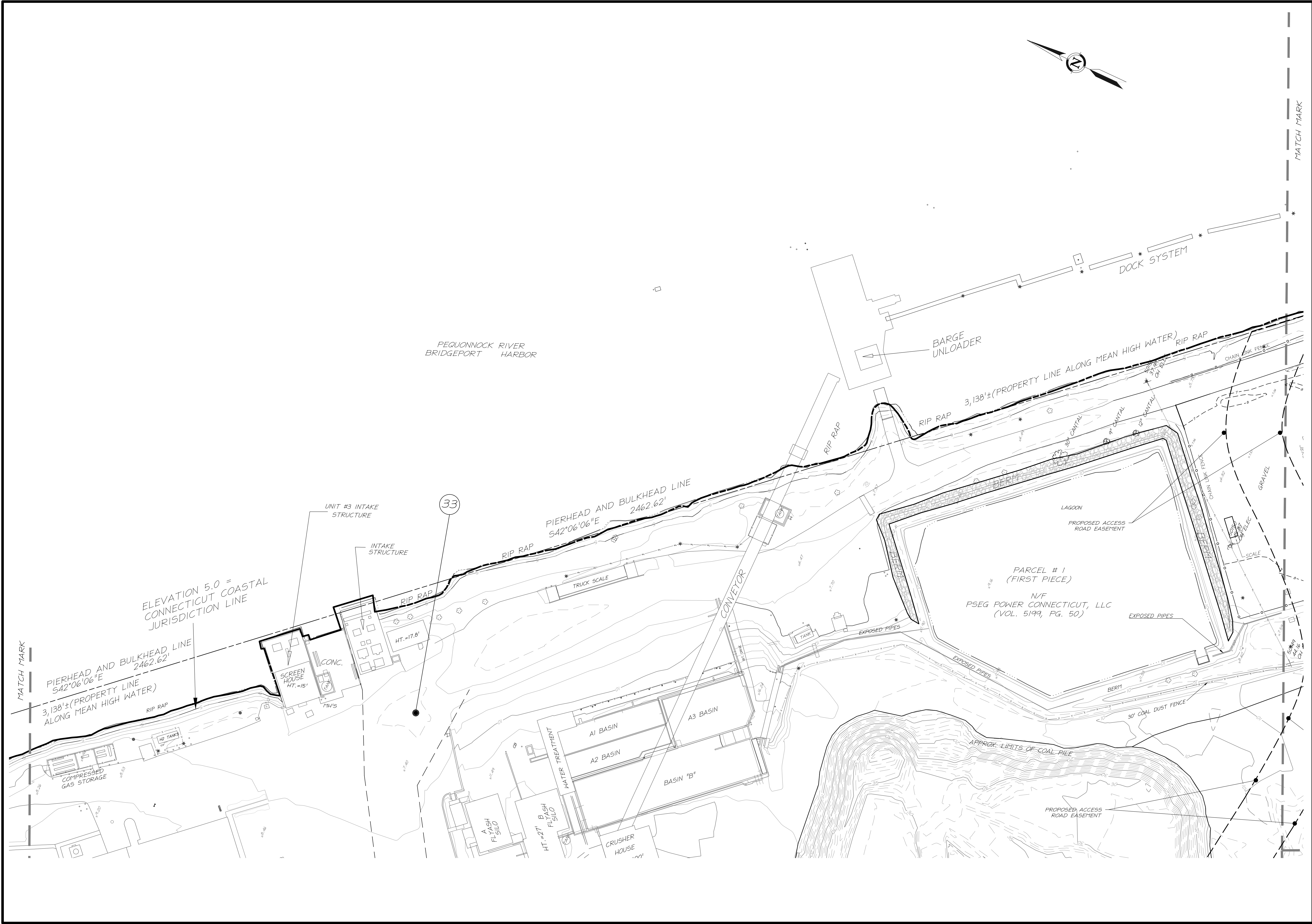
NO.	DATE	REVISIONS	BY

PROJECT NO.: 3394
 DATE: 03/20/21
 DRAWN BY: MHA
 CHECKED BY: LBC

**SUBDIVISION PLAN/
 ORIGINAL SURVEY**

SCALE: 0" = 20' 40' 80'
 1" = 40'

SHEET
5-3



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21 BERRY DRIVE
P.O. BOX 1167
SOUTH WINDSOR, CT 06074
860-291-8757 - F
www.designprofessionals.com

design professionals
CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

Prepared For:
PSEC POWER CONNECTICUT, LLC
80 PARK TERRACE
NEWARK, NJ 07102-4194

PROJECT NO: 3394
DATE: 03-02-21
DESIGN BY: MHA
DRAWN BY: MHA
CHECKED BY: MHA
SCALE: 1" = 40'

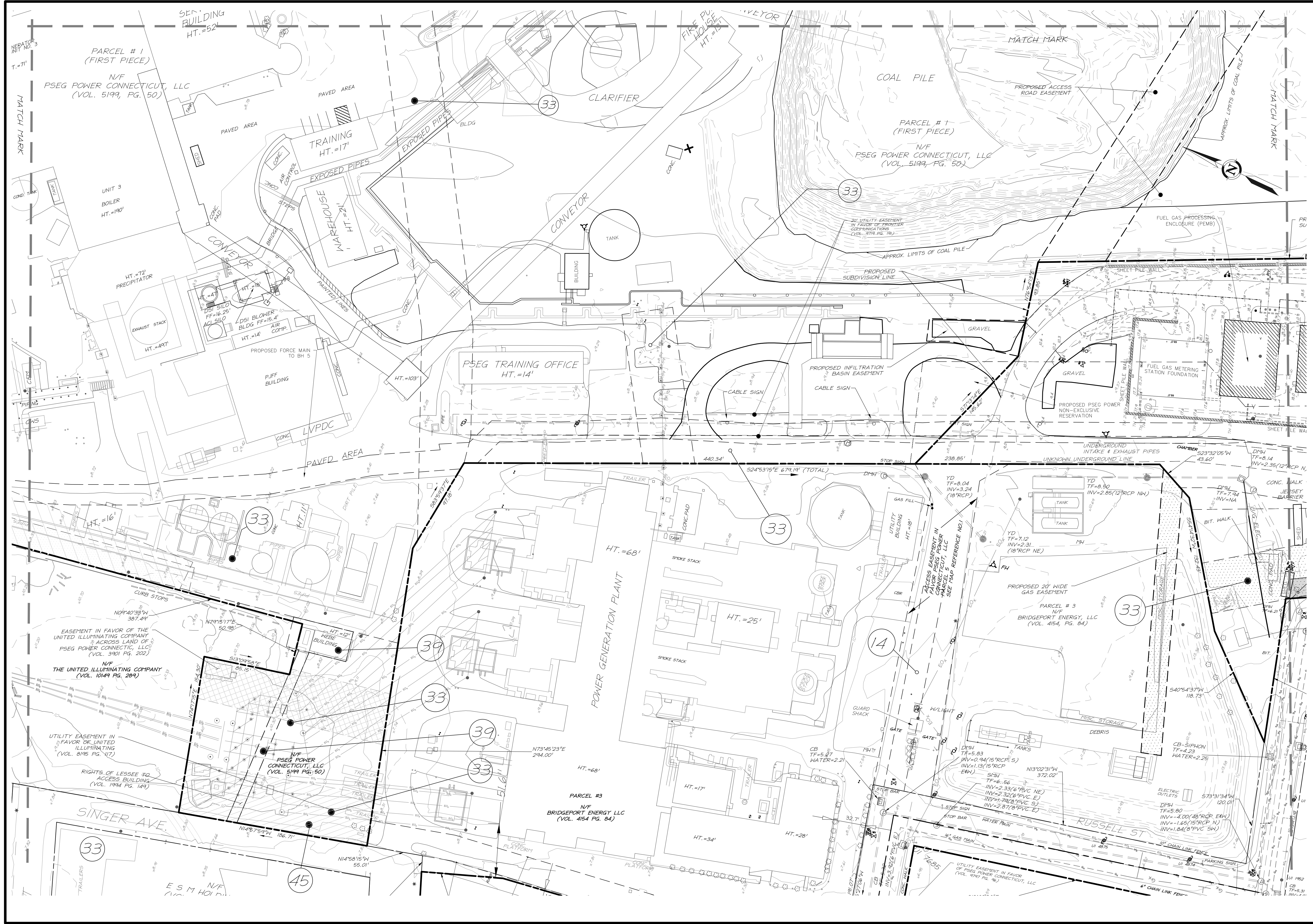
PSEG POWER CONNECTICUT, LLC
1 ATLANTIC STREET
BRIDGEPORT, CONNECTICUT

NO.	DATE	REVISIONS

SUBDIVISION PLAN/
ORIGINAL SURVEY

SHEET
S-4

File: C:\Users\3394A\Skyway\3394 PSEG BASE 2020.dwg
 Layout: 33 DIVISION SHEET 5 24036
 Printed: 9/25/2021 12:32 PM
 Last Saved: 9/25/2021 12:32 PM
 Last Saved By: restaurand



SUBDIVISION PLAN/
 ORIGINAL SURVEY
 SHEET
S-5

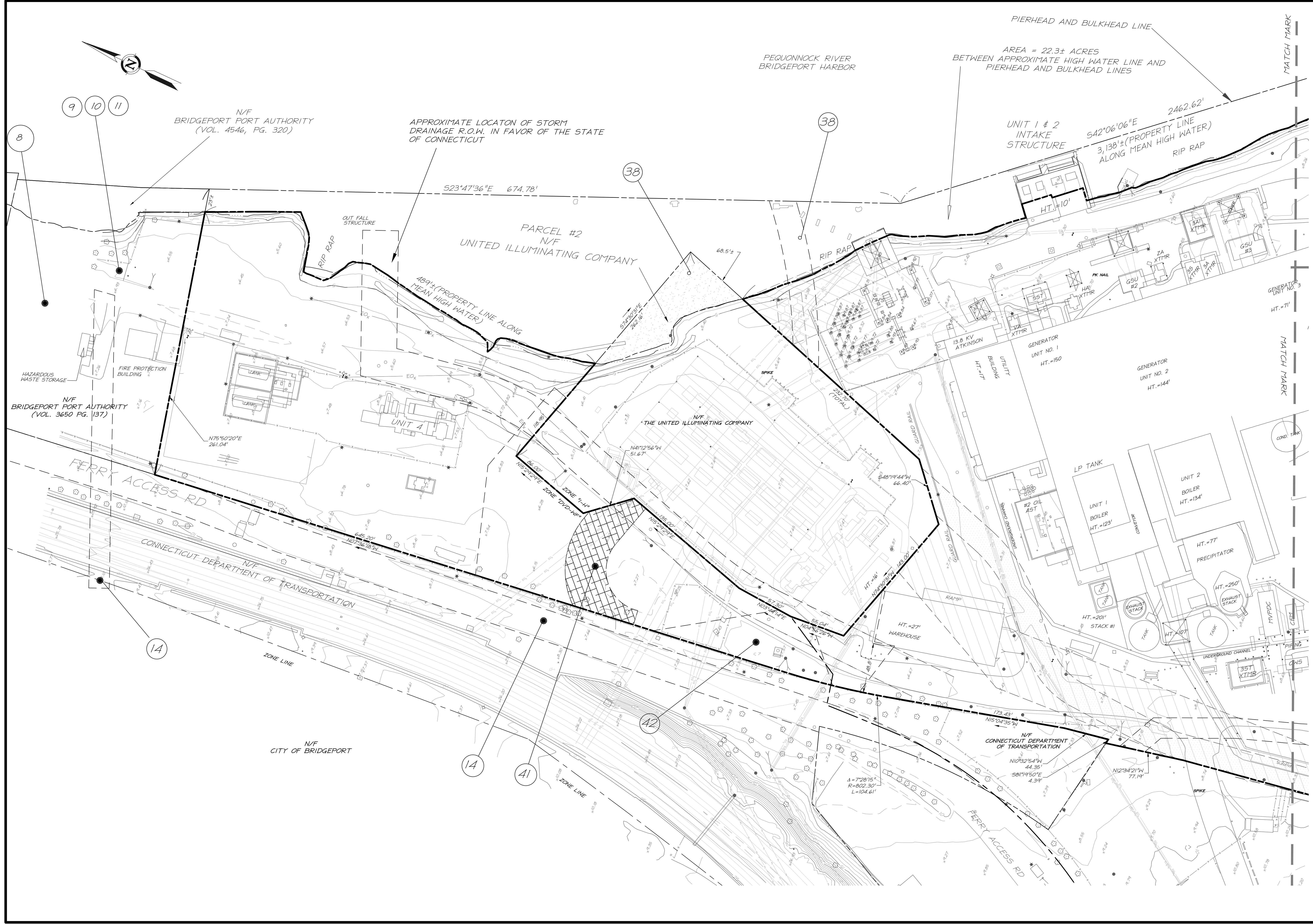
NO.	DATE	BY	REVISIONS

SCALE: 0' 20' 40' 80'
 T = 40'

Prepared For:
PSEG POWER CONNECTICUT, LLC
 80 PARK TERRACE
 NEWARK, NJ 07102-4194

PEG
 21 EIGHTY ONE
 SOUTH WINDSOR, CT 06074
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File: C:\Users\3294\Survey\3294_PSEC BASE_2020.dwg Layout: Substation Sheet 6 Plotted: 3/25/2021 12:32 PM Last Saved: 3/25/2021 12:32 PM Last Saved By: metzgerm



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Prepared For:
PSEG POWER CONNECTICUT, LLC
 80 PARK TERRACE
 NEWARK, NJ 07102-4194

PROJECT NO: 3394
 DATE: 03-02-21
 DRAWN BY: MHA
 CHECKED BY: MHA
 SCALE: 1" = 40'

design professionals
 CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
 GIS ANALYSTS / LANDSCAPE ARCHITECTS

21 PEGASUS DRIVE
 SOUTH WINDSOR, CT 06074
 860-291-8755 - T
 860-291-8757 - F
 www.designprofessionals.com

NO. DATE BY REVISIONS

**SUBDIVISION PLAN/
 ORIGINAL SURVEY**

SHEET
5-6

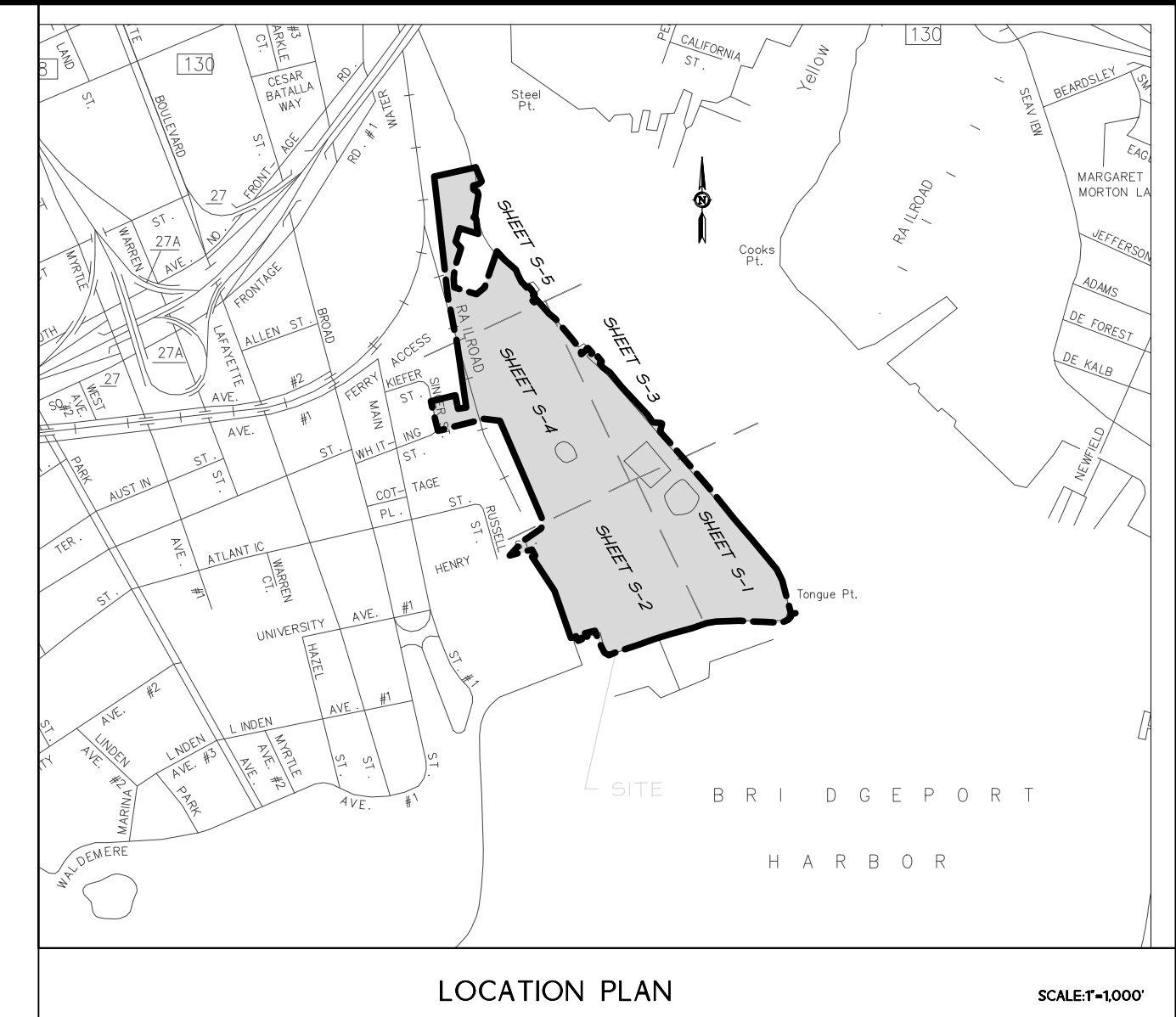
LEGEND	
EXISTING	DESCRIPTION
BORINGS	BORING / TEST PIT LOCATION
COMMUNICATION	OVERHEAD COMM. LINES (CABLE, TEL, ETC.)
CONTROL POINTS	HORIZONTAL CONTROL POINT
	HORIZONTAL & VERTICAL CONTROL POINT
	VERTICAL CONTROL POINT
	BENCHMARK
DOMESTIC WATER	WATER MAIN
	WATER SERVICE
	FIRE SERVICE LINE
	NON-POTABLE WATER LINE
	WATER LINE, ABANDONED
	WATER VALVE
	WATER METER
	FIRE HYDRANT
LIQUID FUEL	MAIN LIQUID FUEL LINE
	LIQUID FUEL SERVICE LINE
	LIQUID FUEL LINE, ABANDONED
IRRIGATION	IRRIGATION LINES
LIGHTING	POLE MOUNTED LIGHT
	GROUND MOUNTED LIGHT
NATURAL GAS	GAS MAIN
	GAS SERVICE LINE
	GAS LINE, ABANDONED
POWER	ELECTRICAL LINES, OVERHEAD
	ELECTRICAL LINES, UNDERGROUND
	UTILITY POLE
PROPERTY	PROPERTY LINE
	IRON PIN
	MONUMENT
ROADS	GUARD RAIL
	SIGN
EROSION CONTROL	SILT FENCE
SITE FEATURES	EDGE OF WATER
	BARBED WIRE FENCE
	CHAIN LINK FENCE
	RAIL FENCE
	STOCKADE FENCE
	WIRE FENCE
	TREE
	TREE LINE
SANITARY SEWER	SANITARY SEWER MAIN
	SANITARY SEWER SERVICE LINE
	SANITARY SEWER LINE, ABANDONED
	SANITARY SEWER MANHOLE
STORM SEWER	STORM DRAIN PIPE
	STORM DRAIN PIPE, ABANDONED
	ROOF LEADER
	UNDERDRAIN
	STORM DRAIN MANHOLE
	CURB INLET
	CATCH BASIN
TOPOGRAPHY	CONTOUR
	SPOT ELEVATION
WETLANDS	WETLANDS LINE

PLOTTED EASEMENTS

- MEMORANDUM OF AGREEMENT BY AND BETWEEN WISVEST-CONNECTICUT, LLC AND THE UNITED ILLUMINATING COMPANY DATED AS OF APRIL 16, 1999 AND RECORDED IN VOLUME 4123, PAGE 301 OF THE BRIDGEPORT LAND RECORDS. SAID AGREEMENT WAS MODIFIED BY MODIFICATION OF MEMORANDUM OF AGREEMENT DATED MARCH 1, 2001 AND RECORDED MARCH 23, 2001 IN VOLUME 4546 PAGE 317 OF THE BRIDGEPORT LAND RECORDS.
- GRANT OF PERMANENT EASEMENT AS FOUND IN A QUIT CLAIM DEED FROM WISVEST-CONNECTICUT, LLC TO BRIDGEPORT PORT AUTHORITY AS TO 1.13 ACRES DATED NOVEMBER 29, 2000 AND RECORDED IN VOLUME 4546, PAGE 320 OF THE BRIDGEPORT LAND RECORDS.
- AGREEMENT TO AMEND EASEMENT AND TO GRANT EASEMENTS BY AND BETWEEN WISVEST-CONNECTICUT, LLC AND THE BRIDGEPORT PORT AUTHORITY DATED AS NOVEMBER 30, 2000 AND RECORDED IN VOLUME 4546, PAGE 325 OF THE BRIDGEPORT LAND RECORDS.
- PEDESTRIAN ACCESS EASEMENT FROM BRIDGEPORT PORT AUTHORITY TO WISVEST-CONNECTICUT, LLC DATED NOVEMBER 30, 2000 AND RECORDED IN VOLUME 4546 PAGE 330 OF THE BRIDGEPORT LAND RECORDS.
- AN EASEMENT IN FAVOR OF THE UNITED STATES OF AMERICA IN COMMON WITH OTHERS TO PASS OR REPASS ON FOOT OR VEHICLE AND TO LOCATE, CONSTRUCT, REPAIR AND MAINTAIN A ROADWAY OVER AND ACROSS A 12' STRIP FROM HENRY STREET TO PROPERTY OF THE UNITED STATES OF AMERICA KNOWN AS THE BUG LIGHT, WHICH EASEMENT IS DATED JULY 8, 1968 AND RECORDED IN VOLUME 1381 PAGE 102 OF SAID LAND RECORDS AS DEPICTED IN A SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR NRG ENERGY, INC. KIEFER STREET, BRIDGEPORT, CONNECTICUT JOB NO. 99-021A4 DATED FEBRUARY 8, 2001, LAST REVISED MAY 30, 2001 SHEET 1 OF 4 SCALE 1"=100' MADE BY FUSS & O'NEILL, INC. CONSULTING ENGINEERS, CERTIFIED APRIL 23, 2001 (AS TO FIRST PIECE ONLY)
- EASEMENT FROM NEW YORK, NEW HAVEN AND HARTFORD RAILROAD TO UNITED ILLUMINATING COMPANY DATED JULY 28, 1952 AND RECORDED IN VOLUME 1025 AT PAGE 219 OF THE BRIDGEPORT LAND RECORDS AS DEPICTED IN A SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR NRG ENERGY, INC. KIEFER STREET, BRIDGEPORT, CONNECTICUT JOB NO. 99-021A4 DATED FEBRUARY 8, 2001, LAST REVISED MAY 30, 2001 SHEET 1 OF 4 SCALE 1" = 100' MADE BY FUSS & O'NEILL, INC. CONSULTING ENGINEERS, CERTIFIED APRIL 23, 2001. (AS AN APPURTENANT INTEREST ONLY)
- GRANT OF EASEMENTS FROM THE UNITED ILLUMINATING COMPANY TO BRIDGEPORT ENERGY LLC DATED SEPTEMBER 17, 1997 AND RECORDED IN VOLUME 3785 AT PAGE 279, AS MODIFIED BY FIRST AMENDMENT TO GRANT OF EASEMENTS DATED NOVEMBER 19, 1997 AND RECORDED IN VOLUME 3916 AT PAGE 4, AS FURTHER MODIFIED BY SECOND AMENDMENT TO AND PARTIAL RELEASE OF GRANT OF EASEMENTS DATED APRIL 16, 1998 AND RECORDED IN VOLUME 3901 AT PAGE 202 OF THE BRIDGEPORT LAND RECORDS, AS FURTHER MODIFIED BY RESERVATION OF RESTRICTIVE COVENANTS AND THIRD AMENDMENT TO GRANT OF EASEMENTS DATED AS OF APRIL 15, 1999 AND RECORDED APRIL 16, 1999 AT 12:32 P.M. IN THE BRIDGEPORT LAND RECORDS. EASEMENTS ARE ALSO SHOWN ON MAPS FILED NOVEMBER 21, 1997 AT 3:23 P.M. AND AT 3:24 P.M. AND ON APRIL 21, 1998 AT 2:27 P.M. WITH THE BRIDGEPORT TOWN CLERK'S OFFICE. AS DEPICTED ON A SURVEY ENTITLED "ALTA/ACSM LAND TITLE SURVEY PREPARED FOR NRG ENERGY, INC. KIEFER STREET, BRIDGEPORT, CONNECTICUT JOB NO. 99-021A4 DATED FEBRUARY 8, 2001, LAST REVISED MAY 30, 2001 SHEET 1 OF 4 SCALE 1" = 100' MADE BY FUSS & O'NEILL, INC. CONSULTING ENGINEERS, CERTIFIED APRIL 23, 2001.
- RIGHTS RESERVED IN A DEED FROM UNITED ILLUMINATING COMPANY TO WISVEST-CONNECTICUT, LLC DATED APRIL 15, 1999 AND RECORDED IN VOLUME 4110, PAGE 153 OF THE BRIDGEPORT LAND RECORDS.
- RIGHTS OF LESSEE, AS LESSEE ONLY, BY VIRTUE OF A NOTICE OF LEASE BETWEEN MARIE CAVALLERI AND 108 RADIO COMPANY LIMITED PARTNERSHIP DATED AUGUST 1, 1985 AND RECORDED IN VOLUME 1994 PAGE 143; AMENDED BY FIRST AMENDMENT, AS ASSIGNED TO ML MEDIA BY ASSIGNMENT DATED DECEMBER 16, 1987 (WEB RADIO SHACK)
- UTILITY EASEMENT FROM PSEG POWER CONNECTICUT LLC TO THE UNITED ILLUMINATING COMPANY AND THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY DATED SEPTEMBER 15, 2006 AND RECORDED IN VOLUME 7210 AT PAGE 16 OF THE BRIDGEPORT LAND RECORDS.
- UTILITY EASEMENT FROM PSEG POWER CONNECTICUT LLC TO THE UNITED ILLUMINATING COMPANY AND THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY DATED NOVEMBER 15, 2006 AND RECORDED IN VOLUME 7274 AT PAGE 88 OF THE BRIDGEPORT LAND RECORDS.
- UTILITY EASEMENT BY AND BETWEEN PSEG POWER CONNECTICUT LLC TO THE UNITED ILLUMINATING COMPANY AND THE SOUTHERN NEW ENGLAND TELEPHONE COMPANY DATED DECEMBER 31, 2004 AND RECORDED MARCH 8, 2010 IN VOLUME 8195 AT PAGE 117 OF THE BRIDGEPORT LAND RECORDS.
- GRANT OF EASEMENTS BY AND BETWEEN PSEG POWER CONNECTICUT, LLC AND MICHAEL MAUZERALL DATED APRIL 23, 2012 AND RECORDED MAY 3, 2012 IN VOLUME 8598, PAGE 154 OF THE BRIDGEPORT LAND RECORDS.

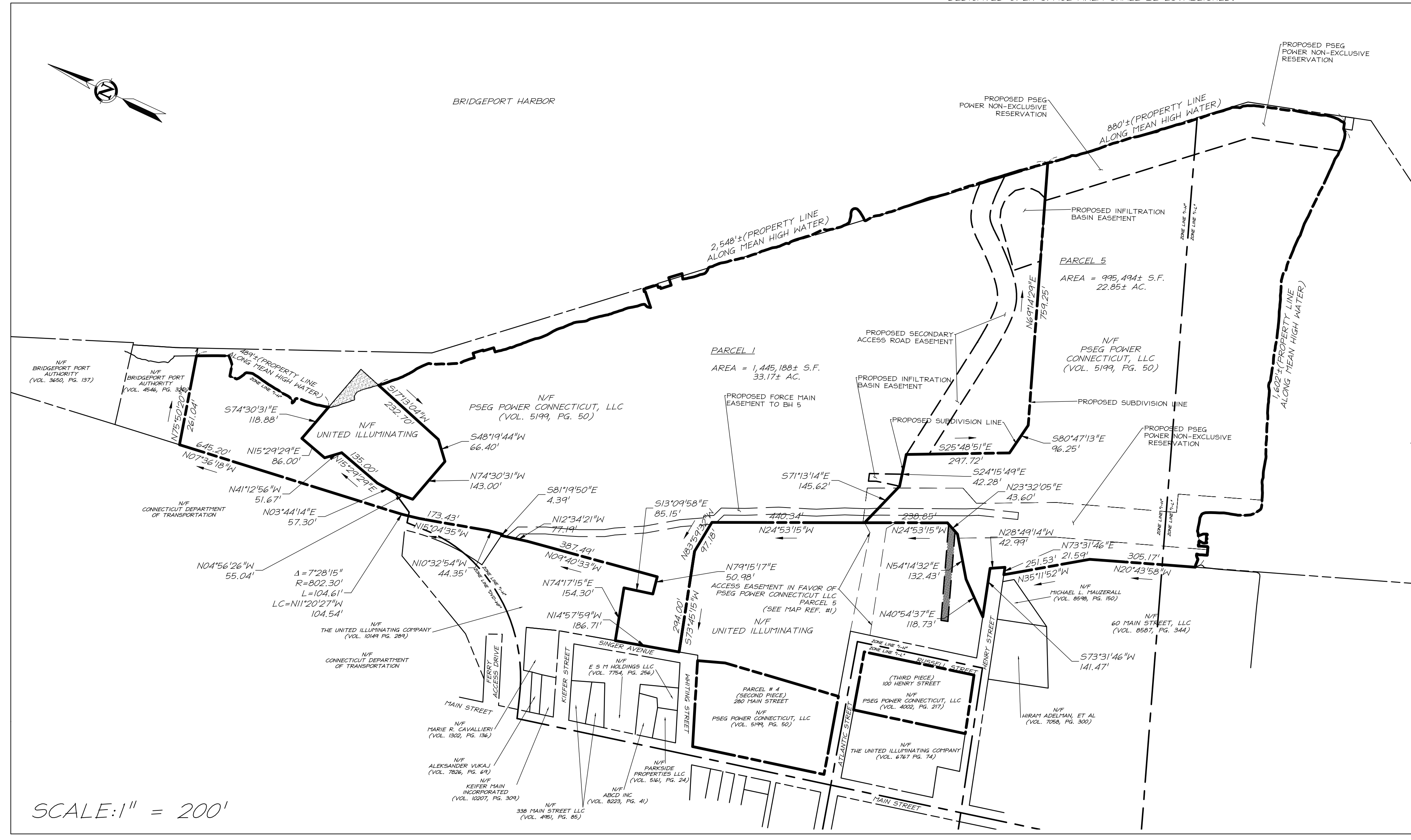
ZONING DATA:
PROPERTY IS IN THE I-HI ZONE, I-L ZONE AND THE DVD-WF ZONE.

- I-HI ZONE**
MAXIMUM FLOOR AREA RATIO - NO LIMIT MAXIMUM
LOT AREA - NO MIN.
MINIMUM FRONTAGE - NO MIN.
MINIMUM BUILDING SETBACKS:
MIN. STREET LOT LINE - 5 FEET
MIN. LOT LINE SETBACK ABUTTING MU OR I-ZONED LOT-0 FEET
MIN. LOT LINE SETBACK ABUTTING OTHER HEAVY INDUSTRIAL USE-10 FEET
MIN. LOT LINE SETBACK ABUTTING OTHER USES - 0 FEET
MIN. LOT LINE SETBACK ABUTTING RESIDENTIAL ZONE - 15 FEET
LANDSCAPING SETBACK ABUTTING RA lot - 10 FT. @ LOT LINE L4
MAXIMUM BUILDING COVERAGE - 100% OF SITE MAX.
LANDSCAPE AREA - NONE
MAXIMUM HEIGHT - 75 FEET (PRIMARY STRUCTURES)
- SHALL NOT EXCEED ONE-THIRD (1/3) THE MAXIMUM HEIGHT OF THE PRINCIPAL STRUCTURE.
- I-L ZONE**
MAXIMUM FLOOR AREA RATIO - NO LIMIT MAXIMUM
LOT AREA - NO MIN.
MINIMUM FRONTAGE - 25 FEET.
MINIMUM BUILDING SETBACKS:
MIN. STREET LOT LINE - 15 FEET
NO MIN. SIDE OR REAR SETBACKS REQUIRED
MIN. LOT LINE SETBACK ABUTTING MU OR I-ZONED LOT-0 FEET
MIN. LOT LINE SETBACK ABUTTING OTHER HEAVY INDUSTRIAL USE-10 FEET
MIN. LOT LINE SETBACK ABUTTING OTHER USES - 0 FEET
MIN. LOT LINE SETBACK ABUTTING RESIDENTIAL ZONE - 15 FEET
LANDSCAPING SETBACK ABUTTING RA LOT - 10 FT. @ LOT LINE
MAXIMUM BUILDING COVERAGE - 85% OF SITE MAX.
LANDSCAPE AREA - 15%
MAXIMUM HEIGHT - 75 FEET (PRIMARY STRUCTURES)
- SHALL NOT EXCEED ONE-THIRD (1/3) THE MAXIMUM HEIGHT OF THE PRINCIPAL STRUCTURE.
- DVD-WF ZONE**
MINIMUM LOT WIDTH - 50 FEET
MINIMUM LOT DEPTH - 100 FEET
MINIMUM LOT AREA - 5,000 SQUARE FEET
MAXIMUM LOT COVERAGE - 60%
MINIMUM BUILDING SETBACKS:
MIN. STREET SETBACK - 5 FEET OR PREVAILING
MAX. STREET SETBACK - 20 FEET OR PREVAILING
MIN. SIDE LINE SETBACK - 0 FEET OR 5 FEET IF SIDE YARD UTILIZED
MIN. SIDE LINE SETBACK - 1 FOOT FOR EACH FLOOR OF BUILDING
HEIGHT NOT TO EXCEED 14 FEET.
MIN. REAR LINE SETBACK - 0 FEET OR 20 FEET IF FLOOR CONTAINS HABITABLE SPACE.
LANDSCAPE AREA - MIN. 20%
A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTIES ABUTTING A WATERWAY.
FROM THE TOP OF THE EMBARKMENT AND FOR 20' INLAND, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED.



LOCATION PLAN SCALE=1/1000'

- NOTES:**
- PROPERTY IS IN THE I-HI, I-L AND DVD-WF ZONES.
 - PARCEL 1 CONTAINS 1,445,189.2 SQUARE FEET OR 33.172 ACRES, THIRD PIECE CONTAINS 55,656 SQUARE FEET OR 1.278 ACRES AND FOURTH PIECE CONTAINS 98,256 SQUARE FEET OR 2.255 ACRES. PARCEL 5 CONTAINS 995,494.1 SQUARE FEET OR 22.85 ACRES.
 - HORIZONTAL DATUM IS BASED ON THE NORTH AMERICAN DATUM OF 1983/2011 (NAD 83/2011) AND THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
 - THE ELEVATION OF THE MEAN HIGH WATER LINE OF THE PEQUONNICK RIVER/BRIDGEPORT HARBOR AND THE CONNECTICUT COASTAL JURISDICTION LINE IS BASED ON INFORMATION PROVIDED IN "THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS RESOURCES FOR TIDAL AND NAVIGABLE WATERS IN CONNECTICUT" BY JOHN J. DOODY, P.S. & PE CHAIR, CALS TIDE COMMITTEE FIRST PRINTING OCTOBER 15, 2012.
 - PROPERTY DOES FALL WITHIN THE LIMITS OF FLOOD HAZARD ZONE "AE" AS DEPICTED ON "FIRM FLOOD INSURANCE RATE MAP" FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS) PANEL 441 OF 626 MAP NUMBER 090101041G MAP REVISED JULY 8, 2013 FEDERAL EMERGENCY MANAGEMENT AGENCY.
 - PLANIMETRIC AND TOPOGRAPHIC INFORMATION DEPICTED HEREON IS BASED ON AERIAL PHOTOGRAMMETRIC MAPPING OBTAINED ON FEBRUARY 28, 2014 BY ROBINSON AERIAL SURVEYS, INC.
 - WETLAND SOILS WERE DELINEATED BY MARTIN BROGIE, LEP FORM GEI CONSULTANTS ON APRIL 09, 2014 AND FIELD LOCATED BY DESIGN PROFESSIONALS ON APRIL 16, 2014.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO DESIGN PROFESSIONALS, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" FOR UNDERGROUND UTILITY MARKING AT LEAST TWO FULL WORKING DAYS PRIOR TO START OF CONSTRUCTION. 1-800-922-4455 OR WWW.CBYD.COM.



SCALE: 1" = 200'

MAP REFERENCES:

- ALTA/ACSM LAND TITLE SURVEY PREPARED FOR PSEG POWER CONNECTICUT, LLC 1 ATLANTIC STREET BRIDGEPORT, CONNECTICUT DATE: 04-29-14 REV. 5-14-15 SCALE: 1" = 40' SHEETS VS-1 THROUGH VS-6 PREPARED BY DESIGN PROFESSIONALS, INC.
- TOPOGRAPHIC SURVEY, IMPROVEMENT LOCATION SURVEY - RECORD PROPERTY OF PSEG POWER CONNECTICUT, LLC 1 ATLANTIC STREET BRIDGEPORT, CONNECTICUT SHEETS 1 THROUGH 6 OF 6 DATE: 10-07-20 REV. 12-16-20 SCALE: 1" = 20'.

SURVEY NOTES:

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
- TYPE OF SURVEY IS A PROPERTY AND TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE LOCATION OF EXISTING CONDITIONS & IMPROVEMENTS RELATIVE TO PROPERTY LINES.
- THIS IS AN ORIGINAL SURVEY BASED ON MAPS REFERENCED HEREON.
- HORIZONTAL ACCURACY MEETS CLASS A-2 STANDARDS AND VERTICAL ACCURACY MEETS CLASS T-3 STANDARDS.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

LAWRENCE R. GEISSLER, JR., L.S. 12327 LIC. NO.

21 REEFERY DRIVE
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CIVIL & TRAFFIC ENGINEERS / PLANNERS / SURVEYORS
GIS ANALYSTS / LANDSCAPE ARCHITECTS

Prepared For:
PSEG POWER CONNECTICUT, LLC
80 PARK TERRACE
NEWARK, NJ 07102-4194

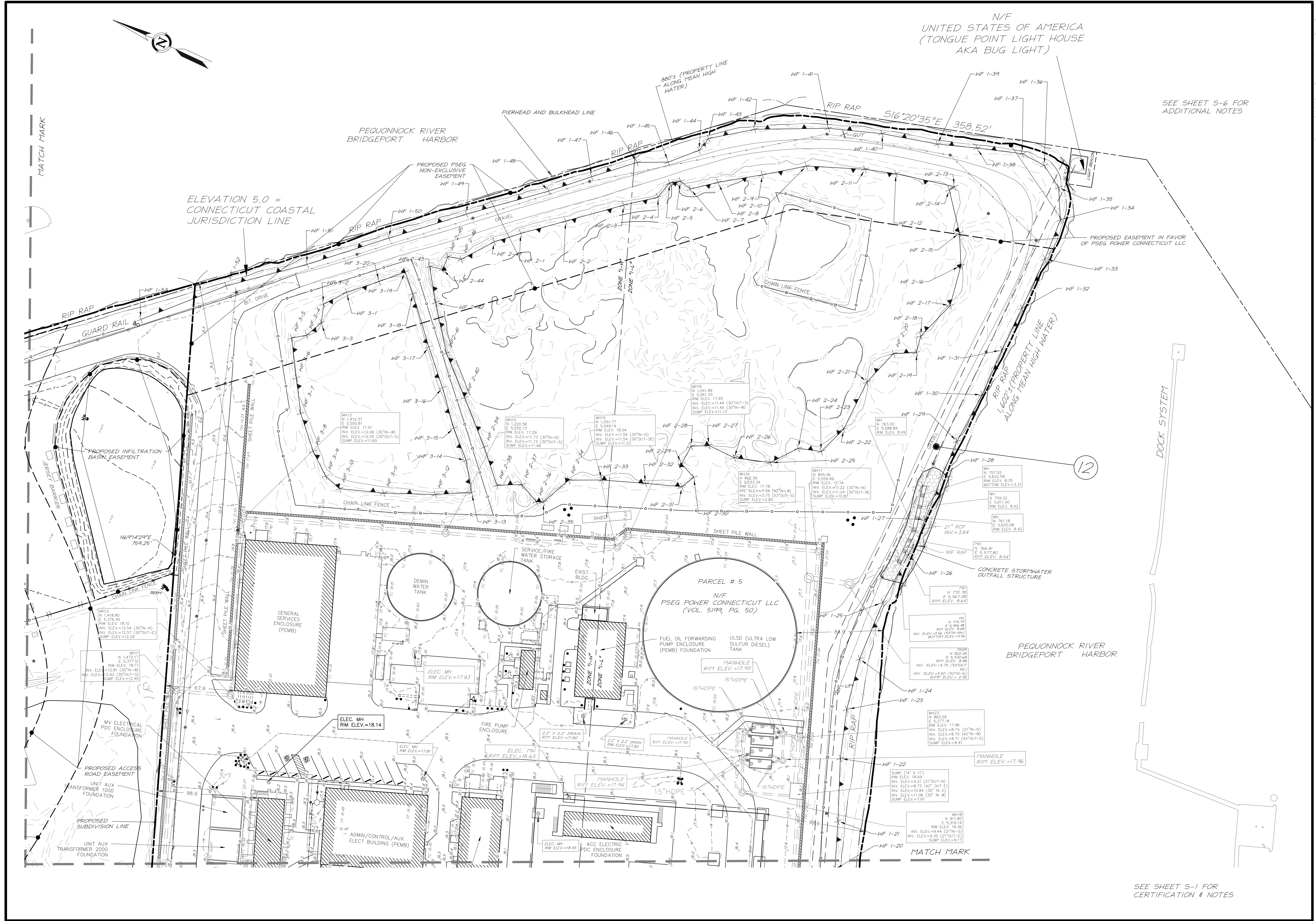
PROJECT NO: 3394
DATE: 03-02-21
SCALE: AS SHOWN
DRAWN BY: [Name]
CHECKED BY: [Name]

PSEG POWER CONNECTICUT, LLC
1 ATLANTIC STREET
BRIDGEPORT, CONNECTICUT

NO.	DATE	REVISIONS

SUBDIVISION PLAN / ORIGINAL SURVEY

SHEET 3-1



N/F
UNITED STATES OF AMERICA
(TONGUE POINT LIGHT HOUSE
AKA BUG LIGHT)

SEE SHEET S-6 FOR
ADDITIONAL NOTES

ELEVATION 5.0 =
CONNECTICUT COASTAL
JURISDICTION LINE

DOCK SYSTEM

PEQUONNOCK RIVER
BRIDGEPORT HARBOR

SEE SHEET S-1 FOR
CERTIFICATION & NOTES

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Prepared For:
PSEG POWER
CONNECTICUT, LLC
80 PARK TERRACE
NEWARK, NJ 07102-4194

PROJECT NO.: 3394
DATE: 03-02-21
DRAWN BY: MHA
CHECKED BY: MHA
SCALE: AS SHOWN

**PSEG POWER
CONNECTICUT, LLC**
1 ATLANTIC STREET
BRIDGEPORT, CONNECTICUT

NO.	DATE	REVISIONS	BY

SUBDIVISION PLAN/
ORIGINAL SURVEY

SCALE: 0 20' 40' 80'
T = 40'

SHEET
S-2

**PETITION TO THE PLANNING & ZONING COMMISSION
CITY OF BRIDGEPORT, CONNECTICUT**

- 1. **NAME OF PETITIONER:** Hawley Avenue Associates, LLC
- 2. Is the Petitioner's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
- 3. Address of Property: 70 Hawley Avenue & 95 Ezra Street, Bridgeport, CT 06606
(number) (street) (state) (zip code)
- 4. Assessor's Map Information: Block No. 59/2125 Lot No. 21/25
- 5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
- 6. Description of Property (Metes & Bounds): 100.01' x 165.04' x 100.01' x 165.04'
- 7. Existing Zone Classification: OR-G
- 8. Zone Classification requested: N/A
- 9. Describe Proposed Development of Property: Vehicle repair facility within existing industrial building

Approval(s) requested: Special Permit and Site Plan Review

Signature: _____ Date: 10/30/2020
Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: _____

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-520-4603 Fax: 203-255-6618
E-mail Address: Chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS PETITION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

<u>Hawley Avenue Associates, LLC</u>		<u>10/30/2020</u>
Print Owner's Name	Owner's Signature	Date
_____	_____	_____
Print Owner's Name	Owner's Signature	Date



Colin B. Connor
 Elizabeth A. Falkoff*
 Robert G. Golger
 Michael C. Jankovsky
 David K. Kurata
 Katherine M. Macol
 Leah M. Parisi
 William M. Petroccio*
 Raymond Rizio*
 Christopher B. Russo
 Robert D. Russo
 John J. Ryan
 Vanessa R. Wambolt
 (*Also Admitted in NY)

November 16, 2020

Dennis Buckley
 Zoning Administrator
 Zoning Department
 45 Lyon Terrace
 Bridgeport, CT 066044

Re: Special Permit and Site Plan Review – 70 Hawley Avenue and 95 Ezra Street

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the application for Special Permit and site plan review under the Bridgeport Zoning Regulations (the “Regulations”), for the property located at 70 Hawley Avenue and 95 Ezra Street (the “Site”), as detailed below.

Narrative

The Petitioner requests approval of a special permit and site plan review under the Regulations for a vehicle repair facility to convert the interior of an existing commercial building to a self-storage facility with accessory retail sales on the Site.

The Site has frontages on Hawley Avenue and Ezra Street and the Petitioner has submitted a concurrent petition to locate the entire Site, which is currently split-zoned, into the OR-G Zone. It is located in a commercial/industrial section of Hawley Avenue. In fact, a vehicle repair facility already exists at the corner of Hawley Avenue and Lindley Street only a couple properties from the Site. A warehouse is also located directly across the street from the Site. The Site itself contains an existing industrial/commercial building, which was built in 1960.

Under Section 6-3-1 of the Regulations, it is clear that the OR-G Zone is intended for non-residential uses, which “allows a full range of retail and service businesses with a large local or city-wide market.” This is the appropriate zone for this commercial/industrial area, which extends from Hawley Avenue south to the Routes 8/25 Connector. This area is not the main retail corridor of Main Street and East Main Street, but it is in an area easily accessible to locals and City residents. It is also the appropriate zone for the existing building.

1 Post Road
 Fairfield, CT 06824

Tel 203-255-9928
 Fax 203-255-6618

The Petitioner proposes to locate a vehicle repair facility within the one-story 8,540 SF commercial/industrial building. The submitted site plan contains off-street parking spaces along its frontage on Hawley Avenue and in its rear parking area. The Petitioner will not place any vehicles for repair along the frontage in the Site, but either within the building or in a screened rear parking area. The Petitioner does not propose any changes to the exterior of the building. The street elevation of the existing building contain a multitude of windows along its Hawley Avenue frontage.

Within the building, Four (4) car lifts will be used to service vehicles with an additional large open work area and loading area for vehicles about to be repaired. Therefore, the vehicle repair work will be located entirely within the building eliminating any possible negative impact on the surrounding neighborhood. In addition, the Hawley Avenue frontage and main entrance will feature the main offices and a waiting area for those customers waiting for quick repairs.

The proposed use is an appropriate use of the existing building. The Site has contained the existing commercial/industrial building since 1960 in an area of Hawley Avenue that has been dominated by similar uses, including another vehicle repair facility in close proximity to the Site. The building will have four (4) car lifts within the building as well as a loading area along with a screened rear parking area to ensure vehicles for repair will not be visible from Hawley Avenue. A front parking area will be available for customers. The Site easily satisfies the off-street parking requirements under the Regulations. A vehicle repair facility is a Special Permit use in the OR-G zone and fits the Site and neighborhood.

For the reasons stated above, the Petitioner respectfully requests approval of its Petition for Special Permit and Site Plan Review under the Regulations.

Sincerely,

A handwritten signature in black ink that reads "Christopher Russo". The signature is written in a cursive style with a long, sweeping underline that extends to the right.

Christopher Russo

LIST OF PROPERTY OWNERS WITHIN 100' OF 70 HAWLEY AVE & 95 EZRA ST

PROPERTY ADDRESS	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
115 EZRA ST	VALLEJO JUAN	115 EZRA ST	BRIDGEPORT	CT	06606
35 HAWLEY AV	MAKHRAZ PIERRE	35 HAWLEY AVE	BRIDGEPORT	CT	06606
65 HAWLEY AV	HAWLEY AVENUE ASSOCIATES LLC	375 MOUNTAIN GROVE	BRIDGEPORT	CT	06605
70 HAWLEY AV	HAWLEY AVENUE ASSOCIATES LLC	375 MOUNTAIN GROVE	BRIDGEPORT	CT	06605
852 LINDLEY ST #854	PAULO CIPRIANO & BERNADETTE PAULO	852 LINDLEY ST	BRIDGEPORT	CT	06606
840 LINDLEY ST #842	PAL ROZA MARIA	840 LINDLEY ST	BRIDGEPORT	CT	06606
130 EZRA ST	BRIDGEPORT EDUCATION CITY OF	45 LYON TERRACE	BRIDGEPORT	CT	06604
820 LINDLEY ST #822	ACA RAUL CUAHUJIZO ET AL	820 LINDLEY ST	BRIDGEPORT	CT	06606
105 EZRA ST	JOBE EBRIMA S	105 EZRA STREET	BRIDGEPORT	CT	06606
876 LINDLEY ST #880	876 LS COMPANY LLC	81 TRANQUILITY DR	EASTON	CT	06612
872 LINDLEY ST #874	FEQUIERE FRANCKLIN & ANN MARIE JACINTHE	872-874 LINDLEY ST	BRIDGEPORT	CT	06606
810 LINDLEY ST #812	CECUNJANIN SUKRIJA	53 WILLOUGHBY RD	SHELTON	CT	06484
862 LINDLEY ST #864	THENOR MARY M	520 EAST 52ND ST	BROOKLYN	NY	11203
95 EZRA ST	HAWLEY AVENUE ASSOCIATES LLC	375 MOUNTAIN GROVE	BRIDGEPORT	CT	06605
125 EZRA ST	ROBERTS MIKE ET AL	8021 ROSWELL RD, APT A	SANDY SPRINGS	GA	30350
884 LINDLEY ST #888	COSTA ANGELA	24 HOPEWELL WOODS RD	REDDING	CT	06896-1725

Business Inquiry

Business Details

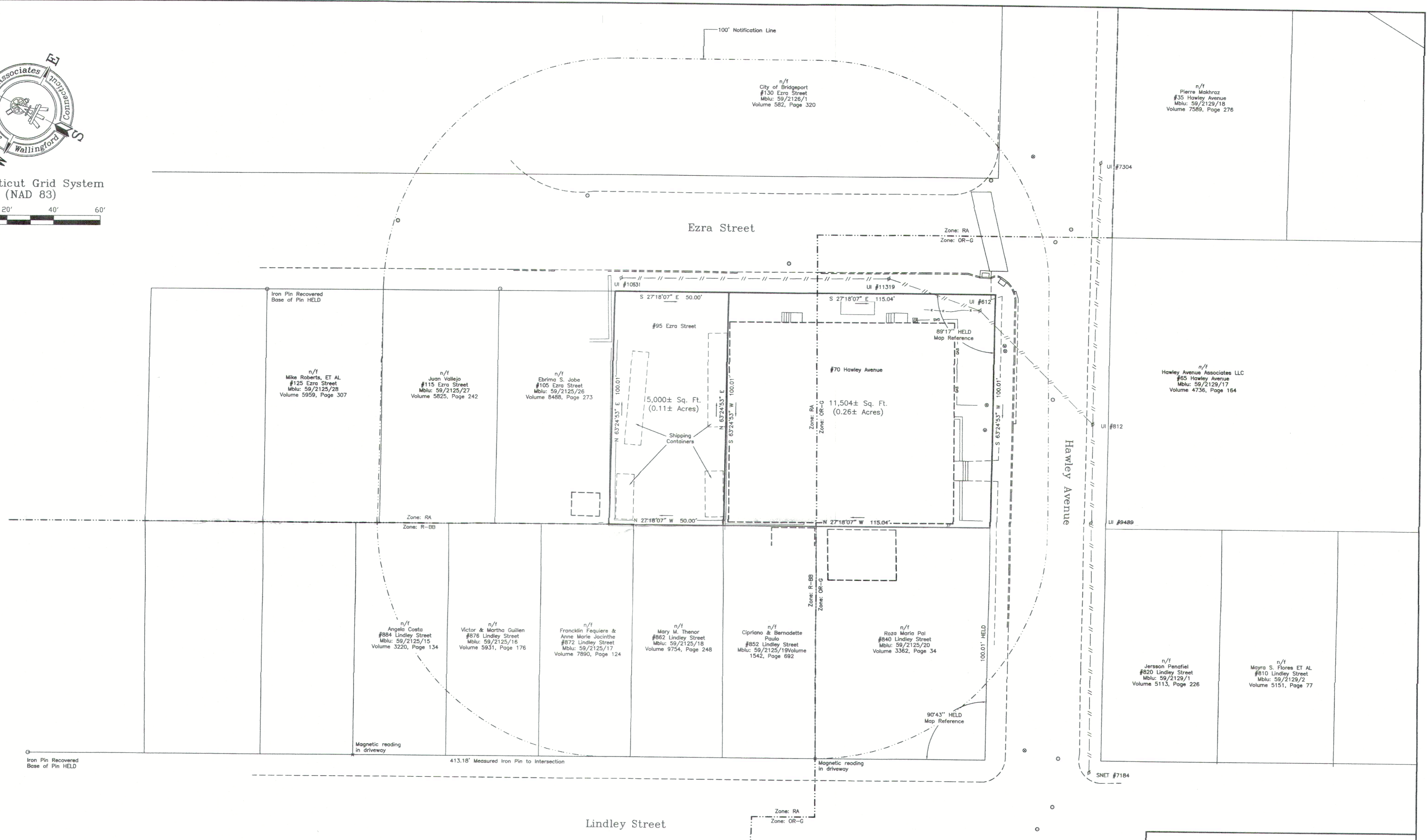
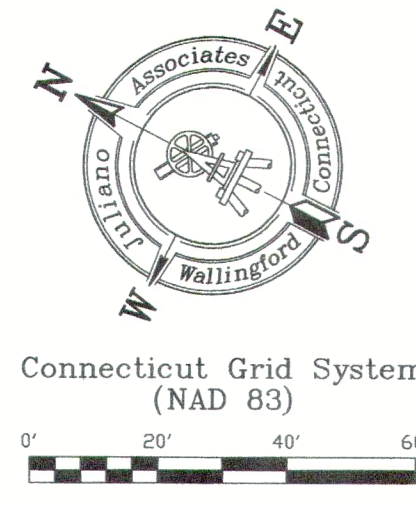
Business Name:	HAWLEY AVENUE ASSOCIATES, LLC	Citizenship/State Inc:	Domestic/CT
Business ID:	0693383	Last Report Filed Year:	2020
Business Address:	375 MOUNTAIN GROVE ST, BRIDGEPORT, CT, 06605, USA	Business Type:	Domestic Limited Liability Company
Mailing Address:	375 MOUNTAIN GROVE ST, BRIDGEPORT, CT, 06605, USA	Business Status:	Active
Date Inc/Registration:	Oct 15, 2001		
Annual Report Due Date:	03/31/2021		
NAICS Code:	Real Estate and Rental and Leasing (53)	NAICS Sub Code:	Lessors of Nonresidential Buildings (except Miniwarehouses) (531120)

Principals Details

Name/Title	Business Address	Residence Address
SCOTT POLATSEK SOLE MEMBER	375 MOUNTAIN GROVE ST, BRIDGEPORT, CT, 06605	41 ELEVEN O'CLOCK RD, FAIRFIELD, CT, 06824

Agent Summary

Agent Name	CHARLES POLASTEK
Agent Business Address	25 FOREST PARKWAY, SHELTON, CT, 06484, USA
Agent Residence Address	15 MORNING GLORY DRIVE, EASTON, CT, 06612, USA
Agent Mailing Address	25 FOREST PARKWAY, SHELTON, CT, 06484, USA



SURVEYOR'S NOTES:

- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS DEFINED IN THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20, AS AMENDED OCTOBER 26, 2018.
- THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY AND IS INTENDED TO DEPICT BOUNDARIES, EASEMENTS, RIGHTS AND PRINCIPAL IMPROVEMENTS (ONLY) ON AND ADJACENT TO THE PROPERTY.
- THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY OF BLOCK C LOTS 11 THROUGH 13 AS DEPICTED ON THE MAP REFERENCE.
- THIS SURVEY CONFORMS TO A HORIZONTAL ACCURACY STANDARD OF CLASS A-2.
- BEARINGS AND COORDINATES ARE BASED UPON THE CONNECTICUT GRID SYSTEM NORTH AMERICAN DATUM OF 1983.
- THE PROPERTY DESIGNATED AS #70 HAWLEY AVENUE IS LOCATED WITHIN AN OR-G (OFFICE/RETAIL GENERAL) ZONING DISTRICT AND A RA (RESIDENTIAL - A SINGLE FAMILY) ZONING DISTRICT. THE PROPERTY DESIGNATED AS #95 EZRA STREET IS LOCATED IN A RESIDENTIAL (RA) ZONING DISTRICT.
- THE AREA OF #70 HAWLEY AVENUE IS 11,504± SQUARE FEET (0.26± ACRES). THE AREA OF #95 EZRA STREET IS 5,000± SQUARE FEET (0.11± ACRES). THE COMBINED PROPERTY AREA IS 16,504± SQUARE FEET (0.37± ACRES).
- REFERENCE IS MADE TO THE FOLLOWING MAP(S):
MAP A OF ANSON HAWLEY EST., BRIDGEPORT, CONN., DATE: OCTOBER 1896. SCALE: 1" = 100'. MAP PREPARED BY SCOFIELD & STARR, SURVEYORS. SAID MAP ON FILE (MAP #48) IN THE BRIDGEPORT TOWN CLERK'S OFFICE.
- THE PROPERTIES ARE SUBJECT/PRIVILEGED TO: RIGHTS, RESTRICTIONS, ENCUMBRANCES, COVENANTS, EASEMENTS, ETC. AS THE RECORD MAY APPEAR.
- THIS BOUNDARY OPINION WAS MADE AND SURVEY MAP PREPARED FROM INFORMATION CONTAINED IN DEEDS AND MAPS OF RECORD, ALONG WITH PHYSICAL EVIDENCE LOCATED DURING THE FIELD SURVEY.
- THE PURPOSE OF THIS SURVEY AND MAP IS FOR THE SOLE PURPOSE OF REQUESTING A ZONE CHANGE FOR #95 EZRA STREET AND A PORTION OF #70 HAWLEY AVENUE.
- THE FIELD CARD FOR #70 HAWLEY AVENUE NOTES THE PROPERTY IS IN AN IJ ZONING DISTRICT, HOWEVER ACCORDING TO THE CITY OF BRIDGEPORT ONLINE ZONING MAP #70 HAWLEY AVENUE IS LOCATED IN BOTH AN OR-G (OFFICE/RETAIL GENERAL) AND RA (RESIDENTIAL). ZONES DEPICTED BASED UPON THE ZONING MAP.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

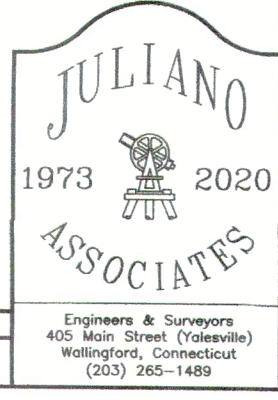
David W. Juliano PELS #08033
Christopher S. Juliano PELS #19725

This document is valid only if it bears an original signature and embossed seal of the designated licensed professional. If this document is stamped with a colored ink seal it has been issued for land use permitting purposes and is not to be used for any other purpose. Any alterations render this document null and void.

NOT VALID, WITHOUT ORIGINAL SEAL AND SIGNATURE

[Signature]

DATE	DESCRIPTION

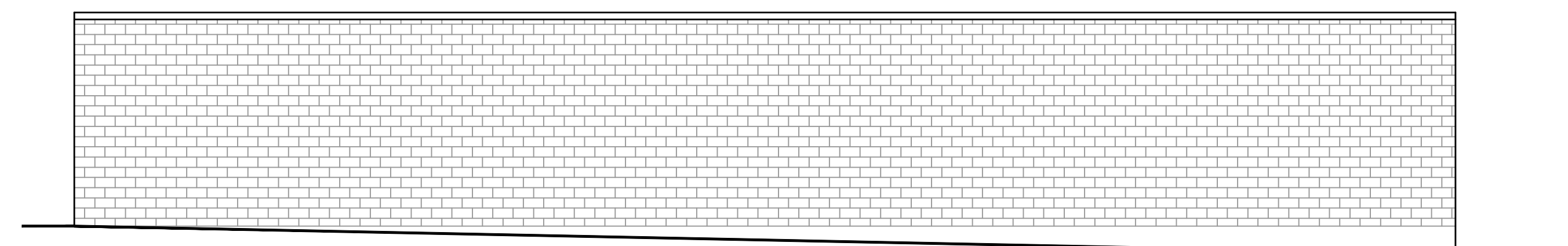
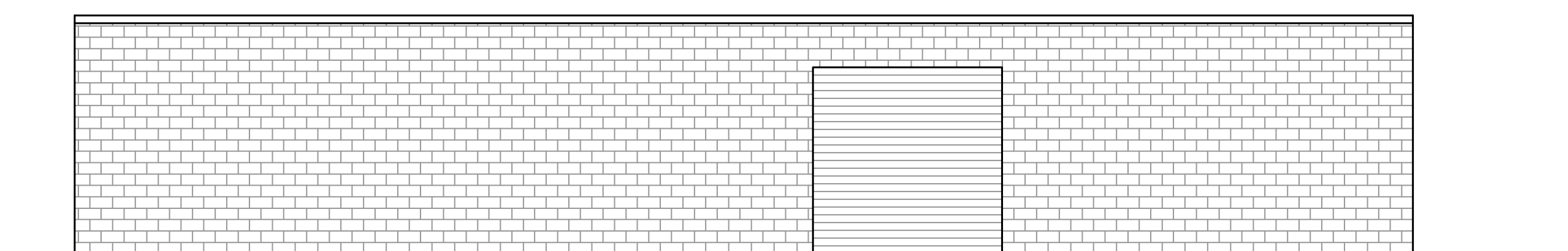
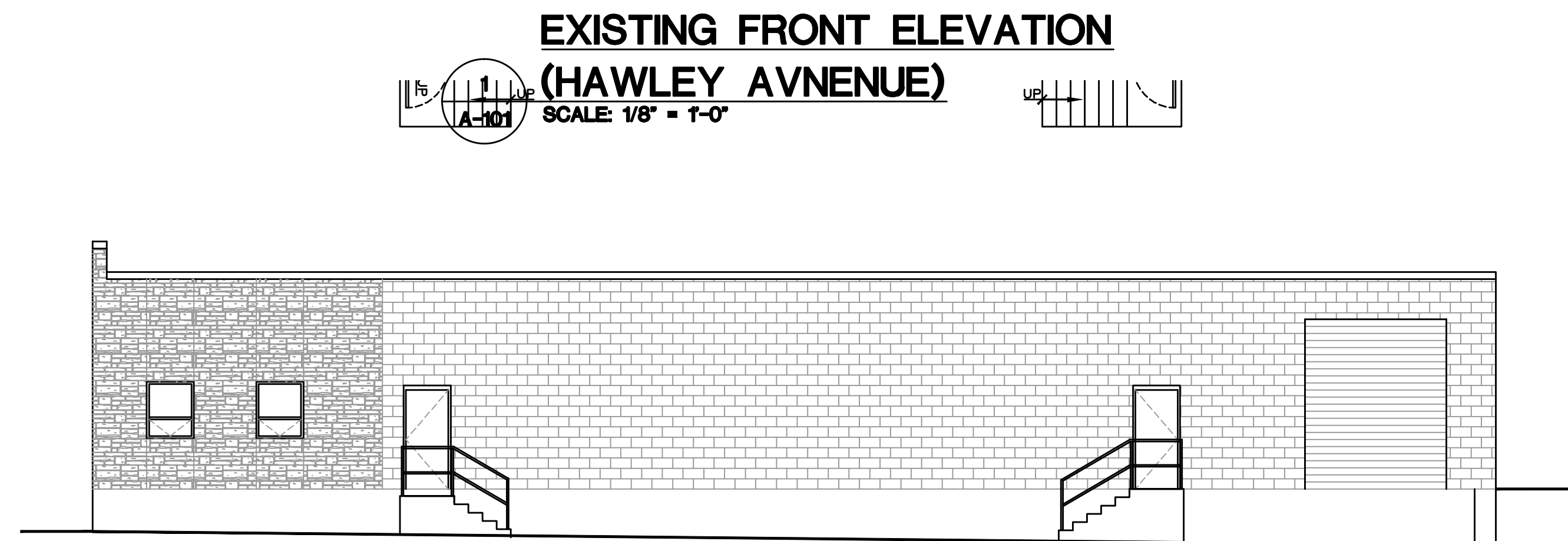
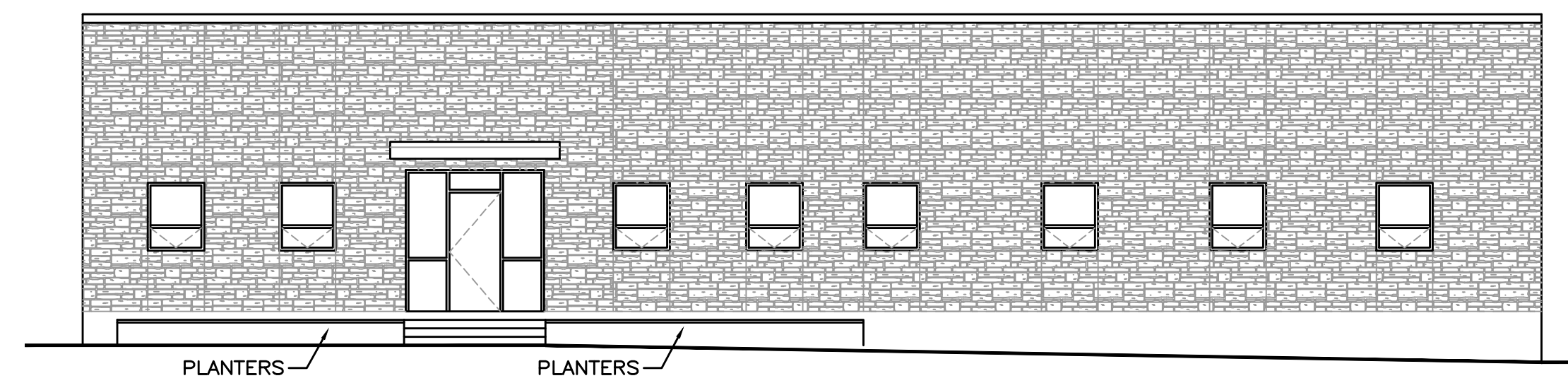
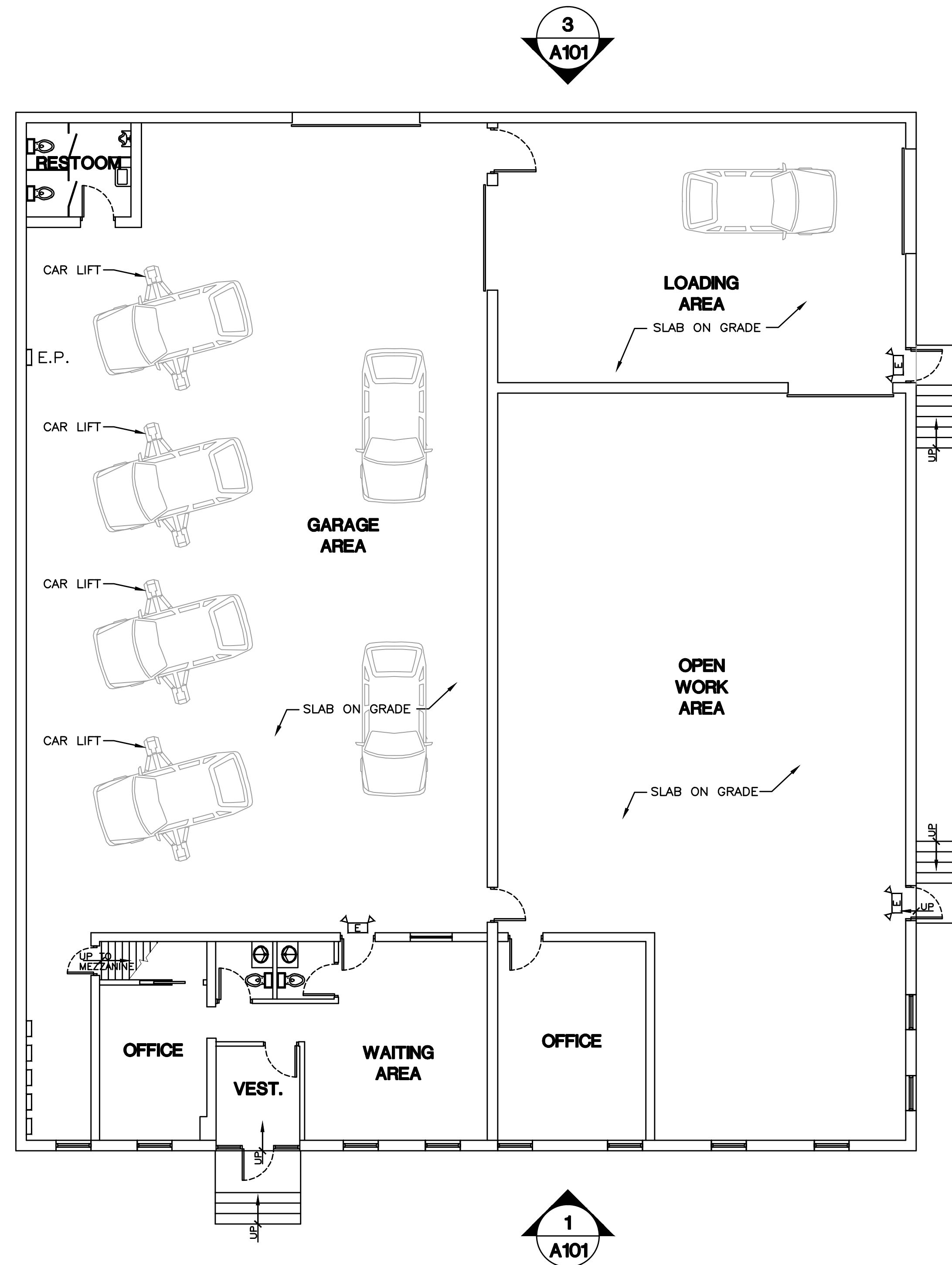


Property Survey
Land of
Hawley Avenue Associates, LLC
#70 Hawley Avenue &
#95 Ezra Street
Bridgeport, Connecticut

Drawn: JHARVEY	Date: 02/28/20	Scale: 1" = 20'
Designed: CJULIANO	Project no.: 20-115	Sheet: 1 of 1
Checked: MNISKI	Released: CJULIANO	Revision: 0

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MSUBMITTED\2020\115002-1-0.DWG 3/4/2020 1:51 PM CJ



REVISIONS			
NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

**AS-BUILT
PLAN & ELEVATIONS**

70 HAWLEY AVENUE
& 95 EZRA STREET
BRIDGEPORT, CT 06606

Prepared For:
HAWLEY AVENUE ASSOCIATES, LLC

SHEET TITLE

**EXISTING FLOOR PLAN
AND EXTERIOR ELEVATIONS**

DESIGNED BY: MS	SCALE: AS NOTED
DRAWN BY: MS	DATE: 10-30-2020
CHECKED BY: PMR	PROJECT NUMBER: 2539
CAD FILE: R:/2539/ARCH	

SEAL

SHEET NUMBER

A-101

**PETITION TO THE PLANNING & ZONING COMMISSION
CITY OF BRIDGEPORT, CONNECTICUT**

- 1. **NAME OF PETITIONER:** Giacobbe Construction, LLC
- 2. Is the Petitioner's name Trustee of Record? Yes _____ No X _____
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
- 3. Address of Property: 155 Pond Street #REAR
(number) (street) (state) (zip code)
- 4. Assessor's Map Information: Block No. 67/2444 Lot No. 9/Z
- 5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
- 6. Description of Property (Metes & Bounds): 147.78' x 100.02' x 187.65' x 25.90' x 65.43' x 47.13' x 131.38' x 58.02' x 120.35' x 9.00' x 48.56' x 113.20' x 111.00'
- 7. Existing Zone Classification: R-A
- 8. Zone Classification requested: R-A
- 9. Describe Proposed Development of Property: To subdivide the Property into Five (5) single-family dwelling building lots and site improvements in the R-A Zone.

Approval(s) requested: Subdivision

Signature: _____ Date: 03/26/2021
Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: _____

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-520-4603 Fax: _____
E-mail Address: Chris@russorizio.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS PETITION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- A-2 Site Survey
- Building Floor Plans
- Completed Site / Landscape Plan
- Drainage Plan
- Building Elevations
- Written Statement of Development and Use
- Property Owner's List
- Fee
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

<u>Giacobbe Construction LLC</u>		<u>03/26/2021</u>
Print Owner's Name	Owner's Signature	Date
_____	_____	_____
Print Owner's Name	Owner's Signature	Date



Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

April 7, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace, Room 210
Bridgeport, CT 06604

Re: Petition for Subdivision – 155 Pond St #Rear

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of an application for the property located at 155 Pond St #Rear (the “Site”) for Subdivision approval to create Five (5) single-family dwelling building lots with associated site improvements on a vacant lot in the R-A Zone.

Narrative

The Petitioner requests a subdivision under Section 14-11 of the Zoning Regulations of the City of Bridgeport (the “Regulations”) of the Site to create Five (5) building lots to support single-family dwellings in the R-A Zone. The Site is located in a neighborhood with a mix of multi-family dwellings on the border of the R-A to R-B Zone. The Site itself is a vacant lot that is significantly oversized for the R-A Zone with significant buffering. It contains 67,563 SF of lot area. It is an extremely large Site with almost 9x the required lot area of an R-A Zone. The Site is located off the main roads, Pond St. and Summit St., but it has access at the end of Infield Street and Slawson Street. The Site has plenty of area for buffering neighboring properties. To its immediate south lies the Ukranian Orthodox Church and then Park Cemetery. Another vacant parcel lies to the Site’s immediate north, Infield Street lies to its west, and Slawson Street and Island Brook borders its eastern property line. So, in addition to the significant buffering available on the Site, the Site is also buffered around its borders.

The Site is currently a vacant lot. The Petitioner proposes to significantly enhance the Site with landscaping, new construction single-family dwellings and drainage systems built to current standards. Access to the proposed Lot “A” and “B” will be directly onto Infield Street. In

10 Sasco Hill Road
Fairfield, CT 06824
Tel 203-255-9928
Fax 203-255-6618

addition, Lot “D” will have access from Infield Street, but the Petitioner has also shown how Lot “D” could be accessed from Slawson Street through an accessway over Lot “C”. As proposed, Lots “C” & “E” would be accessed from Slawson Street. As shown on the submitted subdivision plan, the Petition is fully compliant with the standards under the Regulations for the R-A Zone. In addition, the Petitioner has designated 11,445 SF of the Site as open space along Island Brook.

Subdivision Standards

The Petition satisfies all Subdivision standards under Section 14-11 of the Regulations as the proposed improvements will develop a vacant and overgrown property with a proposed new construction single-family dwelling building lots. The proposed use is in conformity with the neighborhood, the Regulations and the Master Plan.

The Petition satisfies the intent of the Regulations and Master Plan of Conservation and Development by developing a vacant and overgrown vacant lot and creating new housing stock to an area that has an extensive aging housing stock. It will not impair the future development of the surrounding area, but instead spur development in the surrounding area by removing blight from a vacant lot in the midst of a residential neighborhood and creating new, quality housing stock for City residents. The project fully conforms to the standards of the Regulations. The Petition includes extensive landscaping and setbacks well in excess of the zoning standards to separate and contain the proposed use. The Site will adequately park the proposed use, so it will have no impact on the abutting properties. The proposed use will not depreciate nearby property values, but rather, enhance them by developing a vacant and overgrown lot in this neighborhood. Finally, the Petitioner proposes to dedicate a significant portion of the Site along Island Brook for open space, which will preserve this area in perpetuity.

For the reasons stated above, the Petitioner respectfully requests approval of the application for Subdivision.

Sincerely,

A handwritten signature in black ink that reads "Christopher Russo". The signature is written in a cursive style with a long, sweeping underline that extends to the right.

Christopher Russo

PROPERTIES WITHIN 100' OF 155 POND ST #REAR

LOCATION	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
205 POND ST #207	JERRY A BUTLER	205 POND ST #207	BRIDGEPORT	CT	06606
107 POND ST	LTS PROPERTIES LLC	107 POND ST	BRIDGEPORT	CT	06606
117 POND ST	CHANG SIRODENNE T	883 JUDSON PL	STRATFORD	CT	06615
49 INFIELD ST	SZYMANSKI ELAINE	600 BOND ST	BRIDGEPORT	CT	06610
15 OAKWOOD ST	UKRAINIAN ORTHODOX CHURCH OF	15 OAKWOOD ST	BRIDGEPORT	CT	06606
115 POND ST	LEWIS NONA	20 TIMBER RIDGE RD	STRATFORD	CT	06615
135 POND ST	RESTO MARIE L & JASMINE RESTO	135 POND ST	BRIDGEPORT	CT	06606
155 POND ST	COUNTS MINDY	155 POND ST	BRIDGEPORT	CT	06606
39 INFIELD ST	WILSON VERNETTE	39 INFIELD ST	BRIDGEPORT	CT	06606
29 INFIELD ST	PRO TECH HOME LLC	640 SHELTON RD	TRUMBULL	CT	06611
145 POND ST	BRIDGEPORT REAL ESTATE LLC	122 ASYLUM ST	BRIDGEPORT	CT	06610
175 POND ST	SIMPLICE DJENANN	175 POND ST	BRIDGEPORT	CT	06606
19 INFIELD ST	PRO TECH HOME LLC	640 SHELTON RD	TRUMBULL	CT	06611
137 POND ST	BARKLEY TANYA	137 POND ST	BRIDGEPORT	CT	06606
197 POND ST	ISIDORO ANTONIO	267 SPRING HILL RD	MONROE	CT	06468
195 POND ST	BROWN IVA L	195 POND ST	BRIDGEPORT	CT	06606
155 POND ST #REAR	GIACOBBE CONSTRUCTION, LLC	90 ARDEN RD	TRUMBULL	CT	06611
177 POND ST	BEAUVAIS RACHELLE	177 POND ST	BRIDGEPORT	CT	06606
64 SLAWSON ST #66	SANTOS ARNALDO F	64 SLAWSON ST	BRIDGEPORT	CT	06606
147 POND ST	CHERY MIRELLE & ANTENOR	147 POND ST	BRIDGEPORT	CT	06604

Business Inquiry

Business Details

Business Name:	GIACOBBE CONSTRUCTION LLC	Citizenship/State Inc:	Domestic/CT
Business ID:	0592293	Last Report Filed Year:	2020
Business Address:	23 ROCKY RIDGE DRIVE, TRUMBULL, CT, 06611, USA	Business Type:	Domestic Limited Liability Company
Mailing Address:	23 ROCKY RIDGE DRIVE, TRUMBULL, CT, 06611, USA	Business Status:	Active
Date Inc/Registration:	May 11, 1998		
Annual Report Due Date:	03/31/2021		
NAICS Code:	Construction (23)	NAICS Sub Code:	New Single-Family Housing Construction (except For-Sale Builders) (236115)

Principals Details

Name/Title	Business Address	Residence Address
JOSEPH GIACOBBE MEMBER	23 ROCKY RIDGE DRIVE, TRUMBULL, CT, 06611, USA	23 ROCKY RIDGE DRIVE, TRUMBULL, CT, 06611, USA

Agent Summary

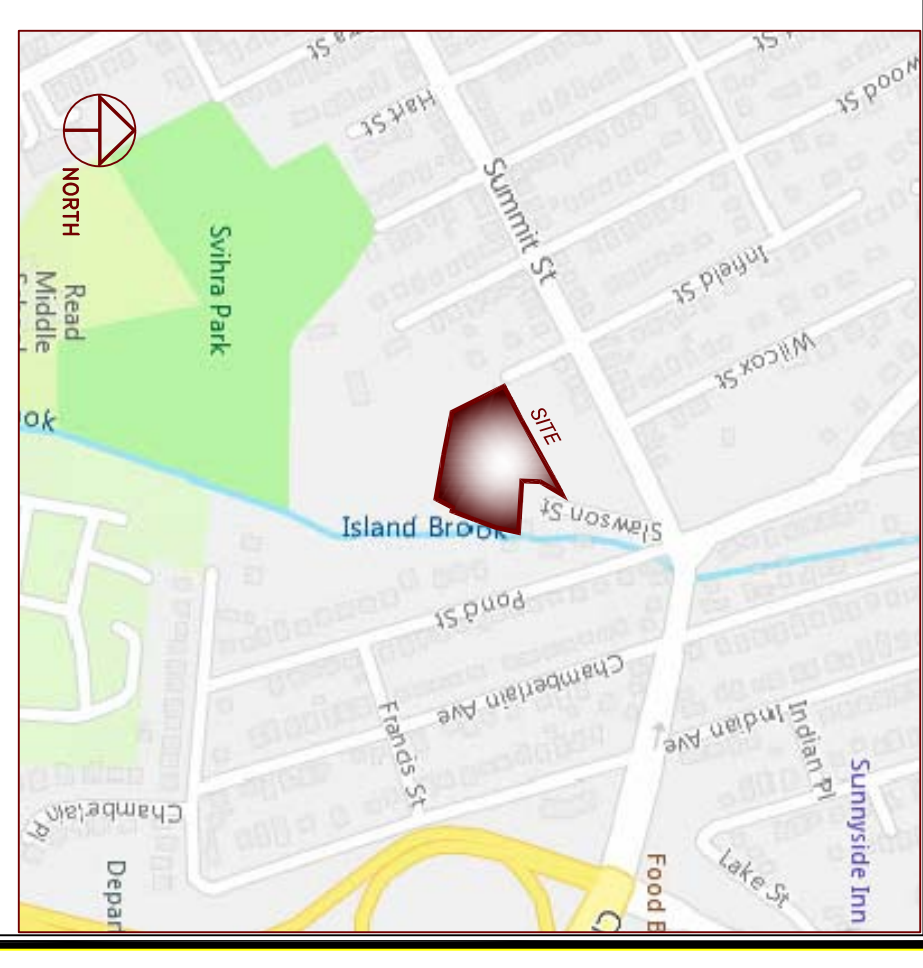
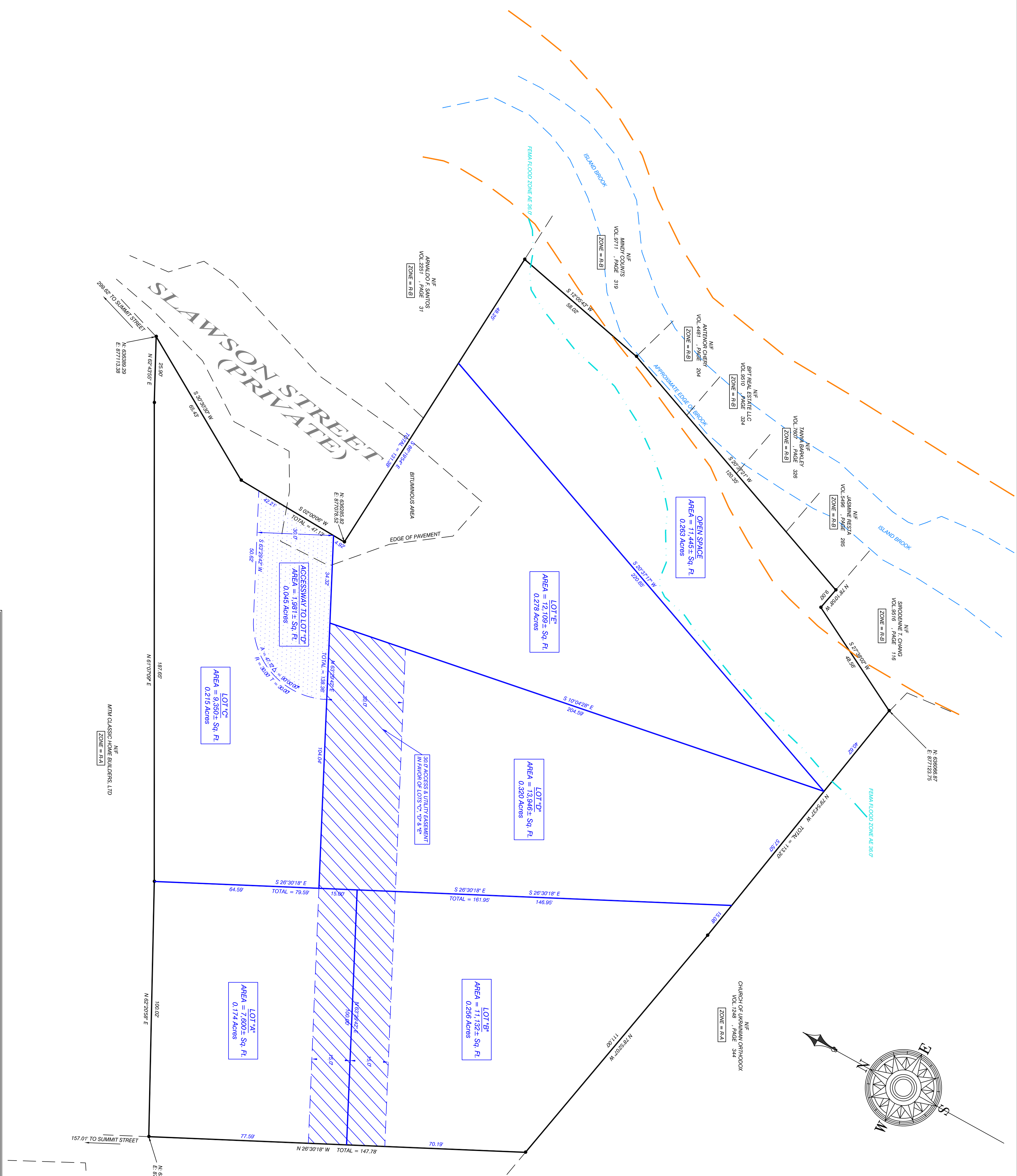
Agent Name	JOSEPH GIACOBBE
Agent Business Address	23 ROCKY RIDGE DRIVE, TRUMBULL, CT, 06611, USA
Agent Residence Address	23 ROCKY RIDGE DRIVE, TRUMBULL, CT, 06611, USA
Agent Mailing Address	23 ROCKY RIDGE DRIVE, TRUMBULL, CT, 06611, USA

GENERAL NOTES:

1. This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 28, 1998.
2. This Survey conforms to Class A-2.
3. The Type of survey performed is a United Property / Boundary Survey, and is intended to be Existing Building Location Survey.
4. Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds).
5. North Arrow is based on State Plane Coordinates (NAD 83).
6. This map is NOT VALID without a LIVE SIGNATURE and EMBOSSSED SEAL.
7. This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
8. Property Lines Established According to Record Deeds as exist.
9. Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
10. Underground Utility, Structure and facility Locations are shown as they exist. Locations are derived from record mappings supplied by the respective utility companies or government agencies, from private testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The exact location and existence of such features shall be determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
11. Lot served by town sewer system and public water supply.
12. Subject Property in Flood Zone AE (E1, 36.0) as per Flood Insurance Rate Map # 69001C0429G Panel 429 of 626 Dated July 8, 2013.
13. Elevations based on N.A.V.D. 1988.
14. Bench Mark Provided by The Bridgeport Engineering Department.

MAP REFERENCES:

1. SUBDIVISION MAP OF PROPERTY LOCATED AT 48 INFIELD STREET BRIDGEPORT CONNECTICUT PREPARED FOR MIM CLASSIC HOME BUILDERS, LTD BY BRIDGEPORT ENGINEERING, LLC DATED JANUARY 28, 2018, SCALE 1"=50'
2. PIN SHEETS 6488, 6594, 24-10-2435, 2436, 2437, 2438 3. VOL. 90 PG. 212



LAND SURVEYING SERVICES, LLC
 135 FAIRCHILD AVENUE
 FAIRFIELD, CONNECTICUT 06825
 TEL: (203) 522-4177
 FAX: (203) 615-0123
 EMAIL: info@realteam.com

TITLE BLOCK
 ASSESSORS MAP # 07441 PARCEL # 02
 APPLICANT: SHM'S OWNERS
 SUBDIVISION MAP # 18130
 DESCRIBING TITLE: To the best of my knowledge and belief this map is substantially correct and refers to:
 REAL PARTY: T.S. # 18130

DATE	DESCRIPTION	REVISIONS

GIACOBBE CONSTRUCTION LLC
 PREPARED FOR
 155 POND STREET #REAR, BRIDGEPORT, CONNECTICUT
 SCALE: 1" = 20'
 DATE: APRIL 06, 2021



Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

April 7, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace, Room 210
Bridgeport, CT 06604

Re: Petition for Subdivision – 155 Pond St #Rear

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of an application for the property located at 155 Pond St #Rear (the “Site”) for Subdivision approval to create Five (5) single-family dwelling building lots with associated site improvements on a vacant lot in the R-A Zone.

Narrative

The Petitioner requests a subdivision under Section 14-11 of the Zoning Regulations of the City of Bridgeport (the “Regulations”) of the Site to create Five (5) building lots to support single-family dwellings in the R-A Zone. The Site is located in a neighborhood with a mix of multi-family dwellings on the border of the R-A to R-B Zone. The Site itself is a vacant lot that is significantly oversized for the R-A Zone with significant buffering. It contains 67,563 SF of lot area. It is an extremely large Site with almost 9x the required lot area of an R-A Zone. The Site is located off the main roads, Pond St. and Summit St., but it has access at the end of Infield Street and Slawson Street. The Site has plenty of area for buffering neighboring properties. To its immediate south lies the Ukranian Orthodox Church and then Park Cemetery. Another vacant parcel lies to the Site’s immediate north, Infield Street lies to its west, and Slawson Street and Island Brook borders its eastern property line. So, in addition to the significant buffering available on the Site, the Site is also buffered around its borders.

The Site is currently a vacant lot. The Petitioner proposes to significantly enhance the Site with landscaping, new construction single-family dwellings and drainage systems built to current standards. Access to the proposed Lot “A” and “B” will be directly onto Infield Street. In

10 Sasco Hill Road
Fairfield, CT 06824
Tel 203-255-9928
Fax 203-255-6618

addition, Lot “D” will have access from Infield Street, but the Petitioner has also shown how Lot “D” could be accessed from Slawson Street through an accessway over Lot “C”. As proposed, Lots “C” & “E” would be accessed from Slawson Street. As shown on the submitted subdivision plan, the Petition is fully compliant with the standards under the Regulations for the R-A Zone. In addition, the Petitioner has designated 11,445 SF of the Site as open space along Island Brook.

Subdivision Standards

The Petition satisfies all Subdivision standards under Section 14-11 of the Regulations as the proposed improvements will develop a vacant and overgrown property with a proposed new construction single-family dwelling building lots. The proposed use is in conformity with the neighborhood, the Regulations and the Master Plan.

The Petition satisfies the intent of the Regulations and Master Plan of Conservation and Development by developing a vacant and overgrown vacant lot and creating new housing stock to an area that has an extensive aging housing stock. It will not impair the future development of the surrounding area, but instead spur development in the surrounding area by removing blight from a vacant lot in the midst of a residential neighborhood and creating new, quality housing stock for City residents. The project fully conforms to the standards of the Regulations. The Petition includes extensive landscaping and setbacks well in excess of the zoning standards to separate and contain the proposed use. The Site will adequately park the proposed use, so it will have no impact on the abutting properties. The proposed use will not depreciate nearby property values, but rather, enhance them by developing a vacant and overgrown lot in this neighborhood. Finally, the Petitioner proposes to dedicate a significant portion of the Site along Island Brook for open space, which will preserve this area in perpetuity.

For the reasons stated above, the Petitioner respectfully requests approval of the application for Subdivision.

Sincerely,

A handwritten signature in black ink that reads "Christopher Russo". The signature is written in a cursive style with a long, sweeping underline that extends to the right.

Christopher Russo

PROPERTIES WITHIN 100' OF 155 POND ST #REAR

LOCATION	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
205 POND ST #207	JERRY A BUTLER	205 POND ST #207	BRIDGEPORT	CT	06606
107 POND ST	LTS PROPERTIES LLC	107 POND ST	BRIDGEPORT	CT	06606
117 POND ST	CHANG SIRODENNE T	883 JUDSON PL	STRATFORD	CT	06615
49 INFIELD ST	SZYMANSKI ELAINE	600 BOND ST	BRIDGEPORT	CT	06610
15 OAKWOOD ST	UKRAINIAN ORTHODOX CHURCH OF	15 OAKWOOD ST	BRIDGEPORT	CT	06606
115 POND ST	LEWIS NONA	20 TIMBER RIDGE RD	STRATFORD	CT	06615
135 POND ST	RESTO MARIE L & JASMINE RESTO	135 POND ST	BRIDGEPORT	CT	06606
155 POND ST	COUNTS MINDY	155 POND ST	BRIDGEPORT	CT	06606
39 INFIELD ST	WILSON VERNETTE	39 INFIELD ST	BRIDGEPORT	CT	06606
29 INFIELD ST	PRO TECH HOME LLC	640 SHELTON RD	TRUMBULL	CT	06611
145 POND ST	BRIDGEPORT REAL ESTATE LLC	122 ASYLUM ST	BRIDGEPORT	CT	06610
175 POND ST	SIMPLICE DJENANN	175 POND ST	BRIDGEPORT	CT	06606
19 INFIELD ST	PRO TECH HOME LLC	640 SHELTON RD	TRUMBULL	CT	06611
137 POND ST	BARKLEY TANYA	137 POND ST	BRIDGEPORT	CT	06606
197 POND ST	ISIDORO ANTONIO	267 SPRING HILL RD	MONROE	CT	06468
195 POND ST	BROWN IVA L	195 POND ST	BRIDGEPORT	CT	06606
155 POND ST #REAR	GIACOBBE CONSTRUCTION, LLC	90 ARDEN RD	TRUMBULL	CT	06611
177 POND ST	BEAUVAIS RACHELLE	177 POND ST	BRIDGEPORT	CT	06606
64 SLAWSON ST #66	SANTOS ARNALDO F	64 SLAWSON ST	BRIDGEPORT	CT	06606
147 POND ST	CHERY MIRELLE & ANTENOR	147 POND ST	BRIDGEPORT	CT	06604



CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: JJK Construction, LLC
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 220 & 230 Fifth Street
4. Assessor's Map Information: Block No. 737 Lot No. 16 & 17
5. Amendments to Zoning Regulations: (indicate) Article: Section:
6. Description of Property (Metes & Bounds): 160.00' x 101.89' x 180.00' x 99.92'
7. Existing Zone Classification: R-C
8. Zone Classification requested: R-C
9. Describe Proposed Development of Property: Warehousing and storage of material in connection with existing manufacturing and processing woodworking use.

Approval(s) requested: Site Plan Review

Signature: Date:
Print Name:

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Print Name:

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-520-4603 Fax: 203-255-6618
E-mail Address: Chris@russorizio.com

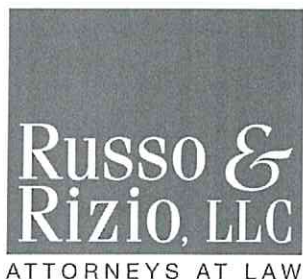
\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

JJK Construction, LLC 03/26/2021
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date



Colin B. Connor
Elizabeth A. Falkoff*
Robert G. Golger
Michael C. Jankovsky
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

March 26, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Site Plan Review – 220 – 230 Fifth Street

Dear Mr. Buckley:

Please accept, on behalf of JJK Construction, LLC, (the “Petitioner”), the following narrative and enclosed application materials as part of an application for Site Plan Review for the properties located at 220-230 Fifth Street (the “Site”) to construct a 30' x 80' one-story addition to an existing commercial building for storage of equipment and building supplies in connection with the existing manufacturing and processing use with associated Site improvements in the R-C Zone.

Narrative

The Site is located on Fifth Street in an industrial corridor. The Site is in the R-C Zone. It is located directly across the street from the XPO Logistics building and operations center across and directly abuts another commercial building on Fifth Street. The existing industrial/commercial building on the Site was constructed in 2009. The Petitioner operates their manufacturing and processing woodworking use in connection with the Petitioner’s cabinet-making business. The lot area of the Site is Sixteen thousand nine hundred and eighty-six square feet (16,986 SF).

The Petitioner proposes to construct a 30’x80’ one-story addition to the existing building for storage of equipment and building supplies in connection with existing manufacturing and processing woodworking use onto existing impervious surface. The Petitioner operates their cabinet-making business within the existing building. This addition will store materials in connection with that use. The addition

1 Post Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

will face Fifth Street and will contain Two (2) garage bay doors. The Petitioner proposes to create Seven (7) off-street parking spaces, which is more than sufficient to support the addition under the Regulations, and new landscaped area along the parking area and in the location of an existing storage trailer.

The Petitioner is actually decreasing the existing site coverage from Eighty-nine percent (89%) to Seventy-eight percent (78%) and increasing the landscaped coverage to Twenty-two percent (22%), which is double the existing conditions. It is also important to note that, in reality, the Site and its abutting neighbor are extensions of the industrial corridor that exists across Fifth Street where only Fifteen percent (15%) landscape coverage is required. The Petition proposes well in excess of that standard. The proposed addition will be located over Ten feet (10') from the Site's side property line on the southern side, which is the requirement of the Regulations. Please note that the properties on Sixth Street also sit considerably higher as there is a steep grade change at the rear of the Site.

For the reasons stated above, the Petitioner respectfully requests approval of its application for Site Plan Review.

Sincerely,



Christopher Russo

Business Inquiry

Business Details

Business Name: **JJK CONSTRUCTION, LLC** Citizenship/State Inc: **Domestic/CT**
Business ID: **0938092** Last Report Filed Year: **2021**
Business Address: **230 FIFTH STREET, BRIDGEPORT, CT, 06607, USA** Business Type: **Domestic Limited Liability Company**
Mailing Address: **230 FIFTH STREET, BRIDGEPORT, CT, 06607, USA** Business Status: **Active**
Date Inc/Registration: **May 13, 2008**
Annual Report Due Date: **03/31/2022**
NAICS Code: **Construction (23)** NAICS Sub Code: **Finish Carpentry Contractors (238350)**

Principals Details

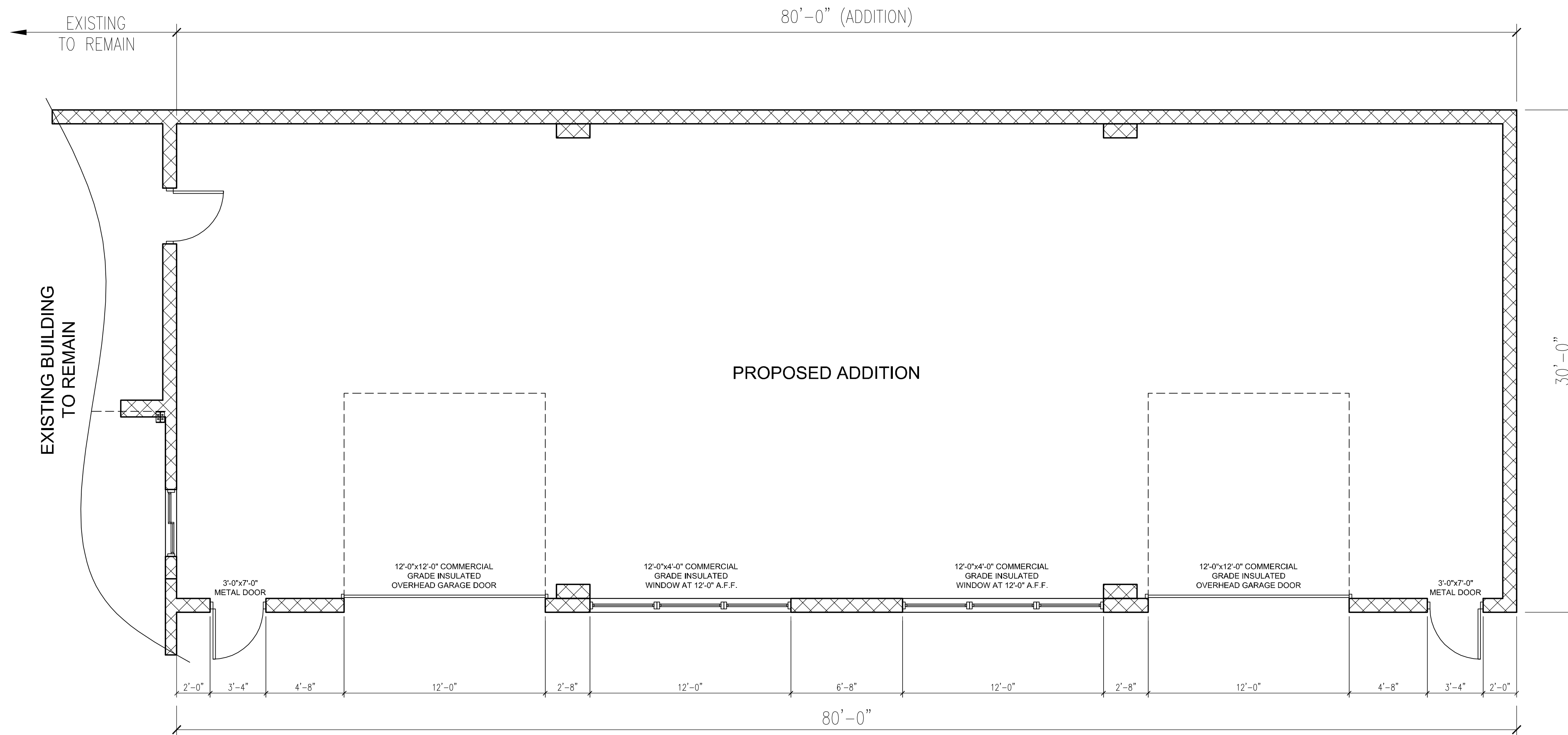
Name/Title	Business Address	Residence Address
JACEK SICIAK OWNER	230 FIFTH STREET, BRIDGEPORT, CT, 06607	230 FIFTH STREET, BRIDGEPORT, CT, 06607

Agent Summary

Agent Name **JACEK SICIAK**
Agent Business Address **NONE**
Agent Residence Address **117 MERRIMAC DR, TRUMBULL, CT, 06611, USA**
Agent Mailing Address **230 FIFTH ST, BRIDGEPORT, CT, 06607, USA**

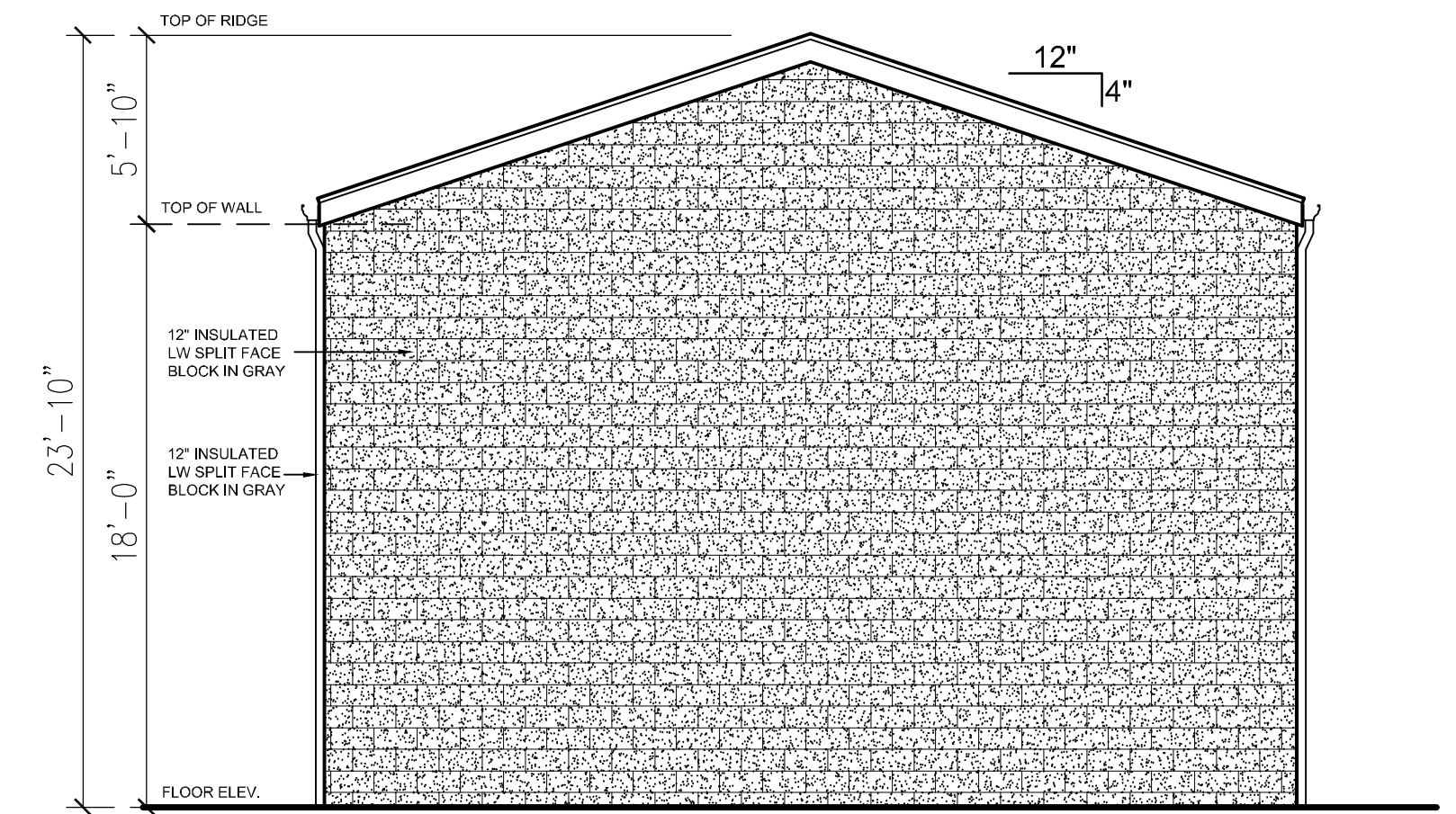
PROPERTIES WITHIN 100' OF 220-230 FIFTH ST

LOCATION	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
233 SIXTH ST #235	WYNTER NORVAL	233 SIXTH ST #235	BRIDGEPORT	CT	06607
219 SIXTH ST	ANDRADE DONNA M	219 SIXTH ST	BRIDGEPORT	CT	06607
191 SIXTH ST	NEWTON TIMOTHY	175 SIXTH ST	BRIDGEPORT	CT	06607
205 SIXTH ST #207	JORDAN MICHAEL A	465 CONNECTICUT AVE 440 MAMARONECK AVE, STE N-503	BRIDGEPORT	CT	06608
270 FIFTH ST	250 FIFTH STREET LLC		HARRISON	NY	10704
100 THIRD ST	UNITED PROPERTIES	929 KINGS HIGHWAY EAST	FAIRFIELD	CT	06824
208 FIFTH ST #210	ADEYEYE ADEDOJA	17 OVERLIN RD	PATTERSON	NY	12563
220 FIFTH ST	JJK CONSTRUCTION LLC	75 DIANE TERR	STRATFORD	CT	06614
230 FIFTH ST	JJK CONSTRUCTION LLC	75 DIANE TERR	STRATFORD	CT	06614
243 SIXTH ST	PARK CITY HOUSING & DEVEL	243 SIXTH ST	BRIDGEPORT	CT	06607
215 SIXTH ST	SMITH SHEILA A ET AL	215 SIXTH ST	BRIDGEPORT	CT	06607
175 SIXTH ST	NEWTON TIMOTHY	175 SIXTH STREET	BRIDGEPORT	CT	06607
199 FIFTH ST	199 FIFTH ST LLC	199 FIFTH ST	BRIDGEPORT	CT	06607
209 FIFTH ST	KOSTA GEORGE	28 CAROLINE RD	EAST HAVEN	CT	06512
202 FIFTH ST #204	JIMENEZ MARITZA	202 FIFTH ST	BRIDGEPORT	CT	06604
195 SIXTH ST #197	MSA INVESTMENTS 2 LLC	228 COLONY RD	NEW HAVEN	CT	06511
196 FIFTH ST #198	196 FIFTH ST LLC	13 PARAGON LN	STAMFORD	CT	06905
191 FIFTH ST	KEMP JOHNNY L & JACQUELINE	191 FIFTH ST	BRIDGEPORT	CT	06607
247 SIXTH ST #249	WALTON DERANE & DORIS ANN	249 SIXTH ST	BRIDGEPORT	CT	06607
259 SIXTH ST #261	CHAVANNES ANDRELLE	805 WOODFIELD RD	WEST HEMPSTEAD	NY	11552

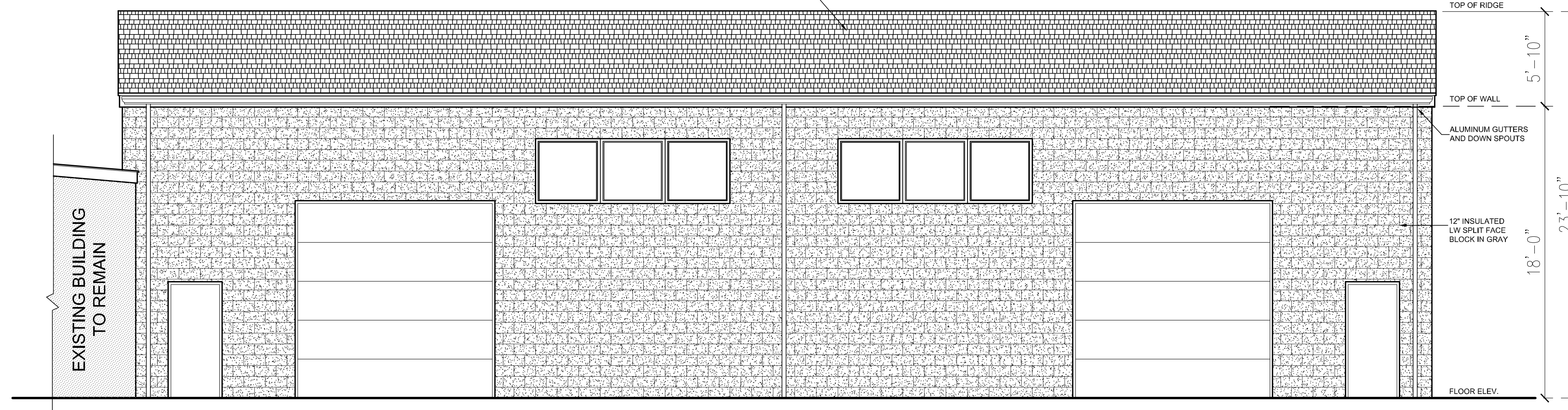


FLOOR PLAN
SCALE 1/4" = 1'-0"

CLASS "A" FIBERGLASS-BASED ASPHALT ROOF SHINGLES ON 30 LB ROOF FELT AND TO WITHSTAND WINDS UP TO 130 MPH. PROVIDE WINTER (OR STORM) GUARD AT EAVES, RAKE EDGES, VALLEYS AND AROUND PIPE PENETRATION



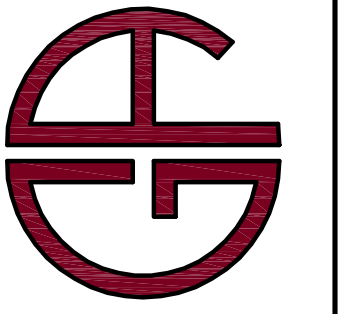
RIGHT SIDE ELEVATION
SCALE 3/16" = 1'-0"



FRONT ELEVATION
SCALE 1/4" = 1'-0"

REVISIONS					
1	2	3	4	5	6

GUEDES ASSOCIATES, INC.
Designers, Architects & Project Managers
1425 Noble Avenue, Bpt., CT. 06610
Tel. 203-367-5180 Fax. 203-367-4961



NEW COMMERCIAL BUILDING ADDITION FOR PROPERTY LOCATED AT 220-230 FIFTH STREET, BRIDGEPORT, CT	date: 12-01-2020	scale: AS NOTED
FLOOR PLAN & ELEVATIONS	drawn: M.R.	project #: 2020-120



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

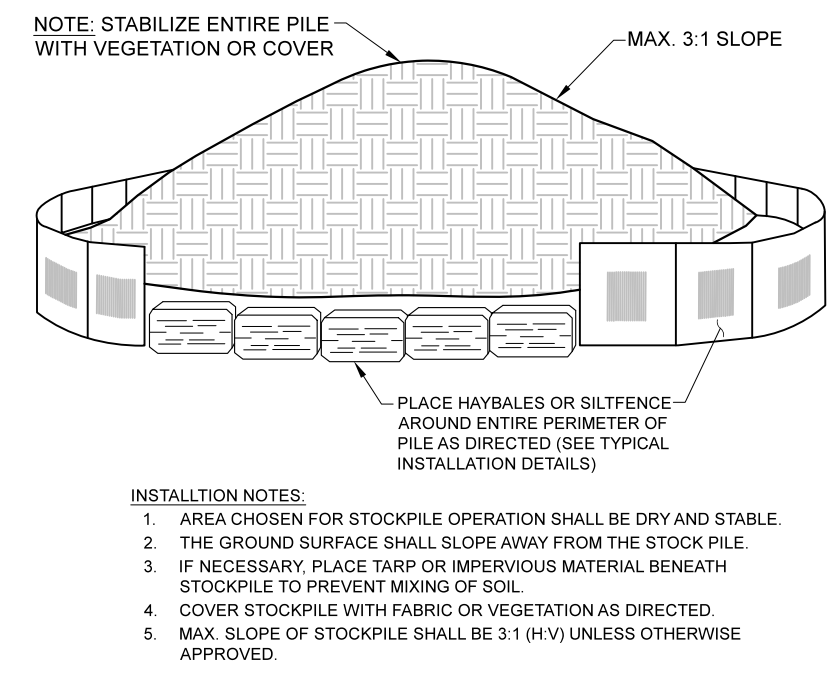
A-1

NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN **IMPROVEMENT LOCATION SURVEY** AND **TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND TOPOGRAPHIC ACCURACY CLASS **T-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
- ELEVATIONS ARE BASED ON THE CITY OF BRIDGEPORT DATUM.
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - MAP ENTITLED "MAP 8 - MAP OF BUILDINGS LOT 5 OF ELMORE D. ALVORD, PHLO H. SKIDMORE, JR., DAVID G. MILLS AND ARTHUR W. BURRITT SITUATED IN BRIDGEPORT FORMERLY IN THE BOROUGH OF WEST STRATFORD, SURVEYED AND MAPPED BY HULL & PALMER CIVIL ENGINEERS," DATED DECEMBER 26, 1889 PREPARED BY HULL AND PALMER AND FOUND ON FILE IN THE CITY OF BRIDGEPORT CLERK'S OFFICE AS **MAP VOL. 2 PG. 24**.
 - MAP ENTITLED "MAP OF SURVEY" OF PROPERTY IN BRIDGEPORT, CONNECTICUT, PREPARED FOR ALAN BRAZEN, SCALE: 1" = 20', DATED JUNE 24, 1978, PREPARED BY FULLER & CO., AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 44 PG. 56**.
 - MAP ENTITLED "MAP OF SURVEY" OF PROPERTY IN BRIDGEPORT, CONNECTICUT, PREPARED FOR ALAN BRAZEN, SCALE: 1" = 20', DATED JANUARY 3, 1978, PREPARED BY FULLER & CO., AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 44 PG. 24**.
 - SEWER MAPPING FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT AS "FIFTH STREET" **MAP NO. 4932**.
 - CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 737**.
- RECORD OWNER: JJK CONSTRUCTION LLC VOL. 8950 PG. 290
- ASSESSOR'S REFERENCE: MAP 37 | BLOCK 737 | LOT 16
- PARCEL AREA: 16,986± SQ. FT., OR 0.390± AC.
- PARCEL IS LOCATED WITHIN THE **R-C** ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **441** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0441** SUFFIX **G**, MAP NUMBER **09001C0441G**, MAP REVISED **JULY 8, 2013**, THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)**.
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DE ANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DE ANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DE ANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).
- SUBJECT PARCEL IS LOCATED WITHIN THE COASTAL BOUNDARY OF YELLOW MILL CHANNEL AS PER MAP ENTITLED "COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT" DATED AUGUST 1983, SHEET 3.

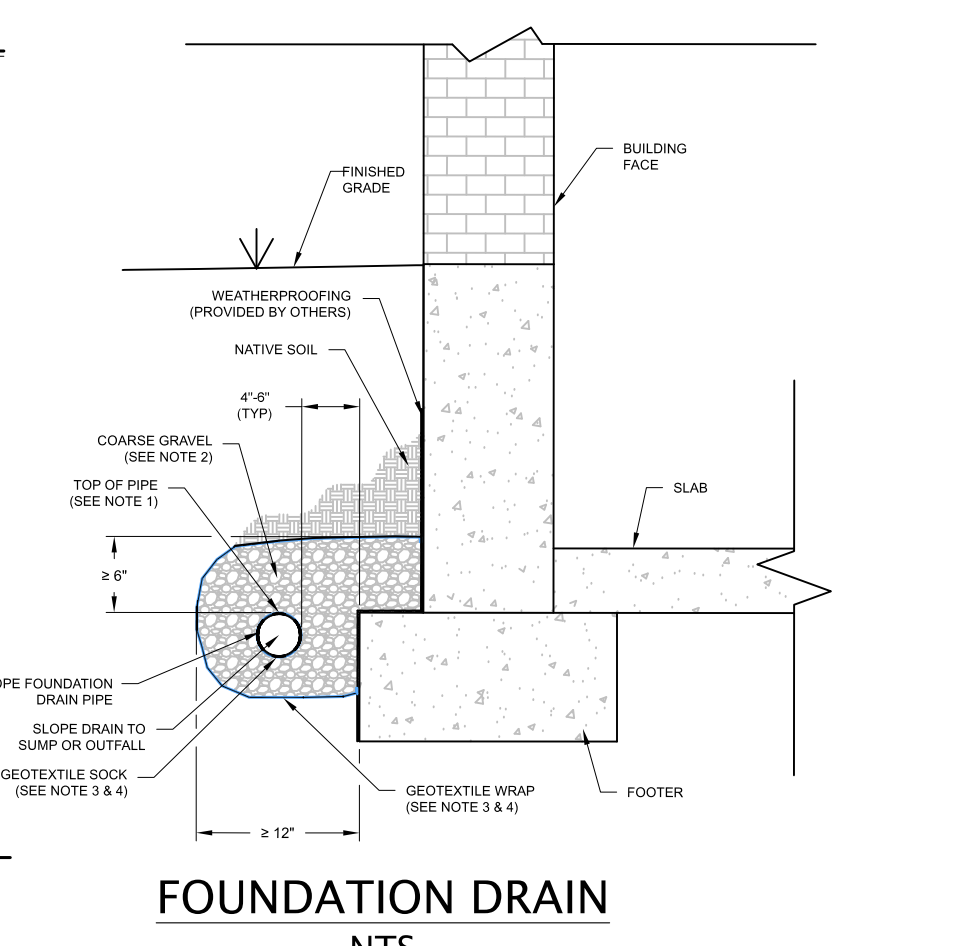
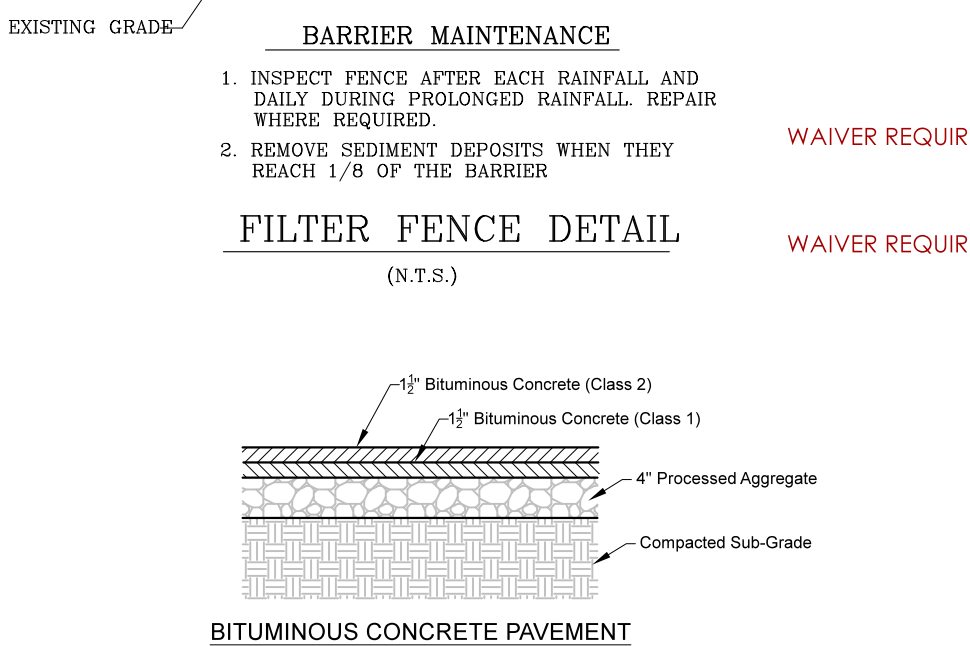
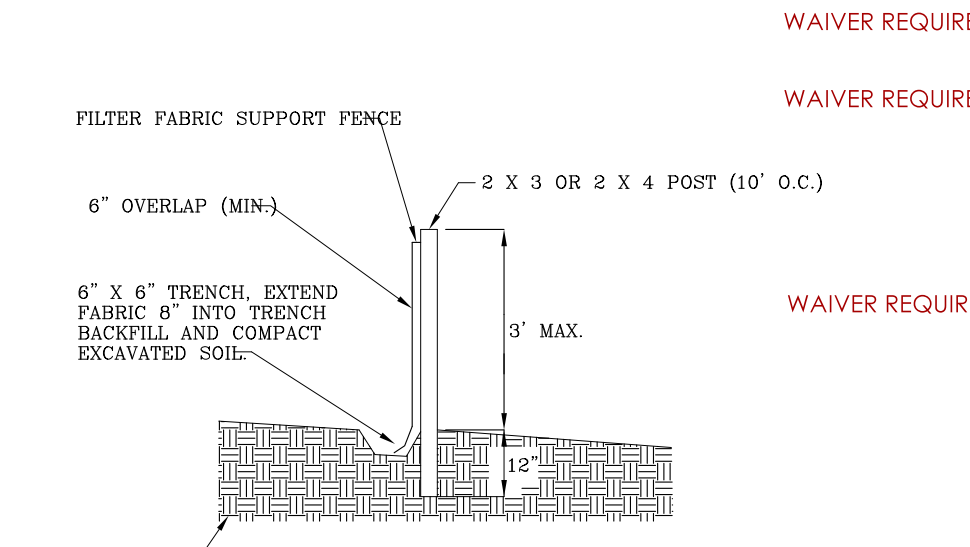
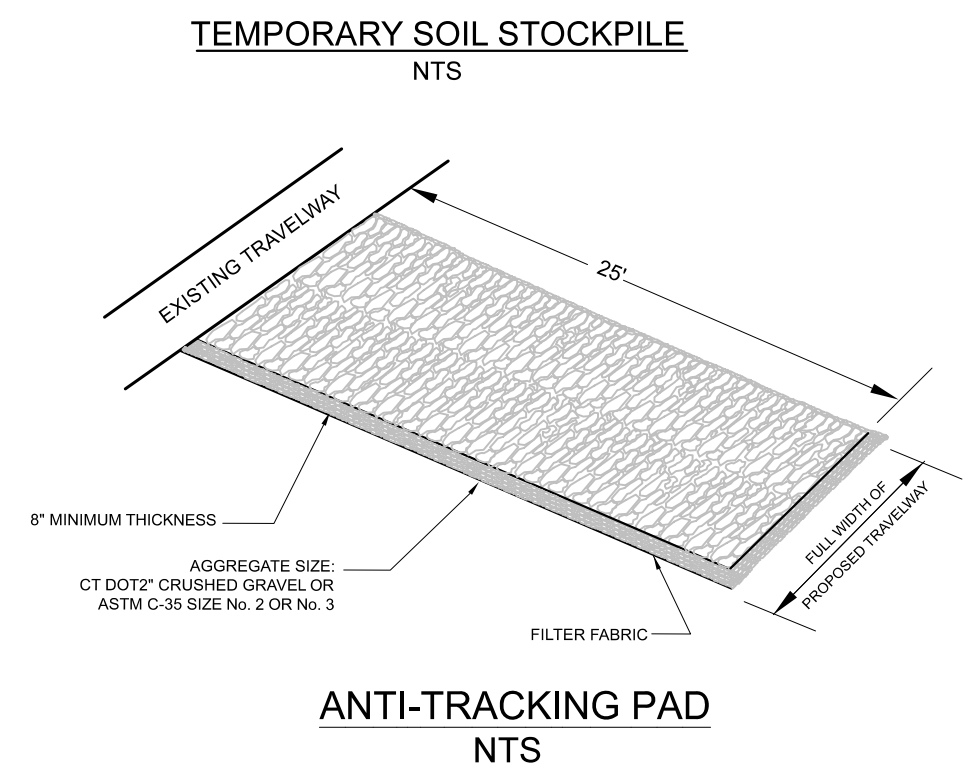
PARKING SUMMARY Table 8.A

	REQUIRED	PROVIDED
INDUSTRIAL USE Manufacturing and Production Greater of 0.5 / EMPLOYEE ON LARGEST SHIFT OR 1 / 1,200 SF BUILDING AREA	10(0.5)	N/A
TOTAL	5,568/1,200	250 Fifth Street, LLC 250 Fifth Street Deed Vol. 5730 Pg. 40 Record Map Vol. 44 Pg. 24 & 56



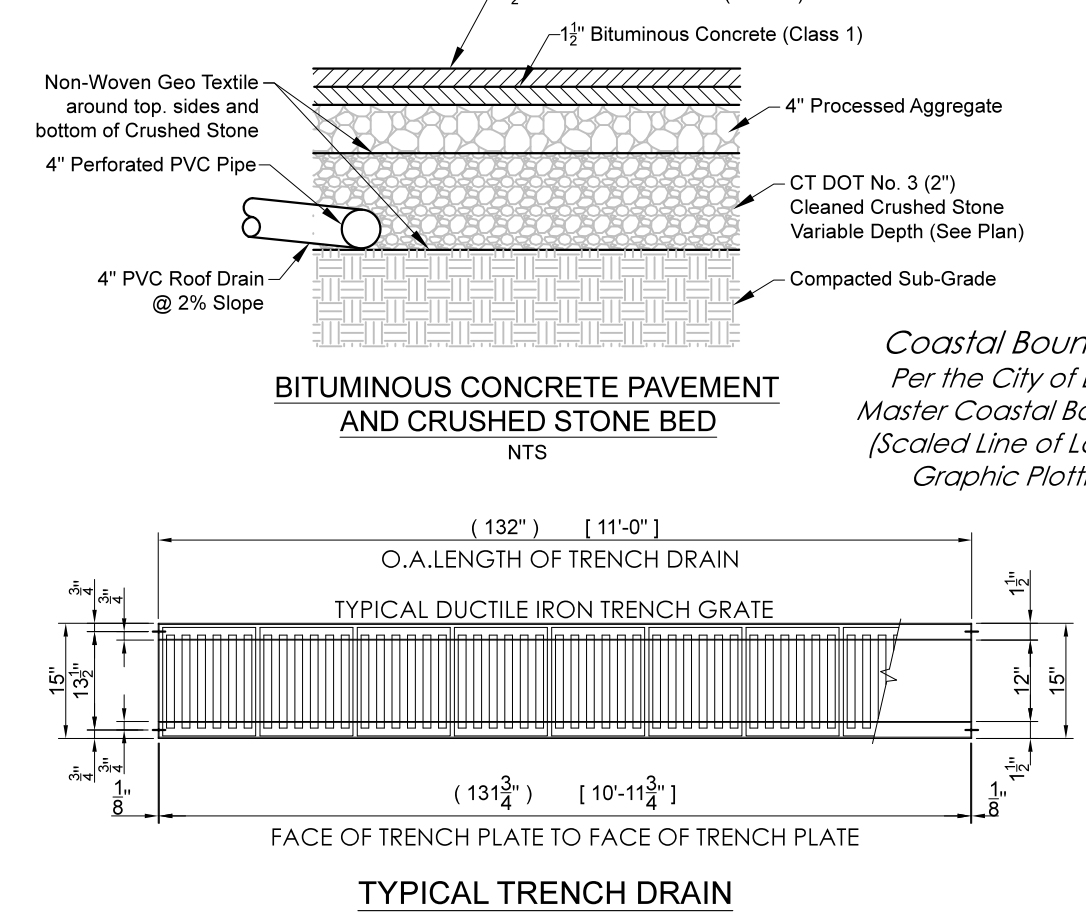
R-C Zone Development Standards

	REQUIRED	EXISTING	PROPOSED
LOT			
LOT AREA, MINIMUM	9,000 SF	16,986± SF	16,986± SF
FRONTAGE, MINIMUM	60 FT	160.00 FT	160.00 FT
DEPTH, MINIMUM	N/A	N/A	N/A
LOT AREA / DWELLING UNIT, MINIMUM	2,700 SF	N/A	N/A
PRINCIPLE BUILDING SETBACK			
FRONT LOT LINE, MINIMUM FROM	15 FT OR PREVAILING	12.9± FT	12.9± FT
SIDE LOT LINE, MINIMUM FROM	10 FT (NOTE 1)	2.6± FT, 91.0± FT	2.6± FT, 11.5± FT
ONE SIDE	10 FT MINIMUM	2.6± FT	2.6± FT
BOTH SIDES SHALL ADD UP TO	20 FT REQUIRED	93.6± FT	14.1± FT
REAR LOT LINE	THE LESSER OF 20% OF LOT DEPTH OR 50 FT	7.7± FT	5.7± FT (20 FT MINIMUM)
ACCESSORY STRUCTURE			
SETBACK, MINIMUM FROM:			
FRONT LOT LINE	THE LESSER OF 50% OF LOT DEPTH OR 75 FT	2.6± FT	2.6± FT
SIDE LOT LINE	3 FT	9.0± FT	9.0± FT
REAR LOT LINE	3 FT	88.7± FT	88.7± FT
CORNER LOT	NOTE 2	N/A	N/A
FLOOR AREA MAXIMUM	NOTE 4	6%	4%
COVERAGE (NOTE 5)			
BUILDING COVERAGE, MAXIMUM	60%	35%	50%
SITE COVERAGE, MAXIMUM	70%	89%	78%
LANDSCAPED AREA			
MINIMUM	30%	11%	22%
HEIGHT (NOTE 6 & 8)			
PRINCIPAL BUILDING, MAXIMUM	4 STORIES OR 45 FT MAX.	1 STORY / 17± FT	1 STORY / 24± FT
ACCESSORY STRUCTURE, MAXIMUM			
FLAT OR ROUNDED ROOF	12 FT	8± FT	8± FT
TO RIDGE	15 FT	N/A	N/A



Percolation Test Results

Time	Measurement to Water Surface	Drop in Water Level (0.01")	Rate (Min./Inch)
3:15 PM	0.25	0.08	3.13
3:18 PM	0.33	0.06	4.17
3:21 PM	0.39	0.05	5.00
3:24 PM	0.44	0.03	8.33
3:27 PM	0.47	0.04	6.25
3:30 PM	0.51	0.03	8.33
3:33 PM	0.54	0.03	8.33
Overall Percolation Rate (Min/Inch)			5.17
Minimum Percolation Rate (Min/Inch)			8.33
Based on minimum percolation rate, a 15" tall system will drain in (Hours):			2.1



PROGRESS PRINT 12-17-2020

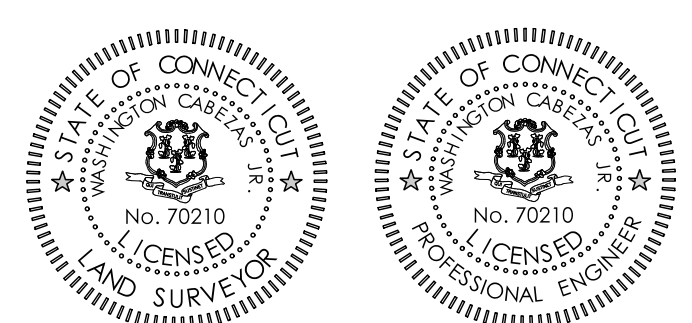
LEGEND

N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	WM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND.	FOUNDATION	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
ULP	UTILITY POLE	W.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	± 8.65	EXISTING SPOT GRADE
RET.	RETAINING	-100-	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
F.FE	FINISHED FLOOR ELEVATION	2	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
	EXISTING CONIFER TREE		EXISTING DECIDUOUS TREE

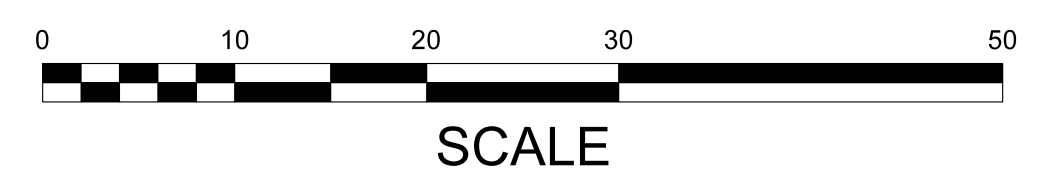
Cabezas DeAngelis
 ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
 P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=10'
 FIELD FILE: 230 Fifth Street.rw5
 PROJECT NO.: CD1454
 DATE: December 17, 2020
 CAD FILE: 220-230 Fifth St_ILS.dwg
 SHEET 1 OF 1
 REV:



TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON



WASHINGTON CABEZAS, JR. PEL 70210

IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY

PREPARED FOR
JJK CONSTRUCTION LLC
 220 & 230 FIFTH STREET
 BRIDGEPORT, CONNECTICUT
 ASSESSOR'S REFERENCE: MAP 37 | BLOCK 737 | LOT 16

SHEET 1 OF 1

DECEMBER 17, 2020 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'



**PLANNING & ZONING COMMISSION
APPLICATION**

1. NAME OF APPLICANT: HAN Capital
2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 225 Boston Avenue, Bridgeport, CT 06610
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 2002 Lot No. 17
5. Amendments to Zoning Regulations: (indicate) Article: Zone Development Standards Section: _____
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): n/a
7. Existing Zone Classification: n/a
8. Zone Classification requested: n/a
9. Describe Proposed Development of Property: To amend the Zone Development Standards to allow self-service storage facilities in the Or-G Zone

Approval(s) requested: Amendment to the Bridgeport Zoning Regulations

Signature: _____ Date: _____

Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Patricia C. Sullivan

Print Name: Patricia C. Sullivan

Mailing Address: Atty for the Applicant, Cohen & Wolf, PC, 1115 Broad St., Bpt., CT 06604

Phone: 203-337-4124 Cell: 203-414-6455 Fax: 203-337-5524

E-mail Address: psullivan@cohenandwolf.com

\$ _____ Fee received Date: _____ Clerk: _____

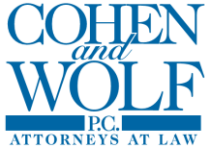
THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- | | | |
|--------------------------------------------------------------------------------------------------------|------------------------------------------------|-----------------------------------------------|
| <input checked="" type="checkbox"/> Completed & Signed Application Form | <input type="checkbox"/> A-2 Site Survey | <input type="checkbox"/> Building Floor Plans |
| <input type="checkbox"/> Completed Site / Landscape Plan | <input type="checkbox"/> Drainage Plan | <input type="checkbox"/> Building Elevations |
| <input checked="" type="checkbox"/> Written Statement of Development and Use | <input type="checkbox"/> Property Owner's List | <input type="checkbox"/> Fee |
| <input type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) | | |

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Print Owner's Name Owner's Signature Date

Print Owner's Name Owner's Signature Date



PATRICIA C. SULLIVAN

Please Reply To Bridgeport
Writer's Direct Dial: (203) 337-4124
E-Mail: psullivan@cohenandwolf.com

December 15, 2020

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, Connecticut 06604

**Re: Text Amendment to Zone Development Standards for Non Residential Zone Table 2.A
of the Bridgeport Zoning Regulations**

Dear Mr. Buckley:

Please accept the following narrative and attached materials as part of the application to amend the Bridgeport Zoning Regulations to allow Self-Service Storage Facilities in the OR-G Zone.

Proposed Text Amendment

Change Zone Development Standards for Non Residential Zone Table 2.A to permit Self-Service Storage Facilities in the OR-G Zone

Narrative

Under the Bridgeport Zoning Regulations “Self-Service Storage Facilities” are currently categorized as Warehouse and Freight Handling, as set forth under Table 6 Section 6.35 of the Zoning Regulations. Existing Self-Service Storage Facilities in the OR-G Zone are nonconforming. Any further development of existing facilities or any new facilities would require a variance. The Self-Service Storage Facility use is compatible with the uses already permitted in the OR-G zone.

1115 Broad Street
P.O. Box 1821
Bridgeport, CT 06601-1821
Tel: (203) 368-0211
Fax: (203) 394-9901

158 Deer Hill Avenue
Danbury, CT 06810
Tel: (203) 792-2771
Fax: (203) 791-8149

320 Post Road West
Westport, CT 06880
Tel: (203) 222-1034
Fax: (203) 227-13373

December 15, 2020

Page 2

HAN Capital, a national company that develops and invests in self-storage facilities, is under contract to purchase the Budget Storage facility at 225 Boston Ave in Bridgeport. The use is currently nonconforming in the zone. This would be HAN Capital's first investment in Connecticut. They currently have Self-Service Storage Facilities in six other states. Their investment depends on their ability to upgrade and expand the Self-Service Storage Facility.

I am attaching a letter from HAN Capital along with a snapshot of their plans and pictures that show the location of the property and its existing condition. We shared this information, in a Concept Review session, with the Land Use and Economic Development Offices in Bridgeport. We are trying to move forward quickly to try to secure the necessary approvals to move this investment forward. If Self-Service Storage were a permitted use throughout the OR-G zone it would greatly improve the viability of these types of facilities and provide the incentive for upgrading and expanding these facilities. If HAN Capital is unable to secure the necessary approvals to move this investment forward, they may decide not to move forward with investing in Bridgeport.

Passage of the proposed amendment would make the Self-Service Storage Facility use, which already exists in the OR-G zone, conforming. That conformity will make upgrades and expansions possible and encourage investment.

The Applicant respectfully requests that the Commission amend the Zone Development Standards for Non Residential Zone Table 2.A of the Bridgeport Zoning Regulations to permit Self-Service Storage Facilities in the OR-G Zone.

Sincerely,



Patricia C. Sullivan

PCS:rpr

2417 W. Lawrence Ave. Chicago, IL 60625
p: (872) 208-7614 f: (773) 966-2528
e: management@hancapitalgroup.com



November 23, 2020

To the Members of the Conceptual Urban Design Review Committee:

My name is John Cooper and I am one of the owners of HAN Capital. My company recently entered into a purchase agreement to acquire a self-storage facility located at 225 Boston Ave. We have been in the storage industry for a dozen years and we own and operate 27 storage facilities across 6 states, including New York and Pennsylvania. We are excited to expand into Connecticut!

This particular facility will require a significant financial investment and will benefit from new management. Currently, it is only half full and in need of major repairs. Specifically, we plan on investing over \$150,000 into a new roof, as well as making a sizable investment to modernize the elevator, amongst other things.

Along with the upgrades we will be making to the building, we would like to add additional self-storage capacity behind the facility. The property fronts on Boston Avenue with a long vacant tail in the rear, approximately 60 feet wide and 400 feet long. We realize that the property is in an OR-G zone and self-storage is not currently a permitted use in the zone. Ideally, for us, the regulations would be changed to make self-storage a permitted use in the zone. Otherwise our planned additional self-storage units would require a variance and the resulting development would be legal, but nonconforming.

Currently the land in the rear is unused, overgrown with weeds coming through the broken pavement and walls full of graffiti. The unique long and narrow dimensions of the area, along with its hidden location behind the building, make it hard to find any good use for the land. Since the property is already used for storage, it makes perfect sense to continue the use into the back with a row of drive-up storage units on both sides, with a lane through the middle. This would give the back part of the property an attractive appearance, make it productive and enhance its value.

We have successfully completed over half a dozen similar builds of drive-up storage on vacant land in Indiana and Illinois. We are hopeful to have all necessary applications filed by the end of 2020, so that we can secure approvals early in 2021. We would appreciate the scheduling of our meeting with the City to discuss this project as soon as possible. Please let us know if you need any additional information. We look forward to meeting with you.

Thank you,

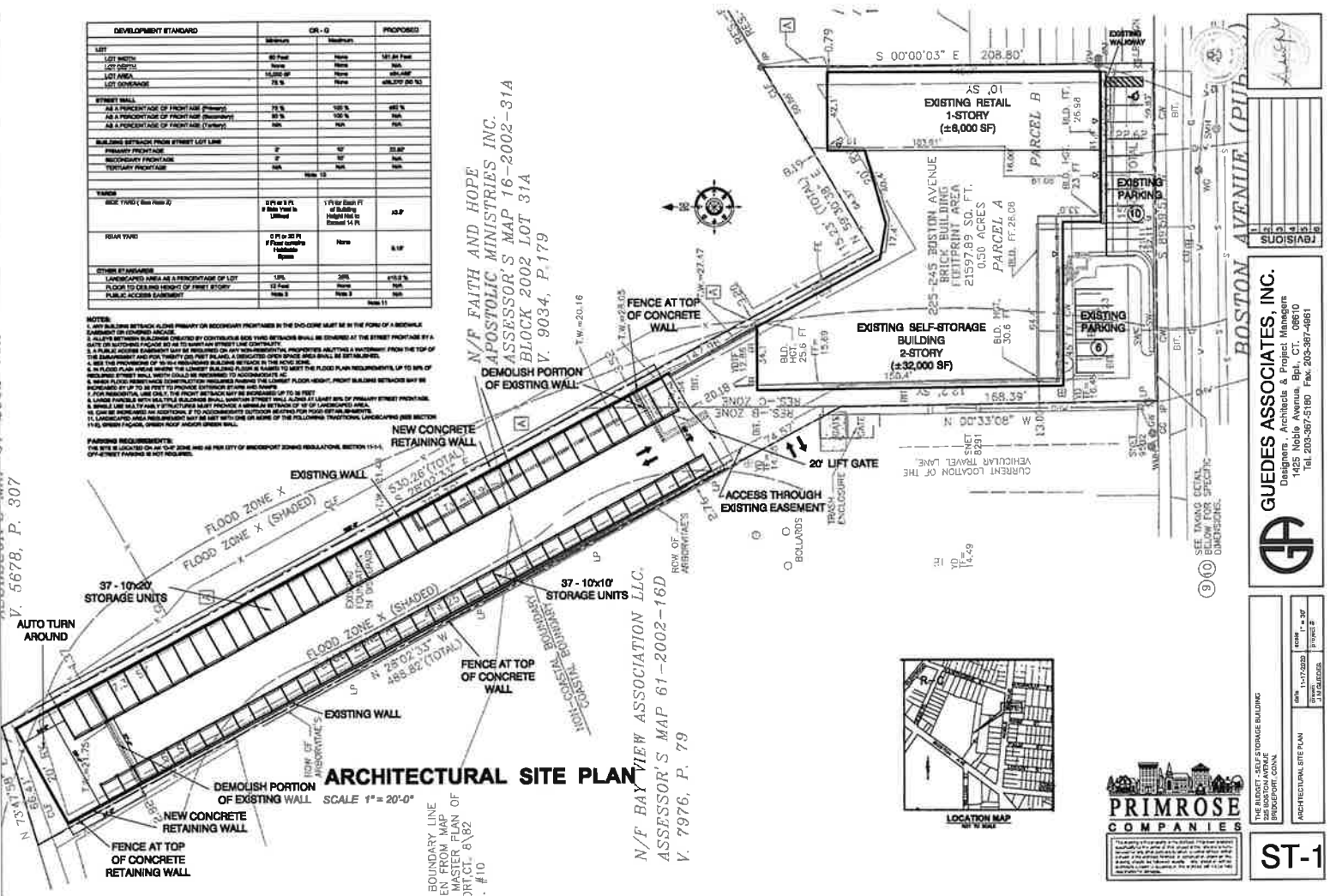
John

DEVELOPMENT STANDARD	Minimum	CR - G	PROPOSED
LOT			
LOT WIDTH	80 Feet	None	141.41 Feet
LOT DEPTH	None	None	None
LOT AREA	15,000 SF	None	10,400 SF
LOT COVERAGE	75 %	None	68.00 % (20.75)
STREET WALL			
AS A PERCENTAGE OF FRONT YARD (FRONT)	75 %	100 %	485.82 %
AS A PERCENTAGE OF FRONT YARD (REAR)	85 %	100 %	NA
AS A PERCENTAGE OF FRONT YARD (CORNER)	NA	NA	NA
BUILDING SETBACK FROM STREET LOT LINE			
FRONT YARD	2'	5'	25.00'
REAR YARD	2'	5'	NA
TERMINAL YARD	NA	NA	NA
YARD			
SIDE YARD (See Item 2)	5 FT or 3 FT if Side Yard is Limited	1 FT for Each Ft of Building Volume up to 20000 SF	10.2'
REAR YARD	5 FT or 3 FT if Rear Yard is Limited	None	8.1'
OTHER REQUIREMENTS			
LANDSCAPED AREA AS A PERCENTAGE OF LOT	15%	20%	47.0 %
FLOOD ZONE DRAINAGE OF STREET FRONT	None	None	None
PUBLIC ACCESS EQUIPMENT	None	None	None

NOTES:

1. ANY BUILDING SETBACKS ALONG PRIMARY OR NECESSARY FRONTAGES IN THE END-GORE MUST BE IN THE FORM OF A BENCHING ELEMENT OR CHANGING ANGLES.
2. ALL SETBACKS BETWEEN BUILDINGS OR BETWEEN BUILDINGS AND YARDS BETWEEN BUILDINGS SHALL BE COVERED AT THE STREET FRONTAGE BY A FENCE OR SCREENING DEVICE AS TO BE DETERMINED BY THE DEVELOPER.
3. A PUBLIC ACCESS EQUIPMENT MAY BE REQUIRED ON ANY NECESSARY FRONTAGE ADJACENT TO A MOTORWAY FROM THE TOP OF THE BUILDING AND FROM THE TOP OF THE STREET TO THE POINT OF ENTRY TO THE ROAD.
4. SET THE PERCENTAGE OF LANDSCAPED AREA AS REQUIRED IN THE FLOOD ZONE.
5. IN FLOOD PLAIN AREAS WHERE THE EXISTING BUILDING FLOOR IS HIGHER THAN THE FLOOD PLAIN REQUIREMENTS UP TO 50% OF REQUIRED STREET WALLS, WALLS SHOULD BE REDESIGNED TO ACCOMMODATE THE FLOOD PLAIN REQUIREMENTS.
6. LANDSCAPED AREAS SHOULD BE PROVIDED WITHIN THE FLOOD PLAIN REQUIREMENTS. FRONT BUILDINGS SHOULD BE REDESIGNED BY UP TO 10% TO PROVIDE BENCHING ELEMENTS.
7. FLOOD PLAIN REQUIREMENTS FOR BUILDINGS WITHIN THE FLOOD PLAIN REQUIREMENTS SHALL BE AS FOLLOWS:
8. BUILDINGS WITHIN THE FLOOD PLAIN REQUIREMENTS SHALL BE AS FOLLOWS:
9. BUILDINGS WITHIN THE FLOOD PLAIN REQUIREMENTS SHALL BE AS FOLLOWS:
10. LANDSCAPED AREAS REQUIREMENTS SHALL BE AS FOLLOWS:
11. LANDSCAPED AREAS REQUIREMENTS SHALL BE AS FOLLOWS:
12. LANDSCAPED AREAS REQUIREMENTS SHALL BE AS FOLLOWS:
13. LANDSCAPED AREAS REQUIREMENTS SHALL BE AS FOLLOWS:
14. LANDSCAPED AREAS REQUIREMENTS SHALL BE AS FOLLOWS:

FLOODING REQUIREMENTS:
 THE FLOOD ZONE SHALL BE AS PER CITY OF BOSTON ZONING REGULATIONS SECTION 15-1-1. CITY STREET FRONTAGE IS NOT REQUIRED.



V. 5678, P. 307

N/F FAITH AND HOPE
 APOSTOLIC MINISTRIES INC.
 ASSESSOR'S MAP 16-2002-31A
 BLOCK 2002 LOT 31A
 V. 9034, P.179

N/F BAY VIEW ASSOCIATION LLC.
 ASSESSOR'S MAP 61-2002-16D
 V. 7976, P. 79

BOUNDARY LINE
 ENCL. FROM MAP OF
 MASTER PLAN OF
 ART. CL. 8/82
 #10



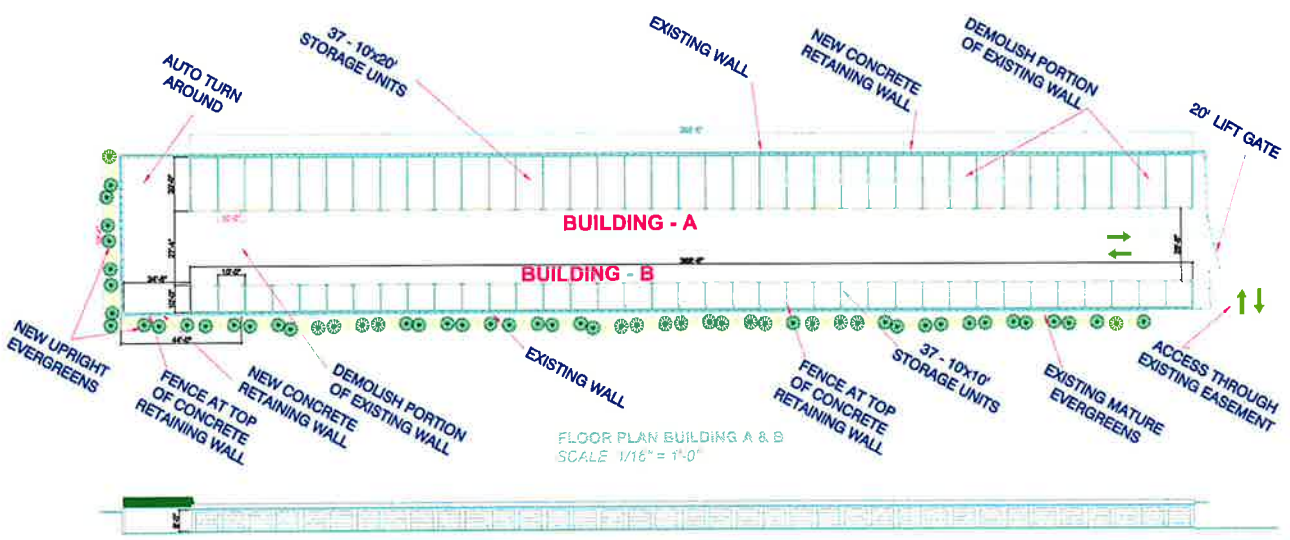
ST-1

PRIMROSE COMPANIES

225 BOSTON AVENUE
 BOSTON, MA 02110
 TEL: 617-552-1100

GUEDDES ASSOCIATES, INC.
 Designers & Architects
 100 State Street, Suite 1000
 Boston, MA 02109
 Tel: 203-367-5180 Fax: 203-367-4881

ARCHITECTURAL SITE PLAN



FRONT ELEVATION PLAN BUILDING A & B
SCALE 1/16" = 1'-0"



Left Side of Site



Right Side of Site

THIS DOCUMENT IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

GUEDES ASSOCIATES, INC.
 Oneida Avenue & Project Main
 1455 North Main Street, 08810
 Tel: 203-387-5180 Fax: 203-387-4881

PROJECT NAME	STORAGE BUILDING
PROJECT ADDRESS	225 BROOKFIELD AVENUE BROOKFIELD, CONNECTICUT
DATE	11/17/2022
SCALE	AS NOTED
PROJECT NUMBER	22-00000000

A-1

**PETITION TO THE PLANNING & ZONING COMMISSION
CITY OF BRIDGEPORT, CONNECTICUT**

1. **NAME OF PETITIONER:** Barnum Landing, LLC and Barnum Landing II, LLC

2. Is the Petitioner's name Trustee of Record? Yes X No _____

If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.

3. Address of Property: 451-589 and 567 Seaview Avenue Bridgeport CT 06604
(number) (street) (state) (zip code)

4. Assessor's Map Information: Block No. 664 Lot No. 5A

5. Amendments to Zoning Regulations: (indicate) Article: NA Section: NA

(Attach copies of Amendment)

6. Description of Property (Metes & Bounds): The approximately 18-acre parcel located south of the Water Pollution Control Authority bordered on northeast by radius of Seaview Avenue
Bordered on northwest by WPCA property and the entirety of Powerhouse Creek. Bordered on the southwest Bridgeport Harbor and southeast by Bridgeport Harbor and Dolphins Cove Restaurant and Marina. the Site is currently developed, paved, and vacant.

7. Existing Zone Classification: Industrial

8. Zone Classification requested: Industrial

9. Describe Proposed Development of Property: Remediation of soil hot spots and widespread polluted fill in accordance with CT DEEP-approved engineering control for rendering soils inaccessible and pursuant to Remediation Standard Regulations and participation in Brownfields Remediation and Revitalization Program.

Approval(s) requested: Coastal Site Plan Application

Signature: Chris Kriegner Date: 3/19/21

Print Name: Christopher J. Kriegner, Environmental Constulant

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Chris Kriegner
Print Name: Christopher J. Kregner, Environmental Consultant

Mailing Address: 17 Battery Place, Suite 1200 New York, New York

Phone: 212-269-3200 Cell: _____ Fax: _____

E-mail Address: JBallot@McAllistertowing.com

\$ 305.00 Fee received Date: 3/19/21 Clerk: Nicolas Sampieri
Check No 1668419526

THIS PETITION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- A-2 Site Survey
- Building Floor Plans
- Completed Site / Landscape Plan
- Drainage Plan
- Building Elevations
- Written Statement of Development and Use
- Property Owner's List
- Fee
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

<u>Brian B.A. McAllister</u>	<u>Brian B.A. McAllister</u>	<u>3/19/21</u>
Print Owner's Name	Owner's Signature	Date
_____	_____	_____
Print Owner's Name	Owner's Signature	Date

**PETITION TO THE PLANNING & ZONING COMMISSION
CITY OF BRIDGEPORT, CONNECTICUT**

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If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Chris Kriegner
Print Name: Christopher J. Kregner, Environmental Consultant

Mailing Address: 17 Battery Place, Suite 1200 New York, New York

Phone: 212-269-3200 Cell: _____ Fax: _____

E-mail Address: JBallot@McAllistertowing.com

\$ 305.00 Fee received Date: 3/19/21 Clerk: Nicolas Sampieri
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THIS PETITION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

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- A-2 Site Survey
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- Property Owner's List
- Fee
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

<u>Brian B.A. McAllister</u>	<u>Brian B.A. McAllister</u>	<u>3/19/21</u>
Print Owner's Name	Owner's Signature	Date
_____	_____	_____
Print Owner's Name	Owner's Signature	Date

Your Ref: 120900136-535 Seaview Ave, Bridgeport, CT

Policy No: 2942-40058

OWNER'S POLICY OF TITLE INSURANCE

Issued by

CHICAGO TITLE INSURANCE COMPANY

Any notice of claim and any other notice or statement in writing required to be given the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, CHICAGO TITLE INSURANCE COMPANY, a Nebraska corporation (the Company) insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
 - (a) A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use, or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;

Your Ref: 120900136-535 Seaview Ave, Bridgeport, CT

Policy No: 2942-40058

- (c) the subdivision of land; or
- (d) environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.

- 6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
- 7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
- 8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
- 9. Title being vested other than as stated Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or
 - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
- 10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

IN WITNESS WHEREOF, CHICAGO TITLE INSURANCE COMPANY has caused this policy to be signed and sealed by its duly authorized officers.

Issued by:
 CHICAGO TITLE INSURANCE COMPANY
 TWO CORPORATE DRIVE #144
 SHELTON, CT 06484
 Tel (203)324-5767 Fax (203)358-8974

CHICAGO TITLE INSURANCE COMPANY



By: *(Signature)*
 Raymond R. Quirk
 President

Countersigned

Pro-Forma Policy

Authorized Signatory

By: *(Signature)*
 Michael I. Gravelle
 Secretary

**CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY FORM
SCHEDULE A**

POLICY JACKET NUMBER
294240058

DATE OF POLICY
_____ 2011

AMOUNT OF INSURANCE
\$4,200,000.00

1. Name of Insured:
Barnum Landing, LLC, a Connecticut limited liability company

2. Your interest in the land which is covered by this policy is:

Fee Simple

Subject to:

and the matters shown in Schedule B.

3. The land referred to in this policy is located at:

Address: 567-589 Seaview Avenue
City/Town: Bridgeport
County: Fairfield
State: Connecticut

and is described on the description sheet attached hereto.

NOTE: This is a Pro Forma Policy. It does not reflect the present state of the title and is not a commitment to (i) insure the Title or (ii) issue any of the attached edorsements. Any such commitment must be an express written undertaking on appropriate forms of the Company.

This policy valid only if Schedule B is attached.

CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY FORM
SCHEDULE A
(LEGAL DESCRIPTION)

Policy Jacket Number: 294240058

PARCEL 1:

BLOCK 664 LOT 5B

Beginning at a point in the westerly street line of Seaview Avenue, said point being 246 feet ± northwesterly from the intersection of the westerly street line of Seaview Avenue and the northerly street line of Newfield Avenue, and running thence:

Along the lands n/f Coastline Terminals of Connecticut, Inc. identified as Lot B, South 34°19'04" West a distance of 323.34 feet ±, to the mean high water line of Bridgeport Harbor, thence; In a generally westerly direction, along the mean high water line of Bridgeport Harbor, 563 feet, more or less, to a point in the face of the bulkhead, thence;

In a generally northwesterly direction, along the face of the bulkhead, 480 feet ±, to the mean high water line, thence;

In a generally easterly, northerly and westerly direction, along the mean high water line of Bridgeport Harbor, 113 feet ±, to a point, thence;

North 42°53'11" East a distance of 26 feet ±, to a point, thence;

South 47°06'49" East a distance of 115.37 feet, to a point, thence;

North 42°53'11" East a distance of 410.68 feet to a point, thence;

North 47°06'49" West a distance of 171.98 feet to a point, thence;

North 55°06'30" East a distance of 291.21 feet to a point, thence;

South 78°00'37" East a distance of 124.25 feet, to a point, the last 6 courses being along the land n/f Coastline Terminals of Connecticut, Inc., identified as Lot B, to a point on the aforementioned westerly street line of Seaview Avenue, thence;

Along said westerly street line of Seaview Avenue, Southerly along a curve to the left, having an arc distance of 262.14 feet, a radius of 478.48 feet and a central angle of 31°23'26" and being subtended by a chord which bears South 03°42'05" East 258.87 feet to a point; thence

Continuing along the westerly street line of Seaview Avenue along a curve to the left, having an arc distance of 240.38 feet, a radius 380.05 feet and a central angle of 36°14'19" and being subtended by a chord which bears South 37°31'02" East 236.39 feet to a point, thence;

Continuing along the westerly street line of Seaview Avenue, South 55°38'12" East a distance of 28.76 feet, to the Point of Beginning.

Enccompassing an area of 12,400 square feet ± or 8.584 acres more or less.

PARCEL 2:

BLOCK 664 LOT B

Beginning at a point in the southwesterly street line of Seaview Avenue, said point being distant 196 feet ± northwesterly from the intersection of the southwesterly street line of Seaview Avenue and the westerly street line of Newfield Avenue, and running the following courses and distances;

Along the lands n/f Joaquín Matias & Gary Matias, South 34°19'04" West, a distance of 210.01 feet ±, to a point on the mean high water line, thence;

In a generally westerly direction, along the mean high water line of Bridgeport Harbor, 150 feet ±, to a point, thence;

Along the lands n/f Coastline Terminals of Connecticut, Inc. identified as Lot 5B, North 34°19'04" East a distance of 323.34 feet ±, to a point on the aforementioned westerly street line of Seaview Avenue, thence;

Along the southwesterly street line of Seaview Avenue South 55°38'11" East a distance of 50.00 feet, to the Point of Beginning.

Enccompassing an area of 12,400 square feet ± or 0.285 acres, more or less.

These descriptions are prepared in accordance with the drawing titled "Land Division Map", prepared by Langan Engineering & Environmental Services dated 06/15/2010, revised 11/08/10, which map has been or will be filed with the Bridgeport Town Clerk.

Said parcels are transferred together with all littoral rights and riparian rights which appertain to the Property, as more particularly shown on the drawing referenced above.

**CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY FORM
SCHEDULE B**

Policy Jacket Number: **294240058**

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

STANDARD EXCEPTIONS:

- (a) Rights of present tenants, lessees or parties in possession.
- (b) Any liability for mechanics' or materialmen's liens.
- (c) Discrepancies, conflicts in boundary lines, shortage in area, encroachments, adverse possession and any facts which an accurate survey and inspection of the premises would disclose.
- (d) Taxes or special assessments which are not shown as existing liens by the public records.

Additional Title Exceptions are as follows:

1. Taxes to the City/Town of Bridgeport on the Grand List of October 1, 2010 and subsequent lists, however this policy insures that said taxes are current and the next payment is not yet due and payable.
2. Rights and Easements in favor of the State of Connecticut set forth in a deed dated April 16, 1998 and recorded in Volume 3915 at Page 311 of the Bridgeport Land Records.
3. Any portion of the premises lying below the shoreline, bulkhead lines, or pier lines as shown on maps entitled "New Haven Terminal, Inc., Seaview Avenue and Oakalb Avenue, Bridgeport, Connecticut" dated June 21, 1996 by TPA Design Group, which map is on file in the Bridgeport Land Records.
4. Such water rights, wharf rights and riparian rights and privileges of those other than the insured, as may be connected with and appurtenant to the insured premises.
5. The rights of the United States Government, the State of Connecticut and the City of Bridgeport or any of their departments or agencies, to regulate and control the use of piers, bulkhead, land under water and land adjacent thereto.
6. Sewer Pipe Easement as set forth in Warranty Deed dated April 4, 1929 and recorded in Volume 608 at Page 491 of the Bridgeport Land Records, as the same may be physically located.
7. Harbor lines and pier head and bulk head lines as the same may be paid out by the United States Government.

8. Easement to the Southern Connecticut Gas Company dated June 16, 1992 and recorded in Volume 3029 at Page 232 of the Bridgeport Land Records, fixed and ascertained and does not interfere with the use of the buildings.
9. Survey entitled, "ALTA/ACSM LAND TITLE SURVEY Coastline Terminals of Connecticut, Inc. City of Bridgeport Fairfield County Connecticut", Date: 11/12/2010, Scale 1"=50', prepared by Langan Engineering & Environmental Services 555 Long Wharf Drive, New Haven, CT 06511-6107, Project No. 7660202, reveals the following:

Easterly: hatchway, elevated wooden walk, wooden barge (aground)

Deletion of Standard Exceptions: (If left blank, then no exceptions omitted.)

Standard Exceptions a,b,c & d are hereby omitted from the Owner's Policy.

Countersigned

Pro-Forma Policy

Authorized Signatory

**ENDORSEMENT ALTA 17
ACCESS and ENTRY**

Attached to Policy No. 294240058
Issued by
Chicago Title Insurance Company

The Company insures against loss or damage sustained by the insured if, at Date of Policy: (i) the Land does not abut and have both actual vehicular and pedestrian access to and from Seaview Avenue (ii) the Street is not physically open and publicly maintained, or (iii) the insured has no right to use existing curb cuts or entries along that portion of the Street abutting the land.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

Chicago Title Insurance Company

BY: _____

Pro-Forma Policy

Chicago Title Insurance Company

ALTA 9.2 – Owner's Comprehensive

Attached to and made a part of **Chicago Title Insurance Company Owner's Policy No. 294240058**

The Company insures the Insured against loss or damage sustained by reason of:

1. The existence, at Date of Policy, of any of the following unless expressly excepted in Schedule B:
 - (a) Present violations on the Land of any enforceable covenants, conditions or restrictions, or any existing improvements on the Land which violate any building setback lines shown on a plat of subdivision recorded or filed in the Public Records.
 - (b) Any instrument referred to in Schedule B as containing covenants, conditions or restrictions on the Land which, in addition, (i) establishes an easement on the Land; (ii) provides for an option to purchase, a right of first refusal or the prior approval of a future purchaser or occupant; or (iii) provides a right of reentry, possibility of reverter or right of forfeiture because of violations on the Land of any enforceable covenants, conditions or restrictions.
 - (c) Any encroachment of existing improvements located on the Land onto adjoining Land, or any encroachment onto the Land of existing improvements located on adjoining Land.
 - (d) Any encroachment of existing improvements located on the Land onto that portion of the Land subject to any easement excepted in Schedule B.
 - (e) Any notices of violation of covenants, conditions and restrictions relating to environmental protection recorded or filed in the Public Records.
2. Damage to existing buildings:
 - (a) Which are located on or encroach upon that portion of the Land subject to any easement excepted in Schedule B, which damage results from the exercise of the right to maintain the easement for the purpose for which it was granted or reserved;
 - (b) Resulting from the future exercise of any right existing at Date of Policy to use the surface of the Land for the extraction or development of minerals excepted from the description of the Land or excepted in Schedule B.
3. Any final court order or judgment requiring the removal from any Land adjoining the Land of any encroachment, other than fences, Landscaping or driveways, excepted in Schedule B.
4. Any final court order or judgment denying the right to maintain any existing building on the Land because of any violation of covenants, conditions or restrictions or building setback lines shown on a plat of subdivision recorded or filed in the Public Records.

Whenever in this endorsement the words "covenants, conditions or restrictions" appear, they shall not be deemed to refer to or include the terms, covenants, conditions or limitations contained in an instrument creating a lease.

As used in paragraph 1(a) and 4, the words "covenants, conditions or restrictions" shall not be deemed to refer to or include any covenants, conditions or restrictions relating to environmental protection.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an

express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY: _____
Authorized Signatory

Pro-Forma Policy

ALTA 9.2

Chicago Title Insurance Company

CONTIGUITY ENDORSEMENT

Attached to and made a part of Chicago Title Insurance Company Policy No. 294240058

The Company insures the Insured against loss or damage which the Insured may sustain by reason of any inaccuracy in the following assurance:

The land described in the Policy as Parcels 5B and 5 are contiguous to each other along their common boundary lines.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY: _____

Authorized Signatory

Pro-Forma Policy

Contiguity Endorsement

CHICAGO TITLE INSURANCE COMPANY

SUBDIVISION ENDORSEMENT

Attached to and made a part of Chicago Title Insurance Company Loan Policy No. 294240058.

This Policy insures the Insured against loss or damage sustained in the event that the parcels of land described in Schedule A are not lawfully created subdivided parcels according to local ordinances adopted by Bridgeport.

The total liability of the Company under said policy, binder or commitment and under this and any prior endorsements thereto shall not exceed, in the aggregate, the amount of liability stated on the face of said policy, binder or commitment, as the same may be specifically amended in dollar amount by this or any prior endorsements, and the costs which the Company is obligated to pay under the Conditions and Stipulations of this policy.

This endorsement is made a part of said policy, binder or commitment and is subject to all the terms and provisions thereof, except as modified by the provisions hereof.

Nothing herein contained shall be construed as extending or changing the effective date of the aforesaid policy, binder or commitment unless otherwise expressly stated.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY: _____
Authorized Signatory

Pro-Forma Policy

Chicago Title Insurance Company

WAIVER OF ARBITRATION ENDORSEMENT

Attached to and made a part of **Chicago Title Insurance Company Loan Policy No. 294240058**

The Policy is hereby amended by deleting paragraph no. 13 of the Conditions and Stipulations of the Policy, which item is entitled, "Arbitration".

The total liability of the Company under said policy, binder or commitment and under this and any prior endorsements thereto shall not exceed, in the aggregate, the amount of liability stated on the face of said policy, binder or commitment, as the same may be specifically amended in dollar amount by this or any prior endorsements, and the costs which the Company is obligated to pay under the Conditions and Stipulations of this policy.

This endorsement is made a part of said policy, binder or commitment and is subject to all the terms and provisions thereof, except as modified by the provisions hereof.

Nothing herein contained shall be construed as extending or changing the effective date of the aforesaid policy, binder or commitment unless otherwise expressly stated.

IN WITNESS WHEREOF, the Company has caused this Endorsement to be signed and sealed as of the date below, to be valid when countersigned by an authorized officer or agent of the Company, all in accordance with its By-Laws.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY: _____
Authorized Signatory

Pro-Forma Policy

Waiver of Arbitration

Chicago Title Insurance Company

SURVEY ENDORSEMENT

Attached to and made a part of Chicago Title Insurance Company Policy No. 294240058

10. The Company assures the Insured that said land is the same as that Survey entitled, "ALTA/ACSM LAND TITLE SURVEY Coastline Terminals of Connecticut, Inc. City of Bridgeport Fairfield County Connecticut", Date: 11/12/2010, Scale 1"=50', prepared by Langan Engineering & Environmental Services 555 Long Wharf Drive, New Haven, CT 06511-6107, Project No. 7660202, reveals the following:

Easterly: hatchway, elevated wooden walk, wooden barge (aground)

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY: _____
Authorized Signatory

Primaforma Policy

Survey Endorsement

CHICAGO TITLE INSURANCE COMPANY

TAX PARCEL ENDORSEMENT

to be completed
when new tax id
number is issued.

Attached to and made a part of Chicago Title Insurance Company Policy No. 294240058.

The Company hereby insures against loss or damage which the Insured may sustain by reason of any inaccuracy in the following assurance:

The Land described in the Policy is assessed under the following Tax I.D. No.: 04-0054020. All of the Insured Land is included within the listed Tax I.D. No. which does not include any additional Land. Any part of the Insured Land which is an Insured easement is not included in the insurance provided herein.

The total liability of the Company under said policy, binder or commitment and under this and any prior endorsements thereto shall not exceed, in the aggregate, the amount of liability stated on the face of said policy, binder or commitment, as the same may be specifically amended in dollar amount by this or any prior endorsements, and the costs which the Company is obligated to pay under the Conditions of this policy.

This endorsement is made a part of said policy, binder or commitment and is subject to all the terms and provisions thereof, except as modified by the provisions hereof.

Nothing herein contained shall be construed as extending or changing the effective date of the aforesaid policy, binder or commitment unless otherwise expressly stated.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY: _____
Authorized Signatory

PIO-Forma Policy

Tax Parcel Endorsement

ENDORSEMENT

Attached to and forming a part of
Policy No. Issued by 294240058
CHICAGO TITLE INSURANCE COMPANY

This policy affirmatively insures the insured that the premises described within Schedule A (the "Property") contains riparian and littoral rights in the waters adjoining the Property as more particularly shown in the ALTA Land Title Survey Project No. 7660202 and dated March 20, 2009, last revised October 26, 2010, until the point at which such waters become navigable. Said riparian rights are subject to the following:

1) No title is insured to any land lying in the bed of Long Island Sound its arms, branches, tributaries or lying, now or formerly, below the present or former high water mark.

However, this policy further affirmatively insures the insured against loss or damage sustained by the insured based upon the forced removal of, or the interference with, the buildings and improvements currently located upon the Property based upon a claim that said buildings and improvements were built on land lying below the a former or present high water mark.

2) The rights of the United States Government, the State of Connecticut and the City/Town of Bridgeport, or any of their departments or agencies, to regulate and control the use of piers, bulkheads, land under water and land adjacent thereto; and

This policy further affirmatively insures that said riparian and littoral rights have not been deeded out or otherwise conveyed out to any third party via any instrument recorded on any public records

This endorsement is made a part of the policy or commitment and is subject to all the terms and provisions thereof and of any prior endorsements thereto. Except to the extent expressly stated, it neither modifies any of the terms and provisions of the policy or commitment and prior endorsements, if any, nor does it extend the effective date of the policy or commitment and prior endorsements or increase the face amount thereof.

Pro-Forma Policy

Authorized Signatory

Your Ref: 120900136-535 Seaview Ave, Bridgeport, CT

Policy No: 294240058

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;
 or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters:
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) The term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,
 - (2) if the grantee wholly owns the named Insured,

- (3) if the grantee is wholly-owned by an affiliated Entity of the named Insured, provided the affiliated Entity and the named Insured are both wholly-owned by the same person or Entity, or
- (4) if the grantee is a trustee or beneficiary of a trust created by a written instrument established by the Insured named in Schedule A for estate planning purposes.

- (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
- (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.

- (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.
- (j) "Title": The estate or interest described in Schedule A.
- (k) "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

Your Ref: 120900136-535 Seaview Ave, Bridgeport, CT

Policy No: 2942-40C58

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

(a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.

(b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

(c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the

Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal from any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

(a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title of any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

(b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental

regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance.
To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in this subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

(i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or

(ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

- (i) the Amount of Insurance; or
- (ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

Your Ref: 120900136-535 Seaview Ave, Bridgeport, CT

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- (b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,
- (i) the Amount of Insurance shall be increased by 10%, and
- (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.
- (c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.
- 9. LIMITATION OF LIABILITY**
- (a) If the Company establishes the Title, or removes the alleged defect, lien or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.
- (b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.
- (c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.
- 10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY**
- All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.
- 11. LIABILITY NONCUMULATIVE**
- The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.
- 12. PAYMENT OF LOSS**
- When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.
- 13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT**
- (a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies. If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.
- (b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.
- 14. ARBITRATION**
- Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.
- 15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT**
- (a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.
- (b) Any claim of loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.
- (c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.
- (d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.
- 16. SEVERABILITY**
- In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.
- 17. CHOICE OF LAW; FORUM**
- (a) Choice of Law: The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located. Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.
- (b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.
- 18. NOTICES, WHERE SENT**
- Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at:
- Chicago Title Insurance Company
Attn: Claims Department
P.O. Box 45023
Jacksonville, FL 32232-5023

CHICAGO TITLE INSURANCE COMPANY

711 Third Avenue, 5th Floor, New York, New York 10017

T: (212) 880-1257; F: (212) 880-9709

Lisa.zicchinella@ctt.com



September 22, 2011

VIA OVERNIGHT MAIL

Corey Tarzik

Blank Rome LLP

The Chrysler Building

405 Lexington Avenue

New York, NY 10174-0208

**Re: Blank Rome – Seaview Ave, Bridgeport, CT
Our no. 120900136**

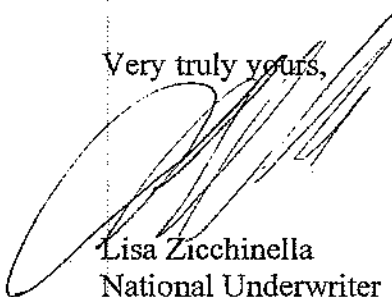
Dear Corey:

In connection with the above referenced transaction, enclosed please find the following documents:

- Original Owner's Policy

If you have any questions or comments on the enclosed, do not hesitate to contact the undersigned.

Very truly yours,



Lisa Zicchinella
National Underwriter

Enclosures

Your Ref: 120900136-Seaview Ave.Bridgeport,Ct

Policy No: 2942-40058

OWNER'S POLICY OF TITLE INSURANCE

Issued by

CHICAGO TITLE INSURANCE COMPANY

Any notice of claim and any other notice or statement in writing required to be given the Company under this Policy must be given to the Company at the address shown in Section 18 of the Conditions.

COVERED RISKS

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B, AND THE CONDITIONS, CHICAGO TITLE INSURANCE COMPANY, a Nebraska corporation (the Company) insures, as of Date of Policy and, to the extent stated in Covered Risks 9 and 10, after Date of Policy, against loss or damage, not exceeding the Amount of Insurance, sustained or incurred by the Insured by reason of:

1. Title being vested other than as stated in Schedule A.
2. Any defect in or lien or encumbrance on the Title. This Covered Risk includes but is not limited to insurance against loss from
 - (a) A defect in the Title caused by
 - (i) forgery, fraud, undue influence, duress, incompetency, incapacity, or impersonation;
 - (ii) failure of any person or Entity to have authorized a transfer or conveyance;
 - (iii) a document affecting Title not properly created, executed, witnessed, sealed, acknowledged, notarized, or delivered;
 - (iv) failure to perform those acts necessary to create a document by electronic means authorized by law;
 - (v) a document executed under a falsified, expired, or otherwise invalid power of attorney;
 - (vi) a document not properly filed, recorded, or indexed in the Public Records including failure to perform those acts by electronic means authorized by law; or
 - (vii) a defective judicial or administrative proceeding.
 - (b) The lien of real estate taxes or assessments imposed on the Title by a governmental authority due or payable, but unpaid.
 - (c) Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land.
3. Unmarketable Title.
4. No right of access to and from the Land.
5. The violation or enforcement of any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (a) the occupancy, use, or enjoyment of the Land;
 - (b) the character, dimensions, or location of any improvement erected on the Land;

Your Ref: 120900136-Seaview Ave.Bridgeport,Ct

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- (c) the subdivision of land; or
- (d) environmental protection

if a notice, describing any part of the Land, is recorded in the Public Records setting forth the violation or intention to enforce, but only to the extent of the violation or enforcement referred to in that notice.

6. An enforcement action based on the exercise of a governmental police power not covered by Covered Risk 5 if a notice of the enforcement action, describing any part of the Land, is recorded in the Public Records, but only to the extent of the enforcement referred to in that notice.
7. The exercise of the rights of eminent domain if a notice of the exercise, describing any part of the Land, is recorded in the Public Records.
8. Any taking by a governmental body that has occurred and is binding on the rights of a purchaser for value without Knowledge.
9. Title being vested other than as stated Schedule A or being defective
 - (a) as a result of the avoidance in whole or in part, or from a court order providing an alternative remedy, of a transfer of all or any part of the title to or any interest in the Land occurring prior to the transaction vesting Title as shown in Schedule A because that prior transfer constituted a fraudulent or preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws; or
 - (b) because the instrument of transfer vesting Title as shown in Schedule A constitutes a preferential transfer under federal bankruptcy, state insolvency, or similar creditors' rights laws by reason of the failure of its recording in the Public Records
 - (i) to be timely, or
 - (ii) to impart notice of its existence to a purchaser for value or to a judgment or lien creditor.
10. Any defect in or lien or encumbrance on the Title or other matter included in Covered Risks 1 through 9 that has been created or attached or has been filed or recorded in the Public Records subsequent to Date of Policy and prior to the recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

The Company will also pay the costs, attorneys' fees, and expenses incurred in defense of any matter insured against by this Policy, but only to the extent provided in the Conditions.

IN WITNESS WHEREOF, CHICAGO TITLE INSURANCE COMPANY has caused this policy to be signed and sealed by its duly authorized officers.

Issued by:
 CHICAGO TITLE INSURANCE COMPANY
 TWO CORPORATE DRIVE #144
 SHELTON, CT 06484
 Tel (203)324-5767 Fax (203)358-8974

CHICAGO TITLE INSURANCE COMPANY



By: *Raymond R. Quirk*
 Raymond R. Quirk
 President

Countersigned

[Signature]

 Authorized Signatory

By: *Michael J. Gravelle*

 Michael J. Gravelle
 Secretary

**CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY FORM
SCHEDULE A**

POLICY JACKET NUMBER
2942-40058

DATE OF POLICY
January 27, 2011

AMOUNT OF INSURANCE
\$4,200,000.00

1. Name of Insured:
Barnum Landing, LLC, a Connecticut limited liability company

2. Your interest in the land which is covered by this policy is:

Fee Simple

Subject to:

and the matters shown in Schedule B.

3. The land referred to in this policy is located at:

Address: **567-589 Seaview Avenue**
City/Town: **Bridgeport**
County: **Fairfield**
State: **Connecticut**

and is described on the description sheet attached hereto.

This policy valid only if Schedule B is attached.

CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY FORM
SCHEDULE A
(LEGAL DESCRIPTION)

Policy Jacket Number: 294240058

PARCEL 1:

BLOCK 664 LOT 5B

Beginning at a point in the westerly street line of Seaview Avenue, said point being 246 feet ± northwesterly from the intersection of the westerly street line of Seaview Avenue and the northerly street line of Newfield Avenue, and running thence:

Along the lands n/f Coastline Terminals of Connecticut, Inc. identified as Lot B, South 34°19'04" West a distance of 323.34 feet ±, to the mean high water line of Bridgeport Harbor, thence; in a generally westerly direction, along the mean high water line of Bridgeport Harbor, 563 feet, more or less, to a point in the face of the bulkhead, thence; in a generally northwesterly direction, along the face of the bulkhead, 480 feet ±, to the mean high water line, thence;

In a generally easterly, northerly and westerly direction, along the mean high water line of Bridgeport Harbor, 113 feet ±, to a point, thence;

North 42°53'11" East a distance of 26 feet ±, to a point, thence;

South 47°06'49" East a distance of 115.37 feet, to a point, thence;

North 42°53'11" East a distance of 410.68 feet to a point, thence;

North 47°06'49" West a distance of 171.98 feet to a point, thence;

North 55°06'30" East a distance of 291.21 feet to a point, thence;

South 78°00'37" East a distance of 124.25 feet, to a point, the last 6 courses being along the land n/f

Coastline Terminals of Connecticut, Inc., identified as Lot B, to a point on the aforementioned westerly street line of Seaview Avenue, thence;

Along said westerly street line of Seaview Avenue, Southerly along a curve to the left, having an arc distance of 262.14 feet, a radius of 478.48 feet and a central angle of 31°23'26" and being subtended by a chord which bears South 03°42'05" East 258.87 feet to a point, thence

Continuing along the westerly street line of Seaview Avenue along a curve to the left, having an arc distance of 240.38 feet, a radius 380.05 feet and a central angle of 36°14'19" and being subtended by a chord which bears South 37°31'02" East 236.39 feet to a point, thence;

Continuing along the westerly street line of Seaview Avenue, South 55°38'12" East a distance of 28.76 feet, to the Point of Beginning.

Enccompassing an area of 12,400 square feet ± or 8.584 acres more or less.

PARCEL 2:

BLOCK 664 LOT B

Beginning at a point in the southwesterly street line of Seaview Avenue, said point being distant 196 feet ± northwesterly from the intersection of the southwesterly street line of Seaview Avenue and the westerly street line of Newfield Avenue, and running the following courses and distances;

Along the lands n/f Joaquín Matias & Gary Matias, South 34°19'04" West, a distance of 210.01 feet ±, to a point on the mean high water line, thence;

In a generally westerly direction, along the mean high water line of Bridgeport Harbor, 150 feet ±, to a point, thence;

Along the lands n/f Coastline Terminals of Connecticut, Inc. identified as Lot 5B, North 34°19'04" East a distance of 323.34 feet ±, to a point on the aforementioned westerly street line of Seaview Avenue, thence;

Along the southwesterly street line of Seaview Avenue South 55°38'11" East a distance of 50.00 feet, to the Point of Beginning.

Enccompassing an area of 12,400 square feet ± or 0.285 acres, more or less.

These descriptions are prepared in accordance with the drawing titled "Land Division Map", prepared by Langan Engineering & Environmental Services dated 06/15/2010, revised 11/08/10, which map has been or will be filed with the Bridgeport Town Clerk.

Said parcels are transferred together with all littoral rights and riparian rights which appertain to the Property, as more particularly shown on the drawing referenced above.

**CHICAGO TITLE INSURANCE COMPANY
OWNER'S POLICY FORM
SCHEDULE B**

Policy Jacket Number: 294240058

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

STANDARD EXCEPTIONS:

- (a) Rights of present tenants, lessees or parties in possession.
- (b) Any liability for mechanics' or materialmen's liens.
- (c) Discrepancies, conflicts in boundary lines, shortage in area, encroachments, adverse possession and any facts which an accurate survey and inspection of the premises would disclose.
- (d) Taxes or special assessments which are not shown as existing liens by the public records.

Additional Title Exceptions are as follows:

1. Taxes to the City/Town of Bridgeport on the Grand List of October 1, 2010 and subsequent lists, however this policy insures that said taxes are current and the next payment is not yet due and payable.
2. Rights and Easements in favor of the State of Connecticut set forth in a deed dated April 16, 1998 and recorded in Volume 3915 at Page 311 of the Bridgeport Land Records.
3. Any portion of the premises lying below the shoreline, bulkhead lines, or pier lines as shown on maps entitled "New Haven Terminal, Inc., Seaview Avenue and Oekalb Avenue, Bridgeport, Connecticut" dated June 21, 1996 by TPA Design Group, which map is on file in the Bridgeport Land Records.
4. Such water rights, wharf rights and riparian rights and privileges of those other than the insured, as may be connected with and appurtenant to the insured premises.
5. The rights of the United States Government, the State of Connecticut and the City of Bridgeport or any of their departments or agencies, to regulate and control the use of piers, bulkhead, land under water and land adjacent thereto.
6. Sewer Pipe Easement as set forth in Warranty Deed dated April 4, 1929 and recorded in Volume 608 at Page 491 of the Bridgeport Land Records, as the same may be physically located.
7. Harbor lines and pier head and bulk head lines as the same may be paid out by the United States Government.

8. Easement to the Southern Connecticut Gas Company dated June 16, 1992 and recorded in Volume 3029 at Page 232 of the Bridgeport Land Records, fixed and ascertained and does not interfere with the use of the buildings.
9. Survey entitled, "ALTA/ACSM LAND TITLE SURVEY Coastline Terminals of Connecticut, Inc. City of Bridgeport Fairfield County Connecticut", Date: 11/12/2010, Scale 1"=50', prepared by Langan Engineering & Environmental Services 555 Long Wharf Drive, New Haven, CT 06511-6107 , Project No. 7660202, reveals the following:

Easterly: hatchway, elevated wooden walk, wooden barge (aground)

Deletion of Standard Exceptions: (If left blank, then no exceptions omitted.)

Standard Exceptions a,b,c & d are hereby omitted from the Owner's Policy.

Countersigned



Authorized Signatory

**ENDORSEMENT ALTA 17
ACCESS and ENTRY**

Attached to Policy No. 294240058
Issued by
Chicago Title Insurance Company


The Company insures against loss or damage sustained by the insured if, at Date of Policy: (i) the Land does not abut and have both actual vehicular and pedestrian access to and from Seaview Avenue (ii) the Street is not physically open and publicly maintained, or (iii) the insured has no right to use existing curb cuts or entries along that portion of the Street abutting the land.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

Chicago Title Insurance Company

BY: _____



Chicago Title Insurance Company

ALTA 9.2 – Owner's Comprehensive

Attached to and made a part of **Chicago Title Insurance Company Owner's Policy No. 294240058**

The Company insures the Insured against loss or damage sustained by reason of:

1. The existence, at Date of Policy, of any of the following unless expressly excepted in Schedule B:
 - (a) Present violations on the Land of any enforceable covenants, conditions or restrictions, or any existing improvements on the Land which violate any building setback lines shown on a plat of subdivision recorded or filed in the Public Records.
 - (b) Any instrument referred to in Schedule B as containing covenants, conditions or restrictions on the Land which, in addition, (i) establishes an easement on the Land; (ii) provides for an option to purchase, a right of first refusal or the prior approval of a future purchaser or occupant; or (iii) provides a right of reentry, possibility of reverter or right of forfeiture because of violations on the Land of any enforceable covenants, conditions or restrictions.
 - (c) Any encroachment of existing improvements located on the Land onto adjoining Land, or any encroachment onto the Land of existing improvements located on adjoining Land.
 - (d) Any encroachment of existing improvements located on the Land onto that portion of the Land subject to any easement excepted in Schedule B.
 - (e) Any notices of violation of covenants, conditions and restrictions relating to environmental protection recorded or filed in the Public Records.
2. Damage to existing buildings:
 - (a) Which are located on or encroach upon that portion of the Land subject to any easement excepted in Schedule B, which damage results from the exercise of the right to maintain the easement for the purpose for which it was granted or reserved;
 - (b) Resulting from the future exercise of any right existing at Date of Policy to use the surface of the Land for the extraction or development of minerals excepted from the description of the Land or excepted in Schedule B.
3. Any final court order or judgment requiring the removal from any Land adjoining the Land of any encroachment, other than fences, Landscaping or driveways, excepted in Schedule B.
4. Any final court order or judgment denying the right to maintain any existing building on the Land because of any violation of covenants, conditions or restrictions or building setback lines shown on a plat of subdivision recorded or filed in the Public Records.

Whenever in this endorsement the words "covenants, conditions or restrictions" appear, they shall not be deemed to refer to or include the terms, covenants, conditions or limitations contained in an instrument creating a lease.

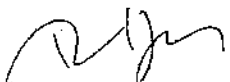
As used in paragraph 1(a) and 4, the words "covenants, conditions or restrictions" shall not be deemed to refer to or include any covenants, conditions or restrictions relating to environmental protection.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an

express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY:  _____
Authorized Signatory

ALTA 9.2

Chicago Title Insurance Company

CONTIGUITY ENDORSEMENT

Attached to and made a part of Chicago Title Insurance Company Policy No. 294240058

The Company insures the Insured against loss or damage which the Insured may sustain by reason of any inaccuracy in the following assurance:

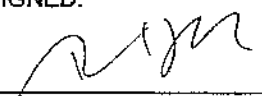
The land described in the Policy as Parcels 5B and 5 are contiguous to each other along their common boundary lines.

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY:



Authorized Signatory

Contiguity Endorsement

CHICAGO TITLE INSURANCE COMPANY

SUBDIVISION ENDORSEMENT

Attached to and made a part of Chicago Title Insurance Company Loan Policy No. 294240058.

This Policy insures the Insured against loss or damage sustained in the event that the parcels of land described in Schedule A are not lawfully created subdivided parcels according to local ordinances adopted by Bridgeport.

The total liability of the Company under said policy, binder or commitment and under this and any prior endorsements thereto shall not exceed, in the aggregate, the amount of liability stated on the face of said policy, binder or commitment, as the same may be specifically amended in dollar amount by this or any prior endorsements, and the costs which the Company is obligated to pay under the Conditions and Stipulations of this policy.

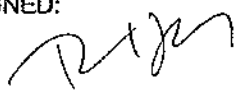
This endorsement is made a part of said policy, binder or commitment and is subject to all the terms and provisions thereof, except as modified by the provisions hereof.

Nothing herein contained shall be construed as extending or changing the effective date of the aforesaid policy, binder or commitment unless otherwise expressly stated.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY:



Authorized Signatory

Chicago Title Insurance Company

WAIVER OF ARBITRATION ENDORSEMENT

Attached to and made a part of Chicago Title Insurance Company Loan Policy No. 294240058

The Policy is hereby amended by deleting paragraph no. 13 of the Conditions and Stipulations of the Policy, which item is entitled, "Arbitration".

The total liability of the Company under said policy, binder or commitment and under this and any prior endorsements thereto shall not exceed, in the aggregate, the amount of liability stated on the face of said policy, binder or commitment, as the same may be specifically amended in dollar amount by this or any prior endorsements, and the costs which the Company is obligated to pay under the Conditions and Stipulations of this policy.

This endorsement is made a part of said policy, binder or commitment and is subject to all the terms and provisions thereof, except as modified by the provisions hereof.

Nothing herein contained shall be construed as extending or changing the effective date of the aforesaid policy, binder or commitment unless otherwise expressly stated.

IN WITNESS WHEREOF, the Company has caused this Endorsement to be signed and sealed as of the date below, to be valid when countersigned by an authorized officer or agent of the Company, all in accordance with its By-Laws.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY: 

Authorized Signatory

Waiver of Arbitration

Chicago Title Insurance Company
SURVEY ENDORSEMENT

Attached to and made a part of Chicago Title Insurance Company Policy No. 294240058

- 10.** The Company assures the Insured that said land is the same as that Survey entitled, "ALTA/ACSM LAND TITLE SURVEY Coastline Terminals of Connecticut, Inc. City of Bridgeport Fairfield County Connecticut", Date: 11/12/2010, Scale 1"=50', prepared by Langan Engineering & Environmental Services 555 Long Wharf Drive, New Haven, CT 06511-6107, Project No. 7660202, reveals the following:

Easterly: hatchway, elevated wooden walk, wooden barge (aground)

This endorsement is issued as part of the policy. Except as it expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsements, (iii) extend the Date of Policy or (iv) increase the Amount of Insurance. To the extent a provision of the policy or a previous endorsement is inconsistent with an express provision of this endorsement, this endorsement controls. Otherwise, this endorsement is subject to all of the terms and provisions of the policy and of any prior endorsements.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY: _____

Authorized Signatory

Survey Endorsement

CHICAGO TITLE INSURANCE COMPANY

TAX PARCEL ENDORSEMENT

Attached to and made a part of **Chicago Title Insurance Company Policy No. 294240058.**

The Company hereby insures against loss or damage which the Insured may sustain by reason of any inaccuracy in the following assurance:

The Land described in the Policy is assessed under the following Tax I.D. No.: **(TO BE COMPLETED WHEN NEW TAX ID NUMBER IS ISSUED)**. All of the Insured Land is included within the listed Tax I.D. No. which does not include any additional Land. Any part of the Insured Land which is an Insured easement is not included in the insurance provided herein.

The total liability of the Company under said policy, binder or commitment and under this and any prior endorsements thereto shall not exceed, in the aggregate, the amount of liability stated on the face of said policy, binder or commitment, as the same may be specifically amended in dollar amount by this or any prior endorsements, and the costs which the Company is obligated to pay under the Conditions of this policy.

This endorsement is made a part of said policy, binder or commitment and is subject to all the terms and provisions thereof, except as modified by the provisions hereof.

Nothing herein contained shall be construed as extending or changing the effective date of the aforesaid policy, binder or commitment unless otherwise expressly stated.

IN WITNESS WHEREOF, the Company has caused its corporate name and seal to be affixed hereto by its duly authorized officers.

COUNTERSIGNED:

BY: 

Authorized Signatory

Tax Parcel Endorsement

ENDORSEMENT

Attached to and forming a part of
Policy No. Issued by 294240058
CHICAGO TITLE INSURANCE COMPANY

This policy affirmatively insures the insured that the premises described within Schedule A (the "Property") contains riparian and littoral rights in the waters adjoining the Property as more particularly shown in the ALTA Land Title Survey Project No. 7660202 and dated March 20, 2009, last revised October 26, 2010, until the point at which such waters become navigable. Said riparian rights are subject to the following:

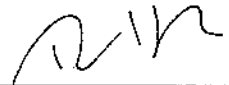
1) No title is insured to any land lying in the bed of Long Island Sound its arms, branches, tributaries or lying, now or formerly, below the present or former high water mark.

However, this policy further affirmatively insures the insured against loss or damage sustained by the insured based upon the forced removal of, or the interference with, the buildings and improvements currently located upon the Property based upon a claim that said buildings and improvements were built on land lying below the a former or present high water mark.

2) The rights of the United States Government, the State of Connecticut and the City/Town of Bridgeport, or any of their departments or agencies, to regulate and control the use of piers, bulkheads, land under water and land adjacent thereto; and

This policy further affirmatively insures that said riparian and littoral rights have not been deeded out or otherwise conveyed out to any third party via any instrument recorded on any public records

This endorsement is made a part of the policy or commitment and is subject to all the terms and provisions thereof and of any prior endorsements thereto. Except to the extent expressly stated, it neither modifies any of the terms and provisions of the policy or commitment and prior endorsements, if any, nor does it extend the effective date of the policy or commitment and prior endorsements or increase the face amount thereof.



Authorized Signatory

Your Ref: 120900136-Seaview Ave.Bridgeport,Ct

Policy No: 294240058

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to
 - (i) the occupancy, use, or enjoyment of the Land;
 - (ii) the character, dimensions or location of any improvement erected on the Land;
 - (iii) the subdivision of land; or
 - (iv) environmental protection;
 or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- (b) Any governmental police power. This Exclusion does not modify or limit the coverage provided under Covered Risk 6.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims, or other matters:
 - (a) created, suffered, assumed, or agreed to by the Insured Claimant;
 - (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
 - (c) resulting in no loss or damage to the Insured Claimant;
 - (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or
 - (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is
 - (a) a fraudulent conveyance or fraudulent transfer; or
 - (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.

CONDITIONS

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

- (a) "Amount of Insurance": The amount stated in Schedule A, as may be increased or decreased by endorsement to this policy, increased by Section 8(b), or decreased by Sections 10 and 11 of these Conditions.
- (b) "Date of Policy": The date designated as "Date of Policy" in Schedule A.
- (c) "Entity": A corporation, partnership, trust, limited liability company, or other similar legal entity.
- (d) "Insured": The Insured named in Schedule A.
 - (i) The term "Insured" also includes
 - (A) successors to the Title of the Insured by operation of law as distinguished from purchase, including heirs, devisees, survivors, personal representatives, or next of kin;
 - (B) successors to an Insured by dissolution, merger, consolidation, distribution, or reorganization;
 - (C) successors to an Insured by its conversion to another kind of Entity;
 - (D) a grantee of an Insured under a deed delivered without payment of actual valuable consideration conveying the Title
 - (1) if the stock, shares, memberships, or other equity interests of the grantee are wholly-owned by the named Insured,
 - (2) if the grantee wholly owns the named Insured,
 - (ii) With regard to (A), (B), (C), and (D) reserving, however, all rights and defenses as to any successor that the Company would have had against any predecessor Insured.
- (e) "Insured Claimant": An Insured claiming loss or damage.
- (f) "Knowledge" or "Known": Actual knowledge, not constructive knowledge or notice that may be imputed to an Insured by reason of the Public Records or any other records that impart constructive notice of matters affecting the Title.
- (g) "Land": The land described in Schedule A, and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is insured by this policy.
- (h) "Mortgage": Mortgage, deed of trust, trust deed, or other security instrument, including one evidenced by electronic means authorized by law.
- (i) "Public Records": Records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge. With respect to Covered Risk 5(d), "Public Records" shall also include environmental protection liens filed in the records of the clerk of the United States District Court for the district where the Land is located.
- (j) "Title": The estate or interest described in Schedule A.
- (k) "Unmarketable Title": Title affected by an alleged or apparent matter that would permit a prospective purchaser or lessee of the Title or lender on the Title to be released from the obligation to purchase, lease, or lend if there is a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE

The coverage of this policy shall continue in force as of Date of Policy in favor of an Insured, but only so long as the Insured retains an estate or interest in the Land, or holds an obligation secured by a purchase money Mortgage given by a purchaser from the Insured, or only so long as the Insured shall have liability by reason of warranties in any transfer or conveyance of the Title. This policy shall not continue in force in favor of any purchaser from the Insured of either (i) an estate or interest in the Land, or (ii) an obligation secured by a purchase money Mortgage given to the Insured.

Your Ref: 120900136-Seaview Ave.Bridgeport,Ct

Policy No: 2942-40058

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The Insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 5(a) of these Conditions, (ii) in case Knowledge shall come to an Insured hereunder of any claim of title or interest that is adverse to the Title, as insured, and that might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if the Title, as insured, is rejected as Unmarketable Title. If the Company is prejudiced by the failure of the Insured Claimant to provide prompt notice, the Company's liability to the Insured Claimant under the policy shall be reduced to the extent of the prejudice.

4. PROOF OF LOSS

In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Insured Claimant furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter insured against by this policy that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.

5. DEFENSE AND PROSECUTION OF ACTIONS

(a) Upon written request by the Insured, and subject to the options contained in Section 7 of these Conditions, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an Insured in litigation in which any third party asserts a claim covered by this policy adverse to the Insured. This obligation is limited to only those stated causes of action alleging matters insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the Insured to object for reasonable cause) to represent the Insured as to those stated causes of action. It shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs, or expenses incurred by the Insured in the defense of those causes of action that allege matters not insured against by this policy.

(b) The Company shall have the right, in addition to the options contained in Section 7 of these Conditions, at its own cost, to institute and prosecute any action or proceeding or to do any other act that in its opinion may be necessary or desirable to establish the Title, as insured, or to prevent or reduce loss or damage to the Insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable to the Insured. The exercise of these rights shall not be an admission of liability or waiver of any provision of this policy. If the Company exercises its rights under this subsection, it must do so diligently.

(c) Whenever the Company brings an action or asserts a defense as required or permitted by this policy, the

Company may pursue the litigation to a final determination by a court of competent jurisdiction, and it expressly reserves the right, in its sole discretion, to appeal from any adverse judgment or order.

6. DUTY OF INSURED CLAIMANT TO COOPERATE

(a) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding and any appeals, the Insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, including the right to use, at its option, the name of the Insured for this purpose. Whenever requested by the Company, the Insured, at the Company's expense, shall give the Company all reasonable aid (i) in securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act that in the opinion of the Company may be necessary or desirable to establish the Title or any other matter as insured. If the Company is prejudiced by the failure of the Insured to furnish the required cooperation, the Company's obligations to the Insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

(b) The Company may reasonably require the Insured Claimant to submit to examination under oath by any authorized representative of the Company and to produce for examination, inspection, and copying, at such reasonable times and places as may be designated by the authorized representative of the Company, all records, in whatever medium maintained, including books, ledgers, checks, memoranda, correspondence, reports, e-mails, disks, tapes, and videos whether bearing a date before or after Date of Policy, that reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Insured Claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect, and copy all of these records in the custody or control of a third party that reasonably pertain to the loss or damage. All information designated as confidential by the Insured Claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Insured Claimant to submit for examination under oath, produce any reasonably requested information, or grant permission to secure reasonably necessary information from third parties as required in this subsection, unless prohibited by law or governmental

regulation, shall terminate any liability of the Company under this policy as to that claim.

7. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance.
To pay or tender payment of the Amount of Insurance under this policy together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations of the Company to the Insured under this policy, other than to make the payment required in this subsection, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

(b) To Pay or Otherwise Settle With Parties Other Than the Insured or With the Insured Claimant.

(i) To pay or otherwise settle with other parties for or in the name of an Insured Claimant any claim insured against under this policy. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay; or

(ii) To pay or otherwise settle with the Insured Claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees, and expenses incurred by the Insured Claimant that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in subsections (b)(i) or (ii), the Company's obligations to the Insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation.

8. DETERMINATION AND EXTENT OF LIABILITY

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Insured Claimant who has suffered loss or damage by reason of matters insured against by this policy.

(a) The extent of liability of the Company for loss or damage under this policy shall not exceed the lesser of

- (i) the Amount of Insurance; or
- (ii) the difference between the value of the Title as insured and the value of the Title subject to the risk insured against by this policy.

Your Ref: 120900136-Seaview Ave.Bridgeport,Ct

Policy No: 2942-40058

- (b) If the Company pursues its rights under Section 5 of these Conditions and is unsuccessful in establishing the Title, as insured,
- (i) the Amount of Insurance shall be increased by 10%, and
- (ii) the Insured Claimant shall have the right to have the loss or damage determined either as of the date the claim was made by the Insured Claimant or as of the date it is settled and paid.
- (c) In addition to the extent of liability under (a) and (b), the Company will also pay those costs, attorneys' fees, and expenses incurred in accordance with Sections 5 and 7 of these Conditions.
- 9. LIMITATION OF LIABILITY**
- (a) If the Company establishes the Title, or removes the alleged defect, lien or encumbrance, or cures the lack of a right of access to or from the Land, or cures the claim of Unmarketable Title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused to the Insured.
- (b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals, adverse to the Title, as insured.
- (c) The Company shall not be liable for loss or damage to the Insured for liability voluntarily assumed by the Insured in settling any claim or suit without the prior written consent of the Company.
- 10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY**
- All payments under this policy, except payments made for costs, attorneys' fees, and expenses, shall reduce the Amount of Insurance by the amount of the payment.
- 11. LIABILITY NONCUMULATIVE**
- The Amount of Insurance shall be reduced by any amount the Company pays under any policy insuring a Mortgage to which exception is taken in Schedule B or to which the Insured has agreed, assumed, or taken subject, or which is executed by an Insured after Date of Policy and which is a charge or lien on the Title, and the amount so paid shall be deemed a payment to the Insured under this policy.
- 12. PAYMENT OF LOSS**
- When liability and the extent of loss or damage have been definitely fixed in accordance with these Conditions, the payment shall be made within 30 days.
- 13. RIGHTS OF RECOVERY UPON PAYMENT OR SETTLEMENT**
- (a) Whenever the Company shall have settled and paid a claim under this policy, it shall be subrogated and entitled to the rights of the Insured Claimant in the Title and all other rights and remedies in respect to the claim that the Insured Claimant has against any person or property, to the extent of the amount of any loss, costs, attorneys' fees, and expenses paid by the Company. If requested by the Company, the Insured Claimant shall execute documents to evidence the transfer to the Company of these rights and remedies. The Insured Claimant shall permit the Company to sue, compromise, or settle in the name of the Insured Claimant and to use the name of the Insured Claimant in any transaction or litigation involving these rights and remedies.
- If a payment on account of a claim does not fully cover the loss of the Insured Claimant, the Company shall defer the exercise of its right to recover until after the Insured Claimant shall have recovered its loss.
- (b) The Company's right of subrogation includes the rights of the Insured to indemnities, guaranties, other policies of insurance, or bonds, notwithstanding any terms or conditions contained in those instruments that address subrogation rights.
- 14. ARBITRATION**
- Either the Company or the Insured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Insured arising out of or relating to this policy, any service in connection with its issuance or the breach of a policy provision, or to any other controversy or claim arising out of the transaction giving rise to this policy. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured. All arbitrable matters when the Amount of Insurance is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Insured. Arbitration pursuant to this policy and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.
- 15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT**
- (a) This policy together with all endorsements, if any, attached to it by the Company is the entire policy and contract between the Insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.
- (b) Any claim of loss or damage that arises out of the status of the Title or by any action asserting such claim shall be restricted to this policy.
- (c) Any amendment of or endorsement to this policy must be in writing and authenticated by an authorized person, or expressly incorporated by Schedule A of this policy.
- (d) Each endorsement to this policy issued at any time is made a part of this policy and is subject to all of its terms and provisions. Except as the endorsement expressly states, it does not (i) modify any of the terms and provisions of the policy, (ii) modify any prior endorsement, (iii) extend the Date of Policy, or (iv) increase the Amount of Insurance.
- 16. SEVERABILITY**
- In the event any provision of this policy, in whole or in part, is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.
- 17. CHOICE OF LAW; FORUM**
- (a) Choice of Law: The Insured acknowledges the Company has underwritten the risks covered by this policy and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of policies of title insurance of the jurisdiction where the Land is located. Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims against the Title that are adverse to the Insured and to interpret and enforce the terms of this policy. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.
- (b) Choice of Forum: Any litigation or other proceeding brought by the Insured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.
- 18. NOTICES, WHERE SENT**
- Any notice of claim and any other notice or statement in writing required to be given to the Company under this policy must be given to the Company at:
- Chicago Title Insurance Company
Attn: Claims Department
P.O. Box 45023
Jacksonville, FL 32232-5023

CHICAGO TITLE INSURANCE COMPANY

601 Riverside Avenue • Building 5, Fourth Floor • Jacksonville, FL 32204 •
(888) 453-4095



Cynthia Baines
Phone: (904) 854-8104
Facsimile: (904) 633-3060
Cynthia.Baines@fnf.com

August 24, 2017

VIA EMAIL: BuMcAlli@McAllisterTowing.com

VIA U.S. MAIL

Mr. Buckley McAllister, President
McAllister Towing and Transportation Company, Inc.
17 Battery Place, Suite 1200
New York, NY 10004

RE: **Claim Number:** 589001
Policy: 2942-40058
Insured: Barnum Landing, LLC
Property: 567-589 Seaview Ave, Bridgeport, CT

Dear Mr. McAllister:

As you know, I am senior claims counsel for Chicago Title Insurance Company (the "Company") and this claim has been assigned to me for administration. As set forth more fully below, because there is no current challenge to the title as insured, no action is required of the Company at this time.

An owner's policy of title insurance, Policy No. 2942-40058 (the "Policy") with a Policy Date of January 21, 2011 was issued to Barnum Landing, LLC (the "Insured") insuring title to the property commonly referred to as 567-589 Seaview Avenue, Bridgeport, Connecticut 06607 (the "Property"), subject to the terms and conditions of said Policy.¹

It is my understanding that in the process of redeveloping the Property, the Insured discovered a collapsed sanitary sewer line running across the Property. It is believed that the sewer line is the property of the City of Bridgeport and/or its municipal subdivision, or agent, the Water Pollution Control Authority of the City of Bridgeport. However, the City of Bridgeport has thus far not claimed any easement or other recorded instrument purporting to provide the City any rights in the Insured Property related to the sewer line in question. The Company understands that the Insured is proceeding with development and cleanup of the Property on the basis that any rights of the City of Bridgeport related to the subject sewer line have been abandoned.

¹ It is my understanding that McAllister Towing and Transportation Company is the parent company to the Insured.

Coverage under the Policy is based on the Covered Risks, subject to the Exclusions, Exceptions, and Conditions contained therein. Moreover, the Policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by reason of matters insured against by the Policy. (See Conditions, ¶8.)

First, a matter presented on a claim must concern the title to the Property in order to implicate any of the Covered Risks of the Policy. In particular, Covered Risk No. 2(c) states, in relevant part, that the Policy insures against loss or damage by reason of “[a]ny encroachment, encumbrance...or adverse circumstance **affecting the Title** that would be disclosed by an accurate and complete land survey of the Land” (Emphasis added). Here, there is no challenge to the title as insured under the Policy, in part, based on a purported easement related to the sewer line in question. Accordingly to the extent the collapsed sewer line does not concern the title but rather constitutes a present trespass and/or nuisance on the Property, it does not implicate any of the Covered Risks of the Policy.²

Second, notwithstanding the foregoing, the Policy does not insure matters not resulting in loss or damage to the insured.³ To the extent the City of Bridgeport either does not claim or has otherwise abandoned any rights or interest in the sewer line in question, the Insured has not incurred loss or damage because of a prior easement on the Property for the same, if any.

While coverage is not afforded based on the claim as presented, should the City of Bridgeport, or any other entity, claim an easement or other record right to the Property, please immediately contact me so that the Company can review and respond to same under the Policy’s terms and conditions. Similarly, should anyone else challenge title, as insured (whether asserted in a legal action or not), that could be covered under the Policy, please notify me immediately so that the Company can address any title challenges pursuant to the Policy’s terms and conditions.

The Company’s position on this claim is based on the current information known to the Company and is not intended to be exclusive. If there are any facts which were unknown to the Company upon making this coverage determination, and which may alter such determination, please provide this information or documentation in writing as soon as possible and your claim will be reevaluated. Further, any reference to any particular provision of the Policy in this letter shall not be construed as a waiver of any other term or provision.

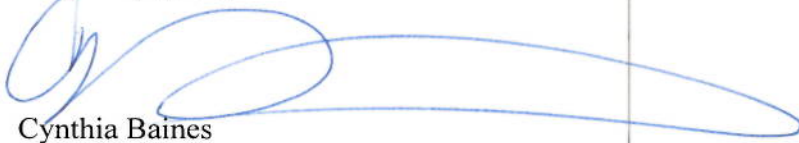
² Title insurance does not protect against any claim arising from the physical condition concerning the property, including a septic tank underneath the property. See *Rood v. Commonwealth Land Title Ins. Co.*, 936 A.2d 488, 2007 PA Super 315 (2007); also *Chicago Title Ins. Co. v. Kumar*, 24 Mass.App.Ct. 53, 506 N.E.2d 154 (1987) (indicating title insurance companies would otherwise be compelled to perform a physical inspection or survey of the land for buried hazardous material).

³ See Exclusions from Coverage Paragraph No. 3(c) of the Policy.

Mr. Buckley McAllister
Claim #589001
August 24, 2017
Page 3 of 3

Please contact me at (904) 854-8104 or cynthia.baines@fnf.com with any questions or concerns.

Very truly yours,

A handwritten signature in blue ink, consisting of several loops and a long horizontal stroke, positioned above the printed name.

Cynthia Baines
VP/SCC

SECRETARY OF THE STATE
30 TRINITY STREET
P.O. BOX 150470
HARTFORD, CT 06115-0470

FEBRUARY 27, 2009

CSC THE UNITED STATES CORPORATION
59 DOGWOOD ROAD
WETHERSFIELD, CT 06109

RE: Acceptance of Business Filing

This letter is to confirm the acceptance of the following business filing:

Business Name:
BARNUM LANDING, LLC

Work Order Number: 2009046853-001
Business Filing Number: 0003875696
Type of Request: ARTICLES OF ORGANIZATION
File Date/Time: FEB 26 2009 02:00 PM
Effective Date/Time:
Work Order Payment Received: 185.00
Payment Received: 85.00

Business Id: 0964090

MARK MATTIOLI
Commercial Recording Division
860-509-6045
WWW.CONCORD.SOTS.CT.GOV

BUSINESS FILING REPORT

WORK ORDER NUMBER:2009046853-001
BUSINESS FILING NUMBER: 0003875696

BUSINESS NAME:

BARNUM LANDING, LLC

BUSINESS LOCATION:

17 BATTERY PLACE STE 1200
NY,NY 10004

MEMBER INFORMATION FOR ONE MEMBER:

NAME:THE BRIDGEPORT AND PORT JEFFERSON STEAMB
TITLE:OAT COMPANY MANAGER

** END OF REPORT **

ARTICLES OF ORGANIZATION
Limited Liability Company-DOMESTIC
 C.G.S. §§34-120; 34-121

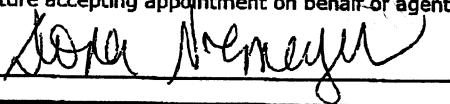
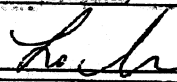
FILING FEE: \$60.00

Make checks payable to

FILING #0003875696 PG 01 OF 01 VOL B-01256
 FILED 02/26/2009 02:00 PM PAGE 01906
 SECRETARY OF THE STATE
 CONNECTICUT SECRETARY OF THE STATE

Website Address: www.concord.sots.ct.gov Telephone:
 Mailing Address: Connecticut Secretary of the State, Ct
 Courier Delivery Address ONLY: (i.e. FedEx, UPS, etc.)

USE INK. COMPLETE ALL SECTIONS. PRINT OR TYPE. (Attach 8 1/2 x 11 sheet if necessary)

1. Complete name of Limited Liability Company- REQUIRED : (Must include business designation i.e. LLC, L.L.C., etc.)			
BARNUM LANDING, LLC			
2. Description of business to be transacted or purpose to be promoted- REQUIRED : Property Investment			
3. LLC's principal office address- REQUIRED : (No P.O. Box) 17 Battery Place, Suite 1200, NY, NY 10004		4. Mailing address, if different than #3:	
5. Appointment of statutory agent for service of process- REQUIRED : Complete A or B, not both			
EITHER <input type="checkbox"/> A. If agent is an individual:			
Print or type full legal name:		Business Address: (No P.O. Box)	
Signature accepting appointment: X _____		If none, MUST state "NONE" CT Residence Address: (No P.O. Box)	
OR <input checked="" type="checkbox"/> B. If agent is a business:			
Print or type name of business as it appears on our records: Corporation Service Company		CT Business Address: (No P.O. Box) 50 Weston Street, Hartford, CT 06120-1537	
Signature accepting appointment on behalf of agent: X  By: _____		Print name & title: Dona Niemeyer, Assistant VP	
6. Manager or member information- REQUIRED : (Must list at least one manager or member of the LLC.)			
Name	Title	Business Address: (No P.O. Box)	Residence Address: (No P.O. Box)
The Bridgeport and Port Jefferson Steamboat Company	Manager	17 Battery Place, Suite 1200 NY, NY 10004 If none, MUST state "NONE"	17 Battery Place, Suite 1200 NY, NY 10004
		If none, MUST state "NONE"	
7. Management -Place a check next to the following statement ONLY if it applies <input checked="" type="checkbox"/> Management of the limited liability company shall be vested in a manager or managers.			
8. Execution- REQUIRED : (Subject to penalty of false statement.)			
Print or type name of organizer: Corporation Service Company By: Lo Saechao, Assistant Secretary		Signature: X 	Date: 02/26/2009

- An annual report will be due yearly in the anniversary month that the LLC was formed/registered and can be easily filed online @ www.concord.sots.ct.gov. If you are no longer transacting business in Connecticut you must file the appropriate document with our office.
- Contact your tax advisor or the Taxpayer Service Center at the Department of Revenue Services as to any potential tax liability relating to your business, including questions about the Business Entity Tax.
- Taxpayer Service Center: (800) 382-9463 or (860) 297-5962

Revised 11/13/08

STATE OF CONNECTICUT
OFFICE OF THE SECRETARY OF THE STATE } SS. HARTFORD

I hereby certify that this is a true copy of record
in this Office

In Testimony whereof, I have hereunto set my hand,
and affixed the Seal of said State, at Hartford,
this 24th day of February A.D. 2009



SECRETARY OF THE STATE





CORPORATION SERVICE COMPANY

RE: BARNUM LANDING, LLC (the "Company")

(a limited liability company formed under the laws of the State of Connecticut)

STATEMENT OF RESIGNATION AND CONCLUDED PARTICIPATION


The initial manager of the Company is identified as:

The Bridgeport and Port Jefferson Steamboat Company

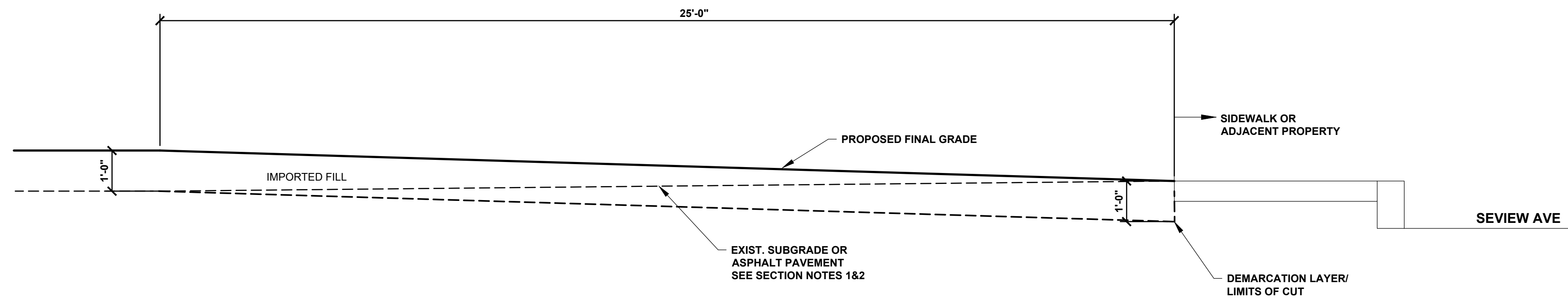
Solely for your convenience and to expedite the filing of the formation document for the above named Company, Corporation Service Company (CSC) or one of its affiliates has caused the said formation document to be signed by our employee(s). We and our employee(s) do not have, and have never had, any other connection with the said company. The conclusion of our participation in this said company's formation is effective at the moment of the said company's formation. In the event that our signing results in our being regarded as a member and/or manager of the said company, this statement constitutes the resignation of our said employee(s) from those capacities effective at the moment of the said company's formation.

Corporation Service Company, Organizer

Dated: February 26, 2009

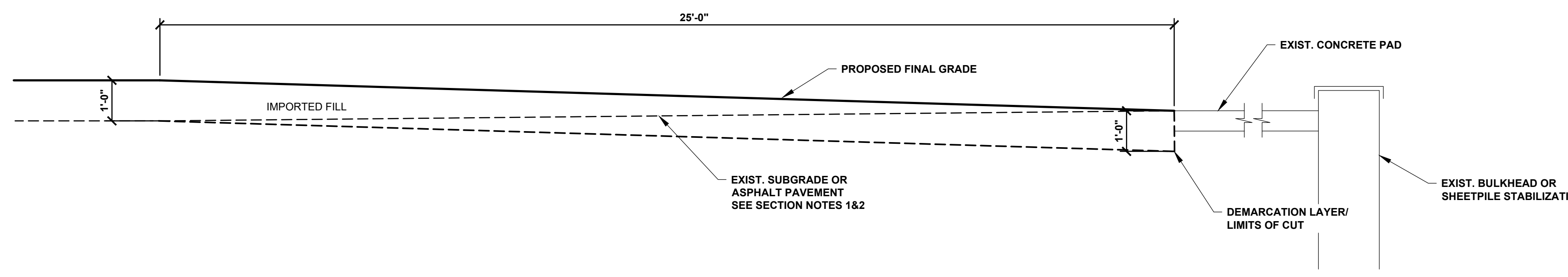
By: _____

Name: Lo Saechao
Title: Assistant Secretary

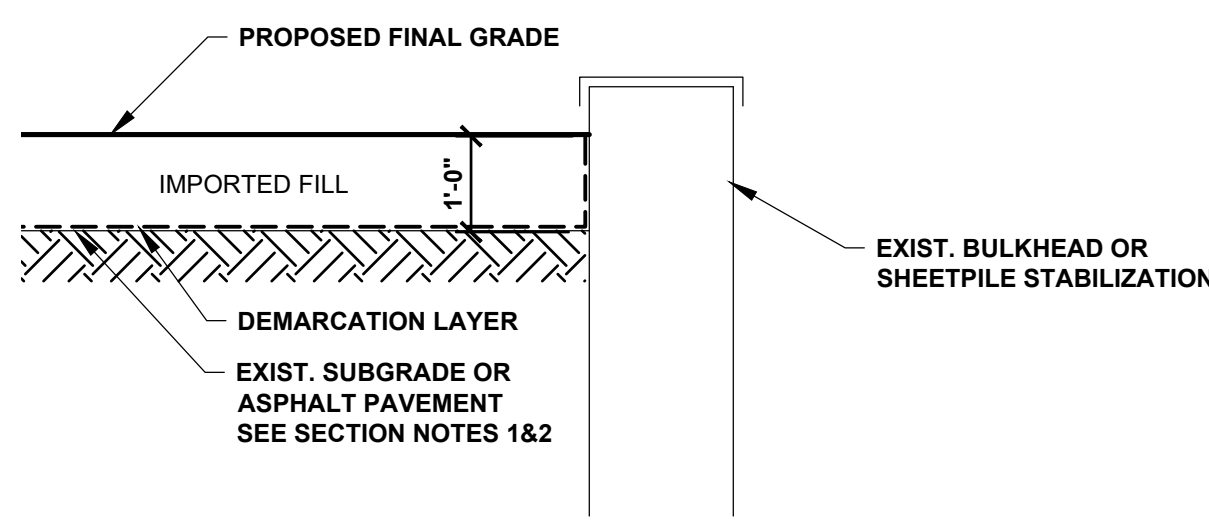


SECTION 1
NOT TO SCALE

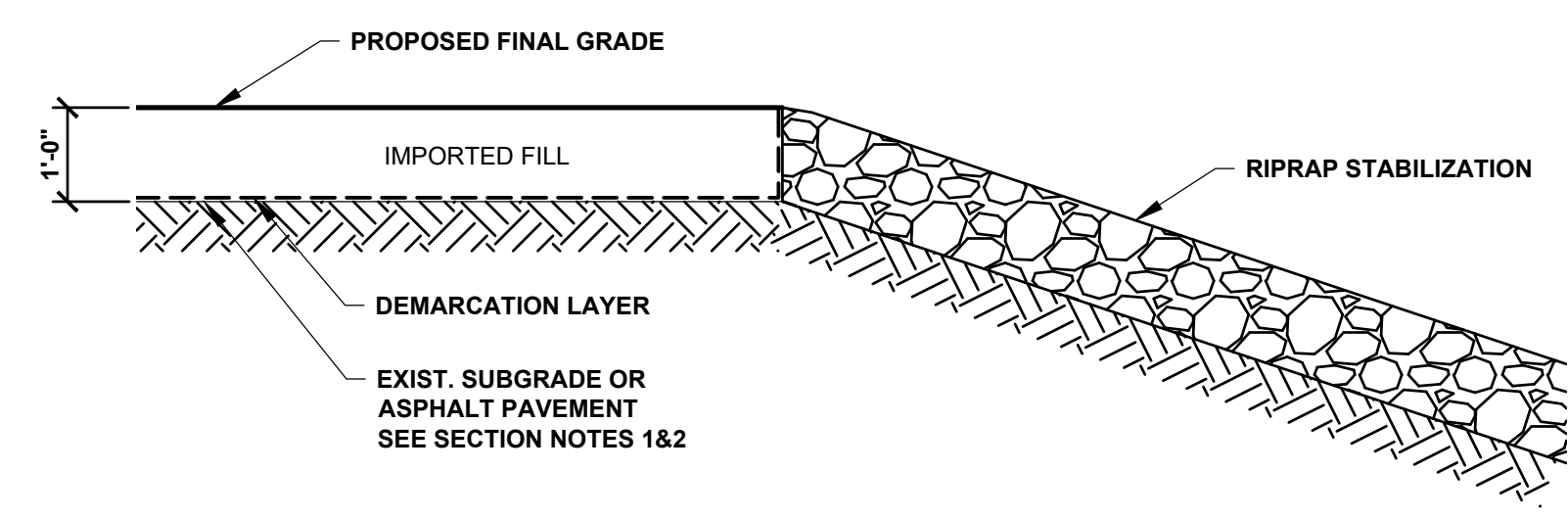
- SECTION NOTES:**
- EXISTING ASPHALT TO BE REMOVED FROM SITE OR RIPPED AND/OR PUNCTURED AS REQUIRED TO ALLOW DRAINAGE BASED ON REPORT TITLED "PRELIMINARY LANDSIDE GEOTECHNICAL ENGINEERING STUDY REPORT" BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES AND DATED DECEMBER 14, 2012, THE EXISTING ASPHALT PAVEMENT RANGES IN THICKNESS BETWEEN 2 AND 5 INCHES.
 - DEMARCATON FABRIC SHALL BE PLACED ON TOP OF EXISTING ASPHALT IF IT IS TO REMAIN. IF ASPHALT IS NOT PRESENT OR REMOVED, THE DEMARCATON FABRIC SHALL BE PLACED BETWEEN EXISTING SUBGRADE AND 1 FT OF IMPORTED FILL COVER.
 - LIMITS OF PCB AREA SHALL BE EXCAVATED A MINIMUM OF 1 FT AND DISPOSED OF OFF-SITE TO ACCOMMODATE 2 FT IMPORTED FILL COVER.
 - A LAYER OF TENSAR TX140 TRIAXIAL GEOGRID MAY BE INSTALLED IN EACH SECTION ABOVE THE DEMARCATON LAYER. IF UTILIZED IN SECTION 5, THE CONTRACTOR SHALL REDUCE THE IMPORTED FILL THICKNESS FROM 2'-0" TO 1'-6".



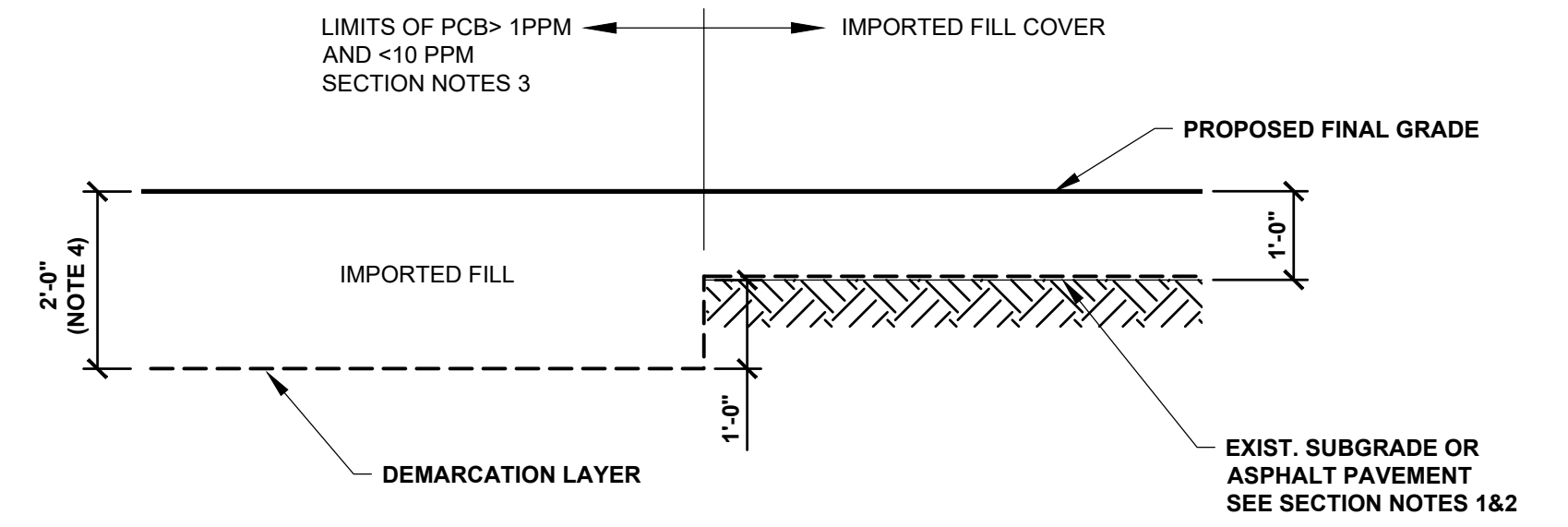
SECTION 2
NOT TO SCALE



SECTION 3
NOT TO SCALE



SECTION 4
NOT TO SCALE



SECTION 5
NOT TO SCALE

**PRELIMINARY
NOT FOR
CONSTRUCTION**
DATE: 3/18/21

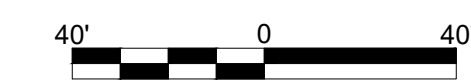
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ALTER THIS DOCUMENT. THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SIZE. DRAWING IS NOT SCALABLE IF NO SCALE BAR IS PRESENT.

CLIENT	DESIGNER / PROFESSIONAL ENGINEER RESPONSIBLE
BARNUM LANDING, LLC AND BARNUM LANDING II, LLC	DESIGNED BY V.J. WARNER CHECKED BY DATE MARCH 2021 DRAWN BY
NO.	DATE
REVISION	INT.

FIRM NUMBER:	PROJECT
RAMBOLL AMERICAS ENGINEERING SOLUTIONS, INC.	BARNUM LANDING REMEDIATION PROJECT
ADDRESS	DRAWING LOCATION
537 AND 567 SEAVIEW AVE BRIDGEPORT, CT	

RAMBOLL

SHEET DESCRIPTION
SECTIONS AND NOTES

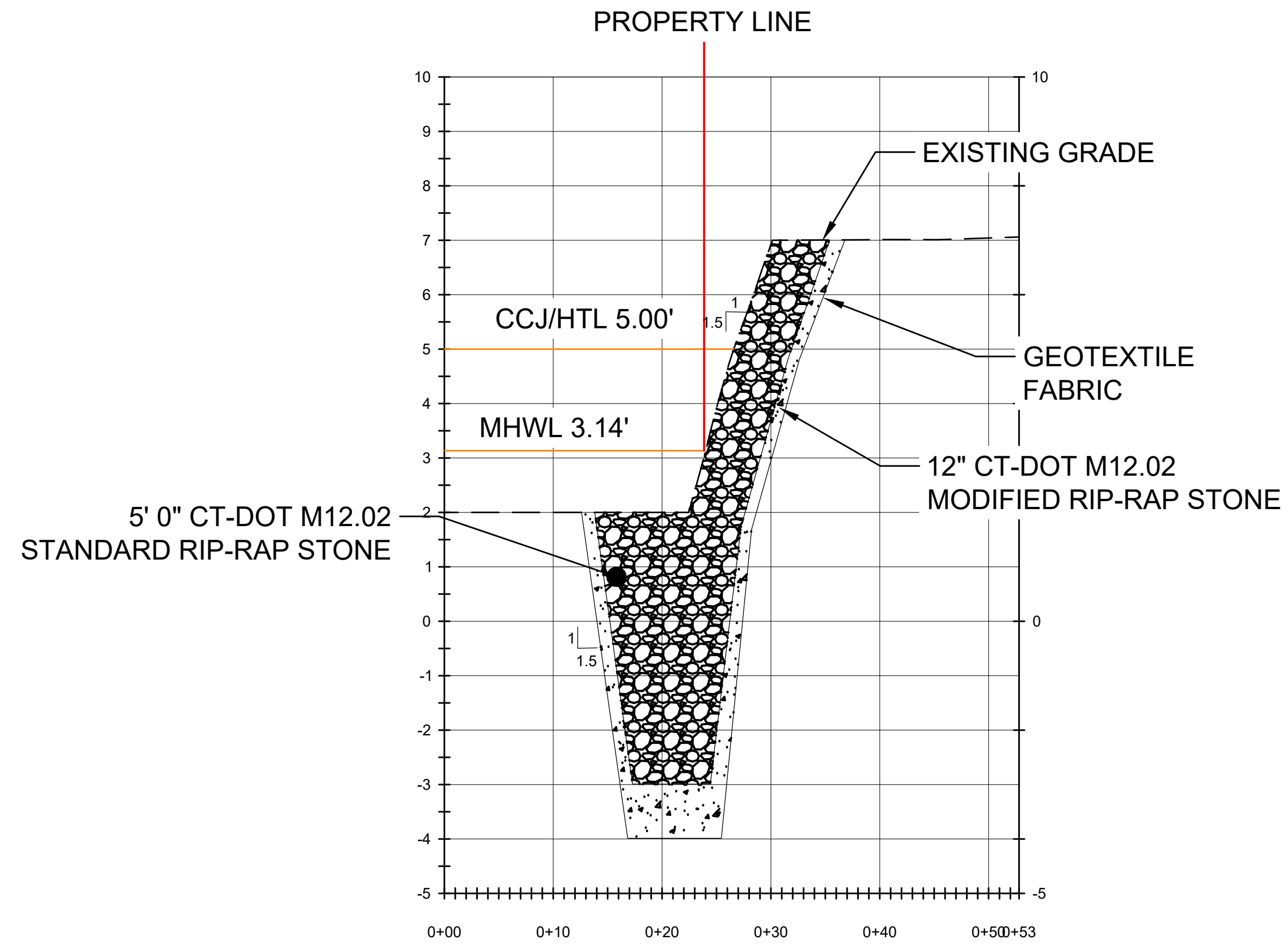


**EXCAVATION LIMITS
PROPOSED BANK
STABILIZATION PLAN**

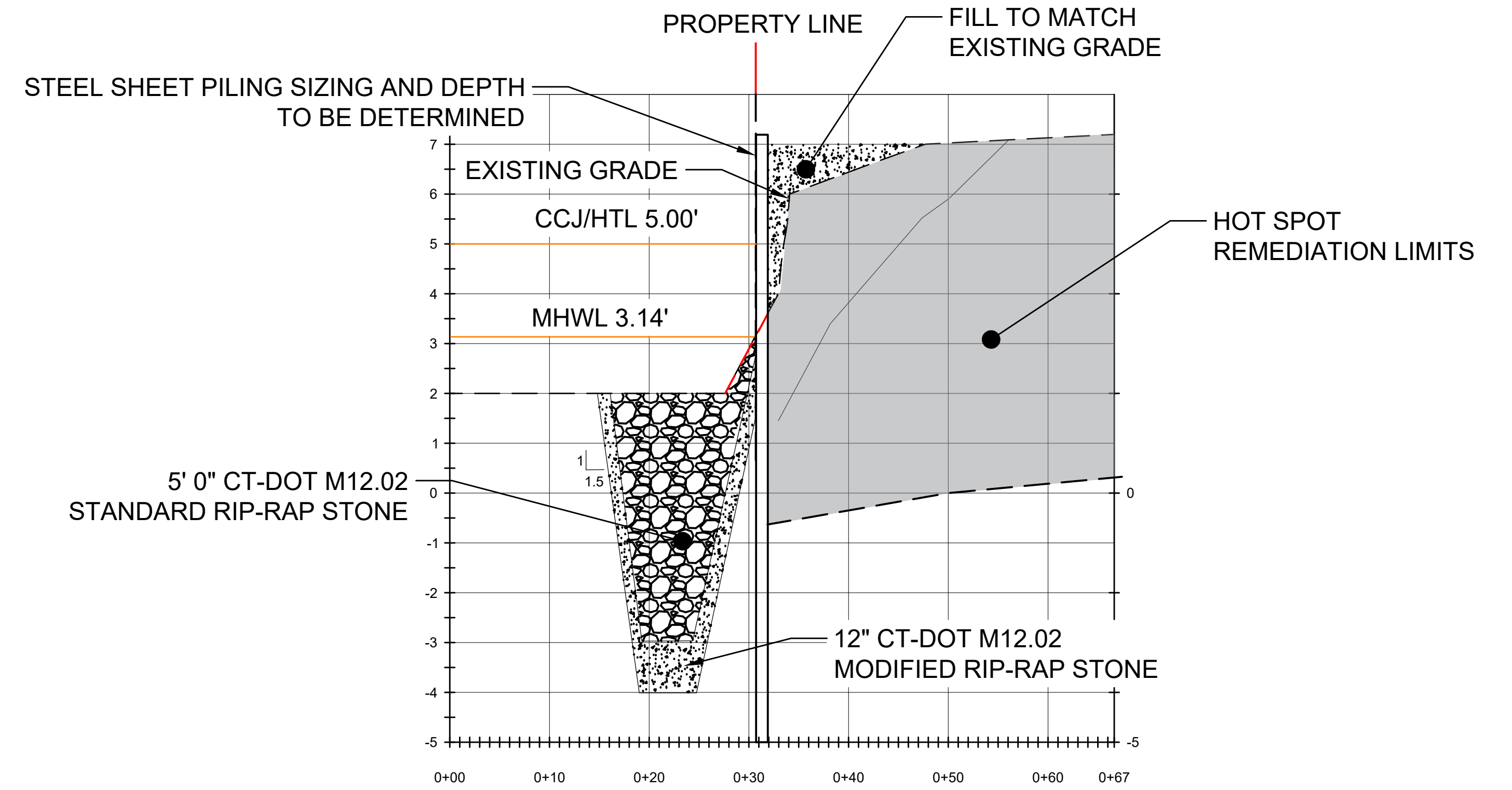
**WESTERN PARCEL LANDSLIDE
SHEET PILE STABILIZATION OPTION**

**BARNUM LANDING, LLC
AND BARNUM LANDING II, LLC**
FORMER CILCO TERMINAL

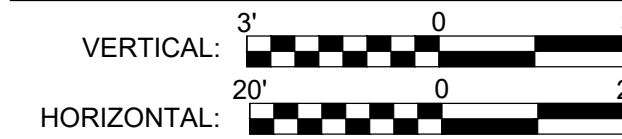
FIGURE 1



SECTION A - RIP-RAP SECTION



SECTION B - SHEET PILE SECTION

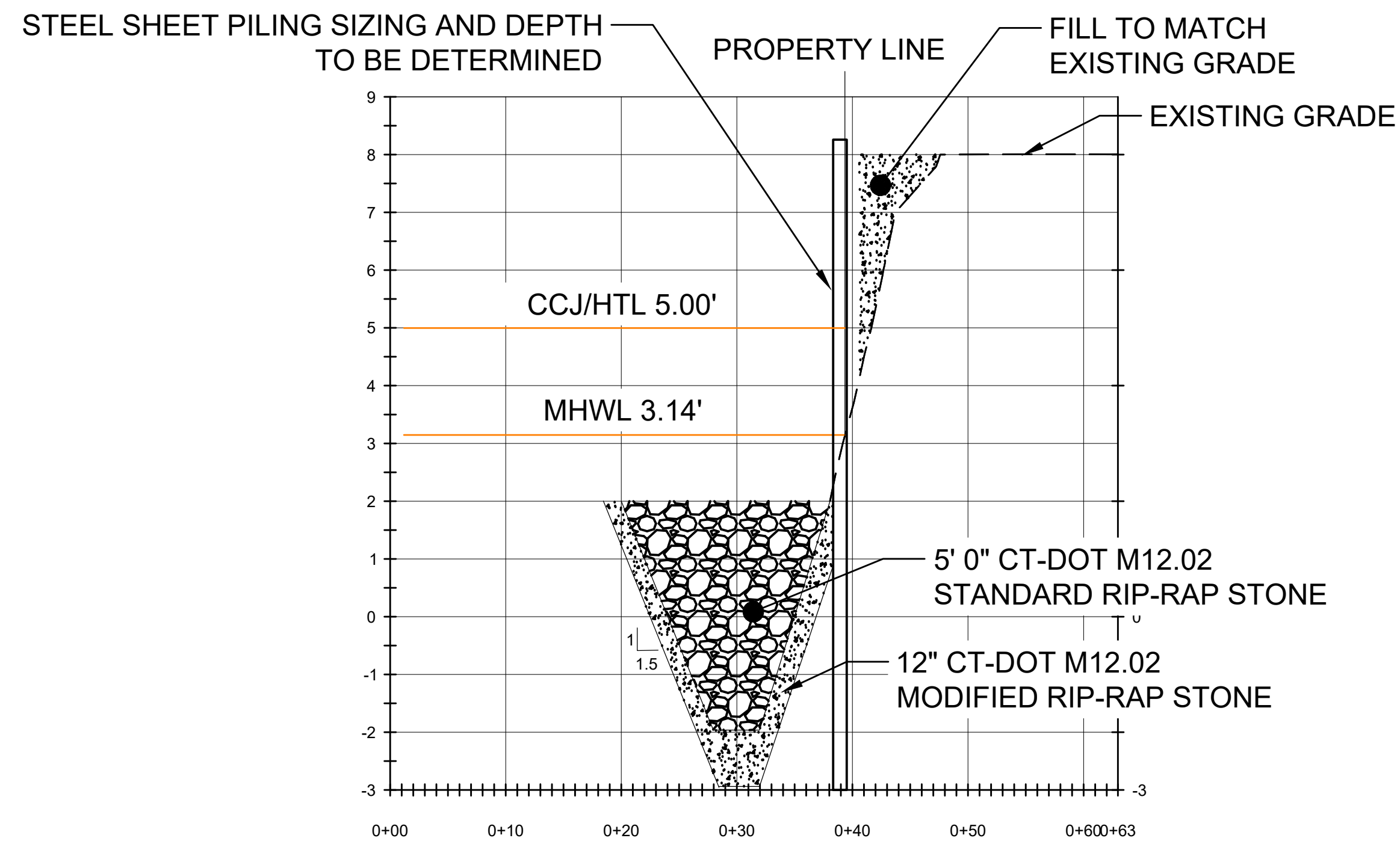


EXCAVATION AND PROPOSED BANK STABILIZATION SECTIONS

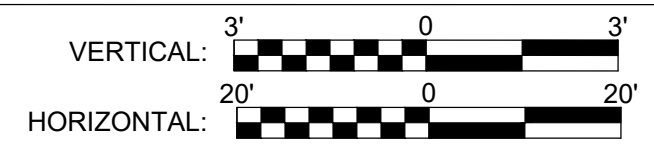
WESTERN PARCEL LANDSLIDE HOT SPOT REMEDIATION SHEET PILE OPTION

BARNUM LANDING, LLC AND BARNUM LANDING II, LLC
FORMER CILCO TERMINAL

FIGURE 2



SECTION E - SHEET PILE SECTION



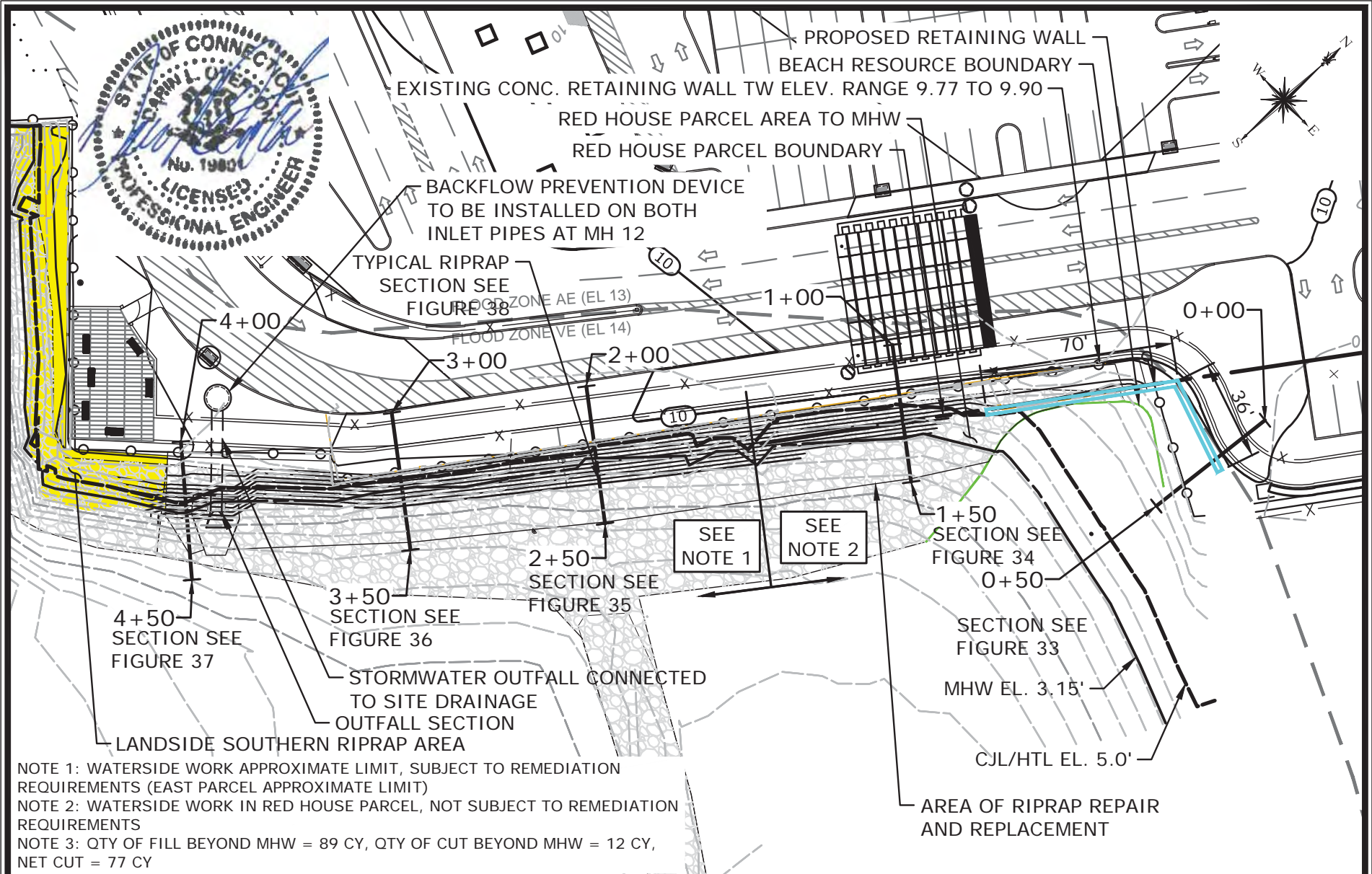
EXCAVATION AND PROPOSED BANK STABILIZATION SECTIONS

WESTERN PARCEL LANDSLIDE HOT SPOT REMEDIATION SHEET PILE OPTION

BARNUM LANDING, LLC AND BARNUM LANDING II, LLC
FORMER CILCO TERMINAL

FIGURE 4

Drawing: W:\CAD\DESIGN\4087-13-DE\CAD\NONPLAN\SET\BF-CIL-2019-09-20\DWG_Layout_Tab\Figure_32



NOTE 1: WATERSIDE WORK APPROXIMATE LIMIT, SUBJECT TO REMEDIATION REQUIREMENTS (EAST PARCEL APPROXIMATE LIMIT)
 NOTE 2: WATERSIDE WORK IN RED HOUSE PARCEL, NOT SUBJECT TO REMEDIATION REQUIREMENTS
 NOTE 3: QTY OF FILL BEYOND MHW = 89 CY, QTY OF CUT BEYOND MHW = 12 CY, NET CUT = 77 CY



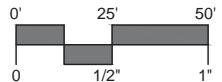
MILONE & MACBROOM
 80 REALTY DRIVE
 CHESTER, CT 06410
 203.271.1778
 WWW.MMACBROOM.COM

DATE	AUG. 10, 2020
SCALE	1"=50'
PROJ. NO.	4087-13
DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

WATERSIDE PLAN: SOUTHEAST RIPRAP
BARNUM LANDING FERRY TERMINAL PROJECT
 ATTACHMENT I - PROJECT PLANS

SEAVIEW AVENUE
 BRIDGEPORT, CONNECTICUT

REVISED: 10/1/20



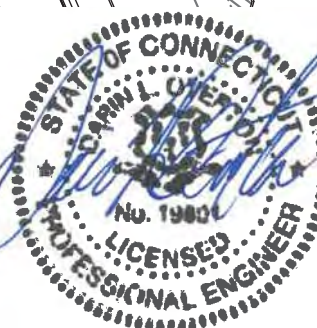
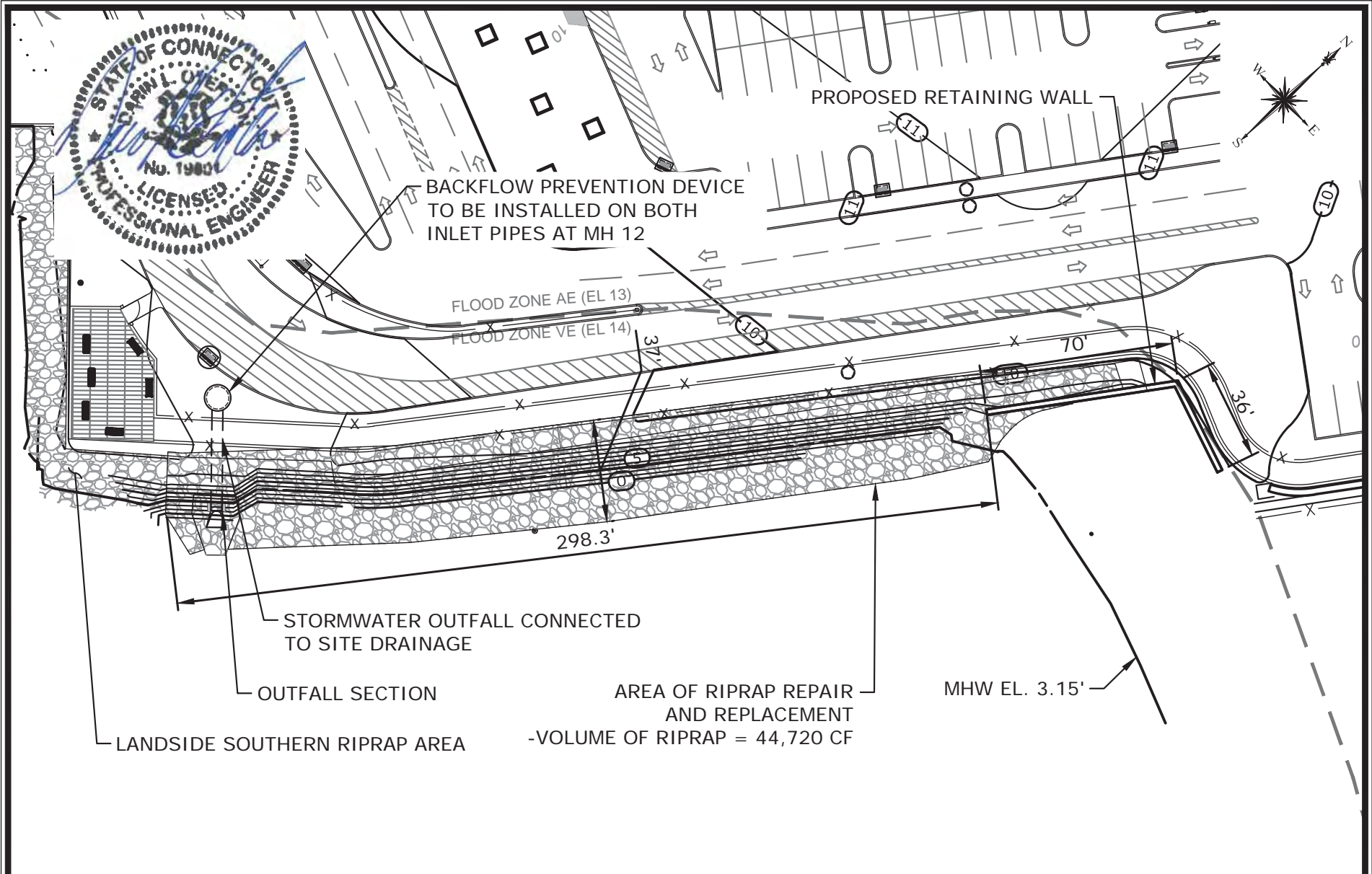
PRELIMINARY
 NOT FOR CONSTRUCTION

FIGURE 32

Plotted by: SCOTTN On this date: Wed, 2020 December 2 - 9:07am

Drawing: W:\CAD\DESIGN\4087-13-DE\CAD\NONPLANSET\BF-FIGURE 32.1.DWG Layout Tab:FIGURE 32.1

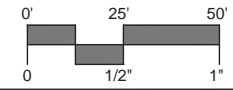
Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:06pm



DATE	SEPT. 18, 2020
SCALE	1"=50'
PROJ. NO.	4087-13
DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

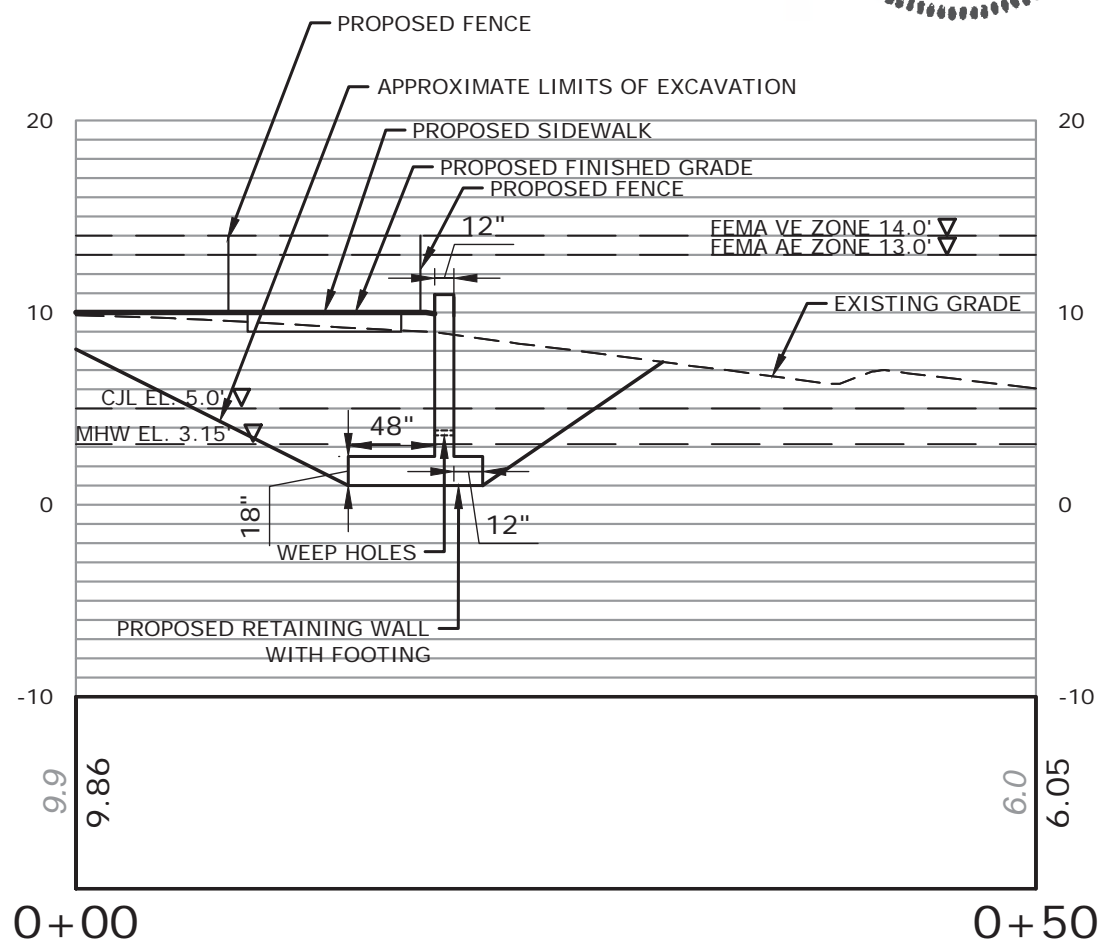
WATERSIDE PLAN: SOUTHEAST RIPRAP-PROPOSED CONDITIONS
BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS
 SEAVIEW AVENUE
 BRIDGEPORT, CONNECTICUT

REVISED: 10/1/20

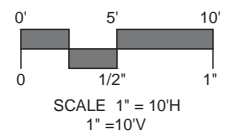


PRELIMINARY
 NOT FOR CONSTRUCTION

FIGURE 32.1



NOTE: TYPICAL RETAINING WALL SECTION WITH TOP OF WALL AT APPROXIMATELY ELEVATION 10.0' AND BOTTOM ELEVATION APPROXIMATELY 1.0' OR OTHERWISE A MINIMUM OF 7' BELOW WATERWARD FINISHED GRADE. FINAL DIMENSIONS TO BE DETERMINED. DIMENSIONS OF THE RETAINING WALL SHOWN ARE APPROXIMATE AND SUBJECT TO FINAL DESIGN BY A CT LICENSED PROFESSIONAL STRUCTURAL ENGINEER.



Drawing: W:\CAD\DESIGN\4087-13-DE\CAD\NONPLANSET\BF-CIL-2019-05-06-ALT.DWG Layout Tab:FIGURE 33.1

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:07pm

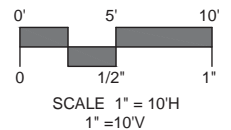
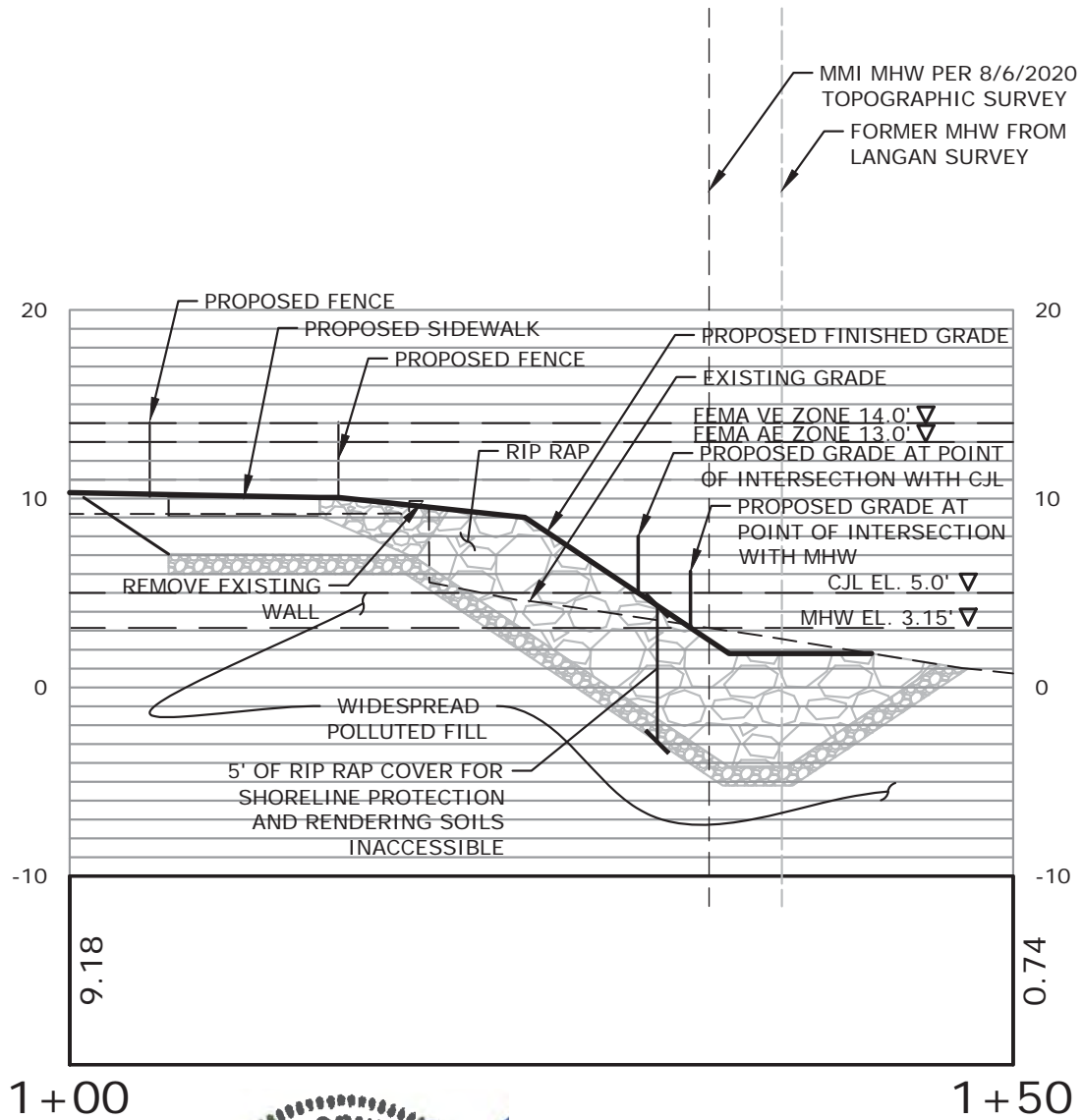


SECTION VIEW - RETAINING WALL
BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS
SEAVIEW AVENUE
BRIDGEPORT, CONNECTICUT
 PRELIMINARY NOT FOR CONSTRUCTION REV: 10/1/20

DATE	AUG. 10, 2020		
SCALE	AS NOTED		
PROJ. NO.	4087-13		
DESIGNED	DRAWN	CHECKED	
VEH	ADS	DLO	

FIGURE 33

Drawing: W:\CAD\DESIGN\4087-13-DE\CAD\NONPLANSET\BF-CIL-2019-09-20.DWG Layout Tab:FIGURE 34



NOTE: TYPICAL RIPRAP SECTION SEE FIGURE 38



99 REALTY DRIVE
CHESHIRE, CT 06410
203.271.1773
WWW.MMINC.COM

SECTION VIEW

**BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS**

**SEAVIEW AVENUE
BRIDGEPORT, CONNECTICUT**

PRELIMINARY NOT FOR CONSTRUCTION

REV: 10/1/20

DATE **AUG. 10, 2020**

SCALE **AS NOTED**

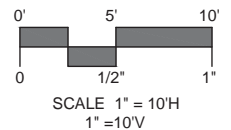
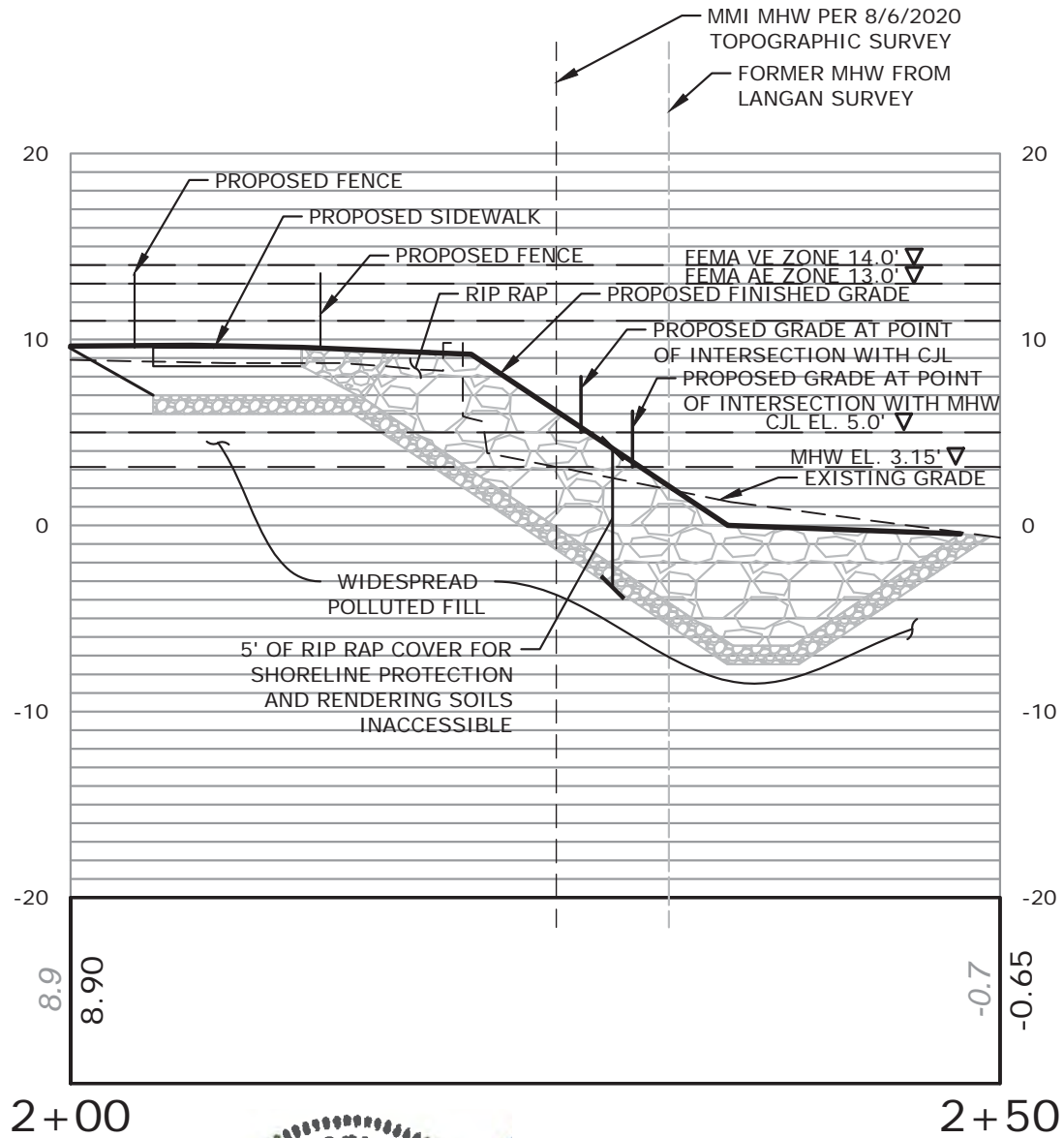
PROJ. NO. **4087-13**

DESIGNED VEH	DRAWN ADS	CHECKED DLO
------------------------	---------------------	-----------------------

FIGURE 34

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:14pm

Drawing: W:\CADDESIGN\4087-13-DE\CAD\NONPLANSET\BF-CUL-2019-09-20.DWG Layout Tab:FIGURE 35



NOTE: TYPICAL RIPRAP SECTION SEE FIGURE 38

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:14pm



SECTION VIEW

**BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS**

**SEAVIEW AVENUE
BRIDGEPORT, CONNECTICUT**

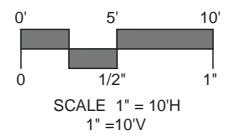
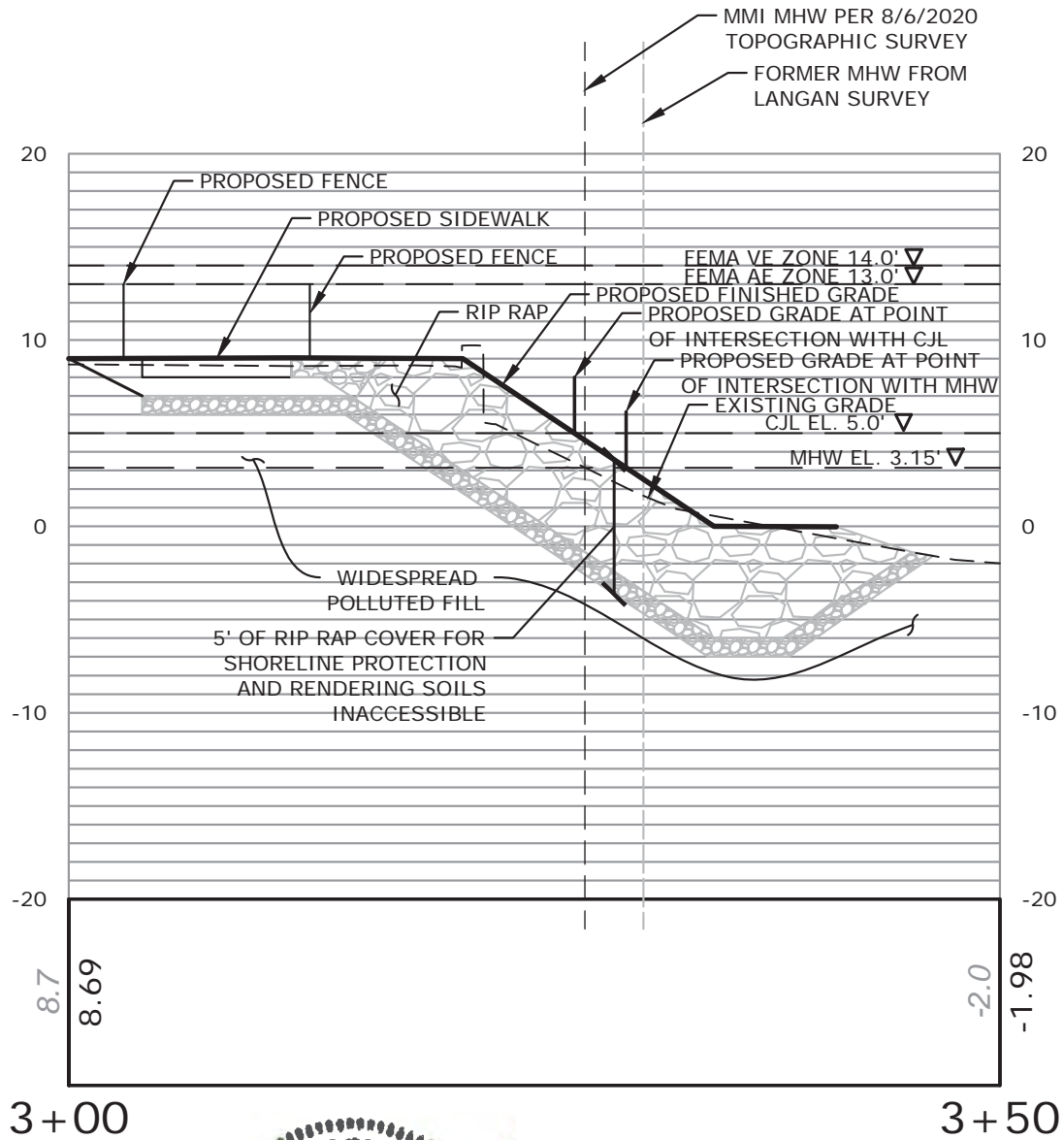
PRELIMINARY NOT FOR CONSTRUCTION

REV: 10/1/20

DATE	AUG. 10, 2020		
SCALE	AS NOTED		
PROJ. NO.	4087-13		
DESIGNED	DRAWN	CHECKED	
VEH	ADS	DLO	

FIGURE 35

Drawing: W:\CADDESIGN\4087-13-DE\CAD\NONPLANSET\BF-CIL-2019-09-20.DWG Layout Tab:FIGURE 36



NOTE: TYPICAL RIPRAP SECTION SEE FIGURE 38

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 99 REALTY DRIVE
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SECTION VIEW
BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS
SEAVIEW AVENUE
BRIDGEPORT, CONNECTICUT
 PRELIMINARY NOT FOR CONSTRUCTION

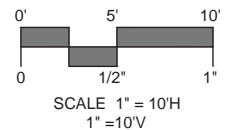
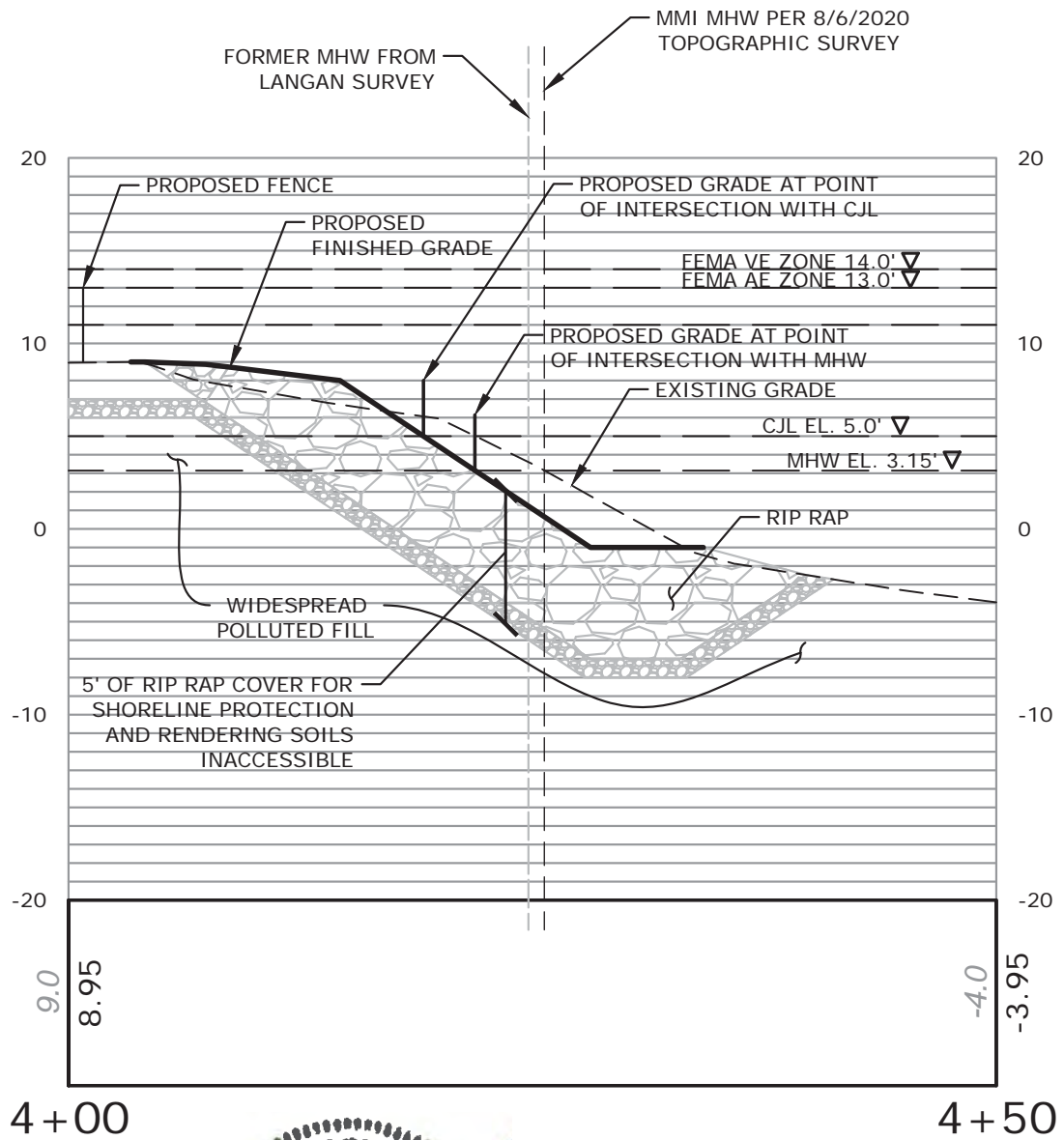
DATE	AUG. 10, 2020		
SCALE	AS NOTED		
PROJ. NO.	4087-13		
DESIGNED	DRAWN	CHECKED	
VEH	ADS	DLO	

FIGURE 36

REV: 10/1/20

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:14pm

Drawing: W:\CADDESIGN\4087-1-3-DE\CAD\NONPLANSET\BF-CIL-2019-09-20.DWG Layout Tab:FIGURE 37



NOTE: TYPICAL RIPRAP SECTION SEE FIGURE 38



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 99 REALTY DRIVE
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 203.271.1773
 WWW.MMINC.COM

SECTION VIEW

**BARNUM LANDING FERRY TERMINAL PROJECT
 ATTACHMENT I - PROJECT PLANS**

**SEAVIEW AVENUE
 BRIDGEPORT, CONNECTICUT**

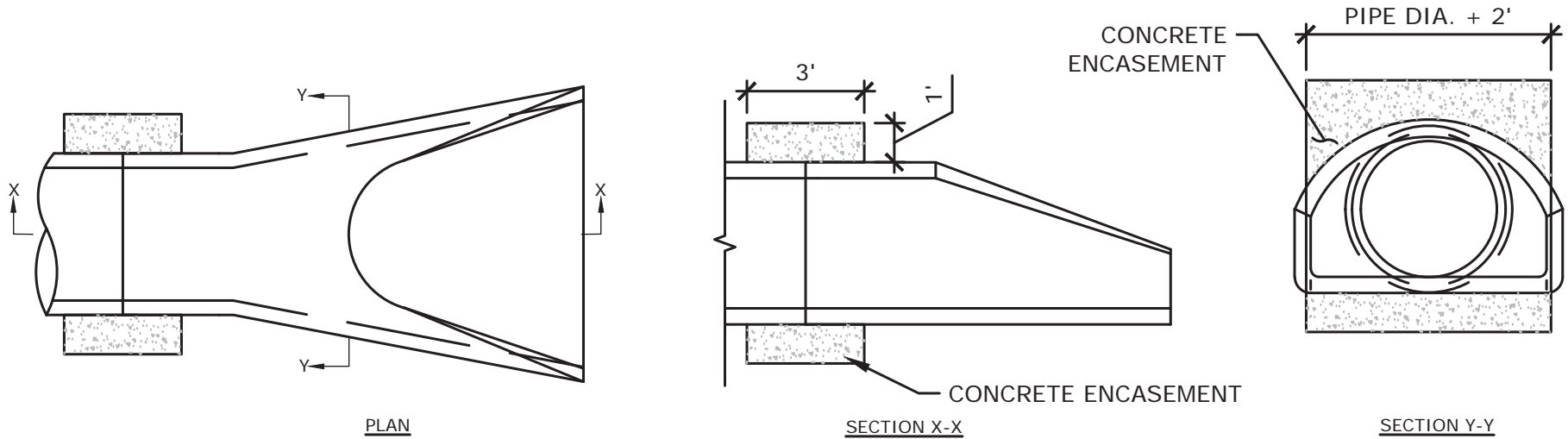
PRELIMINARY NOT FOR CONSTRUCTION

REV: 10/1/20

DATE	AUG. 10, 2020		
SCALE	AS NOTED		
PROJ. NO.	4087-13		
DESIGNED	DRAWN	CHECKED	
VEH	ADS	DLO	

FIGURE 37

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:14pm



CONCRETE OUTFALL COLLAR

NOT TO SCALE



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CHESTERFIELD, CT 06410
203.373.1778
WWW.MMNB.COM

DATE	AUG. 10, 2020
SCALE	AS NOTED
PROJ. NO.	4087-13
DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

OUTFALL CONCRETE COLLAR

BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS

REVISED: 10/1/20

SEAVIEW AVENUE
BRIDGEPORT, CONNECTICUT

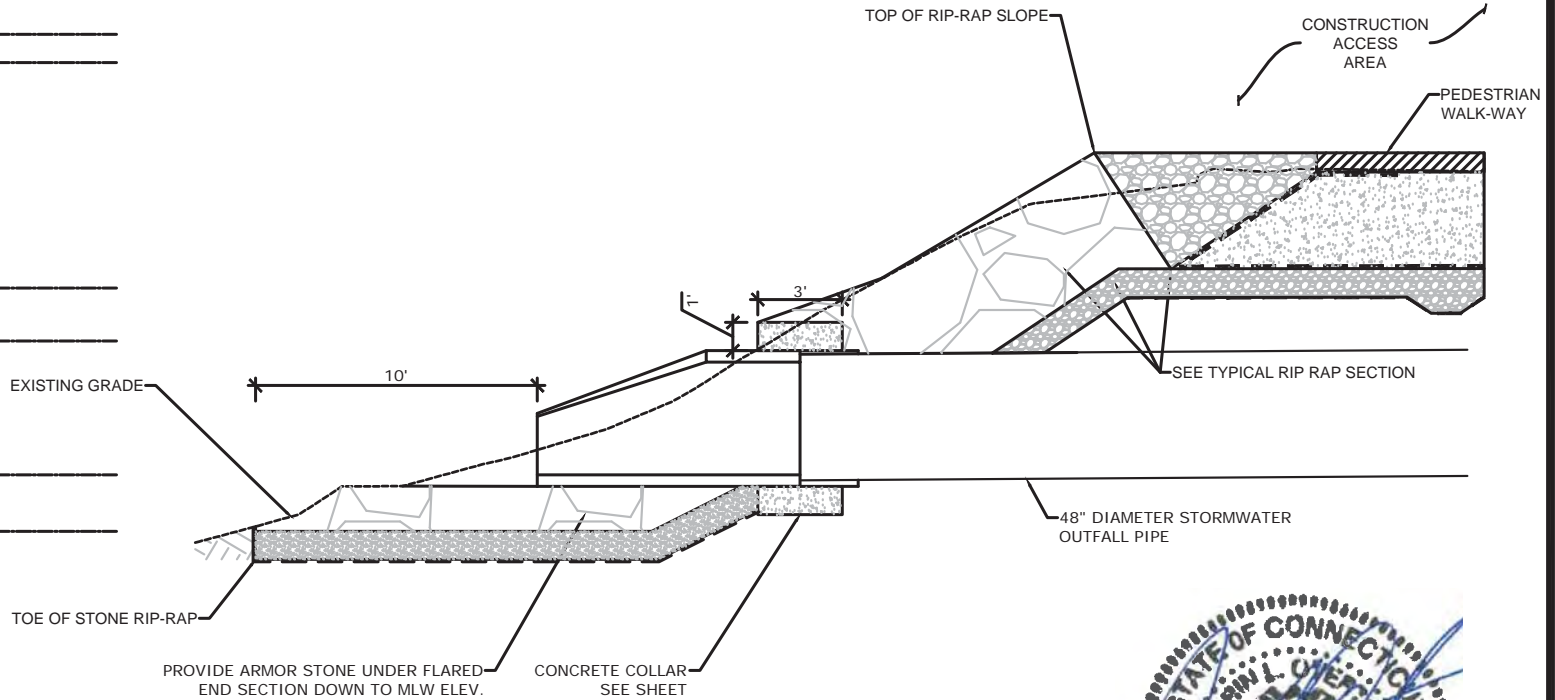
PRELIMINARY
NOT FOR CONSTRUCTION

FIGURE 39

Drawing: W:\CADDESIGN\4087-13-DE\CAD\NONPLANSET\BF-CIL-2019-09-20.DWG Layout Tab:FIGURE 40

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:17pm

FEMA VE EL. 14.0'
 FEMA AE EL. 13.0'
 CJL/HTL EL. 5.0'
 MHW EL. 3.15'
 EXISTING GRADE
 OUTFALL / FES INV. EL. -1.6'
 MLW EL. -3.6'



48" OUTFALL & RIPRAP SLOPE
 NOT TO SCALE



DATE	AUG. 10, 2020
SCALE	AS NOTED
PROJ. NO.	4087-13
DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

48" OUTFALL SECTION AND RIPRAP SLOPE
BARNUM LANDING FERRY TERMINAL PROJECT
 ATTACHMENT I - PROJECT PLANS
 SEAVIEW AVENUE
 BRIDGEPORT, CONNECTICUT

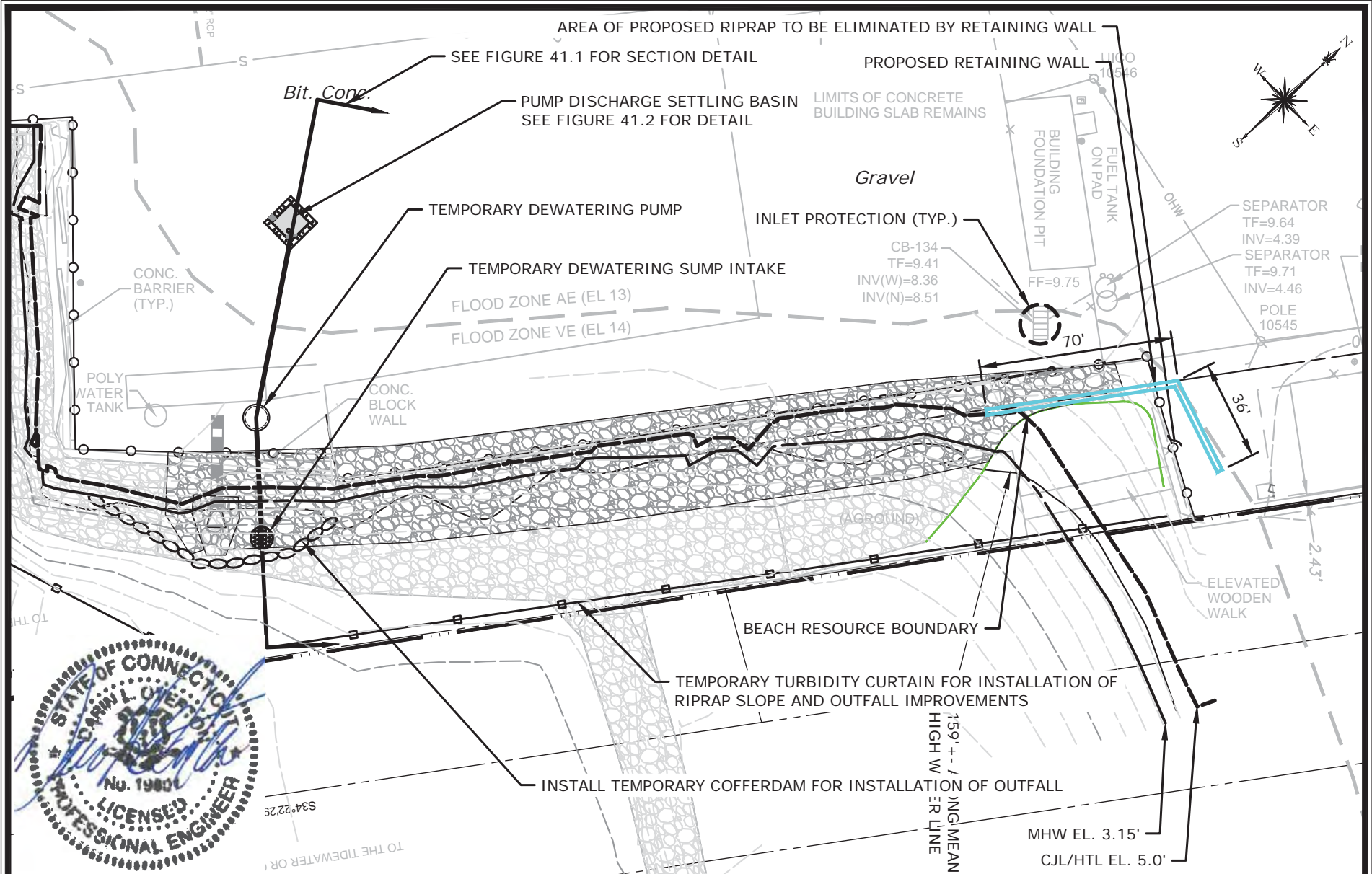
REVISED: 10/1/20

PRELIMINARY
 NOT FOR CONSTRUCTION

FIGURE 40

Drawing: W:\CADDESIGN\4087-13-DE\CAD\NONPLANSET\BF-CIL-2019-05-06-SHEET 12.DWG Layout Tab:FIGURE 41

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:25pm



MILONE & MACBROOM
 90 REALTY DRIVE
 CHESTERFIELD, CT 06430
 203.371.7778
 WWW.MMNG.COM

DATE	AUG. 10, 2020
SCALE	1"=50'
PROJ. NO.	4087-13
DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

**WATERSIDE PLANS: SOUTHEAST RIPRAP -
 SEDIMENT AND EROSION CONTROLS**
BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS
 SEAVIEW AVENUE
 BRIDGEPORT, CONNECTICUT

REVISED: 10/1/20

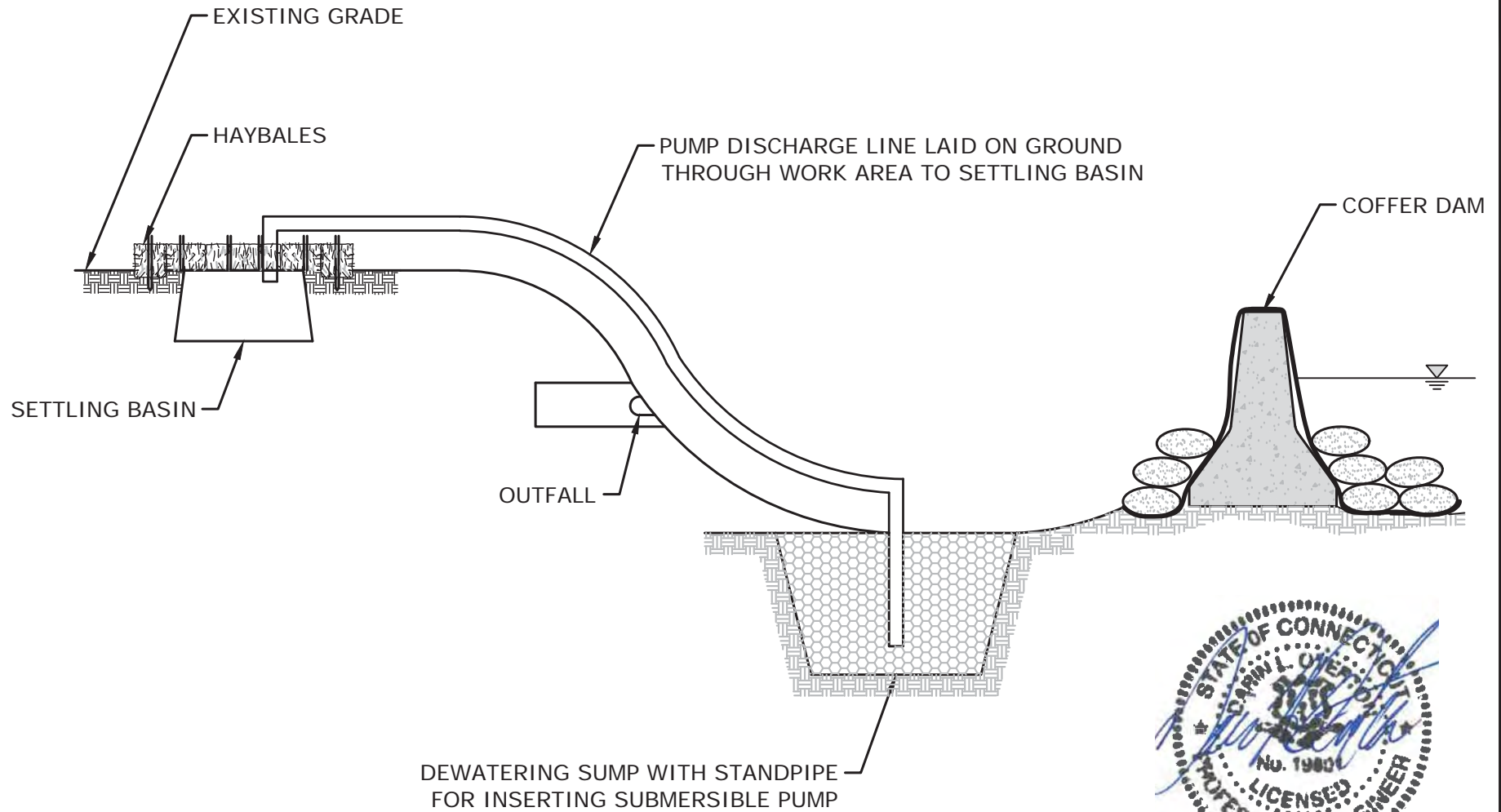
0' 25' 50'
 1/2" 1"

PRELIMINARY
 NOT FOR CONSTRUCTION

FIGURE 41

Drawing: W:\CADDESIGN\4087-13-DEI\CAD\NONPLANSET\BF-CIL-2019-05-06-FIGURE 41.1.DWG Layout Tab:FIGURE 41.1

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:20pm



DATE	AUG. 10, 2020
SCALE	NOT TO SCALE
PROJ. NO.	4087-13
DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

SECTION THROUGH TEMP. DEWATERING PUMP SYSTEM
BARNUM LANDING FERRY TERMINAL PROJECT
 ATTACHMENT I - PROJECT PLANS
 SEAVIEW AVENUE
 BRIDGEPORT, CONNECTICUT

REVISED: 10/1/20

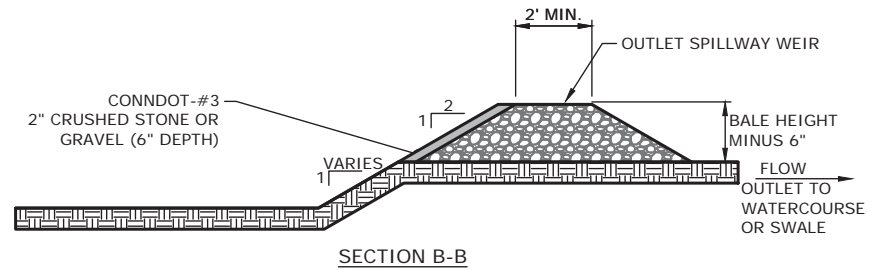
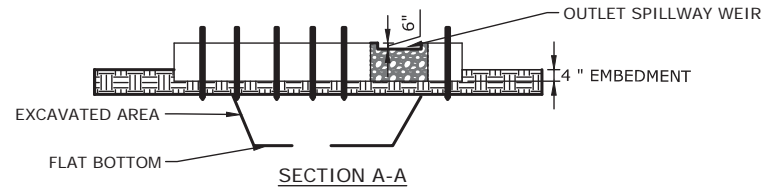
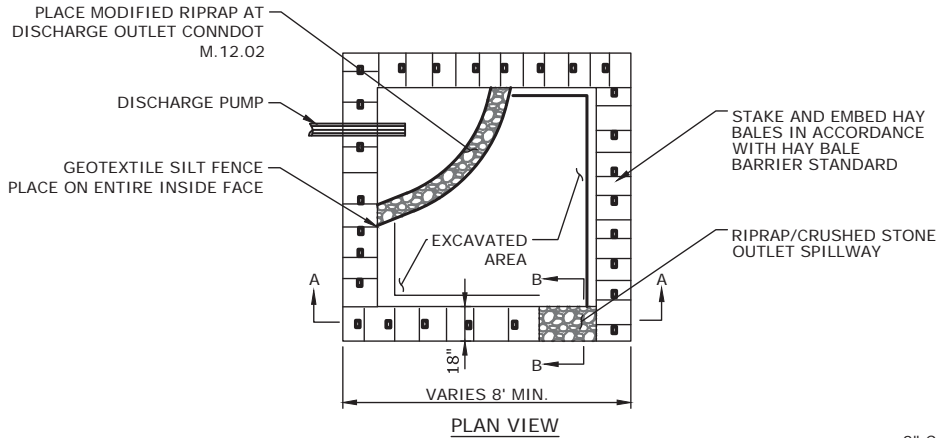
PRELIMINARY
 NOT FOR CONSTRUCTION

FIG. 41.1

Drawing: W:\CADDESIGN\4087-13-DE\CAD\NONPLANSET\BF-CIL-2019-05-06-FIGURE 41.1.DWG Layout Tab:FIGURE 41.2

Plotted by: SCOTTN

On this date: Wed, 2020 November 25 - 4:20pm



NOTES:

1. DIMENSIONS VARY ACCORDING TO PUMPING RATES. MINIMUM REQUIRED STORAGE IS CALCULATED FROM CREST OF SPILLWAY WEIR.

SETTLING BASIN

NOT TO SCALE



MILONE & MACBROOM

100 REALTY DRIVE
CHESTERHIRE, CT 06410
203.371.7778
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DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

TEMPORARY SETTLING BASIN

BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS

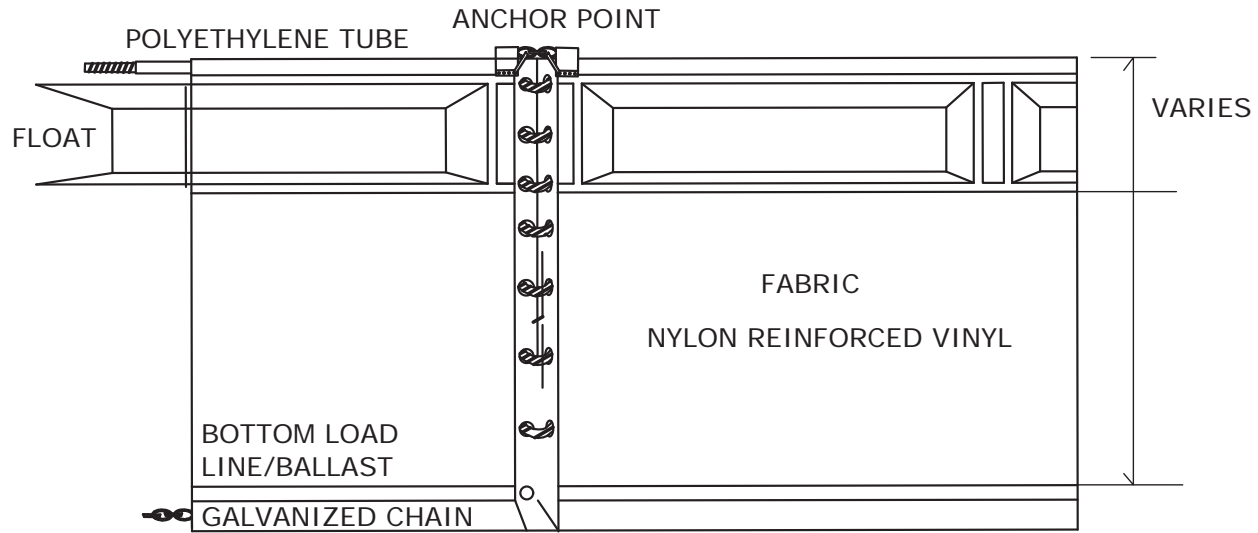
REVISED: 10/1/20

SEAVIEW AVENUE
BRIDGEPORT, CONNECTICUT

PRELIMINARY
NOT FOR CONSTRUCTION

FIG. 41.2

Drawing: W:\CADDESIGN\4087-13-DE\CAD\NONPLANSET\B1-CIL-2019-09-20.DWG Layout Tab:FIGURE 42



NOTE: TURBIDITY CURTAIN TO BE ELASTEC/ AMERICAN MARINE FASTWATER SCREEN OR APPROVED EQUAL

TURBIDITY CURTAIN

NOT TO SCALE



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DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

TURBIDITY CURTAIN EXAMPLE

BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS

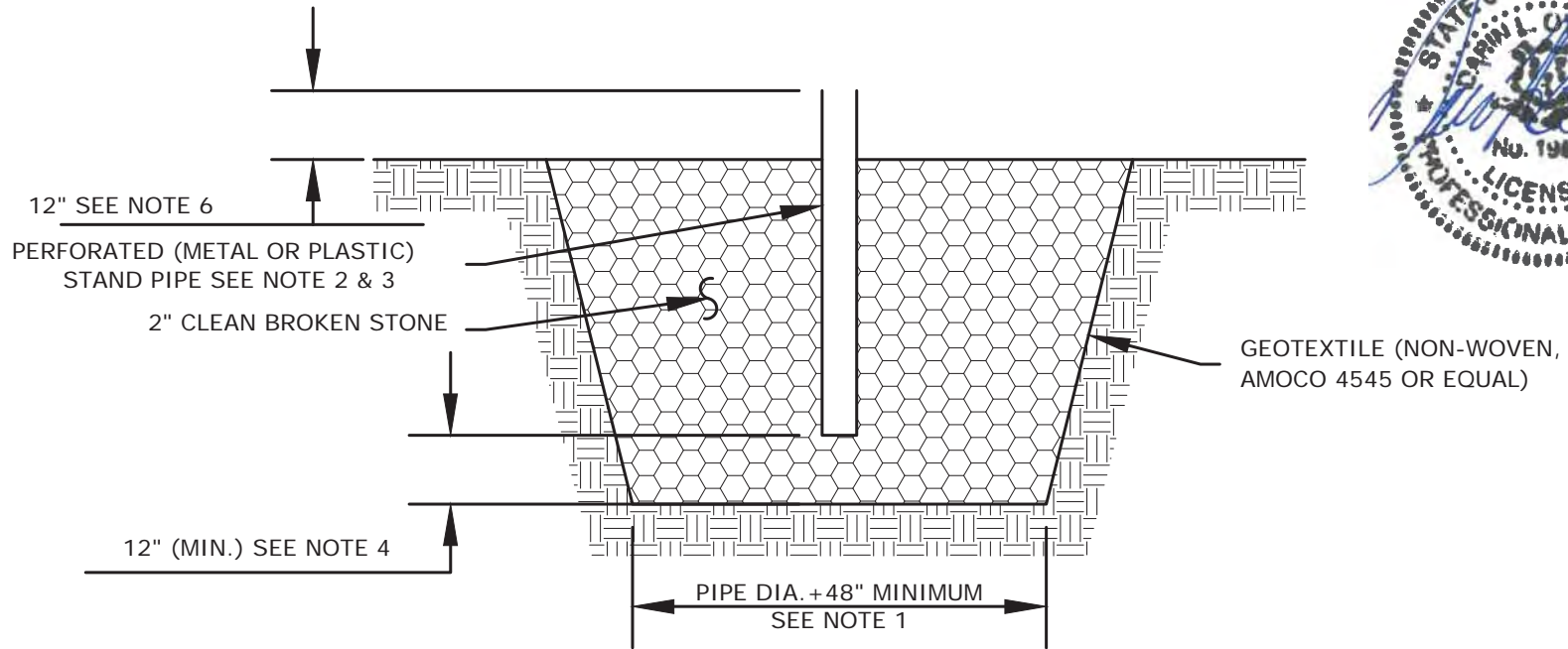
REVISED: 10/1/20

SEAVIEW AVENUE
BRIDGEPORT, CONNECTICUT

PRELIMINARY
NOT FOR CONSTRUCTION

FIGURE 42

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 4:28pm



NOTES:

1. OVERALL SUMP PIT DIMENSIONS TO BE COMPATIBLE WITH ANTICIPATED SEEPAGE RATES AND PUMP TO BE USED.
2. THE STAND PIPE DIAMETER AND NUMBER OF PERFORATIONS TO BE COMPATIBLE WITH THE PUMP SIZE BEING USED.
3. PERFORATIONS IN THE STANDPIPE TO BE EITHER CIRCULAR OR SLOTS, PERFORATION SIZE SHALL NOT EXCEED 1/2" DIAMETER.
4. 2" BROKEN STONE SHALL EXTEND A MINIMUM OF 12" BELOW THE BOTTOM OF THE STANDPIPE.
5. A PROPERLY DESIGNED GEOTEXTILE TO BE PLACED BETWEEN THE EXISTING SOILS AND THE CRUSHED STONE BACKFILL.
6. THE STANDPIPE SHALL EXTEND A MINIMUM OF 12" ABOVE THE SURROUNDING GROUND.



**MILONE &
MACBROOM**
100 REALTY DRIVE
CHESTERFIELD, CT 06408
203.371.7778
WWW.MILONE.COM

DATE	AUG. 10, 2020
SCALE	NOT TO SCALE
PROJ. NO.	4087-13
DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

TEMPORARY DEWATERING SUMP INTAKE

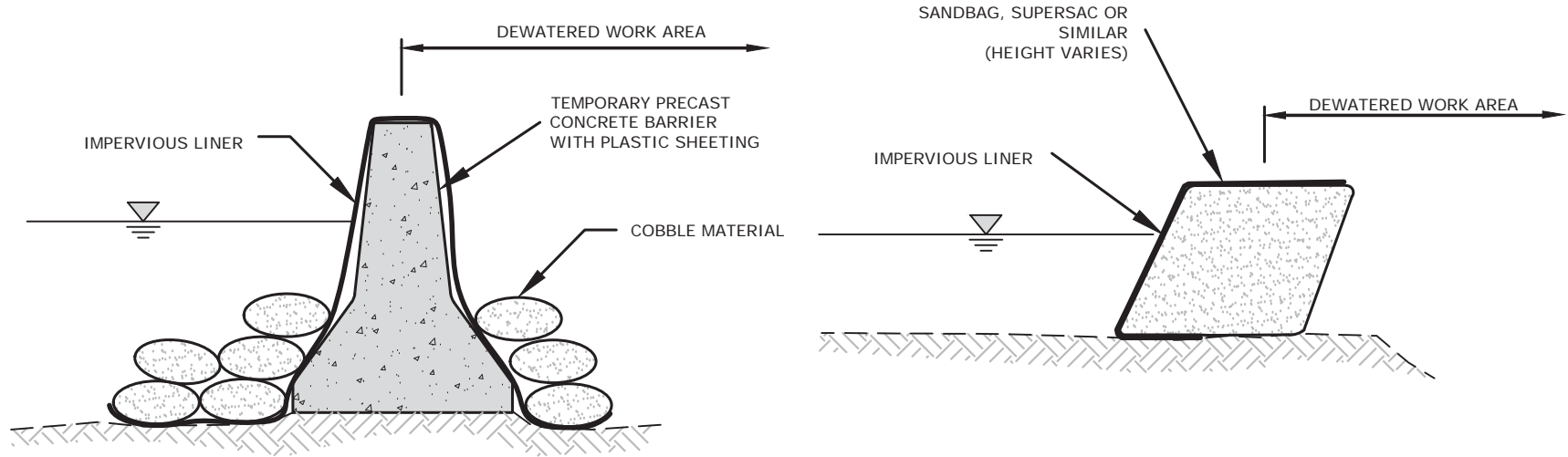
BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS

REVISED: 10/1/20

SEAVIEW AVENUE
BRIDGEPORT, CONNECTICUT

PRELIMINARY
NOT FOR CONSTRUCTION

FIGURE 43



CONCRETE BARRIER

SANDBAG

NOTES:

1. COFFERDAM TO BE SIZED TO ISOLATE CONSTRUCTION AREA FROM TIDAL INFLUENCE.



DATE	AUG. 10, 2020
SCALE	NOT TO SCALE
PROJ. NO.	4087-13
DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

TEMPORARY COFFERDAM DETAIL
BARNUM LANDING FERRY TERMINAL PROJECT
 ATTACHMENT I - PROJECT PLANS
 SEAVIEW AVENUE
 BRIDGEPORT, CONNECTICUT

REVISED: 10/1/20

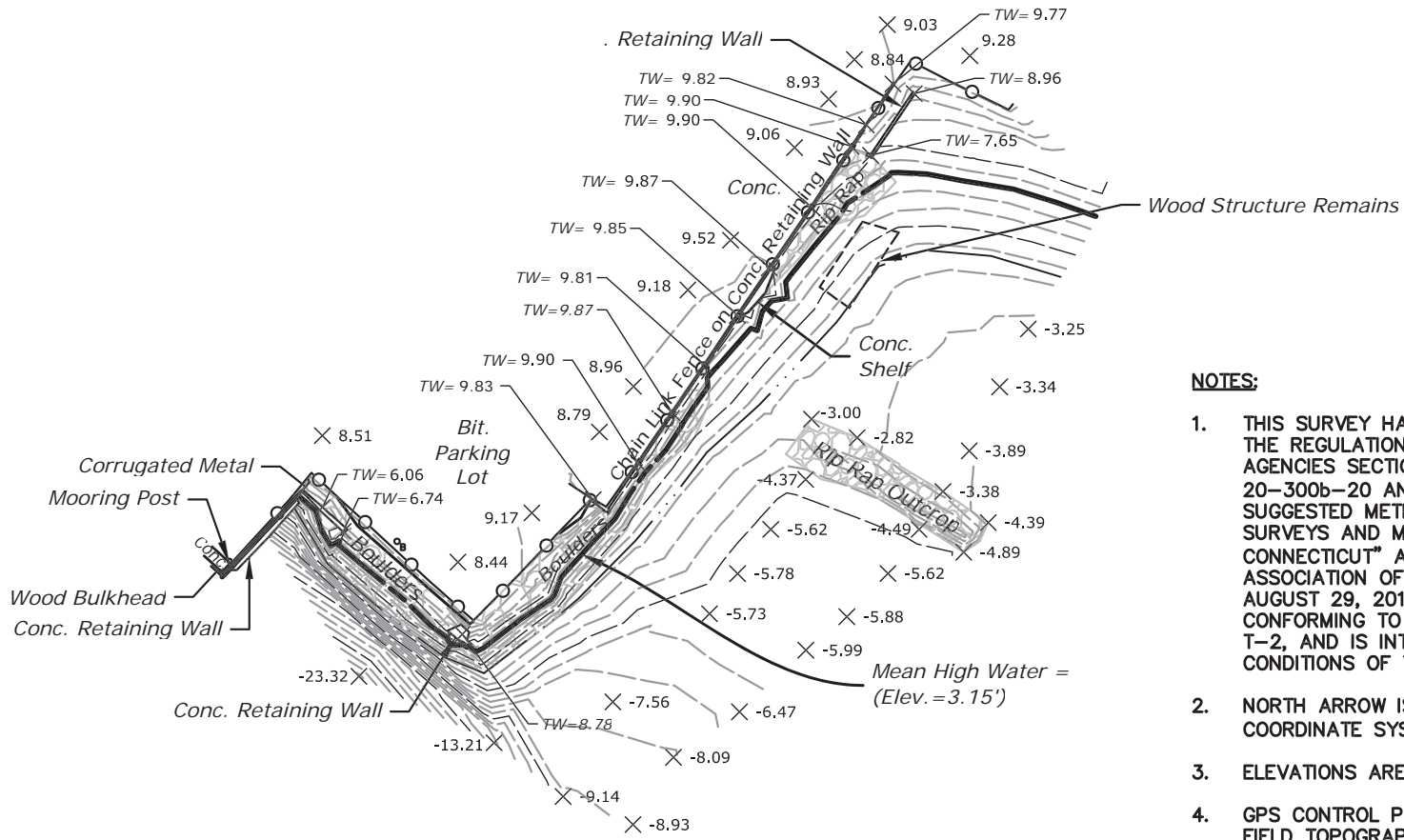
PRELIMINARY
 NOT FOR CONSTRUCTION

FIGURE 44

Drawing: W:\SURVEY\4087-13-SU\6251-02 BARNUM LANDING TOPO SURVEY.DWG Layout Tab:8.5X11H



Benchmark
Drill Hole in SW Corner of Catch Basin
Elev.=8.60



NOTES:

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON AUGUST 29, 2019. IT IS A TOPOGRAPHIC SURVEY CONFORMING TO TOPOGRAPHIC ACCURACY CLASS T-2, AND IS INTENDED TO DEPICT THE EXISTING CONDITIONS OF THE SITE.
2. NORTH ARROW IS BASED UPON THE CONNECTICUT COORDINATE SYSTEM (NAD 1983).
3. ELEVATIONS ARE BASED UPON NAVD 1988.
4. GPS CONTROL PERFORMED AUGUST 23, 2020. FIELD TOPOGRAPHY PERFORMED AUGUST 28, 2020.

Plotted by: VANH On this date: Wed, 2020 September 2 - 9:19am



DATE	AUGUST 6, 2020
SCALE	1"=100'
PROJ. NO.	4087-13
DESIGNED	--
DRAWN	MDP
CHECKED	DLO

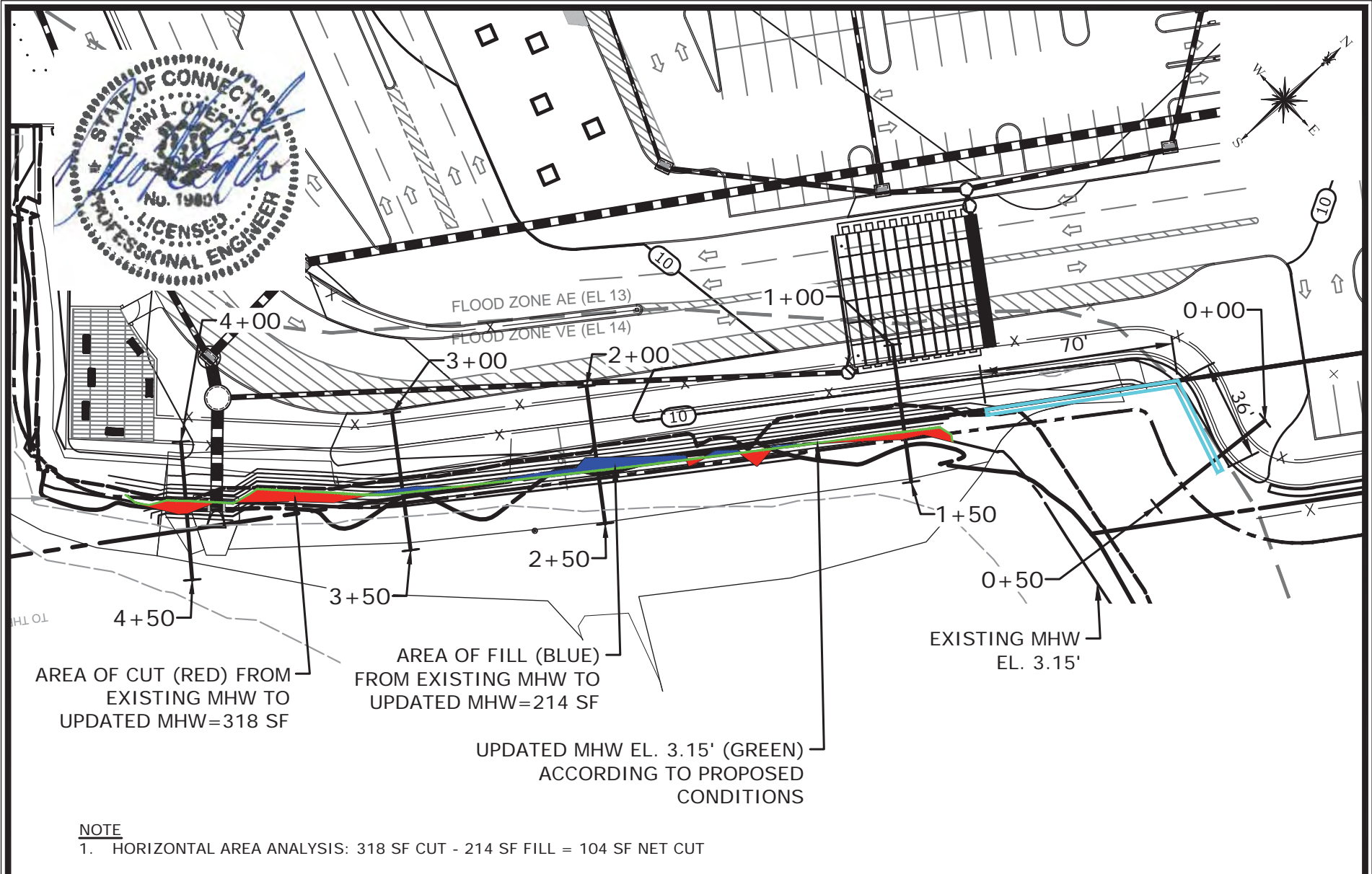
TOPOGRAPHIC SURVEY
BARNUM LANDING FERRY TERMINAL PROJECT
SEAVIEW AVENUE
BRIDGEPORT, CONNECTICUT

REVISED: 10/1/20

DRAWING NAME:
FIG. 60

Drawing: W:\CADDESIGN\4087-13-DE\CAD\NONPLANSET\BF-CIL-2019-09-20.DWG Layout Tab:FIGURE 61

Plotted by: SCOTTN On this date: Wed, 2020 November 25 - 3:45pm



DATE	SEPT. 2, 2020
SCALE	1"=50'
PROJ. NO.	4087-13
DESIGNED	VEH
DRAWN	ADS
CHECKED	DLO

HORIZONTAL AREA ANALYSIS
BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT I - PROJECT PLANS

SEAVIEW AVENUE
 BRIDGEPORT, CONNECTICUT

REVISED: 10/1/20

PRELIMINARY
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FIGURE 61

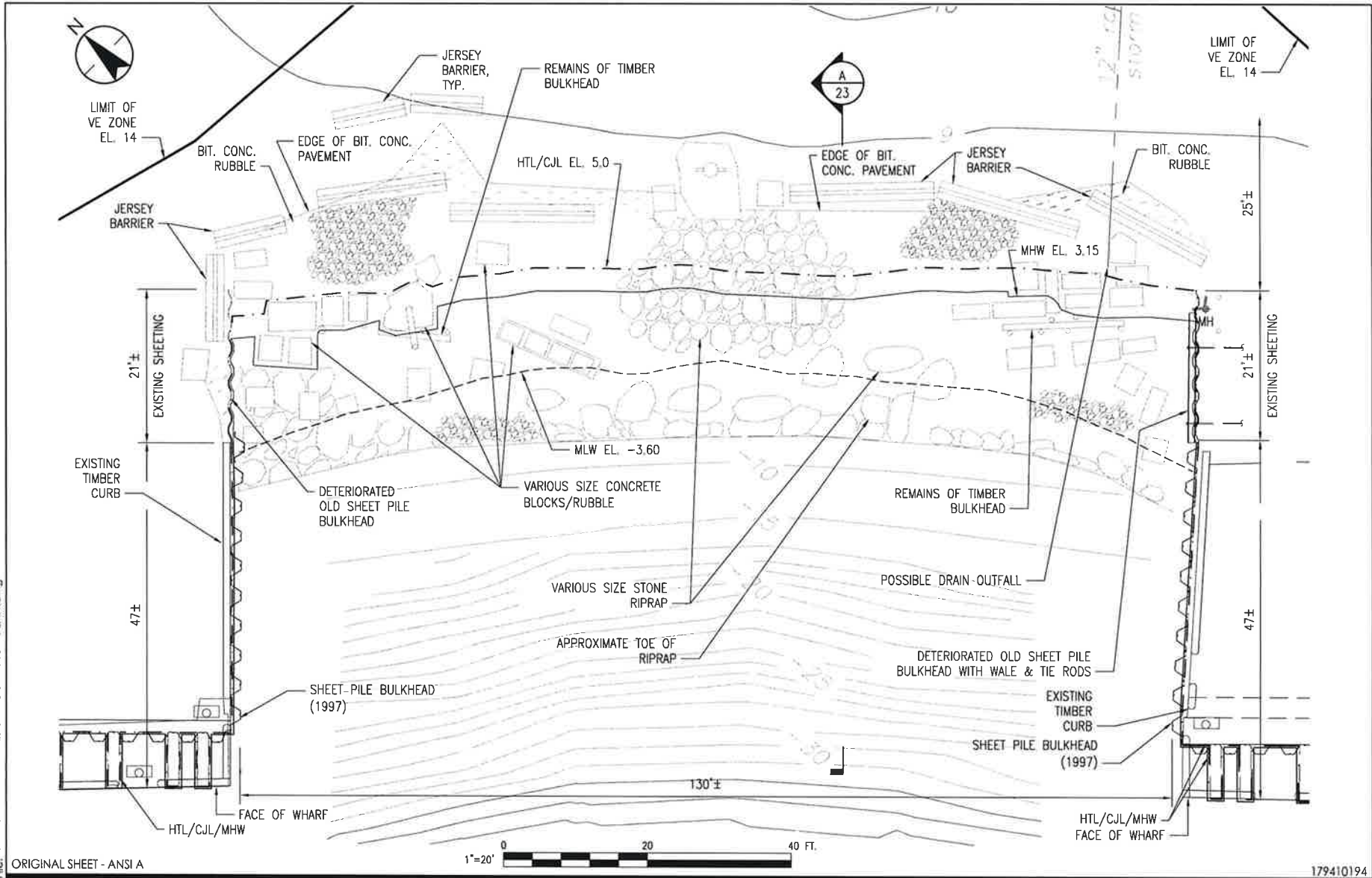


Fig: I-42 RIP-RAP AREA EXISTING CONDITION PLAN.dwg

ORIGINAL SHEET - ANSI A

179410194



5 Burlington Woods Drive, Suite 210
 Burlington MA 01803 U.S.A.
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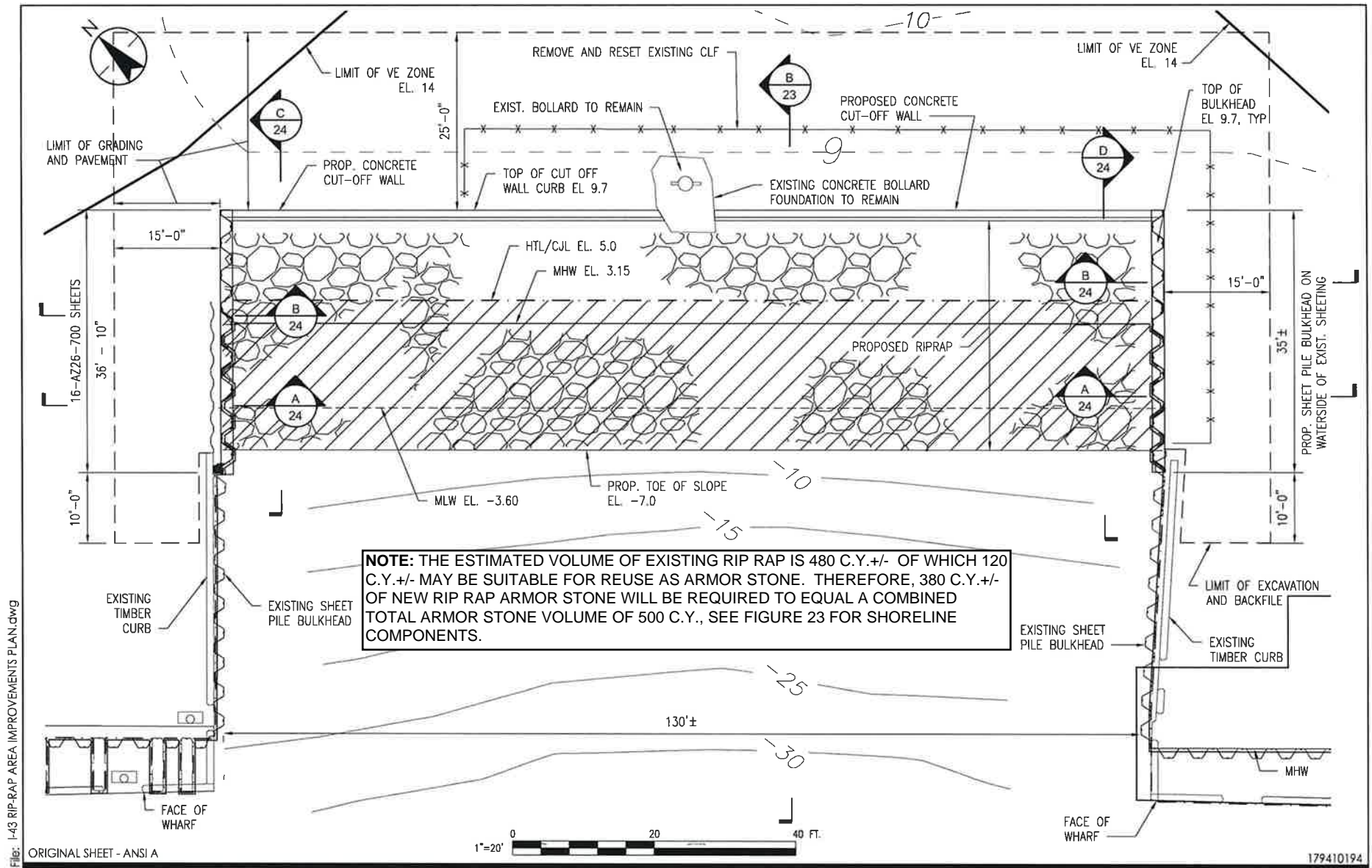
Frederick A. Moseley
 9/23/19

Client/Project
 BARNUM LANDING FERRY TERMINAL PROJECT
 ATTACHMENT 1 PROJECT PLANS
 WATERSIDE COMPONENTS

Title
 RIPRAP AREA EXISTING
 CONDITION PLAN

FIGURE 21

September 23, 2019



File: I-43 RIP-RAP AREA IMPROVEMENTS PLAN.dwg



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 Burlington MA 01803 U.S.A.
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Handwritten signature and date: 9/24/19

Client/Project
 BARNUM LANDING FERRY TERMINAL PROJECT
 ATTACHMENT 1 PROJECT PLANS
 WATERSIDE COMPONENTS

Title

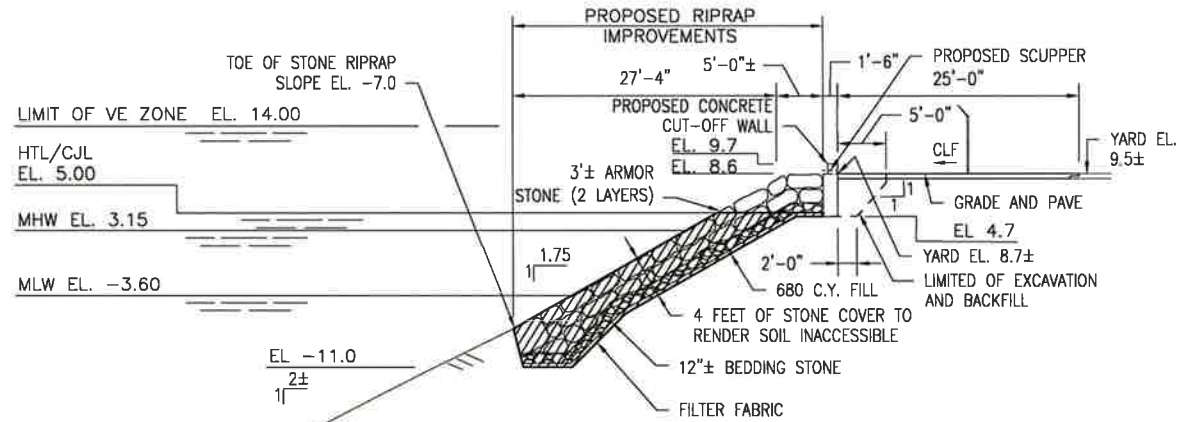
RIPRAP AREA IMPROVEMENTS PLAN

FIGURE 22

September 23, 2019

THE RIPRAP IMPROVEMENT WORK SHALL CONSIST OF THE FOLLOWING:

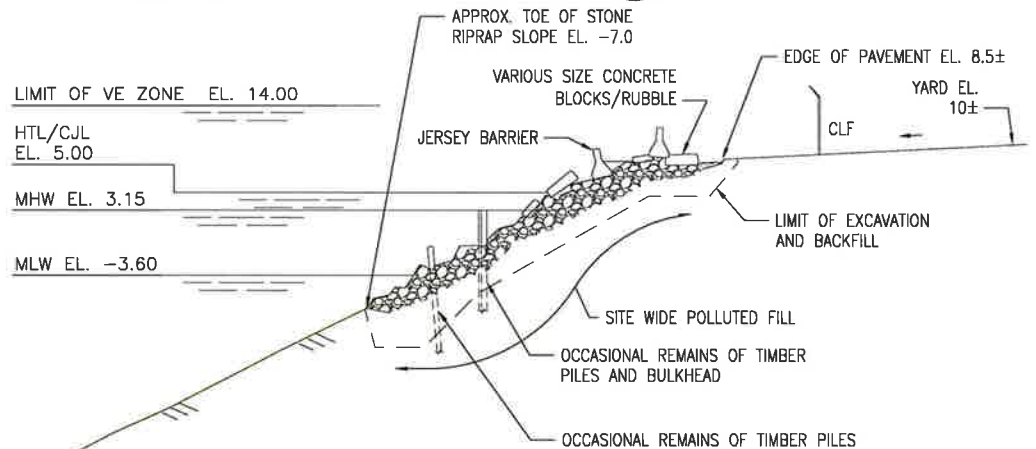
1. REMOVAL OF ALL OF THE EXISTING RIPRAP STONE, PIECES OF CONCRETE AND OTHER MATERIALS AND DEBRIS ON THE SLOPE. CUT OFF ANY REMAINS OF OLD TIMBER PILES ENCOUNTERED FLUSH WITH THE BOTTOM OF THE RE-GRADED SLOPE BELOW THE PROPOSED NEW RIPRAP STONE.
2. ANY STONES THAT CONFORM TO THE REQUIREMENTS OF THE PROPOSED RIPRAP STONE MAY BE STOCKPILED ON SITE AND RE-USED. ALL OTHER MATERIAL SHALL BE DISPOSED OF OFF-SITE.
3. INSTALL NEW STEEL SHEET PILING AT EACH SIDE OF THE RIPRAP AREA IN FRONT OF THE OLD DETERIORATED SHEETING. CUT OFF UPPER PORTION OF THE OLD DETERIORATED SHEETING PRIOR TO BACKFILLING.
4. AFTER THE EXISTING RIPRAP MATERIAL HAS BEEN REMOVED, THE EXISTING SLOPE SHALL BE RE-GRADED TO A UNIFORM SLOPE TO SUIT THE PROPOSED RIPRAP IMPROVEMENTS.
5. INSTALL NEW FILTER FABRIC, BEDDING STONE, AND ARMOR STONE ON THE RE-GRADED SLOPE AS INDICATED.
6. THE CONTRACTOR SHALL INSTALL AN IN WATER FLOATING CONTAINMENT BOOM WITH A WEIGHTED SILT CURTAIN AROUND THE PERIMETER OF THE WORK AREA PRIOR TO PROCEEDING WITH ANY DEMOLITION OR IMPROVEMENTS WORK.



AREA BETWEEN WHARVES RIPRAP IMPROVEMENTS - SECTIONS

SCALE: 1" = 20'

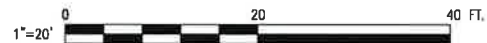
22 (B)



EXISTING RIPRAP - SECTIONS

SCALE: 1" = 20'

21 (A)



Shoreline Component	Sheet Nos.	Area Below HTL/CJL (s.f.)	Volume Below HTL/CJL (c.y.)
RipRap Armor Stone	22 & 23	4,190	500
Bedding Stone	22 & 23	4,190*	175
Clean Fill Behind Bulkhead	22 & 24	100	14
Sheetpile Bulkhead	22 & 24	5	1
TOTAL SHORELINE IMPACT		4,295	690

*NOT INCLUDED IN TOTAL SINCE IT IS THE SAME FOOTPRINT AS THE ARMOR STONE.

File: I-44 RIP-RAP AREA SECTIONS.dwg

ORIGINAL SHEET - ANSI A

I-44 RIP-RAP AREA SECTIONS.dwg
179410194

Client/Project
BARNUM LANDING FERRY TERMINAL PROJECT
ATTACHMENT 1 PROJECT PLANS
WATERSIDE COMPONENTS

Title

RIPRAP AREA SECTIONS

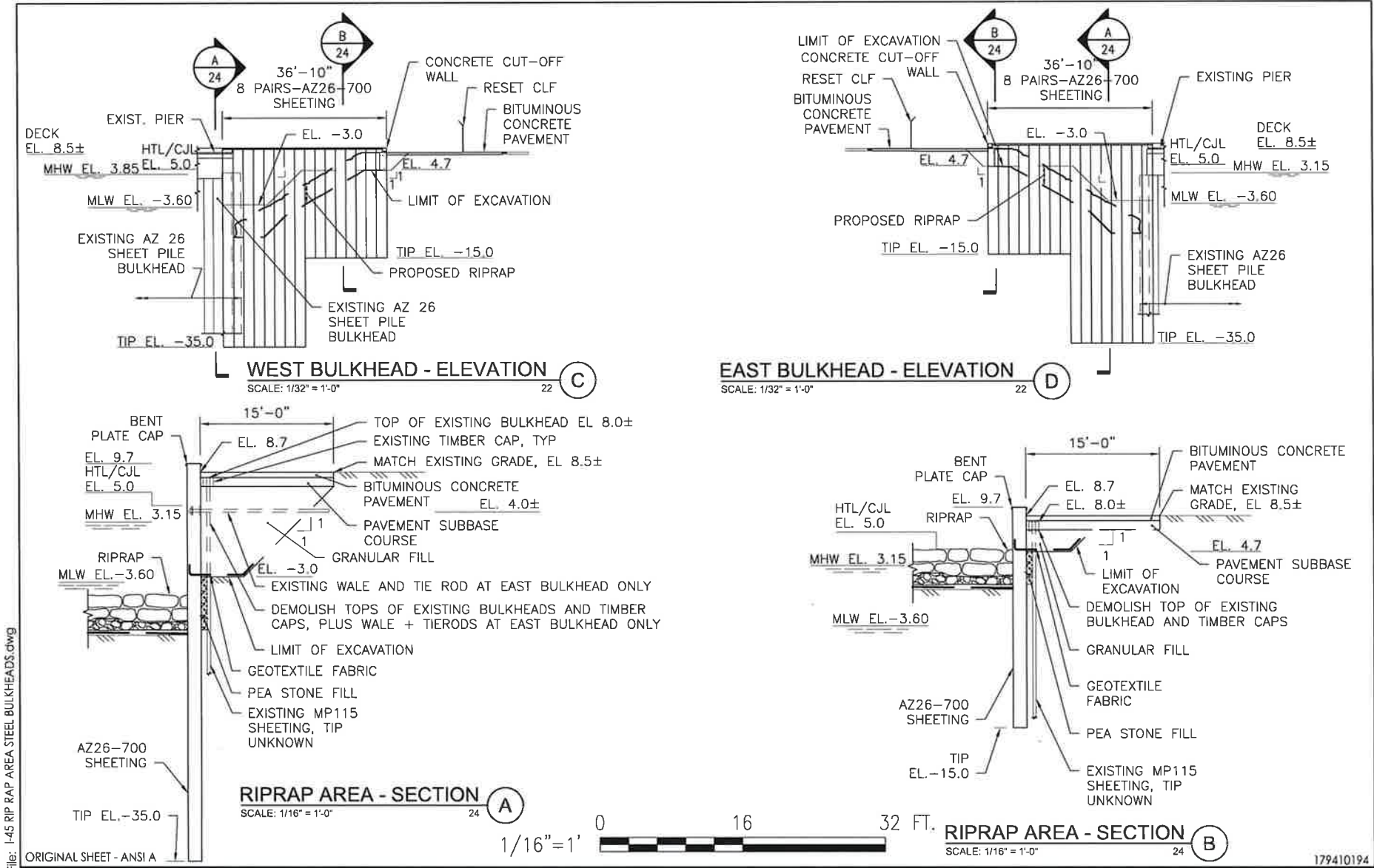
FIGURE 23



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File: I-45 RIP RAP AREA STEEL BULKHEADS.dwg

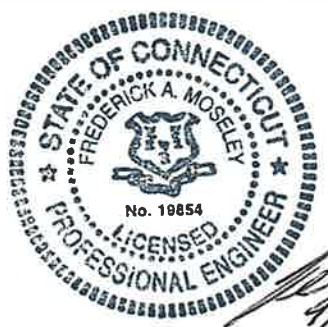
ORIGINAL SHEET - ANSI A



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Client/Project
 BARNUM LANDING FERRY TERMINAL PROJECT
 ATTACHMENT 1 PROJECT PLANS
 WATERSIDE COMPONENTS

Title

RIPRAP AREA STEEL BULKHEADS

FIGURE 24

September 23, 2019

Office of the Secretary of the State of Connecticut

I, the Connecticut Secretary of the State, and keeper of the seal thereof,
DO HEREBY CERTIFY, that articles of organization for

BARNUM LANDING, LLC

a domestic limited liability company, were filed in this office on February 26, 2009. The following is a
list of all documents filed in this office:

Filing Type: -----	File Date/Time: -----	Effective Date/Time: -----
ARTICLES OF ORGANIZATION	February 26, 2009 02:00 PM	
REPORT (2010)	November 10, 2010 09:41 AM	
REPORT (2011)	November 02, 2011 08:12 PM	
REPORT (2012)	January 09, 2012 04:21 PM	
REPORT (2013)	February 15, 2013 03:51 PM	
REPORT (2014)	January 17, 2014 01:03 PM	

Articles of dissolution have not been filed, and so far as indicated by the records of this office such
limited liability company is in existence.



Secretary of the State

Date Issued: December 04, 2014

Business ID: 0964090

Longform

Certificate Number: 2014348147001

Note: To verify this certificate, visit the web site <http://www.concord.sots.ct.gov>

Office of the Secretary of the State of Connecticut

I, the Connecticut Secretary of the State, and keeper of the seal thereof,
DO HEREBY CERTIFY, that articles of organization for

BARNUM LANDING II, LLC

a domestic limited liability company, were filed in this office on March 07, 2013. The following is a list
of all documents filed in this office:

Filing Type:	File Date/Time:	Effective Date/Time:
-----	-----	-----
ARTICLES OF ORGANIZATION	March 07, 2013 12:00 PM	
REPORT (2014)	August 21, 2014 04:53 PM	

Articles of dissolution have not been filed, and so far as indicated by the records of this office such
limited liability company is in existence.



Secretary of the State

Date Issued: December 04, 2014

Business ID: 1099077

Longform

Certificate Number: 2014348150001

Note: To verify this certificate, visit the web site <http://www.concord.sots.ct.gov>



PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: CHINTAN PATEL
- 2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
- 3. Address of Property: 541 BROADBRIDGE RD, BRIDGEPORT, CT 06610
(number) (street) (state) (zip code)
- 4. Assessor's Map Information: Block No. 2805 Lot No. 29
- 5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
- 6. Description of Property (Metes & Bounds): 461.67' WIDE X 186.05' DEEP - 85,894 SQ. FT.
- 7. Existing Zone Classification: OR
- 8. Zone Classification requested: _____
- 9. Describe Proposed Development of Property: NO DEVELOPMENT

Approval(s) requested: SEEKING APPROVAL FOR A LIQUOR STORE

Signature: *Chintan Patel* Date: 03/23/21
 Print Name: CHINTAN PATEL

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
 Print Name: _____

Mailing Address: 174 OLD KINGS HWY, WILTON, CT 06897
 Phone: _____ Cell: 203 918 0054 Fax: _____
 E-mail Address: CHINTAN1983@HOTMAIL.COM

\$ 595 Fee received Date: 3/24/21 Clerk: *[Signature]*

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

BEARDSLEY PLAZA LLC Print Owner's Name
[Signature] Owner's Signature
03/23/21 Date

 Print Owner's Name

 Owner's Signature

 Date

Date: 03/23/2021

From: Chintan Patel residing at 174 old kings hwy, Wilton, CT

Subject: Personal Statment

To : Whom it may concern ,

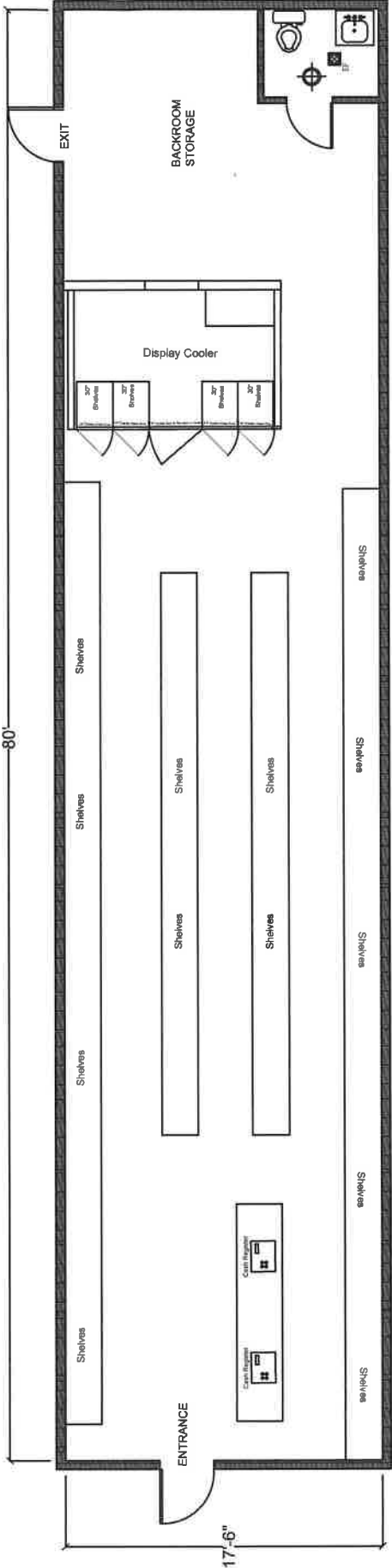
I request Planning & Zoning Commission of City of Bridgeport the approval of 541 Broadbridge Road, Bridgeport, CT property for a Liquor Package Store. I would like to open a family owned and operate Fine Wine and Liquor store in the City of Bridgeport. We will operate the business with all safety measures to protect the neighborhood environment. I will be spending the money to improve the site and hire local employees. This will be a great addition to the neighborhood for the convenience and a store that will offer an excellent service to their customers.

If you have any additional questions or concerns please feel free to contact me via phone at 203 918 0054.

Thank you,

Chintan Patel
(Applicant)

**DIMENSION OF THE RETAIL STORE SPACE AT
541 BROAD BRIDGE RD, BRIDGEPORT, CT
80'x 17'-6"**



PROPERTY ADDRESS

559 Broadbridge Rd. – abutter

1086 Huntington Tpke - abutter

29 Holland Rd. - abutter

1077 Huntington Tpke

65 Holland Rd.

575 Broadbridge Rd.

1055 Huntington Tpke.

PROPERTY OWNER

Beardsley Plaza Ltd Ptnsp
PO Box 3580
Stamford, CT 06905

Barbara Ann Gabianelli
3059 Main St.
Stratford, CT 06614

Stephanie Ferreira
29 Holland Rd.
Bridgeport, CT 06610

Robert Discala
175 Hilltop Circle
Trumbull, CT 06610

Francisco Verrissimo
65 Holland Rd.
Bridgeport, CT 06610

Beardsley Ltd Ptnsp
PO Box 3580
Stamford, CT 06905

1055 Huntington Tpke LLC
1425 Noble Ave.
Bridgeport, CT 06606

Property Address

73 Holland Rd.

55 Holland Rd.

541 Broadbridge Rd.

Property Address

Adaini Adeboye

73 Holland Rd.

Bridgeport, CT 06610

Francisco Verrissimo

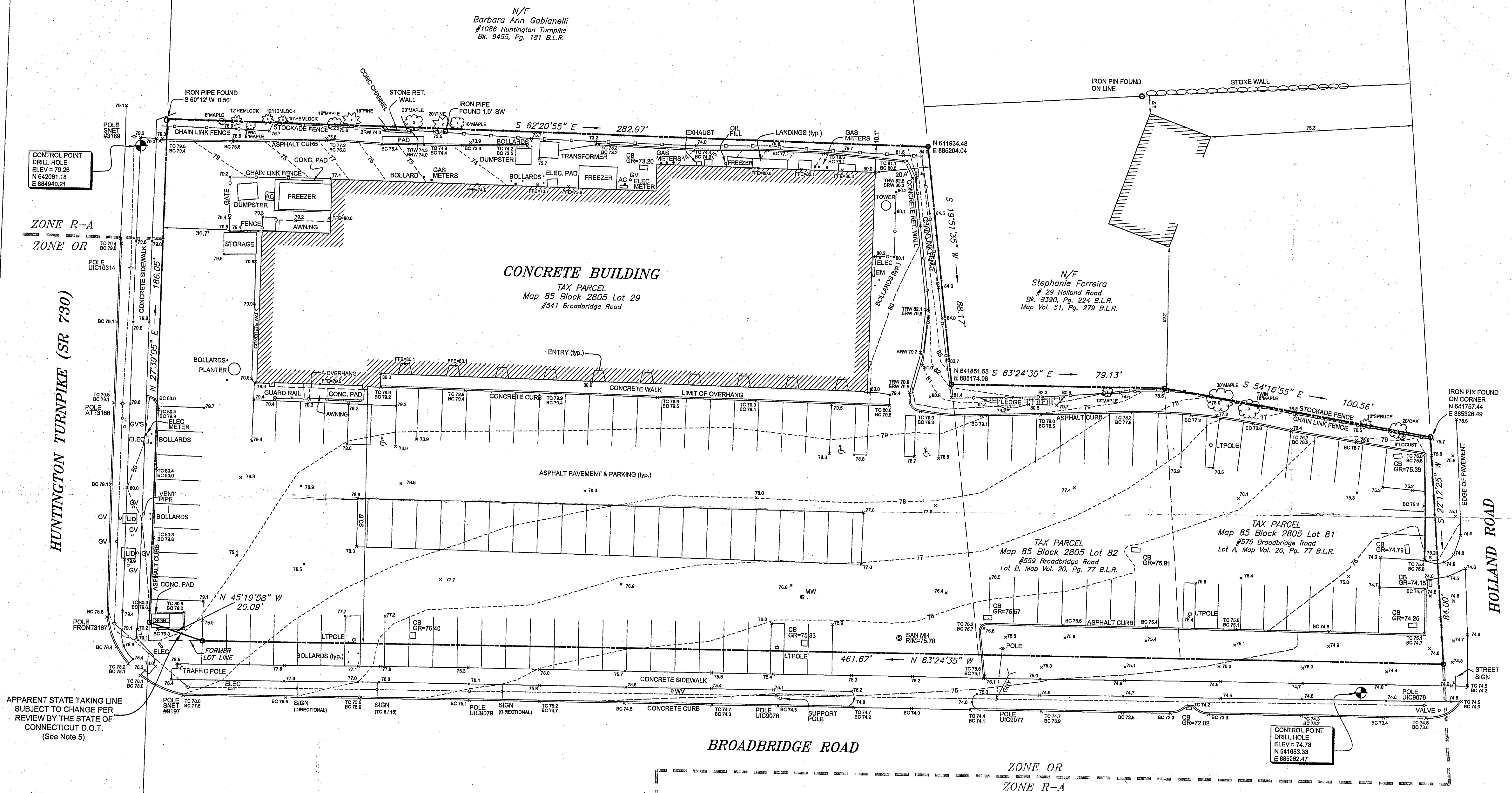
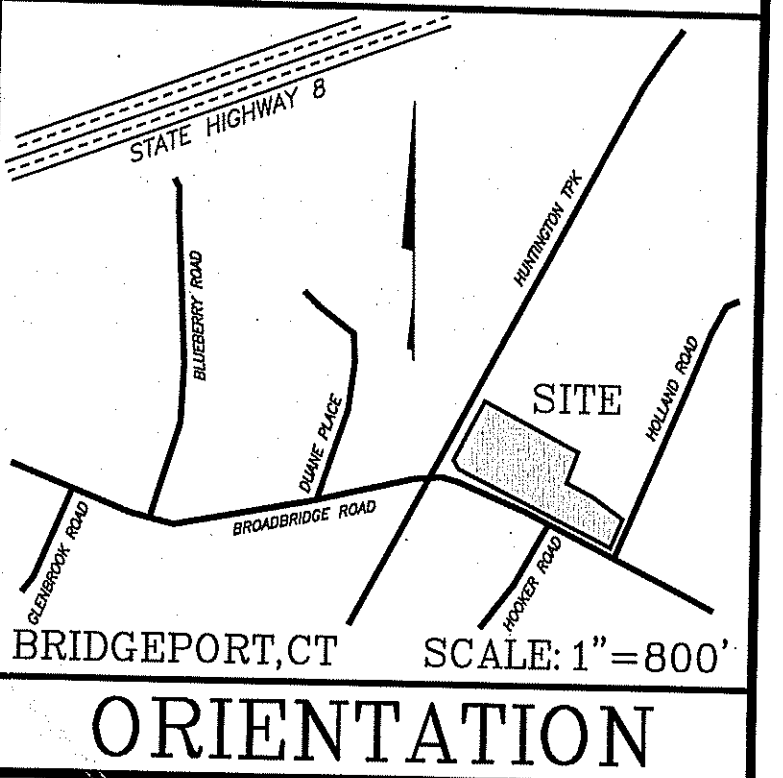
55 Holland Rd.

Bridgeport, CT 06610

Beardsley Plaza Ltd Ptnsp

PO Box 3580

Stamford, CT 06905



ZONE R-A
ZONE OR

APPARENT STATE TAKING LINE
SUBJECT TO CHANGE PER
REVIEW BY THE STATE OF
CONNECTICUT D.O.T.
(See Note 5)

NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property and Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to Topographic Accuracy Class T-2. It is intended to depict property boundaries, locations and elevations of improvements and topographic features.
- Area of the Surveyed Parcel: 72,750± Sq. Ft. (1.67± Acres). Subject to change based on findings outlined in note 5.
- Reference is made to the following Maps of Record found in the Bridgeport Land Records (B.L.R.): Vol. 18, Pg. 68, Vol. 20, Pg. 77, Vol. 51, Pg. 276, Vol. 51, Pg. 279 & Vol. 53, Pg. 255.
- Reference is made to the Deeds of Record found in Vol. 1722, Pg. 70 B.L.R.
- Reference is made to a Certificate of Taking recorded in Bk. 5986 on Pg. 287 B.L.R. However, the taking limits appear to be in error due to the incorrect assumption of where the existing boundary lines were for Beardsley Plaza on Map Vol. 53, Pg. 255. The taking line depicted on this survey represents the "apparent taking" based on feedback from the State of Connecticut D.O.T. However, it is subject to change based on their final findings and preparation of corrective maps & deeds.
- Reference is made to "Plot Plan of property in Bridgeport, Conn, prepared for Beardsley Plaza Limited Partnership" dated April 9, 1981, revised November 12, 1985, prepared by Fuller & Co., Inc.
- Reference is made to "Connecticut State Highway Department Right of Way Map Town of Bridgeport, Huntington Turnpike from East Main St. Easterly to the Trumbull Town Line Route No. 65", No. 15-01, Sheet 2 of 2, dated 6/30/1932.
- Elevations depicted hereon are based on the North American Vertical Datum of 1988 (NAVD-88).
- Reference is made to Instruments of Record as labeled hereon.
- Reference is made to FEMA Flood Insurance Rate Map (FIRM) Panel No. 431 of 626, Map No. 09001C0431F, Effective June 18, 2010. Subject Parcel Does Not lie in a Special Flood Hazard Area.
- Owner of Record: Beardsley Plaza Limited Partnership.

(21-17)

PROPERTY & TOPOGRAPHIC SURVEY
DEPICTING
541, 559 & 575 BROADBRIDGE ROAD
BRIDGEPORT, CT
PREPARED FOR
HOFFMAN INVESTMENT PARTNERS

Scale: 1"=20'

Drawn By: RJB Checked By: JPP Date: 3/9/2021

To my knowledge and belief this map is substantially correct as noted hereon.

George P. Pereira
Jorge P. Pereira, C.T., L.S. #70129
3/9/2021

DATE: 3/9/2021

This document and copies thereof are valid only if they bear the signature and embossed seal of the designated licensed professional. Unsubscribed alterations render any declaration hereon null & void.

Sheet No:
PSTS
Comm. No: 10278-1

LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
PERMITTING

22 First Street | Stamford, CT 06905
Tel: 203.327.0500 | Fax: 203.357.1118
www.rednissandmead.com

3/9/2021 10:57 AM H:\redniss\10000\10278\dwg\10278_PSTS.dwg

**PETITION TO THE PLANNING & ZONING COMMISSION
CITY OF BRIDGEPORT, CONNECTICUT**

- 1. NAME OF PETITIONER: New Power Bridgeport, LLC
- 2. Is the Petitioner's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
- 3. Address of Property: 600 (598) Iranistan Ave
(number) (street) (state) (zip code)
- 4. Assessor's Map Information: Block No. 400 Lot No. 8
- 5. Amendments to Zoning Regulations: (indicate) Article: N/A Section: _____
(Attach copies of Amendment)
- 6. Description of Property (Metes & Bounds): 136.13 x 376.49 x 330.75 - Irregular shaped lot (0.51 acres)
- 7. Existing Zone Classification: MU-LI
- 8. Zone Classification requested: N/A
- 9. Describe Proposed Development of Property: Fuel Cell Distribution Site

Approval(s) requested: Coastal Area Site Plan Review

Signature: J. Scott Guilmarin Date: 3/4/21
Print Name: J. Scott Guilmarin

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
Print Name: _____

Mailing Address: 130 North Park Ave Easton CT 06612
Phone: _____ Cell: 860-250-6232 Fax: _____
E-mail Address: sguilmarin@nupowerllc.net

\$ 240.00 Fee received Date: 3/4/21 Clerk: _____

THIS PETITION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- A-2 Site Survey
- Building Floor Plans
- Completed Site / Landscape Plan
- Drainage Plan
- Building Elevations
- Written Statement of Development and Use
- Property Owner's List
- Fee
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

720 South, LLC
Print Owner's Name

Print Owner's Name

[Signature]
Owner's Signature
[Signature]
Owner's Signature

3/4/21
Date

Date

⑆21170101⑆10 0015356949⑆ 5568

For Cashier's Use Only
WebsterOnline.com



Dollars

Two hundred forty

\$ 240.00

Order of City of Bridgeport

Pay to the

Date

3/3/21

CHECK NUMBER

5568

91-7010/2111
158

759 HALE ST
SUFFIELD, CT 06078

J SCOTT GULMARTIN JR



February 25, 2021

Mr. Dennis Buckley
Zoning Administrator
Zoning Department, City Hall
45 Lyon Terrace, Room 210
Bridgeport, CT 06604

Re: Nupower Bridgeport FC LLC
600 Iranistan Avenue, Bridgeport

Dear Mr. Buckley,

Enclosed are fourteen (14) copies of an *Application Form Municipal Coastal Site Plan Review For Projects Located Fully or Partially Within the Coastal Boundary*, along with supporting documents submitted on behalf of Nupower Bridgeport FC LLC for its fuel cell project at 600 Iranistan Avenue, Bridgeport. A check for \$ 305.00 payable to the City is also enclosed.

Nupower Bridgeport FC LLC has an option to lease 600 Iranistan Avenue, Bridgeport from its current owner 720 South LLC.

Please contact me or Scott Guilmartin of Nupower Bridgeport FC LLC should you wish to discuss this project.

Sincerely,

A handwritten signature in blue ink that reads "Mark M. Zessin".

Mark M. Zessin, P.E.
President

cc: Scott Guilmartin, Nupower Bridgeport FC LLC



CITY OF BRIDGEPORT

Application Form

Municipal Coastal Site Plan Review For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I: Applicant Identification

Applicant: <u>Nupower Bridgeport FC LLC</u>	Date: <u>2/25/21</u>
Address: <u>130 North Park Ave. Easton, CT 06612</u>	Phone: <u>Scott Guilmartin, 860-250-6232</u>
Project Address or Location: <u>600 Iranistan Avenue, Bridgeport</u>	
Interest in Property: <input type="checkbox"/> fee simple <input checked="" type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant: Name: <u>Mark M. Zessin, P.E, Senior Vice President, Barton and Loguidice, LLC</u>	
Address: <u>41 Sequin Drive</u>	
City/Town: <u>Glastonbury</u>	State: <u>CT</u> Zip Code: <u>06033</u>
Business Phone: <u>860-633-8770</u>	
e-mail: <u>mzessin@bartonandloguidice.com</u>	

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site **Not Applicable**
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only) **Not Applicable**
- Soil erosion and sediment controls
- Stormwater treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

--

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site

Plan Review: **Not Applicable**

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description: 600 Iranistan Avenue

City or Town: Bridgeport

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? YES NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:

Not Applicable

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:
The property is a triangular shaped parcel. The northern side of the parcel is abuts the Metro North Railroad, owned by the State of Connecticut. The southeastern side of the parcel abuts the Interstate I-95 R.O.W. nearest the southbound lane, owned by State of Connecticut. The southwestern side of the parcel abuts Iranistan Avenue, owned by the City of Bridgeport, across Iranistan Avenue is an Industrially used site with an existing building and an existing Billboard

5. Indicate the area of the project site: 0.51 acres **acres** or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities **Not Applicable**

Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application. **Not Applicable**

Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review. **Not Applicable**

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) Yes No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The existing one-half acre parcel at 600 Iranistan Ave is vacant. The site is generally flat. Fill will be placed to raise the grade of the site 2 ± feet. The Facility will consist of a 3 ½ story steel and concrete structure. The proposed installation consists of twenty one (21) 460KW Model 400 FuelCells manufactured by Doosan Fuel Cell America, Inc. in South Windsor, Connecticut (See Attachment #4 for Model 400 Data Sheets). The overall dimension of the individual Fuel Cells is eight feet four inches wide by twenty-seven feet four inches long by nine feet eleven inches tall. The proposed facility will be a distributed generation resource.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

The first inch of runoff from the site will be retained on site and will be directed to an infiltration system as shown on the plan. The infiltration system consists of a series of 48” deep galleys.

As the water will infiltrate on site, there will not be an increase in runoff. total suspended solids from the site will be retained within the galleys and will periodically be cleaned out.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)				X
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

No resources within the influence of project.

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- : General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- 9 Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- 9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- 9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- 9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- 9 Boating - CGS Section 22a-92(b)(1)(G)
- 9 Fisheries - CGS Section 22a-92(c)(1)(I)
- 9 Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- 9 Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- 9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- 9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- 9 Solid Waste - CGS Section 22a-92(a)(2)
- 9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- 9 Cultural Resources - CGS Section 22a-92(b)(1)(J)
- 9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities
** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No resources within the influence of project.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

- Identify the adverse impact categories below that apply to the proposed project or activity. The **Applicable** column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

- Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

Not Applicable

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

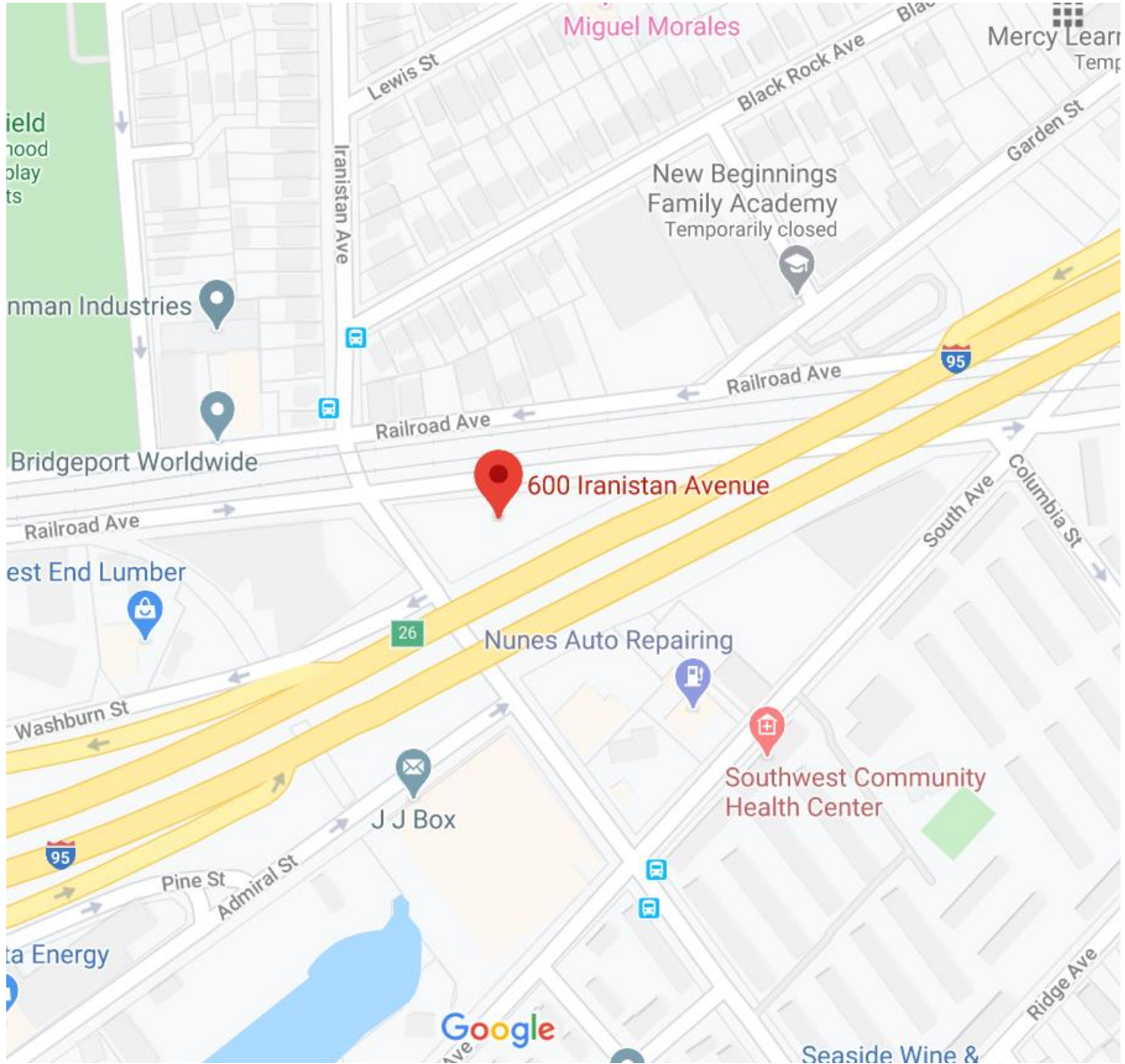
No resources within the influence of project, as such mitigation is not required.

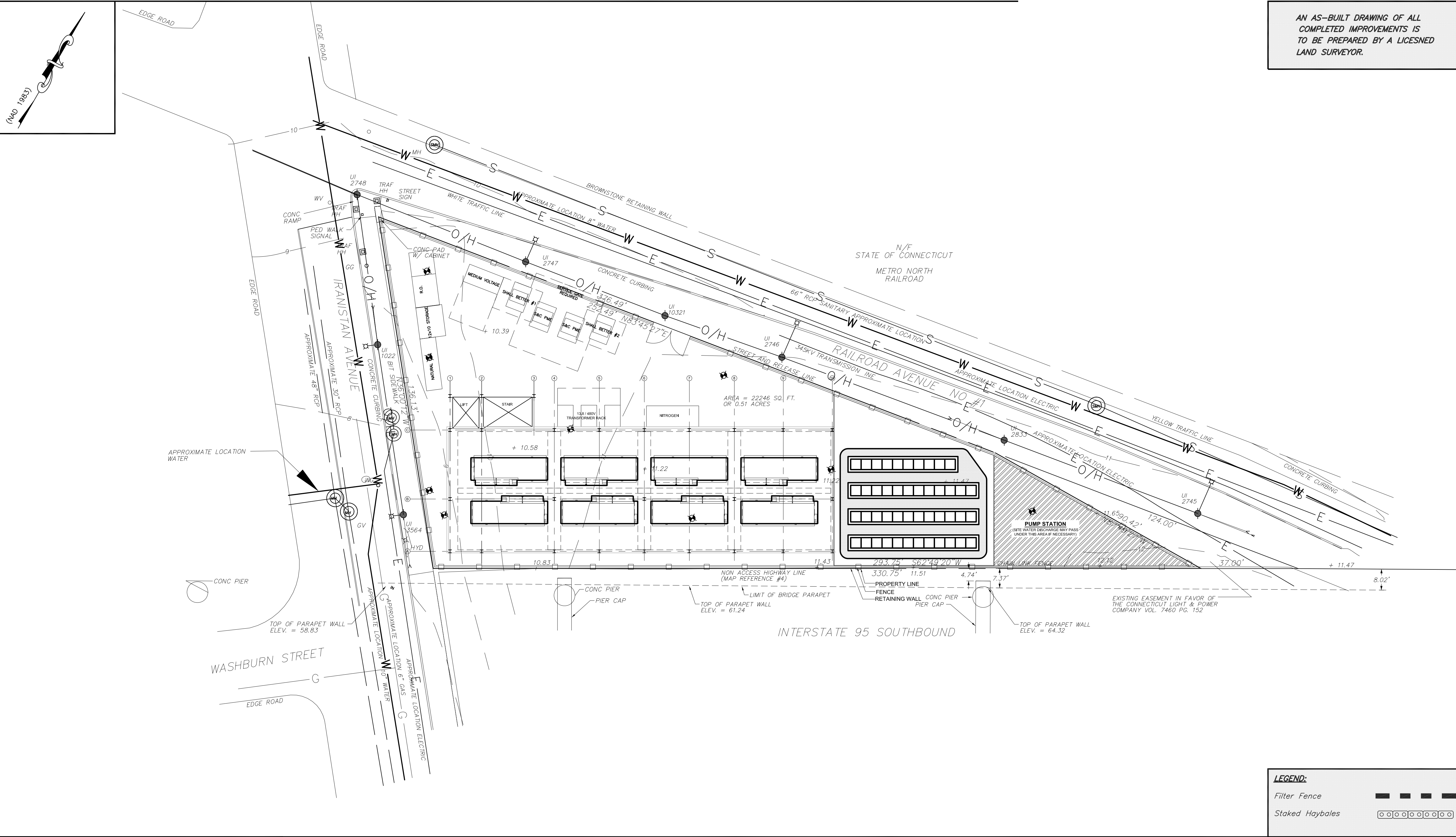
Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

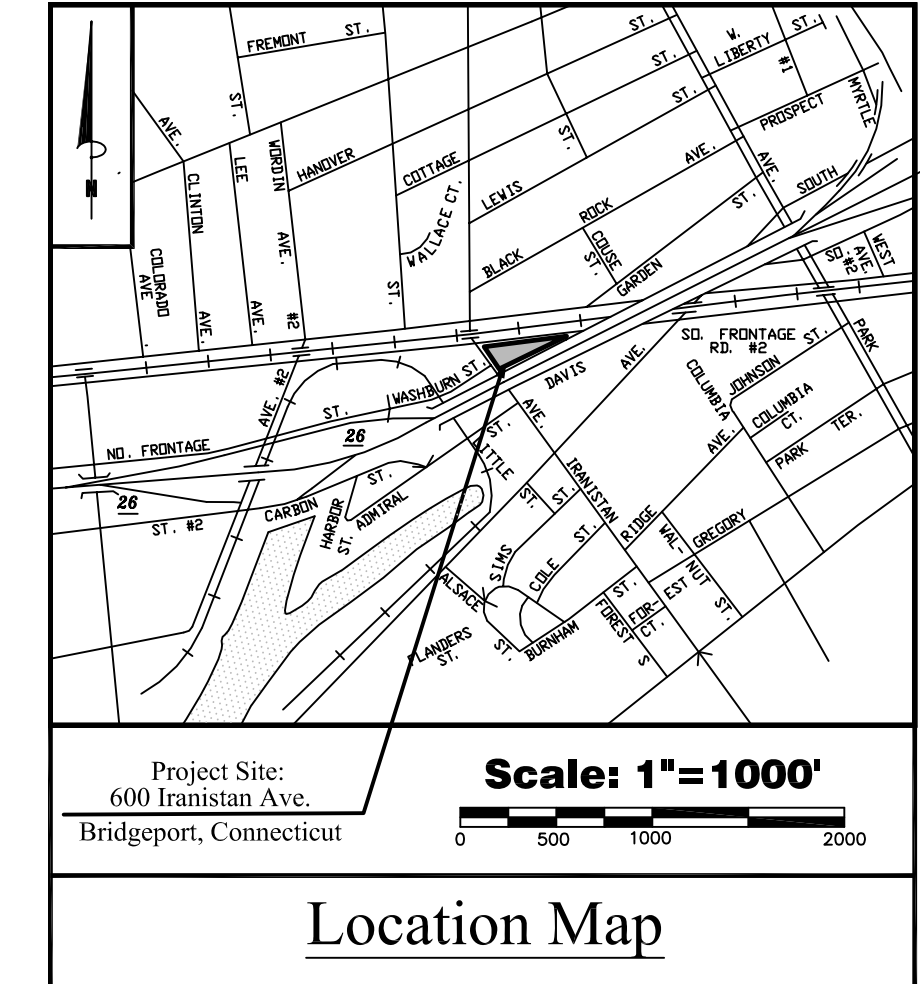
Not Applicable as no adverse impacts.

Attachment #1





AN AS-BUILT DRAWING OF ALL COMPLETED IMPROVEMENTS IS TO BE PREPARED BY A LICENSSED LAND SURVEYOR.



CBYD / DEMOLITION NOTES

1. Contractor is to notify "Call Before You Dig" prior to any on-site construction activities.
2. The Contractor is responsible for legally disposing of all construction debris associated with the razing of on-site structures.

STAKEOUT NOTE

The location of all the improvements shown hereon shall be staked as directed by the design engineer. A licensed land surveyor shall perform the stakeout. All house & septic components shall be staked prior to construction. Proper off-set distances shall be provided in-order for the Contractor to install the improvements shall be adhered to.

EROSION CONTROL NOTE

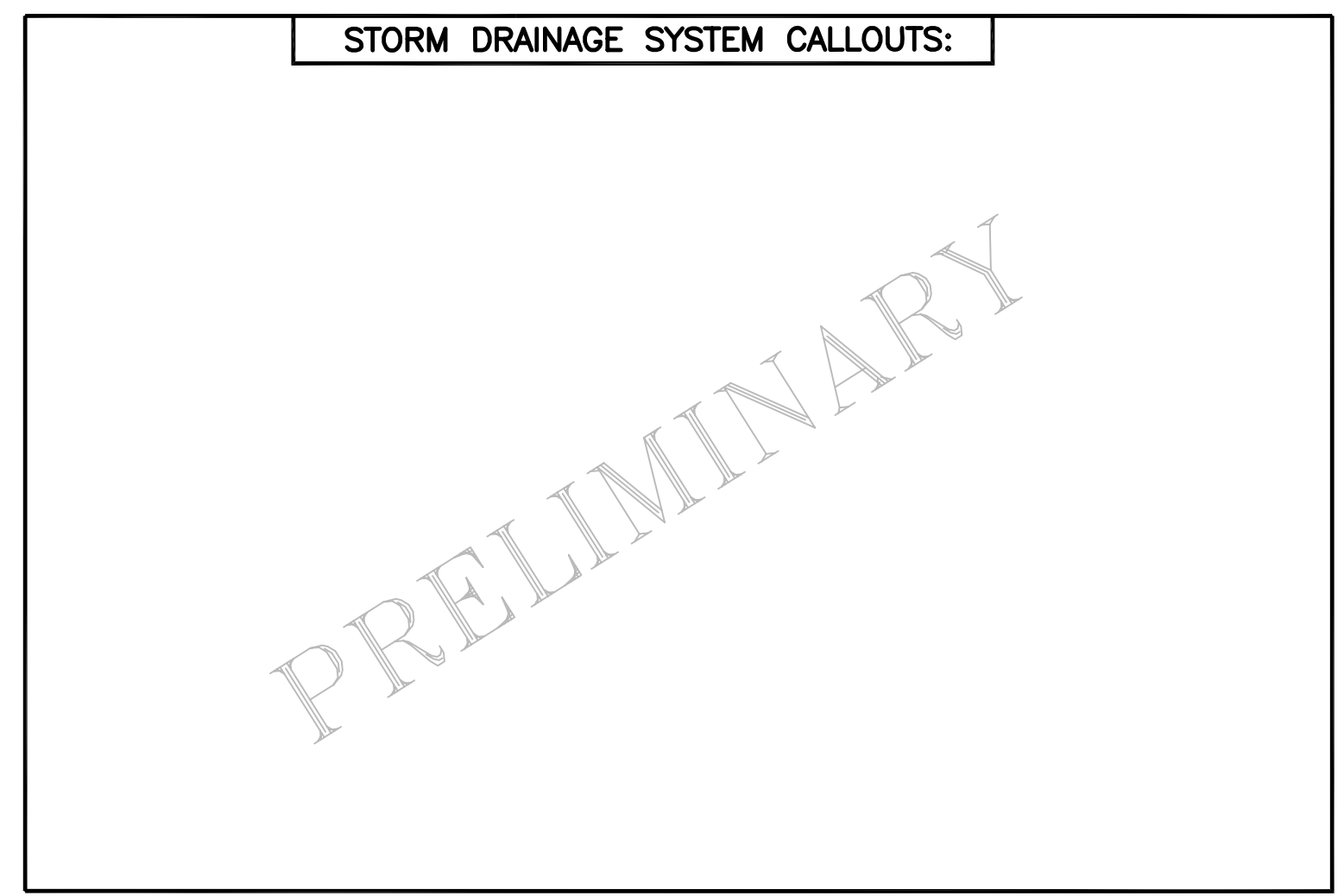
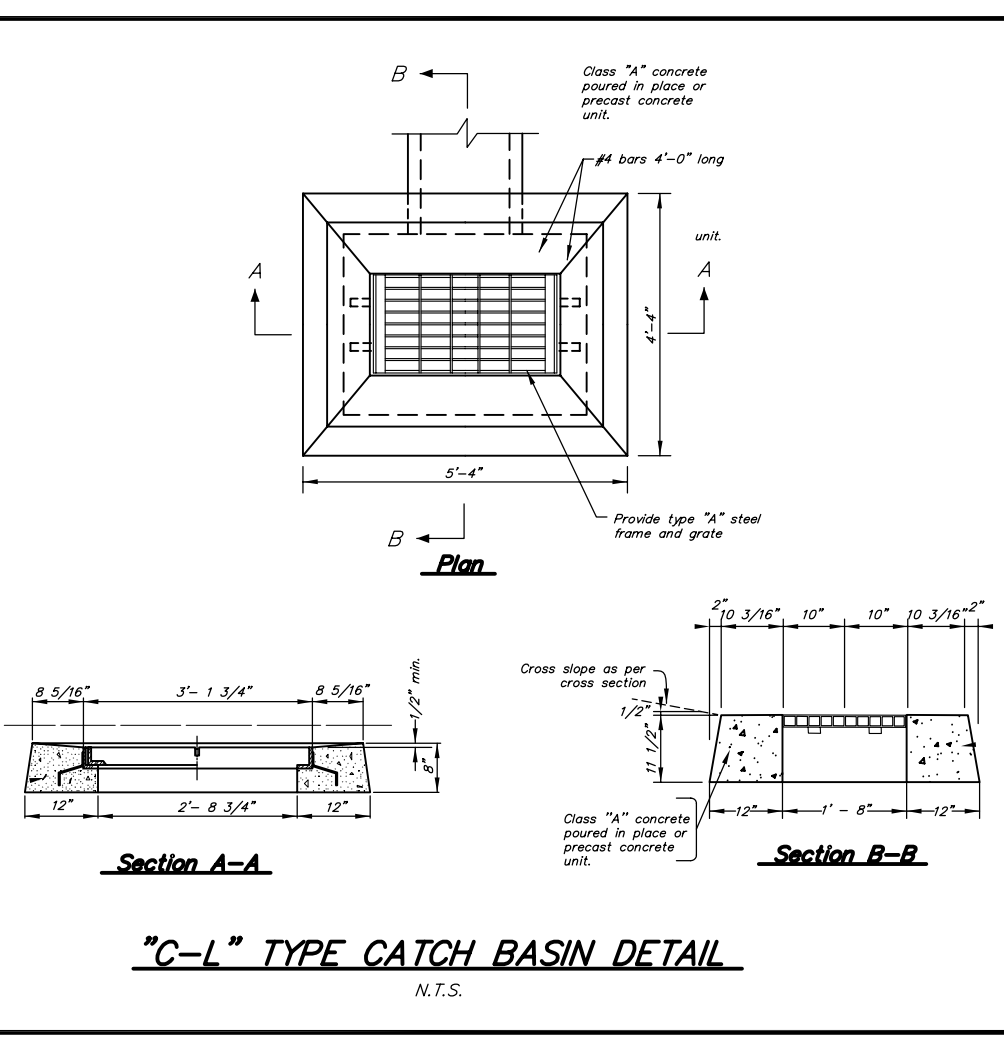
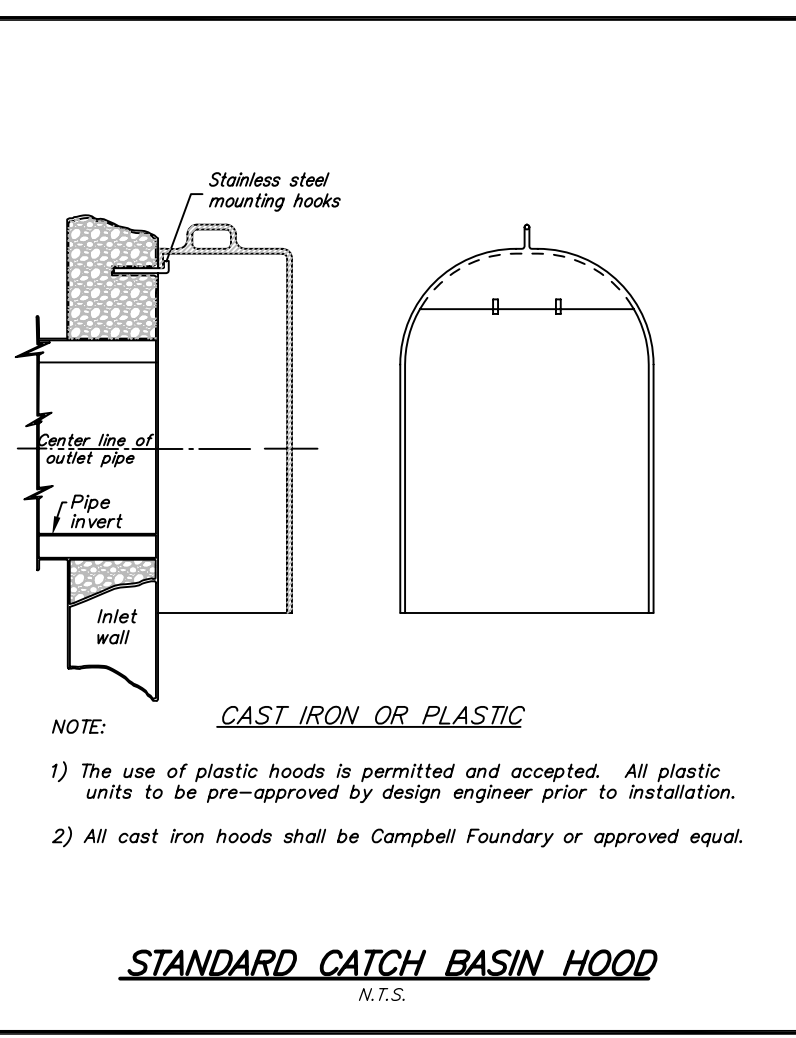
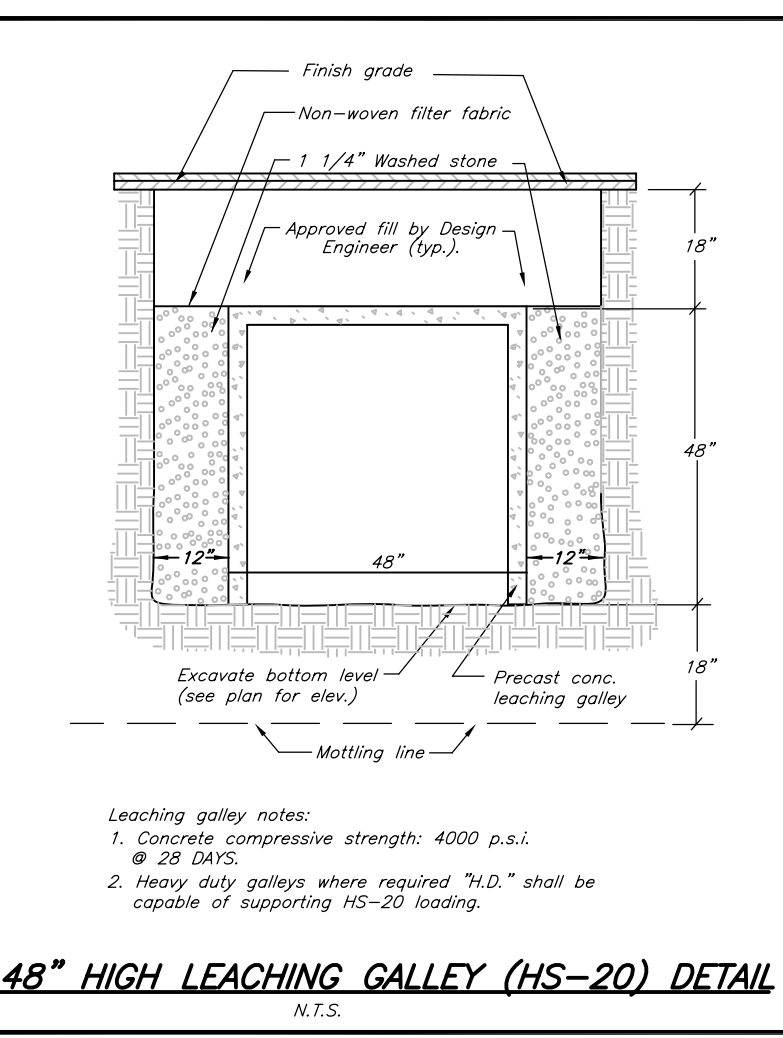
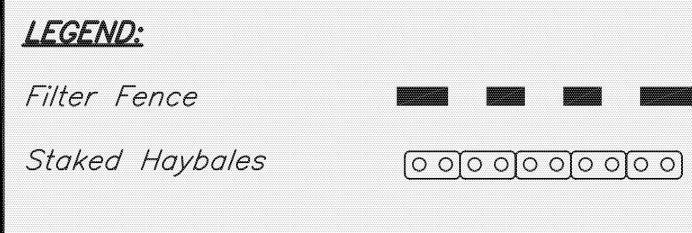
All erosion control measures shown hereon shall be install as directed / required by Design Engineer. More erosion control measures maybe required depending on site conditions during construction. All erosion control measures shown on this plan are to be installed only as warranted.

PROJECT REQUIREMENTS

1. Design Engineer to review and monitor all phases of storm drainage system construction / installation.
2. A mandatory pre-construction meeting with the Contractor and Design Engineer is required prior to the commencement of any on-site activities.

GENERAL NOTES:

1. Map Ref.: Survey information shown hereon is based on a field survey by Anchor Engineering Services Inc., 41 Sequin Dr., Glastonbury, CT 06033.
2. All utilities shown are approximate and based upon actual field locations where visible. Notify Call Before You Dig prior to any on-site activities (1-800-922-4455).



CONTRACTOR REVIEW NOTE

The Contractor is to review and verify all applicable Code installation requirements. Any discrepancies (pipe slopes, inverts, setbacks, computations, etc.) shall be brought to the design engineers attention immediately.

NO.	DATE	REVISIONS

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Michael P. Harkin P.E. #22625

STORM DRAINAGE PLAN

"BRIDGEPORT 9.66MW FUEL CELL"

600 Iranistan Ave., Bpt, CT

Prepared For

ICDS Innovative Construction & Design Solutions, LLC

419A Whitfield Street
Guilford, CT 06437

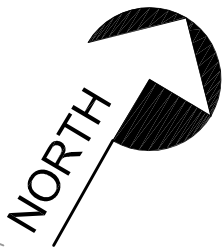
Phone: (203) 453-8596
Email: info@icdsla.com

DRAWING SCALE: 1"=20'

HARKIN ENGINEERING, LLC
CIVIL ENGINEERING CONSULTING

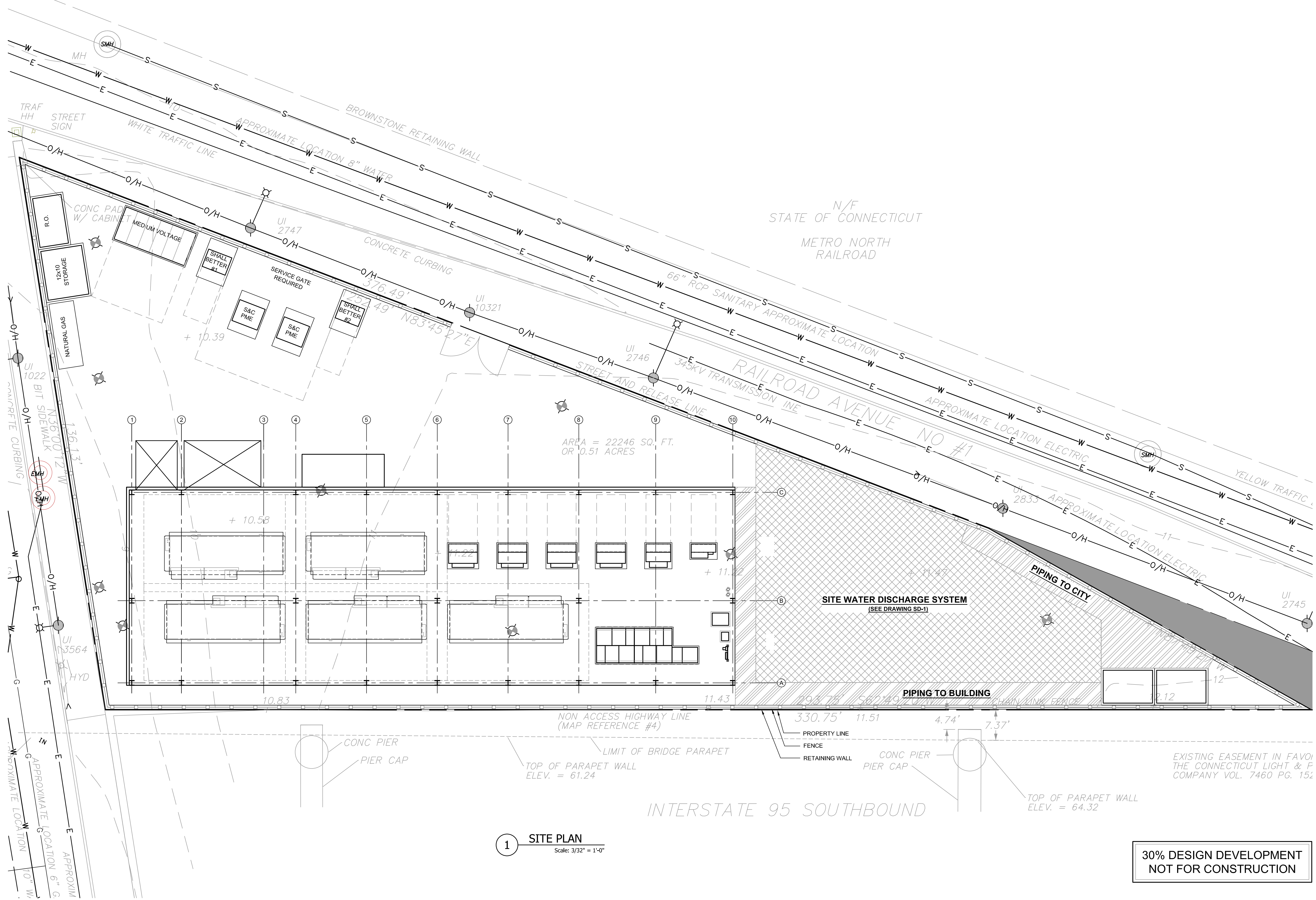
78 Wolf Hollow Lane - Killingworth, CT 06419 - Tel. (860) 663-4248

JOB NO. 20-67 DRAWN BY: M.P.H. DATE: 12/10/20 SHEET NO. SD-1



NOTE:

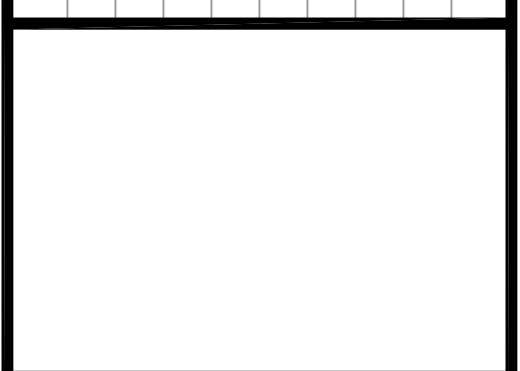
1. ALL SITE UTILITIES, DIMENSIONS, EASEMENTS, EASEMENT LOCATIONS ETC. ARE TAKEN FROM:
ANCHOR ENGINEERING SERVICES, INC
EXISTING CONDITIONS PLAN
BOUNDARY SURVEY PREPARED FOR NUPOWER LLC
PROJECT No. 1418-01
DATE 12/10/2018



1 SITE PLAN
Scale: 3/32" = 1'-0"

**30% DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION**

Rev.	Date	Description
A	12/31/20	30% DESIGN DEVELOPMENT



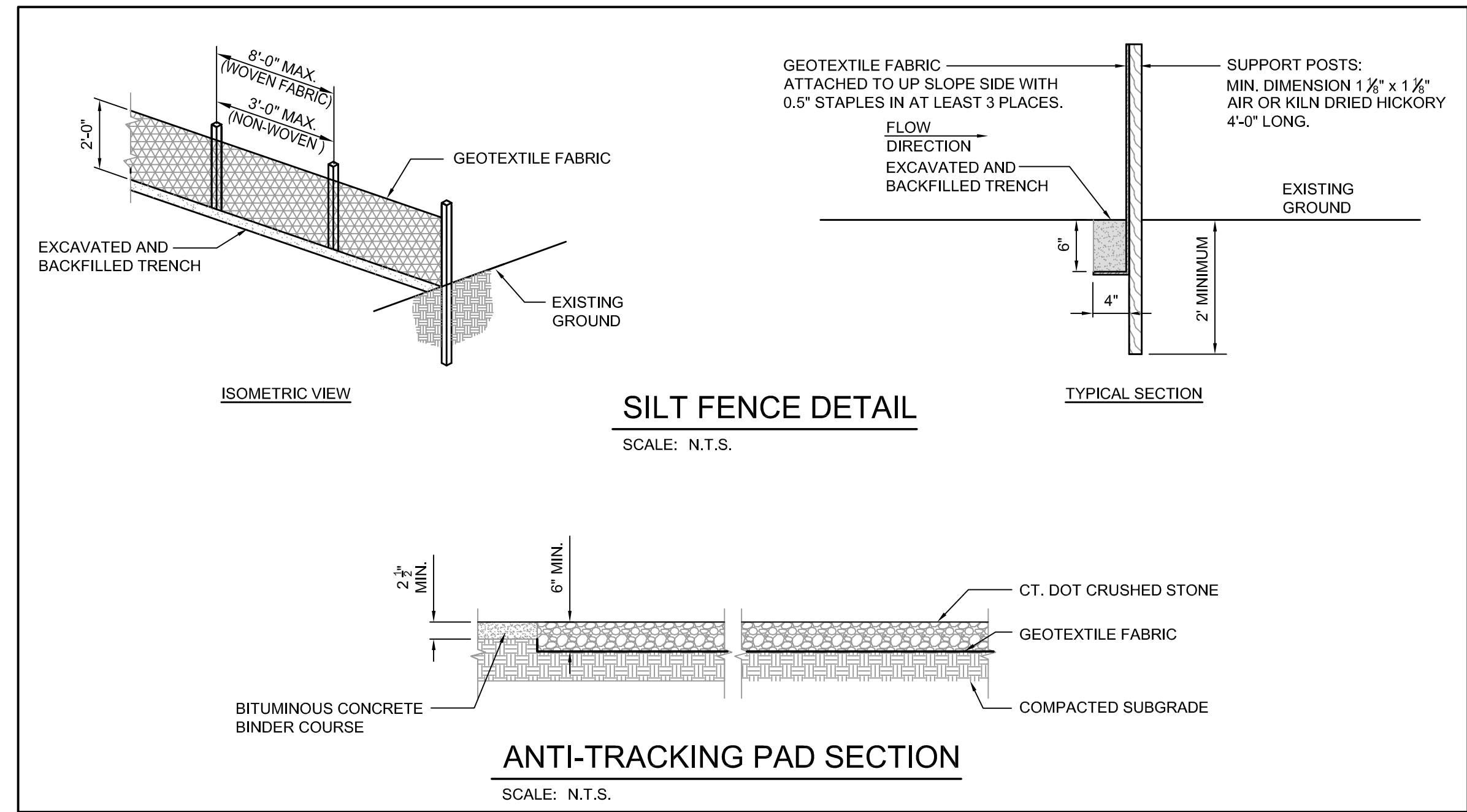
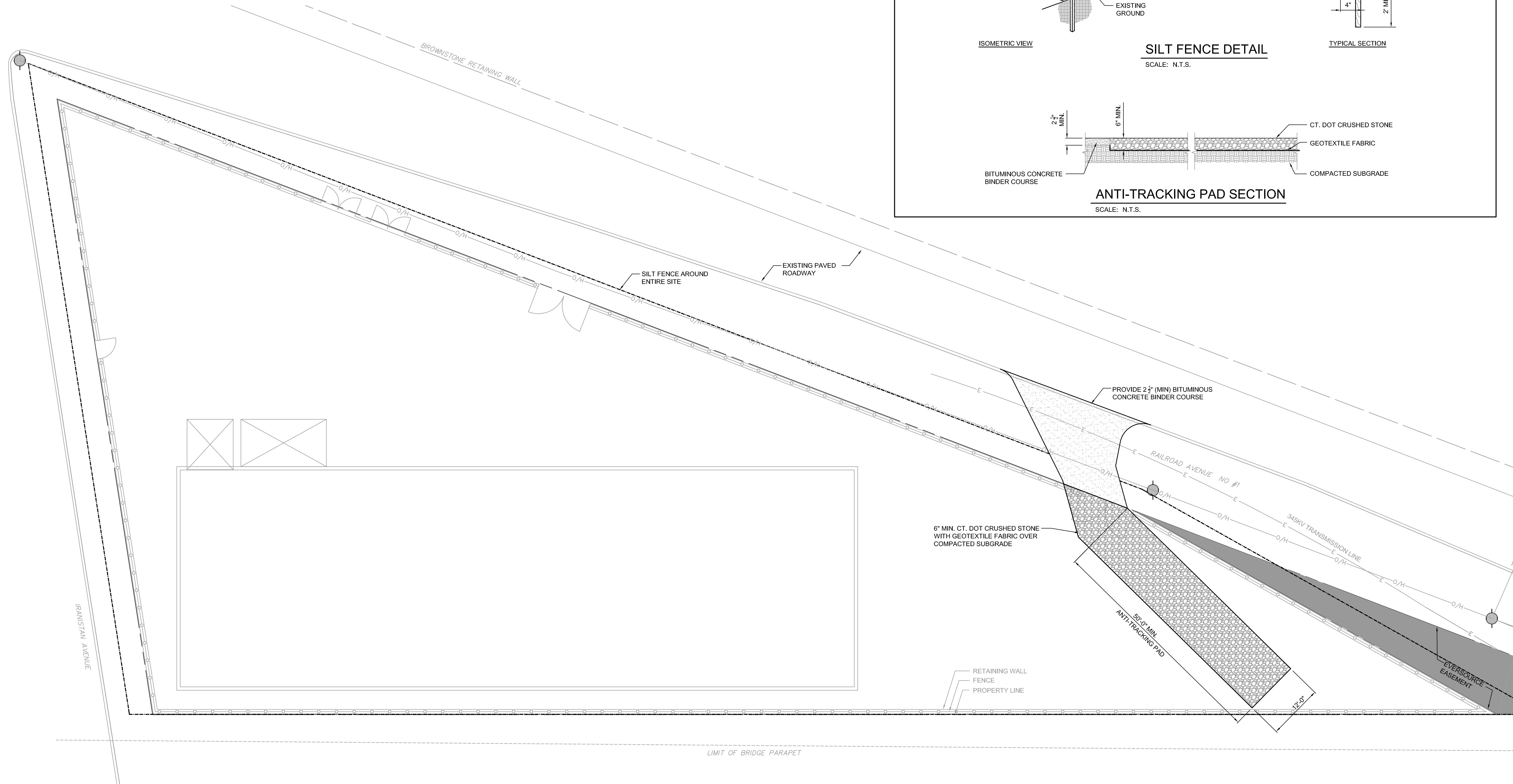
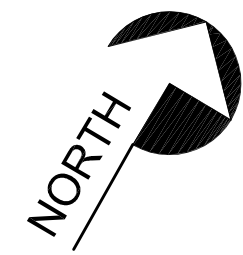
419A Whitfield Street
Guttenberg, CT 06437
Phone: (203) 453-8896
Email: info@icds.com

**BRIDGEPORT 9.66MW FUEL CELL
600 IRANISTAN AVE. BPT., CT**

Project No.:	Drawn By:
Date:	Design By:
Scale:	Check By:

Drawing No.:
SP1.0

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1 EROSION CONTROL PLAN
Scale: 3/32" = 1'-0"

30% DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION

Rev.	Date	Description
C	02/09/21	FOR FIELD USED

419A Whitfield Street
Guttenberg, CT 06437
Phone: (203) 453-8596
Email: info@icdcs.com

ICDCS
Innovative Construction & Design Solutions, LLC

BRIDGEPORT 9.66MW FUEL CELL
600 IRANISTAN AVE. BPT., CT
EROSION CONTROL PLAN

Project No.:	Drawn By: KFH
Date: 02/09/21	Design By: DSF
Scale: AS NOTED	Check By: CAB

Drawing No.:
EC1.0

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PROPRIETARY STATEMENT: COPYRIGHT © DOOSAN FUEL CELL AMERICA, INC. THIS DOCUMENT CONTAINS INFORMATION THAT IS CONFIDENTIAL AND PROPRIETARY TO DOOSAN FUEL CELL AMERICA, INC (DOOSAN). THIS DOCUMENT IS FURNISHED ON THE UNDERSTANDING THAT THE DOCUMENT AND THE INFORMATION THAT IT CONTAINS WILL NOT BE COPIED OR DISCLOSED TO OTHERS OR USED FOR ANY OTHER PURPOSE THAN CONDUCTING BUSINESS WITH DOOSAN AND WILL BE RETURNED AND ALL FURTHER USE DISCONTINUED.

THESE DRAWINGS ARE PROVIDED BY DOOSAN FOR REFERENCE ONLY AND ARE SUBJECT TO CHANGE WITHOUT NOTICE. CONTACT DOOSAN FOR THE LATEST REVISIONS BEFORE USING THESE DRAWINGS FOR DESIGN PURPOSES. SITE-SPECIFIC CONSTRUCTION DRAWINGS MUST BE PREPARED BY THE ENGINEER OF RECORD. DOOSAN IS NOT RESPONSIBLE FOR THE ACCURACY OF CONSTRUCTION DRAWINGS, INCLUDING, BUT NOT LIMITED TO, THE DESIGN OF THE SYSTEMS THAT INTERFACE WITH DOOSAN'S EQUIPMENT.

NOT FOR CONSTRUCTION

REPRESENTATION OF MATERIAL ON THIS DRAWING DOES NOT INDICATE A RESPONSIBILITY OF DOOSAN TO SUPPLY THE EQUIPMENT. DOOSAN SCOPE OF SUPPLY IS DEFINED IN CUSTOMER CONTRACT DOCUMENTS.

D

D

C

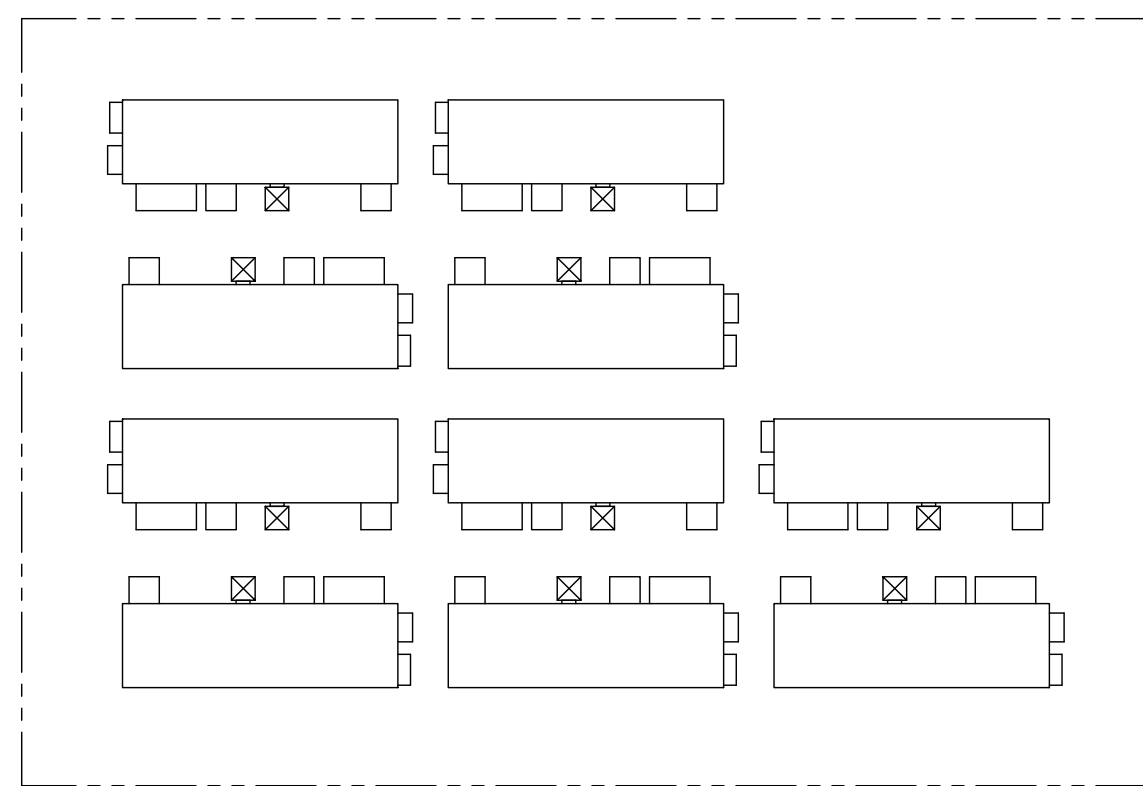
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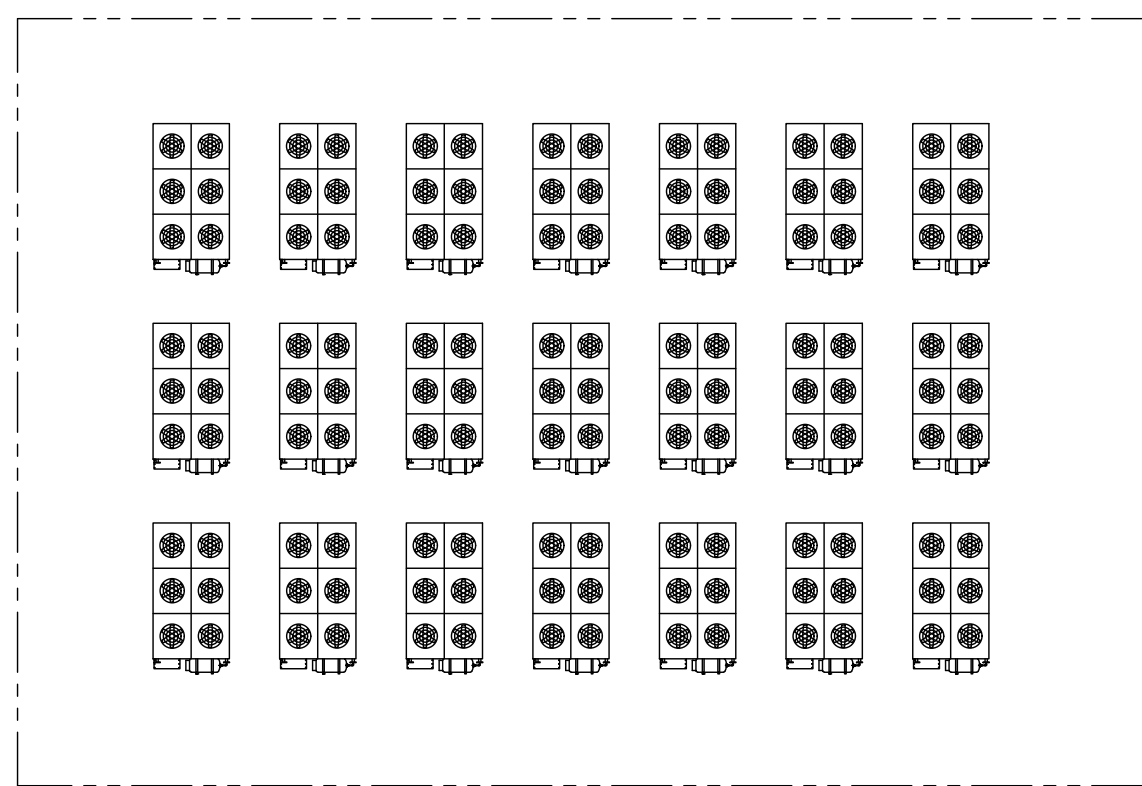
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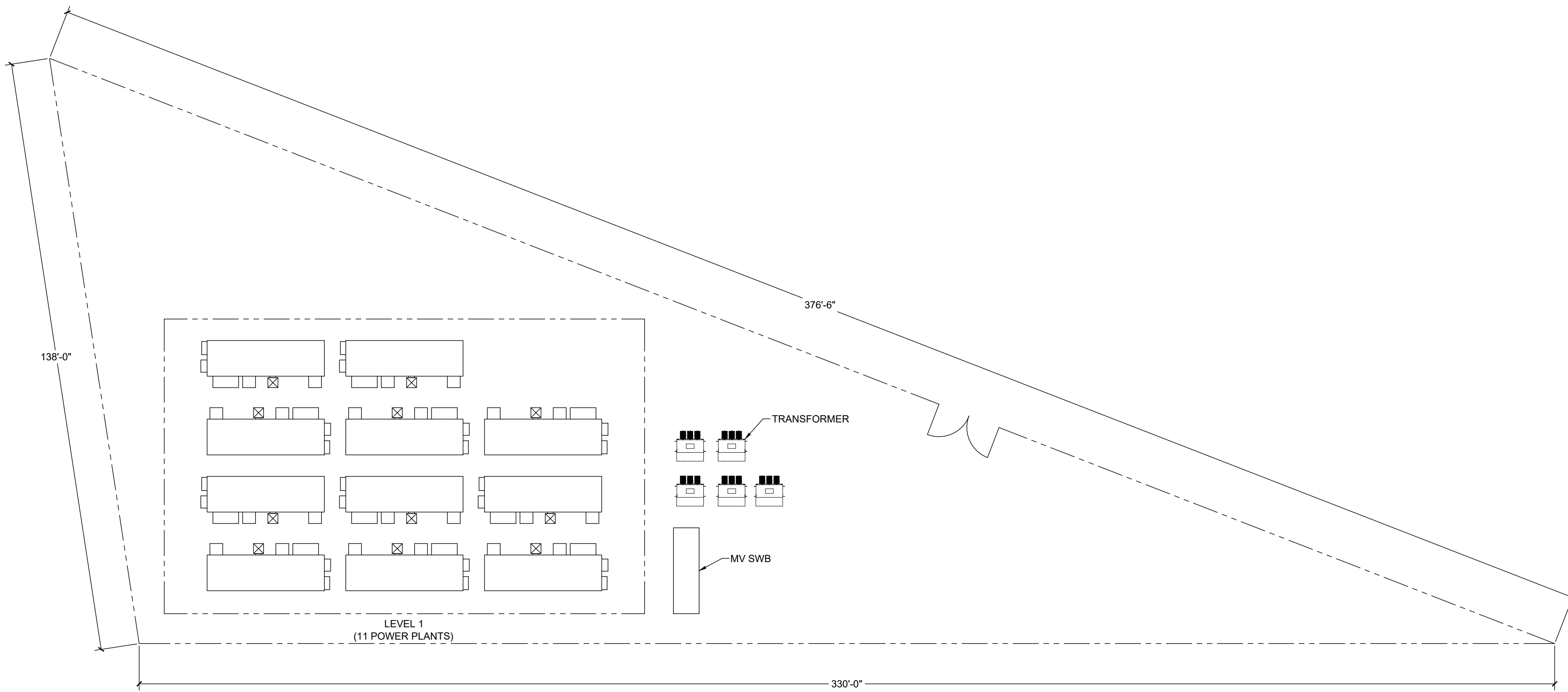
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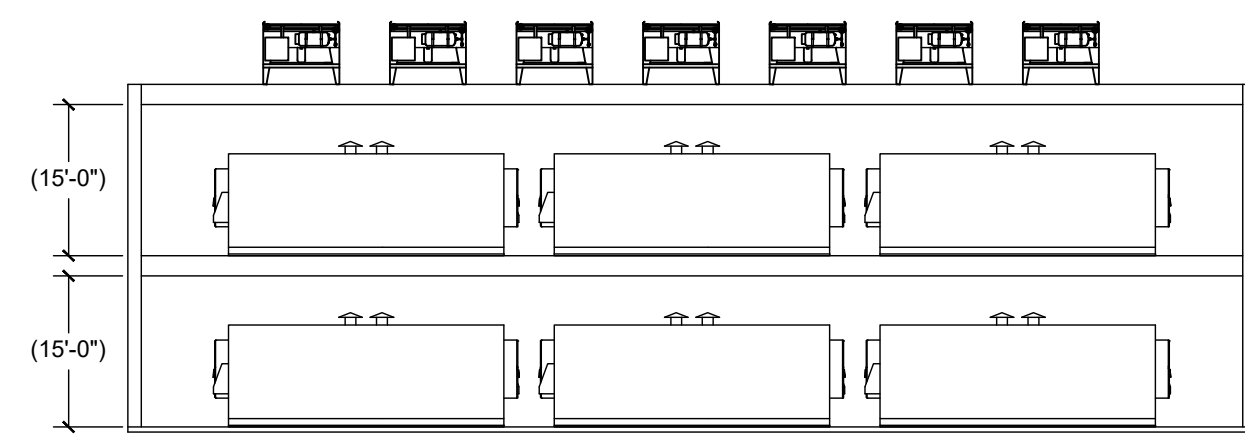
LEVEL 2 (10 POWER PLANTS)



LEVEL 3 (ROOF) (21 COOLING MODULES)



LEVEL 1 (11 POWER PLANTS)



ELEVATION VIEW

PRELIMINARY UNCONTROLLED

MARK	DATE	DESCRIPTION
A	10-2-18	INITIAL RELEASE
ISSUE:		
ORIGINAL RELEASE:		
DRAWING NO:		FCL107418
DRAWING SCALE:		NONE
DRAWING REVISION:		A
CAGE CODE:		
DRAWN BY:		K. WOTTON
CHECKED BY:		W. BONOLA

SHEET TITLE
**SITE LAYOUT,
 NEW POWER,
 BRIDGEPORT**

1
 SHEET 1 OF 1

1

2

3

4

5

6

MAP REFERENCES:

- RIGHT OF WAY MAP TOWN OF BRIDGEPORT CONNECTICUT TURNPIKE FROM THE FAIRFIELD-BRIDGEPORT TOWN LINE EASTERLY TO THE BRIDGEPORT-STRATFORD TOWN LINE SCALE: 1" = 80'. DATED: AUGUST 19, 1974 LAST REVISED 11/88. BY: CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS, MAP NO. 15-03 SHEET 3 OF 9.
- RIGHT OF WAY MAP TOWN OF BRIDGEPORT CONNECTICUT TURNPIKE FROM THE FAIRFIELD-BRIDGEPORT TOWN LINE EASTERLY TO THE BRIDGEPORT-STRATFORD TOWN LINE SCALE: 1" = 80'. DATED: AUGUST 19, 1974 BY: CONNECTICUT DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAYS, MAP NO. 15-03 SHEET 4 OF 9.
- MAP SHOWING LAND OWNED BY ROBERTA LICHTENSTEIN, TRUSTEE RAILROAD & IRANISTAN AVENUES BRIDGEPORT, CONNECTICUT. SCALE: 1" = 20'. DATED: JAN. 1987 LAST REVISED AUG 1987. BY: NASCIMBENI & JAHNE SURVEYORS, P.C. MAP NO. M86-198.
- COMPILED PLAN TOWN OF BRIDGEPORT MAP SHOWING LAND RELEASED TO RAYMOND RIZZO, TRUSTEE INTERSTATE 95-CONNECTICUT TURNPIKE AT IRANISTAN AND RAILROAD AVENUE. SCALE: 1: 500 METERS. DATED: OCT. 2004. BY: THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION.
- COMPILED PLAN SHOWING EASEMENT TO BE ACQUIRED FROM 120 SOUTH, LLC BY THE CONNECTICUT LIGHT & POWER COMPANY CITY OF BRIDGEPORT FAIRFIELD COUNTY CONNECTICUT. SCALE: 1" = 40'. DATED: MARCH 2007. BY: COLLIER & COLANTONIO.
- TOWN OF BRIDGEPORT MAP SHOWING LAND RELEASED TO DONALD JENSEN, TRUSTEE. SCALE: 1" = 40'. DATED: MAY 1981. BY: THE STATE OF CONNECTICUT.
- INTERSTATE 95 @ BRIDGE 00105A MNRR, SOUTH AVE & PARK AVE IN THE TOWN OF BRIDGEPORT PROJECT NO. 170-3280. SCALE: 1" = 40'. DATED: SEPT. 2014. BY: STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION.

NOTES:

- BEARINGS SHOWN BASED UPON MAP REFERENCE #1
- FIELD SURVEY PERFORMED IN NOVEMBER 2018 AND APRIL 2020 BY ANCHOR ENGINEERING SERVICES, INC.
- PARCEL AREA: 22,246 SQ. FT. OR 0.51 ACRES.
- 17' RAILROAD SPUR AS DESCRIBED IN VOLUME 1163 PAGE 426 AND SHOWN ON MAP REFERENCE # 5 WAS RELEASED AND EXTINGUISHED IN VOLUME 2448 PAGE 245 OF THE BRIDGEPORT LAND RECORDS.
- SIDEWALK AS SHOWN ON MAP REFERENCE #6 NO LONGER EXISTS ON SITE. EASEMENT AS DESCRIBED IN VOLUME 2436 PAGE 64 IS EXTINGUISHED.
- AERIAL IMAGERY DEPICTED HEREON TAKEN FROM CT ECO.
- UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE OF WHICH ARE UNKNOWN TO ANCHOR ENGINEERING SERVICES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. DIG SAFE 1-888-344-7233.

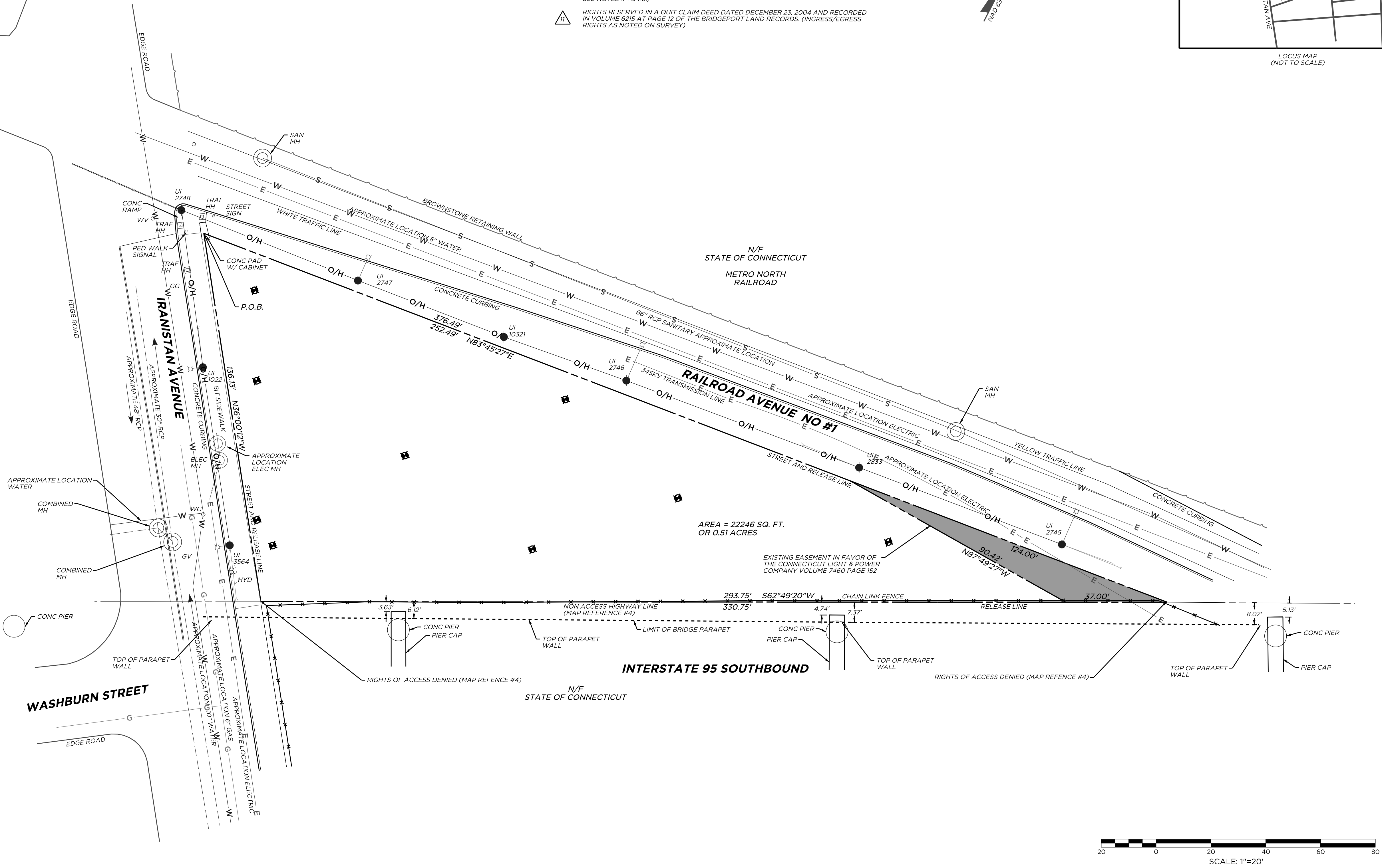
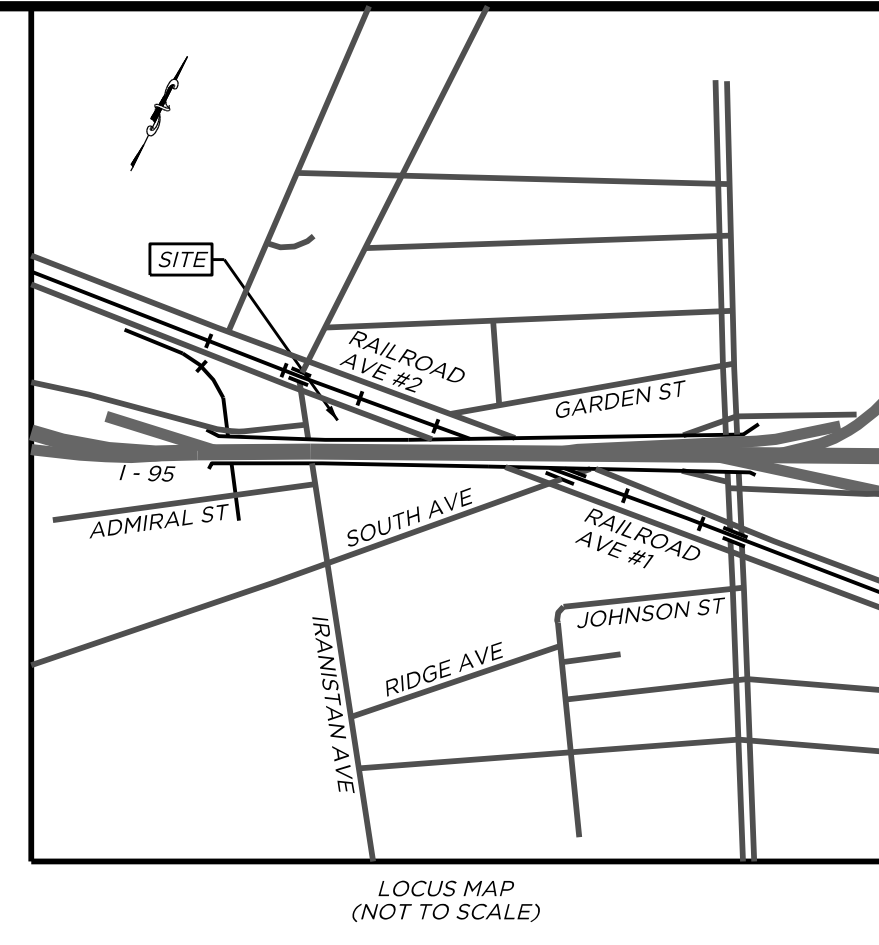
54 Washburn Street LLC
32 Washburn Street- Property Address
54 Washburn Street-Mailing Address
Bridgeport, CT 06605

PROPERTY DESCRIPTION:

BEGINNING AT A POINT IN THE EASTERLY STREETLINE OF IRANISTAN AVENUE SAID POINT BEING THE NORTHWESTERLY CORNER OF THE HEREIN DESCRIBED PARCEL, THENCE:
 N 83-45-27° E A DISTANCE OF 376.49 FEET ALONG RAILROAD AVENUE NO #1 TO A POINT, THENCE:
 S 62-49-20° W A DISTANCE OF 330.75 FEET ALONG LAND NOW OR FORMERLY STATE OF CONNECTICUT (INTERSTATE 95) TO A POINT IN THE EASTERLY STREETLINE OF IRANISTAN AVENUE, THENCE:
 N 36-00-12° W A DISTANCE OF 136.13 FEET ALONG THE EASTERLY STREETLINE OF IRANISTAN AVENUE TO THE POINT AND PLACE OF BEGINNING.

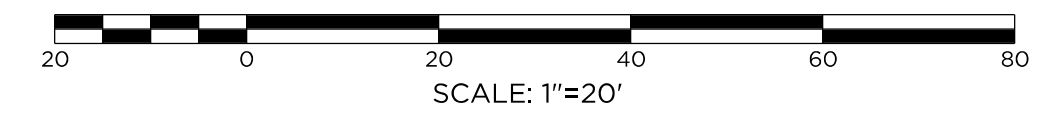
TITLE EXCEPTIONS:

- △ 7 STATED TO AFFECT 600 IRANISTAN AVENUE, AS LISTED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT No. EH2000256FT, SCHEDULE B, PART II: 17' RAILROAD SPUR LINE EASEMENT AS CONTAINED IN DEED RECORDED VOLUME 1163 AT PAGE 426 OF THE BRIDGEPORT LAND RECORDS. (EXTINGUISHED IN VOLUME 2448 PAGE 245. SEE NOTE #4.)
- △ 8 RESERVATION AND RIGHTS SET FORTH IN A QUIT CLAIM DEED DATED OCTOBER 7, 1987 FROM THE STATE OF CONNECTICUT AND RECORDED IN VOLUME 2436 AT PAGE 64 OF THE BRIDGEPORT LAND RECORDS. (INGRESS/EGRESS RIGHTS AS NOTED ON SURVEY. RAILROAD SPUR LINE EASEMENT EXTINGUISHED IN VOLUME 2448 PAGE 245. EXISTING SIDEWALK DEPICTED IN REFERENCED MAP NO LONGER EXISTS IN FIELD. SEE NOTES #4 & #5.)
- △ 9 EASEMENT TO THE CONNECTICUT LIGHT AND POWER COMPANY DATED MARCH 28, 2007 AND RECORDED APRIL 23, 2007 IN VOLUME 7460 AT PAGE 152 AND AS SHOWN ON MAP BOOK 54 PAGE 78 ON FILE IN THE OFFICE OF THE TOWN CLERK OF BRIDGEPORT. (PLOTTED)
- △ 10 NOTES, NOTATIONS, EASEMENTS AND CONDITIONS AS SHOWN ON MAP BOOK 50, PAGE 165 MAP BOOK 53 PAGE 280 AND MAP BOOK 54 PAGE 78 OF THE BRIDGEPORT LAND RECORDS. RAILROAD SPUR LINE EASEMENT EXTINGUISHED IN VOLUME 2448 PAGE 245. EXISTING SIDEWALK DEPICTED IN MAP BOOK 50 PAGE 165 NO LONGER EXISTS IN FIELD. SEE NOTES #4 & #5.)
- △ 11 RIGHTS RESERVED IN A QUIT CLAIM DEED DATED DECEMBER 23, 2004 AND RECORDED IN VOLUME 6215 AT PAGE 12 OF THE BRIDGEPORT LAND RECORDS. (INGRESS/EGRESS RIGHTS AS NOTED ON SURVEY)



LEGEND

PROPERTY LINE	---
CHAIN LINK FENCE	---X---
WATER LINE	W
GAS LINE	G
ELECTRIC LINE	E
COMBINED SEWER	S
SANITARY SEWER	SS
OVERHEAD WIRES	O/H
UTILITY POLE	○
UTILITY POLE WITH LIGHT	○-L
MAJOR CONTOUR	---8---
MINOR CONTOUR	---8---
HANDHOLE	HH
WATER VALVE	WV OR WG
GAS GATE	GG OR GV
PEDESTRIAN SIGNAL	PED
GUY WIRE	+ 11.21
SPOT GRADE	▲
BORING	⊕



TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY,
 THIS IS TO CERTIFY THAT THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 2, 4, 8, 11, 13 AND 15 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED IN NOVEMBER 2018 AND APRIL 2020.
 TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 WILLIAM E. WERTZ, CT. L.S. #70067
 ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION APPEARS ABOVE NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.

ANCHOR
ENGINEERING SERVICES, INC.

41 Sequin Drive
Glastonbury, CT 06033
Phone: (860) 633-9370
Fax: (860) 633-5971
www.anchorengr.com

Civil Engineering	Environmental Consulting	Land Surveying	Construction Management
PROJ. ENGINEER	ASF		
PROJ. MANAGER	WEW	ALTA/NSPS LAND TITLE SURVEY	
OFFICE REVIEW	WEW	PREPARED FOR	
NuPOWER LLC			
600 IRANISTAN AVENUE BRIDGEPORT, CT			
PROJECT	DATE		
1418-01	10/21/20		
SHEET NO.	1	OF 1	

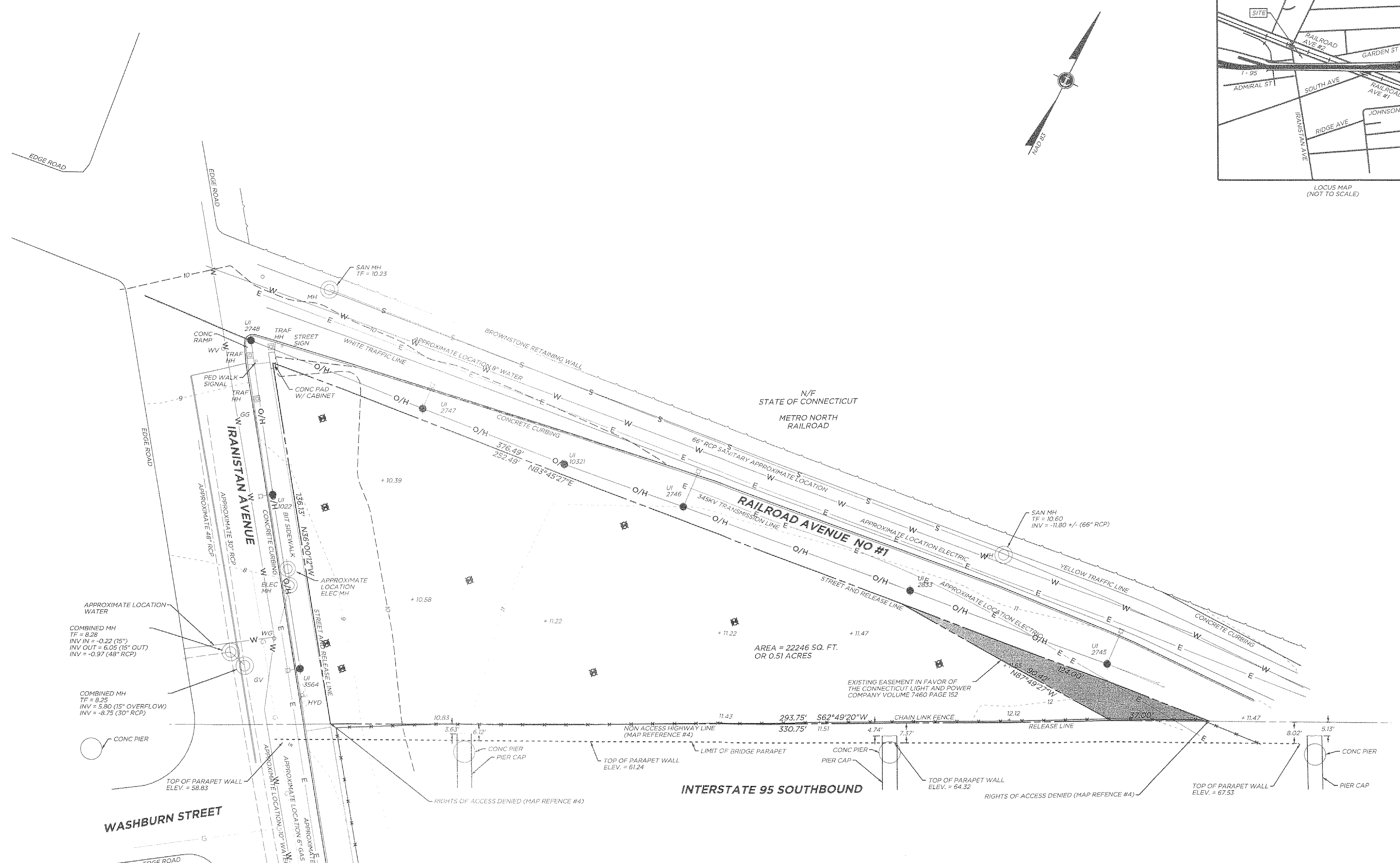
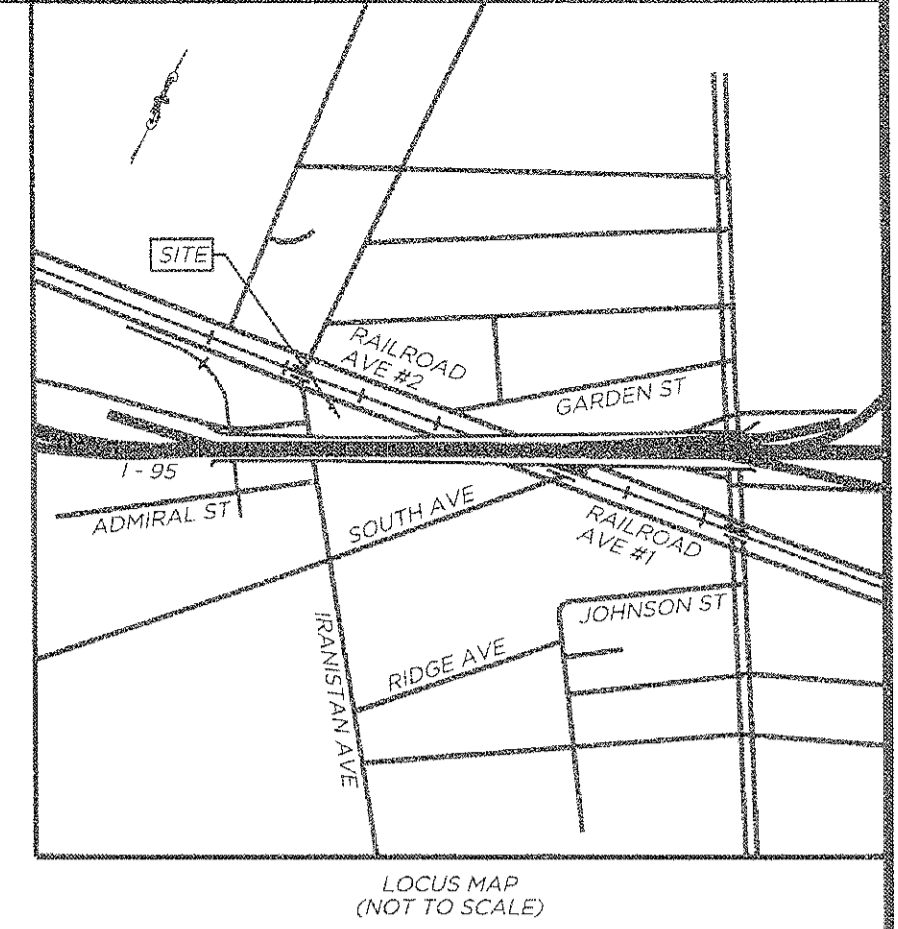
SCALE: 1" = 20'

MAP REFERENCES:

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- COMPILATION PLAN TOWN OF BRIDGEPORT MAP SHOWING LAND RELEASED TO RAYMOND RIZZO, TRUSTEE INTERSTATE 95-CONNECTICUT TURNPIKE AT IRANISTAN AND RAILROAD AVENUE. SCALE: 1:500 METERS. DATED: OCT. 2004. BY: THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION.
- INTERSTATE 95 @ BRIDGE 00105A MNRR, SOUTH AVE & PARK AVE IN THE TOWN OF BRIDGEPORT PROJECT NO. 170-3250. SCALE: 1" = 40'. DATED: SEPT 2014. BY: STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION.

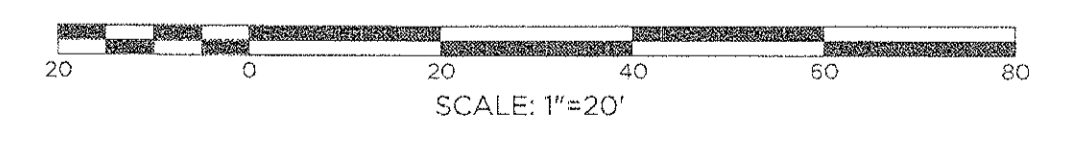
NOTES:

- FIELD SURVEY WAS PERFORMED BY ANCHOR ENGINEERING SERVICES INC. NOVEMBER 2018.
- HORIZONTAL DATUM BASED UPON MAP REFERENCE #1.
- ELEVATIONS ARE BASED UPON NAVD 1988 OBTAINED VIA RTK GPS THROUGH SUPERIOR INSTRUMENT RTK NETWORK.
- PARCEL IS IN ZONE AE (ELF 12) SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD FLOOD INSURANCE RATE MAP FAIRFIELD COUNTY, CONNECTICUT PANEL 437 OF 626 MAP NUMBER 09001C0437G JULY 8, 2013.
- SEWER MANHOLE INVERTS INACCESSIBLE DURING FIELD SURVEY. INFORMATION BASED UPON MAP REFERENCE #5.
- UTILITY NOTE: UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DERIVED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PARCEL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO ANCHOR ENGINEERING SERVICES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. DIG SAFE 1-888-344-7233.



LEGEND

- PROPERTY LINE
- CHAIN LINK FENCE
- WATER LINE
- GAS LINE
- ELECTRIC LINE
- COMBINED SEWER
- SANITARY SEWER
- OVERHEAD WIRES
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- MAJOR CONTOUR
- MINOR CONTOUR
- HANDHOLE
- WATER VALVE
- GAS GATE
- PEDESTRIAN SIGNAL
- GUY WIRE
- SPOT GRADE
- BORING



REVISED 4/23/20: ADDED BRIDGE PARAPET AND BORING LOCATIONS

ANCHOR
Barton Logistics

41 Sequin Drive
Glastonbury, CT 06033
Phone: (860) 633-9770
Fax: (860) 633-5971
www.anchorct.com

Civil Engineering • Environmental Consulting • Land Surveying • Construction Management

PROJ. ENGINEER	ASF
PROJ. MANAGER	WEW
OFFICE REVIEW	WEW
REVISIONS	
4/23/20	

EXISTING CONDITIONS PLAN
BOUNDARY/TOPOGRAPHIC SURVEY
PREPARED FOR
NuPOWER LLC
RAILROAD & IRANISTAN AVENUES BRIDGEPORT, CT

PROJECT	DATE	SHEET NO.	OF
1418-01	12/10/18	1	1

SCALE: 1" = 20'

THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES' MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. IT IS AN EXISTING CONDITIONS PLAN, BOUNDARY DETERMINATION CATEGORY DEPENDANT RESURVEY, CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

WILLIAM E. WERTZ, CT. L.S. #70067

ANY ORIGINAL OR DUPLICATE OF THIS MAP IS NOT VALID UNLESS IT BEARS THE EMBOSSED SEAL OF THE SURVEYOR WHOSE REGISTRATION APPEARS ABOVE NO OTHER CERTIFICATION OR WARRANTY IS EXPRESSED OR IMPLIED.

**PETITION TO THE PLANNING & ZONING COMMISSION
CITY OF BRIDGEPORT, CONNECTICUT**

- 1. **NAME OF PETITIONER:** 800 Union Ave Realty LLC
- 2. Is the Petitioner's name Trustee of Record? Yes No _____
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
- 3. Address of Property: 785 and 800 Union Avenue, Bridgeport CT 06607-1422
(number) (street) (state) (zip code)
- 4. Assessor's Map Information: Block No. 725 Lot No. 7
- 5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
- 6. Description of Property (Metes & Bounds): 257.21'x40.00'x100.00'x10.50'x79.51'x71.32'x57.51'x191.80'x
123.00'x101.59'x100.00'x5.00'x37.99'x22.12'x69.62'x345.92'x664.72'
- 7. Existing Zone Classification: Zone I-LI and Zone R-C
- 8. Zone Classification requested: _____
- 9. Describe Proposed Development of Property: Interior renovation of existing industrial building to be used as event space;

Approval(s) requested: Parking Review due to change of use from light industrial to assembly space

Signature: _____ **Date:** 03/26/2021
Print Name: Kiumarz Geula

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____
Print Name: _____

Mailing Address: _____
Phone: _____ **Cell:** _____ **Fax:** _____
E-mail Address: _____

\$ _____ **Fee received** **Date:** _____ **Clerk:** _____

THIS PETITION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Kiumarz Geula  03/26/2021
 Print Owner's Name Owner's Signature Date

 Print Owner's Name Owner's Signature Date

800 Union Avenue Realty LLC

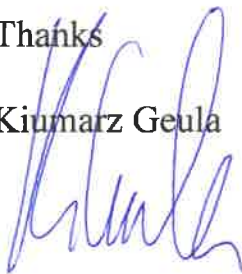
Thursday, March 25, 2021

This project consists of a minor interior renovation of an existing industrial building. A small part of the first floor, coincidental with the receiving lobby, and the second floor of this building are subject of this application. The first floor will be improved with a lobby leading to the second floor and the second floor to a multi-purpose assembly space that can service independent functions as well as function from the tenants. The proposed assembly spaces will continue to carry the industrial charm of the building. The proposed interior renovation will convert the second floor from an industrial production space to a place of assembly. This space will consist of a 400 sqft lobby on the ground floor with an elevator and staircase leading to the second floor. The second floor will consist of the second-floor lobby of 675 sqft and an assembly space with 9,543 sqft within 3 areas at 5,101 sqft, 3,605 sqft and 837 sqft respectively. These spaces will be used as multipurpose spaces for events of various types (physical training classes, small conventions, continued education forums, celebrations and events).

Please feel free to contact us to for more information.

Thanks

Kiumarz Geula



SECRETARY OF THE STATE OF CONNECTICUT
30 TRINITY STREET
P.O. BOX 150470
HARTFORD, CT 06115-0470

Online Business Filing Confirmation Receipt

Business Name:	800 UNION AVE REALTY LLC	Business ID:	1274143
Type of Request:	REPORT (2020)	Payment Received:	\$20.00
Request Date/Time:	01/17/2020 03:42 PM	Filing Number:	0006726819

Payment Receipt

Credit Card #:	*****9008	Authorization #:	244593
Customer Account:	003436864	Billing Date/Time:	01/17/2020 03:42 PM
Billing Amount:	\$20.00		

Note: You can verify the filing details from the CONCORD website <http://www.concord-sots.ct.gov> by clicking the business inquiry link and searching on the above mentioned Business ID.

Articles of Organization

FILING RECEIPT

=====

ENTITY NAME: 800 UNION AVE REALTY LLC

DOCUMENT TYPE: ARTICLES OF ORGANIZATION (DOM LLC)

COUNTY: BRON

=====

FILED:10/14/2016 DURATION:***** CASH#:161014000002 FILM #:161014000002
DOS ID:5023141

FILER:

EXIST DATE

KINGSPPOINT HEIGHTS LLC
PO BOX 234550

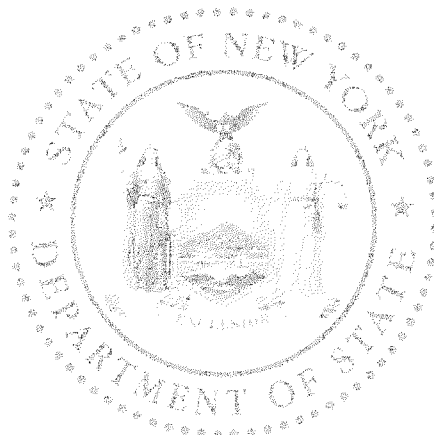
10/14/2016

GREAT NECK, NY 11023

ADDRESS FOR PROCESS:

THE LLC
3251 THIRD AVENUE, 2ND FLOOR
BRONX, NY 10456

REGISTERED AGENT:



The limited liability company is required to file a Biennial Statement with the Department of State every two years pursuant to Limited Liability Company Law Section 301. Notification that the biennial statement is due will only be made via email. Please go to www.email.ebiennial.dos.ny.gov to provide an email address to receive an email notification when the Biennial Statement is due.

=====

SERVICE COMPANY: UNITED CORPORATE SERVICES - 37

SERVICE CODE: 37 *

FEES 235.00

FILING 200.00
TAX 0.00
CERT 0.00
COPIES 10.00
HANDLING 25.00

PAYMENTS 235.00

CASH 0.00
CHECK 0.00
CHARGE 0.00
DRAWDOWN 235.00
OPAL 0.00
REFUND 0.00

=====

800UNI2215

DOS-1025 (04/2007)

002

UNI-37

FILED

2016 OCT 14 AM 7:47

1CS
STATE OF NEW YORK
DEPARTMENT OF STATE
FILED OCT 14 2016
TAXS _____
BY M

ARTICLES OF ORGANIZATION

OF

800 UNION AVE REALTY LLC

Under and Pursuant to Section 203 of the Limited Liability Company Law
of the State of New York

Kingspoint Heights LLC
PO Box 234550
Great Neck, NY 11023

RECEIVED

2016 OCT 13 PM 3:09

Customer Reference # 800UN12215

DRAWDOWN

002

STATE OF NEW YORK
DEPARTMENT OF STATE

I hereby certify that the annexed copy has been compared with the original document in the custody of the Secretary of State and that the same is a true copy of said original.



WITNESS my hand and official seal of the Department of State, at the City of Albany, on October 17, 2016.

A handwritten signature in black ink, appearing to read "B. Fitzgerald", written over a horizontal line.

Brendan W. Fitzgerald
Executive Deputy Secretary of State

161014000 002

ARTICLES OF ORGANIZATION

OF

800 UNION AVE REALTY LLC

**Under and Pursuant to Section 203 of the Limited Liability Company Law
of the State of New York**

The undersigned being the organizer of the Limited Liability Company does hereby certify:

FIRST: The name of the limited liability company is:

800 UNION AVE REALTY LLC

SECOND: The office of the Limited Liability Company shall be located in the County of Bronx.

THIRD: The Secretary of State is designated as the agent of the Limited Liability Company upon whom process against the Limited Liability Company may be served, and the address to which the Secretary of State shall mail a copy of any process against the Limited Liability Company served upon him is 3251 Third Avenue, 2nd Floor, Bronx, NY 10456.

IN WITNESS WHEREOF, I hereunto sign my name this thirteenth day of October, 2016.

/s/ Kiumarz Geula
Kiumarz Geula, Organizer

EIN/IRS Letter

Date of this notice: 10-20-2016

Employer Identification Number:
81-4185015

Form: SS-4

Number of this notice: CP 575 G

800 UNION AVE REALTY
KIUMARZ GEULA SOLE MBR
PO BOX 234550
GREAT NECK, NY 11023

For assistance you may call us at:
1-800-829-4933

IF YOU WRITE, ATTACH THE
STUB AT THE END OF THIS NOTICE.

WE ASSIGNED YOU AN EMPLOYER IDENTIFICATION NUMBER

Thank you for applying for an Employer Identification Number (EIN). We assigned you EIN 81-4185015. This EIN will identify you, your business accounts, tax returns, and documents, even if you have no employees. Please keep this notice in your permanent records.

When filing tax documents, payments, and related correspondence, it is very important that you use your EIN and complete name and address exactly as shown above. Any variation may cause a delay in processing, result in incorrect information in your account, or even cause you to be assigned more than one EIN. If the information is not correct as shown above, please make the correction using the attached tear off stub and return it to us.

A limited liability company (LLC) may file Form 8832, *Entity Classification Election*, and elect to be classified as an association taxable as a corporation. If the LLC is eligible to be treated as a corporation that meets certain tests and it will be electing S corporation status, it must timely file Form 2553, *Election by a Small Business Corporation*. The LLC will be treated as a corporation as of the effective date of the S corporation election and does not need to file Form 8832.

To obtain tax forms and publications, including those referenced in this notice, visit our Web site at www.irs.gov. If you do not have access to the Internet, call 1-800-829-3676 (TTY/TDD 1-800-829-4059) or visit your local IRS office.

IMPORTANT REMINDERS:

- * Keep a copy of this notice in your permanent records. **This notice is issued only one time and the IRS will not be able to generate a duplicate copy for you.** You may give a copy of this document to anyone asking for proof of your EIN.
- * Use this EIN and your name exactly as they appear at the top of this notice on all your federal tax forms.
- * Refer to this EIN on your tax-related correspondence and documents.

If you have questions about your EIN, you can call us at the phone number or write to us at the address shown at the top of this notice. If you write, please tear off the stub at the bottom of this notice and send it along with your letter. If you do not need to write us, do not complete and return the stub.

Your name control associated with this EIN is 800U. You will need to provide this information, along with your EIN, if you file your returns electronically.

Thank you for your cooperation.

800 Union Avenue & 785 Union Avenue
Bridgeport, CT 06607

Properties within 100'-0" of Site

850 Union Avenue	Pequonnock Enterprises 850 Union Avenue Bridgeport, CT 06607
810 Union Avenue	810 Union Avenue LLC 810 Union Avenue Bridgeport, CT 06607
745 Union Avenue	Steward Heather Y ET AL 745 Union Avenue Bridgeport, CT 06604
751 Union Avenue	Juan C. Ortiz 751 Union Avenue Bridgeport, CT 06607
757 Union Avenue #759	Cream Enterprises LLC 851 Union Avenue Bridgeport, CT 06607
1082 Central Avenue #1092	Ahmed Mustaque & Lilac 155 Catalpa Road Wilton, CT 06897
1102 Central Avenue	Ajmo Properties LLC 426 Winnepoge Drive Fairfield, CT 06825
1110 Central Avenue	Arthur Jara 1110 Central Avenue Bridgeport, CT 06607
1120 Central Avenue # 1122	SZE Realty LLC 620 Ellsworth Avenue New Haven, CT 06511
1134 Central Avenue	Mildred Rodriguez 1134 Central Avenue Bridgeport, CT 06607
1142 Central Avenue	Ita Dwyer 1142 Central Avenue Bridgeport, CT 06607

800 Union Avenue & 785 Union Avenue
Bridgeport, CT 06607

1150 Central Avenue # 1152 Edward Velaquez & Miguelina Hernandez
1150 Central Avenue
Bridgeport, CT 06607-1056

1160 Central Avenue # 1162 Antonia E. Aguilar
1160 Central Avenue
Bridgeport, CT 06607

1166 Central Avenue Virginia E. Muse
1166 Central Avenue
Bridgeport, CT 06607

1174 Central Avenue Jose Roman ET AL
1174 Central Avenue
Bridgeport, CT 06610

1182 Central Avenue Gary Ainsworth
1182 Central Avenue
Bridgeport, CT 06607

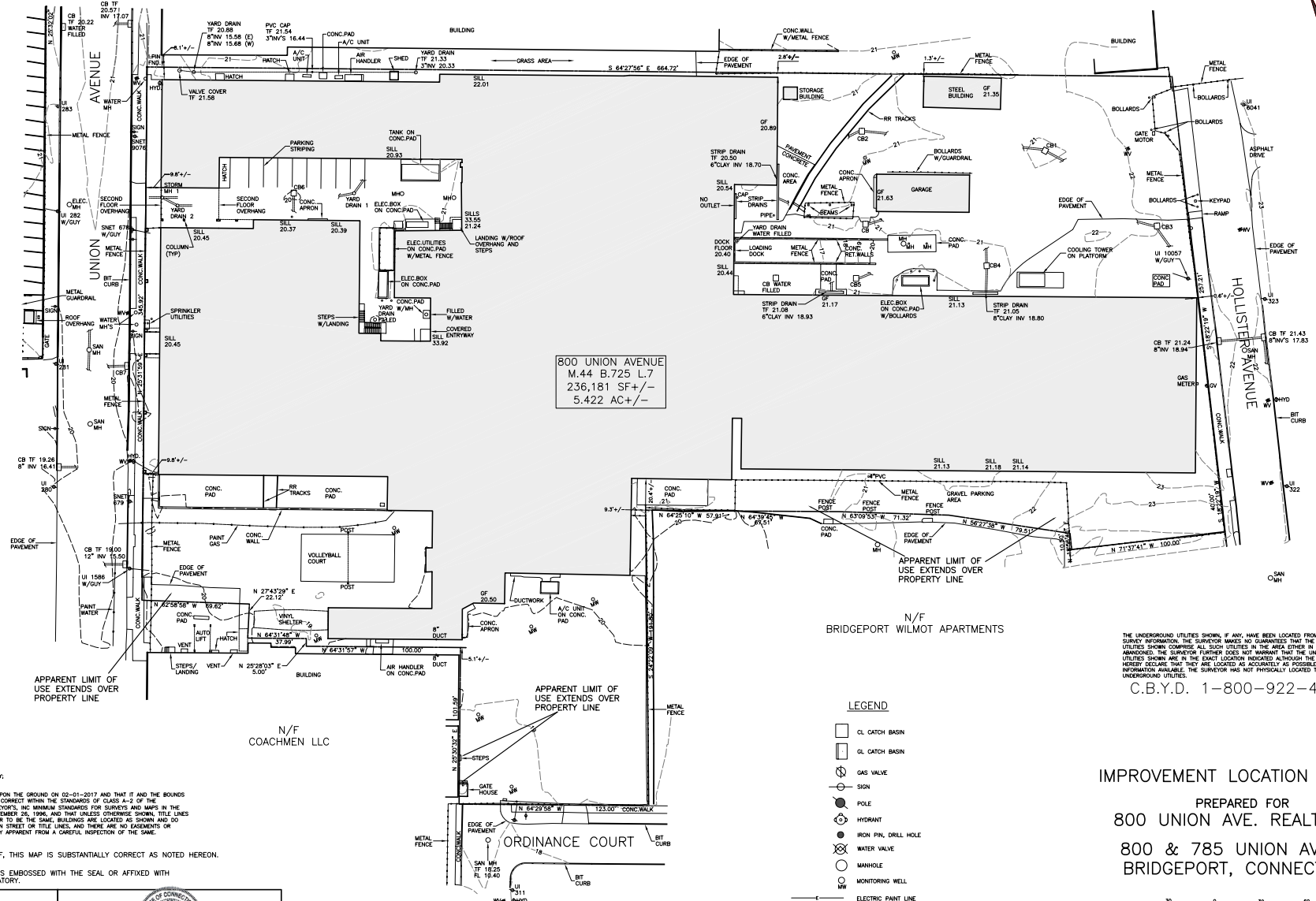
1188 Central Avenue # 1190 Mildred Graham
1188 Central Avenue
Bridgeport, CT 06607

861 Union Avenue 235 Williston Avenue LLC
105 Country Ridge Road
Rye Brook, NY 10573

N/F
810 UNION AVENUE LLC



SEE SHEET 2 OF 2



800 UNION AVENUE
M.44 B.725 L.7
236,181 SF +/-
5.422 AC +/-

N/F
BRIDGEPORT WILMOT APARTMENTS

N/F
COACHMEN LLC

ORDINANCE COURT

THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM MOBILE FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES HEREBY DECLARE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

C.B.Y.D. 1-800-922-4455

LEGEND

- CL CATCH BASIN
- GL CATCH BASIN
- GAS VALVE
- SIGN
- POLE
- HYDRANT
- IRON PIN, DRILL HOLE
- WATER VALVE
- MANHOLE
- MONITORING WELL
- ELECTRIC PAINT LINE
- GAS PAINT LINE
- WATER PAINT LINE
- CONTOUR LINE

IMPROVEMENT LOCATION SURVEY

PREPARED FOR
800 UNION AVE. REALTY LLC
800 & 785 UNION AVENUE
BRIDGEPORT, CONNECTICUT

SCALE 1"=30' FEBRUARY 1, 2017

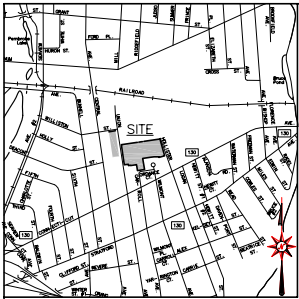
I HEREBY CERTIFY TO:
FIRST AMERICAN TITLE INSURANCE COMPANY;
800 UNION AVE. REALTY LLC;
THAT THIS SURVEY WAS ACTUALLY MADE UPON THE GROUND ON 02-01-2017 AND THAT IT AND THE BOUNDS AND MEASUREMENTS SHOWN HEREON ARE CORRECT WITHIN THE STANDARDS OF CLASS A-2 OF THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT ADOPTED ON SEPTEMBER 26, 1996, AND THAT UNLESS OTHERWISE SHOWN, TITLE LINES AND LINES OF ACTUAL POSSESSION APPEAR TO BE THE SAME. BUILDINGS ARE LOCATED AS SHOWN AND DO NOT APPEAR TO ENCRUMB OR UPON STREET OR TITLE LINES, AND THERE ARE NO EASEMENTS OR ENCROACHMENTS AFFECTING THIS PROPERTY APPARENT FROM A CAREFUL INSPECTION OF THE SAME.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OR AFFIXED WITH THE LIVE STAMP OF THE SIGNATORY.

J. EDWARDS & ASSOCIATES, LLC
Engineering and Surveying
227 Superior Road
Easton, CT 06812
(203)-668-4000
www.jedwardsassoc.com





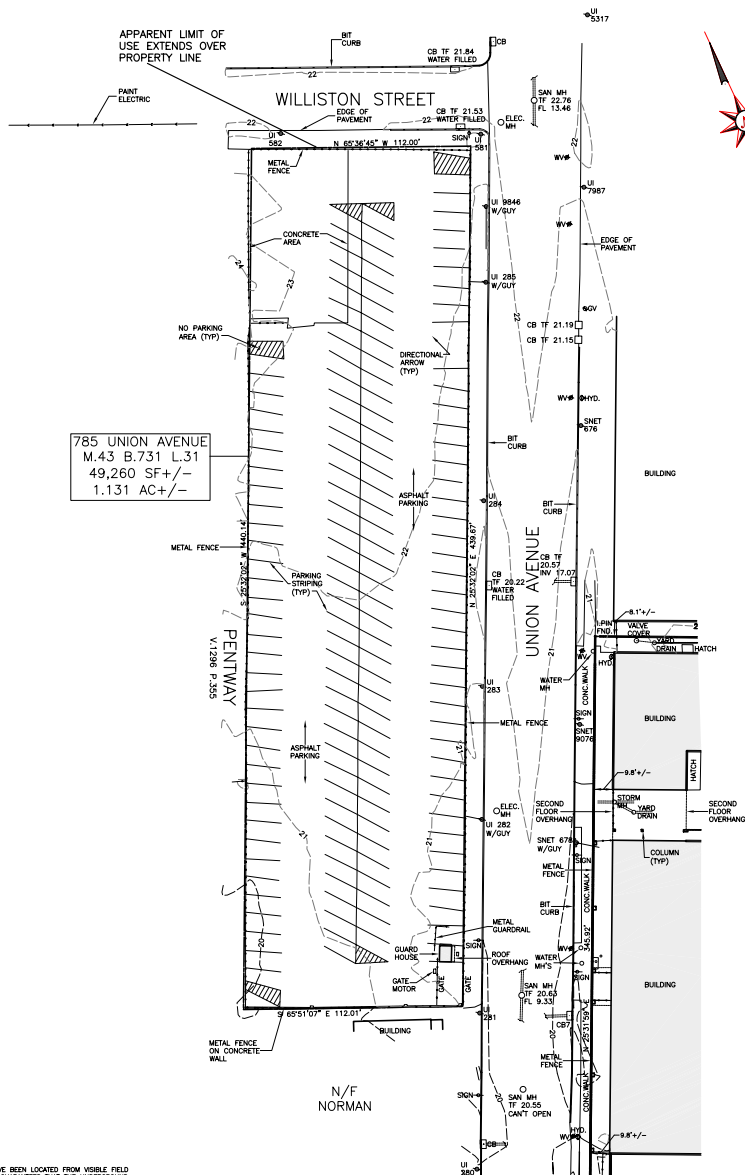
LOCATION MAP
SCALE: 1"=1000'

DRAINAGE STRUCTURES

CB1 TF 20.74 8" CLAY INV 17.19 (W) 8" CLAY INV 17.14 (SE)	CB2 TF 20.23 8" CLAY INV 18.43 (W) 8" CLAY INV 18.03 (SE)	CB3 TF 21.88 12" RCP INV 14.38 (SE) 12" RCP INV 14.33 (NW)	CB4 TF 20.51 8" CLAY INV 18.01 (S) 12" CLAY INV 17.31 (N)
CB5 TF 20.16 8" PVC INV 18.16 (NE)	CB6 TF 19.91 8" RCP INV 16.31	CB7 TF 19.45 8" INV 17.45	YARD DRAIN 1 TF 20.21 6" PVC INV 14.21 (NE) 8" PVC INV 14.08 (W)
YARD DRAIN 2 TF 19.84 8" INV'S 14.40	STORM MH 1 TF 19.44 8" FL 14.44		

LEGEND

- CL CATCH BASIN
- GL CATCH BASIN
- GAS VALVE
- SIGN
- POLE
- HYDRANT
- IRON PIN, DRILL HOLE
- WATER VALVE
- MANHOLE
- MONITORING WELL
- ELECTRIC PAINT LINE
- GAS PAINT LINE
- WATER PAINT LINE
- CONTOUR LINE



785 UNION AVENUE
M.43 B.731 L.31
49,260 SF +/-
1.131 AC +/-

SEE SHEET 1 OF 2

NOTES:

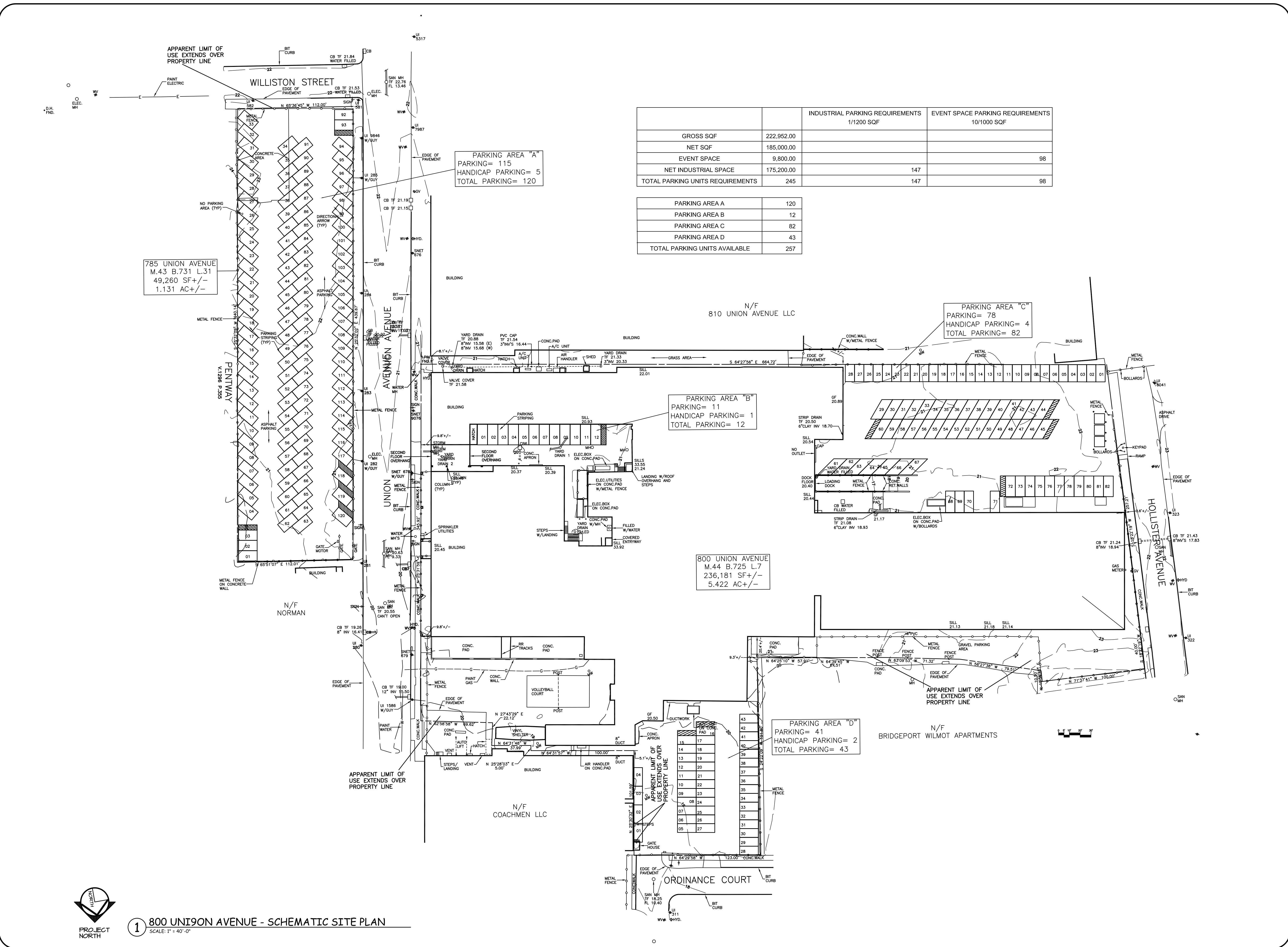
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEY AND MAPS IN THE STATE OF CONNECTICUT" AS ENFORCED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN IMPROVEMENT LOCATION SURVEY BASED UPON A DEPENDENT RESURVEY AND CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
- REFERENCE IS MADE TO THE FOLLOWING MAPS AND DOCUMENTS ON FILE IN THE BRIDGEPORT CITY CLERK'S OFFICE:
 - "BOUNDARY MAP OF PROPERTY LOCATED ON UNION AVENUE; CARROLL AVENUE; ORDINANCE COURT; HOLLISTER AVENUE; AND WILLISTON STREET; BRIDGEPORT, CONNECTICUT; PREPARED FOR MOORE SREGAL, TOOL COMPANY, INC.; AND THE UNION CARROLL COMPANY; SCALE: 1"=50'; JANUARY 1, 1981; REVISED TO: 4/28/81; PREPARED BY J&D KASPER & ASSOCIATES."
 - "BOUNDARY MAP OF PROPERTY LOCATED ON UNION AVENUE; CARROLL AVENUE; AND WILLISTON STREET; BRIDGEPORT, CONNECTICUT; PREPARED FOR THE ESTATE OF RICHARD F. MOORE; SCALE: 1"=50'; DECEMBER 23, 1993; PREPARED BY KASPER GROUP, INC."
 - "DATA ACCUMULATION PLAN DEPICTING LOT LINE REVISION; PREPARED FOR BLACK HORSE AUTOMOTIVE SERVICES, INC.; UNION AVENUE, GARROLL AVENUE, & ORDINANCE COURT; BRIDGEPORT, CONNECTICUT; 7/8/05; SCALE: 1"=40'; PREPARED BY SPATH-BJORKLUND ASSOC."
 - "ENVIRONMENTAL LAND USE RESTRICTION; 810 UNION AVENUE; PREPARED FOR MARK HARITON & SUSAN HARITON; BRIDGEPORT, CONNECTICUT; SCALE: 1"=40'; 3/31/05; PREPARED BY CODESPOTI & ASSOCIATES P.C."
 - VOLUME 3208 PAGES 189-194; VOLUME 5016 PAGES 242-244; VOLUME 6620 PAGES 298-301; VOLUME 7220 PAGES 140-142
 - BRIDGEPORT TOWN ENGINEERING DEPARTMENT PIN MAP NUMBERS 728, 729, & 730.
- THE LOCATION OF UNDERGROUND UTILITIES, IF ANY, IS UNKNOWN
- CURRENT OWNER OF RECORD IS: MOORE TOOL COMPANY INC.
- LOT CORNER MARKERS DEPICTED HEREON WERE FOUND AND/OR SET DURING COMPLETION OF THIS SURVEY.
- BEARING BASED ON REFERENCE MAP C.
- CERTIFICATION OF THIS MAP APPLIES TO CONDITIONS AS OF THE ORIGINAL DATE OR REVISED DATE DEPICTED HEREON. EXISTING CONDITIONS ON THE PROPERTY MAY HAVE CHANGED SINCE THAT DATE AND AN UPDATED SURVEY IS RECOMMENDED TO ACCURATELY DEPICT THE CURRENT CONDITIONS.
- 785 UNION AVE. IS IN CITY OF BRIDGEPORT ZONE RC. 800 UNION AVE. IS IN CITY OF BRIDGEPORT ZONE U.
- PROPERTY IS IN FEMA ZONE X. PER FIRM 09001C04410, DATED JULY 8, 2013.
- VERTICAL DATUM IS NAVD1988. REFERENCE TO SURVEY CONTROL PROVIDED BY CT DOT.
- LOCATION OF LICENSE AREA DESCRIBED IN V.6755 P.223 IS UNKNOWN.
- PARKING LOT ON 785 UNION AVENUE APPEARS TO SUBJECT TO USE AGREEMENT, V.7480 P.216
- SURVEY BASED AND RELIED ON TITLE COMMITMENT NO. CT52359834 PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY. DATED OCTOBER 5, 2016

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
800 UNION AVE. REALTY LLC
800 & 785 UNION AVENUE
BRIDGEPORT, CONNECTICUT

SCALE 1"=30' FEBRUARY 1, 2017

THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM VISIBLE FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES HEREBY DECLARE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

C.B.Y.D. 1-800-922-4455



	INDUSTRIAL PARKING REQUIREMENTS 1/1200 SQF	EVENT SPACE PARKING REQUIREMENTS 10/1000 SQF
GROSS SQF	222,952.00	
NET SQF	185,000.00	
EVENT SPACE	9,800.00	98
NET INDUSTRIAL SPACE	175,200.00	
TOTAL PARKING UNITS REQUIREMENTS	245	147

PARKING AREA A	120
PARKING AREA B	12
PARKING AREA C	82
PARKING AREA D	43
TOTAL PARKING UNITS AVAILABLE	257

PARKING AREA "A"
 PARKING= 115
 HANDICAP PARKING= 5
 TOTAL PARKING= 120

PARKING AREA "C"
 PARKING= 78
 HANDICAP PARKING= 4
 TOTAL PARKING= 82

PARKING AREA "B"
 PARKING= 11
 HANDICAP PARKING= 1
 TOTAL PARKING= 12

PARKING AREA "D"
 PARKING= 41
 HANDICAP PARKING= 2
 TOTAL PARKING= 43

785 UNION AVENUE
 M.43 B.731 L.31
 49,260 SF +/-
 1.131 AC +/-

800 UNION AVENUE
 M.44 B.725 L.7
 236,181 SF +/-
 5.422 AC +/-

DO NOT SCALE DRAWINGS
 REFER ALL QUESTIONS
 AND CLARIFICATIONS TO
 THE ARCHITECT

**PLANNING & ZONING
 SUBMISSION**

PRINTED
 03-22-2021

(SEAL)

**800 UNION AVENUE
 IMPROVEMENTS FOR
 EVENT SPACE**

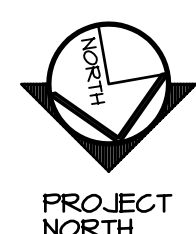
800 UNION AVENUE
 BRIDGEPORT, CONNECTICUT

**SCHEMATIC
 SITE PLAN**

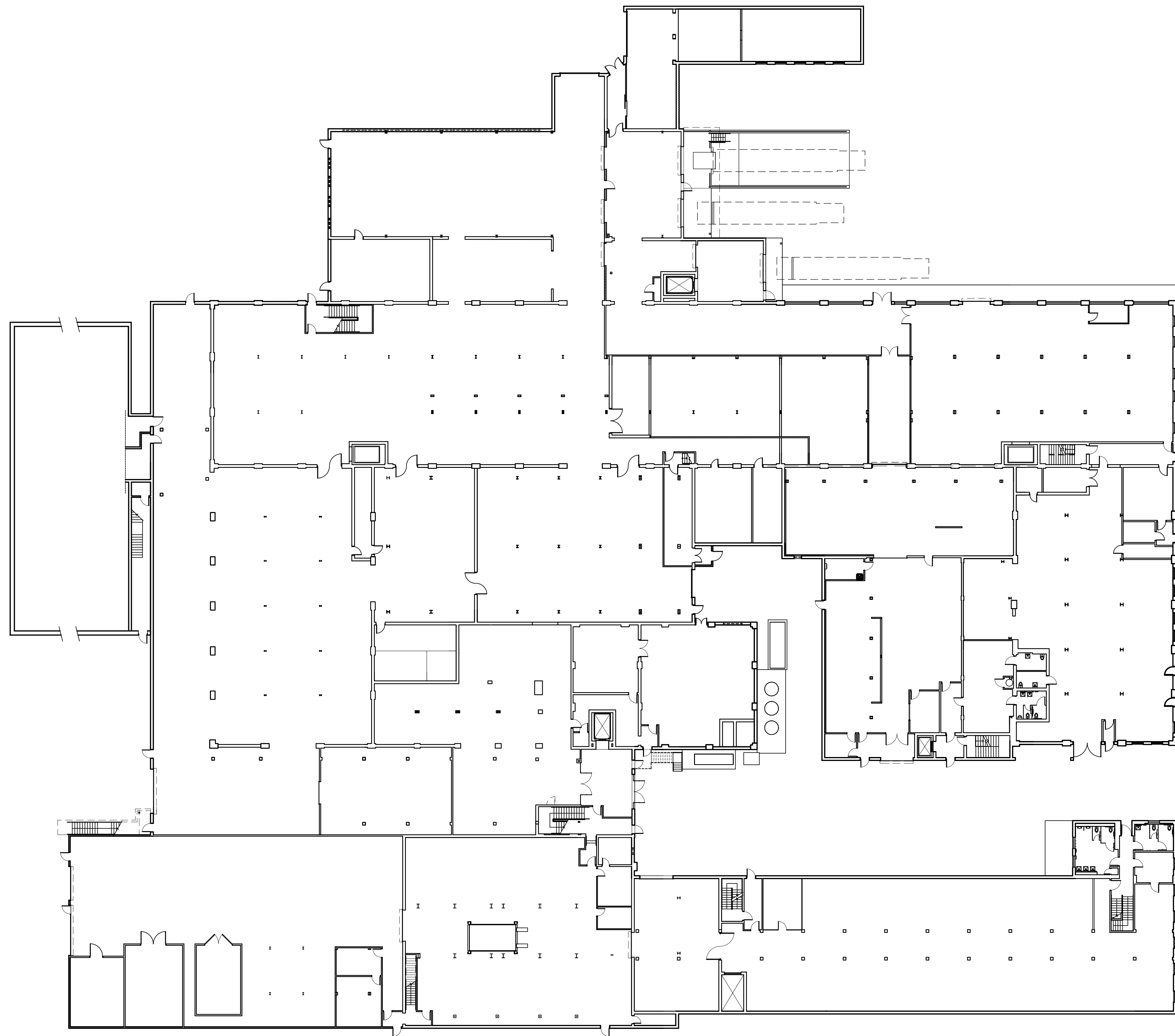
SCALE: SCALED AS NOTED

REVISIONS		
No.	DATE	DESCRIPTION

DATE: MARCH 22, 2021



1 800 UNION AVENUE - SCHEMATIC SITE PLAN
 SCALE: 1" = 40'-0"



UNION AVENUE

DO NOT SCALE DRAWINGS
 REFER ALL QUESTIONS
 AND CLARIFICATIONS TO
 THE ARCHITECT

**PLANNING & ZONING
 SUBMISSION**

PRINTED
 03-22-2021

(SEAL)

800 UNION AVENUE
 IMPROVEMENTS
 FOR
 EVENT SPACE

800 UNION AVENUE
 BRIDGEPORT, CONNECTICUT

FIRST
 FLOOR
 PLAN

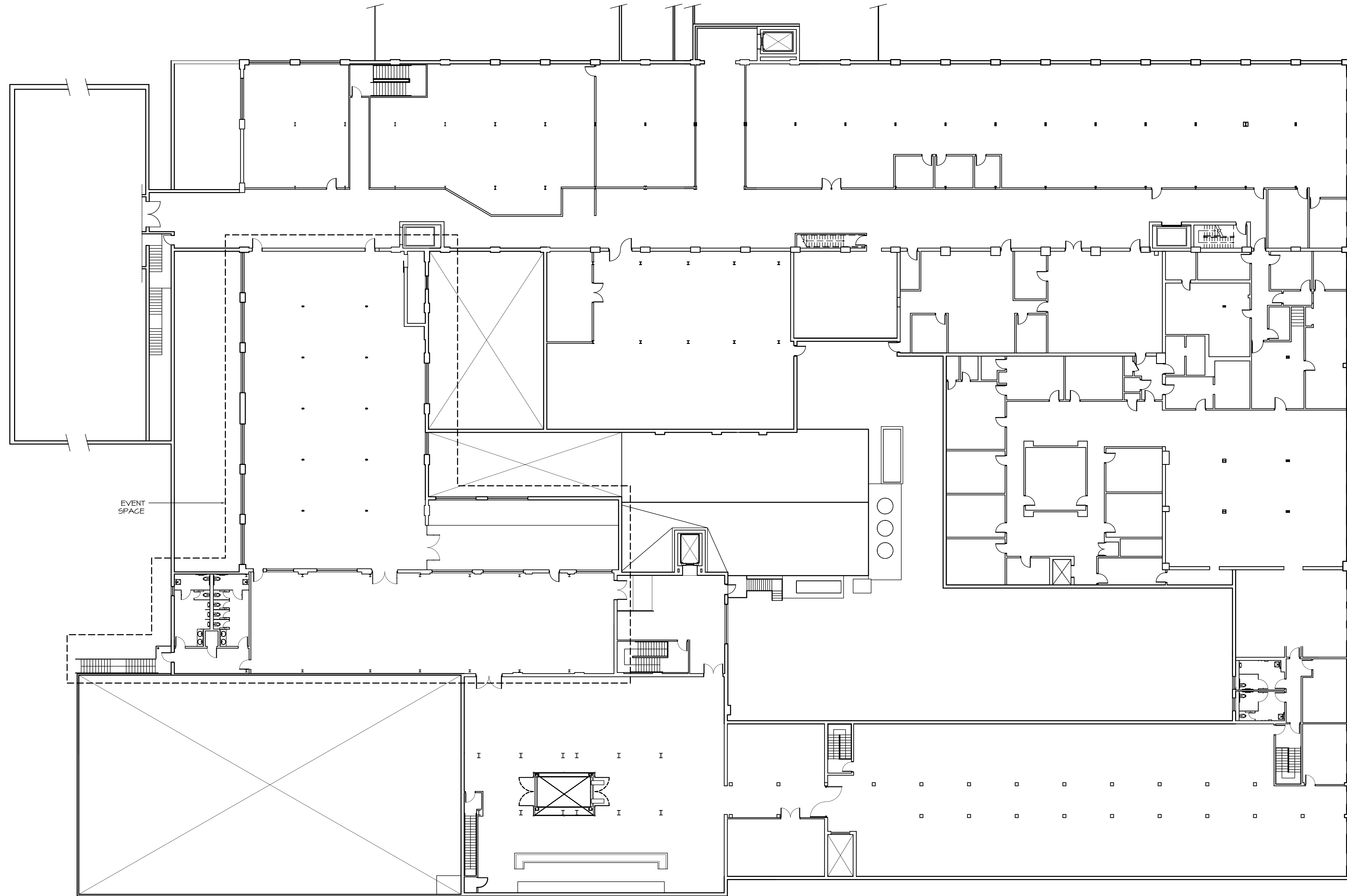
SCALE: SCALED AS NOTED

REVISIONS		
No.	DATE	DESCRIPTION

DATE: MARCH 22, 2021



1 800 UNION AVENUE - FIRST FLOOR PLAN
 SCALE: 3/64" = 1'-0"



U N I O N A V E N U E

DO NOT SCALE DRAWINGS
 REFER ALL QUESTIONS
 AND CLARIFICATIONS TO
 THE ARCHITECT

**PLANNING & ZONING
 SUBMISSION**

PRINTED
 03-22-2021

(SEAL)

800 UNION AVENUE
 IMPROVEMENTS
 FOR
 EVENT SPACE

800 UNION AVENUE
 BRIDGEPORT, CONNECTICUT

SECOND
 FLOOR
 PLAN

SCALE: SCALED AS NOTED

REVISIONS		
No.	DATE	DESCRIPTION

DATE: MARCH 22, 2021



1 800 UNION AVENUE - SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

DO NOT SCALE DRAWINGS
 REFER ALL QUESTIONS
 AND CLARIFICATIONS TO
 THE ARCHITECT

**PLANNING & ZONING
 SUBMISSION**

PRINTED
 03-22-2021

(SEAL)

**800 UNION AVENUE
 IMPROVEMENTS
 FOR
 EVENT SPACE**

800 UNION AVENUE
 BRIDGEPORT, CONNECTICUT

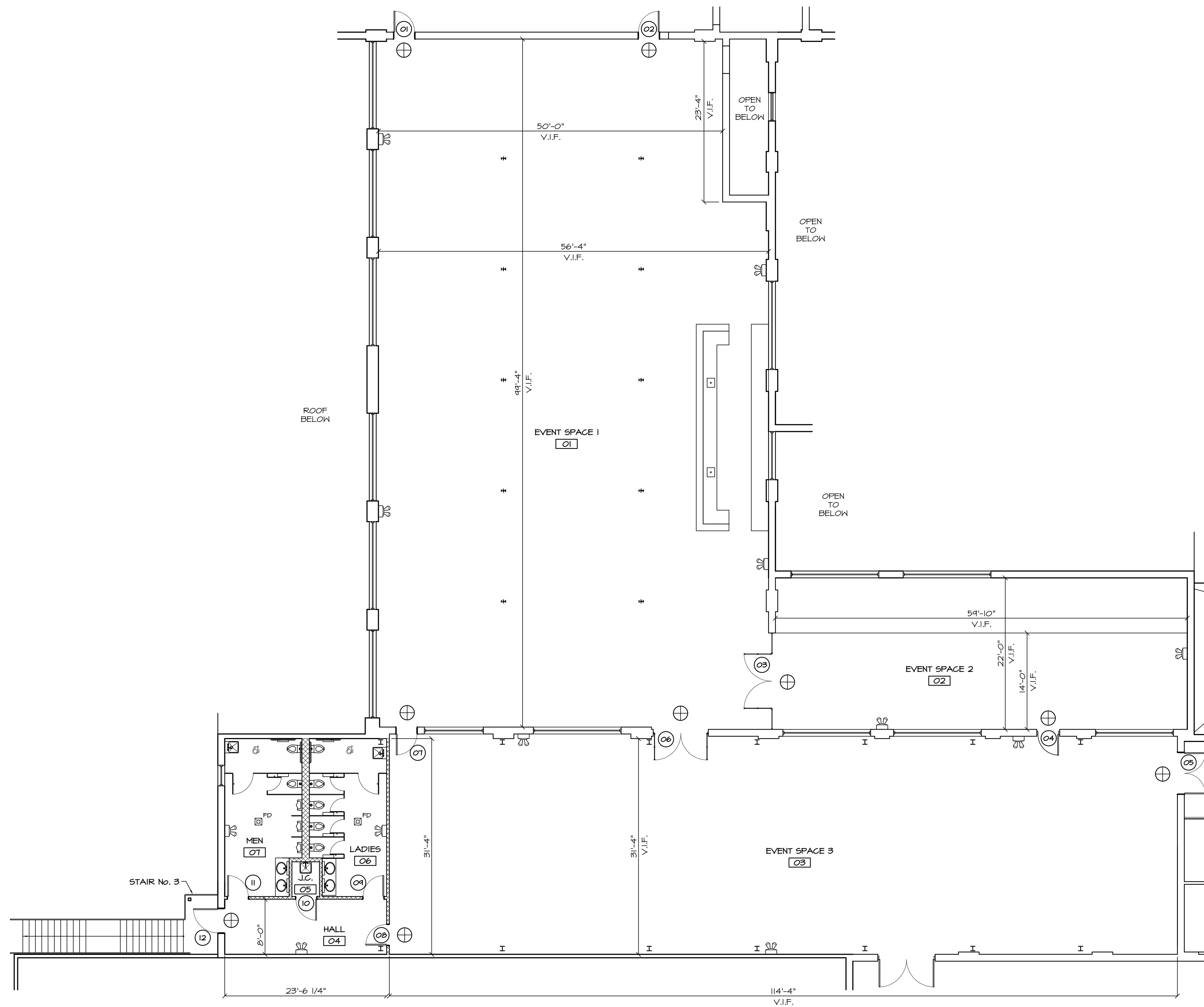
**EVENT SPACE
 FLOOR PLAN**

SCALE: SCALED AS NOTED

REVISIONS

No.	DATE	DESCRIPTION

DATE: MARCH 22, 2021



U N I O N A V E N U E



1 800 UNION AVENUE - SECOND FLOOR - EVENT SPACE FLOOR PLAN
 SCALE: 1/8" = 1'-0"

800 Union Avenue & 785 Union Avenue
Bridgeport, CT 06607



Front elevation on Union Avenue looking north

800 Union Avenue & 785 Union Avenue
Bridgeport, CT 06607



Front elevation on Union Avenue looking south

800 Union Avenue & 785 Union Avenue
Bridgeport, CT 06607



Parking Lot A at 785 Union Avenue from Union Avenue looking north

800 Union Avenue & 785 Union Avenue
Bridgeport, CT 06607



Parking Lot A at 785 Union Avenue from Union Avenue looking south

800 Union Avenue & 785 Union Avenue
Bridgeport, CT 06607



Parking Lot C at 800 Union Avenue from Hollister Avenue looking east

800 Union Avenue & 785 Union Avenue
Bridgeport, CT 06607



Parking Lot D at 800 Union Avenue from Ordinance Court looking north



ENGINEERING MEMORANDUM

To: Jon Urquidi, P.E.
City of Bridgeport / City Engineer

From: Kevin Solli, P.E. / Solli Engineering, LLC
Luke Mauro, P.E., PTOE / Solli Engineering, LLC

Subject: 4531-4577 Main Street – Engineering Memorandum
Bridgeport, Connecticut
Project #: 21100801

Date: 02/26/21
Revised 03/17/21

Solli Engineering (Solli) has prepared this Engineering Memorandum to summarize existing site conditions and proposed site improvements for the proposed coffee shop at 4531 Main Street, Bridgeport, Connecticut. The design has been completed in compliance with the City of Bridgeport Zoning Regulations, to the best extent practicable. Our site investigation and findings are summarized below.

EXISTING SITE CONDITIONS

SITE LOCATION

The subject site is located in the Brookside Center plaza at 4531 Main Street in the City of Bridgeport, Connecticut. The site totals approximately 13.71 acres and is currently improved with a 130,714± SF strip shopping center and associated parking. The property is located within the Office/Retail Regional (OR-R) Zone of the city.

The property is bound by commercial and a multi-family development to the north, Main Street to the east, commercial development to the south and residential development to the west. The property is bordered to the east by properties within the same zoning district (OR-R), while the multi-family development to the north is zoned R-C and the commercial development to the north is zoned MU-EM. The residential area to the west is zoned R-A. The property can be accessed off Main Street via (two) full-movement signalized site drives as well as an unsignalized, full-movement drive. For more information regarding the location of the site refer to the Site Location Map (Figure 1), in the supporting documents of this Memo.

SITE FEATURES

The site consists of approximately 9.61 acres of impervious area (roofs and paved parking areas) and approximately 3.56 acres of pervious area (landscape / lawn). The project site ranges in elevation from approximately 202 feet in the south up to approximately 215 feet in the northeast corner. Current site improvements include seventeen (17)

**501 Main Street, Suite 2A
Monroe, CT 06468
Office: (203) 880-5455**

**351 Newbury Street, Suite 303
Boston, MA 02115
Office: (617) 203-3160**

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stormwater catch basins and five (5) manholes. Compensatory storage is provided to the rear of the existing strip center.

The existing shopping center is serviced by a public water lateral from Main Street, located to the east of the building and a sanitary sewer connection which originates from the main also located in Main Street. The building's natural gas service lateral also connects to a gas main located in Main Street. Existing electrical service comes from overhead lines connecting to utility poles located on the west side of the existing shopping center.

PROTECTION AREAS

According to FEMA Flood Insurance Rate Map, Map Number 09001C0427F, a portion of the project site is located within Zone AE, which is the 100-year floodplain, also known as the 1% annual chance floodplain.

PROPOSED SITE CONDITIONS

PROPOSED SITE IMPROVEMENTS

The project proposes to construct a 2,233± SF Starbucks coffee shop in the northeast corner of the shopping center's parking area, just south of the northern signalized driveway. The proposed coffee shop also includes a drive-through, which was designed in compliance with Section 12-5 of the City of Bridgeport Zoning Regulations to the greatest extent practical, with regard to the following items:

- The service areas and stacking lanes for the drive-through facility are setback more than five (5) feet from all lot lines, per Section 12-5a
- The principal building entrance and front building façade face the primary street frontage (Main Street) and sidewalk, per Section 12-5-1a.1
- The site layout has been revised based on conversations with city staff to locate the majority of parking to the rear and side of the building, per Section 12-5-1a.3
- The drive-through service lane provides vehicle stacking for a total of (8) vehicles prior to the pick-up window, per Section 12-5-1a.5
- Adequate lighting is provided on the building and within the parking lot for pedestrian and driver safety, per Section 12-5-1a.7
- The architecture of the building has been designed to comply with Section 12-5-1b to the greatest practical and meets the glazing requirements outlined in Section 12-5-1b.4

As described above, we have worked with city staff to move the building closer to Main Street to meet the intent of the building siting guidelines outlined in Section 12-5-1a of the zoning regulations. Based on conversations with the tenant, the final layout depicted on our site plans is acceptable for their operations, while a layout completely eliminating the drive aisle and parking between the street line and the front of the building was not acceptable. Additionally, the preferred layout from the city's perspective would cause issues in terms of ADA accessibility and the need for pedestrians to walk across the drive-through lane. Our final site plan layout is a balance between recommendations from city staff and the tenant's requirements.

The project proposes a total site disturbance of 0.98 ± acres to accommodate the various site improvements. The existing site driveways on Main Street will remain as part of the project. There will be two-way circulation around all sides of the building, with the entrance to the drive-through lane being located off of the site drive on the easterly side of the building. Several new landscaped islands will be added, and several existing islands will be removed to

improve site circulation. New on-site traffic signage is proposed throughout the site for improved safety. ADA parking spaces have been provided to accommodate current ADA regulations.

The project provides a total of 418 parking spaces on-site, which is subject to an Approved Parking Reduction of 169 Spaces Per Variance Recorded In Vol. 1683, Pg. 541, Dated December 29, 1982. The project also proposes to add one ADA ramp on the north side of the building to improve ADA building access. The project will also feature a series of new building mounted light fixtures to replace the existing poles to be removed as shown on the Lighting Plan (See Sheet 2.71).

The project proposes a total site disturbance of 42,610 square feet to accommodate the various site improvements. The improvements propose to decrease the on-site impervious area by approximately 7,559 square feet (0.17 acres), compared to existing conditions. Due to the decrease of impervious area and maintenance of existing drainage patterns, the project should have a slight decrease in the rate of stormwater runoff in comparison to current conditions across all storm events.

To improve the quality of the stormwater discharged from the site, the project will include a hydrodynamic separator with grate top for the storm structure off the southeast corner of the patio and concrete staircase and hooded catch basins with two-foot sumps. These stormwater quality measures are intended to provide removal of suspended solids before connecting back into the Main Street stormwater system. To improve water quality, the proposed catch basin is to be fitted with a hooded outlet.

A proposed stormwater conveyance system, consisting of a series of pipes and catch basins, will collect the majority of the runoff from the proposed impervious areas. These areas include the proposed roof, driveways and parking fields. The system also includes underground compensatory storage chambers with an outlet control structure prior to connecting back into an existing catch basin leading to the existing underground culvert running south to north through the main existing parking. An analysis of the proposed/revised storm drainage conveyance system is provided in Appendix B and shows that the proposed conveyance system can accommodate the 50-year storm event without overtopping.

FLOODPLAIN COMPENSATORY STORAGE

The proposed development is located within the 100-year floodplain as shown on FEMA firmette map panel numbers 09001C0426F and 09001C0426F, included enclosed in Appendix A. The proposed finished floor elevation of the Starbucks building is 209.50 and positioned above the floodplain with 2.0 ft to 3.5 ft of freeboard. Filling in the floodplain will be required as part of the site work for this development, and as such, compensatory storage will be provided as required per local and FEMA regulations.

The existing floodplain within the limits of the project disturbance provides approximately 880 cubic yards, or 23,735 square feet, of floodplain storage. The proposed floodplain storage within the limits of development will be reduced to 13,286 cubic feet (492 cubic yards); therefore 10,449 cubic feet, or 387 cubic yards, of compensatory storage is proposed underground in the northern portion of the redeveloped parking area as part of this application.

Compensatory storage is proposed in the form of an underground detention system that consists of a series of interconnected plastic chambers surrounded by clean, crushed, angular stone. Overall the chambers and voids within the proposed surrounding and filled stone provide approximately 10,486 cubic feet of stormwater storage. The chambers are arch shaped with a base of 51 inches and a height of 30 inches. The rows of chambers are spaced 6 inches apart, filled with stone, rest on a 6-inch bed of crushed stone, and call for another 6 inches of stone above the chamber peaks. The systems are wrapped in a geotextile fabric to further protect surrounding soils from potential

sediment exposure. A 3-inch perforated underdrain pipe has been designed around the system to allow the system to fully drain, see detail sheet 3.03.

The inlet to the proposed compensatory storage system is proposed to be provided in a landscape island, just northwest of the proposed Starbucks building and drive thru. The top of frame will be set to elevation 208.90, so that the underground compensatory storage system is not activated until the flood waters reach this elevation. The floodplain elevation at the inlet to the compensatory storage system is approximately 209.10. The outlet from the underground compensatory storage system will connect into an existing catch basin which flows back into the underground drainage culvert under the parking lot.

SOIL EROSION AND SEDIMENT CONTROL MEASURES

The proposed plans for soil erosion and sediment control prepared for this project have been developed in accordance with the City of Bridgeport Storm Water Management Manual, last revised May 2019, and the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, prepared by the Connecticut Council of Soil and Water Conservation in cooperation with the CTDEEP.

The soil erosion and sediment control measures that are proposed for this project include a stabilized construction entrance, silt sack inlet protection, dust control measures and filter sock protection.

SITE UTILITIES

WATER

An existing twelve (12) inch water main within Main Street provides water service for Brookside Shopping Center and will also be used to serve the proposed coffee shop. Water will be provided to the proposed building via a new lateral tapped from the existing water main in Main Street.

TELEPHONE & ELECTRIC

According to the provider, existing telecommunication and electrical service exist overhead on the subject property side of Main Street. Proposed telecommunication and electrical service will be pulled from an existing utility pole located along the Main Street sidewalk between the center non-signalized site drive and the northernmost property drive and run underground across the Main Street fronting parking area to the proposed transformer pad. From the transformer, electric service enters the building along the northern building wall. Refer to the Site Utility Plan for more detail regarding the layout of this proposed utility connection.

GAS

Gas service is provided by Southern Connecticut Gas. The coffee shop is proposed to be connected to an existing gas lateral currently running from Main Street which runs under the existing parking area south of the northernmost property drive. This lateral serves the existing commercial strip center to the west. Should this proposed connection to the existing lateral not be possible, a new lateral will be required from the main within Main Street. For more information regarding the layout of proposed gas line see the Grading, Drainage & Utility Plan, Sheet 2.21.

SANITARY SEWER/GREASE TRAP

The proposed Starbucks requires a grease trap interceptor from kitchen operations. To accommodate the proposed grease output from the kitchen, a 1,000-gallon holding tank is proposed off the north side of the proposed structure. The tank will be pumped out as needed based on operations of the facility. A separate permit from City of Bridgeport WPCA is required for this site component. Effluent from the grease trap will combine with sanitary sewer service from the restrooms and will connect to the existing sanitary main within Main Street.

SUPPORTING DOCUMENTS

PROPERTY INFORMATION

Property Record Card
List of Abutters

FIGURES

Figure 1 – Site Location Map
Figure 2 – FEMA Map

PROPOSED HYDRAULICS

Hydroflow Storm Sewers Reports

COMPENSATORY STORAGE CALCULATIONS

Existing floodplain storage calculations
Proposed floodplain storage calculations
Underground compensatory storage calculations/information

PLANS

Subcatchment Drainage Area Map (SA-1)
Civil Plan Set, entitled “Brookside Shopping Center” prepared by Solli Engineering, LLC on February 26th, 2021.
(Under Separate Cover)

4531 MAIN ST #4575

Location 4531 MAIN ST #4575

Mblu 81/ 2509/ 61/E /

Acct# R--0039200

Owner BROOKSIDE (E&A) LLC

Assessment \$22,038,710

Appraisal \$31,483,870

PID 27344

Building Count 2

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2020	\$19,648,870	\$11,835,000	\$31,483,870

Assessment			
Valuation Year	Improvements	Land	Total
2020	\$13,754,210	\$8,284,500	\$22,038,710

Owner of Record

Owner BROOKSIDE (E&A) LLC

Sale Price \$0

Co-Owner

Certificate

Address P O BOX 528
1221 MAIN ST SUITE 1000
COLUMBIA , SC 29202

Book & Page 8110/0198

Sale Date 10/21/2009

Instrument 25

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BROOKSIDE (E&A) LLC	\$0		8110/0198	25	10/21/2009
BROOKSIDE (E&A) LLC	\$0		8095/0264	03	09/24/2009
E&A NORTHEAST LIMITED PARTNSHP	\$21,323,673		3976/0340	UNKQ	08/26/1998
BROOKSIDE ASSOCIATES	\$3,925,000		2192/0152		11/20/1986

Building Information

Building 1 : Section 1

Year Built: 2002
Living Area: 53,732
Replacement Cost: \$11,908,791

Building Percent Good: 89
Replacement Cost
Less Depreciation: \$10,598,820

Building Attributes

Field	Description
Style:	Supermarket
Model	Comm/Ind
Grade:	Very Good
Stories:	1
Occupancy:	1.00
Exterior Wall 1:	Concr/CinderBl
Exterior Wall 2:	Brick
Roof Struct:	Flat
Roof Cover:	Tar + Gravel
Interior Wall 1:	Drywall
Interior Wall 2:	
Interior Floor 1:	Average
Interior Floor 2:	
Heating Fuel:	Oil
Heating Type:	Forced Air
AC Type:	Central
Struct Class	
Bldg Use:	Retail
Ttl Rooms:	
Ttl Bedrms:	00
Ttl Baths:	0
Ttl Half Baths:	0
Ttl Xtra Fix:	0
1st Floor Use:	
Heat/AC:	Heat/Ac Pkgs
Frame Type:	Masonry
Baths/Plumbing:	Average
Ceiling/Wall:	Sus-Ceil & WI
Rooms/Prtns:	Average
Wall Height:	16.00
% Comn Wall:	

Building 2 : Section 1

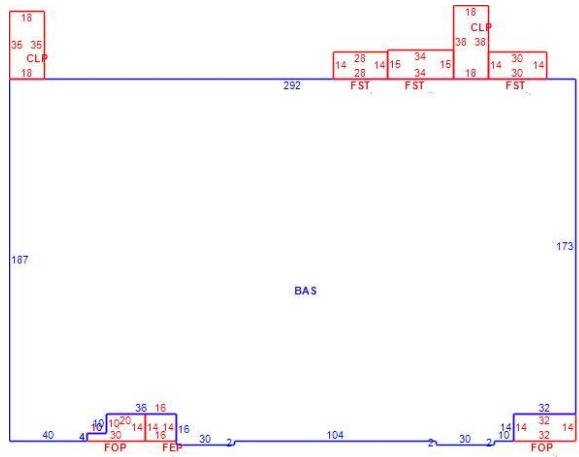
Year Built: 1958
Living Area: 74,090
Replacement Cost: \$9,691,743
Building Percent Good: 75

Building Photo



(<http://images.vgsi.com/photos2/BridgeportCTPhotos/A0010\08\22.jpg>)

Building Layout



(ParcelSketch.aspx?pid=27344&bid=27344)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	53,732	53,732
CLP	Loading Platform	1,314	0
FEP	Enclosed Porch	224	0
FOP	Open Porch	768	0
FST	Fin Utility Storage	1,322	0
		57,360	53,732

Replacement Cost

Less Depreciation: \$7,268,810

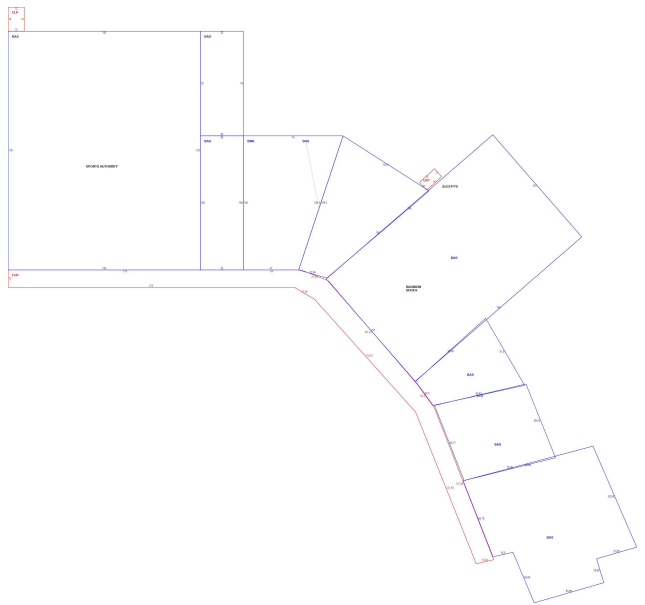
Building Attributes : Bldg 2 of 2	
Field	Description
Style:	Plaza
Model	Comm/Ind
Grade:	Very Good
Stories:	1
Occupancy:	12.00
Exterior Wall 1:	Brick
Exterior Wall 2:	
Roof Struct:	Flat
Roof Cover:	Tar + Gravel
Interior Wall 1:	Drywall
Interior Wall 2:	
Interior Floor 1:	Carpet
Interior Floor 2:	Vinyl/Asphalt
Heating Fuel:	Oil
Heating Type:	Forced Air
AC Type:	Central
Struct Class	
Bldg Use:	Retail
Ttl Rooms:	
Ttl Bedrms:	00
Ttl Baths:	0
Ttl Half Baths:	0
Ttl Xtra Fix:	0
1st Floor Use:	
Heat/AC:	Heat/Ac Pkgs
Frame Type:	Masonry
Baths/Plumbing:	Average
Ceiling/Wall:	Sus-Ceil & WI
Rooms/Prtns:	Average
Wall Height:	16.00
% Comn Wall:	

Building Photo



(<http://images.vgsi.com/photos2/BridgeportCTPhotos//default.jpg>)

Building Layout



(ParcelSketch.ashx?pid=27344&bid=35968)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	68,340	68,340
BNK	Bank Area	5,750	5,750
CLP	Loading Platform	216	0
FOP	Open Porch	6,582	0
UST	Unfinished Utility Storage	120	0
		81,008	74,090

Extra Features

Extra Features				<u>Legend</u>
Code	Description	Size	Value	Bldg #
CLR1	Cooler	930.00 SF	\$25,660	1

VLT1	Vault-Avg	110.00 SF	\$8,580	2
CLR2	Freezer	540.00 SF	\$22,590	1
NDP	Night Dep Box	1.00 UNITS	\$5,850	2
ATM	ATM	2.00 UNITS	\$62,400	2
CLR1	Cooler	1980.00 SF	\$54,630	1
MEZ2	Mezn Finished	680.00 SF	\$18,760	1
MEZ3	Mezn Fin w/Partitns	1728.00 SF	\$64,590	1
SPR1	Sprinklers-Wet	77164.00 SF	\$162,040	2
ELV2	Pass	2.00 STOPS	\$92,560	1
ELV2	Pass	2.00 STOPS	\$92,560	1
VLT1	Vault-Avg	100.00 SF	\$9,260	1
SPR1	Sprinklers-Wet	56140.00 SF	\$139,900	1
NDP	Night Dep Box	1.00 UNITS	\$6,940	1
LDL1	Load Levler	4.00 UNITS	\$12,820	1

Land

Land Use

Use Code 217
Description Retail
Zone ORR
Neighborhood M7
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 13.15
Frontage 0
Depth 0
Assessed Value \$8,284,500
Appraised Value \$11,835,000

Outbuildings

Outbuildings						<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
SHD1	Shed	FR	Frame	280.00 SF	\$2,350	2
PAV1	Paving Asph			335000.00 SF	\$934,650	1
LT	Light	1	Single	9.00 UNITS	\$22,600	1
LT	Light	4	Four	5.00 UNITS	\$22,910	1
LT	Light	3	Triple	5.00 UNITS	\$19,330	1
FN1	Fence, Chain	4	4 ft	26.00 LF	\$260	1

Valuation History

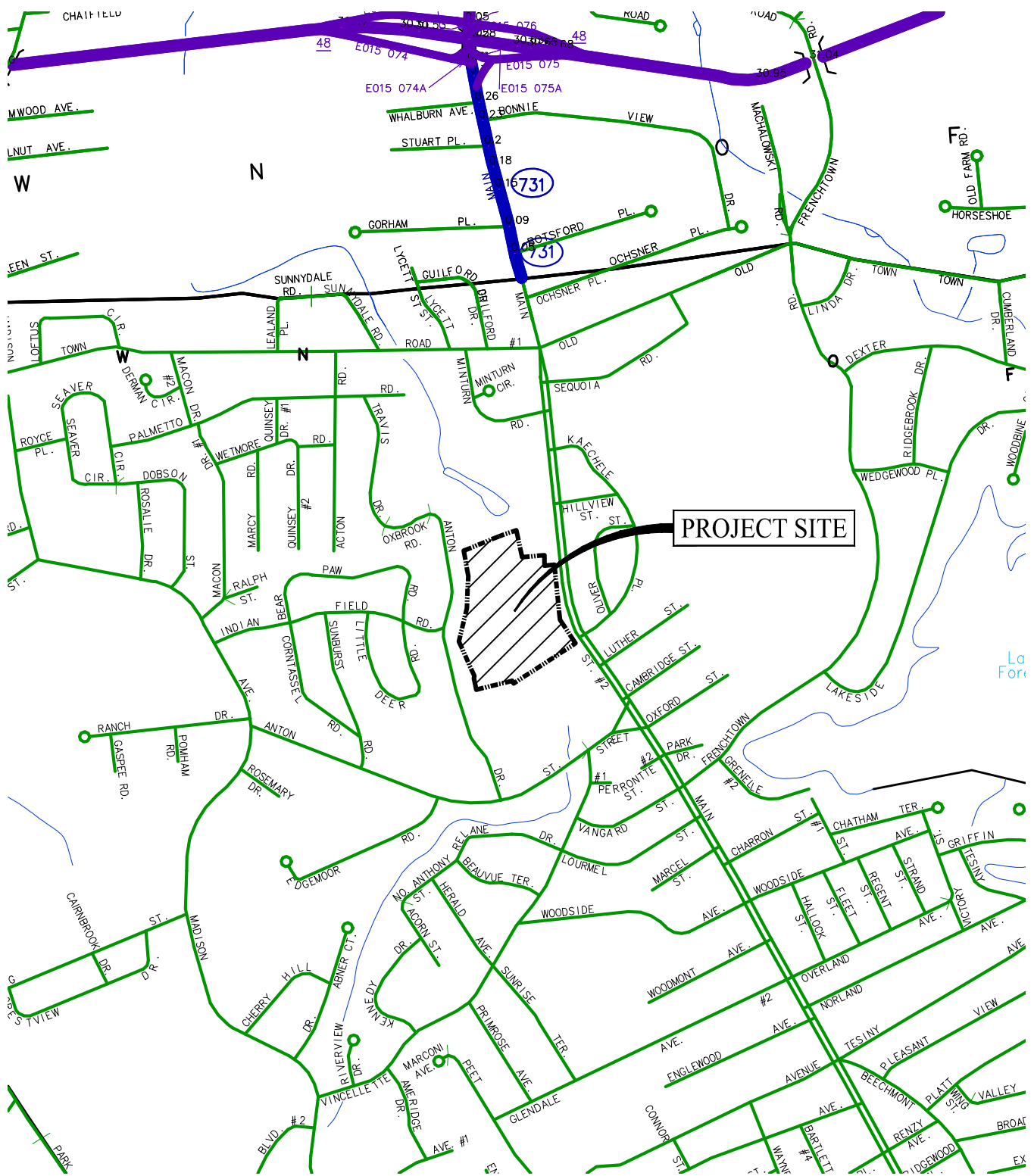
Appraisal			
Valuation Year	Improvements	Land	Total
2019	\$12,695,585	\$6,575,000	\$19,270,585
2018	\$12,695,585	\$6,575,000	\$19,270,585
2017	\$12,695,585	\$6,575,000	\$19,270,585

Assessment

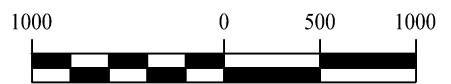
Valuation Year	Improvements	Land	Total
2019	\$8,886,910	\$4,602,500	\$13,489,410
2018	\$8,886,910	\$4,602,500	\$13,489,410
2017	\$8,886,910	\$4,602,500	\$13,489,410

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Property W/I 100 FEET	OWNER OF RECORD	ADDRESS	CITY, STATE, ZIP
330 ANTON DR	BUFFONE ANTONIO P ET AL	000330 ANTON DR	BRIDGEPORT, CT 06606
236 ANTON DR	ARAUJO ANA B	000236 ANTON DR	BRIDGEPORT, CT 06606
4485 MAIN ST #4505	E&A NORTHEAST LIMITED PRTNSHP	1901 MAIN (900 NATINSBK ST	COLUMBIA, SC 29202
214 ANTON DR	ZAMELSKI SOPHIE E	000214 ANTON DR	BRIDGEPORT, CT 06606
368 ANTON DR #17	SANTANA PAUL & JACLYN	368 ANTON DRIVE #17	BRIDGEPORT, CT 06606
4580 MAIN ST	4600 MAIN STREET LLC	001425 NOBLE AVE	BRIDGEPORT, CT 06610
4570 MAIN ST	C/O KIMBALL GROUP	001425 NOBLE AVE	BRIDGEPORT, CT 06610
4675 MAIN ST	COMMERCE PARK ASSOCIATES LLC C/O KIMBALL GROUP	523 PEPPER ST	MONROE, CT 06468
12 ANTON CR	GARCIA FRANCES & SANTOS	000012 ANTON CIR	BRIDGEPORT, CT 06606
186 ANTON DR	CRUZ JOSE M & MARIA M	186 ANTON DR	BRIDGEPORT, CT 06606
4540 MAIN ST	FEIN KENNETH H	004540 MAIN ST	BRIDGEPORT, CT 06606
4556 MAIN ST	4600 MAIN STREET LLC	001425 NOBLE AVE	BRIDGEPORT, CT 06610
32 ANTON CR	RIVERA JESUS	2237 HUNTER AVE	BRONX, NY 10475
200 ANTON DR	LUONGO ANTHONY	200 ANTON DRIVE	BRIDGEPORT, CT 06606
300 ANTON DR	ZALDUMBIDE ELVIS & EVA M ZALDUMBIDE	000300 ANTON DR	BRIDGEPORT, CT 06606
310 ANTON DR	HRIBAR VALENTIN & ANA	310 ANTON DR	BRIDGEPORT, CT 06606
4500 MAIN ST	PRECI ANGELO	4500 MAIN ST	BRIDGEPORT, CT 06606
256 ANTON DR	CARVALHO DOMINGOS	000256 ANTON DR	BRIDGEPORT, CT 06606
4637 MAIN ST #01	PEREZ RAUL JR	20 TUCKAHUE ROAD	EASTON, CT 06612
4531 MAIN ST #4575	E&A NORTHEAST LIMITED PARTNSHP	1901 MAIN (900 NATIONSBNK ST	COLUMBIA, SC 29202
4610 MAIN ST	JAMES LILLIS (CONSERVATOR)	001137 SEAVIEW AVE	BRIDGEPORT, CT 06607
360 ANTON DR	SULLIVAN JESSIE L (RESPONDENT) JAMES LILLIS (CONSERVATOR)	6808 TOWLES ROAD	WILMINGTON, NC 28409
4590 MAIN ST	4600 MAIN STREET LLC	001425 NOBLE AVE	BRIDGEPORT, CT 06610
340 ANTON DR	MANTONE SUSAN L	000340 ANTON DR	BRIDGEPORT, CT 06606
4615 MAIN ST	4890 MAIN STREET LLC	004750 MAIN ST	BRIDGEPORT, CT 06606
4600 MAIN ST	4600 MAIN STREET	001425 NOBLE AVE	BRIDGEPORT, CT 06610
4514 MAIN ST #4518	VITALE PATRICK J JR &MARCELINEVITALE (SURV OF THEM)	29 POINT BEACH DR	MILFORD, CT 06460
280 ANTON DR	SALAS EDWARD F ET AL	000280 ANTON DR	BRIDGEPORT, CT 06606
4490 MAIN ST	THE ROSINGER LIMITED PARTNERSHIP	P.O. BOX 200	SOUTHPORT, CT 06890
176 ANTON DR	BRANCO DELFINA	000176 ANTON DR	BRIDGEPORT, CT 06606
2 ANTON CR	MARRAKECH INC	6 LUNAR DR	WOODBIDGE, CT 06515



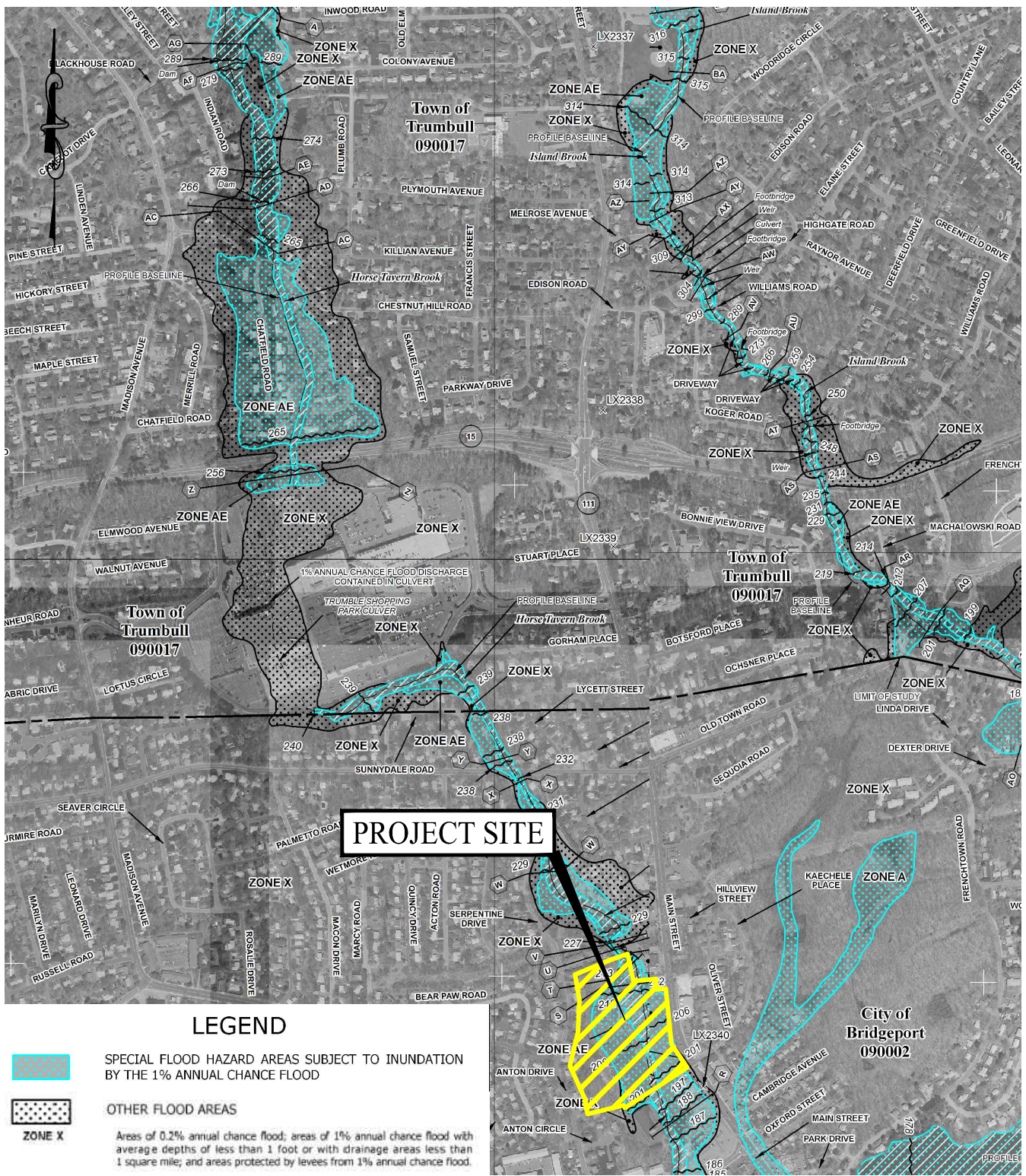
NOTE: BASE MAP INFORMATION TAKEN FROM CTDOT TRU MAP 015



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SITE LOCATION MAP
4531-4577 MAIN STREET
BRIDGEPORT, CONNECTICUT

Project #:	21100801
Plan Date:	02/26/2021
Scale:	1" = 1000'
Figure:	1



NOTE: BASE MAP INFORMATION TAKEN FROM MSC.FEMA.GOV,
 AREA NUMBER 09001C0426F & 09001C0427F

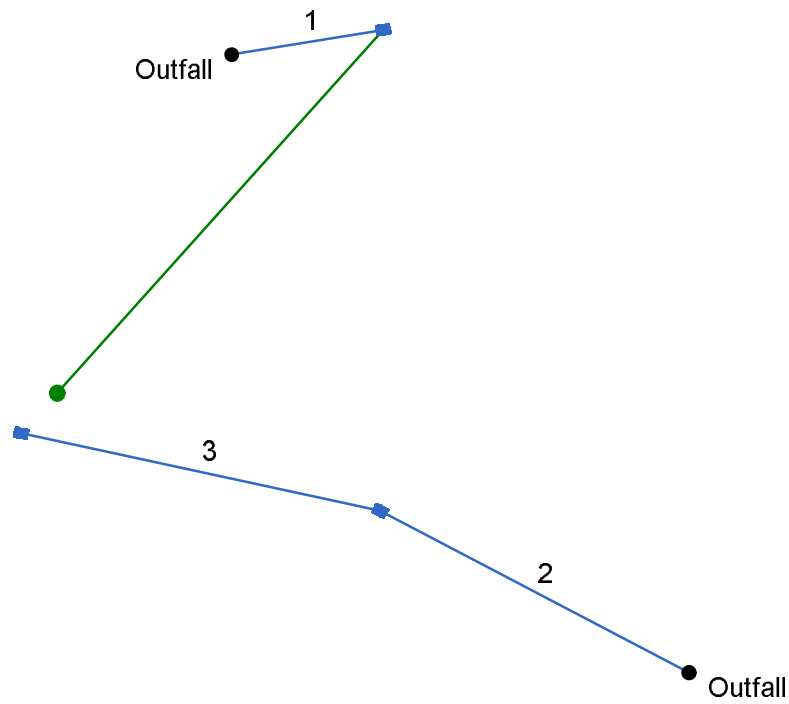


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 ENGINEERING
 501 Main Street, Monroe, CT 06468
 T: (203) 880-5455 F: (203) 880-9695

FEMA SURVEY MAP
 4531-4577 MAIN STREET
 BRIDGEPORT, CONNECTICUT

Project #:	21100801
Plan Date:	02/26/21
Scale:	1" = 1,000'
Figure:	2

Hydraflow Storm Sewers Extension for Autodesk® Civil 3D® Plan



Project File: Proposed Collection.stm

Number of lines: 3

Date: 3/17/2021

Storm Sewers v2020.00

Structure Report

Struct No.	Structure ID	Junction Type	Rim Elev (ft)	Structure			Line Out			Line In		
				Shape	Length (ft)	Width (ft)	Size (in)	Shape	Invert (ft)	Size (in)	Shape	Invert (ft)
1	Structure - (5)	Grate	208.70	Rect	4.00	3.00	12	Cir	204.00			
2	Structure - (2)	Combination	203.50	Rect	4.00	3.00	12	Cir	199.50	12	Cir	199.50
3	Structure - (3)	Combination	204.70	Rect	4.00	3.00	12	Cir	200.52			

Project File: Proposed Collection.stm	Number of Structures: 3	Run Date: 3/17/2021
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Storm Sewer Summary Report

Line No.	Line ID	Flow rate (cfs)	Line Size (in)	Line shape	Line length (ft)	Invert EL Dn (ft)	Invert EL Up (ft)	Line Slope (%)	HGL Down (ft)	HGL Up (ft)	Minor loss (ft)	HGL Junct (ft)	Dns Line No.	Junction Type
1	Pipe - (3)	2.56	12	Cir	42.612	203.78	204.00	0.516	204.46	204.84	0.20	205.05	End	Grate
2	Pipe - (1)	1.08	12	Cir	97.000	199.41	199.50	0.093	199.85	200.31	0.02	200.33	End	Combination
3	Pipe - (2)	3.56	12	Cir	102.000	199.50	200.52	1.000	200.33	201.33	0.42	201.75	2	Combination

Project File: Proposed Collection.stm	Number of lines: 3	Run Date: 3/17/2021
---------------------------------------	--------------------	---------------------

NOTES: Return period = 50 Yrs.

Storm Sewer Tabulation

Station		Len (ft)	Drng Area		Rnoff coeff (C)	Area x C		Tc		Rain (l) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID	
Line	To Line		Incr (ac)	Total (ac)		Incr	Total	Inlet (min)	Syst (min)					Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)		
1	End	42.612	0.26	0.00	0.77	0.20	0.00	6.0	0.0	0.0	2.56	2.56	4.04	12	0.52	203.78	204.00	204.46	204.84	208.70	208.70	Pipe - (3)	
2	End	97.000	0.27	0.00	0.88	0.24	0.00	6.0	0.0	0.0	1.08	1.08	2.44	12	0.09	199.41	199.50	199.85	200.31	203.50	203.50	Pipe - (1)	
3	2	102.000	0.29	0.00	0.85	0.25	0.00	6.0	0.0	0.0	3.56	3.56	5.16	12	1.00	199.50	200.52	200.33	201.33	203.50	204.70	Pipe - (2)	
Project File: Proposed Collection.stm																Number of lines: 3				Run Date: 3/17/2021			
NOTES: Intensity = 44.14 / (Inlet time + 3.60) ^ 0.69 ; Return period = Yrs. 50 ; Total flows limited to full flow capacities ; c = cir e = ellip b = box																							



NOAA Atlas 14, Volume 10, Version 3
Location name: Bridgeport, Connecticut, USA*
Latitude: 41.222°, Longitude: -73.2183°
Elevation: 209.29 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Sandra Pavlovic, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Orlan Wilhite

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aerials](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	4.27 (3.34-5.36)	5.05 (3.95-6.36)	6.34 (4.93-7.98)	7.39 (5.72-9.37)	8.86 (6.64-11.7)	9.96 (7.31-13.4)	11.1 (7.90-15.4)	12.4 (8.35-17.5)	14.2 (9.19-20.7)	15.6 (9.89-23.2)
10-min	3.02 (2.36-3.80)	3.58 (2.80-4.50)	4.49 (3.49-5.66)	5.24 (4.06-6.65)	6.28 (4.70-8.26)	7.06 (5.17-9.46)	7.87 (5.59-10.9)	8.77 (5.92-12.4)	10.0 (6.52-14.6)	11.1 (7.01-16.4)
15-min	2.37 (1.86-2.98)	2.81 (2.19-3.53)	3.52 (2.74-4.44)	4.11 (3.18-5.21)	4.92 (3.68-6.48)	5.53 (4.05-7.42)	6.17 (4.39-8.54)	6.88 (4.64-9.72)	7.88 (5.11-11.5)	8.68 (5.50-12.9)
30-min	1.65 (1.29-2.07)	1.95 (1.53-2.46)	2.45 (1.91-3.09)	2.86 (2.22-3.63)	3.43 (2.56-4.51)	3.86 (2.82-5.17)	4.30 (3.05-5.94)	4.78 (3.23-6.75)	5.45 (3.53-7.94)	5.98 (3.78-8.87)
60-min	1.06 (0.827-1.33)	1.25 (0.979-1.58)	1.57 (1.22-1.98)	1.84 (1.42-2.33)	2.20 (1.64-2.89)	2.48 (1.81-3.31)	2.76 (1.95-3.80)	3.06 (2.07-4.32)	3.48 (2.26-5.07)	3.80 (2.41-5.65)
2-hr	0.686 (0.540-0.856)	0.817 (0.642-1.02)	1.03 (0.808-1.29)	1.21 (0.942-1.52)	1.46 (1.10-1.90)	1.64 (1.21-2.19)	1.83 (1.31-2.52)	2.05 (1.39-2.88)	2.35 (1.53-3.41)	2.60 (1.65-3.84)
3-hr	0.527 (0.416-0.655)	0.630 (0.497-0.785)	0.799 (0.628-0.997)	0.938 (0.734-1.18)	1.13 (0.855-1.48)	1.28 (0.944-1.70)	1.43 (1.03-1.96)	1.60 (1.09-2.24)	1.85 (1.21-2.67)	2.06 (1.31-3.02)
6-hr	0.333 (0.265-0.411)	0.400 (0.318-0.495)	0.510 (0.404-0.633)	0.602 (0.473-0.750)	0.727 (0.553-0.944)	0.821 (0.612-1.09)	0.921 (0.666-1.26)	1.04 (0.705-1.44)	1.21 (0.788-1.73)	1.35 (0.859-1.96)
12-hr	0.204 (0.163-0.250)	0.246 (0.197-0.303)	0.316 (0.251-0.389)	0.373 (0.295-0.462)	0.452 (0.346-0.584)	0.511 (0.383-0.673)	0.574 (0.418-0.783)	0.648 (0.443-0.895)	0.758 (0.497-1.08)	0.850 (0.544-1.23)
24-hr	0.120 (0.096-0.146)	0.146 (0.118-0.178)	0.190 (0.152-0.232)	0.226 (0.180-0.277)	0.275 (0.212-0.353)	0.312 (0.235-0.409)	0.351 (0.258-0.478)	0.399 (0.274-0.547)	0.472 (0.310-0.667)	0.534 (0.343-0.767)
2-day	0.067 (0.054-0.081)	0.083 (0.067-0.101)	0.109 (0.088-0.133)	0.131 (0.105-0.160)	0.161 (0.125-0.206)	0.183 (0.140-0.240)	0.208 (0.154-0.283)	0.238 (0.164-0.325)	0.286 (0.189-0.401)	0.327 (0.211-0.467)
3-day	0.048 (0.039-0.058)	0.060 (0.049-0.073)	0.079 (0.064-0.096)	0.095 (0.077-0.116)	0.117 (0.091-0.150)	0.133 (0.102-0.174)	0.151 (0.113-0.205)	0.174 (0.120-0.235)	0.209 (0.138-0.292)	0.240 (0.155-0.341)
4-day	0.039 (0.032-0.047)	0.048 (0.039-0.058)	0.063 (0.051-0.077)	0.076 (0.061-0.092)	0.093 (0.073-0.119)	0.106 (0.081-0.138)	0.120 (0.090-0.163)	0.138 (0.095-0.186)	0.165 (0.110-0.231)	0.190 (0.122-0.269)
7-day	0.027 (0.022-0.032)	0.032 (0.026-0.039)	0.042 (0.034-0.050)	0.050 (0.040-0.060)	0.060 (0.047-0.076)	0.068 (0.052-0.088)	0.077 (0.057-0.103)	0.087 (0.061-0.117)	0.104 (0.069-0.143)	0.117 (0.076-0.165)
10-day	0.022 (0.018-0.026)	0.026 (0.021-0.031)	0.033 (0.027-0.039)	0.038 (0.031-0.046)	0.046 (0.036-0.058)	0.052 (0.040-0.067)	0.058 (0.043-0.077)	0.066 (0.046-0.088)	0.077 (0.051-0.106)	0.086 (0.056-0.121)
20-day	0.015 (0.013-0.018)	0.018 (0.015-0.021)	0.021 (0.018-0.025)	0.024 (0.020-0.029)	0.029 (0.023-0.036)	0.032 (0.025-0.040)	0.035 (0.026-0.046)	0.039 (0.027-0.052)	0.045 (0.030-0.061)	0.049 (0.032-0.068)
30-day	0.013 (0.011-0.015)	0.014 (0.012-0.017)	0.017 (0.014-0.020)	0.019 (0.016-0.023)	0.022 (0.018-0.027)	0.025 (0.019-0.031)	0.027 (0.020-0.035)	0.029 (0.021-0.039)	0.033 (0.022-0.045)	0.035 (0.023-0.049)
45-day	0.010 (0.009-0.012)	0.012 (0.010-0.014)	0.014 (0.011-0.016)	0.015 (0.012-0.018)	0.017 (0.014-0.021)	0.019 (0.015-0.024)	0.021 (0.015-0.026)	0.022 (0.016-0.029)	0.025 (0.017-0.033)	0.026 (0.017-0.036)
60-day	0.009 (0.008-0.011)	0.010 (0.008-0.012)	0.012 (0.010-0.014)	0.013 (0.011-0.015)	0.015 (0.012-0.018)	0.016 (0.012-0.020)	0.017 (0.013-0.022)	0.018 (0.013-0.024)	0.020 (0.014-0.027)	0.021 (0.014-0.029)

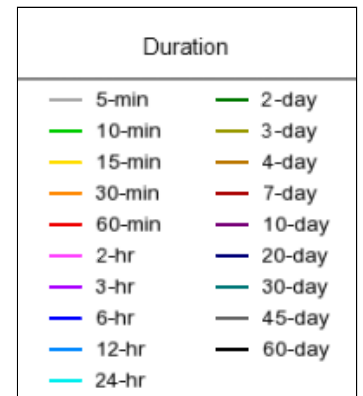
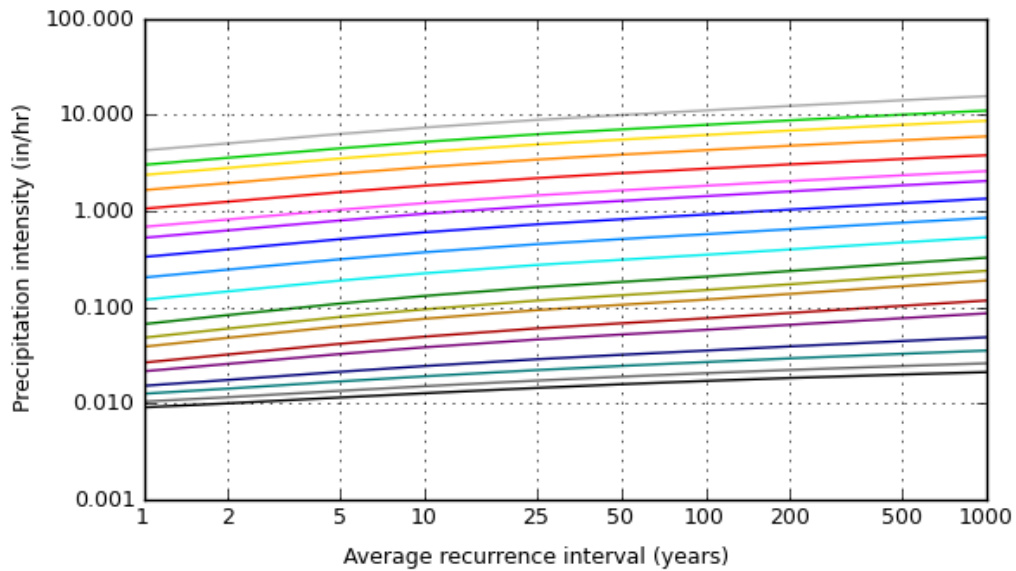
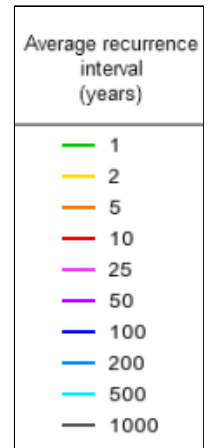
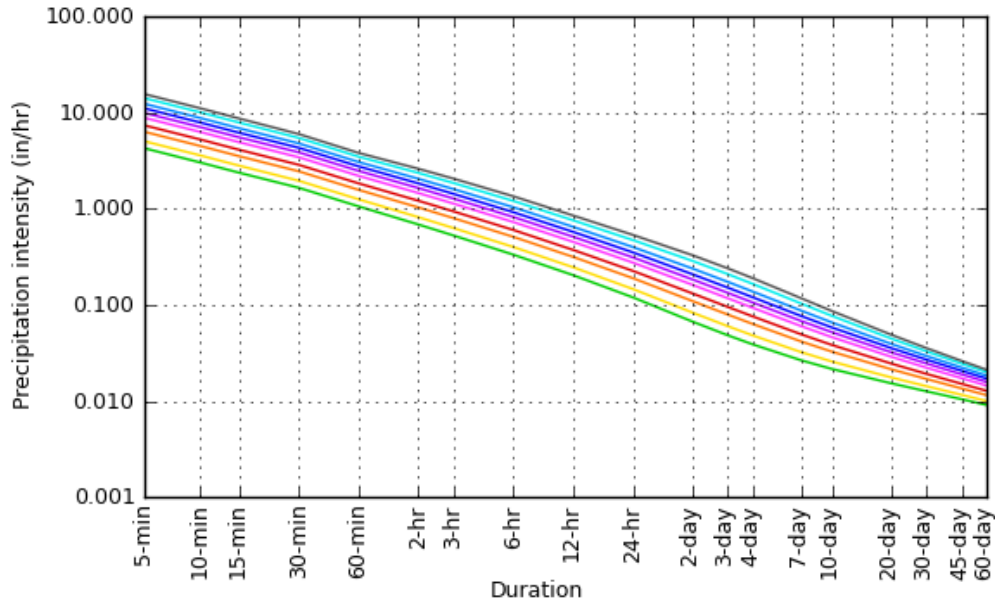
¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

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PF graphical

PDS-based intensity-duration-frequency (IDF) curves

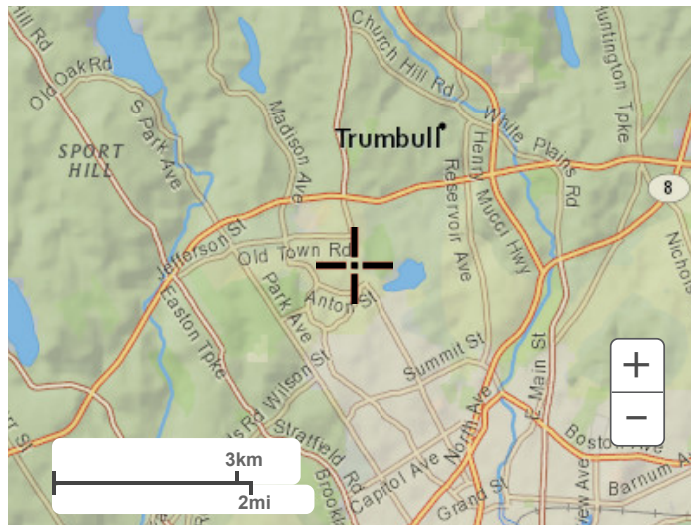
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Maps & aerials

Small scale terrain



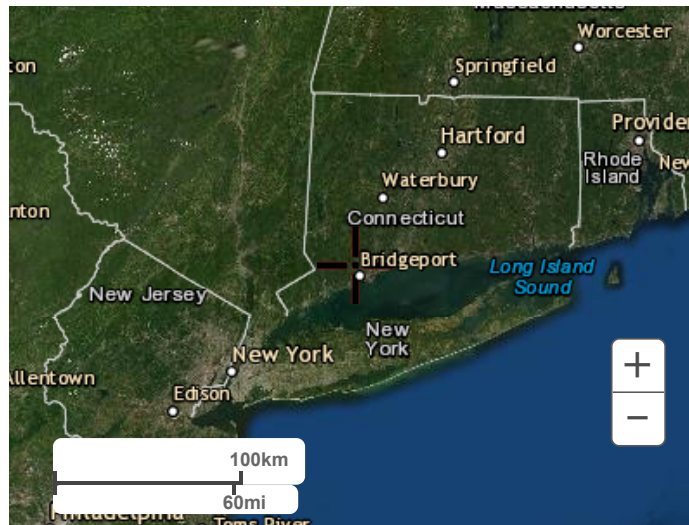
Large scale terrain



Large scale map



Large scale aerial



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1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

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Project Edens

By SWG

Date 03/04/21

Location 4531 Main Street, Bridgeport CT

Checked _____

Date _____

Bold one: Present **Developed**

CB-1

1. Runoff Coefficient @

Soil Name and hydrologic group (Appendix A)	Cover description (cover type, treatment, and hydrologic condition; percent impervious; unconnected/connected impervious area ratio)	C ¹			Area <input checked="" type="checkbox"/> acres <input type="checkbox"/> mi ² <input type="checkbox"/> %	Product of C x area
	IMPERVIOUS	0.95			0.18	0.17
	PERVIOUS	0.35			0.08	0.03
						0.00
						0.00
						0.00
						0.00
						0.00
						0.00
Totals =					0.26	0.20

¹ Use only one C source per line

$$CN \text{ (weighted)} = \frac{\text{total product}}{\text{total area}} = \frac{0.20}{0.26} = 0.77 \quad \text{Use C} = \boxed{0.77}$$

Project Edens

By SWG

Date 03/04/21

Location 4531 Main Street, Bridgeport CT

Checked _____

Date _____

Bold one: Present **Developed**

CB-2

1. Runoff Coefficient @

Soil Name and hydrologic group (Appendix A)	Cover description (cover type, treatment, and hydrologic condition; percent impervious; unconnected/connected impervious area ratio)	C ¹			Area <input checked="" type="checkbox"/> acres <input type="checkbox"/> mi ² <input type="checkbox"/> %	Product of C x area
	IMPERVIOUS	0.95			0.24	0.23
	PERVIOUS	0.35			0.05	0.02
						0.00
						0.00
						0.00
						0.00
						0.00
						0.00
Totals =					0.29	0.25

¹ Use only one C source per line

$$CN \text{ (weighted)} = \frac{\text{total product}}{\text{total area}} = \frac{0.25}{0.29} = 0.85 \quad \text{Use C} = \boxed{0.85}$$

Project **Edens**

By **SWG**

Date **03/04/21**

Location **4531 Main Street, Bridgeport CT**

Checked _____

Date _____

Bold one: Present **Developed**

CB-3

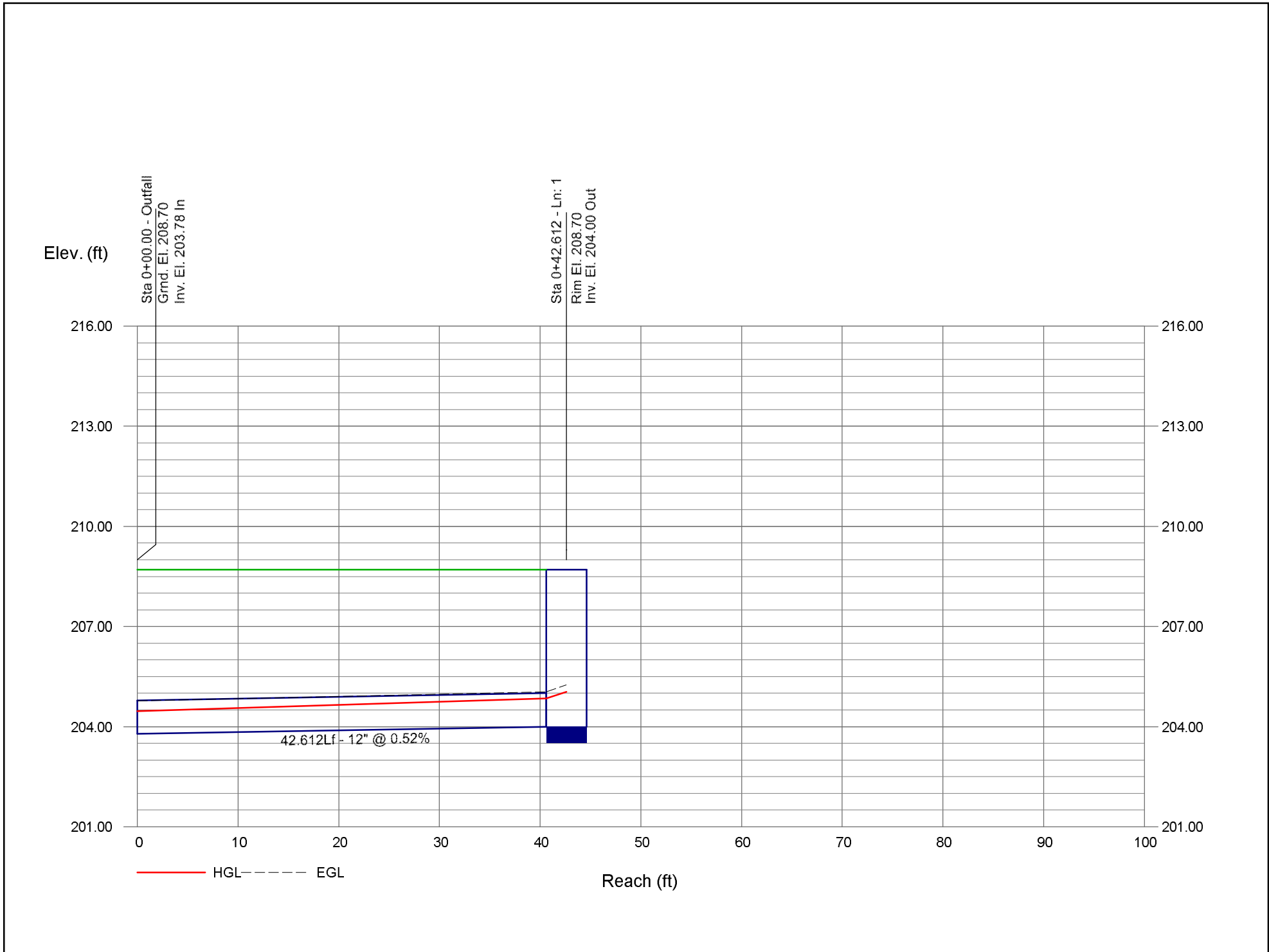
1. Runoff Coefficient @

Soil Name and hydrologic group (Appendix A)	Cover description (cover type, treatment, and hydrologic condition; percent impervious; unconnected/connected impervious area ratio)	C ¹			Area <input checked="" type="checkbox"/> acres <input type="checkbox"/> mi ² <input type="checkbox"/> %	Product of C x area
	IMPERVIOUS	0.95			0.24	0.23
	PERVIOUS	0.35			0.03	0.01
						0.00
						0.00
						0.00
						0.00
						0.00
						0.00
Totals =					0.27	0.24

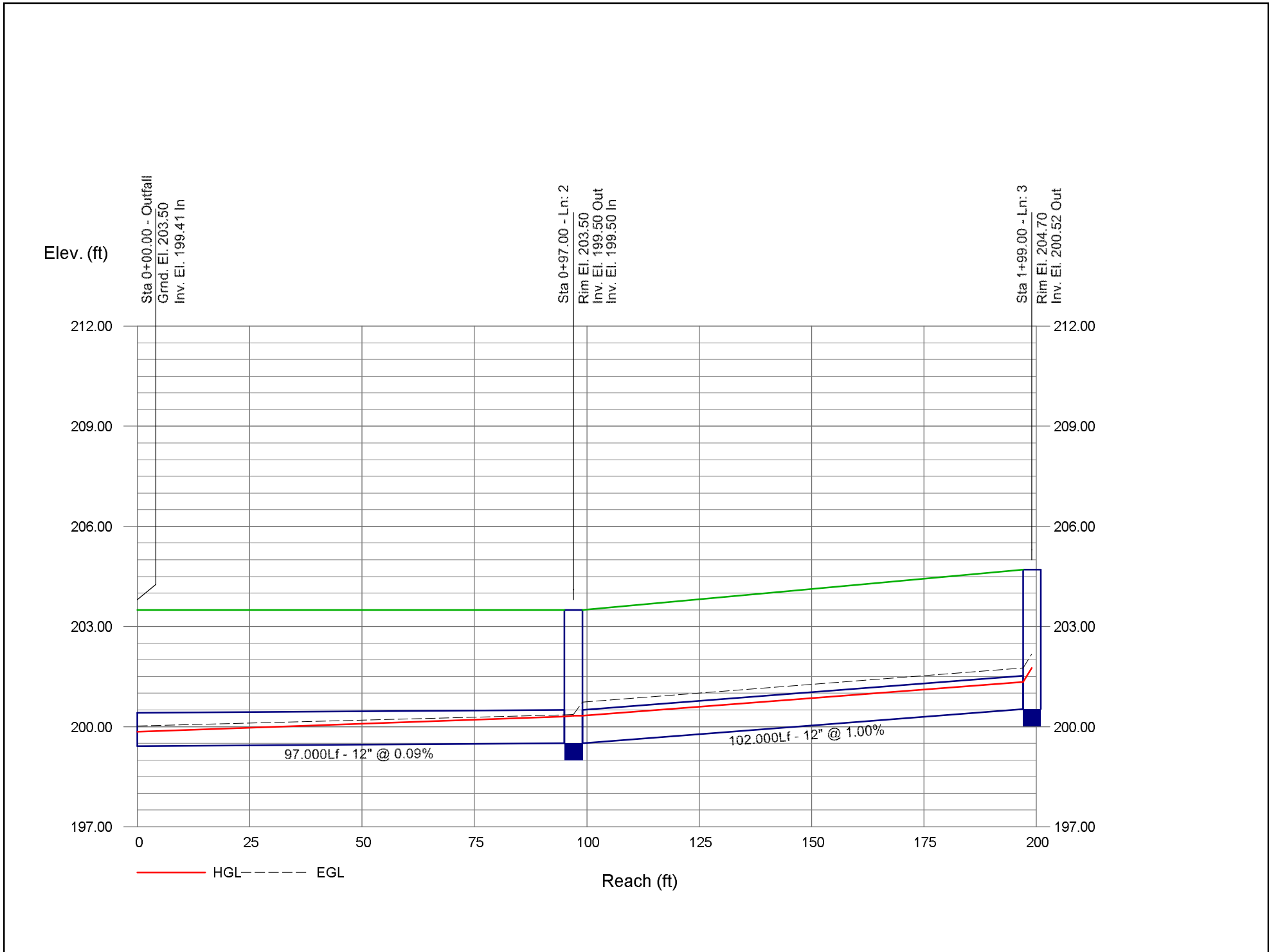
¹ Use only one C source per line

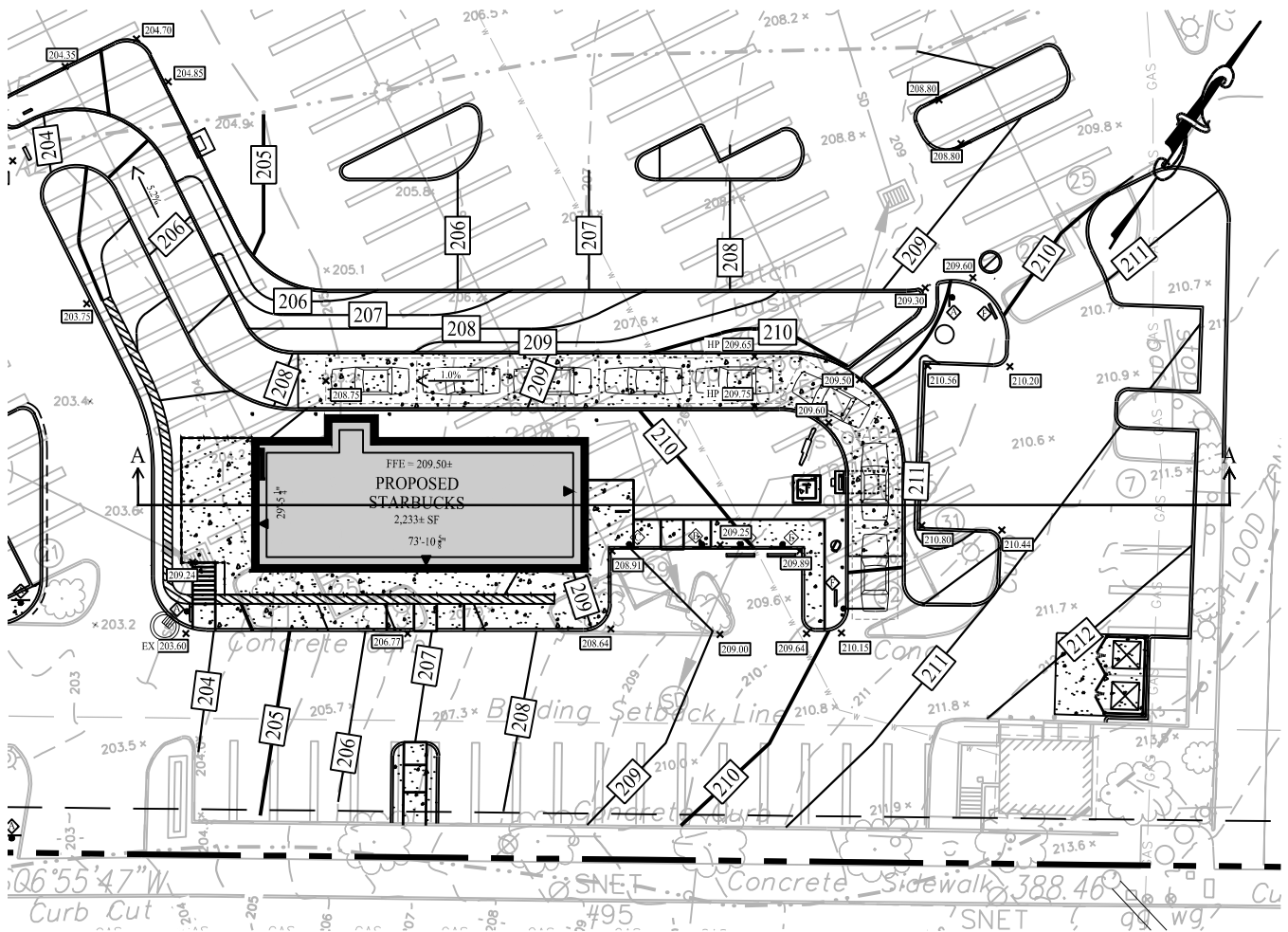
$$CN \text{ (weighted)} = \frac{\text{total product}}{\text{total area}} = \frac{0.24}{0.27} = 0.88 \quad \text{Use C} = \boxed{0.88}$$

Storm Sewer Profile

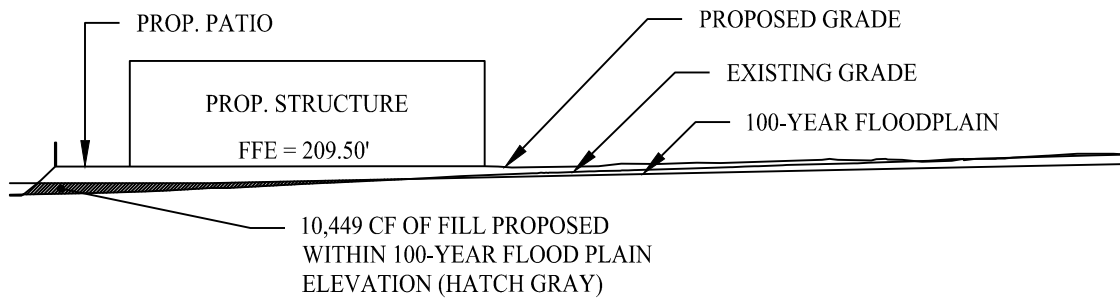


Storm Sewer Profile





PLAN VIEW



SECTION A-A

NOTE: SEE PLAN ENTITLED "BROOKSIDE SHOPPING CENTER, 4351 MAIN STREET, BRIDGEPORT, CONNECTICUT, GRADING, DRAINAGE AND UTILITY PLAN," DATED 03/17/21, PREPARED BY SOLLI ENGINEERING FOR MORE DETAILS



SOLLI ENGINEERING
 523 Pepper Street, Monroe, CT 06468
 T: (203) 880-5455 F: (203) 445-9560

COMPENSATORY STORAGE AREA
 1% CHANCE OF ANNUAL FLOOD
 4351 MAIN STREET
 BRIDGEPORT, CONNECTICUT

Project #:	21100801
Plan Date:	03/17/21
Scale:	1"=40'
Figure:	3

SUB-CATCHMENT AREA 2 (CB - 2)
 HYDROLOGIC SOIL GROUP B
 TOTAL AREA = 0.29 AC
 PERVIOUS AREA = 0.05 AC
 IMPERVIOUS AREA = 0.24 AC
 RUNOFF COEFFICIENT = 0.85
 TIME OF CONCENTRATION = 6.00 MIN.

SUB-CATCHMENT AREA 1 (CB - 1)
 HYDROLOGIC SOIL GROUP B
 TOTAL AREA = 0.26 AC
 PERVIOUS AREA = 0.08 AC
 IMPERVIOUS AREA = 0.18 AC
 RUNOFF COEFFICIENT = 0.77
 TIME OF CONCENTRATION = 6.00 MIN.

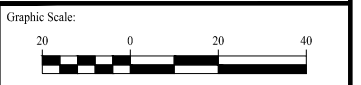
SUB-CATCHMENT AREA 3 (CB - 3)
 HYDROLOGIC SOIL GROUP B
 TOTAL AREA = 0.27 AC
 PERVIOUS AREA = 0.03 AC
 IMPERVIOUS AREA = 0.24 AC
 RUNOFF COEFFICIENT = 0.88
 TIME OF CONCENTRATION = 6.00 MIN.

FFE = 209.50±
 PROPOSED STARBUCKS
 2,233± SF
 73'-10"±

N/F
 4890 MAIN STREET LLC
 V4196 P264

N/F
 NORTH END M
 CONDOMINIUM AS
 V3339 P

Rev. #:	Date	Description



SOLLI ENGINEERING
 501 Main Street, Meriden, CT 06448 T: (203) 880-5455 F: (203) 880-8995
 351 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-8995

Drawn By:	SWG
Checked By:	PSK
Approved By:	KMS
Project #:	21100801
Plan Date:	03/17/20
Scale:	1" = 20'
Project:	Kevin Solli, P.E. CT 25759

BROOKSIDE SHOPPING CENTER
 4531-4577 MAIN STREET
 BRIDGEPORT, CT

Sheet Title:	Sheet #:
SUB-CATCHMENT AREA MAP	SA-1

Mar 18, 2021 - 10:53am pefler
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March 17, 2021

Mrs. Alyssa Tortolani
Edens
4531 Main Street
Bridgeport, CT 06606

**RE: Traffic Impact Assessment
Proposed Coffee Shop with Drive-Thru
4531 Main Street
Bridgeport, Connecticut 06606
Project Number: 21100801**

Dear Mrs. Tortolani,

Solli Engineering, LLC has prepared this assessment to provide an analysis of the potential traffic impacts associated with the proposed development located at 4531 Main Street in Bridgeport, Connecticut. The evaluation has been completed in accordance with the City of Bridgeport requirements as well as standard traffic engineering methodology. Our investigation concludes that the proposed development will not have an adverse impact on the traffic operations area roadway network.

Project Description:

The property is located along Main Street in Bridgeport, Connecticut within the existing Brookside Shopping Center, approximately 450 feet south of the intersection of Main Street and Hillview Street. The site is currently improved with an existing 130,714± square-foot shopping center. The project site is bound by retail development to the north, residential homes to the west, commercial developments to the south and Main Street to the east. Refer to Figure 1, Site Location Map, for more details on the project location.

The project proposes to construct a 2,233± square foot coffee shop with drive thru window in the northeast corner of the existing parking lot of the Brookside Shopping Center. The subject property is located within the Office/Retail Zoning District in the City of Bridgeport. Site access is proposed to be maintained via an existing full movement, stop-controlled site driveway from Main Street and via two full movement, signalized site driveways from Main Street which currently service the shopping center. See the Site Layout Plan, sheet 2.11, for more details on the proposed site configuration.

Existing Conditions:

Main Street is a north-south roadway located east of the project site with a posted speed limit of 25 miles per hour throughout the study area. Main Street is classified as a principal arterial by the Connecticut Department of Transportation. Across the property frontage, Main Street is a four (4) lane divided bidirectional roadway. There are sidewalks along the property on both sides of Main Street.

Turning movement count data was collected at the study area intersections during March 2021. As a result of the travel restrictions and social distancing practices associated with the outbreak of COVID-19, data collected was lower than historical data. Historic peak hour volume data was obtained from ATR data

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provided by the Connecticut Department of Transportation at count stations TRUM-070 (north of the project site) and BRDP-820 (south of the project site), collected during 2013. The 2013 weekday AM peak hour volume data was projected to 2021 using a 0.5% growth rate. Peak hour volume data from the two count stations was averaged to estimate Main Street volumes in the project vicinity. The March 2021, turning movement volumes were adjusted 37% to reflect traffic operations during normal conditions and to establish 2021 existing count data along Main Street. The 2021 existing traffic volumes are illustrated in Figure 2.

Proposed Conditions:

The project proposes to maintain the existing stop-controlled full movement driveway via Main Street approximately 240 feet north of the intersection of Main Street & Kaechele Place. Site access via the existing full movement signalized access via Main Street across from the intersection of Main Street & Kaechele Place will be maintained. The existing signalized access via Main Street approximately 450 feet south of the intersection of Main Street & Hillview Street shall be maintained.

The anticipated number of trips that will be generated by proposed development was estimated using data from the Institute of Transportation Engineers (ITE) Trip Generation, 10th Edition. The trip generation was calculated for the weekday AM and Saturday midday peak hours based on the proposed land use as these are the peak periods with the greatest potential to impact the adjacent roadway network. A “pass-by” credit was applied to the proposed trip generation. Pass-by trips are trips associated with a development that are already on the adjacent roadway network and will patronize the development and continue along their route. The ITE Trip Generation Handbook provides guidelines for pass-by/diverted trip rates based on empirical data. The average pass-by/diverted trip rate for coffee shop with a drive-through window and no indoor seating is 89%. A twenty percent (20%) pass-by credit was applied to the trips generated by the Coffee Shop with Drive-Through Window trips as per ConnDOT and OSTA standards. Pass-by trips are illustrated in Figure 5.

The proposed development is expected to generate 159 (81 entering, 78 exiting) net new trips during the weekday AM peak hour and 157 (78 entering, 78 exiting) net new trips during the Saturday midday peak hour. The trip generation rate sheets are provided as a supporting document to this assessment. Table 1 below illustrates the anticipated trips to be generated by the proposed project during the weekday AM and Saturday midday peak hours. A detailed breakdown of the proposed trip generation calculations are provided as a supporting document to this assessment.

TABLE 1 TRIP GENERATION SUMMARY						
LAND USE	WEEKDAY AM PEAK HOUR			SATURDAY MIDDAY PEAK HOUR		
	ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
Coffee/Donut Shop with Drive-Through (LUC 937) 2,233±sf	101	97	199	98	98	196
Total New Trips	101	97	199	98	98	196
<i>20% Pass-By</i>	<i>20</i>	<i>19</i>	<i>40</i>	<i>20</i>	<i>20</i>	<i>39</i>
Net Trips	81	78	159	78	78	157

The anticipated distribution of new traffic entering and exiting the site was developed based on area populations, existing traffic patterns, and layout of the adjacent roadway network. The following distributions were applied to the new site generated trips:

- 50% to/from the north via Main Street
- 50% to/from the south via Main Street

The anticipated percent distribution of the new site generated trips is illustrated in Figure 3. The new site generated trips were assigned to the study area intersections based on the anticipated percent distributions illustrated in Figure 3 and the resulting trip assignment is illustrated in Figure 4.

The proposed development is anticipated to be operational at the end of 2021. The trip assignment volumes illustrated in Figure 4 were combined with the pass-by trips in Figure 5 to develop the 2021 build traffic volumes. Figure 6 illustrates the 2021 build traffic volumes.

The Connecticut Department of Transportation and the City of Bridgeport were contacted to identify any ongoing or proposed projects within the study area which may impact the analysis. No projects were identified which would impact the analysis.

Internal drive-thru queue storage was designed to provide maximum internal storage to prevent any spillover off-site. The site provides for six vehicles of queueing from the pick-up window to the order screen/menu board and an additional two spaces from the menu board to the drive-thru throat for a total of 8 spaces of available vehicle queue storage in the drive-thru lane. There is additional queue storage internal to the site across the easterly and northerly parking fields surrounding the building. These queue areas provide ample storage of vehicles prior to any spillover into the adjacent parking fields or main site driveways.

Delivery operations for the proposed coffee shop were provided by the facility operator. Deliveries to the site are to be provided by a medium to large box truck and will occur nightly between 10pm and 4am. A truck turning figure depicting an SU-30 delivery vehicle accessing the site is provided as a supporting document to this assessment.

Capacity Analysis:

To determine the operating conditions of the study area intersections after the development has been constructed, the study area intersections were analyzed using the Synchro 10 capacity analysis software for the existing and build peak hour conditions during the weekday AM and Saturday midday peak hours, as these are the periods which have the greatest potential for impact by the proposed development.

The results of the Synchro analysis describe the traffic impact in terms of Level of Service (LOS). LOS describes the operational condition of the signalized intersection in terms of delay (in seconds per vehicle) and is expressed on a scale of A through F with LOS A being the best and LOS F being the worst. LOS A reflects intersection operations with little to no vehicle delay (less than 10 seconds per vehicle) and LOS F reflects intersection conditions that are over capacity and experience long delays (more than 80 seconds per vehicle at signalized intersections and more than 50 seconds of delay per vehicle at unsignalized intersections). At unsignalized intersections, only the delay on the STOP-controlled approach is reported. Table 2 below summarizes the overall intersection LOS for the study area intersections.

TABLE 2 PEAK HOUR LEVEL OF SERVICE SUMMARY (AM/SAT)		
INTERSECTION	2021 Existing	2021 Build
Main Street & North Site Driveway/Private Development	A/B	A/B
Main Street & Center Site Driveway*	B/B	B/C
Main Street & South Site Driveway/Kaechele Place	A/B	A/B

*Unsignalized Intersection, only stop-controlled approach LOS displayed

Under the 2021 build condition, the north site driveway intersection with Main Street will operate at a LOS A with 8.7 seconds of delay during the weekday AM peak hour and a LOS B with 14.3 seconds during Saturday midday peak hour. Under the 2021 build condition, the central site driveway via Main Street will operate at a LOS B with 11.2 seconds of delay and less than one vehicle of queue at the stop-controlled approach during the weekday AM peak hour and a LOS C with 15 seconds of delay and less than two vehicles of queue during the Saturday midday peak hour.. Under the 2021 build condition the south site driveway via Main Street will operate at a LOS A with 3.1 seconds of delay for the signalized approach during the weekday AM peak hour and a LOS B with 16.7 seconds during Saturday midday peak hour.

The traffic impact analysis indicates that the anticipated minor increase in traffic volume associated with the proposed development can be accommodated without adverse impact on the overall operating conditions of the adjacent roadway network. Copies of the Synchro analysis reports are provided as a supporting document to this assessment.

Conclusions:

A traffic impact analysis of the two existing signalized site driveway intersections and the existing STOP-controlled site driveway via Main Street was conducted and indicates that the proposed project can be accommodated without adverse impact on the operating conditions of the study area roadway network. The project proposes to develop a 2,233± square foot coffee shop with drive thru window in the existing parking area of the Brookside Shopping Center with associated parking. This project proposes to maintain the two signalized site driveway intersections with Main Street and the existing STOP-controlled driveway via Main Street.

Based on the analysis, a total of 159 net new trips (81 enter, 78 exit) are generated during the weekday AM peak hour and 157 new trips (78 enter, 78 exit) are generated during the Saturday midday peak hour.

It is the professional opinion of Solli Engineering that the traffic anticipated to be generated by the proposed development can be accommodated by the surrounding roadway network. There is no indication that the proposed development will have an adverse impact on the overall existing operating conditions of the adjacent roadway network.

If you have any questions or require any additional information, please call at your convenience.

Sincerely,
Solli Engineering, LLC



Colleen Byrne
Project Manager

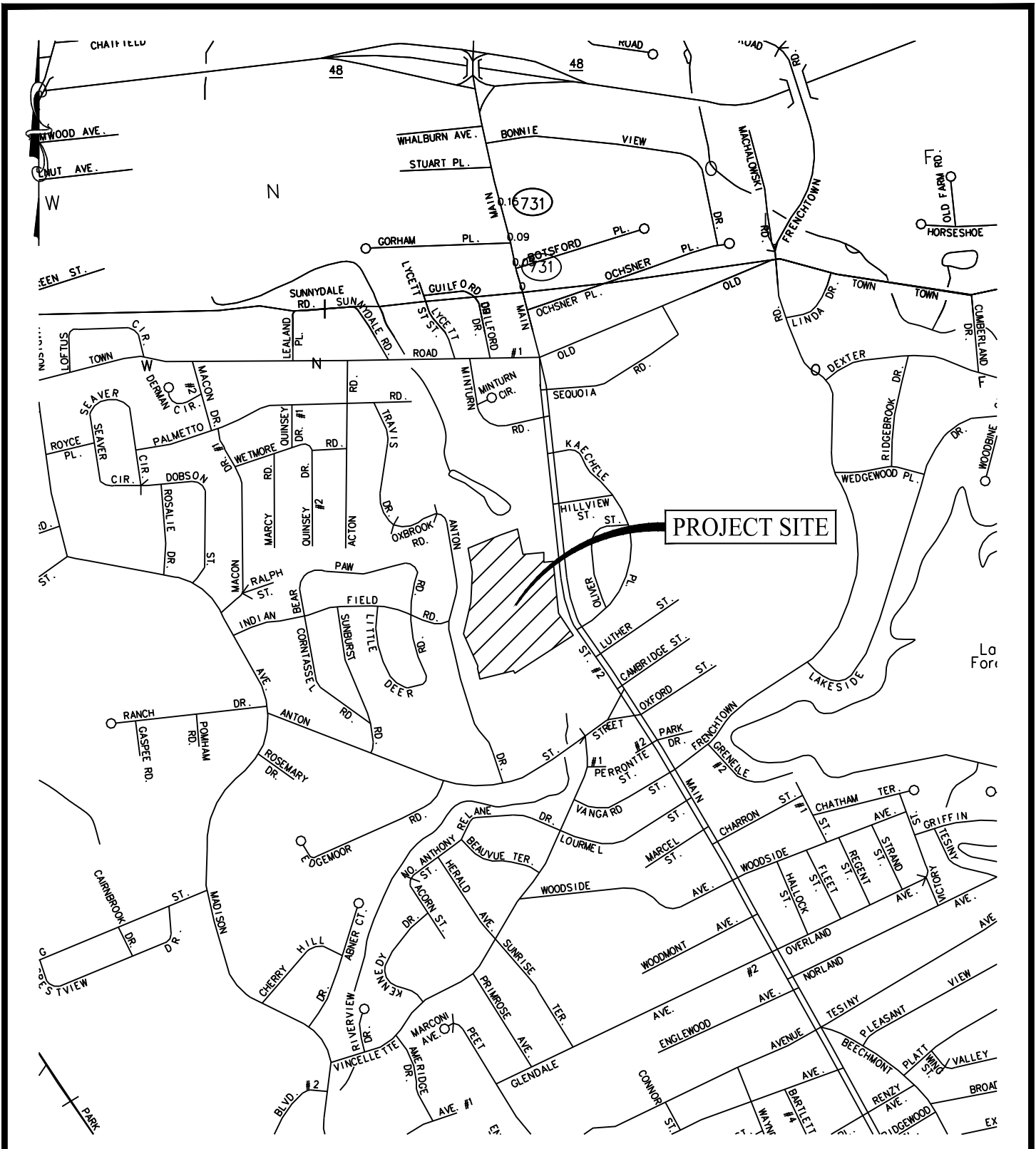


Kevin Solli, P.E.
Principal

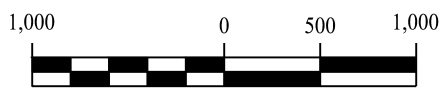
Supporting Documents:

Site Location Map	(Figure 1)
2021 Existing Traffic Volumes	(Figure 2)
Trip Distribution	(Figure 3)
Trip Assignment	(Figure 4)
Pass-By Trips	(Figure 5)
2021 Build Traffic Volumes	(Figure 6)
Site Layout Plan	(Sheet 2.11)
Truck Turning Figure	(Figure TT-1)
Peak Hour Trip Generation Summary	
ITE Trip Generation Rate Sheets	
Synchro Analysis Reports	

X:\SE Files\Project Data\2021\21100801 - 4531-4577 Main Street - Bridgeport, CT\Office Data\Reports\Traffic\21100801 - Traffic Impact Statement.docx



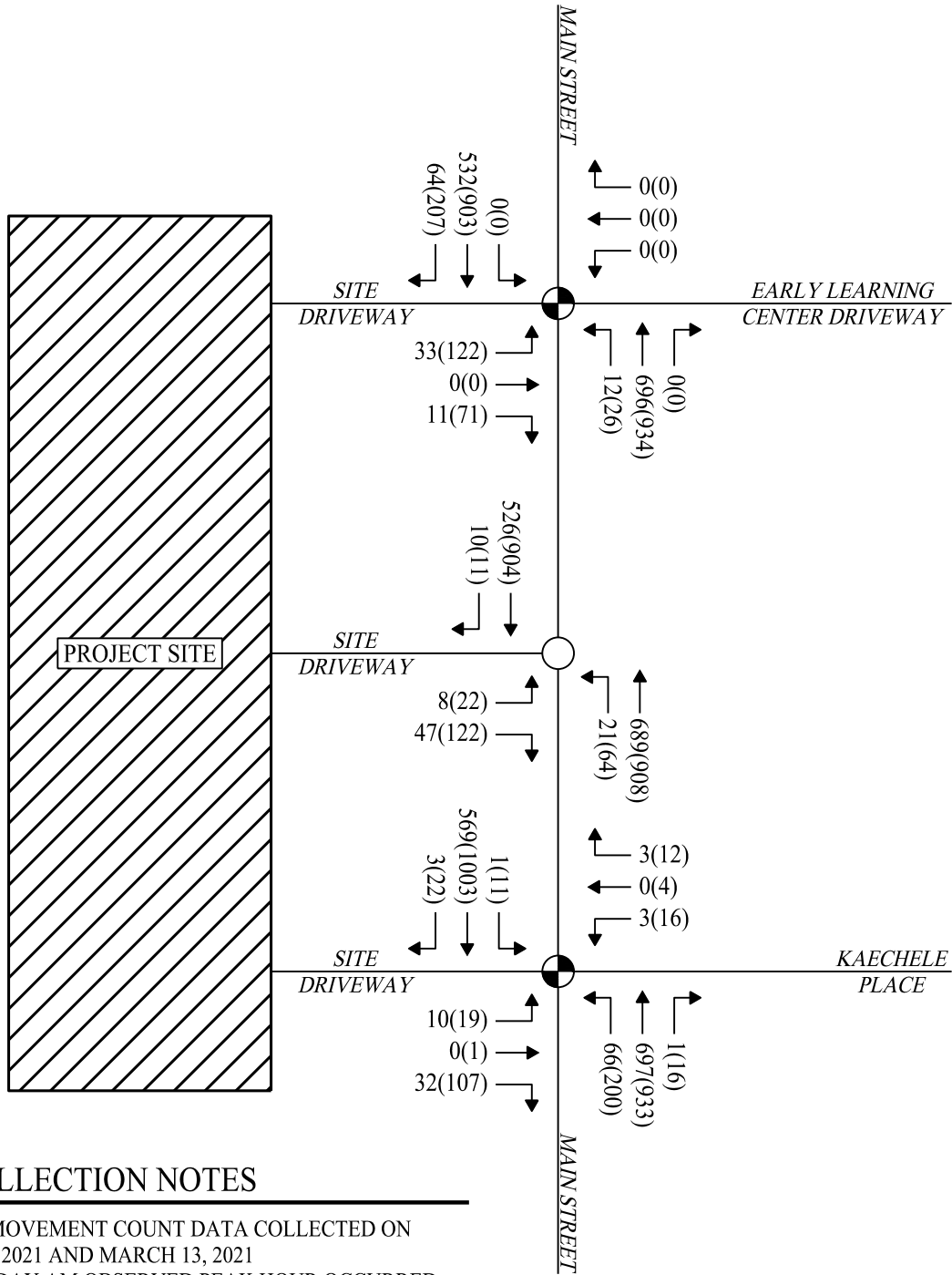
NOTE: BASE MAP INFORMATION TAKEN FROM CTDOT TRU MAP 015



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SITE LOCATION MAP
4531-4577 MAIN STREET
BRIDGEPORT, CONNECTICUT





Project #:	21100801
Plan Date:	03/17/2021
Scale:	1" = 1000'
Figure:	1

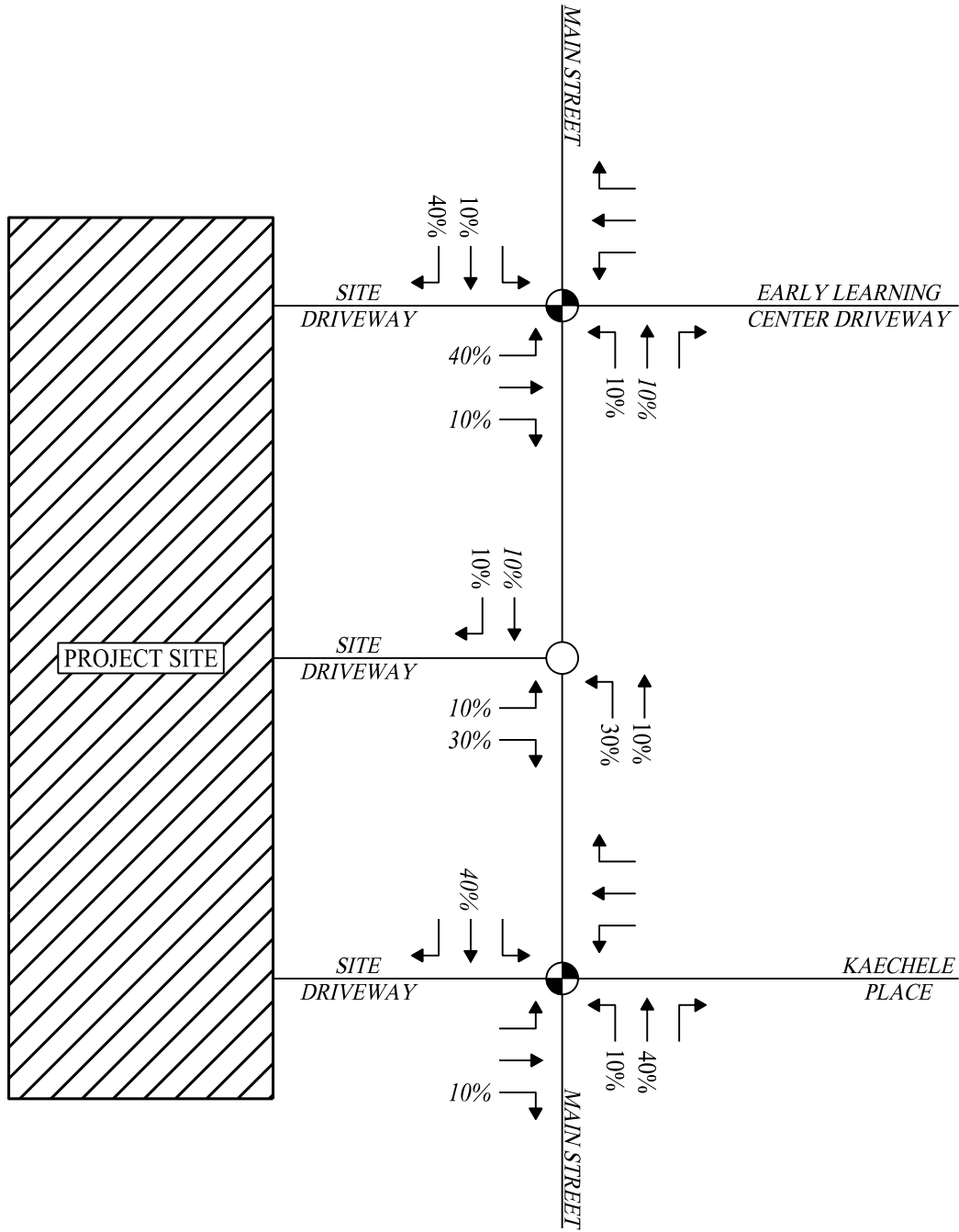


DATA COLLECTION NOTES






1. TURNING MOVEMENT COUNT DATA COLLECTED ON MARCH 11, 2021 AND MARCH 13, 2021
2. THE WEEKDAY AM OBSERVED PEAK HOUR OCCURRED FROM 8:00 AM TO 9:00 AM
3. THE SATURDAY MIDDAY OBSERVED PEAK HOUR OCCURRED FROM 12:30 PM TO 1:30 PM
4. 2021 EXISTING TRAFFIC VOLUMES REFLECT A ADJUSTMENT FACTOR OF 37% DURING THE WEEKDAY AM & SATURDAY MIDDAY PEAK PERIODS TO ACCOUNT FOR CHANGE IN TRAFFIC PATTERNS ASSOCIATED WITH THE COVID-19 PANDEMIC

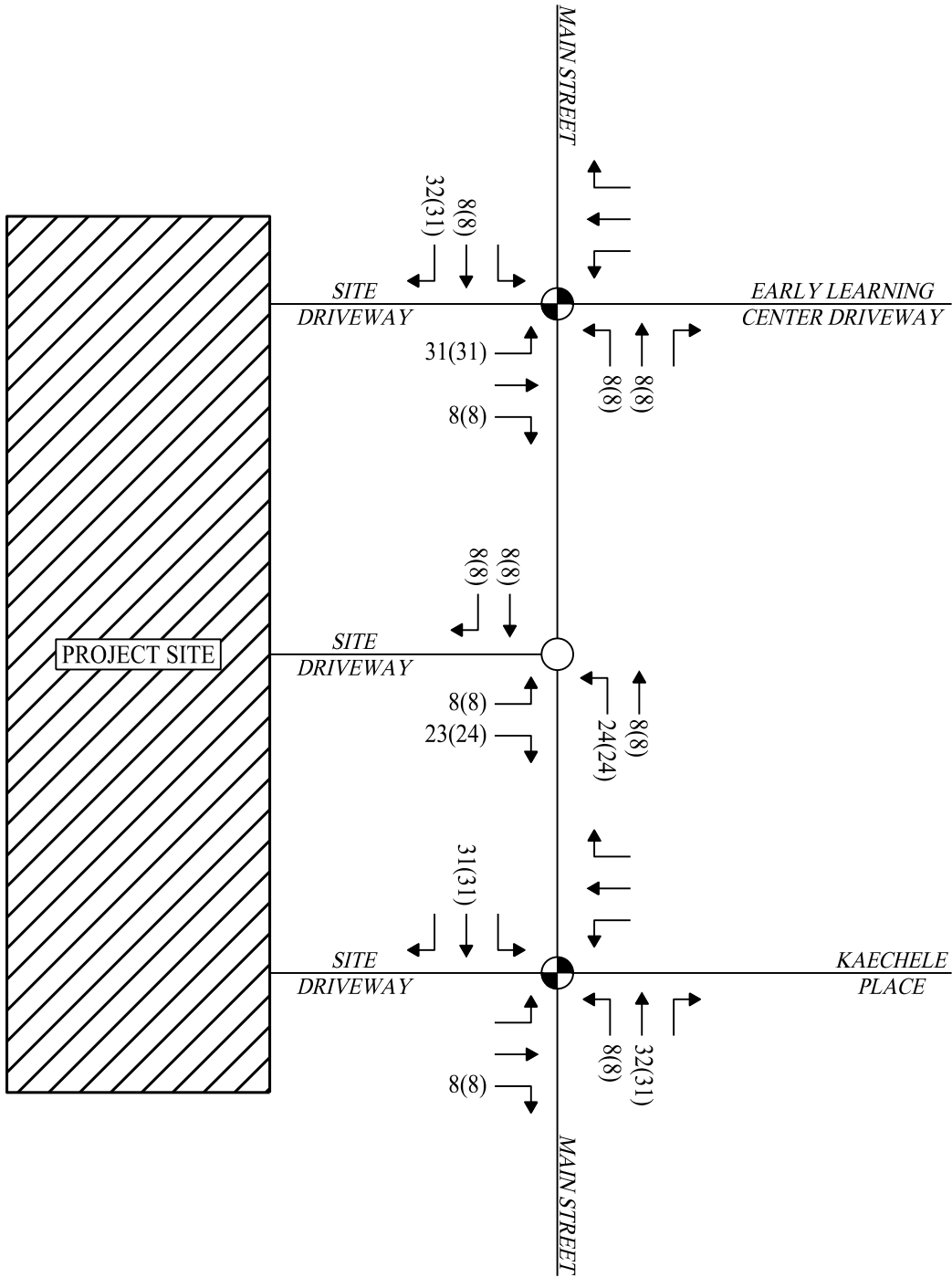
LEGEND

-  SIGNALIZED INTERSECTION
-  UNSIGNALIZED INTERSECTION
-  EXISTING ROADWAY
-  AM(SAT)







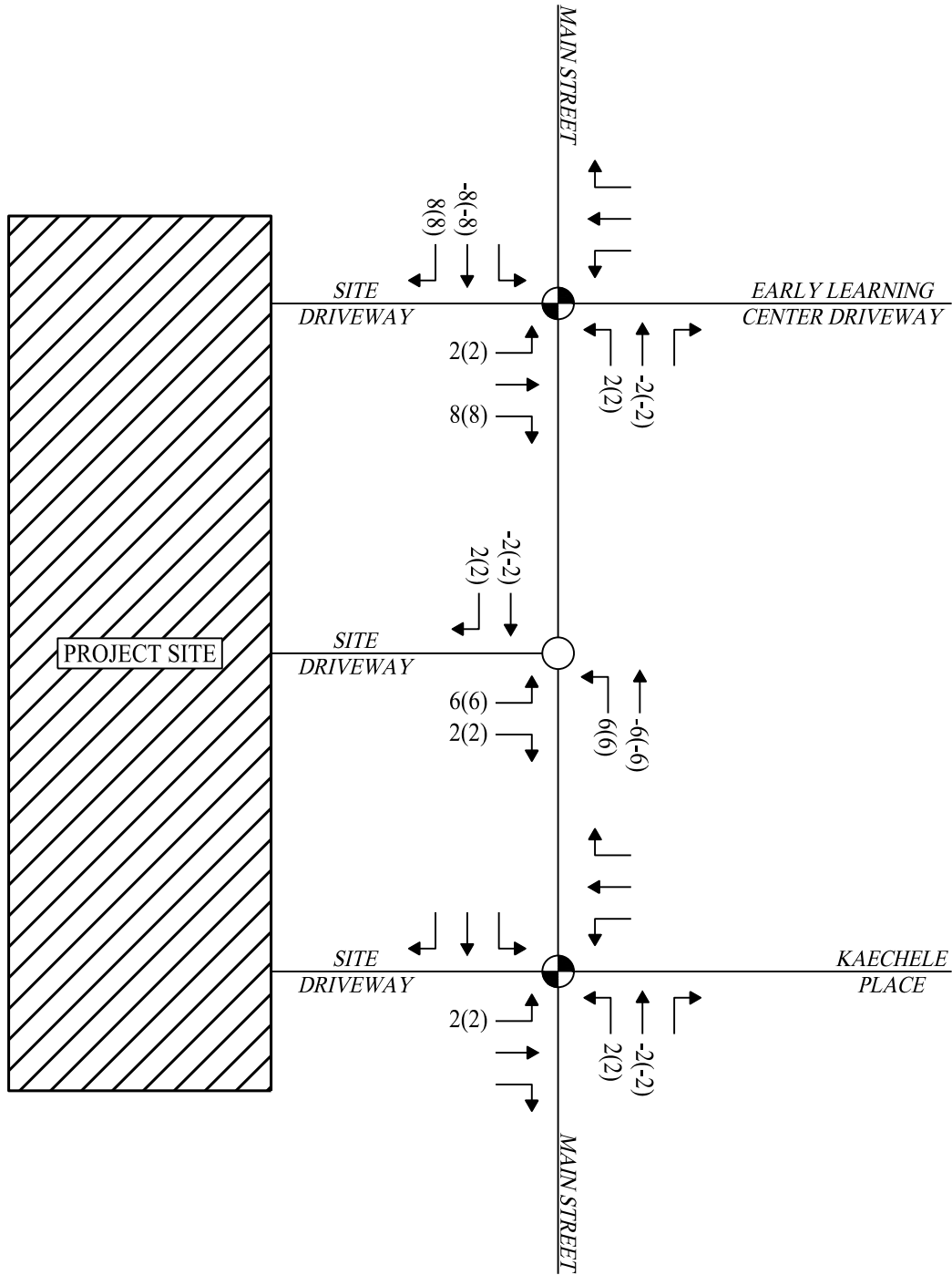
LEGEND

-  SIGNALIZED INTERSECTION
-  UNSIGNALIZED INTERSECTION
-  EXISTING ROADWAY
-  ENTER
-  EXIT







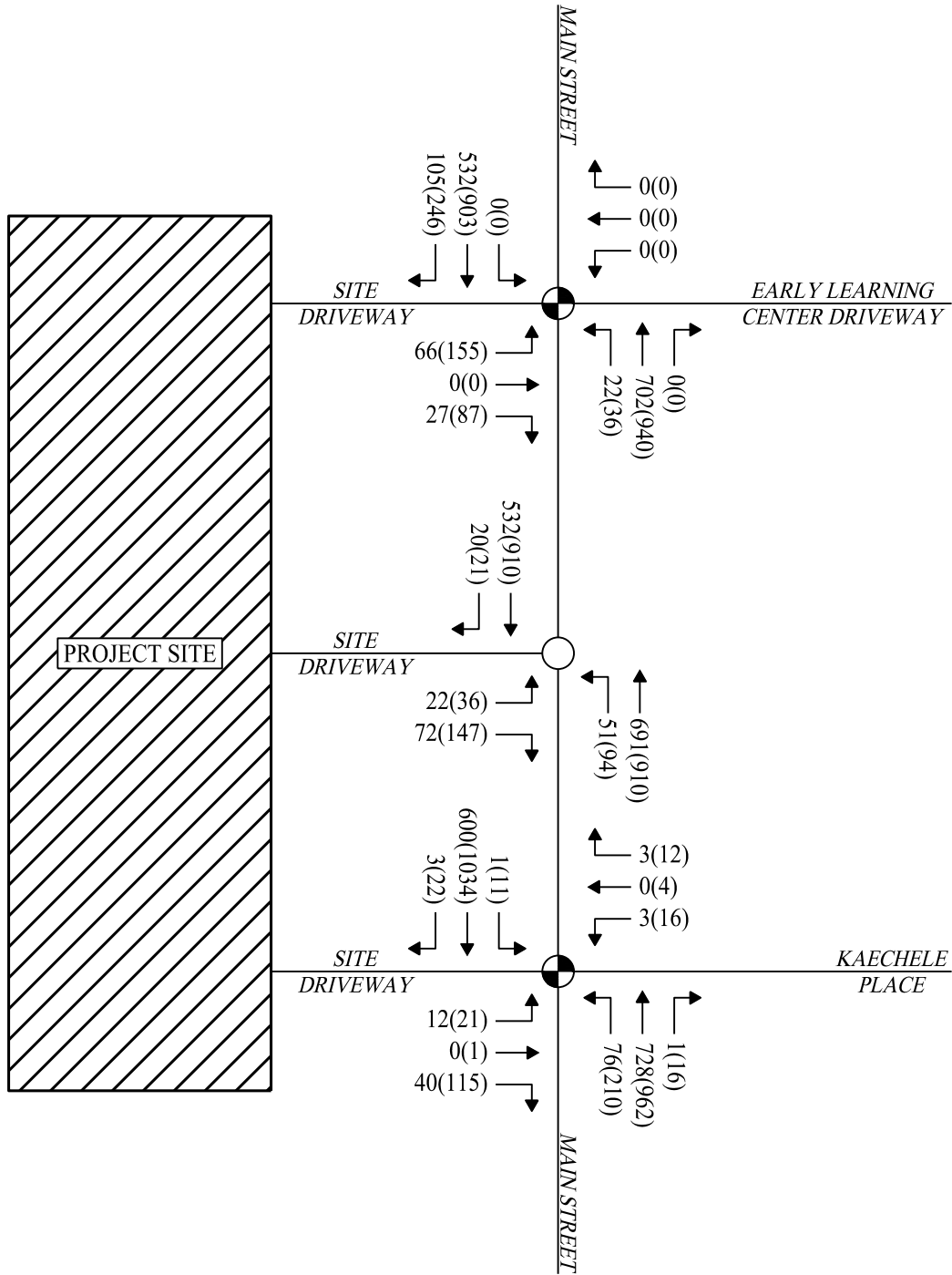
LEGEND

-  SIGNALIZED INTERSECTION
-  UNSIGNALIZED INTERSECTION
-  EXISTING ROADWAY
-  AM(SAT)







LEGEND

-  SIGNALIZED INTERSECTION
-  UNSIGNALIZED INTERSECTION
-  EXISTING ROADWAY
-  AM(SAT)



LEGEND

-  SIGNALIZED INTERSECTION
-  UNSIGNALIZED INTERSECTION
-  EXISTING ROADWAY
-  AM(SAT)

SIGN LEGEND

A 	B 	C 	D 	E 	F
SIZES (IN) 30"	MUTCD # R1-1	SUPPORTS 1	SIZES (IN) 30"x30"	MUTCD # R5-1	SUPPORTS 1
SIZES (IN) 12"x18"	MUTCD # -	SUPPORTS 1	SIZES (IN) 12"x18"	MUTCD # R358 (VAN)	SUPPORTS 1
SIZES (IN) 12"x18"	MUTCD # -	SUPPORTS 1	SIZES (IN) 12"x18"	MUTCD # -	SUPPORTS 1
SIZES (IN) 31"x15"	MUTCD # -	SUPPORTS 2			

PROPERTY AREA TABLE

LAND DESCRIPTION - 4531 MAIN STREET	EXISTING CONDITIONS		PROPOSED CONDITIONS	
	AREA	PERCENTAGE	AREA	PERCENTAGE
PERVIOUS SURFACES	154,940+ SF	27.1%	161,360+ SF	28.1%
IMPERVIOUS SURFACES	418,674+ SF	72.9%	412,154+ SF	71.9%
TOTAL AREA	573,514+ SF		573,514+ SF	

PARKING SUMMARY TABLE

PROPOSED PARKING SUMMARY				
BUILDING USE	BLDG. AREA	CITY REQ.	REQUIRED SPACES	PROVIDED SPACES
RETAIL SALES AND SERVICES SHOPPING USE	130,714+ SF	4 SPACES / 1,000 SF	523 SPACES	393 SPACES
PROPOSED COFFEE SHOP	2,223+ SF	12 SPACES / 1,000 SF	27 SPACES	27 SPACES
PARKING REDUCTION			-169 SPACES	
TOTAL			381 SPACES	420 SPACES

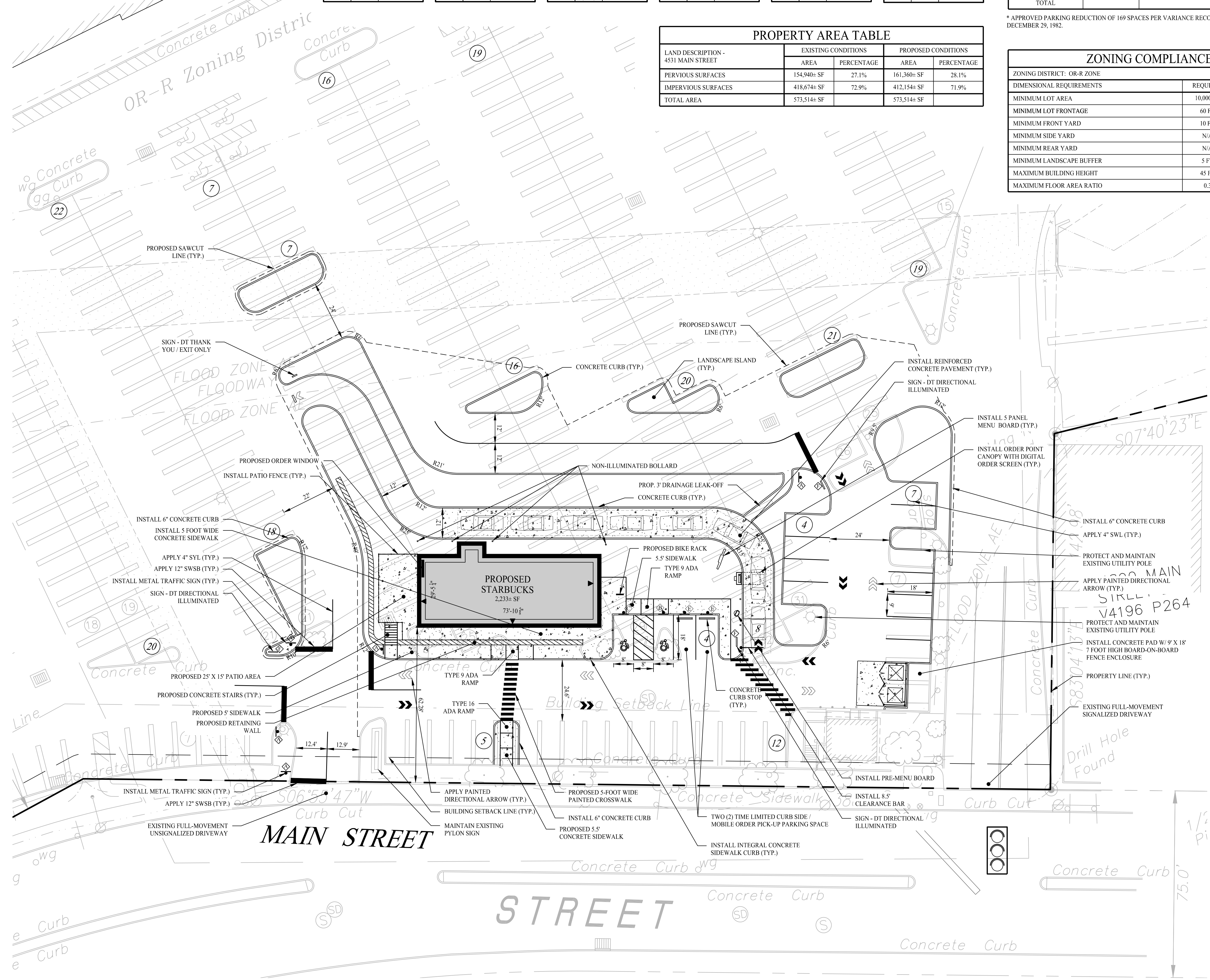
* APPROVED PARKING REDUCTION OF 169 SPACES PER VARIANCE RECORDED IN VOL. 1683, PG. 541, DATED DECEMBER 29, 1982.

ZONING COMPLIANCE TABLE

ZONING DISTRICT: OR-R ZONE	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	10,000 SF	573,514 ± SF	573,514 ± SF
MINIMUM LOT FRONTAGE	60 FT	817 SF	817 FT
MINIMUM FRONT YARD	10 FT	264.1 SF	62.3 FT
MINIMUM SIDE YARD	N/A	57.9 SF	57.9 FT
MINIMUM REAR YARD	N/A	28.1	28.1 FT
MINIMUM LANDSCAPE BUFFER	5 FT	5 FT	5 FT
MAXIMUM BUILDING HEIGHT	45 FT	<40 FT	<40 FT
MAXIMUM FLOOR AREA RATIO	0.3	0.28	0.28

GENERAL NOTES

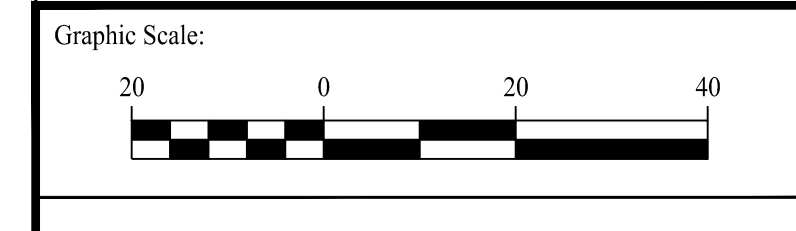
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE CITY OF WORCESTER FOR THIS PROJECT.
- EXISTING BOUNDARY INFORMATION & SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "PARTIAL TOPOGRAPHIC SURVEY OF BROOKSIDE SHOPPING CENTER 4485-4574 MAIN STREET, BRIDGEPORT, CONNECTICUT, DATED: 02/25/2021; SCALE: 1" = 60'; PREPARED BY ACCURATE LAND SURVEYING, LLC.
- THE SUBJECT PARCELS (PARCEL ID: 81-2509-0061E) CONSIST OF A TOTAL AREA OF APPROXIMATELY 13.15 ACRES LOCATED IN THE RETAIL (OR-R) ZONING DISTRICT OF BRIDGEPORT, CONNECTICUT. FOOD SERVICE WITH DRIVE-THROUGHS ARE PERMITTED BY SPECIAL PERMIT APPROVAL IN THE RETAIL (OR-R) ZONING DISTRICT.
- THE SITE LIES WITHIN A FLOOD ZONE HAZARD AREA (ZONE AE). FLOOD INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP NUMBER 25027C0807E, EFFECTIVE DATE 06/18/2010.
- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING AND BUILDING EXPANSIONS.
- SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTERED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2" OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- THE CONTRACT LIMIT IS THE PROPERTY LINE (AS SHOWN HEREON) UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- PAVEMENT MARKING KEY:
4" SYL = 4" SOLID YELLOW LINE
12" SWSB = 12" SOLID WHITE STOP BAR
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREAS SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2" ON CENTER. HATCHING SYMBOLS AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
- THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
- PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH MASSACHUSETTS DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK
- LANDSCAPE BUFFER
- EXISTING BUILDING LIMITS
- PROPOSED BUILDING LIMITS
- PROPOSED BUILDING HATCH
- BUILDING OVERHANG LINE / CANOPY
- SAWCUT PAVEMENT LINE
- EDGE OF PAVEMENT
- CONCRETE CURB
- STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT
- CONCRETE SIDEWALK / PAVEMENT
- RETAINING WALL / GRAVITY OR SEGMENTAL BLOCK
- SAWCUT PAVEMENT LINE
- SIDEWALK LIMITS
- PAVEMENT STRIPING - WHITE STANDARD AND ADA PARKING SPACES
- WHEEL STOP
- VEHICLE
- DUMPSTER / TRASH RECEPTACLE
- TRAFFIC SIGN
- TRAFFIC SIGN DESIGNATION
- INTERMITTENT WATERCOURSE
- 100 YEAR FLOOD HAZARD AREA
- TRAFFIC SIGNAL

Rev. #:	Date	Description



SOLLI ENGINEERING
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 331 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

Drawn By: SWG	Checked By: PSK
Approved By: KMS	Project #: 21100801
Plan Date: 02/26/21	Scale: 1" = 20'
Project: BROOKSIDE SHOPPING CENTER	Sheet #: 2.11

BROOKSIDE SHOPPING CENTER
 4531-4577 MAIN STREET
 BRIDGEPORT, CT

Sheet Title: **SITE LAYOUT PLAN**
 Sheet #: **2.11**

Mar 16, 2021 - 5:46pm - Schuyler
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Peak Hour Trip Generation Summary 4531-4577 Main Street - Bridgeport, Connecticut									
	Variable	LUC	AM Peak Hour			SAT Peak Hour			
			Enter	Exit	Total	Enter	Exit	Total	
Coffee/Donut Shop with Drive-Through Window	2.23	937	101	97	199	98	98	196	
Total New Trips			101	97	199	98	98	196	
<i>Pass-By Trips</i>			20	19	40	20	20	39	
Total New Trips			81	78	159	78	78	157	

Source: ITE Trip Generation, 10th Edition

Land Use	Time Period	Avg Rate	Entering	Exiting
LUC 937 - Coffee/Donut Shop with Drive-Through Window	AM	88.99	51%	49%
	SAT	87.7	50%	50%

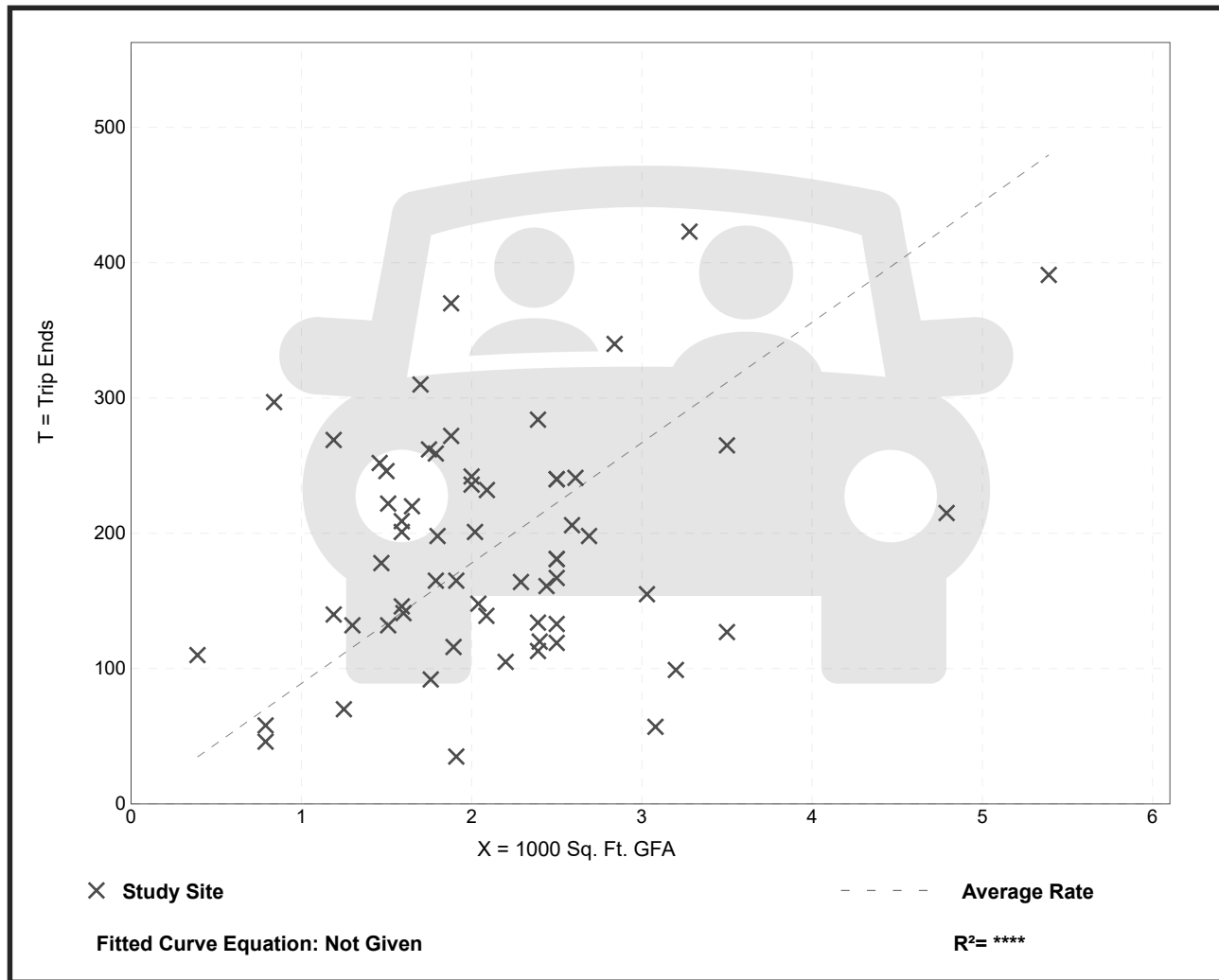
Coffee/Donut Shop with Drive-Through Window (937)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
Peak Hour of Adjacent Street Traffic,
One Hour Between 7 and 9 a.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 61
 Avg. 1000 Sq. Ft. GFA: 2
 Directional Distribution: 51% entering, 49% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
88.99	18.32 - 353.57	48.19

Data Plot and Equation



Coffee/Donut Shop with Drive-Through Window (937)

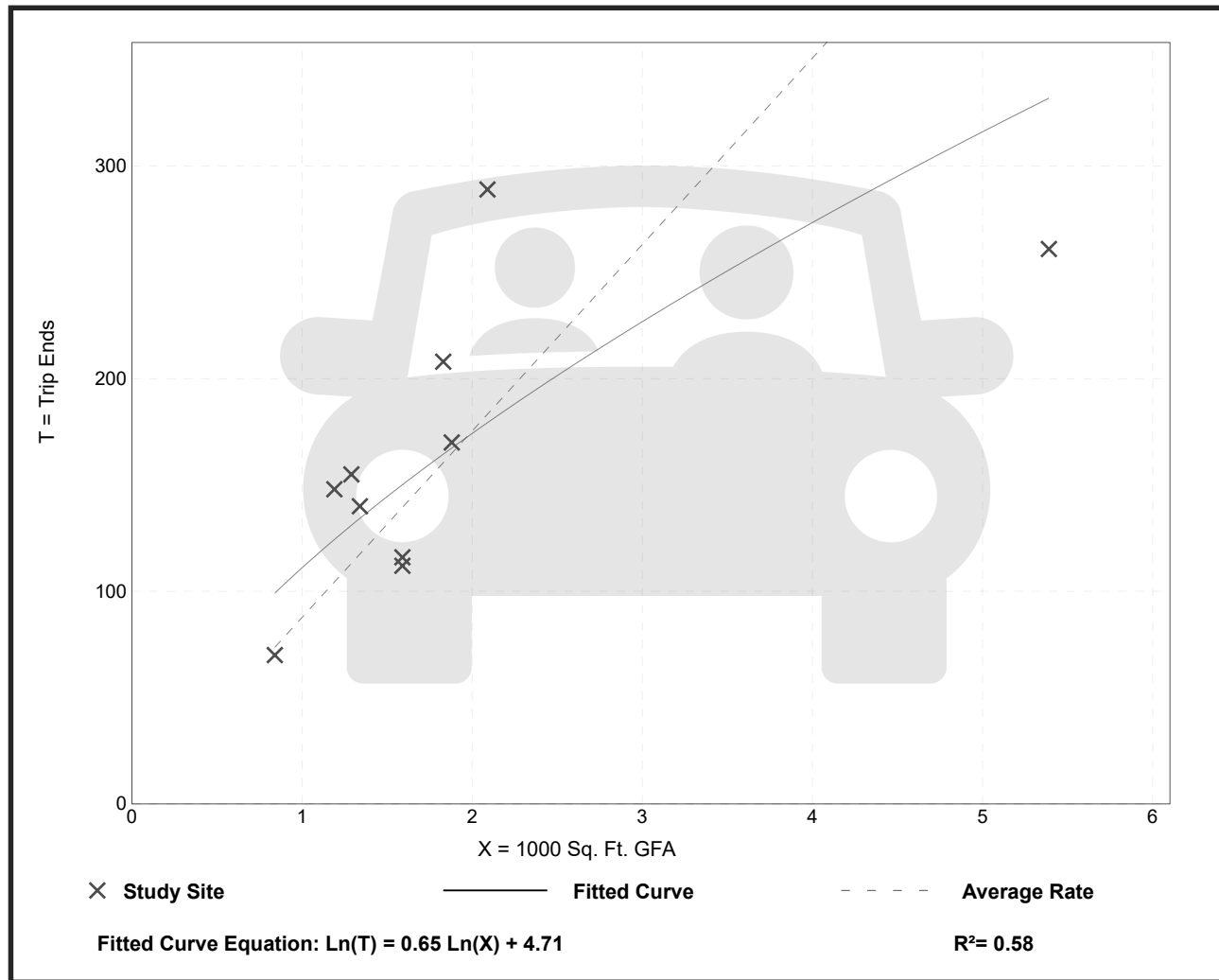
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 10
 Avg. 1000 Sq. Ft. GFA: 2
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
87.70	48.42 - 138.28	33.38

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

Lanes, Volumes, Timings
 3: Main Street & Site Driveway/Kaechele Place

4531 Main Street, Bridgeport, CT
 2021 Existing AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	10	0	32	3	0	3	66	697	1	1	569	3
Future Volume (vph)	10	0	32	3	0	3	66	697	1	1	569	3
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	15	12	11	12	11	12	14	12
Storage Length (ft)	45		0	0		0	0		0	0		0
Storage Lanes	1		0	0		0	0		0	0		0
Taper Length (ft)	85			25			25			25		
Lane Util. Factor	0.95	0.95	1.00	1.00	1.00	1.00	0.95	0.95	0.95	0.95	0.95	0.95
Flt		0.854			0.932						0.999	
Flt Protected	0.950	0.999			0.976			0.996				
Satd. Flow (prot)	1329	1529	0	0	1521	0	0	3531	0	0	3754	0
Flt Permitted	0.952	0.990			0.820			0.853			0.954	
Satd. Flow (perm)	1332	1515	0	0	1278	0	0	3024	0	0	3582	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		104			104						1	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		272			287			629			243	
Travel Time (s)		7.4			7.8			17.2			6.6	
Peak Hour Factor	0.83	0.83	0.83	0.50	0.50	0.50	0.89	0.89	0.89	0.91	0.91	0.91
Heavy Vehicles (%)	29%	0%	0%	50%	0%	0%	0%	2%	0%	0%	2%	100%
Adj. Flow (vph)	12	0	39	6	0	6	74	783	1	1	625	3
Shared Lane Traffic (%)	10%											
Lane Group Flow (vph)	11	40	0	0	12	0	0	858	0	0	629	0
Enter Blocked Intersection	No	No	No	No	No	No	No	No	No	No	No	No
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		12			12			0			0	
Link Offset(ft)		0			0			0			0	
Crosswalk Width(ft)		16			16			16			16	
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	0.88	1.00	1.04	1.00	1.04	1.00	0.92	1.00
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	1		1	1		1	1		1	1	
Detector Template	Left			Left			Left			Left		
Leading Detector (ft)	50	50		20	50		20	55		20	60	
Trailing Detector (ft)	0	0		0	0		0	0		0	0	
Detector 1 Position(ft)	0	0		0	0		0	0		0	0	
Detector 1 Size(ft)	50	50		20	50		20	55		20	60	
Detector 1 Type	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Queue (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Delay (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Turn Type	Perm	NA		Perm	NA		custom	NA		Perm	NA	
Protected Phases		4			8		5	2.5			6	
Permitted Phases	4			8			2			6		
Detector Phase	4	4		8	8		5	2.5		6	6	
Switch Phase												
Minimum Initial (s)	7.0	7.0		7.0	7.0		4.5			15.0	15.0	

Lane Group	Ø2
Lane Configurations	
Traffic Volume (vph)	
Future Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	
Heavy Vehicles (%)	
Adj. Flow (vph)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Enter Blocked Intersection	
Lane Alignment	
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	
Turning Speed (mph)	
Number of Detectors	
Detector Template	
Leading Detector (ft)	
Trailing Detector (ft)	
Detector 1 Position(ft)	
Detector 1 Size(ft)	
Detector 1 Type	
Detector 1 Channel	
Detector 1 Extend (s)	
Detector 1 Queue (s)	
Detector 1 Delay (s)	
Turn Type	
Protected Phases	2
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0

Lanes, Volumes, Timings
 3: Main Street & Site Driveway/Kaechele Place

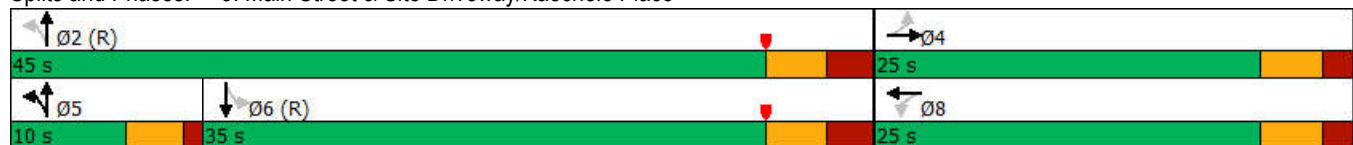
4531 Main Street, Bridgeport, CT
 2021 Existing AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Minimum Split (s)	11.9	11.9		11.9	11.9		9.0			21.0	21.0	
Total Split (s)	25.0	25.0		25.0	25.0		10.0			35.0	35.0	
Total Split (%)	35.7%	35.7%		35.7%	35.7%		14.3%			50.0%	50.0%	
Maximum Green (s)	20.1	20.1		20.1	20.1		6.0			29.3	29.3	
Yellow Time (s)	3.2	3.2		3.2	3.2		3.0			3.2	3.2	
All-Red Time (s)	1.7	1.7		1.7	1.7		1.0			2.5	2.5	
Lost Time Adjust (s)	0.0	0.0			0.0						0.0	
Total Lost Time (s)	4.9	4.9			4.9						5.7	
Lead/Lag							Lead			Lag	Lag	
Lead-Lag Optimize?												
Vehicle Extension (s)	2.0	2.0		2.0	2.0		2.0			2.0	2.0	
Recall Mode	None	None		None	None		Min			C-Min	C-Min	
Act Effect Green (s)	7.0	7.0			7.0			57.1			43.6	
Actuated g/C Ratio	0.10	0.10			0.10			0.82			0.62	
v/c Ratio	0.08	0.16			0.05			0.34			0.28	
Control Delay	30.1	1.4			0.5			2.6			2.1	
Queue Delay	0.0	0.0			0.0			0.0			0.0	
Total Delay	30.1	1.4			0.5			2.6			2.1	
LOS	C	A			A			A			A	
Approach Delay		7.6			0.5			2.6			2.1	
Approach LOS		A			A			A			A	

Intersection Summary

Area Type: Other
 Cycle Length: 70
 Actuated Cycle Length: 70
 Offset: 57 (81%), Referenced to phase 2:NBTL and 6:SBTL, Start of Yellow
 Natural Cycle: 45
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.34
 Intersection Signal Delay: 2.6 Intersection LOS: A
 Intersection Capacity Utilization 56.5% ICU Level of Service B
 Analysis Period (min) 15

Splits and Phases: 3: Main Street & Site Driveway/Kaechele Place



Lane Group	Ø2
Minimum Split (s)	20.7
Total Split (s)	45.0
Total Split (%)	64%
Maximum Green (s)	39.3
Yellow Time (s)	3.2
All-Red Time (s)	2.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Vehicle Extension (s)	2.0
Recall Mode	C-Min
Act Effect Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	
LOS	
Approach Delay	
Approach LOS	
Intersection Summary	

Queues

4531 Main Street, Bridgeport, CT

3: Main Street & Site Driveway/Kaechele Place

2021 Existing AM












Lane Group	EBL	EBT	WBT	NBT	SBT
Lane Group Flow (vph)	11	40	12	858	629
v/c Ratio	0.08	0.16	0.05	0.34	0.28
Control Delay	30.1	1.4	0.5	2.6	2.1
Queue Delay	0.0	0.0	0.0	0.0	0.0
Total Delay	30.1	1.4	0.5	2.6	2.1
Queue Length 50th (ft)	4	0	0	47	14
Queue Length 95th (ft)	17	0	0	65	23
Internal Link Dist (ft)		192	207	549	163
Turn Bay Length (ft)	45				
Base Capacity (vph)	382	509	441	2528	2229
Starvation Cap Reductn	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0
Reduced v/c Ratio	0.03	0.08	0.03	0.34	0.28

Intersection Summary

Lanes, Volumes, Timings
7: Main Street & Site Driveway

4531 Main Street, Bridgeport, CT
2021 Existing AM

						
Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	8	47	21	689	526	10
Future Volume (vph)	8	47	21	689	526	10
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	14	13	12
Lane Util. Factor	1.00	1.00	0.95	0.95	0.95	0.95
Frt	0.884				0.997	
Flt Protected	0.993			0.999		
Satd. Flow (prot)	1586	0	0	3738	3648	0
Flt Permitted	0.993			0.999		
Satd. Flow (perm)	1586	0	0	3738	3648	0
Link Speed (mph)	25			25	25	
Link Distance (ft)	145			243	280	
Travel Time (s)	4.0			6.6	7.6	
Peak Hour Factor	0.53	0.53	0.87	0.87	0.97	0.97
Heavy Vehicles (%)	0%	6%	0%	3%	2%	0%
Adj. Flow (vph)	15	89	24	792	542	10
Shared Lane Traffic (%)						
Lane Group Flow (vph)	104	0	0	816	552	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.00	1.00	1.00	0.92	0.96	1.00
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	
Intersection Summary						
Area Type:	Other					
Control Type:	Unsignalized					
Intersection Capacity Utilization	44.2%			ICU Level of Service A		
Analysis Period (min)	15					

Intersection						
Int Delay, s/veh	0.9					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T			T		
Traffic Vol, veh/h	8	47	21	689	526	10
Future Vol, veh/h	8	47	21	689	526	10
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	53	53	87	87	97	97
Heavy Vehicles, %	0	6	0	3	2	0
Mvmt Flow	15	89	24	792	542	10

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	991	276	552	0	-	0
Stage 1	547	-	-	-	-	-
Stage 2	444	-	-	-	-	-
Critical Hdwy	6.8	7.02	4.1	-	-	-
Critical Hdwy Stg 1	5.8	-	-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-	-
Follow-up Hdwy	3.5	3.36	2.2	-	-	-
Pot Cap-1 Maneuver	*581	*873	*1333	-	-	-
Stage 1	*837	-	-	-	-	-
Stage 2	*750	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*562	*873	*1333	-	-	-
Mov Cap-2 Maneuver	*562	-	-	-	-	-
Stage 1	*811	-	-	-	-	-
Stage 2	*750	-	-	-	-	-



















Approach	EB	NB	SB
HCM Control Delay, s	10.1	0.3	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	* 1333	-	808	-	-
HCM Lane V/C Ratio	0.018	-	0.128	-	-
HCM Control Delay (s)	7.8	0.1	10.1	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0.1	-	0.4	-	-

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Lanes, Volumes, Timings
8: Main Street & Site Driveway/Private Development

4531 Main Street, Bridgeport, CT
2021 Existing AM

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	33	0	11	0	0	0	12	696	0	0	532	64
Future Volume (vph)	33	0	11	0	0	0	12	696	0	0	532	64
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	11	12	12	12	12	12	12	12	12	12	12	12
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	0.95	0.95	0.95	0.95
Frt		0.850									0.984	
Flt Protected	0.950							0.999				
Satd. Flow (prot)	1616	1615	0	0	1863	0	0	3503	0	0	3427	0
Flt Permitted	0.816							0.948				
Satd. Flow (perm)	1388	1615	0	0	1863	0	0	3324	0	0	3427	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		342									23	
Link Speed (mph)		25			30			25			25	
Link Distance (ft)		142			99			280			485	
Travel Time (s)		3.9			2.3			7.6			13.2	
Peak Hour Factor	0.80	0.80	0.80	0.92	0.92	0.92	0.91	0.91	0.91	0.95	0.95	0.95
Heavy Vehicles (%)	8%	0%	0%	2%	2%	2%	0%	3%	0%	0%	3%	9%
Adj. Flow (vph)	41	0	14	0	0	0	13	765	0	0	560	67
Shared Lane Traffic (%)												
Lane Group Flow (vph)	41	14	0	0	0	0	0	778	0	0	627	0
Enter Blocked Intersection	No	No	No	No	No	No	No	No	No	No	No	No
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		11			11			0			0	
Link Offset(ft)		0			0			0			0	
Crosswalk Width(ft)		16			16			16			16	
Two way Left Turn Lane												
Headway Factor	1.04	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	1		1	1		1	1		1	1	
Detector Template				Left			Left			Left		
Leading Detector (ft)	50	50		20	20		20	50		20	50	
Trailing Detector (ft)	0	0		0	0		0	0		0	0	
Detector 1 Position(ft)	0	0		0	0		0	0		0	0	
Detector 1 Size(ft)	50	50		20	20		20	50		20	50	
Detector 1 Type	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Queue (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Delay (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Turn Type	Perm	NA					custom	NA			NA	
Protected Phases		4			8		5	2.5			6	
Permitted Phases	4			8			2			6		
Detector Phase	4	4		8	8		5	2.5		6	6	
Switch Phase												
Minimum Initial (s)	7.0	7.0		7.0	7.0		5.0			15.0	15.0	
Minimum Split (s)	11.5	11.5		11.5	11.5		9.0			20.7	20.7	
Total Split (s)	25.0	25.0		25.0	25.0		10.0			35.0	35.0	
Total Split (%)	35.7%	35.7%		35.7%	35.7%		14.3%			50.0%	50.0%	

Lane Group	Ø2
Lane Configurations	
Traffic Volume (vph)	
Future Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Lane Util. Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	
Heavy Vehicles (%)	
Adj. Flow (vph)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Enter Blocked Intersection	
Lane Alignment	
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	
Turning Speed (mph)	
Number of Detectors	
Detector Template	
Leading Detector (ft)	
Trailing Detector (ft)	
Detector 1 Position(ft)	
Detector 1 Size(ft)	
Detector 1 Type	
Detector 1 Channel	
Detector 1 Extend (s)	
Detector 1 Queue (s)	
Detector 1 Delay (s)	
Turn Type	
Protected Phases	2
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	20.7
Total Split (s)	45.0
Total Split (%)	64%

Lanes, Volumes, Timings
 8: Main Street & Site Driveway/Private Development

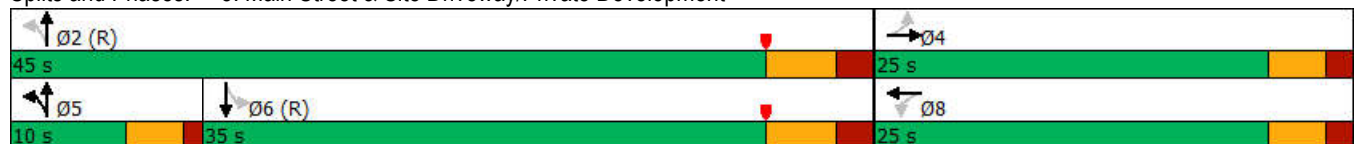
4531 Main Street, Bridgeport, CT
 2021 Existing AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Maximum Green (s)	20.5	20.5		20.5	20.5		6.0			29.3	29.3	
Yellow Time (s)	3.0	3.0		3.0	3.0		3.0			3.7	3.7	
All-Red Time (s)	1.5	1.5		1.5	1.5		1.0			2.0	2.0	
Lost Time Adjust (s)	0.0	0.0										0.0
Total Lost Time (s)	4.5	4.5										5.7
Lead/Lag							Lead			Lag	Lag	
Lead-Lag Optimize?												
Vehicle Extension (s)	2.0	2.0		2.0	2.0		2.0			2.0	2.0	
Recall Mode	None	None		None	None		Min			C-Min	C-Min	
Act Effect Green (s)	7.7	7.7						56.7				43.3
Actuated g/C Ratio	0.11	0.11						0.81				0.62
v/c Ratio	0.27	0.03						0.29				0.29
Control Delay	32.7	0.1						2.6				8.6
Queue Delay	0.0	0.0						0.0				0.0
Total Delay	32.7	0.1						2.6				8.6
LOS	C	A						A				A
Approach Delay		24.4						2.6				8.6
Approach LOS		C						A				A

Intersection Summary

Area Type: Other
 Cycle Length: 70
 Actuated Cycle Length: 70
 Offset: 44 (63%), Referenced to phase 2:NBTL and 6:SBTL, Start of Yellow
 Natural Cycle: 45
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.29
 Intersection Signal Delay: 6.0
 Intersection Capacity Utilization 42.1%
 Analysis Period (min) 15
 Intersection LOS: A
 ICU Level of Service A

Splits and Phases: 8: Main Street & Site Driveway/Private Development



Lane Group	Ø2
Maximum Green (s)	39.3
Yellow Time (s)	3.7
All-Red Time (s)	2.0
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Vehicle Extension (s)	2.0
Recall Mode	C-Min
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	
LOS	
Approach Delay	
Approach LOS	
<hr/> Intersection Summary	

Queues
 8: Main Street & Site Driveway/Private Development



















4531 Main Street, Bridgeport, CT
 2021 Existing AM



Lane Group	EBL	EBT	NBT	SBT
Lane Group Flow (vph)	41	14	778	627
v/c Ratio	0.27	0.03	0.29	0.29
Control Delay	32.7	0.1	2.6	8.6
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	32.7	0.1	2.6	8.6
Queue Length 50th (ft)	17	0	40	68
Queue Length 95th (ft)	38	0	70	126
Internal Link Dist (ft)		62	200	405
Turn Bay Length (ft)				
Base Capacity (vph)	406	714	2711	2128
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.10	0.02	0.29	0.29
Intersection Summary				

Lanes, Volumes, Timings
3: Main Street & Site Driveway/Kaechele Place

4531 Main Street, Bridgeport, CT
2021 Existing SAT

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	19	1	107	16	4	12	200	933	16	11	1003	22
Future Volume (vph)	19	1	107	16	4	12	200	933	16	11	1003	22
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	15	12	11	12	11	12	14	12
Storage Length (ft)	45		0	0		0	0		0	0		0
Storage Lanes	1		0	0		0	0		0	0		0
Taper Length (ft)	85			25			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	0.95	0.95	0.95	0.95
Fr _t		0.851			0.950			0.998			0.997	
Fl _t Protected	0.950				0.976			0.991			0.999	
Satd. Flow (prot)	1805	1617	0	0	1938	0	0	3536	0	0	3799	0
Fl _t Permitted	0.955				0.717			0.511			0.932	
Satd. Flow (perm)	1814	1617	0	0	1424	0	0	1823	0	0	3544	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		129			20			3			4	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		272			287			629			243	
Travel Time (s)		7.4			7.8			17.2			6.6	
Peak Hour Factor	0.83	0.83	0.83	0.60	0.60	0.60	0.86	0.86	0.86	0.92	0.92	0.92
Heavy Vehicles (%)	0%	0%	0%	0%	0%	0%	1%	1%	0%	0%	1%	0%
Adj. Flow (vph)	23	1	129	27	7	20	233	1085	19	12	1090	24
Shared Lane Traffic (%)												
Lane Group Flow (vph)	23	130	0	0	54	0	0	1337	0	0	1126	0
Enter Blocked Intersection	No	No	No	No	No	No	No	No	No	No	No	No
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		12			12			0			0	
Link Offset(ft)		0			0			0			0	
Crosswalk Width(ft)		16			16			16			16	
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	0.88	1.00	1.04	1.00	1.04	1.00	0.92	1.00
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	1		1	1		1	1		1	1	
Detector Template	Left			Left			Left			Left		
Leading Detector (ft)	50	50		20	50		20	55		20	60	
Trailing Detector (ft)	0	0		0	0		0	0		0	0	
Detector 1 Position(ft)	0	0		0	0		0	0		0	0	
Detector 1 Size(ft)	50	50		20	50		20	55		20	60	
Detector 1 Type	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Queue (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Delay (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Turn Type	Perm	NA		Perm	NA		custom	NA		Perm	NA	
Protected Phases		4			8		5	2.5			6	
Permitted Phases	4			8			2			6		
Detector Phase	4	4		8	8		5	2.5		6	6	
Switch Phase												
Minimum Initial (s)	7.0	7.0		7.0	7.0		4.5			15.0	15.0	

Lane Group	Ø2
Lane Configurations	
Traffic Volume (vph)	
Future Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	
Heavy Vehicles (%)	
Adj. Flow (vph)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Enter Blocked Intersection	
Lane Alignment	
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	
Turning Speed (mph)	
Number of Detectors	
Detector Template	
Leading Detector (ft)	
Trailing Detector (ft)	
Detector 1 Position(ft)	
Detector 1 Size(ft)	
Detector 1 Type	
Detector 1 Channel	
Detector 1 Extend (s)	
Detector 1 Queue (s)	
Detector 1 Delay (s)	
Turn Type	
Protected Phases	2
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0

Lanes, Volumes, Timings
 3: Main Street & Site Driveway/Kaechele Place

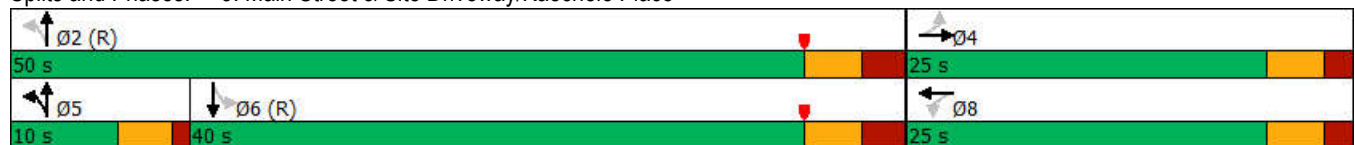
4531 Main Street, Bridgeport, CT
 2021 Existing SAT

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Minimum Split (s)	11.9	11.9		11.9	11.9		9.0			21.0	21.0	
Total Split (s)	25.0	25.0		25.0	25.0		10.0			40.0	40.0	
Total Split (%)	33.3%	33.3%		33.3%	33.3%		13.3%			53.3%	53.3%	
Maximum Green (s)	20.1	20.1		20.1	20.1		6.0			34.3	34.3	
Yellow Time (s)	3.2	3.2		3.2	3.2		3.0			3.2	3.2	
All-Red Time (s)	1.7	1.7		1.7	1.7		1.0			2.5	2.5	
Lost Time Adjust (s)	0.0	0.0			0.0						0.0	
Total Lost Time (s)	4.9	4.9			4.9						5.7	
Lead/Lag							Lead			Lag	Lag	
Lead-Lag Optimize?												
Vehicle Extension (s)	2.0	2.0		2.0	2.0		2.0			2.0	2.0	
Recall Mode	None	None		None	None		Min			C-Min	C-Min	
Act Effect Green (s)	7.5	7.5			7.5			59.3			33.6	
Actuated g/C Ratio	0.10	0.10			0.10			0.79			0.45	
v/c Ratio	0.13	0.47			0.34			0.71			0.71	
Control Delay	31.9	12.5			28.0			5.7			27.2	
Queue Delay	0.0	0.0			0.0			0.0			0.0	
Total Delay	31.9	12.5			28.0			5.7			27.2	
LOS	C	B			C			A			C	
Approach Delay		15.4			28.0			5.7			27.2	
Approach LOS		B			C			A			C	

Intersection Summary

Area Type: Other
 Cycle Length: 75
 Actuated Cycle Length: 75
 Offset: 57 (76%), Referenced to phase 2:NBTL and 6:SBTL, Start of Yellow
 Natural Cycle: 65
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.71
 Intersection Signal Delay: 15.8
 Intersection Capacity Utilization 82.9%
 Analysis Period (min) 15
 Intersection LOS: B
 ICU Level of Service E

Splits and Phases: 3: Main Street & Site Driveway/Kaechele Place



Lane Group	Ø2
Minimum Split (s)	20.7
Total Split (s)	50.0
Total Split (%)	67%
Maximum Green (s)	44.3
Yellow Time (s)	3.2
All-Red Time (s)	2.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Vehicle Extension (s)	2.0
Recall Mode	C-Min
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	
LOS	
Approach Delay	
Approach LOS	
Intersection Summary	

Queues

3: Main Street & Site Driveway/Kaechele Place












Lane Group	EBL	EBT	WBT	NBT	SBT
Lane Group Flow (vph)	23	130	54	1337	1126
v/c Ratio	0.13	0.47	0.34	0.71	0.71
Control Delay	31.9	12.5	28.0	5.7	27.2
Queue Delay	0.0	0.0	0.0	0.0	0.0
Total Delay	31.9	12.5	28.0	5.7	27.2
Queue Length 50th (ft)	10	0	15	91	209
Queue Length 95th (ft)	28	38	27	135	337
Internal Link Dist (ft)		192	207	549	163
Turn Bay Length (ft)	45				
Base Capacity (vph)	486	527	396	1896	1622
Starvation Cap Reductn	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0
Reduced v/c Ratio	0.05	0.25	0.14	0.71	0.69

Intersection Summary

Lanes, Volumes, Timings
7: Main Street & Site Driveway

4531 Main Street, Bridgeport, CT
2021 Existing SAT

						
Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	22	122	64	908	904	11
Future Volume (vph)	22	122	64	908	904	11
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	14	13	12
Lane Util. Factor	1.00	1.00	0.95	0.95	0.95	0.95
Frt	0.886				0.998	
Flt Protected	0.992			0.997		
Satd. Flow (prot)	1670	0	0	3804	3686	0
Flt Permitted	0.992			0.997		
Satd. Flow (perm)	1670	0	0	3804	3686	0
Link Speed (mph)	25			25	25	
Link Distance (ft)	145			243	280	
Travel Time (s)	4.0			6.6	7.6	
Peak Hour Factor	0.82	0.82	0.88	0.88	0.92	0.92
Heavy Vehicles (%)	0%	0%	0%	1%	1%	0%
Adj. Flow (vph)	27	149	73	1032	983	12
Shared Lane Traffic (%)						
Lane Group Flow (vph)	176	0	0	1105	995	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.00	1.00	1.00	0.92	0.96	1.00
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	
Intersection Summary						
Area Type:	Other					
Control Type:	Unsignalized					
Intersection Capacity Utilization	71.0%			ICU Level of Service C		
Analysis Period (min)	15					

Intersection						
Int Delay, s/veh	1.5					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T			T		
Traffic Vol, veh/h	22	122	64	908	904	11
Future Vol, veh/h	22	122	64	908	904	11
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	82	82	88	88	92	92
Heavy Vehicles, %	0	0	0	1	1	0
Mvmt Flow	27	149	73	1032	983	12

Major/Minor	Minor2	Major1	Major2			
Conflicting Flow All	1651	498	995	0	-	0
Stage 1	989	-	-	-	-	-
Stage 2	662	-	-	-	-	-
Critical Hdwy	6.8	6.9	4.1	-	-	-
Critical Hdwy Stg 1	5.8	-	-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.2	-	-	-
Pot Cap-1 Maneuver	*420	*728	1093	-	-	-
Stage 1	*687	-	-	-	-	-
Stage 2	*687	-	-	-	-	-
Platoon blocked, %	1	1	1	-	-	-
Mov Cap-1 Maneuver	*355	*728	1093	-	-	-
Mov Cap-2 Maneuver	*355	-	-	-	-	-
Stage 1	*580	-	-	-	-	-
Stage 2	*687	-	-	-	-	-


















Approach	EB	NB	SB
HCM Control Delay, s	13	1.1	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1093	-	627	-	-
HCM Lane V/C Ratio	0.067	-	0.28	-	-
HCM Control Delay (s)	8.5	0.6	13	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0.2	-	1.1	-	-

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Lanes, Volumes, Timings
8: Main Street & Site Driveway/Private Development

4531 Main Street, Bridgeport, CT
2021 Existing SAT

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	122	0	71	0	0	0	26	934	0	0	903	207
Future Volume (vph)	122	0	71	0	0	0	26	934	0	0	903	207
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	11	12	12	12	12	12	12	12	12	12	12	12
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	0.95	0.95	0.95	0.95
Frt		0.850									0.972	
Flt Protected	0.950							0.999				
Satd. Flow (prot)	1745	1615	0	0	1900	0	0	3572	0	0	3474	0
Flt Permitted	0.757							0.909				
Satd. Flow (perm)	1390	1615	0	0	1900	0	0	3250	0	0	3474	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		213									48	
Link Speed (mph)		25			30			25			25	
Link Distance (ft)		142			99			280			485	
Travel Time (s)		3.9			2.3			7.6			13.2	
Peak Hour Factor	0.95	0.95	0.95	0.25	0.25	0.25	0.87	0.87	0.87	0.91	0.91	0.91
Heavy Vehicles (%)	0%	0%	0%	0%	0%	0%	0%	1%	100%	0%	1%	1%
Adj. Flow (vph)	128	0	75	0	0	0	30	1074	0	0	992	227
Shared Lane Traffic (%)												
Lane Group Flow (vph)	128	75	0	0	0	0	0	1104	0	0	1219	0
Enter Blocked Intersection	No	No	No	No	No	No	No	No	No	No	No	No
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		11			11			0			0	
Link Offset(ft)		0			0			0			0	
Crosswalk Width(ft)		16			16			16			16	
Two way Left Turn Lane												
Headway Factor	1.04	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	1		1	1		1	1		1	1	
Detector Template				Left			Left			Left		
Leading Detector (ft)	50	50		20	20		20	50		20	50	
Trailing Detector (ft)	0	0		0	0		0	0		0	0	
Detector 1 Position(ft)	0	0		0	0		0	0		0	0	
Detector 1 Size(ft)	50	50		20	20		20	50		20	50	
Detector 1 Type	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Queue (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Delay (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Turn Type	Perm	NA					custom	NA			NA	
Protected Phases		4			8		5	2 5			6	
Permitted Phases	4			8			2			6		
Detector Phase	4	4		8	8		5	2 5		6	6	
Switch Phase												
Minimum Initial (s)	7.0	7.0		7.0	7.0		5.0			15.0	15.0	
Minimum Split (s)	11.5	11.5		11.5	11.5		9.0			20.7	20.7	
Total Split (s)	25.0	25.0		25.0	25.0		10.0			40.0	40.0	
Total Split (%)	33.3%	33.3%		33.3%	33.3%		13.3%			53.3%	53.3%	

Lane Group	Ø2
Lane Configurations	
Traffic Volume (vph)	
Future Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Lane Util. Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	
Heavy Vehicles (%)	
Adj. Flow (vph)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Enter Blocked Intersection	
Lane Alignment	
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	
Turning Speed (mph)	
Number of Detectors	
Detector Template	
Leading Detector (ft)	
Trailing Detector (ft)	
Detector 1 Position(ft)	
Detector 1 Size(ft)	
Detector 1 Type	
Detector 1 Channel	
Detector 1 Extend (s)	
Detector 1 Queue (s)	
Detector 1 Delay (s)	
Turn Type	
Protected Phases	2
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	20.7
Total Split (s)	50.0
Total Split (%)	67%

Lanes, Volumes, Timings
 8: Main Street & Site Driveway/Private Development

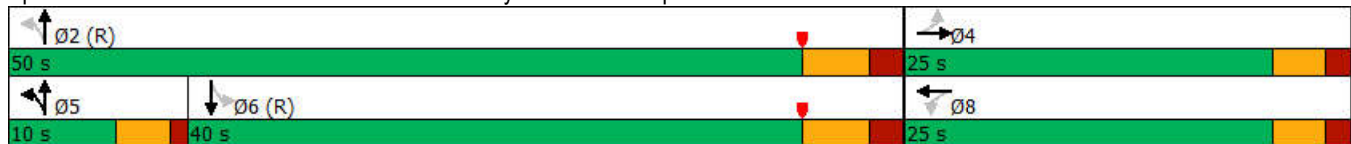
4531 Main Street, Bridgeport, CT
 2021 Existing SAT

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Maximum Green (s)	20.5	20.5		20.5	20.5		6.0			34.3	34.3	
Yellow Time (s)	3.0	3.0		3.0	3.0		3.0			3.7	3.7	
All-Red Time (s)	1.5	1.5		1.5	1.5		1.0			2.0	2.0	
Lost Time Adjust (s)	0.0	0.0										0.0
Total Lost Time (s)	4.5	4.5										5.7
Lead/Lag							Lead			Lag	Lag	
Lead-Lag Optimize?												
Vehicle Extension (s)	2.0	2.0		2.0	2.0		2.0			2.0	2.0	
Recall Mode	None	None		None	None		Min			C-Min	C-Min	
Act Effect Green (s)	11.5	11.5						55.6			40.1	
Actuated g/C Ratio	0.15	0.15						0.74			0.53	
v/c Ratio	0.60	0.18						0.45			0.65	
Control Delay	40.8	0.9						4.2			16.1	
Queue Delay	0.0	0.0						0.0			0.0	
Total Delay	40.8	0.9						4.2			16.1	
LOS	D	A						A			B	
Approach Delay		26.1						4.2			16.1	
Approach LOS		C						A			B	

Intersection Summary

Area Type: Other
 Cycle Length: 75
 Actuated Cycle Length: 75
 Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBT, Start of Yellow
 Natural Cycle: 60
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.65
 Intersection Signal Delay: 11.7
 Intersection Capacity Utilization 59.8%
 Analysis Period (min) 15
 Intersection LOS: B
 ICU Level of Service B





Splits and Phases: 8: Main Street & Site Driveway/Private Development



Lane Group	Ø2
Maximum Green (s)	44.3
Yellow Time (s)	3.7
All-Red Time (s)	2.0
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Vehicle Extension (s)	2.0
Recall Mode	C-Min
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	
LOS	
Approach Delay	
Approach LOS	
<hr/> Intersection Summary <hr/>	

Queues
 8: Main Street & Site Driveway/Private Development

4531 Main Street, Bridgeport, CT
 2021 Existing SAT

				
Lane Group	EBL	EBT	NBT	SBT
Lane Group Flow (vph)	128	75	1104	1219
v/c Ratio	0.60	0.18	0.45	0.65
Control Delay	40.8	0.9	4.2	16.1
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	40.8	0.9	4.2	16.1
Queue Length 50th (ft)	57	0	25	233
Queue Length 95th (ft)	101	0	169	305
Internal Link Dist (ft)		62	200	405
Turn Bay Length (ft)				
Base Capacity (vph)	379	596	2451	1889
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.34	0.13	0.45	0.65
Intersection Summary				

Lanes, Volumes, Timings
3: Main Street & Site Driveway/Kaechele Place

4531 Main Street, Bridgeport, CT
2021 Build AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	12	0	40	3	0	3	76	728	1	1	600	3
Future Volume (vph)	12	0	40	3	0	3	76	728	1	1	600	3
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	15	12	11	12	11	12	14	12
Storage Length (ft)	45		0	0		0	0		0	0		0
Storage Lanes	1		0	0		0	0		0	0		0
Taper Length (ft)	85			25			25			25		
Lane Util. Factor	0.95	0.95	1.00	1.00	1.00	1.00	0.95	0.95	0.95	0.95	0.95	0.95
Frt		0.853			0.932						0.999	
Flt Protected	0.950	0.999			0.976			0.995				
Satd. Flow (prot)	1329	1529	0	0	1521	0	0	3528	0	0	3755	0
Flt Permitted	0.930	0.992			0.815			0.833			0.954	
Satd. Flow (perm)	1301	1518	0	0	1270	0	0	2954	0	0	3582	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		104			104						1	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		272			287			629			243	
Travel Time (s)		7.4			7.8			17.2			6.6	
Peak Hour Factor	0.83	0.83	0.83	0.50	0.50	0.50	0.89	0.89	0.89	0.91	0.91	0.91
Heavy Vehicles (%)	29%	0%	0%	50%	0%	0%	0%	2%	0%	0%	2%	100%
Adj. Flow (vph)	14	0	48	6	0	6	85	818	1	1	659	3
Shared Lane Traffic (%)	10%											
Lane Group Flow (vph)	13	49	0	0	12	0	0	904	0	0	663	0
Enter Blocked Intersection	No	No	No	No	No	No	No	No	No	No	No	No
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		12			12			0			0	
Link Offset(ft)		0			0			0			0	
Crosswalk Width(ft)		16			16			16			16	
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	0.88	1.00	1.04	1.00	1.04	1.00	0.92	1.00
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	1		1	1		1	1		1	1	
Detector Template	Left			Left			Left			Left		
Leading Detector (ft)	50	50		20	50		20	55		20	60	
Trailing Detector (ft)	0	0		0	0		0	0		0	0	
Detector 1 Position(ft)	0	0		0	0		0	0		0	0	
Detector 1 Size(ft)	50	50		20	50		20	55		20	60	
Detector 1 Type	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Queue (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Delay (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Turn Type	Perm	NA		Perm	NA		custom	NA		Perm	NA	
Protected Phases		4			8		5	2.5			6	
Permitted Phases	4			8			2			6		
Detector Phase	4	4		8	8		5	2.5		6	6	
Switch Phase												
Minimum Initial (s)	7.0	7.0		7.0	7.0		4.5			15.0	15.0	

Lane Group	Ø2
Lane Configurations	
Traffic Volume (vph)	
Future Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	
Heavy Vehicles (%)	
Adj. Flow (vph)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Enter Blocked Intersection	
Lane Alignment	
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	
Turning Speed (mph)	
Number of Detectors	
Detector Template	
Leading Detector (ft)	
Trailing Detector (ft)	
Detector 1 Position(ft)	
Detector 1 Size(ft)	
Detector 1 Type	
Detector 1 Channel	
Detector 1 Extend (s)	
Detector 1 Queue (s)	
Detector 1 Delay (s)	
Turn Type	
Protected Phases	2
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0

Lanes, Volumes, Timings
3: Main Street & Site Driveway/Kaechele Place

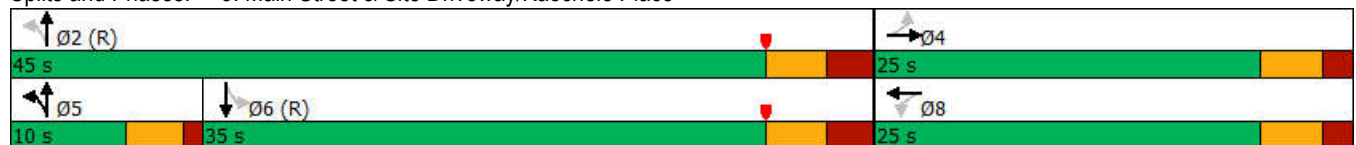
4531 Main Street, Bridgeport, CT
2021 Build AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Minimum Split (s)	11.9	11.9		11.9	11.9		9.0			21.0	21.0	
Total Split (s)	25.0	25.0		25.0	25.0		10.0			35.0	35.0	
Total Split (%)	35.7%	35.7%		35.7%	35.7%		14.3%			50.0%	50.0%	
Maximum Green (s)	20.1	20.1		20.1	20.1		6.0			29.3	29.3	
Yellow Time (s)	3.2	3.2		3.2	3.2		3.0			3.2	3.2	
All-Red Time (s)	1.7	1.7		1.7	1.7		1.0			2.5	2.5	
Lost Time Adjust (s)	0.0	0.0			0.0						0.0	
Total Lost Time (s)	4.9	4.9			4.9						5.7	
Lead/Lag							Lead			Lag	Lag	
Lead-Lag Optimize?												
Vehicle Extension (s)	2.0	2.0		2.0	2.0		2.0			2.0	2.0	
Recall Mode	None	None		None	None		Min			C-Min	C-Min	
Act Effect Green (s)	7.1	7.1			7.1			57.1			42.9	
Actuated g/C Ratio	0.10	0.10			0.10			0.82			0.61	
v/c Ratio	0.10	0.20			0.05			0.37			0.30	
Control Delay	30.4	2.8			0.5			2.7			3.1	
Queue Delay	0.0	0.0			0.0			0.0			0.0	
Total Delay	30.4	2.8			0.5			2.7			3.1	
LOS	C	A			A			A			A	
Approach Delay		8.5			0.5			2.7			3.1	
Approach LOS		A			A			A			A	
Queue Length 50th (ft)	5	0			0			51			22	
Queue Length 95th (ft)	20	2			0			72			40	
Internal Link Dist (ft)		192			207			549			163	
Turn Bay Length (ft)	45											
Base Capacity (vph)	373	510			438			2480			2197	
Starvation Cap Reductn	0	0			0			0			0	
Spillback Cap Reductn	0	0			0			0			0	
Storage Cap Reductn	0	0			0			0			0	
Reduced v/c Ratio	0.03	0.10			0.03			0.36			0.30	

Intersection Summary

Area Type: Other
 Cycle Length: 70
 Actuated Cycle Length: 70
 Offset: 57 (81%), Referenced to phase 2:NBTL and 6:SBTL, Start of Yellow
 Natural Cycle: 45
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.37
 Intersection Signal Delay: 3.1
 Intersection Capacity Utilization 58.5%
 Analysis Period (min) 15
 Intersection LOS: A
 ICU Level of Service B

Splits and Phases: 3: Main Street & Site Driveway/Kaechele Place



Lane Group	Ø2
Minimum Split (s)	20.7
Total Split (s)	45.0
Total Split (%)	64%
Maximum Green (s)	39.3
Yellow Time (s)	3.2
All-Red Time (s)	2.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Vehicle Extension (s)	2.0
Recall Mode	C-Min
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	
LOS	
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	
Queue Length 95th (ft)	
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	
Starvation Cap Reductn	
Spillback Cap Reductn	
Storage Cap Reductn	
Reduced v/c Ratio	
Intersection Summary	

Queues

3: Main Street & Site Driveway/Kaechele Place












Lane Group	EBL	EBT	WBT	NBT	SBT
Lane Group Flow (vph)	13	49	12	904	663
v/c Ratio	0.10	0.20	0.05	0.37	0.30
Control Delay	30.4	2.8	0.5	2.7	3.1
Queue Delay	0.0	0.0	0.0	0.0	0.0
Total Delay	30.4	2.8	0.5	2.7	3.1
Queue Length 50th (ft)	5	0	0	51	22
Queue Length 95th (ft)	20	2	0	72	40
Internal Link Dist (ft)		192	207	549	163
Turn Bay Length (ft)	45				
Base Capacity (vph)	373	510	438	2480	2197
Starvation Cap Reductn	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0
Reduced v/c Ratio	0.03	0.10	0.03	0.36	0.30

Intersection Summary

Lanes, Volumes, Timings
7: Main Street & Site Driveway

4531 Main Street, Bridgeport, CT
2021 Build AM

						
Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	22	72	51	691	532	20
Future Volume (vph)	22	72	51	691	532	20
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	14	13	12
Lane Util. Factor	1.00	1.00	0.95	0.95	0.95	0.95
Frt	0.897				0.994	
Flt Protected	0.988			0.997		
Satd. Flow (prot)	1610	0	0	3735	3638	0
Flt Permitted	0.988			0.997		
Satd. Flow (perm)	1610	0	0	3735	3638	0
Link Speed (mph)	25			25	25	
Link Distance (ft)	145			243	280	
Travel Time (s)	4.0			6.6	7.6	
Peak Hour Factor	0.53	0.53	0.87	0.87	0.97	0.97
Heavy Vehicles (%)	0%	6%	0%	3%	2%	0%
Adj. Flow (vph)	42	136	59	794	548	21
Shared Lane Traffic (%)						
Lane Group Flow (vph)	178	0	0	853	569	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.00	1.00	1.00	0.92	0.96	1.00
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	
Intersection Summary						
Area Type:	Other					
Control Type:	Unsignalized					
Intersection Capacity Utilization	51.6%			ICU Level of Service A		
Analysis Period (min)	15					

Intersection						
Int Delay, s/veh	1.7					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T			T		
Traffic Vol, veh/h	22	72	51	691	532	20
Future Vol, veh/h	22	72	51	691	532	20
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	53	53	87	87	97	97
Heavy Vehicles, %	0	6	0	3	2	0
Mvmt Flow	42	136	59	794	548	21

Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	1074	285	569	0	0
Stage 1	559	-	-	-	-
Stage 2	515	-	-	-	-
Critical Hdwy	6.8	7.02	4.1	-	-
Critical Hdwy Stg 1	5.8	-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-
Follow-up Hdwy	3.5	3.36	2.2	-	-
Pot Cap-1 Maneuver	*581	*873	1314	-	-
Stage 1	*833	-	-	-	-
Stage 2	*750	-	-	-	-
Platoon blocked, %	1	1	1	-	-
Mov Cap-1 Maneuver	*535	*873	1314	-	-
Mov Cap-2 Maneuver	*535	-	-	-	-
Stage 1	*766	-	-	-	-
Stage 2	*750	-	-	-	-


















Approach	EB	NB	SB
HCM Control Delay, s	11.2	0.8	0
HCM LOS	B		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1314	-	761	-	-
HCM Lane V/C Ratio	0.045	-	0.233	-	-
HCM Control Delay (s)	7.9	0.3	11.2	-	-
HCM Lane LOS	A	A	B	-	-
HCM 95th %tile Q(veh)	0.1	-	0.9	-	-

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Lanes, Volumes, Timings
8: Main Street & Site Driveway/Private Development

4531 Main Street, Bridgeport, CT
2021 Build AM

												
Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	66	0	27	0	0	0	22	702	0	0	532	105
Future Volume (vph)	66	0	27	0	0	0	22	702	0	0	532	105
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	11	12	12	12	12	12	12	12	12	12	12	12
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	0.95	0.95	0.95	0.95
Frt		0.850									0.975	
Flt Protected	0.950							0.998				
Satd. Flow (prot)	1616	1615	0	0	1900	0	0	3501	0	0	3385	0
Flt Permitted	0.757							0.935				
Satd. Flow (perm)	1287	1615	0	0	1900	0	0	3280	0	0	3385	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		342									41	
Link Speed (mph)		25			30			25			25	
Link Distance (ft)		142			99			280			485	
Travel Time (s)		3.9			2.3			7.6			13.2	
Peak Hour Factor	0.80	0.80	0.80	0.92	0.92	0.92	0.91	0.91	0.91	0.95	0.95	0.95
Heavy Vehicles (%)	8%	0%	0%	0%	0%	0%	0%	3%	0%	0%	3%	9%
Adj. Flow (vph)	83	0	34	0	0	0	24	771	0	0	560	111
Shared Lane Traffic (%)												
Lane Group Flow (vph)	83	34	0	0	0	0	0	795	0	0	671	0
Enter Blocked Intersection	No	No	No	No	No	No	No	No	No	No	No	No
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		11			11			0			0	
Link Offset(ft)		0			0			0			0	
Crosswalk Width(ft)		16			16			16			16	
Two way Left Turn Lane												
Headway Factor	1.04	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	1		1	1		1	1		1	1	
Detector Template				Left			Left			Left		
Leading Detector (ft)	50	50		20	20		20	50		20	50	
Trailing Detector (ft)	0	0		0	0		0	0		0	0	
Detector 1 Position(ft)	0	0		0	0		0	0		0	0	
Detector 1 Size(ft)	50	50		20	20		20	50		20	50	
Detector 1 Type	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Queue (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Delay (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Turn Type	Perm	NA					custom	NA			NA	
Protected Phases		4			8			5	2.5		6	
Permitted Phases	4			8			2			6		
Detector Phase	4	4		8	8		5	2.5		6	6	
Switch Phase												
Minimum Initial (s)	7.0	7.0		7.0	7.0		5.0			15.0	15.0	
Minimum Split (s)	11.5	11.5		11.5	11.5		9.0			20.7	20.7	
Total Split (s)	25.0	25.0		25.0	25.0		10.0			35.0	35.0	
Total Split (%)	35.7%	35.7%		35.7%	35.7%		14.3%			50.0%	50.0%	

Lane Group	Ø2
Lane Configurations	
Traffic Volume (vph)	
Future Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Lane Util. Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	
Heavy Vehicles (%)	
Adj. Flow (vph)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Enter Blocked Intersection	
Lane Alignment	
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	
Turning Speed (mph)	
Number of Detectors	
Detector Template	
Leading Detector (ft)	
Trailing Detector (ft)	
Detector 1 Position(ft)	
Detector 1 Size(ft)	
Detector 1 Type	
Detector 1 Channel	
Detector 1 Extend (s)	
Detector 1 Queue (s)	
Detector 1 Delay (s)	
Turn Type	
Protected Phases	2
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	20.7
Total Split (s)	45.0
Total Split (%)	64%

Lanes, Volumes, Timings
 8: Main Street & Site Driveway/Private Development

4531 Main Street, Bridgeport, CT
 2021 Build AM

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Maximum Green (s)	20.5	20.5		20.5	20.5		6.0			29.3	29.3	
Yellow Time (s)	3.0	3.0		3.0	3.0		3.0			3.7	3.7	
All-Red Time (s)	1.5	1.5		1.5	1.5		1.0			2.0	2.0	
Lost Time Adjust (s)	0.0	0.0			0.0						0.0	
Total Lost Time (s)	4.5	4.5			4.5						5.7	
Lead/Lag							Lead			Lag	Lag	
Lead-Lag Optimize?												
Vehicle Extension (s)	2.0	2.0		2.0	2.0		2.0			2.0	2.0	
Recall Mode	None	None		None	None		Min			C-Min	C-Min	
Act Effect Green (s)	9.4	9.4						52.7			37.9	
Actuated g/C Ratio	0.13	0.13						0.75			0.54	
v/c Ratio	0.48	0.07						0.32			0.36	
Control Delay	36.8	0.3						3.8			11.6	
Queue Delay	0.0	0.0						0.0			0.0	
Total Delay	36.8	0.3						3.8			11.6	
LOS	D	A						A			B	
Approach Delay		26.2						3.8			11.6	
Approach LOS		C						A			B	
Queue Length 50th (ft)	34	0						48			80	
Queue Length 95th (ft)	61	0						89			156	
Internal Link Dist (ft)		62			19			200			405	
Turn Bay Length (ft)												
Base Capacity (vph)	376	714						2498			1883	
Starvation Cap Reductn	0	0						0			0	
Spillback Cap Reductn	0	0						0			0	
Storage Cap Reductn	0	0						0			0	
Reduced v/c Ratio	0.22	0.05						0.32			0.36	

Intersection Summary

Area Type: Other
 Cycle Length: 70
 Actuated Cycle Length: 70
 Offset: 44 (63%), Referenced to phase 2:NBTL and 6:SBTL, Start of Yellow
 Natural Cycle: 45
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.48
 Intersection Signal Delay: 8.7 Intersection LOS: A
 Intersection Capacity Utilization 49.7% ICU Level of Service A
 Analysis Period (min) 15





Splits and Phases: 8: Main Street & Site Driveway/Private Development



Lane Group	Ø2
Maximum Green (s)	39.3
Yellow Time (s)	3.7
All-Red Time (s)	2.0
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Vehicle Extension (s)	2.0
Recall Mode	C-Min
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	
LOS	
Approach Delay	
Approach LOS	
Queue Length 50th (ft)	
Queue Length 95th (ft)	
Internal Link Dist (ft)	
Turn Bay Length (ft)	
Base Capacity (vph)	
Starvation Cap Reductn	
Spillback Cap Reductn	
Storage Cap Reductn	
Reduced v/c Ratio	
Intersection Summary	

Queues
 8: Main Street & Site Driveway/Private Development

4531 Main Street, Bridgeport, CT
 2021 Build AM

				
Lane Group	EBL	EBT	NBT	SBT
Lane Group Flow (vph)	83	34	795	671
v/c Ratio	0.48	0.07	0.32	0.36
Control Delay	36.8	0.3	3.8	11.6
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	36.8	0.3	3.8	11.6
Queue Length 50th (ft)	34	0	48	80
Queue Length 95th (ft)	61	0	89	156
Internal Link Dist (ft)		62	200	405
Turn Bay Length (ft)				
Base Capacity (vph)	376	714	2498	1883
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.22	0.05	0.32	0.36
Intersection Summary				

Lanes, Volumes, Timings
 3: Main Street & Site Driveway/Kaechele Place

4531 Main Street, Bridgeport, CT
 2021 Build SAT

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	21	1	115	16	4	12	210	962	16	11	1034	22
Future Volume (vph)	21	1	115	16	4	12	210	962	16	11	1034	22
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	12	15	12	11	12	11	12	14	12
Storage Length (ft)	45		0	0		0	0		0	0		0
Storage Lanes	1		0	0		0	0		0	0		0
Taper Length (ft)	85			25			25			25		
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	0.95	0.95	0.95	0.95
Fr _t		0.851			0.950			0.998			0.997	
Fl _t Protected	0.950				0.976			0.991			0.999	
Satd. Flow (prot)	1805	1617	0	0	1938	0	0	3535	0	0	3798	0
Fl _t Permitted	0.952				0.658			0.509			0.932	
Satd. Flow (perm)	1809	1617	0	0	1306	0	0	1816	0	0	3544	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		139			20			3			4	
Link Speed (mph)		25			25			25			25	
Link Distance (ft)		272			287			629			243	
Travel Time (s)		7.4			7.8			17.2			6.6	
Peak Hour Factor	0.83	0.83	0.83	0.60	0.60	0.60	0.86	0.86	0.86	0.92	0.92	0.92
Heavy Vehicles (%)	0%	0%	0%	0%	0%	0%	1%	1%	0%	0%	1%	0%
Adj. Flow (vph)	25	1	139	27	7	20	244	1119	19	12	1124	24
Shared Lane Traffic (%)												
Lane Group Flow (vph)	25	140	0	0	54	0	0	1382	0	0	1160	0
Enter Blocked Intersection	No	No	No	No	No	No	No	No	No	No	No	No
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		12			12			0			0	
Link Offset(ft)		0			0			0			0	
Crosswalk Width(ft)		16			16			16			16	
Two way Left Turn Lane												
Headway Factor	1.00	1.00	1.00	1.00	0.88	1.00	1.04	1.00	1.04	1.00	0.92	1.00
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	1		1	1		1	1		1	1	
Detector Template	Left			Left			Left			Left		
Leading Detector (ft)	50	50		20	50		20	55		20	60	
Trailing Detector (ft)	0	0		0	0		0	0		0	0	
Detector 1 Position(ft)	0	0		0	0		0	0		0	0	
Detector 1 Size(ft)	50	50		20	50		20	55		20	60	
Detector 1 Type	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Queue (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Delay (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Turn Type	Perm	NA		Perm	NA		custom	NA		Perm	NA	
Protected Phases		4			8		5	2.5			6	
Permitted Phases	4			8			2			6		
Detector Phase	4	4		8	8		5	2.5		6	6	
Switch Phase												
Minimum Initial (s)	7.0	7.0		7.0	7.0		4.5			15.0	15.0	

Lane Group	Ø2
Lane Configurations	
Traffic Volume (vph)	
Future Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Storage Length (ft)	
Storage Lanes	
Taper Length (ft)	
Lane Util. Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	
Heavy Vehicles (%)	
Adj. Flow (vph)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Enter Blocked Intersection	
Lane Alignment	
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	
Turning Speed (mph)	
Number of Detectors	
Detector Template	
Leading Detector (ft)	
Trailing Detector (ft)	
Detector 1 Position(ft)	
Detector 1 Size(ft)	
Detector 1 Type	
Detector 1 Channel	
Detector 1 Extend (s)	
Detector 1 Queue (s)	
Detector 1 Delay (s)	
Turn Type	
Protected Phases	2
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0

Lanes, Volumes, Timings
 3: Main Street & Site Driveway/Kaechele Place

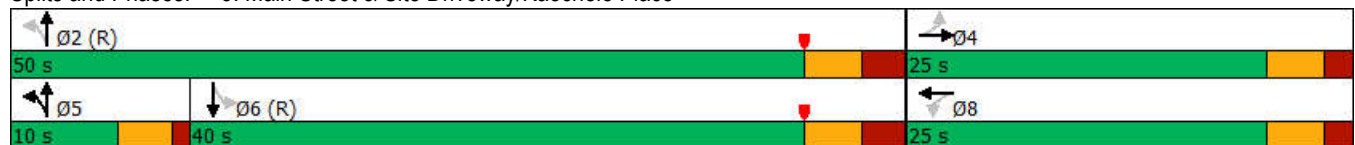
4531 Main Street, Bridgeport, CT
 2021 Build SAT

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Minimum Split (s)	11.9	11.9		11.9	11.9		9.0			21.0	21.0	
Total Split (s)	25.0	25.0		25.0	25.0		10.0			40.0	40.0	
Total Split (%)	33.3%	33.3%		33.3%	33.3%		13.3%			53.3%	53.3%	
Maximum Green (s)	20.1	20.1		20.1	20.1		6.0			34.3	34.3	
Yellow Time (s)	3.2	3.2		3.2	3.2		3.0			3.2	3.2	
All-Red Time (s)	1.7	1.7		1.7	1.7		1.0			2.5	2.5	
Lost Time Adjust (s)	0.0	0.0			0.0						0.0	
Total Lost Time (s)	4.9	4.9			4.9						5.7	
Lead/Lag							Lead			Lag	Lag	
Lead-Lag Optimize?												
Vehicle Extension (s)	2.0	2.0		2.0	2.0		2.0			2.0	2.0	
Recall Mode	None	None		None	None		Min			C-Min	C-Min	
Act Effect Green (s)	7.6	7.6			7.6			59.2			33.8	
Actuated g/C Ratio	0.10	0.10			0.10			0.79			0.45	
v/c Ratio	0.14	0.49			0.36			0.73			0.73	
Control Delay	32.0	12.4			29.0			6.6			28.2	
Queue Delay	0.0	0.0			0.0			0.0			0.0	
Total Delay	32.0	12.4			29.0			6.6			28.2	
LOS	C	B			C			A			C	
Approach Delay		15.4			29.0			6.6			28.2	
Approach LOS		B			C			A			C	

Intersection Summary

Area Type: Other
 Cycle Length: 75
 Actuated Cycle Length: 75
 Offset: 57 (76%), Referenced to phase 2:NBTL and 6:SBTL, Start of Yellow
 Natural Cycle: 75
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.73
 Intersection Signal Delay: 16.7 Intersection LOS: B
 Intersection Capacity Utilization 84.9% ICU Level of Service E
 Analysis Period (min) 15

Splits and Phases: 3: Main Street & Site Driveway/Kaechele Place



Lane Group	Ø2
Minimum Split (s)	20.7
Total Split (s)	50.0
Total Split (%)	67%
Maximum Green (s)	44.3
Yellow Time (s)	3.2
All-Red Time (s)	2.5
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Vehicle Extension (s)	2.0
Recall Mode	C-Min
Act Effect Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	
LOS	
Approach Delay	
Approach LOS	
Intersection Summary	

Queues

3: Main Street & Site Driveway/Kaechele Place












Lane Group	EBL	EBT	WBT	NBT	SBT
Lane Group Flow (vph)	25	140	54	1382	1160
v/c Ratio	0.14	0.49	0.36	0.73	0.73
Control Delay	32.0	12.4	29.0	6.6	28.2
Queue Delay	0.0	0.0	0.0	0.0	0.0
Total Delay	32.0	12.4	29.0	6.6	28.2
Queue Length 50th (ft)	11	0	15	95	277
Queue Length 95th (ft)	29	39	27	145	345
Internal Link Dist (ft)		192	207	549	163
Turn Bay Length (ft)	45				
Base Capacity (vph)	484	535	364	1884	1622
Starvation Cap Reductn	0	0	0	0	0
Spillback Cap Reductn	0	0	0	0	0
Storage Cap Reductn	0	0	0	0	0
Reduced v/c Ratio	0.05	0.26	0.15	0.73	0.72

Intersection Summary

Lanes, Volumes, Timings
7: Main Street & Site Driveway

4531 Main Street, Bridgeport, CT
2021 Build SAT

						
Lane Group	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations						
Traffic Volume (vph)	36	147	94	910	910	21
Future Volume (vph)	36	147	94	910	910	21
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900
Lane Width (ft)	12	12	12	14	13	12
Lane Util. Factor	1.00	1.00	0.95	0.95	0.95	0.95
Frt	0.892				0.997	
Flt Protected	0.990			0.995		
Satd. Flow (prot)	1678	0	0	3797	3683	0
Flt Permitted	0.990			0.995		
Satd. Flow (perm)	1678	0	0	3797	3683	0
Link Speed (mph)	25			25	25	
Link Distance (ft)	145			243	280	
Travel Time (s)	4.0			6.6	7.6	
Peak Hour Factor	0.82	0.82	0.88	0.88	0.92	0.92
Heavy Vehicles (%)	0%	0%	0%	1%	1%	0%
Adj. Flow (vph)	44	179	107	1034	989	23
Shared Lane Traffic (%)						
Lane Group Flow (vph)	223	0	0	1141	1012	0
Enter Blocked Intersection	No	No	No	No	No	No
Lane Alignment	Left	Right	Left	Left	Left	Right
Median Width(ft)	12			0	0	
Link Offset(ft)	0			0	0	
Crosswalk Width(ft)	16			16	16	
Two way Left Turn Lane						
Headway Factor	1.00	1.00	1.00	0.92	0.96	1.00
Turning Speed (mph)	15	9	15			9
Sign Control	Stop			Free	Free	
Intersection Summary						
Area Type:	Other					
Control Type:	Unsignalized					
Intersection Capacity Utilization	74.8%			ICU Level of Service D		
Analysis Period (min)	15					

Intersection						
Int Delay, s/veh	2.2					
Movement	EBL	EBR	NBL	NBT	SBT	SBR
Lane Configurations	T			T		
Traffic Vol, veh/h	36	147	94	910	910	21
Future Vol, veh/h	36	147	94	910	910	21
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	-	-
Veh in Median Storage, #	0	-	-	0	0	-
Grade, %	0	-	-	0	0	-
Peak Hour Factor	82	82	88	88	92	92
Heavy Vehicles, %	0	0	0	1	1	0
Mvmt Flow	44	179	107	1034	989	23

Major/Minor	Minor2	Major1		Major2	
Conflicting Flow All	1732	506	1012	0	0
Stage 1	1001	-	-	-	-
Stage 2	731	-	-	-	-
Critical Hdwy	6.8	6.9	4.1	-	-
Critical Hdwy Stg 1	5.8	-	-	-	-
Critical Hdwy Stg 2	5.8	-	-	-	-
Follow-up Hdwy	3.5	3.3	2.2	-	-
Pot Cap-1 Maneuver	*420	*728	1069	-	-
Stage 1	*680	-	-	-	-
Stage 2	*687	-	-	-	-
Platoon blocked, %	1	1	1	-	-
Mov Cap-1 Maneuver	*321	*728	1069	-	-
Mov Cap-2 Maneuver	*321	-	-	-	-
Stage 1	*520	-	-	-	-
Stage 2	*687	-	-	-	-

Approach	EB	NB	SB
HCM Control Delay, s	15	1.6	0
HCM LOS	C		

Minor Lane/Major Mvmt	NBL	NBT	EBLn1	SBT	SBR
Capacity (veh/h)	1069	-	583	-	-
HCM Lane V/C Ratio	0.1	-	0.383	-	-
HCM Control Delay (s)	8.7	0.9	15	-	-
HCM Lane LOS	A	A	C	-	-
HCM 95th %tile Q(veh)	0.3	-	1.8	-	-

Notes
 ~: Volume exceeds capacity \$: Delay exceeds 300s +: Computation Not Defined *: All major volume in platoon

Lanes, Volumes, Timings
8: Main Street & Site Driveway/Private Development

4531 Main Street, Bridgeport, CT
2021 Build SAT

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Volume (vph)	155	0	87	0	0	0	36	940	0	0	903	246
Future Volume (vph)	155	0	87	0	0	0	36	940	0	0	903	246
Ideal Flow (vphpl)	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900	1900
Lane Width (ft)	11	12	12	12	12	12	12	12	12	12	12	12
Lane Util. Factor	1.00	1.00	1.00	1.00	1.00	1.00	0.95	0.95	0.95	0.95	0.95	0.95
Frt		0.850									0.968	
Flt Protected	0.950							0.998				
Satd. Flow (prot)	1745	1615	0	0	1900	0	0	3568	0	0	3460	0
Flt Permitted	0.757							0.848				
Satd. Flow (perm)	1390	1615	0	0	1900	0	0	3032	0	0	3460	0
Right Turn on Red			Yes			Yes			Yes			Yes
Satd. Flow (RTOR)		213									61	
Link Speed (mph)		25			30			25			25	
Link Distance (ft)		142			99			280			485	
Travel Time (s)		3.9			2.3			7.6			13.2	
Peak Hour Factor	0.95	0.95	0.95	0.25	0.25	0.25	0.87	0.87	0.87	0.91	0.91	0.91
Heavy Vehicles (%)	0%	0%	0%	0%	0%	0%	0%	1%	100%	0%	1%	1%
Adj. Flow (vph)	163	0	92	0	0	0	41	1080	0	0	992	270
Shared Lane Traffic (%)												
Lane Group Flow (vph)	163	92	0	0	0	0	0	1121	0	0	1262	0
Enter Blocked Intersection	No	No	No	No	No	No	No	No	No	No	No	No
Lane Alignment	Left	Left	Right	Left	Left	Right	Left	Left	Right	Left	Left	Right
Median Width(ft)		11			11			0			0	
Link Offset(ft)		0			0			0			0	
Crosswalk Width(ft)		16			16			16			16	
Two way Left Turn Lane												
Headway Factor	1.04	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Turning Speed (mph)	15		9	15		9	15		9	15		9
Number of Detectors	1	1		1	1		1	1		1	1	
Detector Template				Left			Left			Left		
Leading Detector (ft)	50	50		20	20		20	50		20	50	
Trailing Detector (ft)	0	0		0	0		0	0		0	0	
Detector 1 Position(ft)	0	0		0	0		0	0		0	0	
Detector 1 Size(ft)	50	50		20	20		20	50		20	50	
Detector 1 Type	Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex		Cl+Ex	Cl+Ex	
Detector 1 Channel												
Detector 1 Extend (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Queue (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Detector 1 Delay (s)	0.0	0.0		0.0	0.0		0.0	0.0		0.0	0.0	
Turn Type	Perm	NA					custom	NA			NA	
Protected Phases		4			8		5	2.5			6	
Permitted Phases	4			8			2			6		
Detector Phase	4	4		8	8		5	2.5		6	6	
Switch Phase												
Minimum Initial (s)	7.0	7.0		7.0	7.0		5.0			15.0	15.0	
Minimum Split (s)	11.5	11.5		11.5	11.5		9.0			20.7	20.7	
Total Split (s)	25.0	25.0		25.0	25.0		10.0			40.0	40.0	
Total Split (%)	33.3%	33.3%		33.3%	33.3%		13.3%			53.3%	53.3%	

Lane Group	Ø2
Lane Configurations	
Traffic Volume (vph)	
Future Volume (vph)	
Ideal Flow (vphpl)	
Lane Width (ft)	
Lane Util. Factor	
Frt	
Flt Protected	
Satd. Flow (prot)	
Flt Permitted	
Satd. Flow (perm)	
Right Turn on Red	
Satd. Flow (RTOR)	
Link Speed (mph)	
Link Distance (ft)	
Travel Time (s)	
Peak Hour Factor	
Heavy Vehicles (%)	
Adj. Flow (vph)	
Shared Lane Traffic (%)	
Lane Group Flow (vph)	
Enter Blocked Intersection	
Lane Alignment	
Median Width(ft)	
Link Offset(ft)	
Crosswalk Width(ft)	
Two way Left Turn Lane	
Headway Factor	
Turning Speed (mph)	
Number of Detectors	
Detector Template	
Leading Detector (ft)	
Trailing Detector (ft)	
Detector 1 Position(ft)	
Detector 1 Size(ft)	
Detector 1 Type	
Detector 1 Channel	
Detector 1 Extend (s)	
Detector 1 Queue (s)	
Detector 1 Delay (s)	
Turn Type	
Protected Phases	2
Permitted Phases	
Detector Phase	
Switch Phase	
Minimum Initial (s)	15.0
Minimum Split (s)	20.7
Total Split (s)	50.0
Total Split (%)	67%

Lanes, Volumes, Timings
 8: Main Street & Site Driveway/Private Development

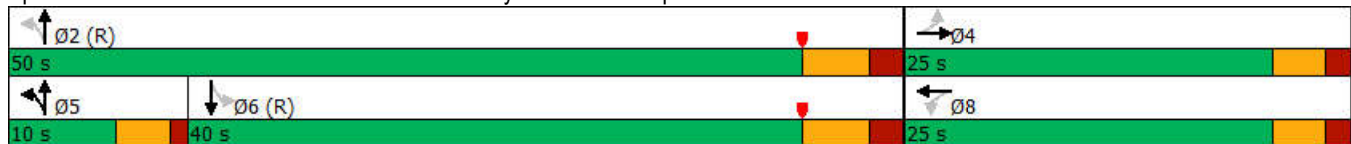
4531 Main Street, Bridgeport, CT
 2021 Build SAT

Lane Group	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Maximum Green (s)	20.5	20.5		20.5	20.5		6.0			34.3	34.3	
Yellow Time (s)	3.0	3.0		3.0	3.0		3.0			3.7	3.7	
All-Red Time (s)	1.5	1.5		1.5	1.5		1.0			2.0	2.0	
Lost Time Adjust (s)	0.0	0.0										0.0
Total Lost Time (s)	4.5	4.5										5.7
Lead/Lag							Lead			Lag	Lag	
Lead-Lag Optimize?												
Vehicle Extension (s)	2.0	2.0		2.0	2.0		2.0			2.0	2.0	
Recall Mode	None	None		None	None		Min			C-Min	C-Min	
Act Effect Green (s)	13.1	13.1						51.7				35.9
Actuated g/C Ratio	0.17	0.17						0.69				0.48
v/c Ratio	0.67	0.20						0.52				0.75
Control Delay	41.8	1.0						5.8				19.2
Queue Delay	0.0	0.0						0.0				0.0
Total Delay	41.8	1.0						5.8				19.2
LOS	D	A						A				B
Approach Delay		27.1						5.8				19.2
Approach LOS		C						A				B

Intersection Summary

Area Type: Other
 Cycle Length: 75
 Actuated Cycle Length: 75
 Offset: 0 (0%), Referenced to phase 2:NBT and 6:SBTL, Start of Yellow
 Natural Cycle: 55
 Control Type: Actuated-Coordinated
 Maximum v/c Ratio: 0.75
 Intersection Signal Delay: 14.3
 Intersection Capacity Utilization 69.3%
 Analysis Period (min) 15
 Intersection LOS: B
 ICU Level of Service C





Splits and Phases: 8: Main Street & Site Driveway/Private Development



Lane Group	Ø2
Maximum Green (s)	44.3
Yellow Time (s)	3.7
All-Red Time (s)	2.0
Lost Time Adjust (s)	
Total Lost Time (s)	
Lead/Lag	
Lead-Lag Optimize?	
Vehicle Extension (s)	2.0
Recall Mode	C-Min
Act Effct Green (s)	
Actuated g/C Ratio	
v/c Ratio	
Control Delay	
Queue Delay	
Total Delay	
LOS	
Approach Delay	
Approach LOS	
Intersection Summary	

Queues
 8: Main Street & Site Driveway/Private Development

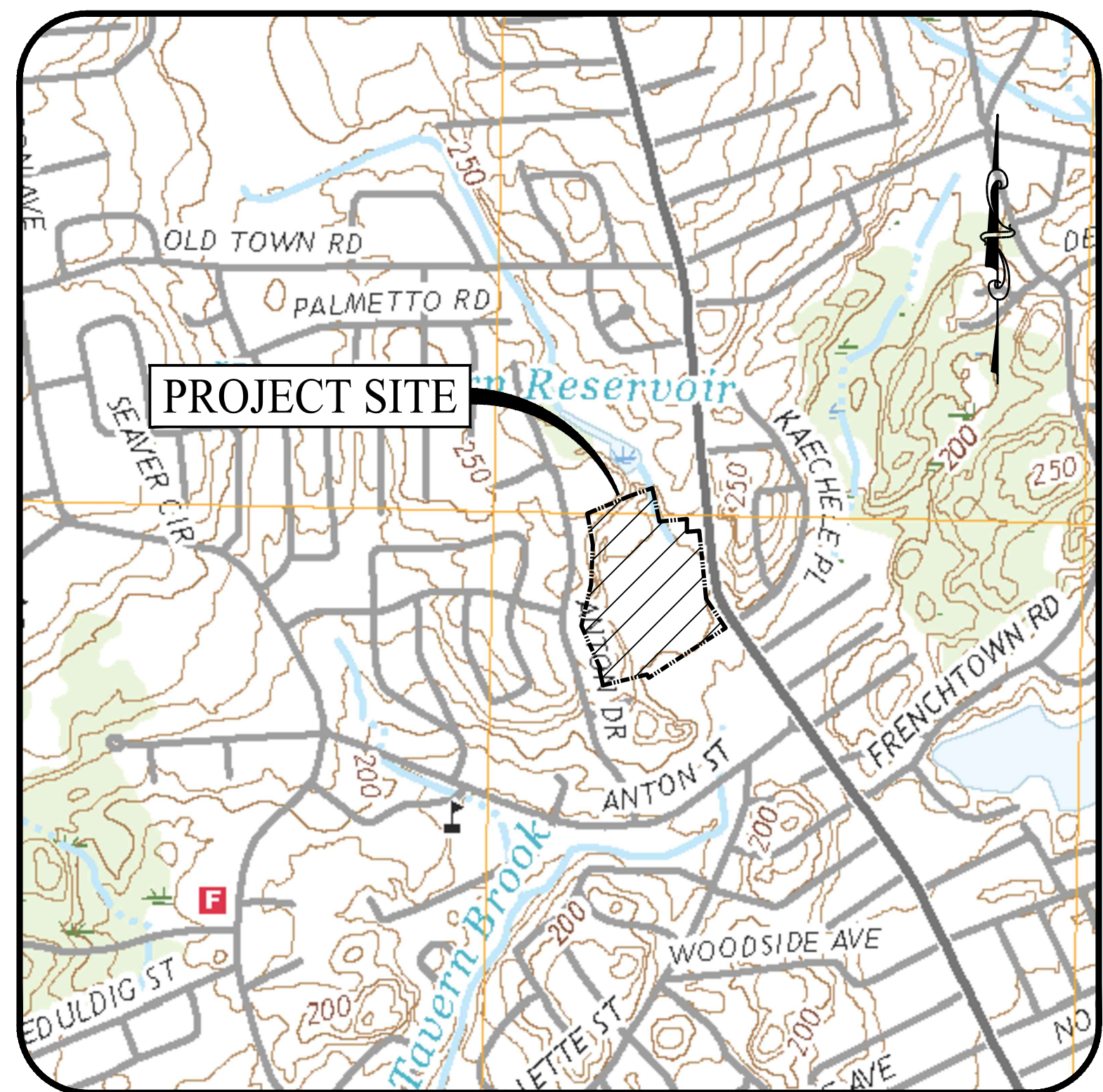
4531 Main Street, Bridgeport, CT
 2021 Build SAT

				
Lane Group	EBL	EBT	NBT	SBT
Lane Group Flow (vph)	163	92	1121	1262
v/c Ratio	0.67	0.20	0.52	0.75
Control Delay	41.8	1.0	5.8	19.2
Queue Delay	0.0	0.0	0.0	0.0
Total Delay	41.8	1.0	5.8	19.2
Queue Length 50th (ft)	72	0	86	257
Queue Length 95th (ft)	121	0	189	319
Internal Link Dist (ft)		62	200	405
Turn Bay Length (ft)				
Base Capacity (vph)	379	596	2161	1715
Starvation Cap Reductn	0	0	0	0
Spillback Cap Reductn	0	0	0	0
Storage Cap Reductn	0	0	0	0
Reduced v/c Ratio	0.43	0.15	0.52	0.74
Intersection Summary				

BROOKSIDE SHOPPING CENTER

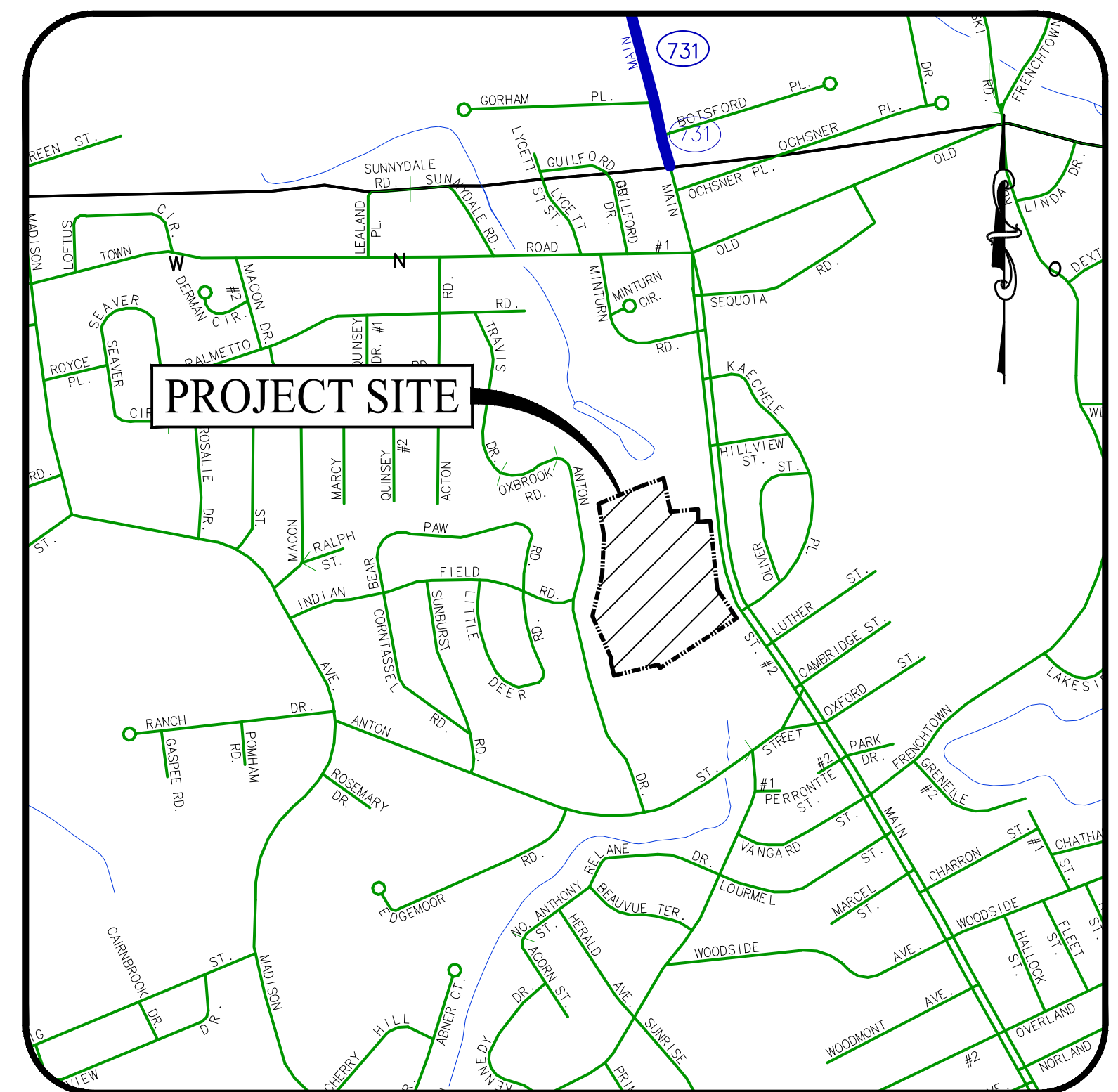
4531-4577 MAIN STREET
BRIDGEPORT, CT

SPECIAL PERMIT APPLICATION



USGS MAP

SCALE: 1" = 500'



LOCATION MAP

SCALE: 1" = 500'

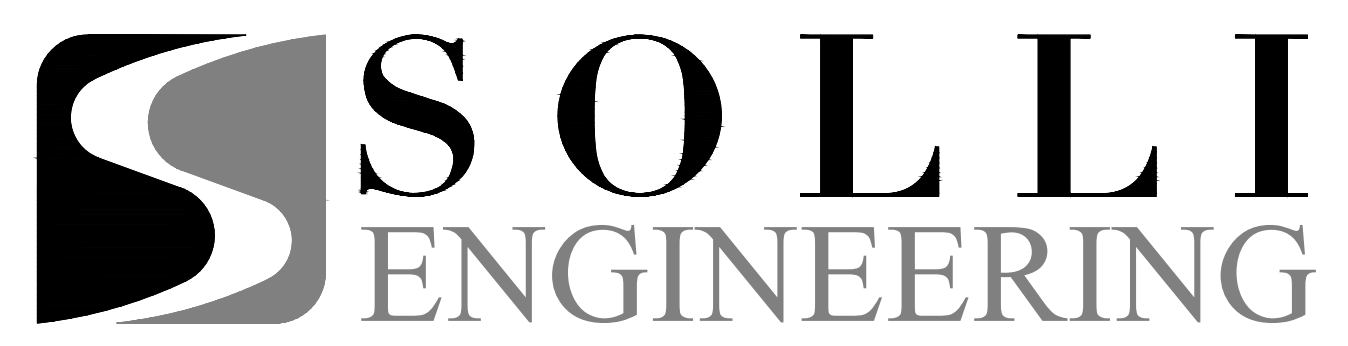
PREPARED FOR:

EDENS

BROOKSIDE (E&A), LLC

21 CUSTOM HOUSE STREET, SUITE 450
BOSTON, MA 02110

PREPARED BY:



501 MAIN STREET, MONROE, CONNECTICUT 06468

PROPERTY INFORMATION

ADDRESS: 4531 MAIN STREET, BRIDGEPORT, CT 06606
MAP-BLOCK-LOT: 812509/61E

OWNER / APPLICANT

BROOKSIDE (E&A) LLC
EDENS
21 CUSTOM HOUSE STREET, SUITE 450
BOSTON, MASSACHUSETTS 02110

SITE/CIVIL ENGINEER

KEVIN SOLLI, P.E., CPESC, LEED AP BD+C
LICENSE NO. 25759
SOLLI ENGINEERING, LLC
501 MAIN STREET
MONROE, CONNECTICUT 06468
(203) 880-5455

SURVEYOR OF RECORD

BRYAN NESTERIAK, PE, LS
LICENSE NO. 23556
ACCURATE LAND SURVEYING
15 RESEARCH DRIVE, SUITE 3
WOODBIDGE, CONNECTICUT 06525
(203) 881-8145

LANDSCAPE ARCHITECT

MARY BLACKBURN, PLA
LICENSE NO. 1489
SOLLI ENGINEERING, LLC
501 MAIN STREET
MONROE, CONNECTICUT 06468
(203) 880-5455

BORINGS AND ENVIRONMENTAL

DANIEL P. GORMAN
WHITESTONE ASSOCIATES, INC.
16 OLD FORGE ROAD
ROCKY HILL, CT 06067
(860) 726-7889

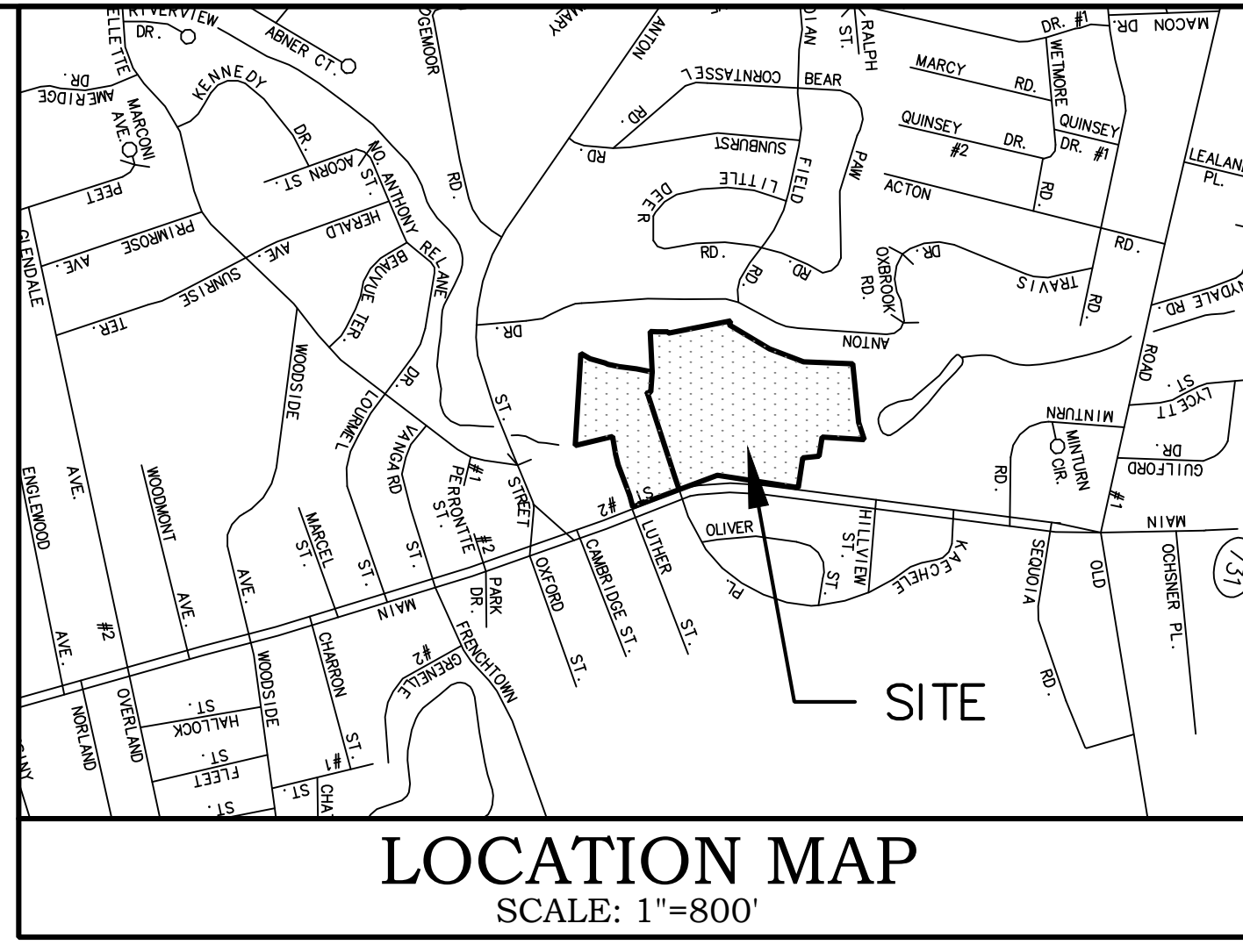
DRAWING LIST

CIVIL SITE PLAN SET			
SHEET	SHEET TITLE	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	02/26/21	03/17/21
1 OF 1	PARTIAL TOPOGRAPHIC SURVEY	02/25/21	N/A
2.10	OVERALL SITE LAYOUT PLAN	02/26/21	03/17/21
2.11	SITE LAYOUT PLAN	02/26/21	03/17/21
2.21	GRADING, DRAINAGE & UTILITY PLAN	02/26/21	03/17/21
2.31	SOIL EROSION AND SEDIMENT CONTROL PLAN	02/26/21	03/17/21
2.41	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	02/26/21	N/A
2.61	LANDSCAPE PLAN	02/26/21	N/A
2.71	LIGHTING PLAN	02/26/21	03/17/21
3.01	DETAIL SHEET	02/26/21	N/A
3.02	DETAIL SHEET	02/26/21	03/17/21
3.03	DETAIL SHEET	02/26/21	N/A
3.04	DETAIL SHEET	02/26/21	N/A
ARCHITECTURAL SITE PLAN SET			
SHEET	SHEET TITLE	PLAN DATE	LATEST REVISION
A101	PROPOSED FLOOR PLAN	01/15/21	02/25/21
A102	PROPOSED ELEVATIONS	01/15/21	02/25/21

Rev. #:	Date	Description

Project:
BROOKSIDE SHOPPING CENTER
4531-4577 MAIN STREET
BRIDGEPORT, CT

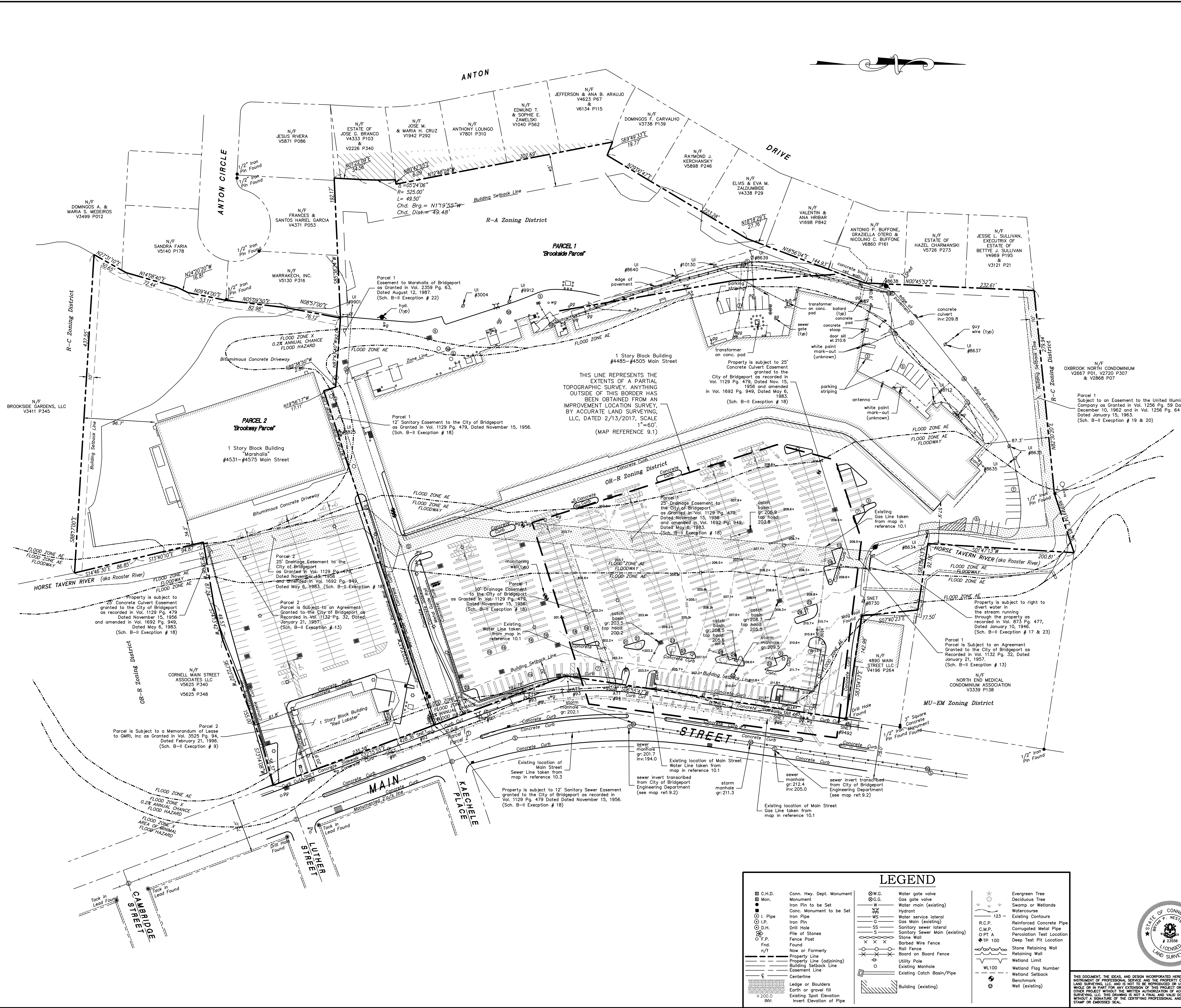
Sheet Title:	Sheet #:
COVER SHEET	0.00



LOCATION MAP SCALE: 1"=800'

GENERAL SURVEY NOTES

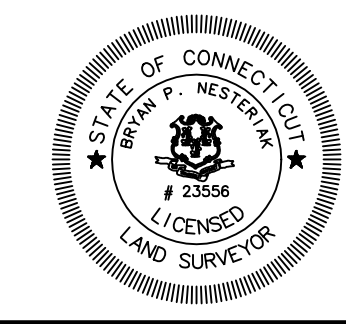
- 1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATION OF CONNECTICUT STATE AGENCIES, SECTION 20-300b-1 THROUGH 20-300b-20, EFFECTIVE OCTOBER 26, 2018, AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
2. THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES. IT IS NOT TO BE CONSTRUED AS A PROPERTY/BOUNDARY OR LIMITED PROPERTY/BOUNDARY SURVEY AND IS SUBJECT TO SUCH FACTS AS SAID SURVEYS MAY DISCLOSE.
3. THIS IS A PARTIAL TOPOGRAPHIC SURVEY, THE PURPOSE OF WHICH IS TO SHOW EXISTING TOPOGRAPHIC CONDITIONS WITHIN AN AREA OF THIS PROPERTY.
4. THE SURVEY CONFORMS TO HORIZONTAL CLASS A-2 ACCURACY STANDARDS. VERTICAL DATA CONFORMS TO CLASS V-2 STANDARDS. TOPOGRAPHIC DATA CONFORMS TO CLASS T-2 STANDARDS. CONTOURS AND ELEVATIONS REFER TO NAVD 88 DATUM.
5. PROPERTY IS ALSO KNOWN AS CITY OF BRIDGEPORT TAX LOTS 608 & 616 ON ASSESSORS MAP 81 BLOCK 2509. OWNER OF RECORD: BROOKSIDE (E&A) LLC.
6. PROPERTY LIES IN ZONING DISTRICT "OR-R" AND "R-A".
7. A PORTION OF THE PARCEL LIES WITHIN FLOOD ZONE AE AND WITHIN 0.2% FLOOD HAZARD ZONE X (NO. ELEV.) AS SHOWN ON FEMA FIRM MAP 0901C0426F, EFFECTIVE DATE JUNE 18, 2010.
8. THE LOCATION OF UNDERGROUND UTILITIES, OTHER THAN DEPICTED HEREON, IF ANY, IS UNKNOWN.
9. MAP REFERENCE.
9.1. PLAN ENTITLED "IMPROVEMENT LOCATION SURVEY OF BROOKSIDE SHOPPING CENTER 4531-4575 MAIN STREET BRIDGEPORT, CONNECTICUT." SCALE: 1"=60'. DATED 2/13/2017. PREPARED BY ACCURATE LAND SURVEYING, LLC WOODBRIDGE, CONNECTICUT.
9.2. PLAN ENTITLED "WPCA MAP 5558-B MAIN STREET, BRIDGEPORT." ON FILE AT CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.



THIS LINE REPRESENTS THE EXTENTS OF A PARTIAL TOPOGRAPHIC SURVEY. ANYTHING OUTSIDE OF THIS BORDER HAS BEEN OBTAINED FROM AN IMPROVEMENT LOCATION SURVEY BY ACCURATE LAND SURVEYING, LLC, DATED 2/13/2017, SCALE 1"=60'. (MAP REFERENCE 9.1)

LEGEND

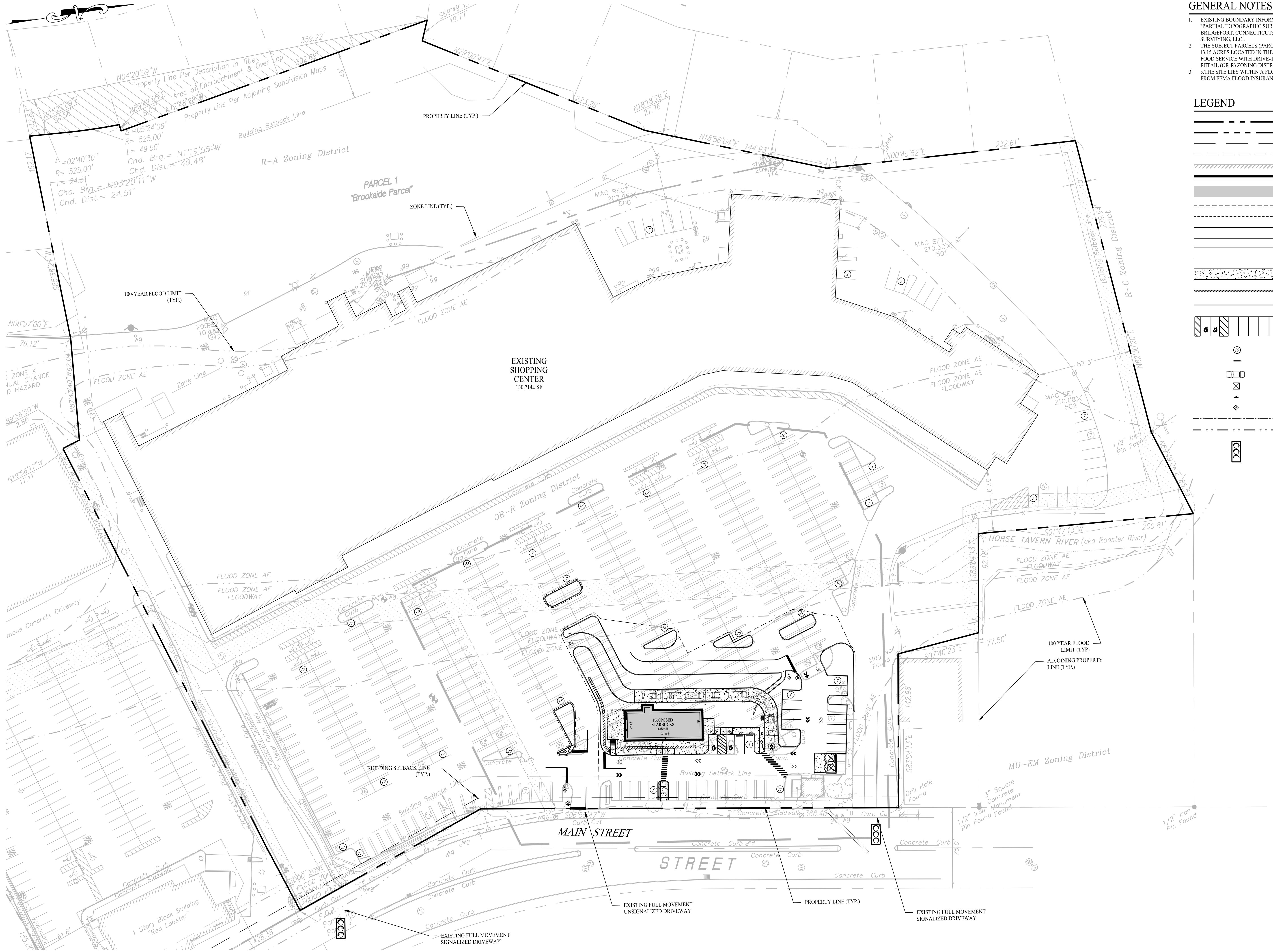
Table with 4 columns: Symbol, Description, Symbol, Description. Includes items like C.H.D., Mon., Iron Pipe, Property Line, Water gate valve, Gas gate valve, Water main, etc.



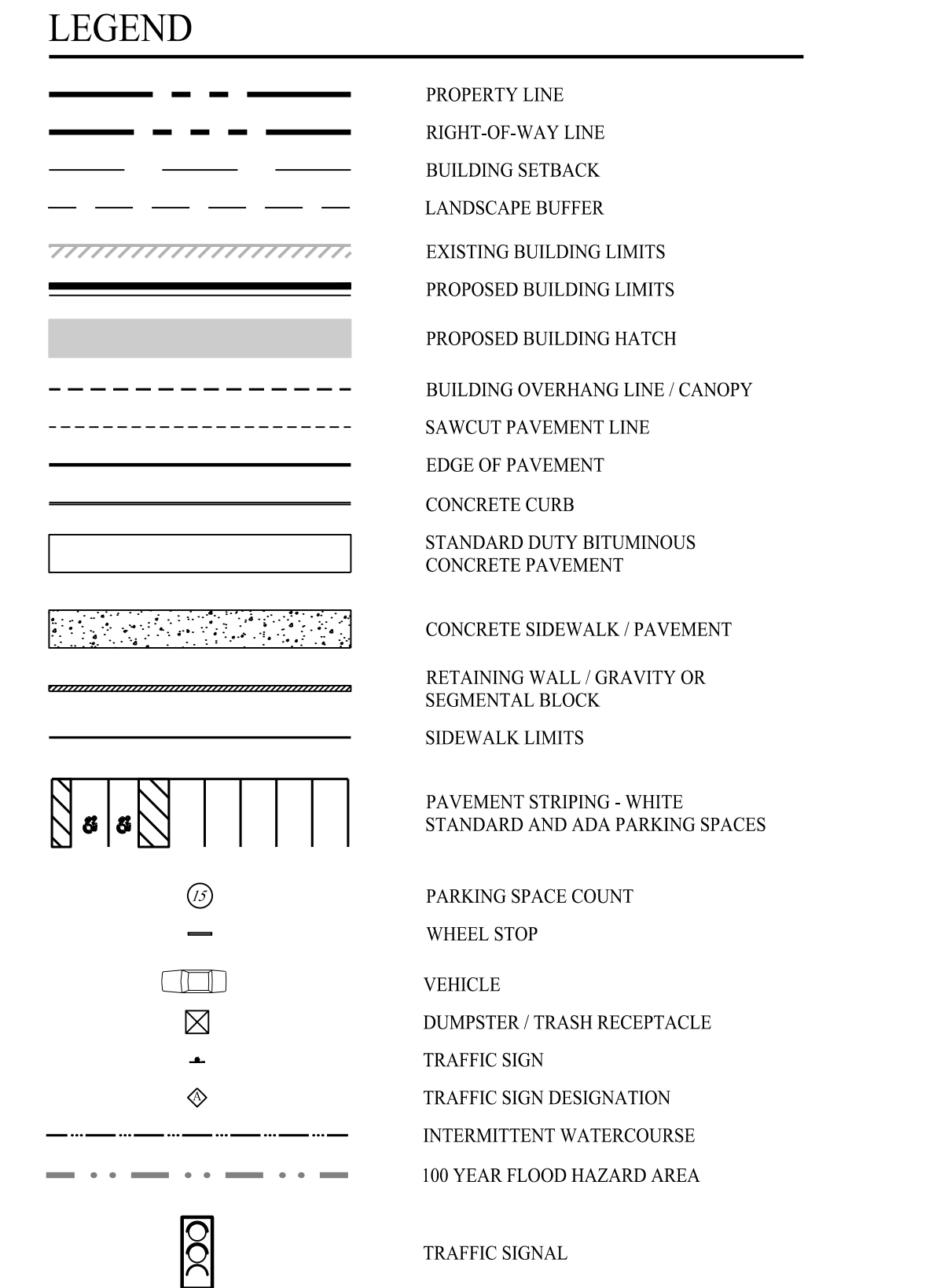
TO: EDENS BROOKSIDE (E&A), LLC 21 CUSTOM HOUSE STREET SUITE 450 BOSTON, MA 02110
DATE: 2/25/2021
DRAWING NO.: 1 of 1
JOB NO.: 483

Revision table with columns: No., Date, REVISION DESCRIPTION. Includes title block for 'PARTIAL TOPOGRAPHIC SURVEY' and 'ACCURATE LAND SURVEYING, LLC'.

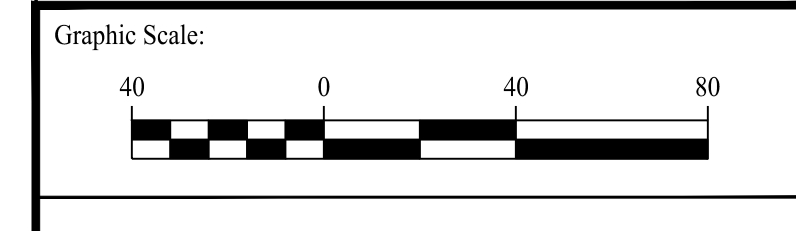
THIS DOCUMENT, THE IDEAS AND DESIGN INCORPORATED HEREON IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND THE PROPERTY OF ACCURATE LAND SURVEYING, LLC AND IS NOT TO BE REPRODUCED OR USED IN WHOLE OR IN PART FOR ANY EXTENSION OF THIS PROJECT FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF ACCURATE LAND SURVEYING, LLC. THIS DRAWING IS NOT A FINAL AND VALID DOCUMENT WITHOUT A SIGNATURE OF THE CERTIFYING PROFESSIONAL AND A LIVE WET STAMP OR EMBOSSED SEAL.



- GENERAL NOTES**
- EXISTING BOUNDARY INFORMATION & SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "PARTIAL TOPOGRAPHIC SURVEY OF BROOKSIDE SHOPPING CENTER 4485-4574 MAIN STREET, BRIDGEPORT, CONNECTICUT, DATED: 02/25/2021, SCALE: 1"=40', PREPARED BY ACCURATE LAND SURVEYING, LLC.
 - THE SUBJECT PARCELS (PARCEL ID: 81-2509-0061E) CONSIST OF A TOTAL AREA OF APPROXIMATELY 13.15 ACRES LOCATED IN THE RETAIL (OR-R) ZONING DISTRICT OF BRIDGEPORT, CONNECTICUT. FOOD SERVICE WITH DRIVE-THROUGHS ARE PERMITTED BY SPECIAL PERMIT APPROVAL IN THE RETAIL (OR-R) ZONING DISTRICT.
 - THE SITE LIES WITHIN A FLOOD ZONE HAZARD AREA (ZONE AE). FLOOD INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP NUMBER 25027C0807E, EFFECTIVE DATE 06/18/2010.



Rev. #:	Date:	Description:
1	03/17/21	Utility and Comp. Strg Revisions



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Drawn By:	SWG
Checked By:	PSK
Approved By:	KMS
Project #:	21100801
Plan Date:	02/26/21
Scale:	1" = 40'

Project:
BROOKSIDE SHOPPING CENTER
 4531-4577 MAIN STREET
 BRIDGEPORT, CT

Sheet Title:	Sheet #:
OVERALL SITE PLAN	2.10

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SIGN LEGEND

A 	B 	C 	D 	E 	F
SIZES (IN) 30"	MUTCD # R1-1	SUPPORTS 1	SIZES (IN) 30"x30"	MUTCD # R5-1	SUPPORTS 1
SIZES (IN) 12"x18"	MUTCD # -	SUPPORTS 1	SIZES (IN) 12"x18"	MUTCD # R3-8 (VAN)	SUPPORTS 1
SIZES (IN) 12"x18"	MUTCD # -	SUPPORTS 1	SIZES (IN) 12"x18"	MUTCD # -	SUPPORTS 1
SIZES (IN) 31"x15"	MUTCD # -	SUPPORTS 2			

PROPERTY AREA TABLE

LAND DESCRIPTION - 4531 MAIN STREET	EXISTING CONDITIONS		PROPOSED CONDITIONS	
	AREA	PERCENTAGE	AREA	PERCENTAGE
PERVIOUS SURFACES	154,940± SF	27.1%	161,360± SF	28.1%
IMPERVIOUS SURFACES	418,674± SF	72.9%	412,154± SF	71.9%
TOTAL AREA	573,514± SF		573,514± SF	

PARKING SUMMARY TABLE

PROPOSED PARKING SUMMARY				
BUILDING USE	BLDG. AREA	CITY REQ.	REQUIRED SPACES	PROVIDED SPACES
RETAIL SALES AND SERVICES SHOPPING USE	130,714± SF	4 SPACES / 1,000 SF	523 SPACES	393 SPACES
PROPOSED COFFEE SHOP	2,223± SF	12 SPACES / 1,000 SF	27 SPACES	27 SPACES
PARKING REDUCTION			-169 SPACES	
TOTAL			381 SPACES	420 SPACES

* APPROVED PARKING REDUCTION OF 169 SPACES PER VARIANCE RECORDED IN VOL. 1683, PG. 541, DATED DECEMBER 29, 1982.

ZONING COMPLIANCE TABLE

ZONING DISTRICT: OR-R ZONE	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	10,000 SF	573,514 ± SF	573,514 ± SF
MINIMUM LOT FRONTAGE	60 FT	817 SF	817 FT
MINIMUM FRONT YARD	10 FT	264.1 SF	62.3 FT
MINIMUM SIDE YARD	N/A	57.9 SF	57.9 FT
MINIMUM REAR YARD	N/A	28.1	28.1 FT
MINIMUM LANDSCAPE BUFFER	5 FT	5 FT	5 FT
MAXIMUM BUILDING HEIGHT	45 FT	<40 FT	<40 FT
MAXIMUM FLOOR AREA RATIO	0.3	0.28	0.28

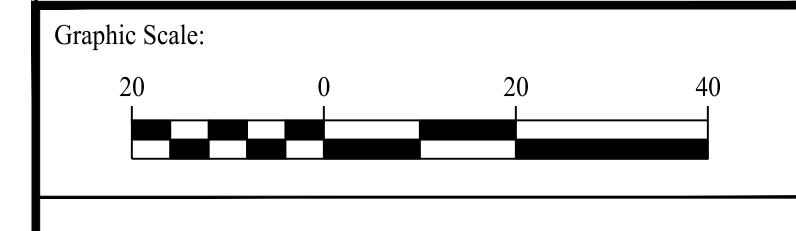
GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE CITY OF WORCESTER FOR THIS PROJECT.
- EXISTING BOUNDARY INFORMATION & SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "PARTIAL TOPOGRAPHIC SURVEY OF BROOKSIDE SHOPPING CENTER 4485-4574 MAIN STREET, BRIDGEPORT, CONNECTICUT, DATED: 02/25/2021; SCALE: 1" = 60'; PREPARED BY ACCURATE LAND SURVEYING, LLC.
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- THE SITE LIES WITHIN A FLOOD ZONE HAZARD AREA (ZONE AE). FLOOD INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP NUMBER 250270807E, EFFECTIVE DATE 06/18/2010.
- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING AND BUILDING EXPANSIONS.
- SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTERED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- THE CONTRACT LIMIT IS THE PROPERTY LINE (AS SHOWN HEREON) UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- PAVEMENT MARKING KEY:
4" SYL = 4" SOLID YELLOW LINE
12" SWSB = 12" SOLID WHITE STOP BAR
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREAS SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2" ON CENTER. HATCHING SYMBOLS AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
- THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
- PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH MASSACHUSETTS DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK
	LANDSCAPE BUFFER
	EXISTING BUILDING LIMITS
	PROPOSED BUILDING LIMITS
	PROPOSED BUILDING HATCH
	BUILDING OVERHANG LINE / CANOPY
	SAWCUT PAVEMENT LINE
	EDGE OF PAVEMENT
	CONCRETE CURB
	STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT
	CONCRETE SIDEWALK / PAVEMENT
	RETAINING WALL / GRAVITY OR SEGMENTAL BLOCK
	SAWCUT PAVEMENT LINE
	SIDEWALK LIMITS
	PAVEMENT STRIPING - WHITE STANDARD AND ADA PARKING SPACES
	PARKING SPACE COUNT
	WHEEL STOP
	VEHICLE
	DUMPSTER / TRASH RECEPTACLE
	TRAFFIC SIGN
	TRAFFIC SIGN DESIGNATION
	INTERMITTENT WATERCOURSE
	100 YEAR FLOOD HAZARD AREA
	TRAFFIC SIGNAL

Rev. #	Date	Description
1	03/17/21	Utility and Comp. Strg Revisions



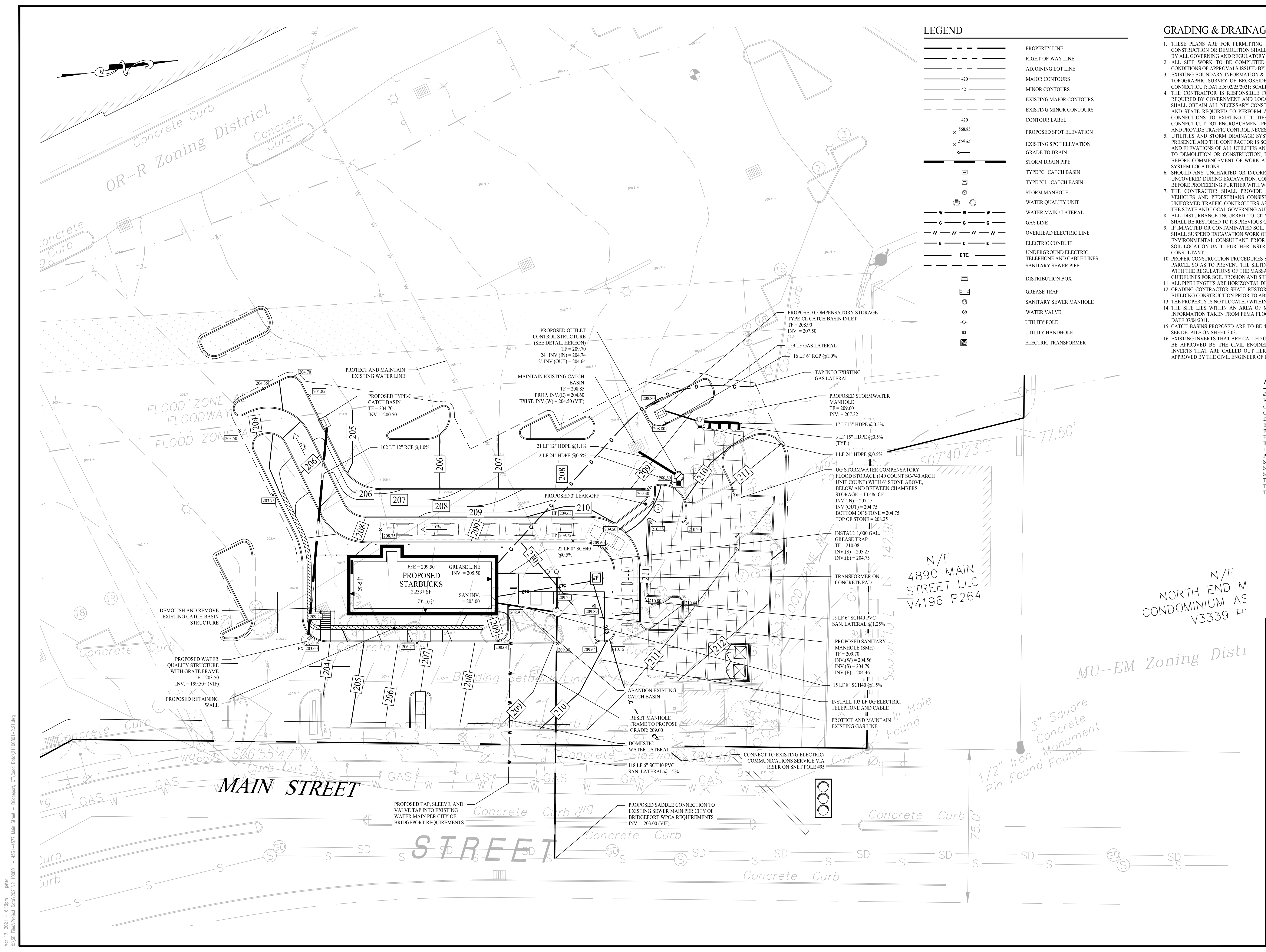
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 351 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

Drawn By: SWG	Checked By: PSK
Approved By: KMS	Project #: 21100801
Plan Date: 02/26/21	Scale: 1" = 20'
Project: BROOKSIDE SHOPPING CENTER	Kevin Solli, P.E. CT 25759

BROOKSIDE SHOPPING CENTER
 4531-4577 MAIN STREET
 BRIDGEPORT, CT

Sheet Title: SITE LAYOUT PLAN	Sheet #: 2.11
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LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	MAJOR CONTOURS
	MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	CONTOUR LABEL
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	STORM DRAIN PIPE
	TYPE "C" CATCH BASIN
	TYPE "CL" CATCH BASIN
	STORM MANHOLE
	WATER QUALITY UNIT
	WATER MAIN / LATERAL
	GAS LINE
	OVERHEAD ELECTRIC LINE
	ELECTRIC CONDUIT
	UNDERGROUND ELECTRIC LINE
	TELEPHONE AND CABLE LINES
	SANITARY SEWER PIPE
	DISTRIBUTION BOX
	GREASE TRAP
	SANITARY SEWER MANHOLE
	WATER VALVE
	UTILITY POLE
	UTILITY HANDHOLE
	ELECTRIC TRANSFORMER

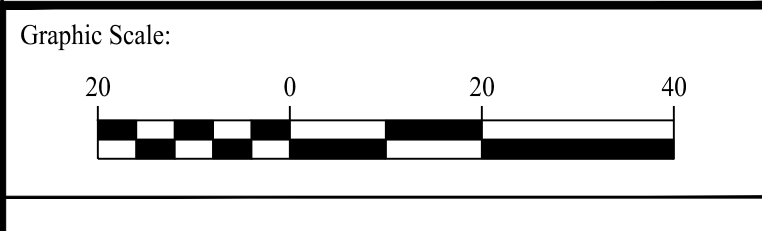
GRADING & DRAINAGE NOTES

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- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS FROM LOCAL GOVERNING AUTHORITIES AND STATE REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, EXCEPT CONNECTICUT DOT ENCROACHMENT PERMIT BOND, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- ALL DISTURBANCE INCURRED TO CITY, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO ABSE AND PAVING OPERATIONS COMMENCING.
- THE PROPERTY IS NOT LOCATED WITHIN A ZONE II.
- THE SITE LIES WITHIN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X - UNHATCHED). FLOOD INFORMATION TAKEN FROM FEMA FLOOD INSURANCE RATE MAP NUMBER 25027C0807E, EFFECTIVE DATE 07/04/2011.
- CATCH BASINS PROPOSED ARE TO BE 4 FOOT DEEP SUMP CATCH BASINS WITH HOODED OUTLETS, SEE DETAILS ON SHEET 3.03.
- EXISTING INVERTS THAT ARE CALLED OUT HEREON TO BE FIELD VERIFIED BY CONTRACTOR ARE TO BE APPROVED BY THE CIVIL ENGINEER OF RECORD PRIOR TO INSTALLATION. ALL PROPOSED INVERTS THAT ARE CALLED OUT HEREON TO BE FIELD VERIFIED BY CONTRACTOR ARE TO BE APPROVED BY THE CIVIL ENGINEER OF RECORD.

ABBREVIATIONS

@	AT
BC	BOTTOM OF CURB
C	CURB INLET
CB	CATCH BASIN
DMH	DRAINAGE MANHOLE
EX	EXISTING
FPE	FINISHED FLOOR ELEVATION
HDPE	HIGH-DENSITY POLYETHYLENE
INV	INVERT
LF	LINEAR FEET
PR	PROPOSED
S	SLOPE
SSWR	SANITARY SEWER
STRM	STORMWATER
TC	TOP OF CURB
TF	TOP OF FRAME
TYP	TYPICAL

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1	03/17/21	Utility and Comp. Strg Revisions



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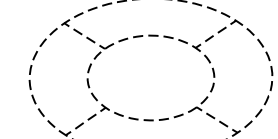



Drawn By:	SWG
Checked By:	PSK
Approved By:	KMS
Project #:	21100801
Plan Date:	02/26/20
Scale:	1" = 20'
Project:	BROOKSIDE SHOPPING CENTER

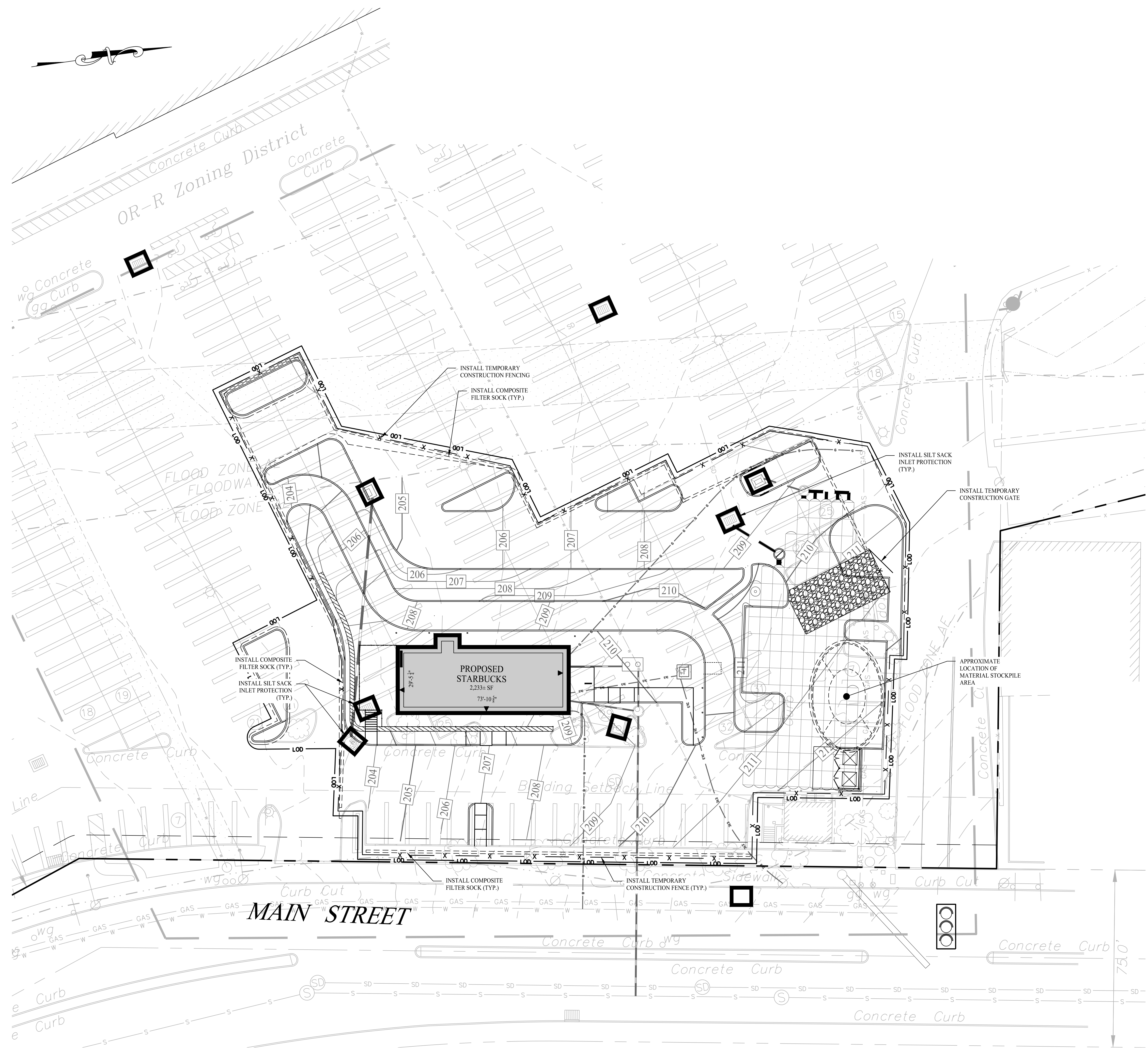
BROOKSIDE SHOPPING CENTER
 4531-4577 MAIN STREET
 BRIDGEPORT, CT

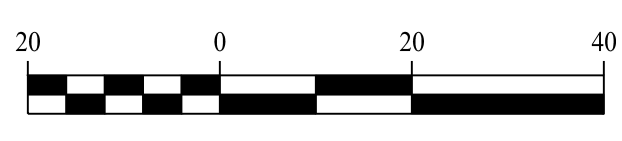
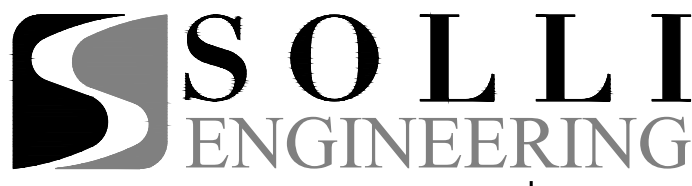
Sheet Title: **GRADING AND DRAINAGE PLAN** Sheet #: **2.21**

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LEGEND

-  PROPERTY LINE
-  RIGHT-OF-WAY LINE
-  ADJOINING LOT LINE
-  COMPOSITE FILTER SOCK
-  CONSTRUCTION FENCE
-  STOCKPILE AREA
-  LIMIT OF DISTURBANCE
-  SILT SACK INLET PROTECTION
-  CONSTRUCTION ENTRANCE



	03/17/21 Utility and Comp. Strg Revisions Rev. #: Date Description
Graphic Scale: 	
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Drawn By: MB Checked By: PSK Approved By: KMS Project #: 21100801 Plan Date: 02/18/21 Scale: 1" = 20' Project:	Kevin Solli, P.E. CT 25759
BROOKSIDE SHOPPING CENTER 4531-4577 MAIN STREET BRIDGEPORT, CT	
Sheet Title: SOIL EROSION & SEDIMENT CONTROL PLAN	Sheet #: 2.31

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SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION.

CONSTRUCTION SCHEDULE
THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SUMMER 2021 WITH COMPLETION ANTICIPATED BY SUMMER 2022. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL SITE CLEARING OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN
THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE LAND USE AGENTS OF THE CITY OF BRIDGEPORT AND PROJECT ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

OPERATION REQUIREMENTS

- CLEARING AND GRUBBING OPERATIONS:
 - ALL SEDIMENTATION AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING OPERATIONS.
 - FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL DEVICES.
 - FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR PROCESSED AGGREGATE STONE AS SOON AS PRACTICAL.
 - ALL REMOVED MATERIALS AND EXCESS MATERIAL SHALL BE FULLY REMOVED FROM THE SITE AND TAKEN TO AN APPROVED AND/OR ACCEPTABLE DISPOSAL LOCATION.

ROUGH GRADING OPERATIONS:

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
- ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

FILLING OPERATIONS:

- PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
- ALL FIELD MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #20 SIEVE (BANK RUN), SHALL BE PLACED IN LIFT THICKNESS NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS. LIFTS SHALL BE COMPACTED TO 90% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT.
- AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT TRAPS AND BASIN.

PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND ROADWAY CONSTRUCTION OPERATIONS:
1. SILT FENCES SHALL BE INSTALLED AT THE DOWNSHILL SIDES OF TEMPORARY SEDIMENT TRAP AND BASIN SLOPES, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES MAY BE USED IF SHOWN ON THE EROSION CONTROL PLANS OR IF DIRECTED BY THE PROJECT ENGINEER.

FINAL GRADING AND PAVING OPERATIONS:

- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, RITE MESH, AND VEGITATION. ALL SLOPES SHALL BE SEEDED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TYPED IS ESTABLISHED.
- PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
- AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN FULLY ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE CITY OF BRIDGEPORT.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES:

- COMPOSITE FILTER SOCK:
 - A. PLACE COMPOSITE FILTER SOCK ON THE UPWIND SIDE OF THE DESIGNATED FENCE LINE LOCATION.
 - B. WHEN APPLICABLE DRIVE POST INTO FILTER SOCK. IN AREAS OF PAVEMENT PLACE SAND BAGS ON TOP OF FILTER SOCK. HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.

- SILT SACK INLET PROTECTION:
 - A. REMOVE CATCH BASIN GRATE AND PROPERLY PLACE THE SILT SACK INTO THE FRAME OF THE CATCH BASIN.
 - B. PLACE GRATE BACK ONTO FRAME AND ENSURE NO PORTIONS OF THE SILT SACK HAVE SAGGED INTO THE CATCH BASIN.
 - C. ONCE GRATE IS PLACED BACK ONTO FRAME OBSERVE TO SEE IF SILT SACK IS INSTALLED IN A MANNER THAT WILL ALLOW FOR SEDIMENT TO BE FILTERED OUT DURING STORM EVENTS.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES:

- COMPOSITE SOCK:
 - A. ALL COMPOSITE SOCKS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF ANY WASHED OUT OR ERODED SLOPES SHALL BE MADE PROMPTLY AND THE AREA SHALL BE RESEED AS NECESSARY.
 - B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE COMPOSITE SOCK WHEN THEY EXCEED A HEIGHT OF 1/2 THE SILT SOCK.

- SILT SACK INLET PROTECTION:
 - A. ALL SILT SACK INLET PROTECTION DEVICES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETRIORATE SILT SACKS AND SACKS THAT APPEAR TO HAVE AN EXCESS OF SEDIMENT SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
 - B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM THE SILT SACKS WHEN THEY EXCEED A COMPILE INCHES OF SEDIMENT WITHIN THE CATCH BASIN.

EROSION AND SEDIMENT CONTROL PLAN:

- CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS, SILT SACKS, SILTATION FENCE, OR OTHER INLET PROTECTION DEVICES PER DETAILS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE

STANDARDS AND SPECIFICATIONS OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL, LATEST EDITION.

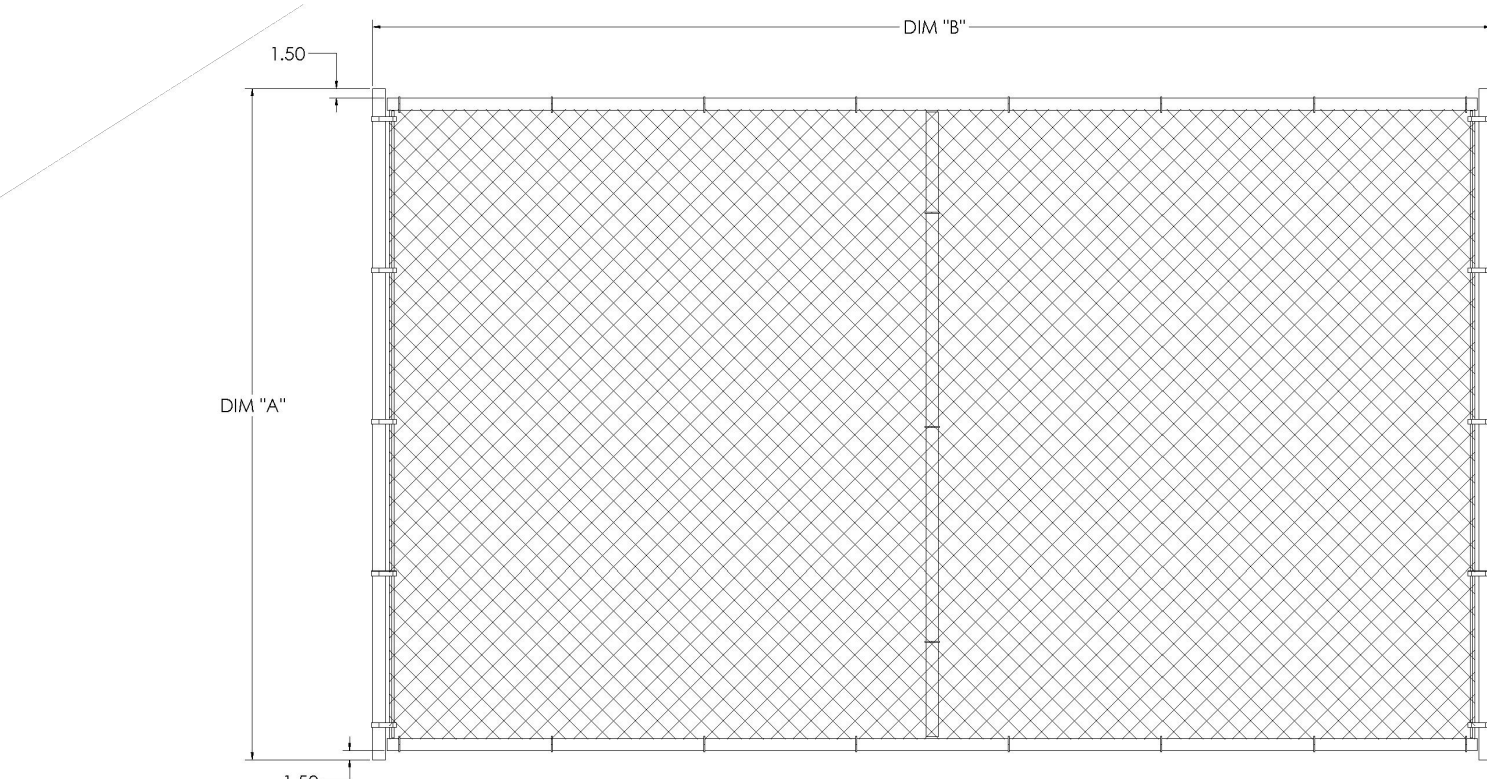
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED AS DIRECTED BY THE CIVIL ENGINEER OR LOCAL GOVERNING OFFICIALS.
- SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE EROSION CONTROL PLANS, NOTES, AND DETAILS.
- THE ENGINEER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN.

CONSTRUCTION SEQUENCE:

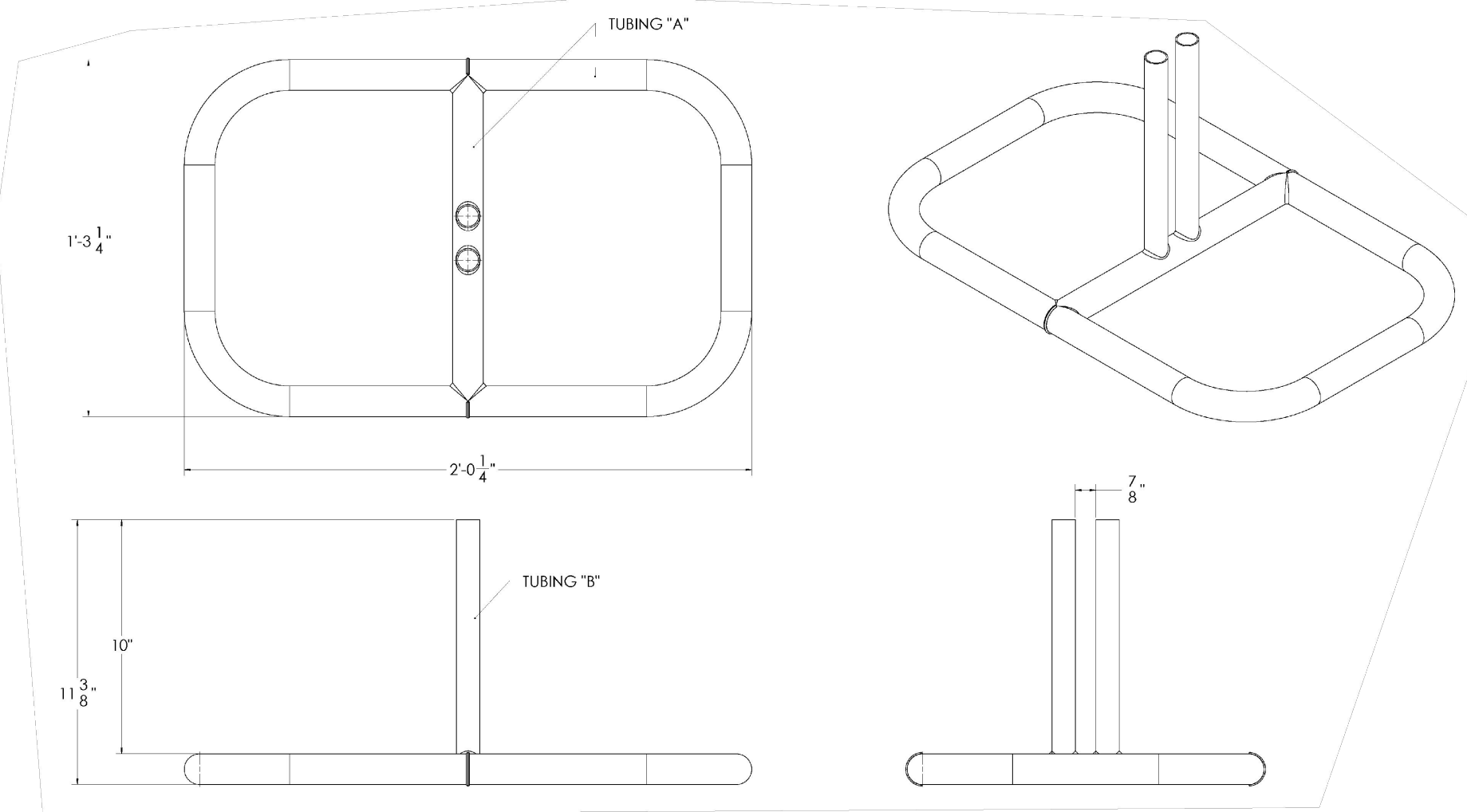
- CONTACT CITY OF BRIDGEPORT AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR RELATED ACTIVITY ON THIS PROJECT.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE CITY OF BRIDGEPORT AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERMITTER SILT FENCE.
- WRAP FILTER FABRIC AROUND GRATES OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AND OTHER EROSION CONTROL DEVICES INDICATED ON THESE PLANS AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT BASINS AND SEDIMENT TRAPS IF REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
- CLEAR AND GRUB SITE, STOCKPILE CHIPS, STOCKPILE TOPSOIL. INSTALL EROSION CONTROLS AT STOCKPILES.
- COMMENCE EARTHWORK, CONSTRUCT FILL SLOPE AND RETAINING WALLS. INSTALL ADDITIONAL EROSION CONTROLS AS WORK PROGRESSES AND CONTINUE STORM DRAINAGE SYSTEM CONSTRUCTION, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- CONSTRUCTION STAGING ON ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
- ROUGH GRADING AND FILLING OF SUBGRADES AND SLOPES.
- IMMEDIATELY UPON EXCESSING UNPROCESSED CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SOIL OR BORROW AREA HAS AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE CITY OF BRIDGEPORT AND WHICH IS BEING IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL ALSO NOTIFY THE CITY OF BRIDGEPORT IN WRITING OF ALL RECEIVING SOIL AND BORROW AREAS WHEN THEY HAVE BEEN DESTROYED.
- CONTINUE INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.
- THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES, HAY BALES AND OTHER EROSION CONTROL DEVICES. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.25 INCH OR GREATER). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.25 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPWARD ON SLOPES DURING CONSTRUCTION.
- COMPLETE STORM DRAINAGE SYSTEM.
- INSTALL SITE LIGHTING AND TRASH ENCLOSURE.
- COMPLETE GRADING TO SUBGRADES AND CONSTRUCT PARKING AREA SUBGRADE.
- CONSTRUCT CURB, PAVEMENT STRUCTURE AND SIDEWALKS.
- CONDUCT FINAL GRADING.
- CONSTRUCT OFF SITE ROADWAY AND SIGNAL IMPROVEMENTS.
- PAVING OF PARKING AREAS AND DRIVEWAYS.
- FINAL FINISH GRADING OF SLOPE AND NON-PAVED AREAS.
- PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED APRIL 15TH UNTIL 10TH OF AUGUST 15TH OF EACH YEAR. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1 AND AS SHOWN ON LANDSCAPE PLANS OR EROSION CONTROL PLANS. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 40 LBS/1000 SF. FERTILIZE WITH 10-10-10 AT 10 LBS. OF NITROGEN PER 1000 SF. AND LIME AT 10 LBS/1000 SF. (MAX.)
- LANDSCAPE ISLANDS INTERIOR NON-PAVED AREA AND PERIMETER AREAS.
- INSTALL SIGNING AND PAVEMENT MARKINGS.
- CLEAN STORM DRAINAGE PIPE STRUCTURES OF DEBRIS AND SEDIMENT.
- UPON DIRECTION OF CITY OF BRIDGEPORT AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

SEDIMENT AND EROSION CONTROL NOTES:

- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES. INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN. INFORMING THE GOVERNING AUTHORITY OF WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- THE EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH THE CITY OF BRIDGEPORT TO ENSURE IMPLEMENTATION OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE CITY OF BRIDGEPORT FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING. ANY OTHERS DIRECTED BY THE OWNER.
- VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER. TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (EAS) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE: A) A SUMMARY OF THE SITE CONDITIONS, EAS BMPs, AND COMPLIANCE; AND B) THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION.
- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, PREPARED BY CTDEP, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE CITY OF BRIDGEPORT. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, CIVIL ENGINEER, CITY OF BRIDGEPORT, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.25 INCHES OR GREATER RAINFALL OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHEN NECESSARY.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH/RIP RAP, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- INSTALL PERIMETER SEDIMENT CONTROL STRUCTURE TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNSHILL SIDE OF THE FENCE.
- THE CONTRACTOR SHALL STRIP AND STOCKPILE FINE SILT FOR FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF FILE. PILES SHALL BE TEMPORARILY SEEDDED IF FILE IS REMAIN IN PLACE FOR MORE THAN 7 DAYS.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADDED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE DISPOSED WITH TACKFIBER.
- SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CONTRACT DRAWINGS AND MANUFACTURERS RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURERS INSTRUCTION. PARTICULARLY BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENFORCEMENT, AMOCO SILT STOP OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
- DIRECT ALL DRAINAGE PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT TRAPS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM DRAINAGE SYSTEM OR SURFACE WATERS FROM SEDIMENT CONTROL SHALL BE CLEAR.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM DURING CONSTRUCTION). OTHER BEST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SLUMPS AS NECESSARY, AND AS DIRECTED BY THE CIVIL ENGINEER OR OWNERS CONSTRUCTION REPRESENTATIVE. REMOVE ACCUMULATED SEDIMENT FROM BEHIND HAY BALES AND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE HAY BALE OR ONE FOOT AT SILT FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON OR OFF SITE.
- IMMEDIATELY UPON DISCOVERY OF EXISTING CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF.
- CONTRACTOR SHALL NOTIFY EXCAVATOR'S MICH UTILITY AND STORM PIPE TRENCH WORK AS CAN BE COMPLETED. BACKFILL AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.
- ANY STOCKPILES OF STOPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND-BLOWN MATERIAL. HAUL ROADS BOTH INTO AND AROUND THE SITE ARE TO BE SPRAYED AS NEEDED TO SUPPRESS DUST. BURNING HIGH WIND EVENTS GO TO 30 MPH SUSTAINED CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CANCELED IF DUST CONTROL BY BEST MANAGEMENT PRACTICES IS NOT SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY. FILE NOT (NOTICE OF TERMINATION) WITH GOVERNING AUTHORITY RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.

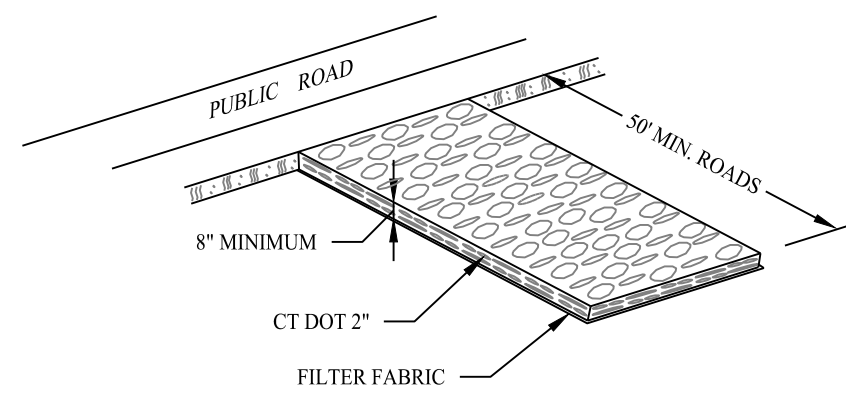


PART NUMBER	DIM. "A"	DIM. "B"	TUBING MATERIAL	CHAIN LINK WIRE GAUGE	DIAMOND SIZE
071050	6'	10'	1-3/8" x 16 Gauge	11.5	2-1/4"
071051	6'	12'	1-3/8" x 16 Gauge	11.5	2-1/4"
071053	8'	10'	1-3/8" x 16 Gauge	11.5	2-1/4"
071072	6'	10'	1-3/8" x 16 Gauge	12.5	2-3/8"
071073	6'	12'	1-3/8" x 16 Gauge	12.5	2-3/8"
071077	6'	10'	1-3/8" x 16 Gauge	11.5	2-3/8"
071078	6'	12'	1-3/8" x 16 Gauge	11.5	2-3/8"



TEMPORARY CONSTRUCTION FENCE

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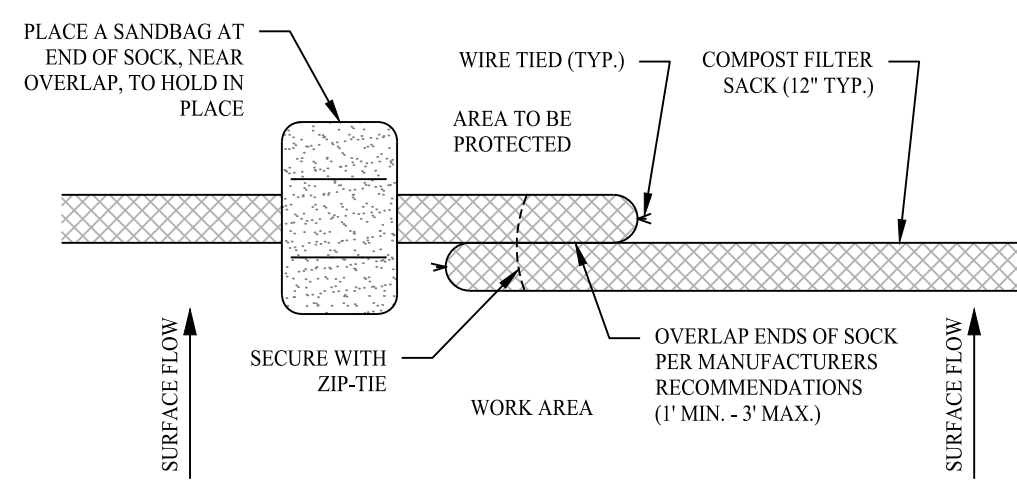


SQUARE MESH SIEVES	CONN. DOT 2" CRUSHED GRAVEL	% FINER	ASTM C-33 NO. 2	% FINER	ASTM C-33 NO. 3	% FINER
2 1/2 INCHES	100	100	90-100	100	100	
2 INCHES	95-100	95	35-70	95-100	95-100	
1 1/2 INCHES	35-70	65	0-15	35-70	35-70	
1 1/4 INCHES	0-25	0	0-1	0-25	0-25	
1 INCHES	0-10	0	0-1	0-1	0-1	
3/4 INCHES	0	0	0-1	0-1	0-1	
1/2 INCHES	0	0	0-1	0-1	0-1	
3/8 INCHES	0	0	0-1	0-1	0-1	

SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CONNECTICUT

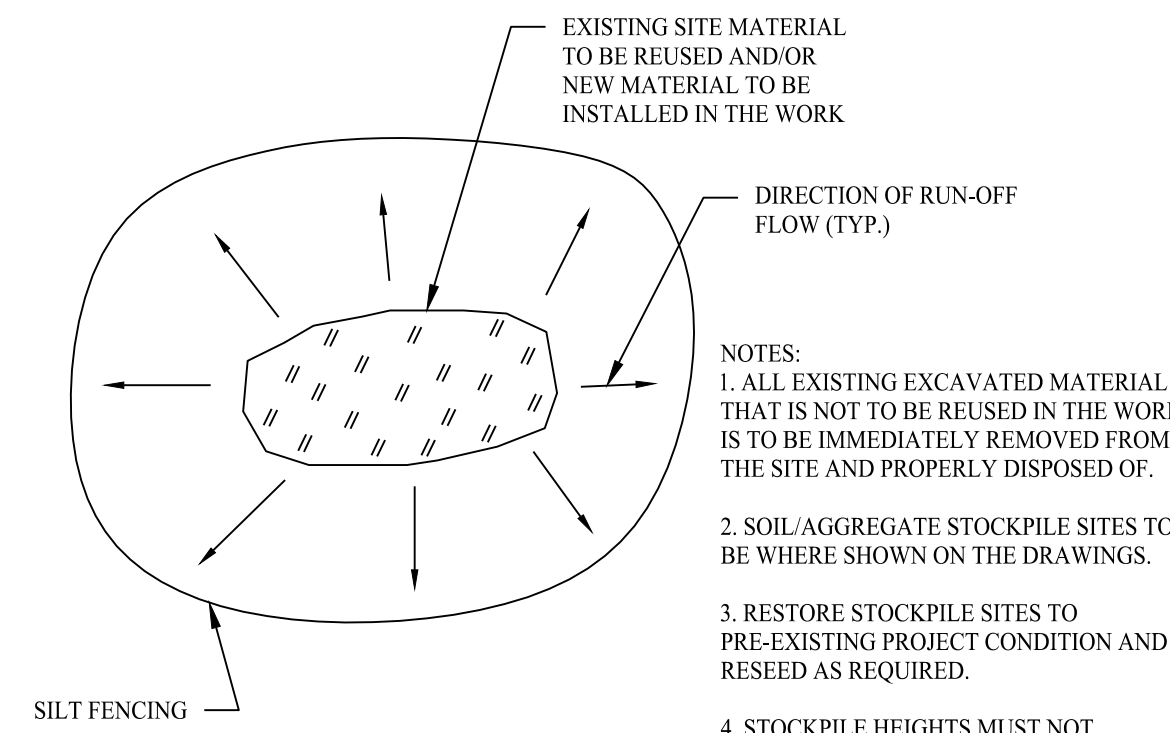
CONSTRUCTION ENTRANCE

SCALE: NTS



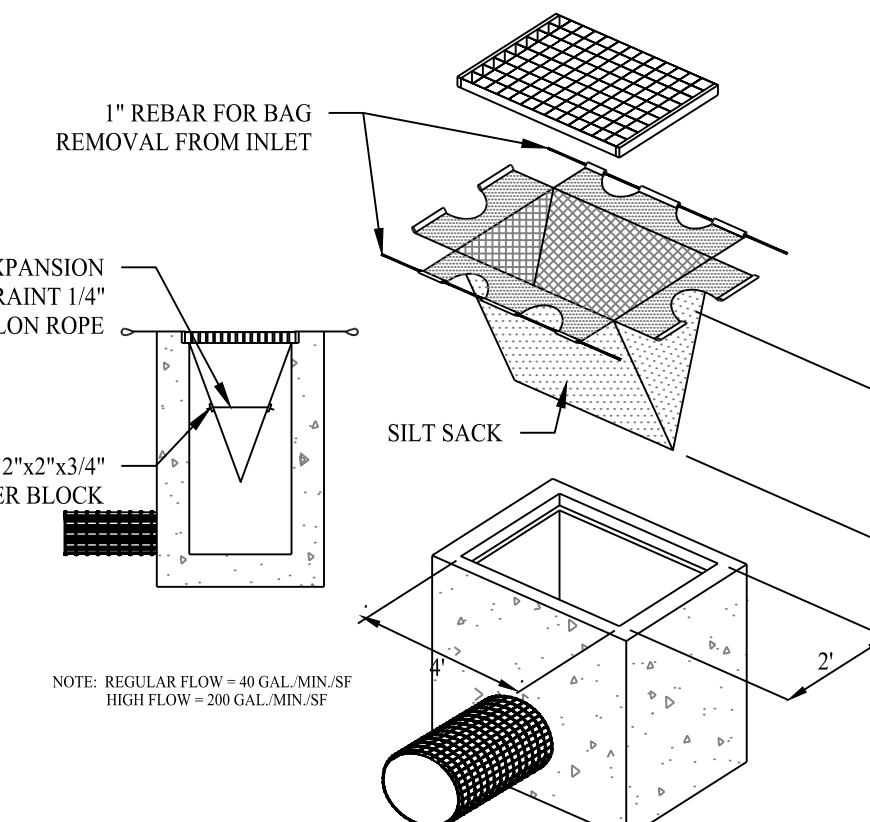
COMPOST FILTER SOCK

SCALE: NTS



STOCKPILE AREA DETAIL

SCALE: NTS



SILT SACK DETAIL

SCALE: NTS

Rev. #: _____ Date _____ Description _____

SOLLI ENGINEERING

501 Main Street, Monroe, CT 06468 T: (203) 880-5455 F: (203) 880-9695
351 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

Drawn By: MB

Checked By: LAM

Approved By: KMS

Project #: 21100801

Plan Date: 02/26/21

Scale: NTS

Project: _____

Kevin Solli, P.E.
CT 25759

BROOKSIDE SHOPPING CENTER

4531-4577 MAIN STREET
BRIDGEPORT, CT

Sheet Title: SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

Sheet #:

2.41

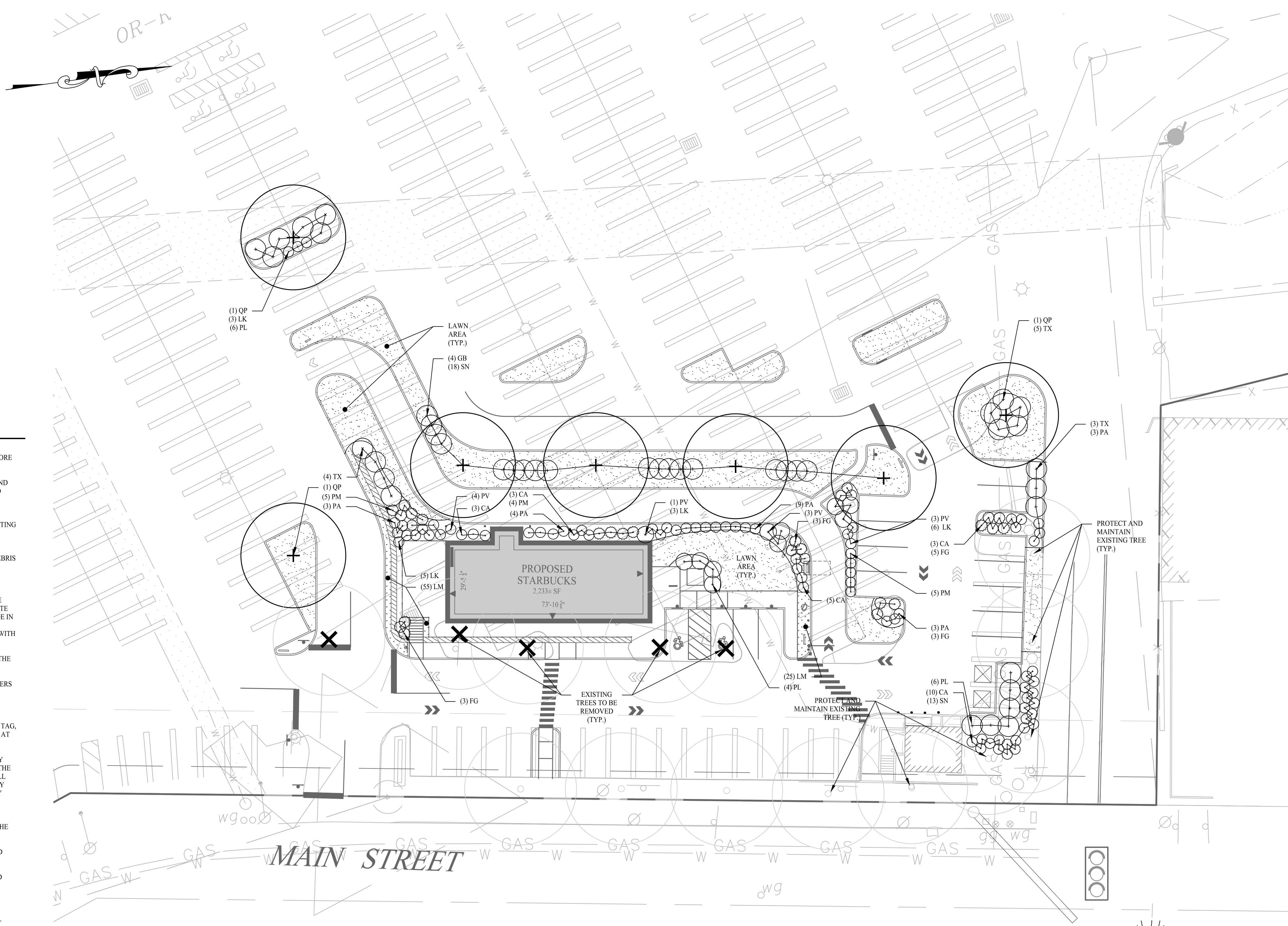
PLANTING SOIL NOTES

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS
 - 3 PARTS SCREENED TOPSOIL
 - 1 PART CLEAN WASHED COARSE SAND
 - 1 PART PEAT HUMUS
 - 5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX
- MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL
- SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR
- TOPSOIL MIX SHALL INCLUDE:
 - 3 PARTS SCREENED TOPSOIL
 - 1 PART SAND
 - 1 PART HUMUS
 - 5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:
 - A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEOUS MATTER.
 - B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.
 - C. MECHANICAL ANALYSIS

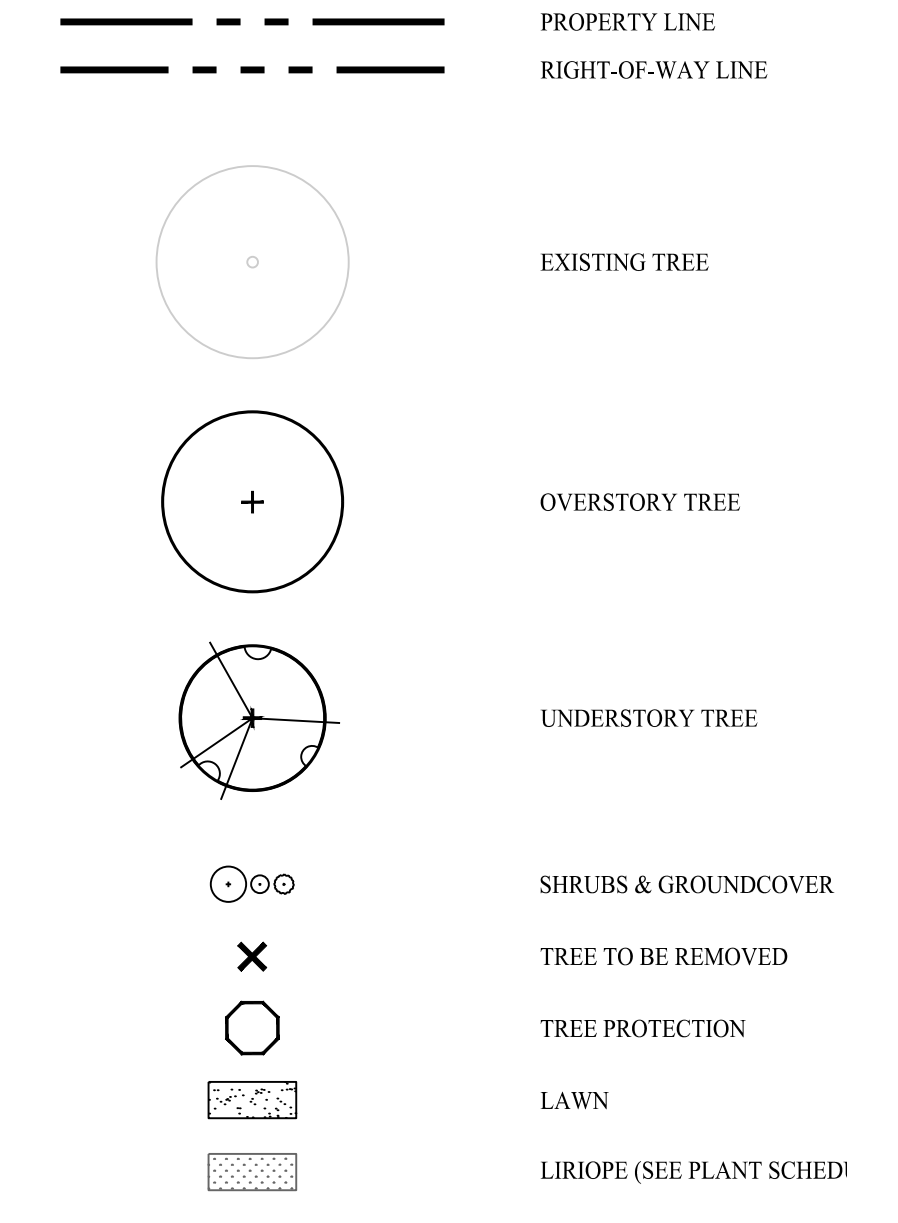
SCREEN SIZE	% BY WEIGHT PASSING
1"	100
3/4"	97 - 100
NO. 200	20 - 65
 - D. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL-TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT - NUTRIENT CONTENT OF TOPSOIL.
 - E. REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.

PLANTING NOTES

- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE. CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMEN'S COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 - 2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT. ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD, WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 3" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.
- TRANSPLANTED MATERIALS TO BE WATERED, HELED IN AND TENDED BY CONTRACTOR UNTIL FINAL PLACEMENT.



LEGEND

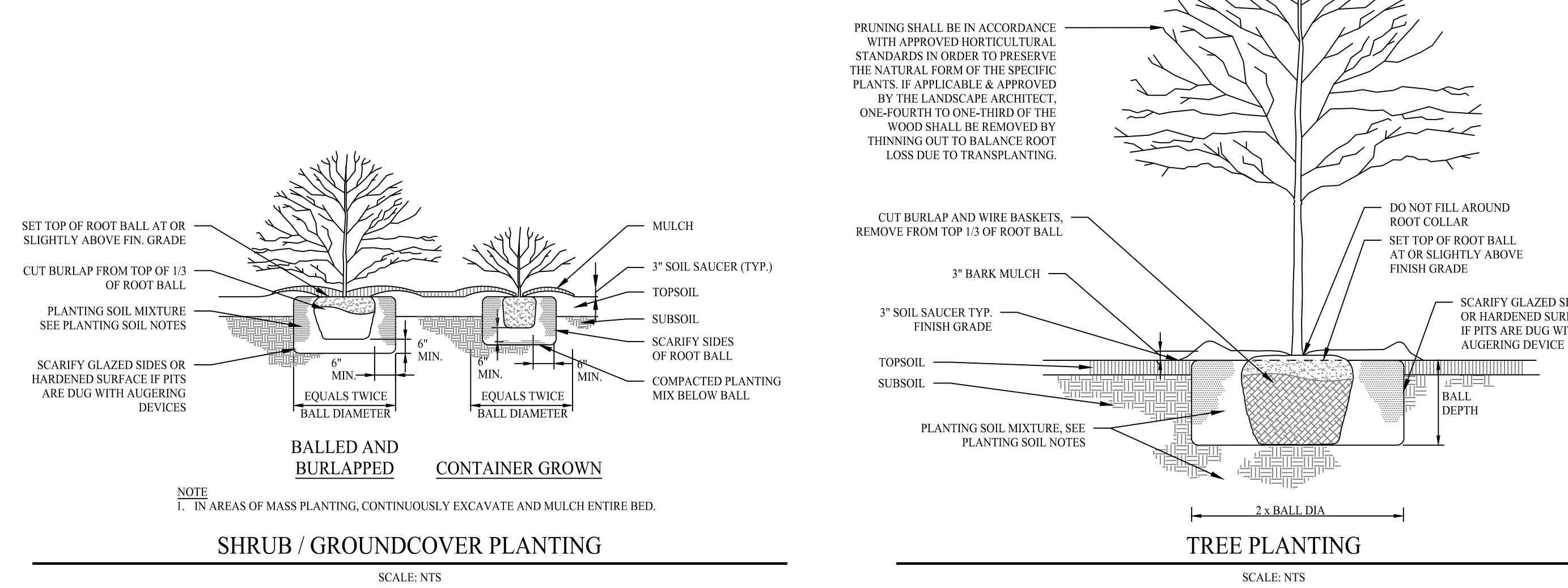


GENERAL NOTES

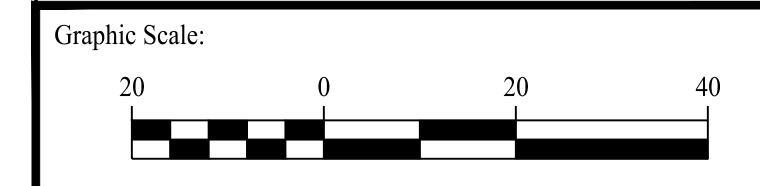
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- CONTRACTOR TO PERFORM ALL SITE WORK PROPOSED HEREON IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITS AND CONDITIONS OF APPROVALS ISSUED FOR THIS PROJECT.
- EXISTING BOUNDARY INFORMATION & SITE CONDITIONS TAKEN FROM A PLAN ENTITLED "PARTIAL TOPOGRAPHIC SURVEY OF BROOKSIDE SHOPPING CENTER 445-474 MAIN STREET, BRIDGEPORT, CONNECTICUT, DATED: 02/25/2021; SCALE: 1" = 60'; PREPARED BY ACCURATE LAND SURVEYING, LLC.

PROPOSED PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	COMMENTS
TREES					
GB	4	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	B&B 2 1/2"-3" CAL	FULL, EXTRA HEAVY
QP	3	QUERCUS PALUSTRIS	PIN OAK	B&B 2 1/2"-3" CAL	FULL, EXTRA HEAVY
UPLAND SHRUBS					
CA	25	CLETHRA ALNIFOLIA 'RUBY SPICE'	SWEET PEPPERBUSH	CONT 18"-24" HT	FULL, EXTRA HEAVY
PM	14	PINUS MUGO 'MOPS'	MUGO PINE	CONT 18"-24" HT	FULL, EXTRA HEAVY
PL	16	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SKIP LAUREL	CONT 24"-30" HT	FULL, EXTRA HEAVY
TX	12	TAXUS X MEDIA 'DENSIFORMIS'	SPREADING YEW	CONT 18"-24" HT	FULL, EXTRA HEAVY
GROUND COVER					
FG	14	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE GRASS	CONT #1 CONT	
LM	80	LIRIOPE MUSCARI	LILY TURF	CONT #1 CONT	
PERENNIALS					
LK	17	LIATRIS SPICATA 'KOBOLD'	KOBOLD LIATRIS	CONT #1 CONT	
GRASSES					
PV	11	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCHGRASS	CONT 1 GAL	
PA	22	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	MINIATURE FOUNTAIN GRASS	CONT 1 GAL	
SN	31	SORGHASTRUM NUTANS 'THIN MAN'	THIN MAN INDIAN GRASS	CONT 1 GAL	
SEED MIXES					
LAWN: PENNINGTON SMART SEED SUN AND SHADE					
APPLICATION RATE PER MFR. RECOMMENDATIONS					



Rev. #:	Date	Description



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 351 Newbury Street, Boston, MA 02115 T: (617) 203-3140 F: (203) 880-9695

Drawn By:	FLO
Checked By:	MFB
Approved By:	KMS
Project #:	21100801
Plan Date:	02/26/21
Scale:	1" = 20'
Project:	Mary Blackburn, P.L.A. CT 1499

BROOKSIDE SHOPPING CENTER
 4531-4577 MAIN STREET
 BRIDGEPORT, CT

Sheet Title:	Sheet #:
LANDSCAPE PLAN	2.61

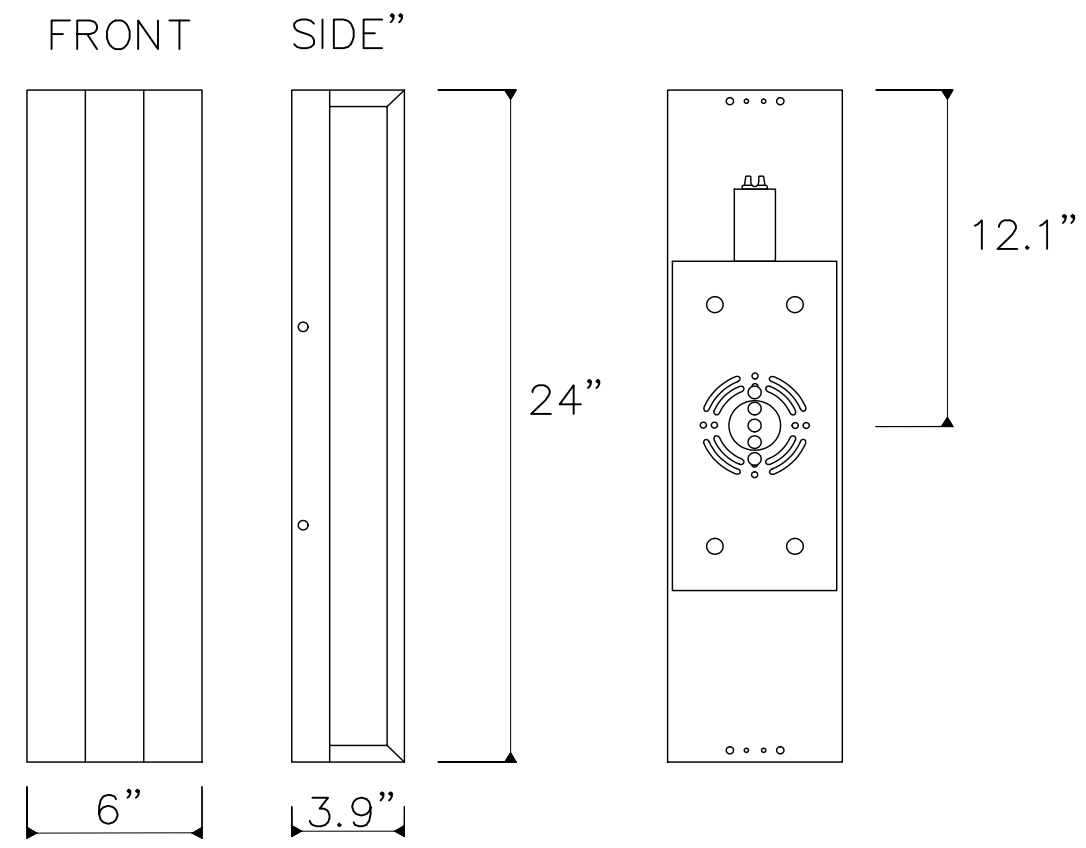
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LIGHTING NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. CONTRACTOR TO PERFORM ALL SITE WORK PROPOSED HEREON IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITS AND CONDITIONS OF APPROVALS ISSUED FOR THIS PROJECT.
3. EXISTING BOUNDARY INFORMATION & SITE CONDITIONS TAKEN FROM AN ALTA/SPS LAND TITLE SURVEY PREPARED FOR "SOLLI ENGINEERING, LLC", TITLED "966 GRAFTON STREET", DATED 01/08/2021, SCALE 1" = 15'. BY NORTHEAST SURVEY CONSULTANTS.
4. ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
5. ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
6. EXISTING POLE LIGHT FIXTURES ARE NOT MODELED AS PART OF THIS PHOTOMETRIC PLAN

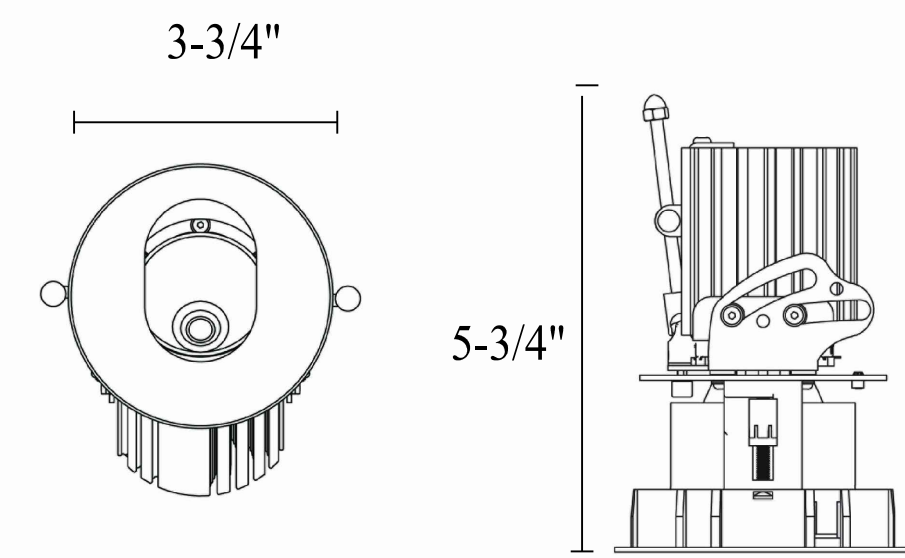
LEGEND

- 0.1 0.1 0.1
- 0.1 0.1 0.0
- 0.1 0.0 0.0
- PROPOSED FOOTCANDLES
- PROPOSED WALL MOUNTED FIXTURES
- CANOPY MOUNTED FIXTURE
- LINE OF 0.2 & 0.0 FOOTCANDLES
- EXISTING LIGHT FIXTURE TO BE REMOVED
- EXISTING LIGHT FIXTURE TO BE MAINTAINED



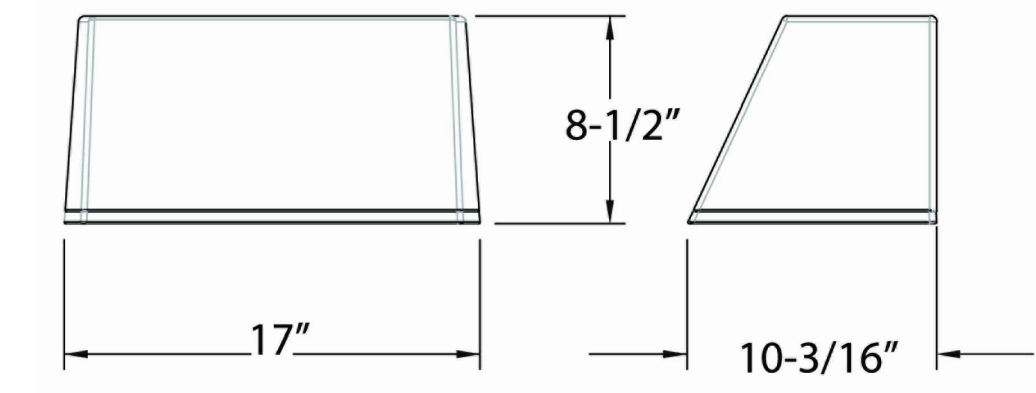
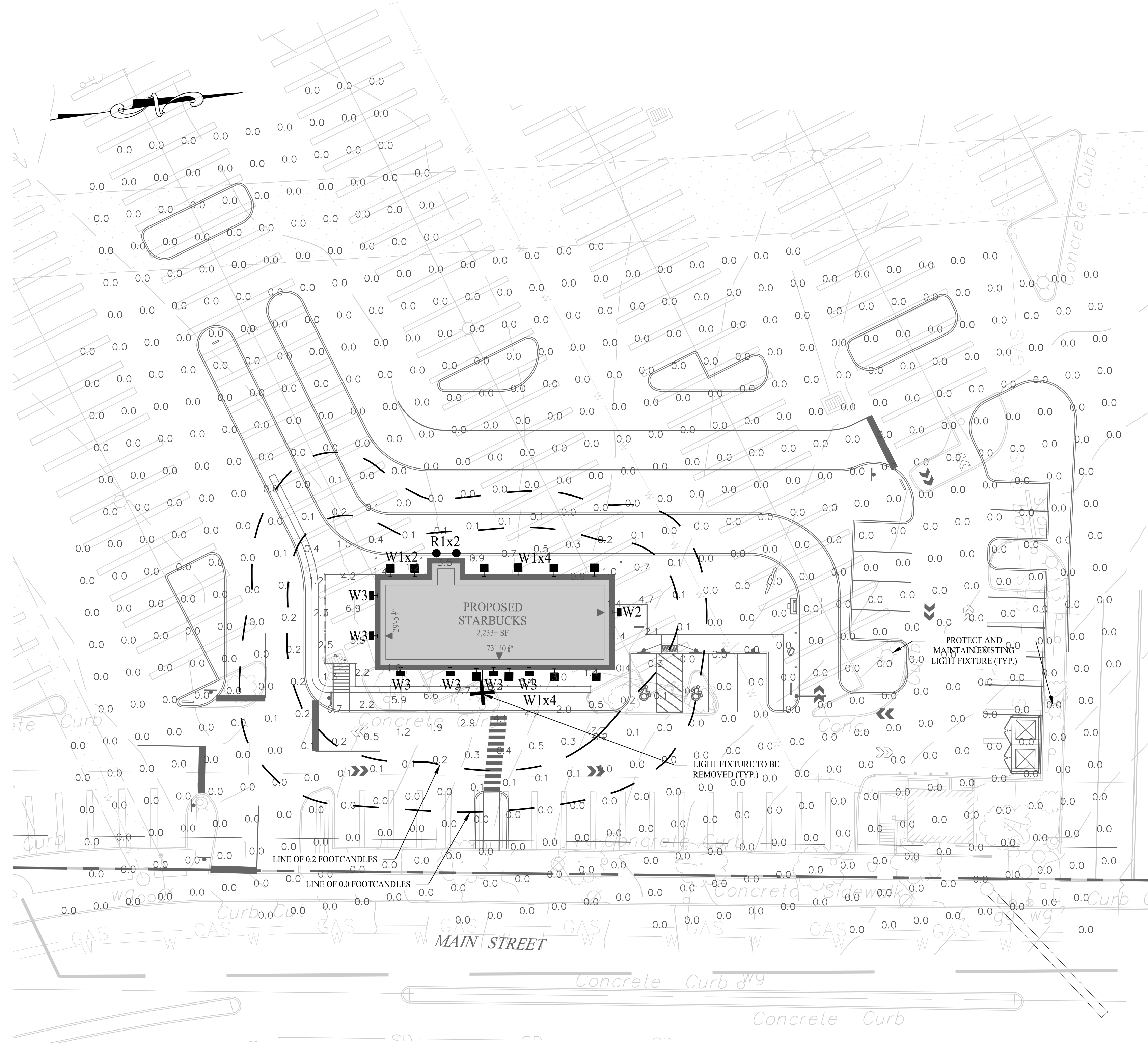
PROPOSED WALL MOUNTED LIGHT FIXTURE - W1

TECH LIGHTING, WINDFALL WALL SCONCE, PRODUCT 7000WWDN - B
SCALE: NTS



PROPOSED WALL MOUNTED LIGHT FIXTURE - R1

ALPHABET LEDRA BRANDS, SERIES NU3 TYPE RAPH, WD
SCALE: NTS

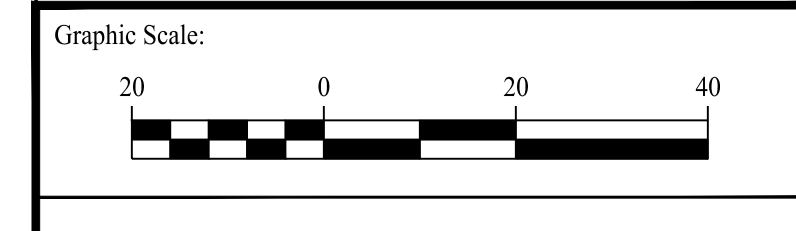


PROPOSED WALL MOUNTED LIGHT FIXTURE - W2 & W3

LITHONIA LIGHTING, WTS LED ARCHITECTURAL WALL SCONCE, SCALE: NTS

FIXTURE SCHEDULE					
QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	LUMENS
10	W1	■	WALL MOUNTED FIXTURE	TECH LIGHTING, WINDFALL WALL SCONCE, PRODUCT 7000WWDN - B	20W 3K LED, 6' MOUNTING HEIGHT 183
1	W2	■	WALL MOUNTED FIXTURE	LITHONIA LIGHTING, WTS LED ARCHITECTURAL WALL SCONCE, SCALE: NTS	12W 4K LED, 7'-6" MOUNTING HEIGHT 1,659
6	W3	■	WALL MOUNTED FIXTURE	LITHONIA LIGHTING, WTS LED ARCHITECTURAL WALL SCONCE, SCALE: NTS	12W 4K LED, 12'-6" MOUNTING HEIGHT 1,659
2	R1	●	CANOPY MOUNTED FIXTURE	ALPHABET LEDRA BRANDS, SERIES NU3 TYPE RAPH, WD	27W 3K LED, 10' MOUNTING HEIGHT 5,665

Rev. #:	Date	Description
1	03/17/21	Utility and Comp. Strg Revisions



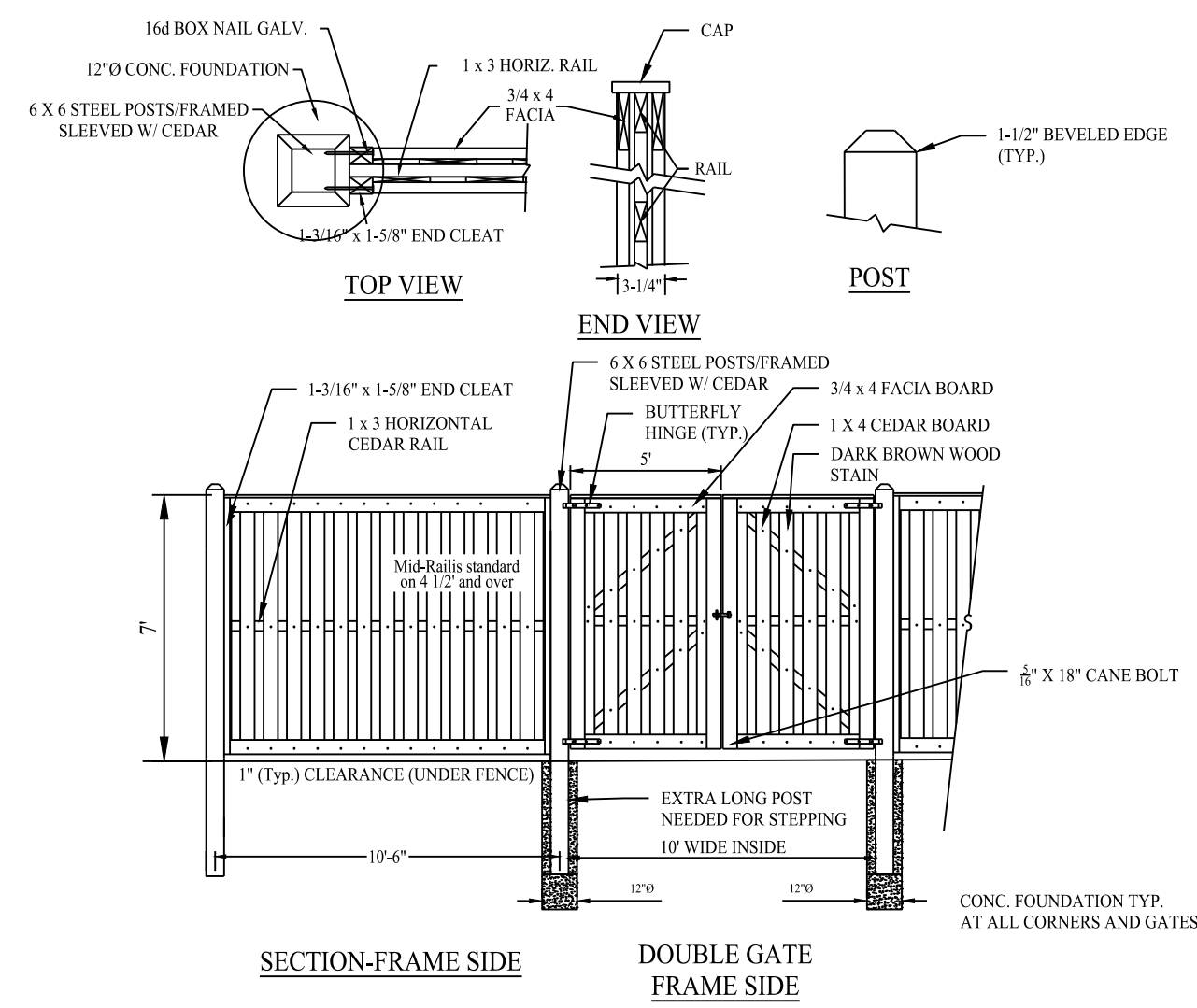
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 351 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

Drawn By:	FLO
Checked By:	MF8
Approved By:	KMS
Project #:	21100801
Plan Date:	02/25/21
Scale:	1" = 20'

Project:
BROOKSIDE SHOPPING CENTER
 4531-4577 MAIN STREET
 BRIDGEPORT, CT

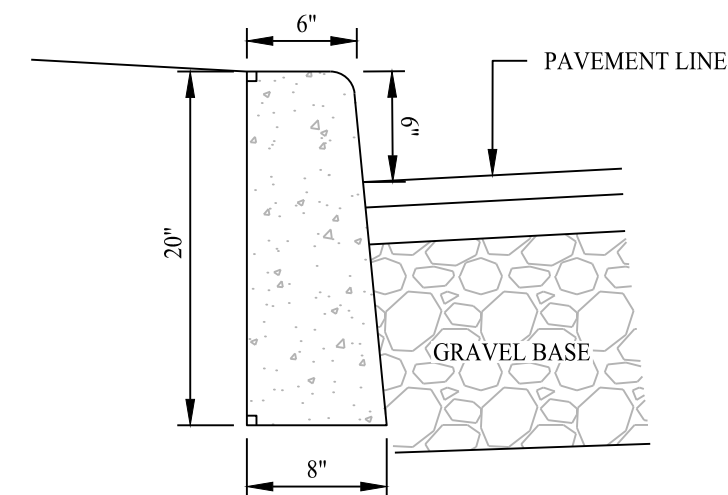
Sheet Title:	Sheet #:
LIGHTING PLAN	2.71

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DUMPSTER PAD ENCLOSURE - BOARD ON BOARD FENCE

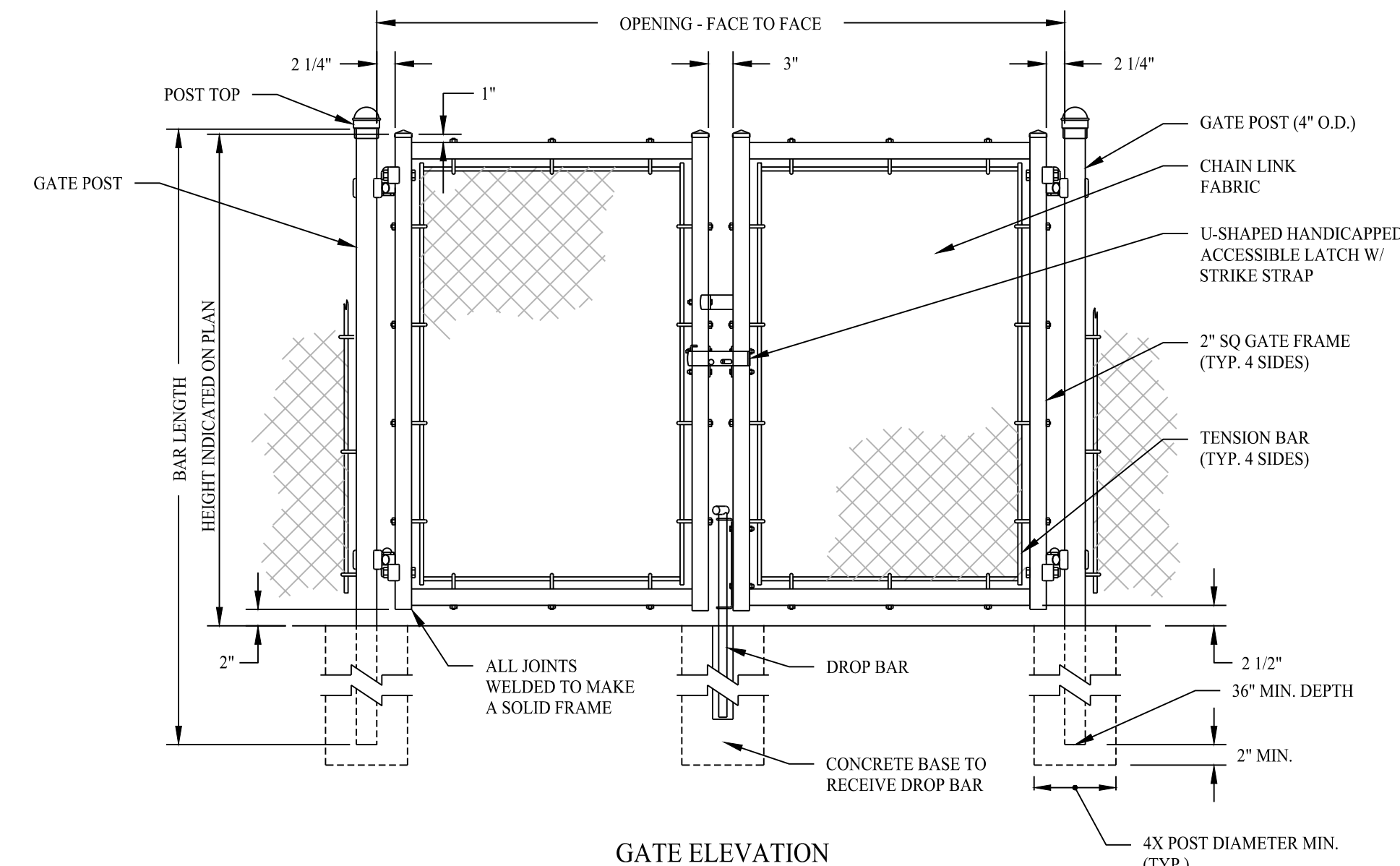
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CONCRETE CURB DETAIL

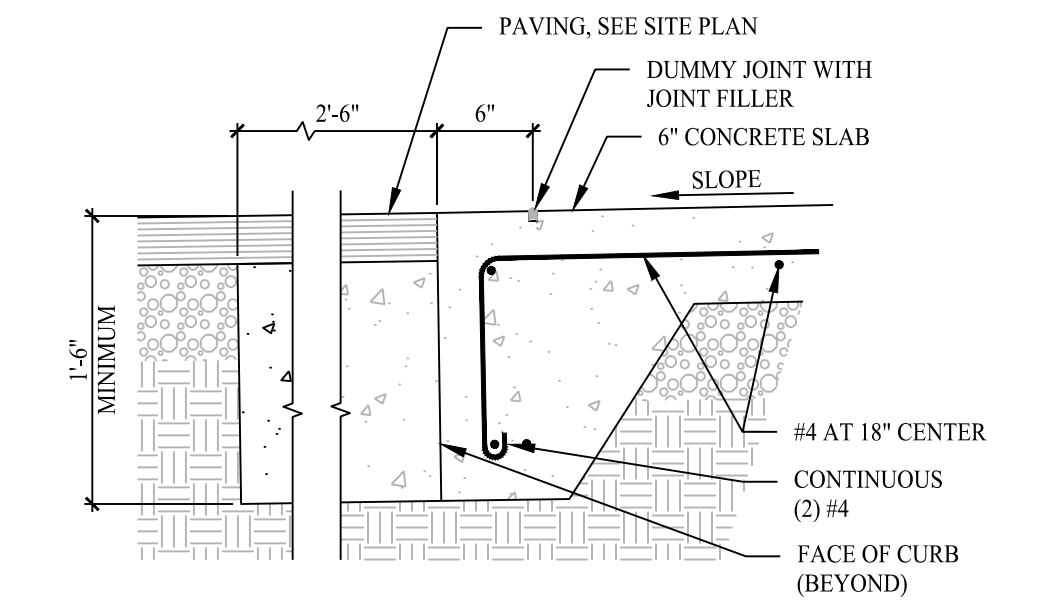
SCALE: NTS

- NOTES
- POUR TO EXCAVATED BOTTOM OR WELL COMPACTED BANK RUN GRAVEL. BACK OF CURB IS STRAIGHT. FACE OF CURB IS TAPERED.
 - CLASS "A" CONCRETE-3,000 PSI MINIMUM. EXPANSION JOINTS EVERY 10 FEET. IN NO CASE SHALL THERE BE LESS THAN 6' BETWEEN JOINTS.



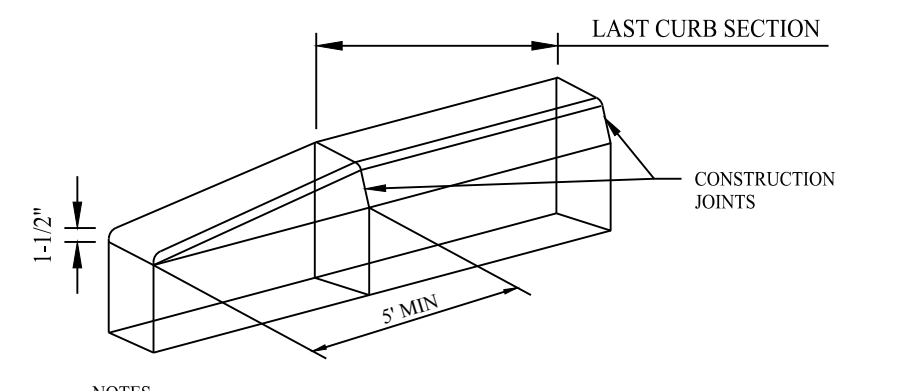
CHAIN LINK FENCE GATE DETAIL

SCALE: NTS



FLUSH CURB AT PAVEMENT

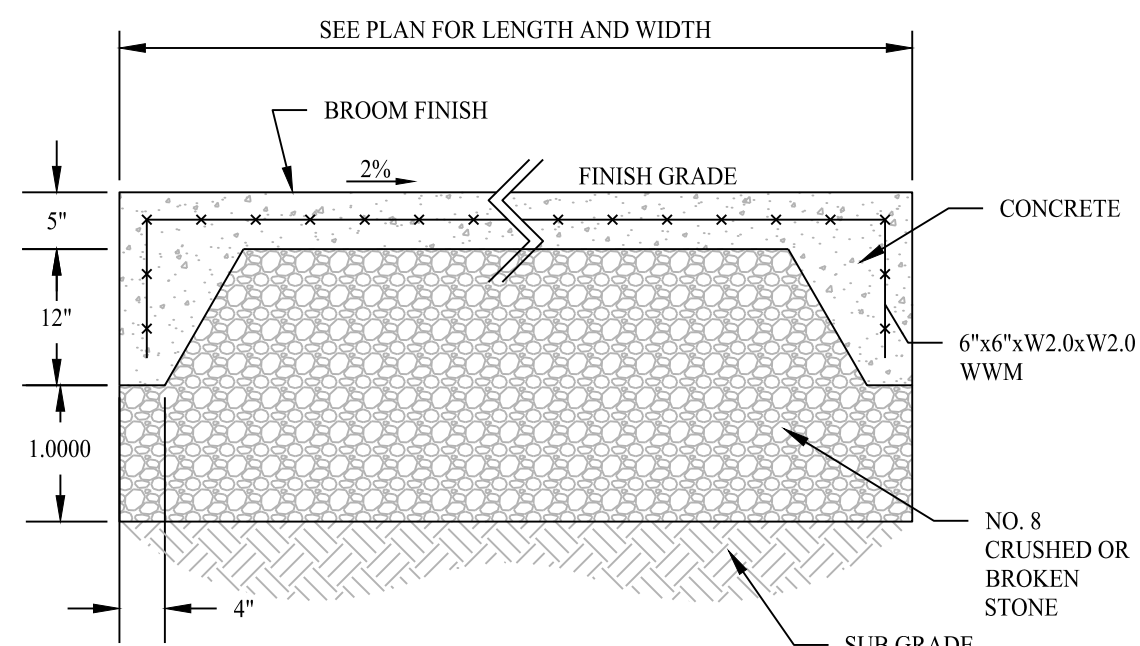
SCALE: NTS



CURB TRANSITION DETAIL

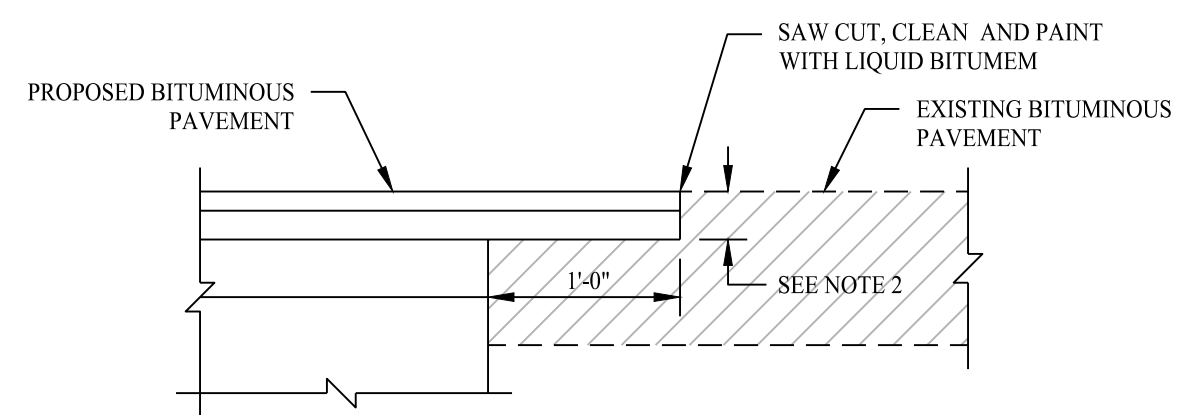
SCALE: NTS

- NOTES
- CONCRETE SHALL BE 3500 PSI AIR ENTRAINED AT A 4\"/>
 - TRANSVERSE CONTR. JOINTS 14\"/>
 - EXPANSION JOINTS WITH 1/2\"/>
 - WEATHER PROTECTION AND CURING COMPOUNDS SHALL BE USED IN ACCORDANCE WITH MADOT SPECIFICATIONS.
 - ALL EDGES SHALL BE ROUNDED WITH A 1/4\"/>



CONCRETE PAD DETAIL

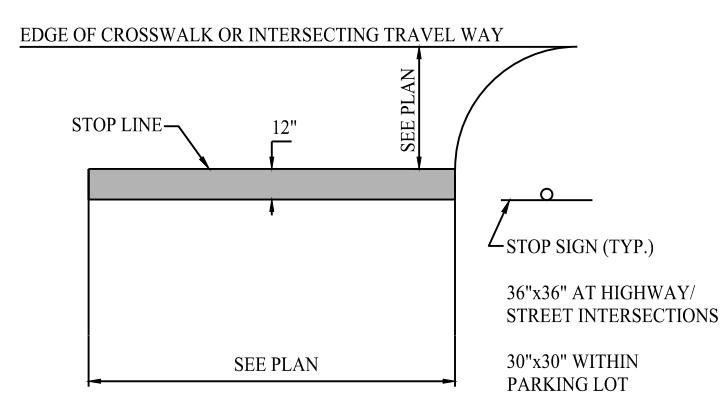
SCALE: NTS



PAVEMENT MATCH TREATMENT DETAIL

SCALE: NTS

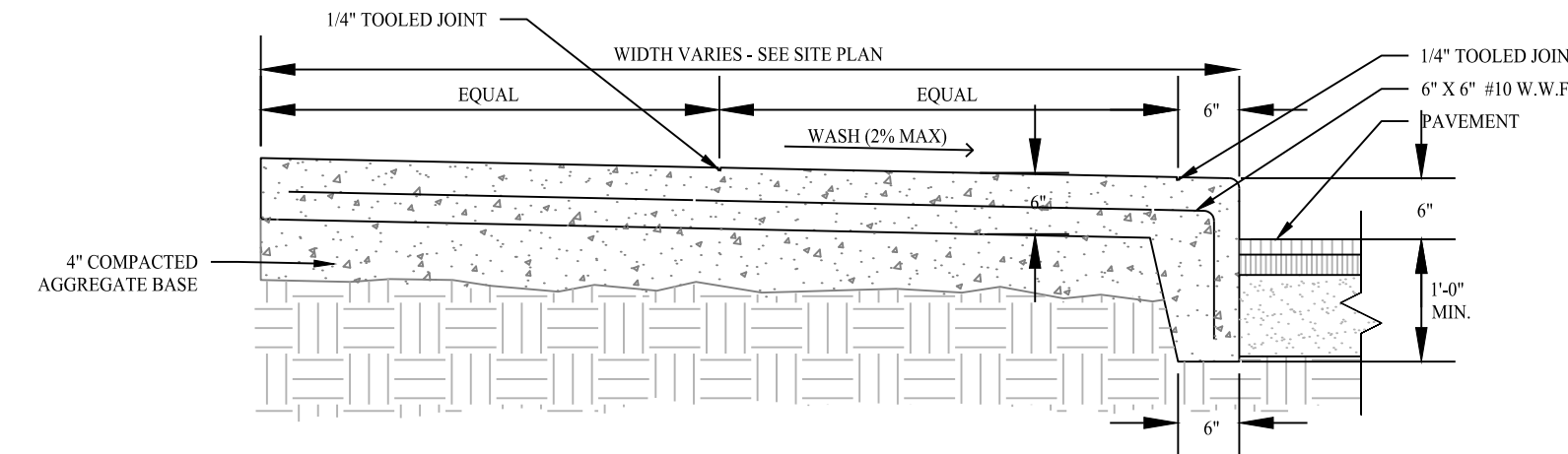
- NOTES
- OVERLAP BOTH PROPOSED BITUMINOUS CONCRETE COURSES (CLASS 1 AND CLASS 2) OVER EXISTING SUBBASE.
 - MINIMUM THICKNESS TO BE SAME AS PROPOSED BITUMINOUS OR MATCH THICKNESS OF EXISTING PAVEMENT, WHICHEVER IS GREATER.



STOP SIGNAGE AND MARKING

SCALE: NTS

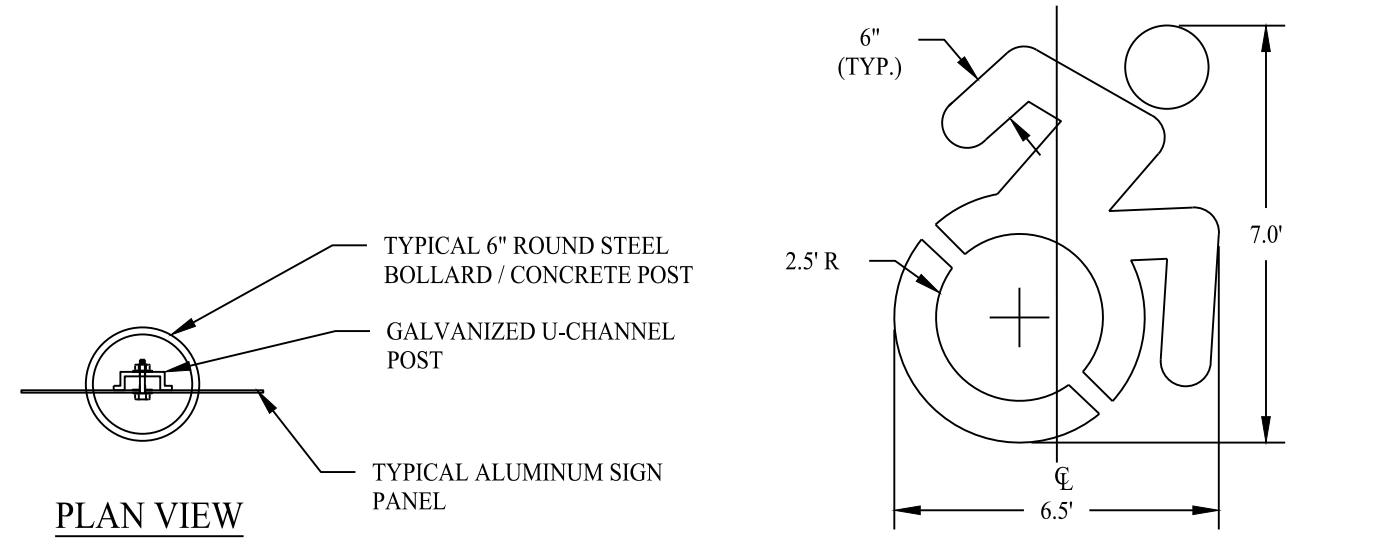
- NOTE
- WORDS AND LINES SHALL BE APPLIED IN ACCORDANCE WITH SECTIONS 3B.16 AND 3B.20 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - THESE WORDS AND BAR ARE TO BE PAINTED RETROREFLECTIVE WHITE.



INTEGRAL CURB

SCALE: NTS

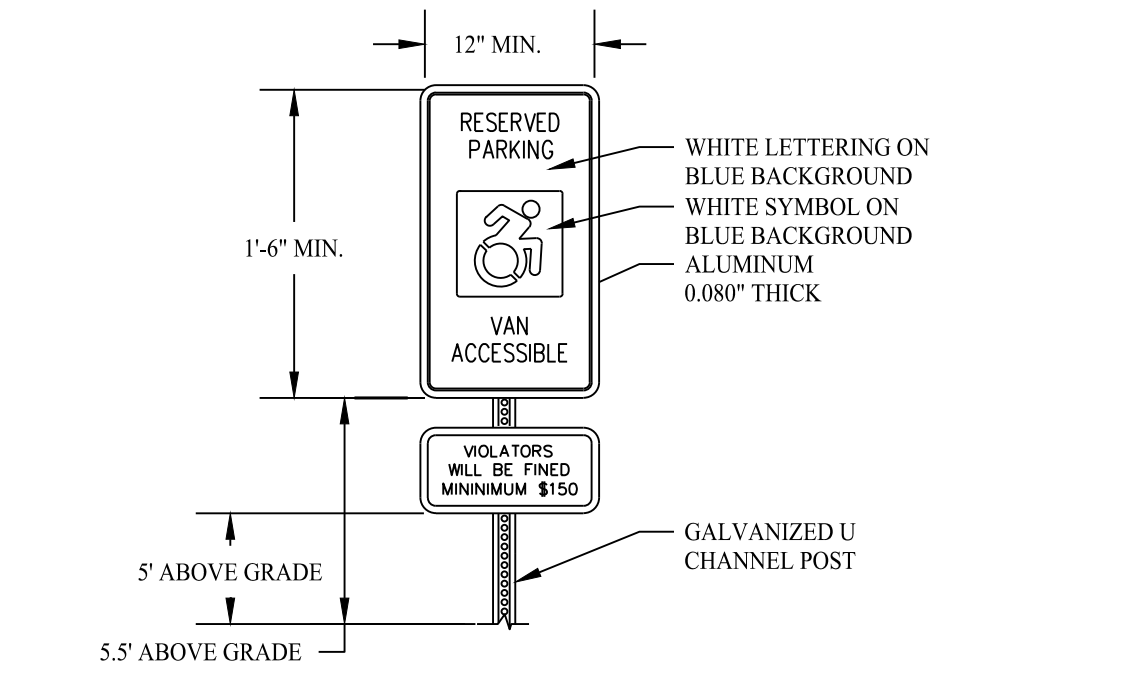
- NOTE: EXPANSION JOINT 20\"/>



ACCESSIBLE PARKING SYMBOL

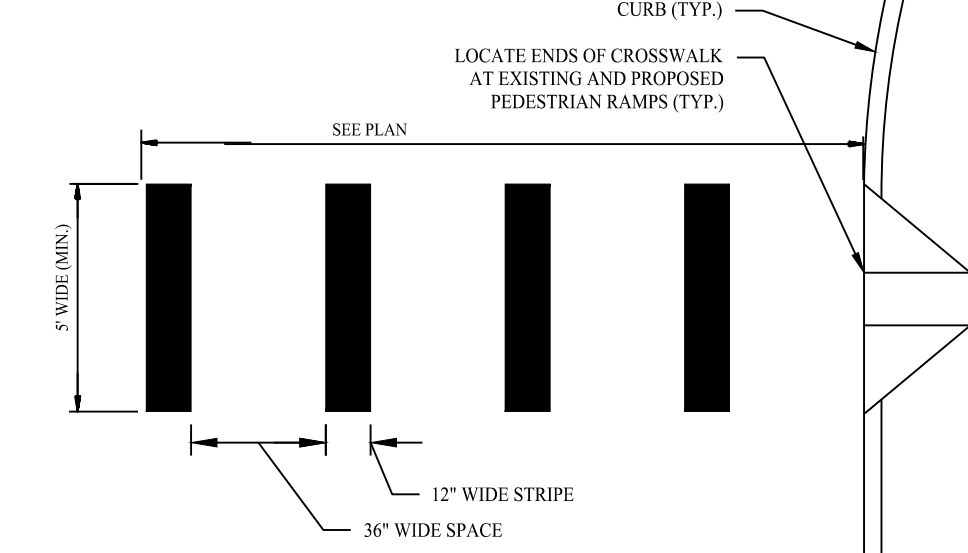
SCALE: NTS

- NOTES
- LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



ACCESSIBLE PARKING SIGN

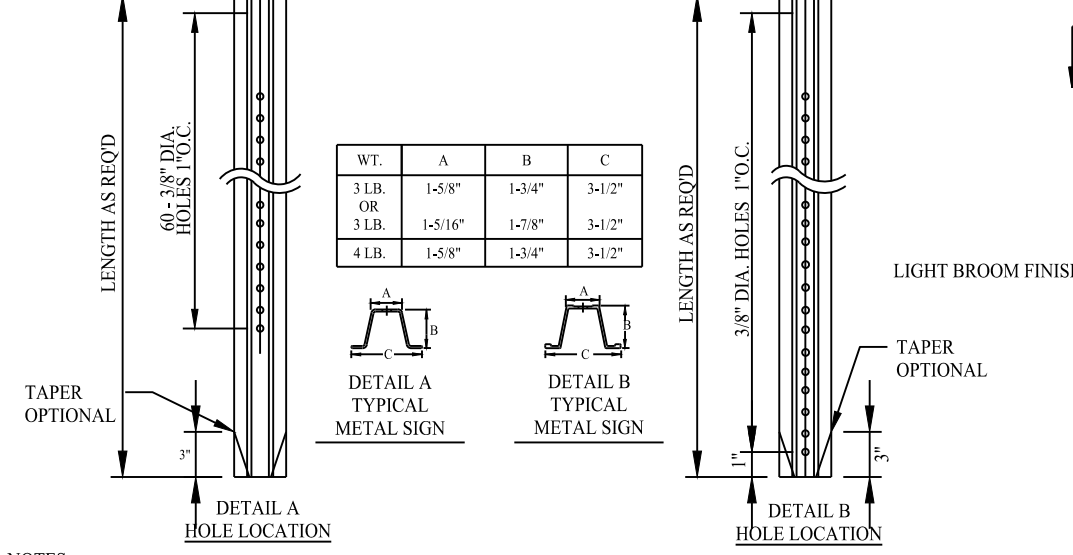
- NOTE
- SUPPORTS-SEE STD. SHEET-TYPICAL METAL SIGN POSTS AND SIGN MOUNTING DETAILS PREPARED BY THE CONNECTICUT DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS, DIVISION OF TRAFFIC SUPPORTS-WT/FT 3 LB (UNLESS OTHERWISE NOTED)



CROSSWALK MARKINGS

SCALE: NTS

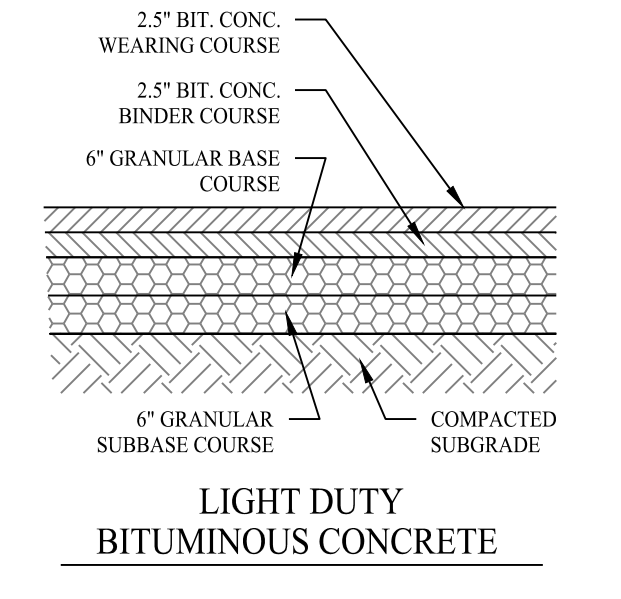
- NOTES
- MARKINGS FOR STREET SHALL BE IN ACCORDANCE WITH REQUIREMENTS AS OUTLINED IN SECTION 30 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
 - THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.



TYPICAL METAL SIGN POSTS

SCALE: NTS

- NOTES
- STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A501 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A570 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 91 LBS OR GREATER PER LINEAR YARD.
 - AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
 - SIGN MOUNTING HEIGHT TO BE APPROVED BY THE ENGINEER.



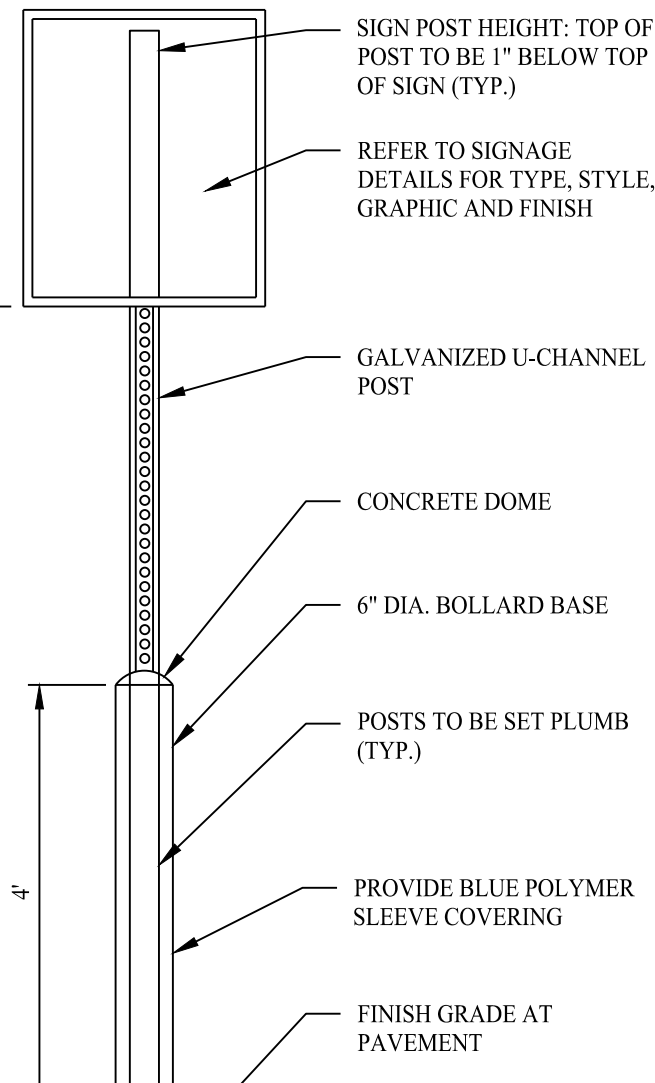
PAVING DETAILS

SCALE: NTS



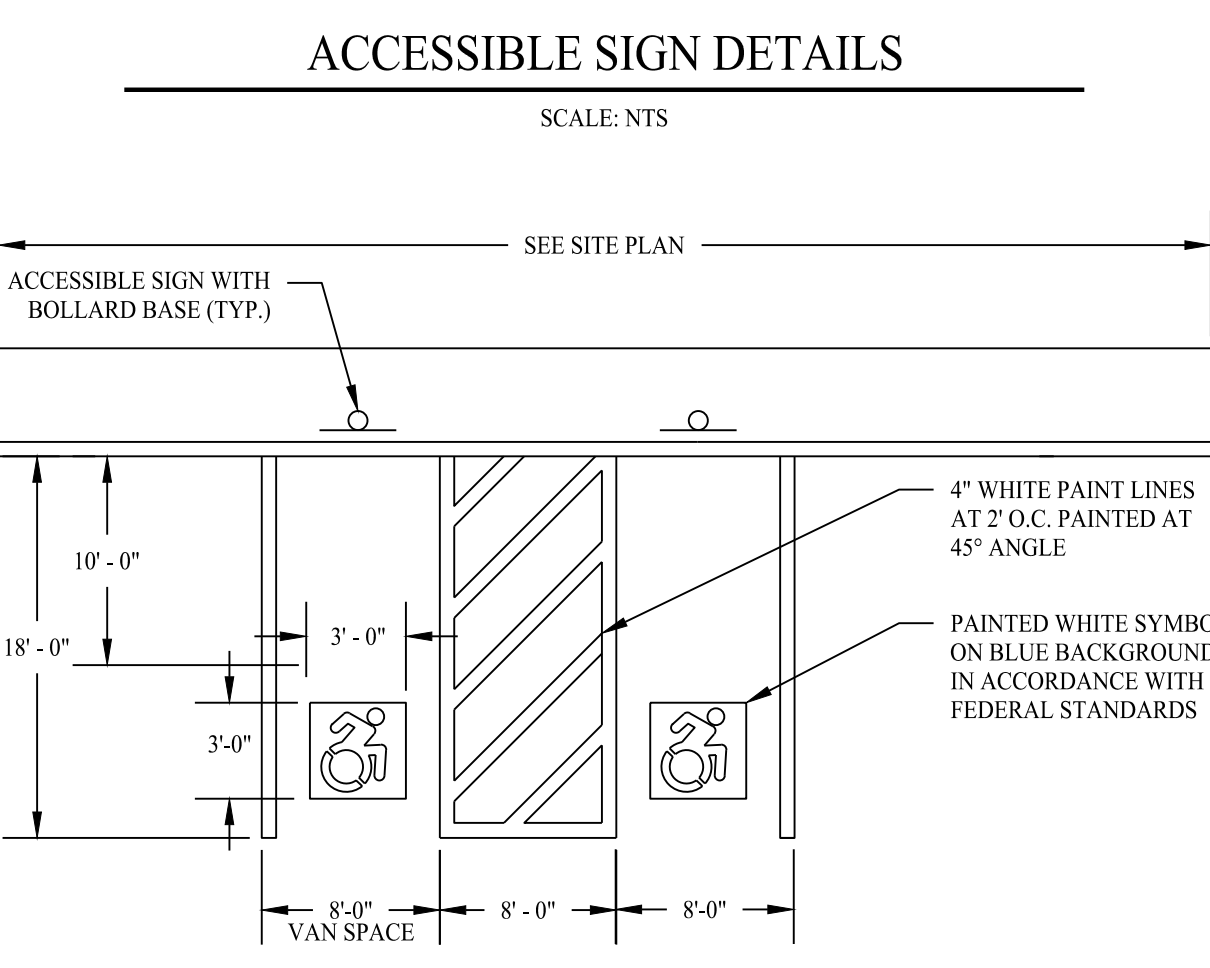
MODIFICATION TO EXISTING FREESTANDING SIGN DETAIL

SCALE: NTS



SIGN MOUNTING FOR ACCESSIBLE SIGN

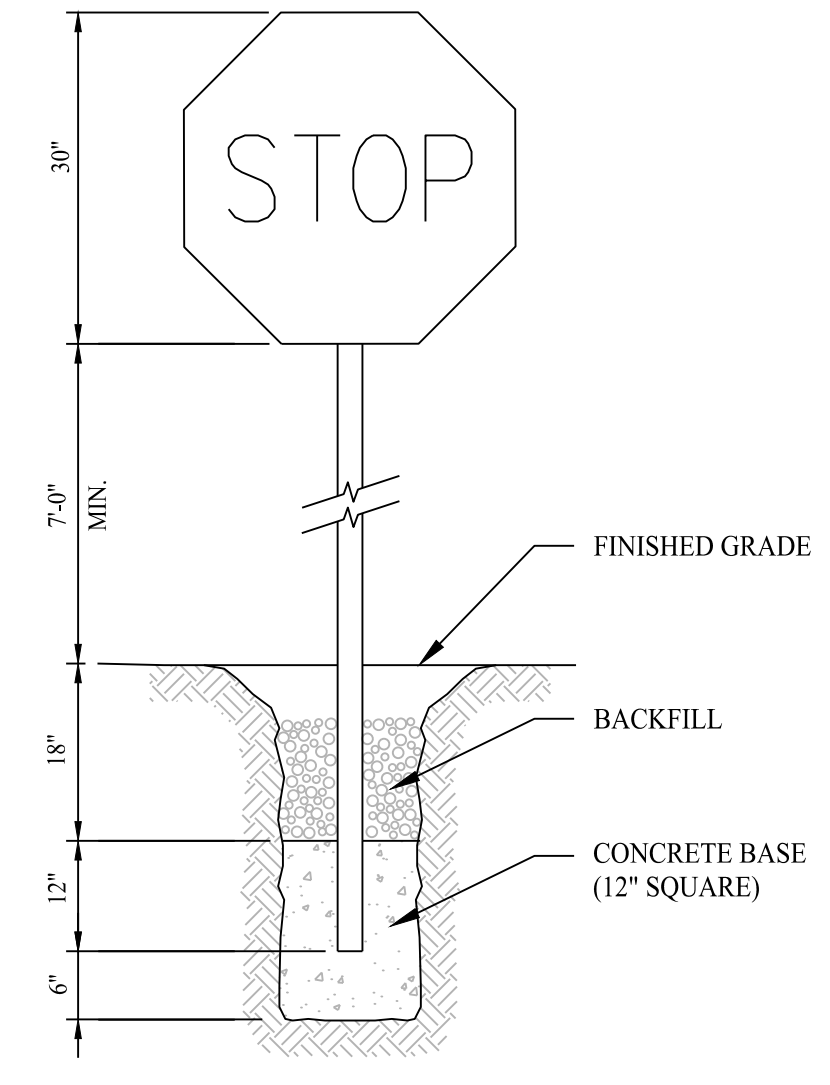
SCALE: NTS



ACCESSIBLE PARKING SPACE DETAIL

SCALE: NTS

- NOTES
- SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATIONS
 - PROVIDE 2 COATS OF PAINT ON ALL SURFACES.



STOP SIGN DETAIL

SCALE: NTS

- NOTE
- CONSTRUCT SIGN IN ACCORDANCE WITH DOT SPECIFICATIONS.

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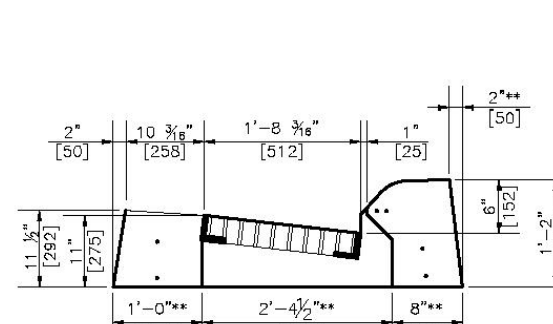
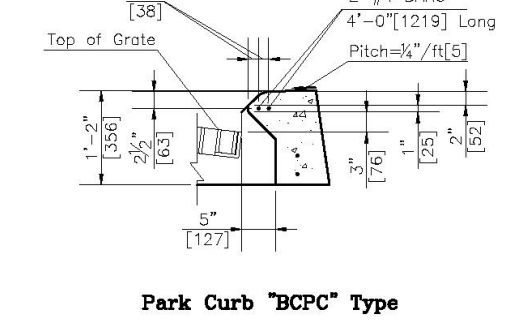
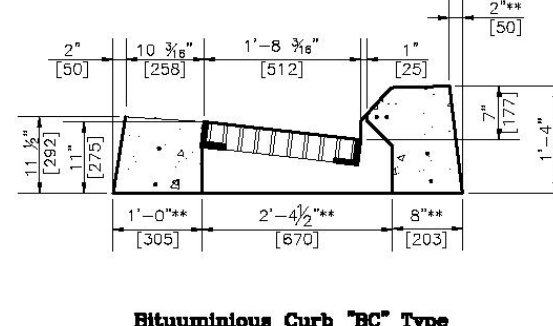
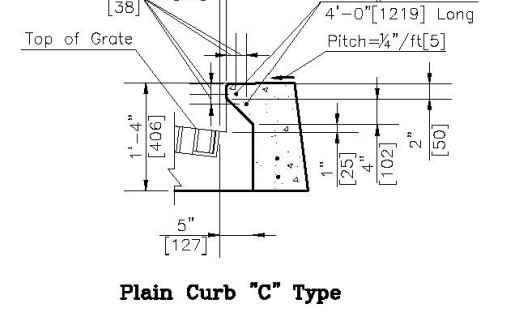
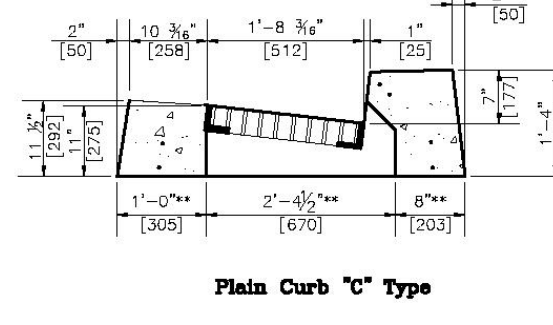
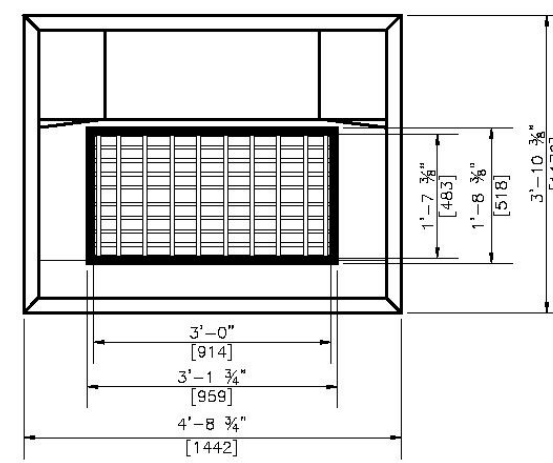
Drawn By:	SWG
Checked By:	PSK
Approved By:	KMS
Project #:	21100801
Plan Date:	02/26/21
Scale:	NTS

BROOKSIDE SHOPPING CENTER
 4531-4577 MAIN STREET
 BRIDGEPORT, CT

Sheet Title:	Sheet #:
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DETAIL SHEET **3.01**

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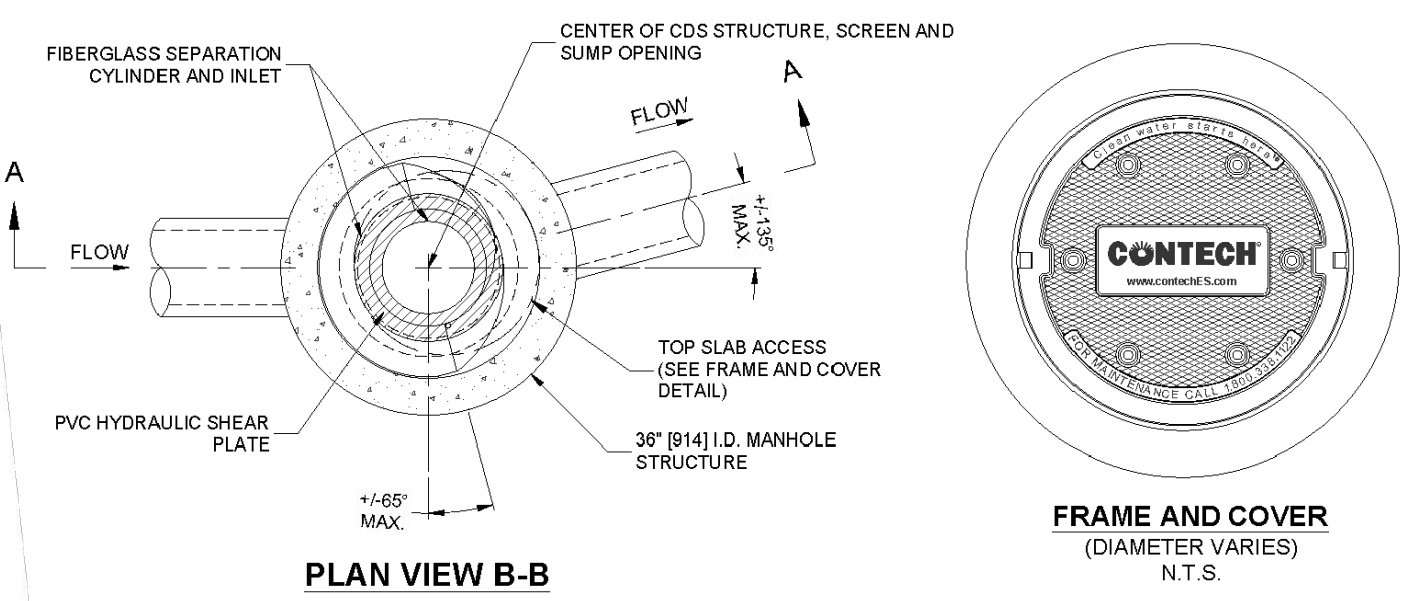


UNIT	HEIGHT (in/mm)	WEIGHT (lb/kg)
C TOP	16" (406)	1,800 (817)
BC TOP	16" (406)	1,800 (817)
BCPC TOP	14" (356)	1,720 (781)

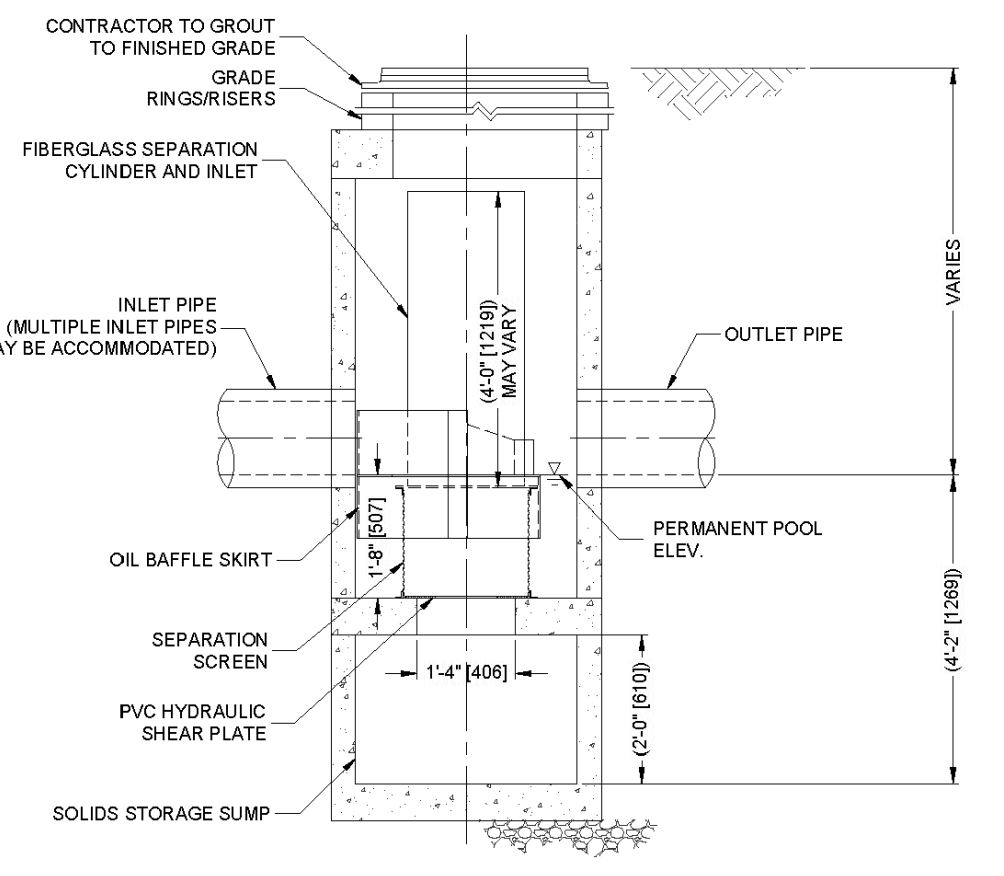
NOTES:
 1. Minimum Concrete Compressive Strength = 4,000PSI (27,580kPa) shall be obtained prior to shipping.
 2. Product conforms to CTDOT Standard Specification Form 816 and CTDOT Standard Detail 199-507-07.
 3. Frame and Grate shall conform to CTDOT Standard Specification Form 816 and CTDOT Standard Detail 199-507-08.
 4. Frame and Grate shall be either red painted or hot dipped galvanized. For CTDOT Frame and Grate shall be hot dipped galvanized only.
 5. Type "A" grate shall be used on all roadways where bicycle traffic is allowed.
 6. Type "B" grate shall be used on all limited access highways, ramps, and where bicycle traffic is not allowed.
 7. Steel reinforcement shall conform to ASTM A615, Grade 60 and have a minimum clear cover of 2"[50].

CTDOT STANDARD PRECAST CONCRETE CATCH BASIN TYPE "C" TOP

SCALE: NTS DETAIL PROVIDED BY CONNECTICUT PRECAST CORPORATION



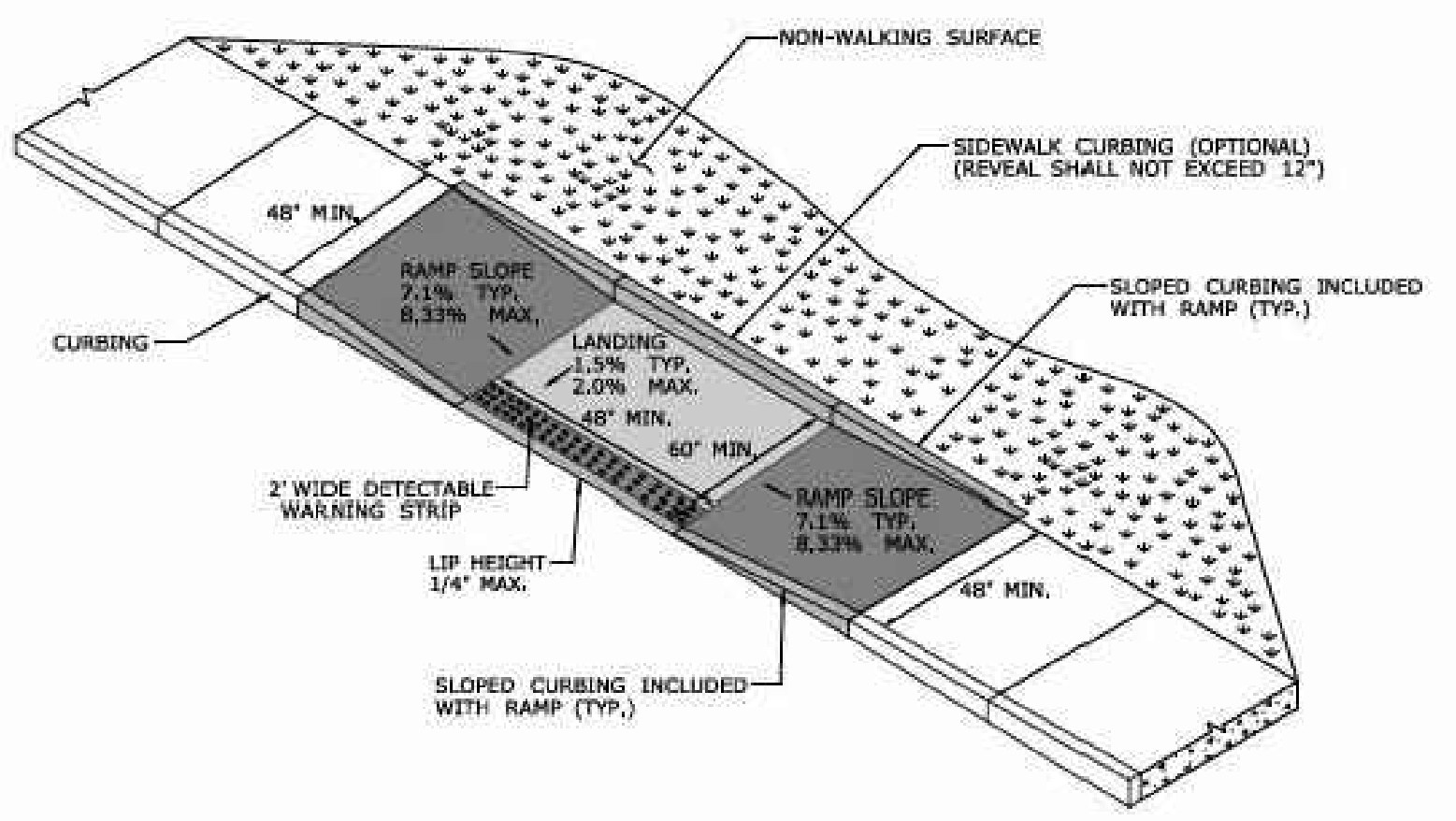
PLAN VIEW B-B



ELEVATION A-A N.T.S.

HYDRODYNAMIC SEPARATOR CONTECH CDS1515-3-C OR APPROVED EQUAL

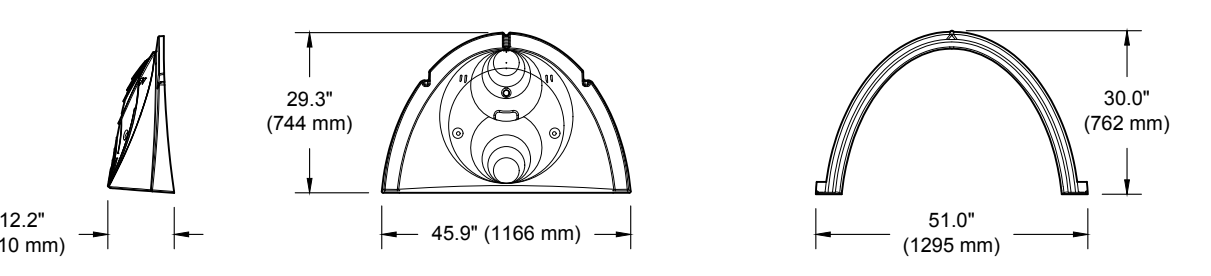
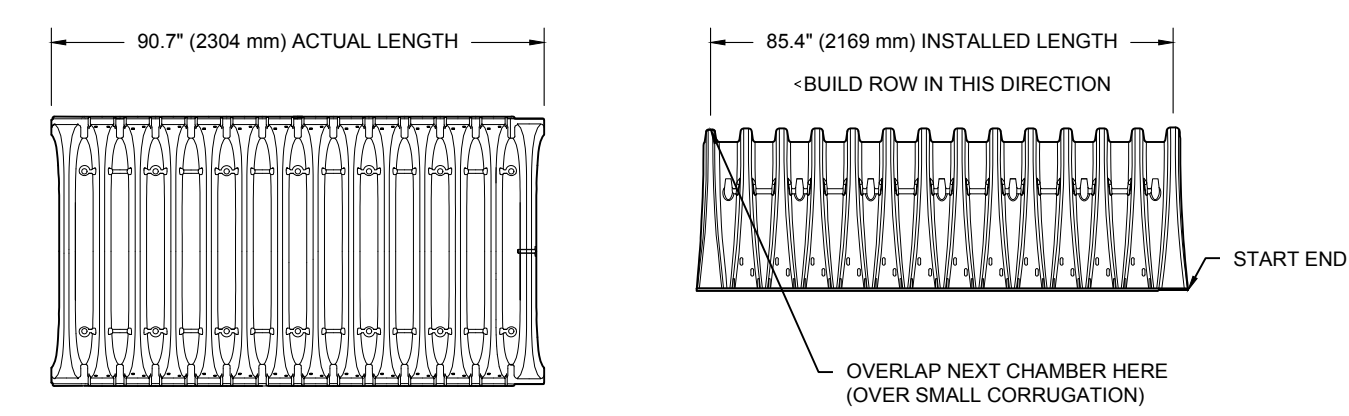
SCALE: NTS



PARALLEL RAMP WITHOUT NON-WALKING SURFACE (TYPE 9)

PEDESTRIAN SIDEWALK RAMP DETAILS

SCALE: NTS DETAIL PER STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	51.0" X 30.0" X 85.4" (1295 mm X 762 mm X 2169 mm)
CHAMBER STORAGE	45.8 CUBIC FEET (1.30 m³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET (2.12 m³)
WEIGHT	75.0 lbs. (33.6 kg)

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
 PRE-CORED END CAPS END WITH "C"

PART #	STUB	A	B	C
SC740EP06T / SC740EP06TPC	6" (150 mm)	10.9" (277 mm)	18.5" (470 mm)	0.5" (13 mm)
SC740EP08B / SC740EP08BPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740EP08T / SC740EP08TPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	0.6" (15 mm)
SC740EP08B / SC740EP08BPC	8" (200 mm)	12.2" (310 mm)	16.5" (419 mm)	---
SC740EP10T / SC740EP10TPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	---
SC740EP10B / SC740EP10BPC	10" (250 mm)	13.4" (340 mm)	14.5" (368 mm)	0.7" (18 mm)
SC740EP12T / SC740EP12TPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	1.2" (30 mm)
SC740EP12B / SC740EP12BPC	12" (300 mm)	14.7" (373 mm)	12.5" (318 mm)	---
SC740EP15T / SC740EP15TPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	---
SC740EP15B / SC740EP15BPC	15" (375 mm)	18.4" (467 mm)	9.0" (229 mm)	1.3" (33 mm)
SC740EP18T / SC740EP18TPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	---
SC740EP18B / SC740EP18BPC	18" (450 mm)	19.7" (500 mm)	5.0" (127 mm)	1.6" (41 mm)
SC740EP24B*	24" (600 mm)	18.5" (470 mm)	---	0.1" (3 mm)

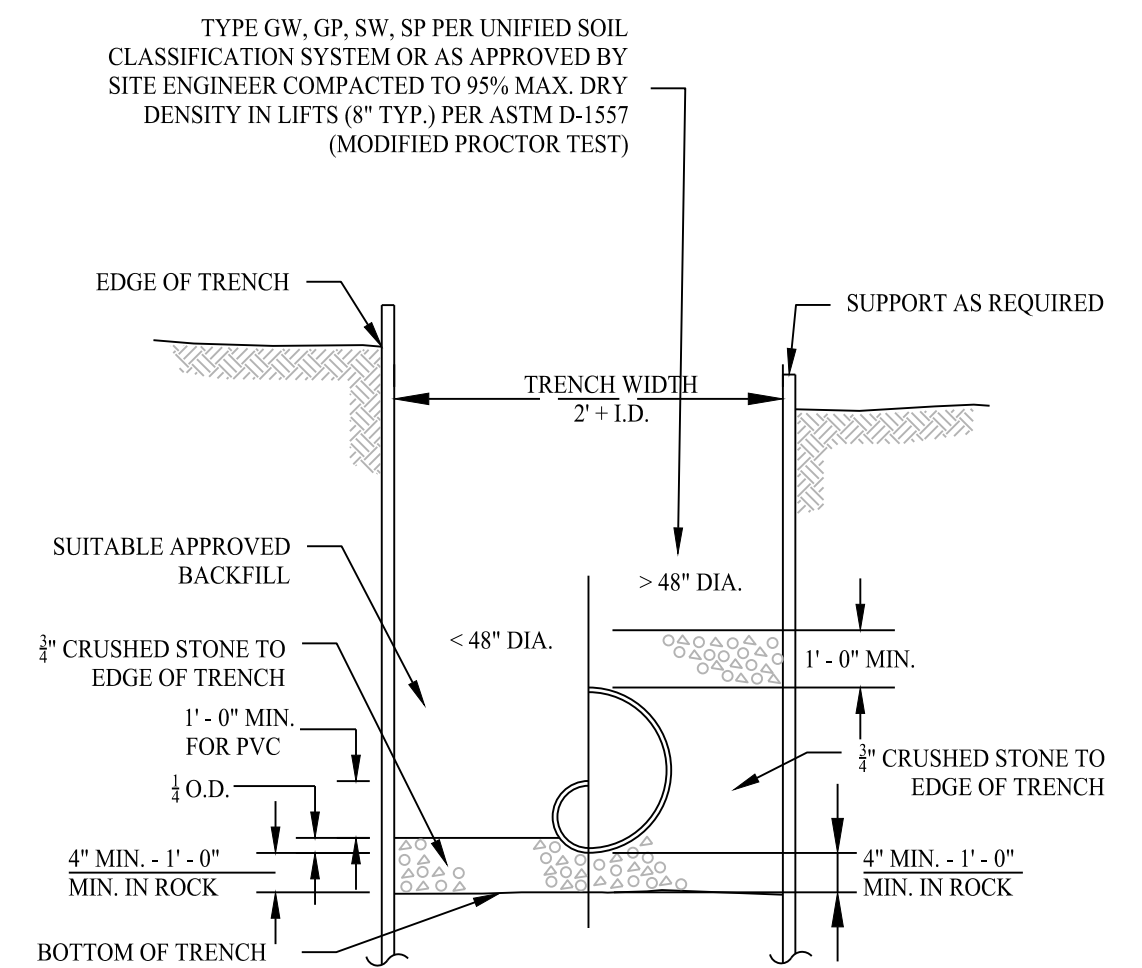
ALL STUBS, EXCEPT FOR THE SC740EP24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2894.

*FOR THE SC740EP24B THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

SC-740 Stormwater Chamber Detail

SCALE: NTS



TYPICAL STORM SEWER TRENCH SECTION DETAIL

SCALE: NTS

Rev. #:	Date	Description
1	03/17/21	Utility and Comp. Strg Revisions

SOLLI ENGINEERING
 501 Main Street, Monroeville, CT 06468 T: (203) 880-5455 F: (203) 880-9695
 351 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

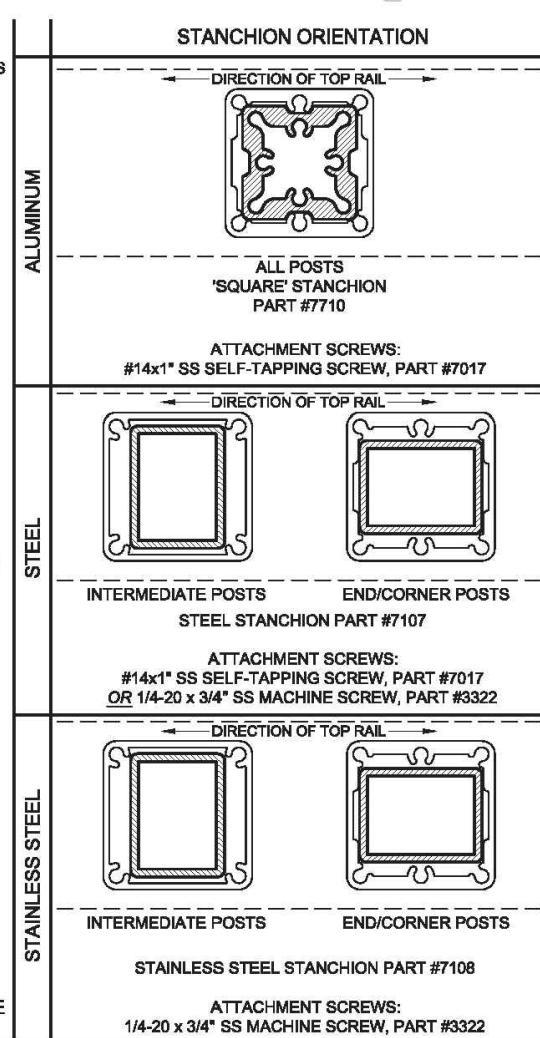
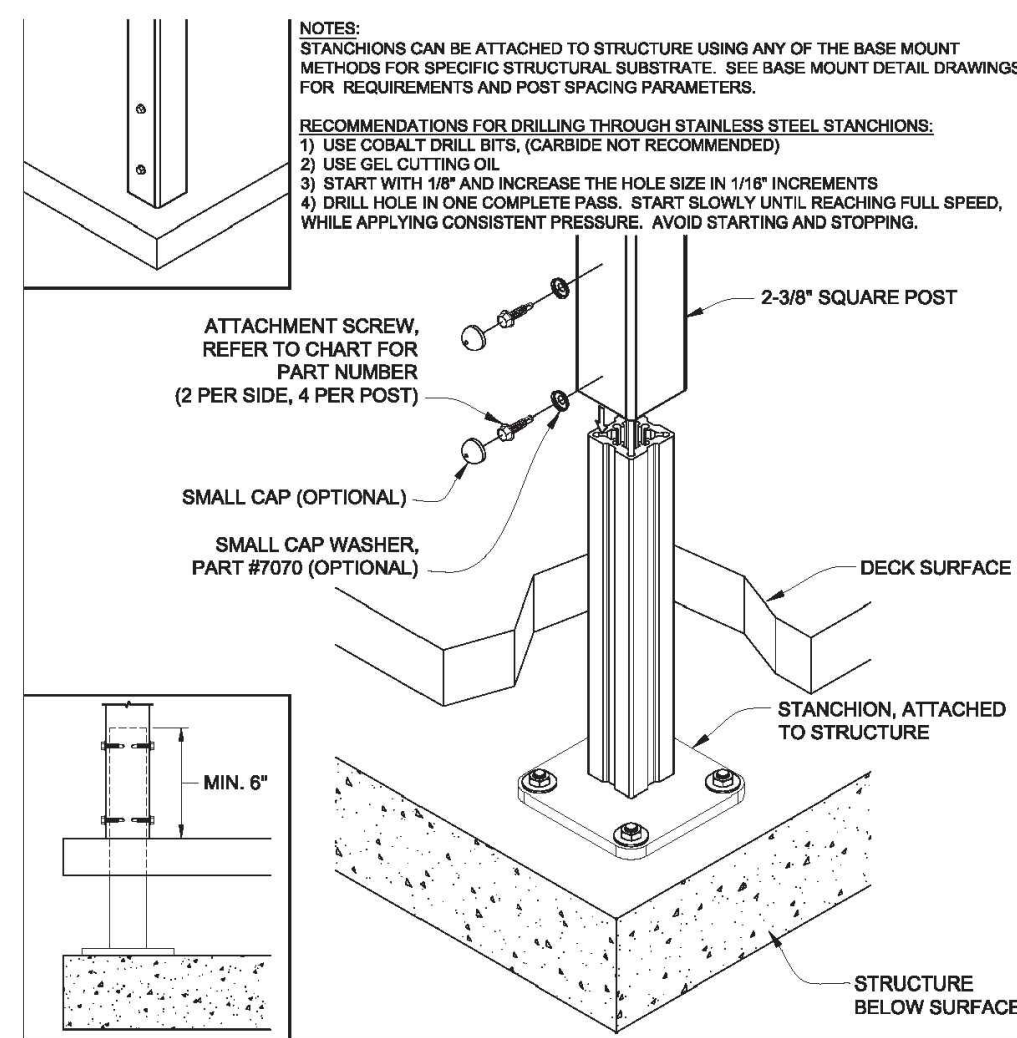
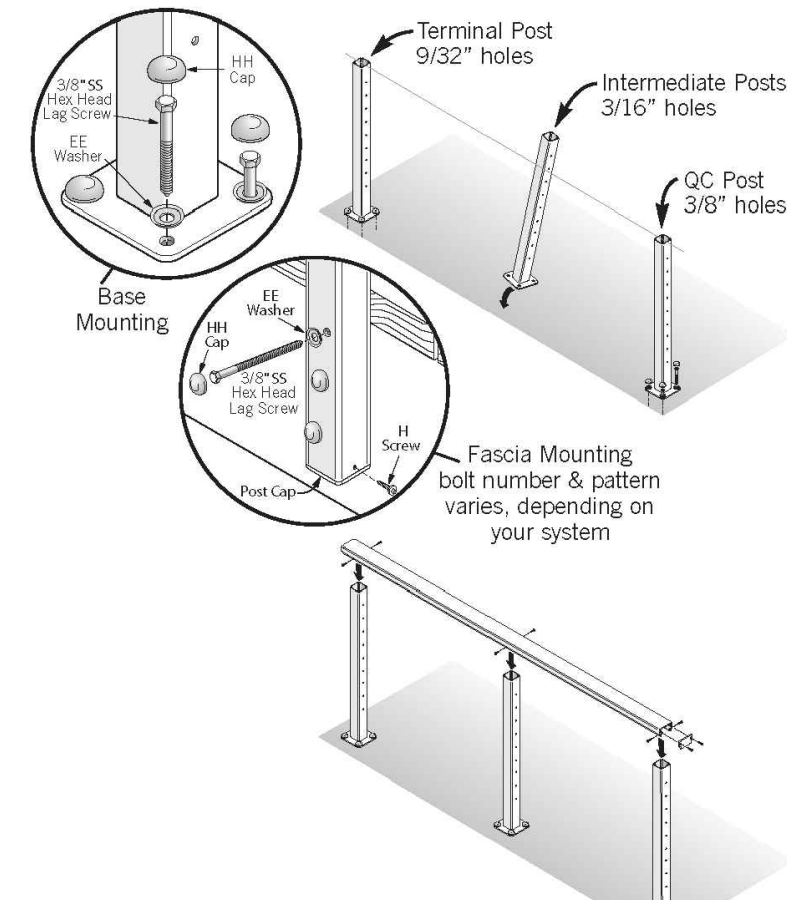
Drawn By:	SWG
Checked By:	PSK
Approved By:	KMS
Project #:	21100801
Plan Date:	02/26/21
Scale:	NTS

BROOKSIDE SHOPPING CENTER
 4531-4577 MAIN STREET
 BRIDGEPORT, CT

Sheet Title:	DETAIL SHEET
Sheet #:	3.02

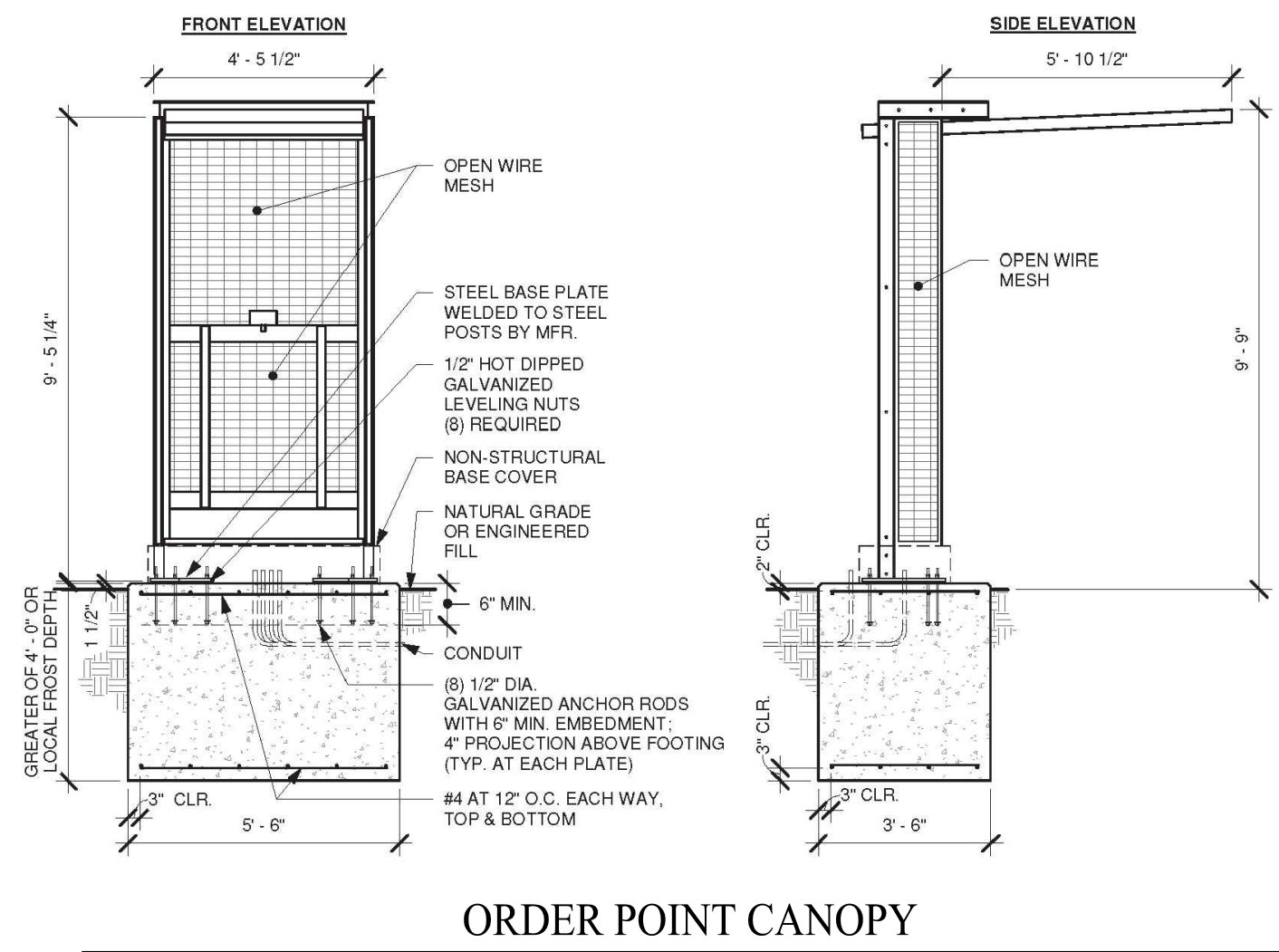
Mar 17, 2021 - 6:20pm peter
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Series 100, horizontal cables, black finish



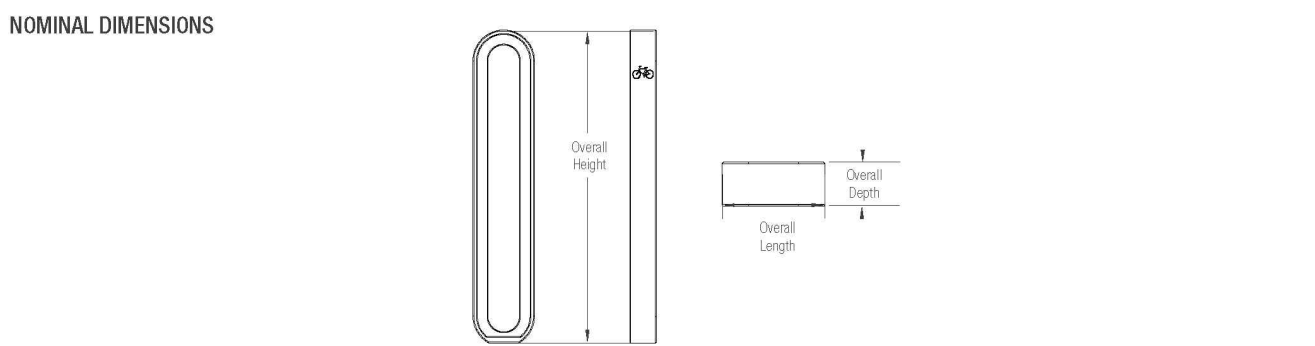
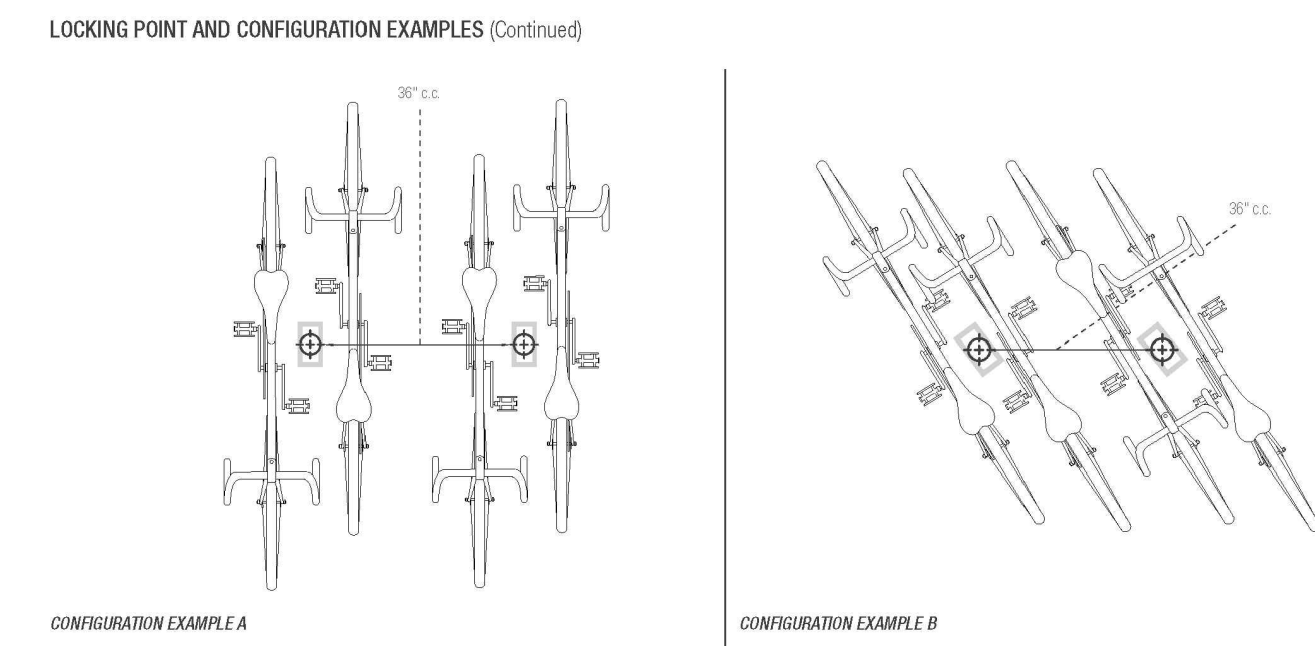
PATIO FENCE DETAIL (OR APPROVED EQUAL)

SCALE: NTS



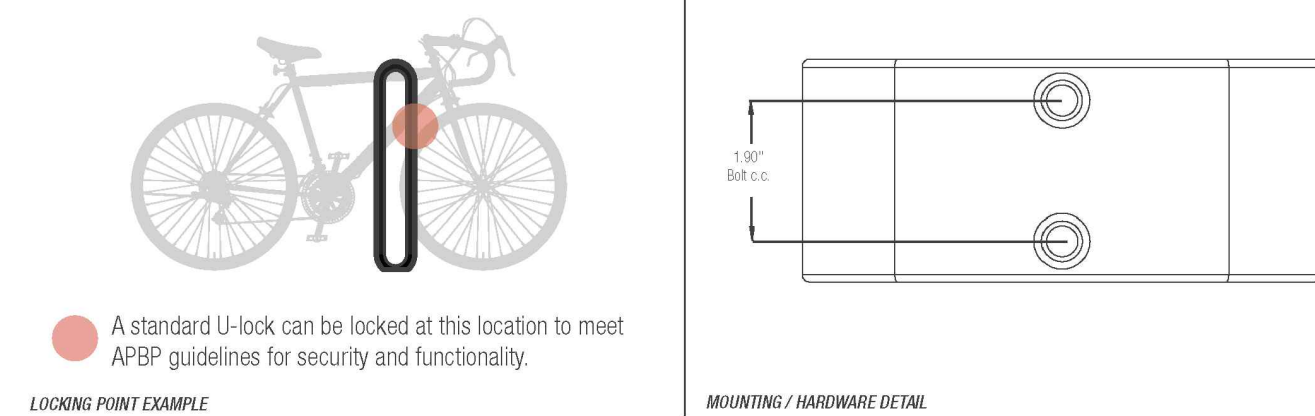
ORDER POINT CANOPY

SCALE: NTS



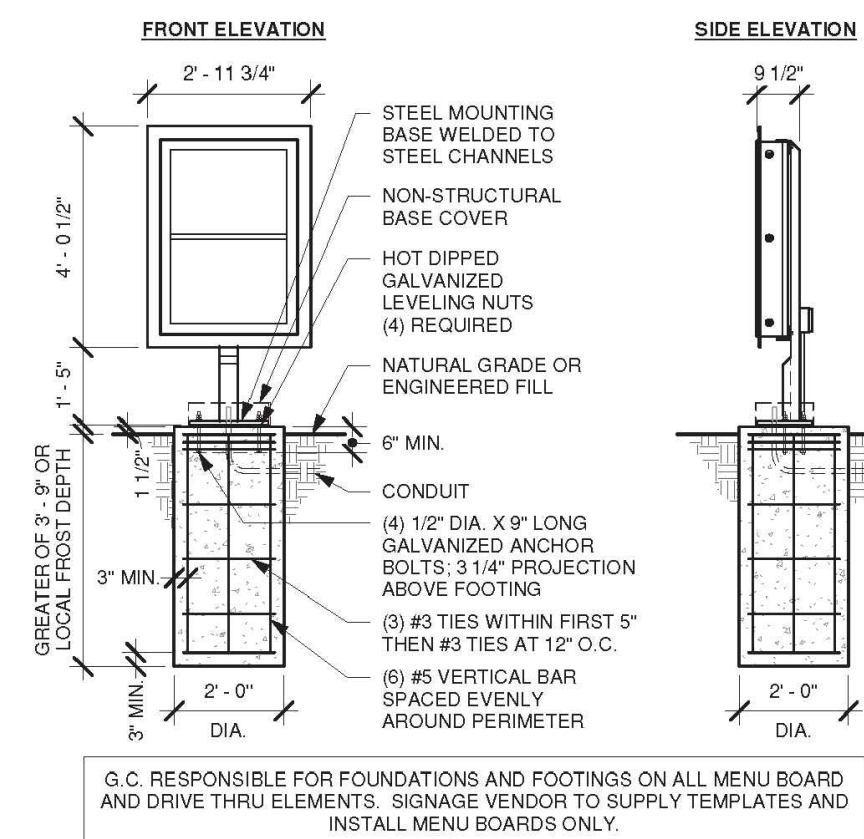
OVERALL LENGTH	OVERALL DEPTH	OVERALL HEIGHT	WEIGHT
7' (178 mm)	3' (76 mm)	35.6" (904 mm)	22.2 lbs (10.1 kg)

LOCKING POINT AND CONFIGURATION EXAMPLES
The Olympia Bike Rack was designed to allow for a multitude of locking point and configuration options to meet your individual needs. Please note that for optimal performance, Forms+Surfaces recommends a 36" center-to-center placement. See diagrams below and the separate installation instructions document for more details.



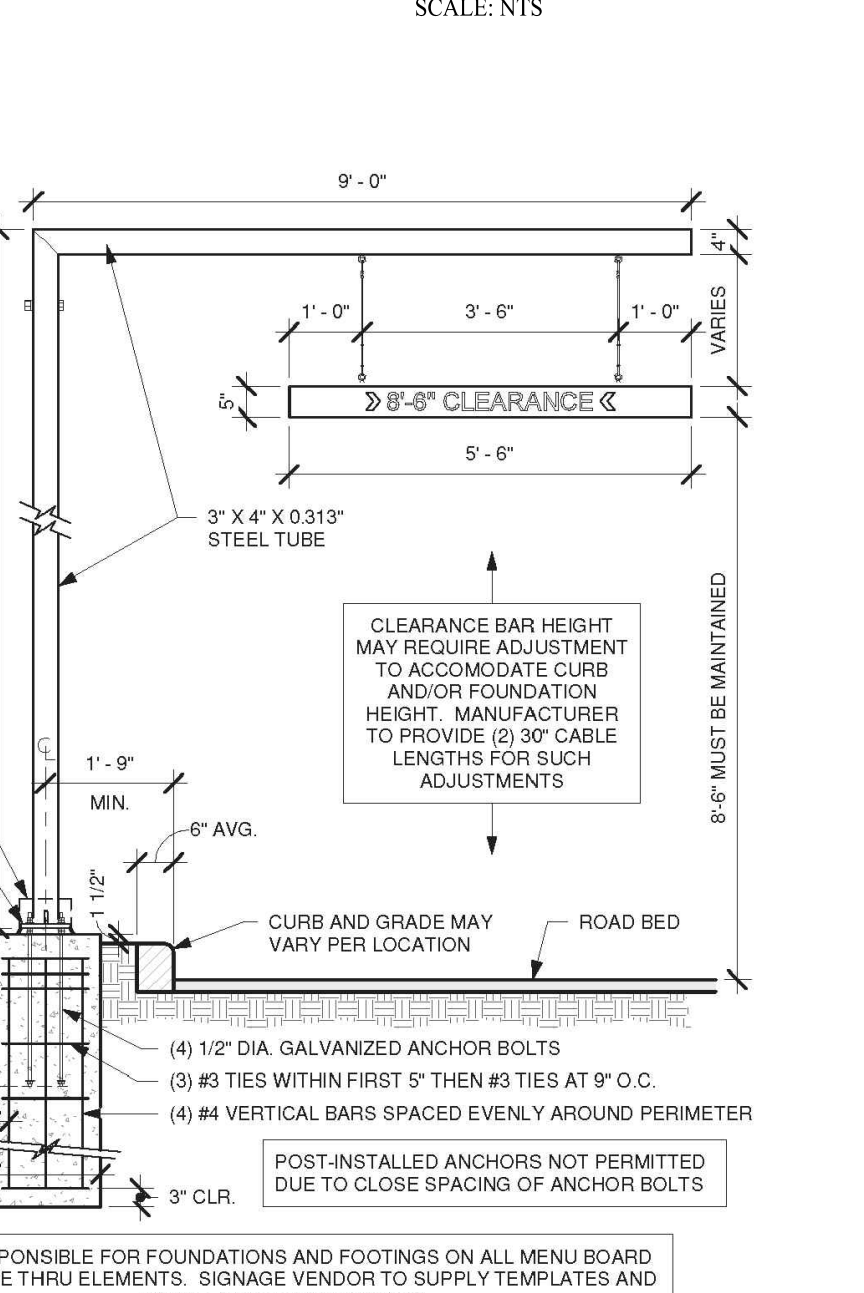
BIKE RACK DETAIL

SCALE: NTS



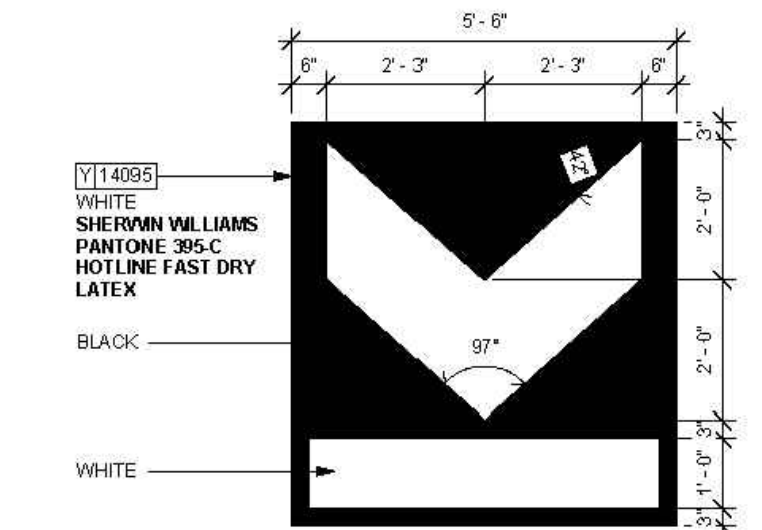
PRE-MENU BOARD

SCALE: NTS



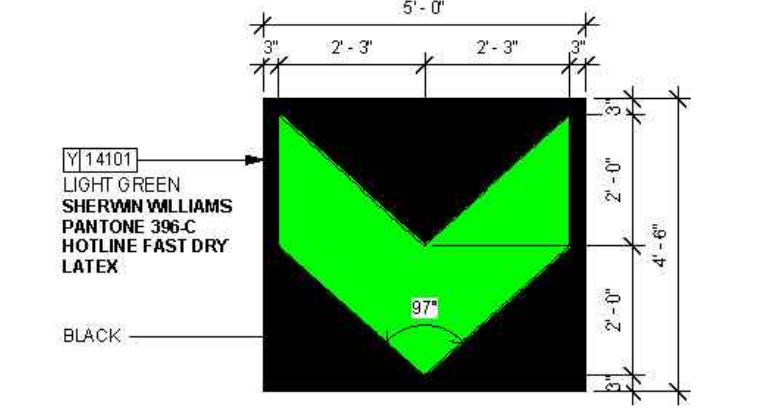
HEIGHT CLEARANCE BAR

SCALE: NTS



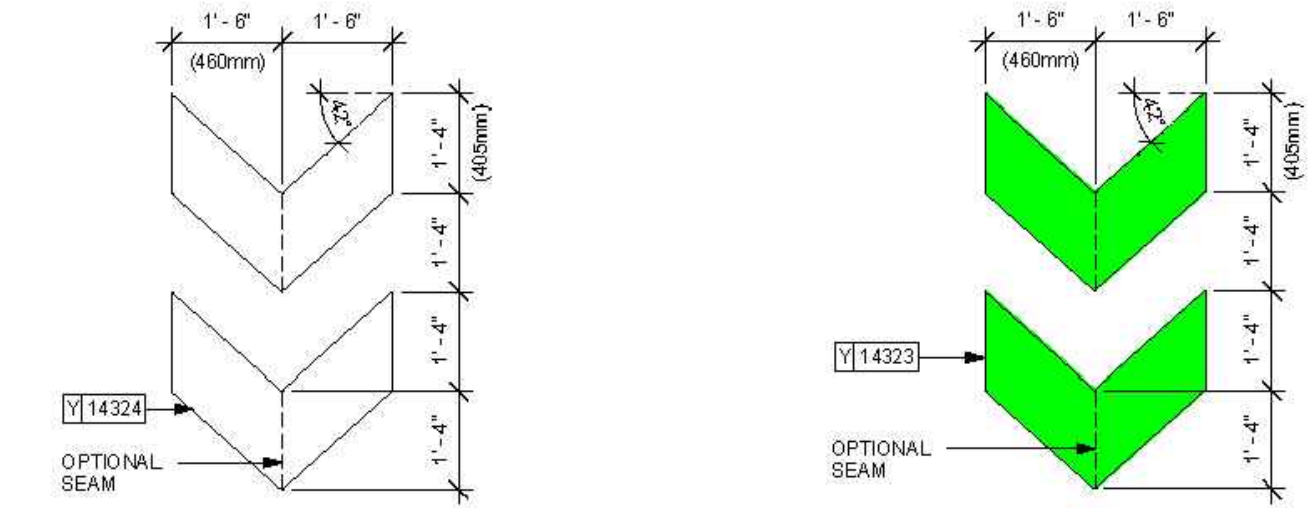
WAYFINDING GRAPHIC ARROW - EXIT

SCALE: NTS



WAYFINDING GRAPHIC ARROW - ENTRY

SCALE: NTS



DTE-WAYFINDING GRAPHIC ARROW - DOUBLE

SCALE: NTS

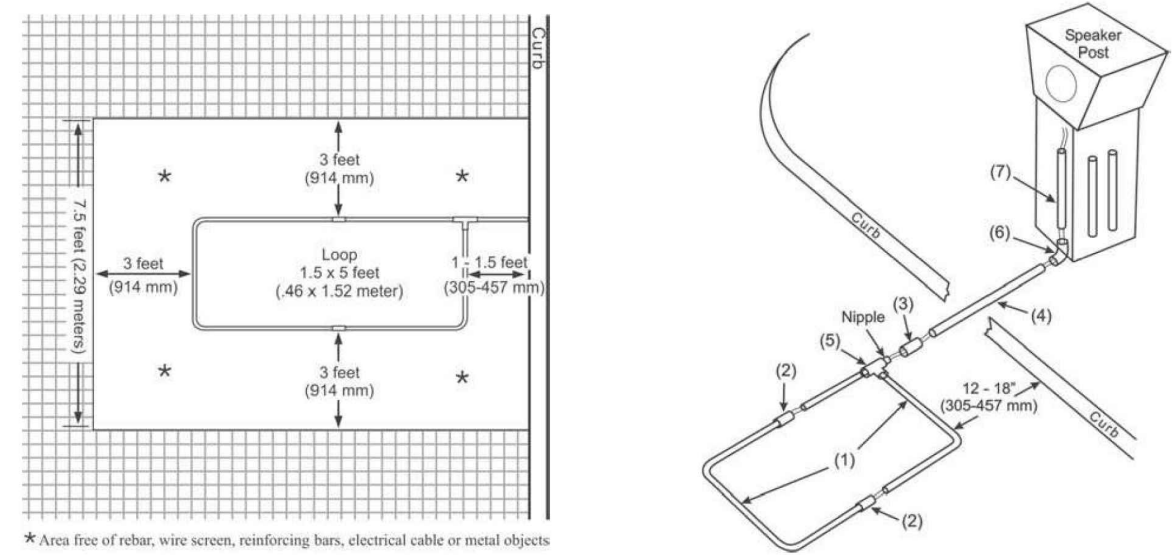
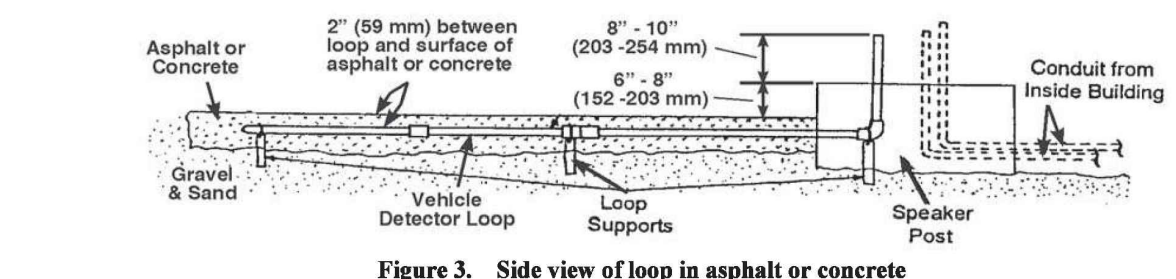
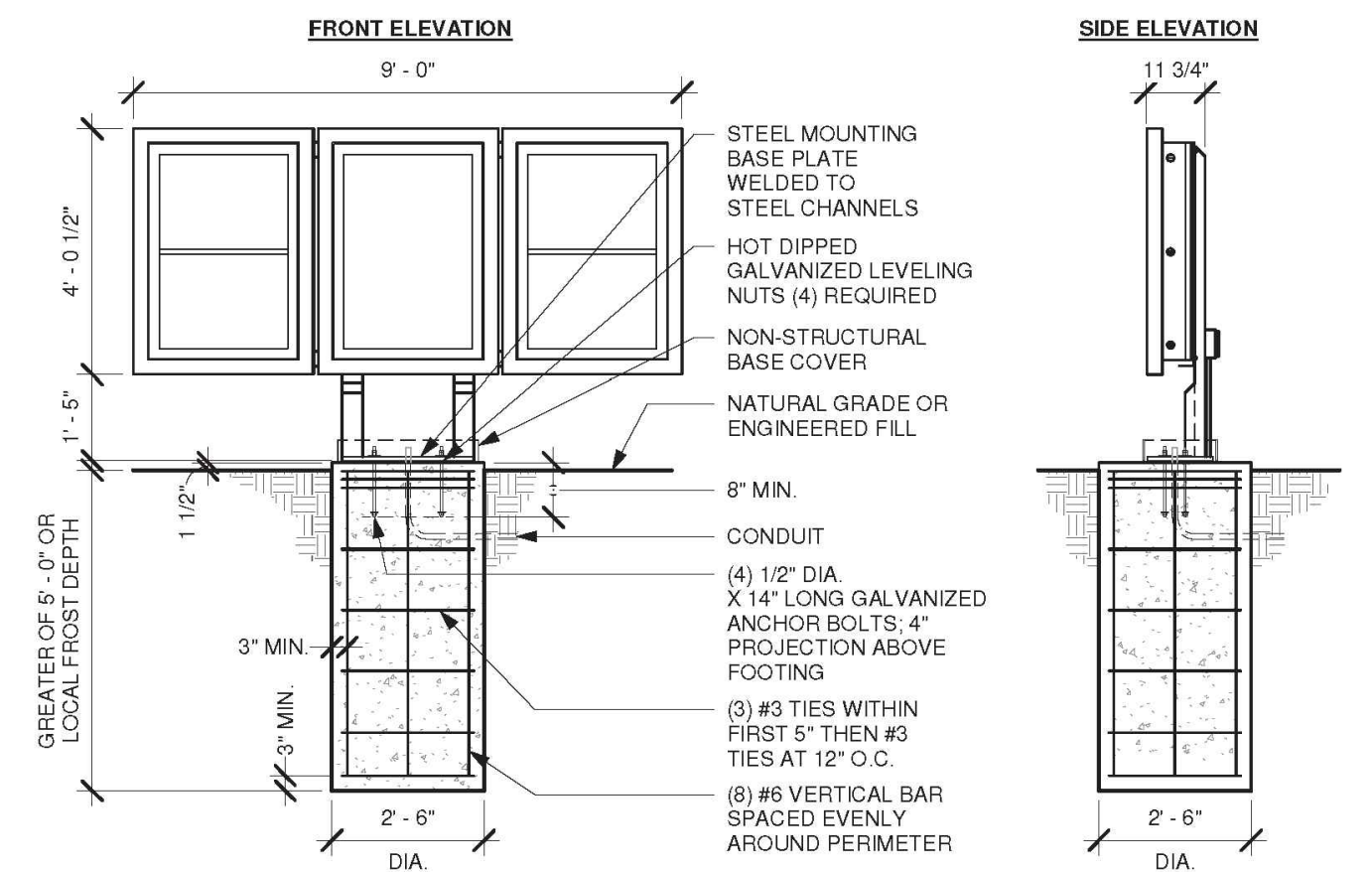


Figure 1. Loop area preparation
Figure 2. Loop layout and connections
NOTE: PVC adhesive (not provided) must be applied wherever PVC couplings and pipe are fitted together.
• Flatten the loop (folded for shipping) as shown in Figure 2 (1). Fit the pipe securely into the couplings (2). Lay the loop flat in the drive-thru lane and position it as shown in Figure 2. Elevate the loop on supports that are anchored to the ground, as shown in Figure 3. Level the loop so it will be 2 inches (51 mm) or less from the paved surface when the concrete is poured. Fasten the loop to the supports with wire, so it will not float when the concrete is poured.
• Pull the loop wires through the sleeve coupling (3) and the PVC loop extension (4). Slide one end of the sleeve coupling (3) over the nipple on the corner fitting of the loop (5), and slide the end of the loop extension (4) into the other end of the sleeve coupling (3).
• Pull the loop wires through the elbow coupling (6) and the remaining 2 foot (.61 meter) piece of PVC (7). Slide the two ends of (4 & 7) into the coupling (6), positioning the piece of PVC (7) so it points upward, out of the ground. Be certain it is next to and parallel to the outlets of the conduit coming into the speaker post or menu board from the building.



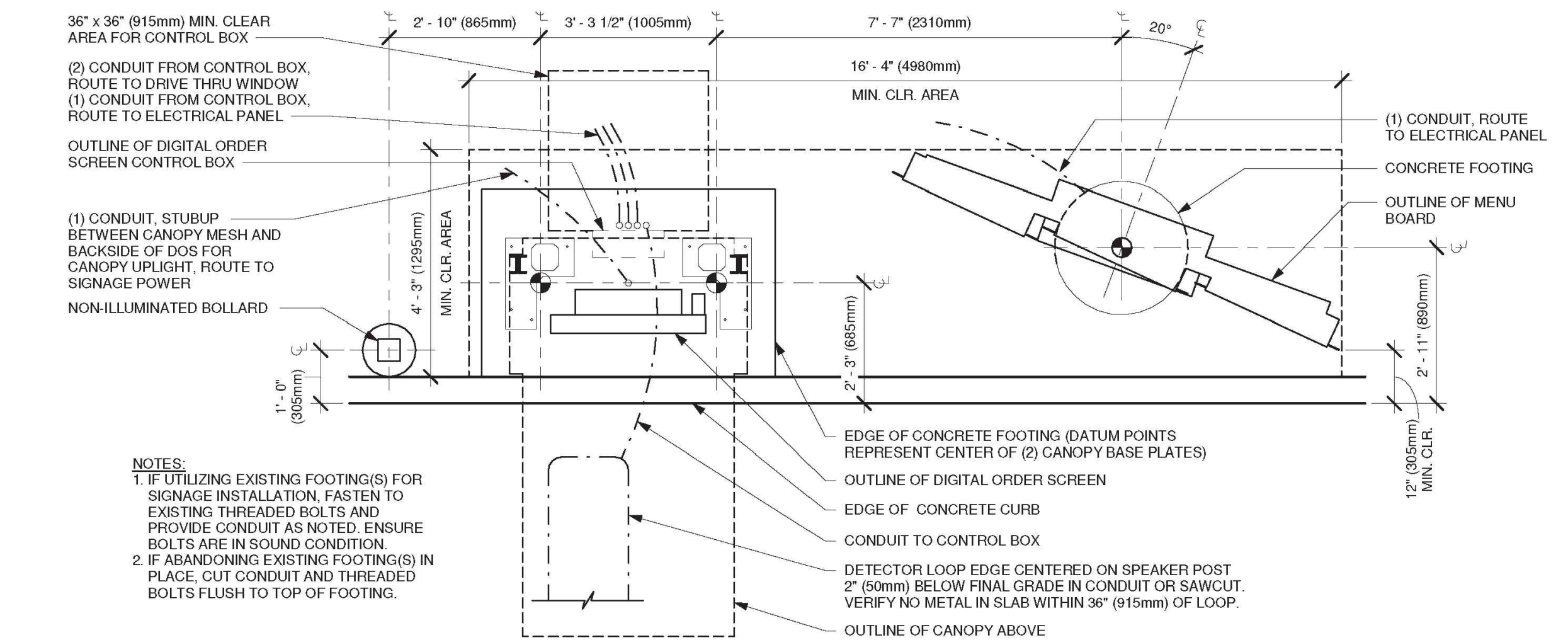
VEHICLE LOOP DETECTOR

SCALE: NTS



5-PANEL MENU BOARD AND CANOPY

SCALE: NTS



NOTES:
1. IF UTILIZING EXISTING FOOTING(S) FOR SIGNAGE INSTALLATION, FASTEN TO EXISTING THREADED BOLTS AND PROVIDE CONDUIT AS NOTED. ENSURE BOLTS ARE IN SOUND CONDITION.
2. IF ABANDONING EXISTING FOOTING(S) IN PLACE, CUT CONDUIT AND THREADED BOLTS FLUSH TO TOP OF FOOTING.

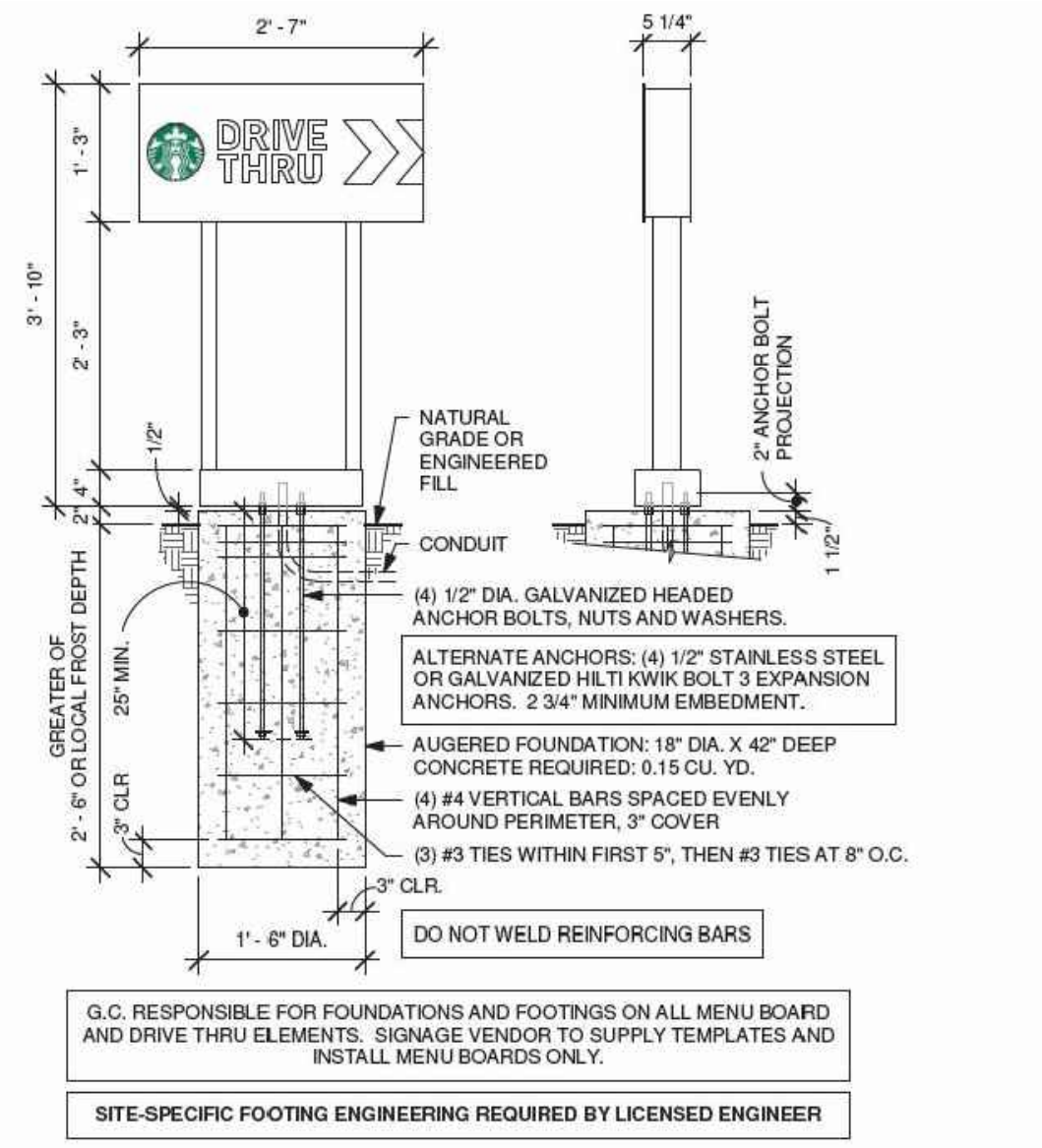
Rev. #:	Date	Description

SOLLI ENGINEERING
501 Main Street, Monro, CT 06468 T: (203) 880-5455 F: (203) 880-9695
351 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

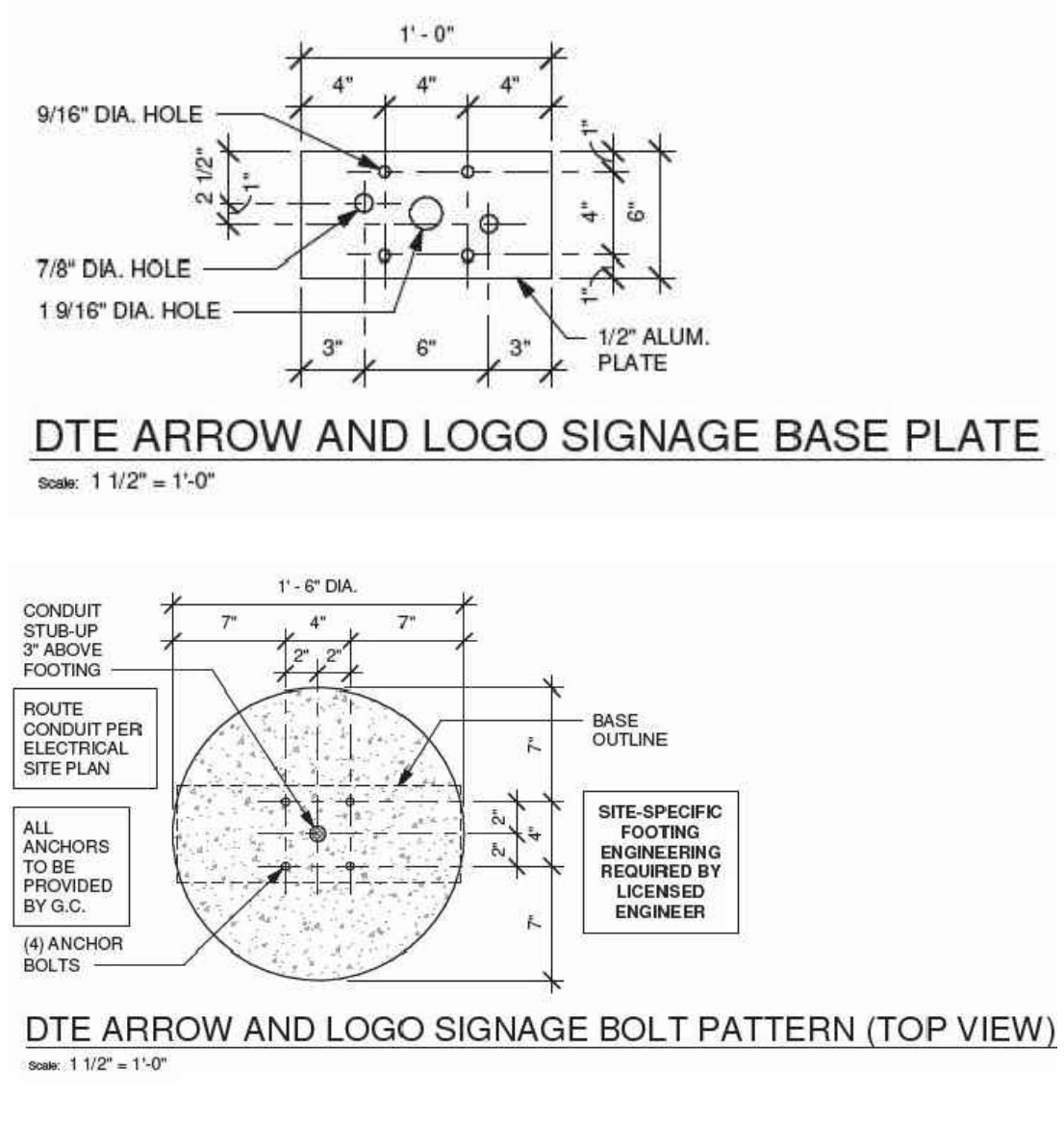
Drawn By:	SWG
Checked By:	PSK
Approved By:	KMS
Project #:	21100801
Plan Date:	02/26/21
Scale:	NTS
Project:	Kevin Solli, P.E. CT 25759

BROOKSIDE SHOPPING CENTER
4531-4577 MAIN STREET
BRIDGEPORT, CT

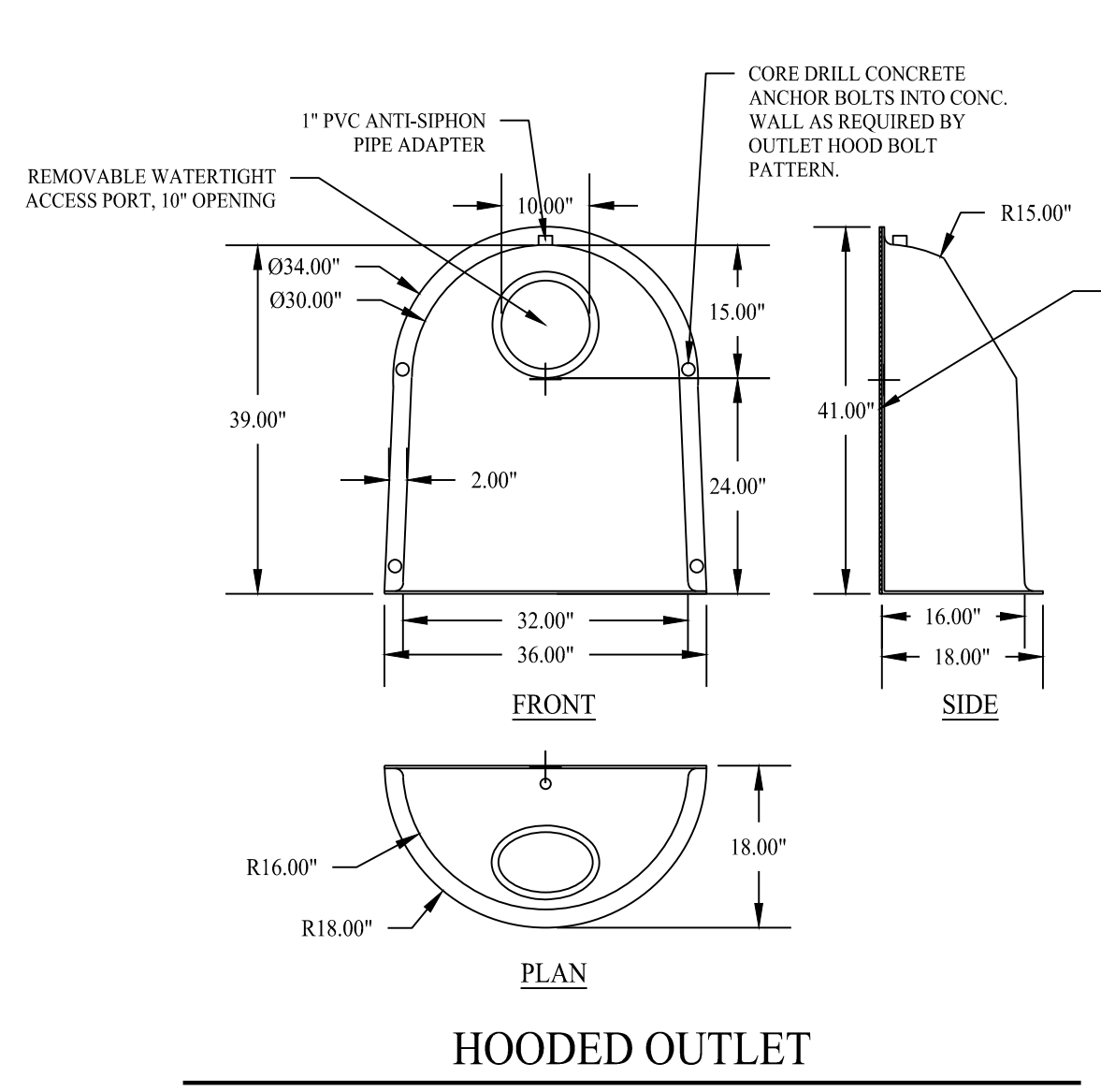
Sheet Title:	Sheet #:
DETAIL SHEET	3.03



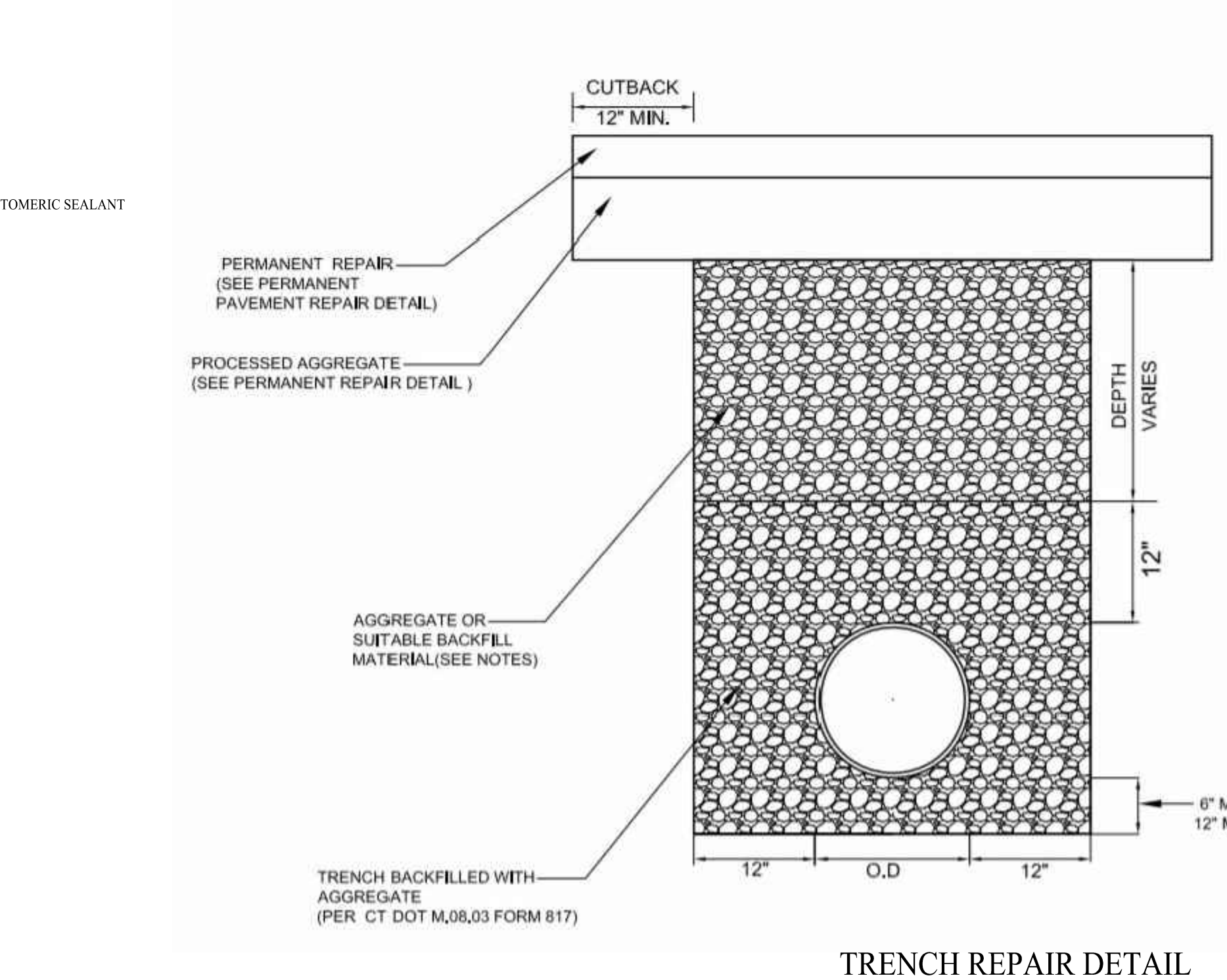
DTE Arrow and Logo Signage Ground Footing
Scale: 3/4" = 1'-0"



DTE Arrow and Logo Signage Bolt Pattern (Top View)
Scale: 1 1/2" = 1'-0"

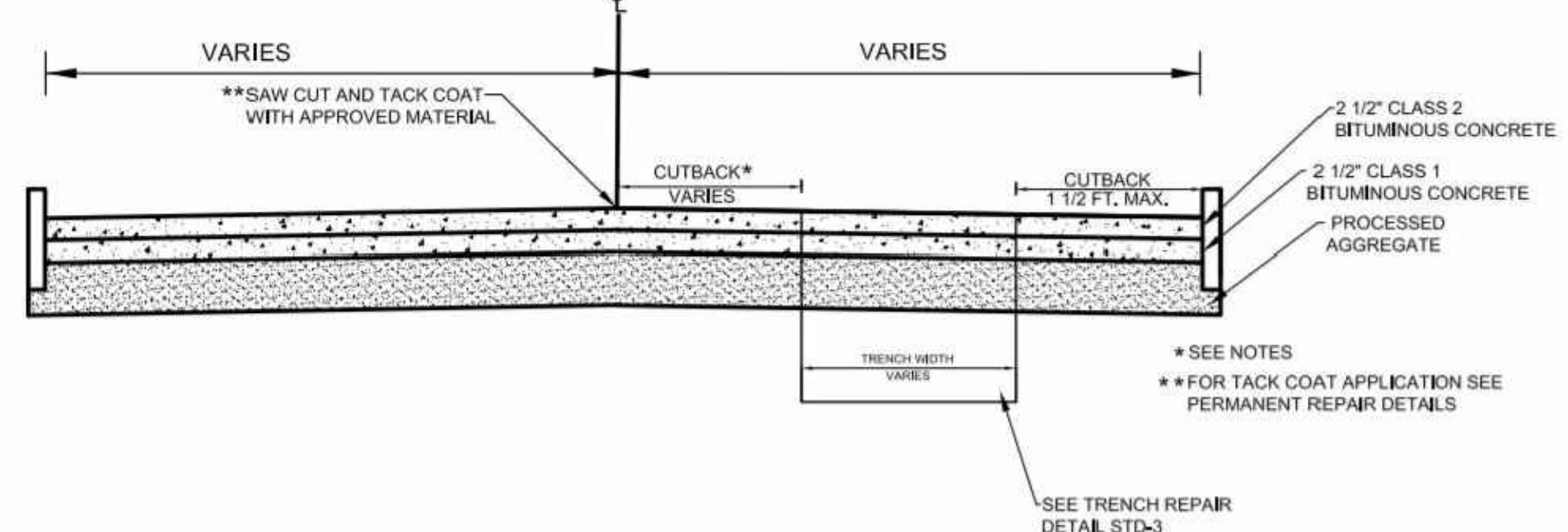


HOODED OUTLET
SCALE: NTS

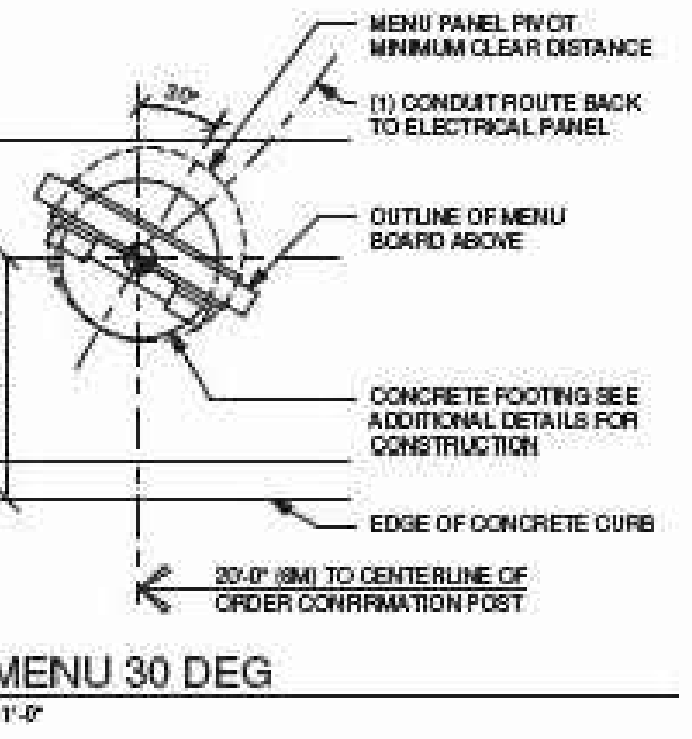


TRENCH REPAIR DETAIL
SCALE: NTS

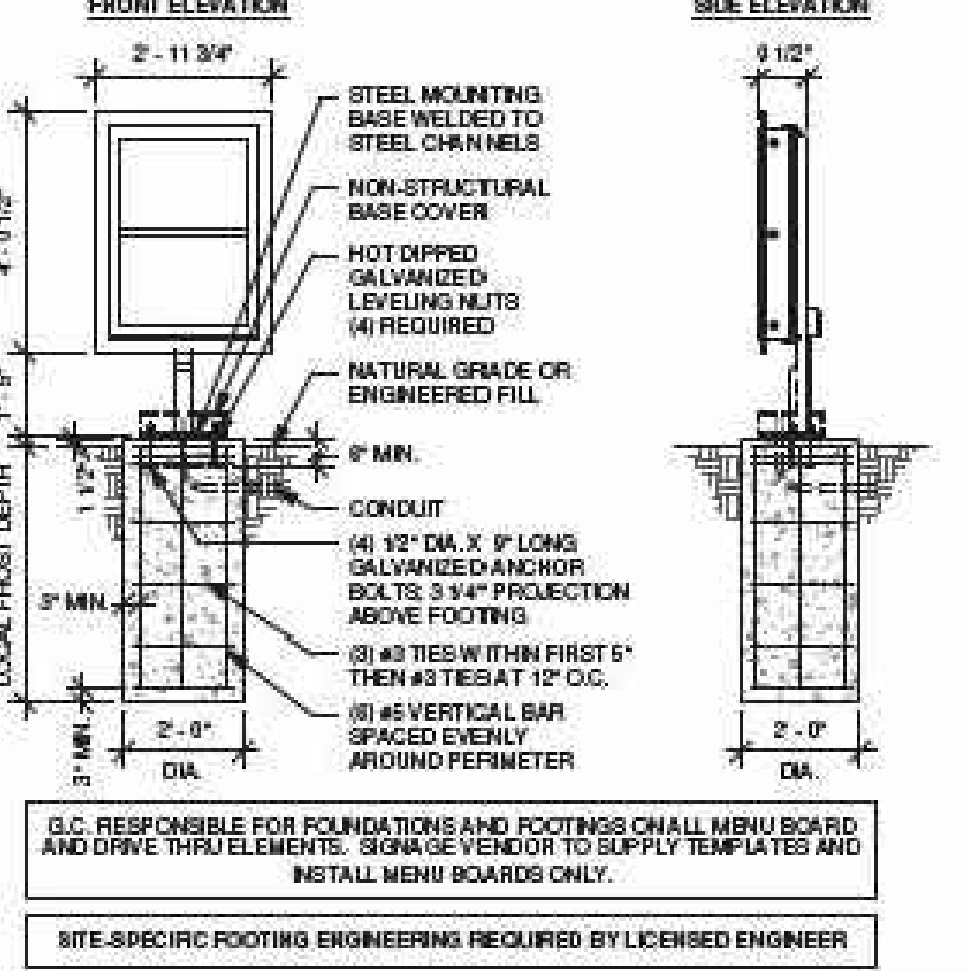
- NOTES:**
- AGGREGATE SHALL BE PLACED AROUND AND OVER THE PIPE 12" ABOVE THE TOP OF THE PIPE. THE REMAINDER SHALL BE FILLED WITH AGGREGATE OR SUITABLE BACKFILL MATERIAL.
 - TH BACKFILL MATERIAL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 6" DEEP AFTER COMPACTION & SHALL BE THOROUGHLY COMPACTED.
 - AS PER CT DOT SECTION 10.01 FORM 817, ALL TRENCHES IN EXISTING PAVED SURFACES, WHICH PARALLEL THE CURB, SHALL BE NO MORE THAN 1 1/2 FT. FROM THE CURB OR WHEN NO CURB IS PRESENT, THE APPARENT EDGE OF ROAD.
 - CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW ALL APPLICABLE OSHA REGULATIONS.
 - DISTURBED PAVEMENT MARKINGS SHALL BE REPLACED WITH NEW PAVEMENT MARKINGS AS PER MUTCD.
 - DISTURBED TRAFFIC LOOPS SHALL BE PUT BACK.



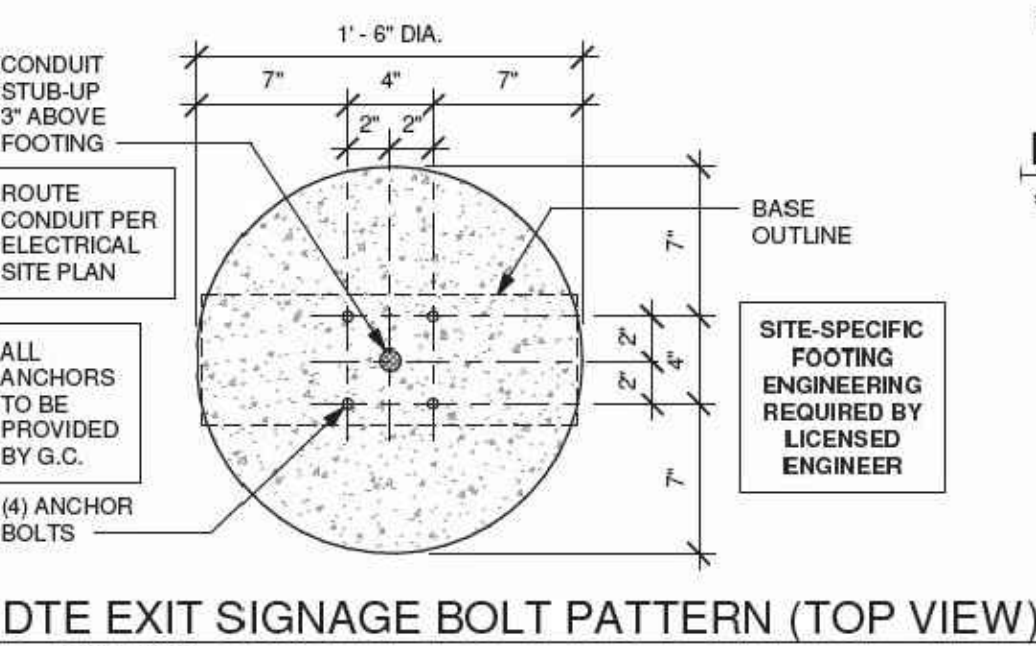
STREET OPENING OR EXCAVATION WHERE TRENCH IS MORE THAN ONE HUNDRED LINEAR FEET
SCALE: NTS



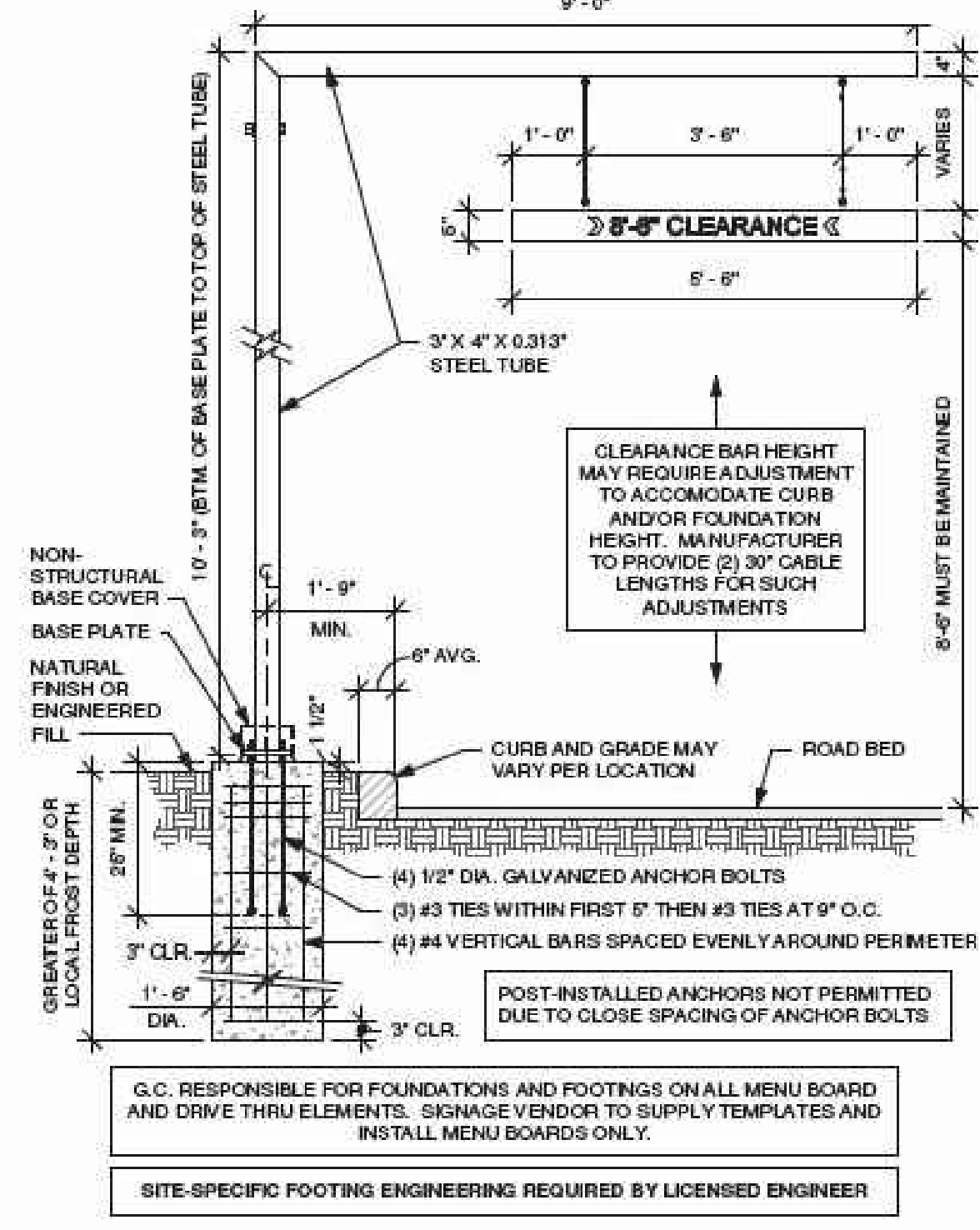
PRE-MENU 30 DEG
Scale: 1/2" = 1'-0"



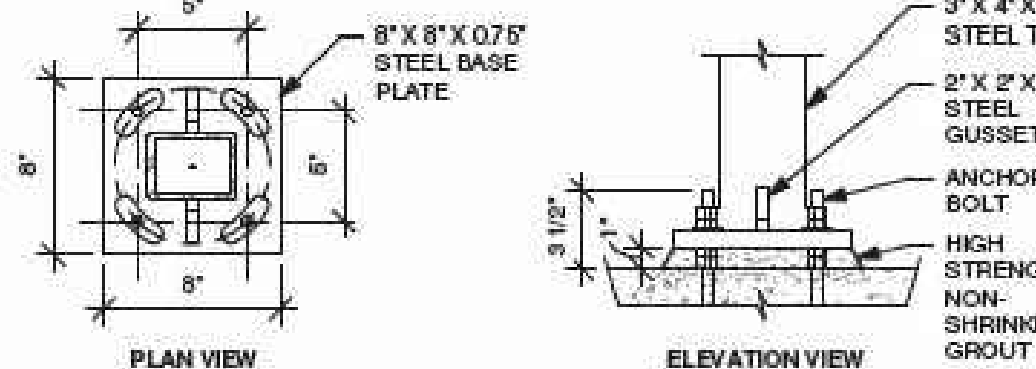
DTE PRE-MENU GROUND FOOTING
Scale: 3/8" = 1'-0"



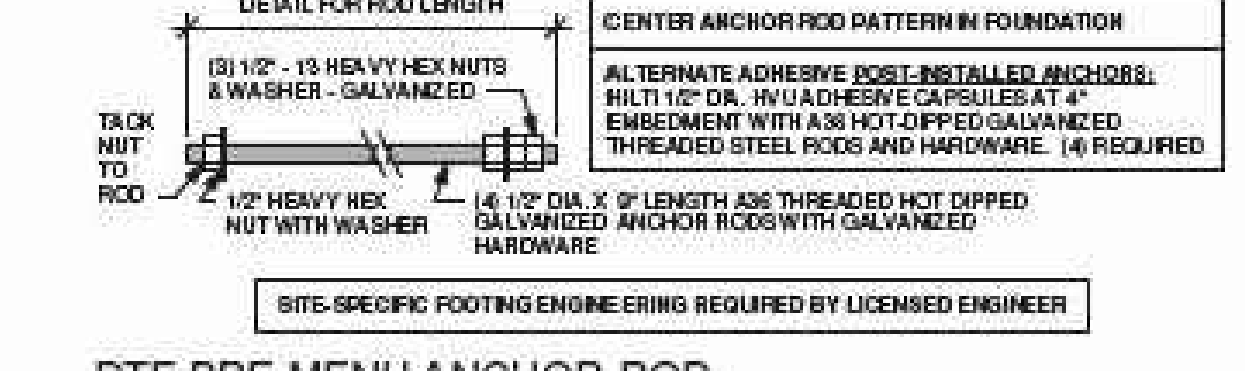
DTE EXIT SIGNAGE BOLT PATTERN (TOP VIEW)
Scale: 1 1/2" = 1'-0"



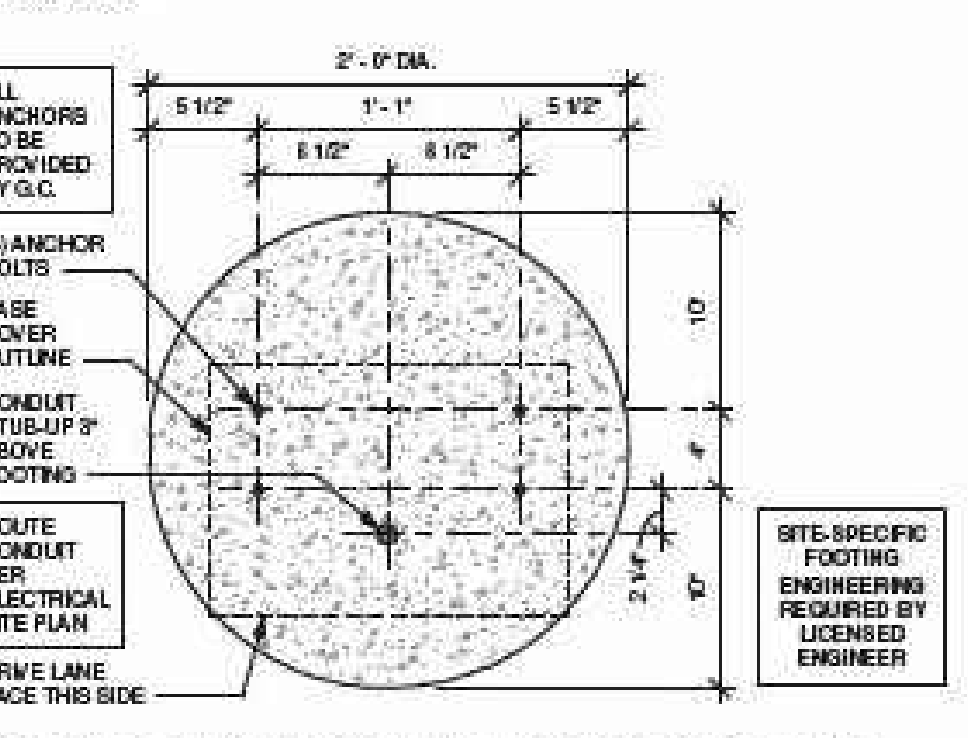
DTE CLEARANCE BAR GROUND FOOTING
Scale: 1/2" = 1'-0"



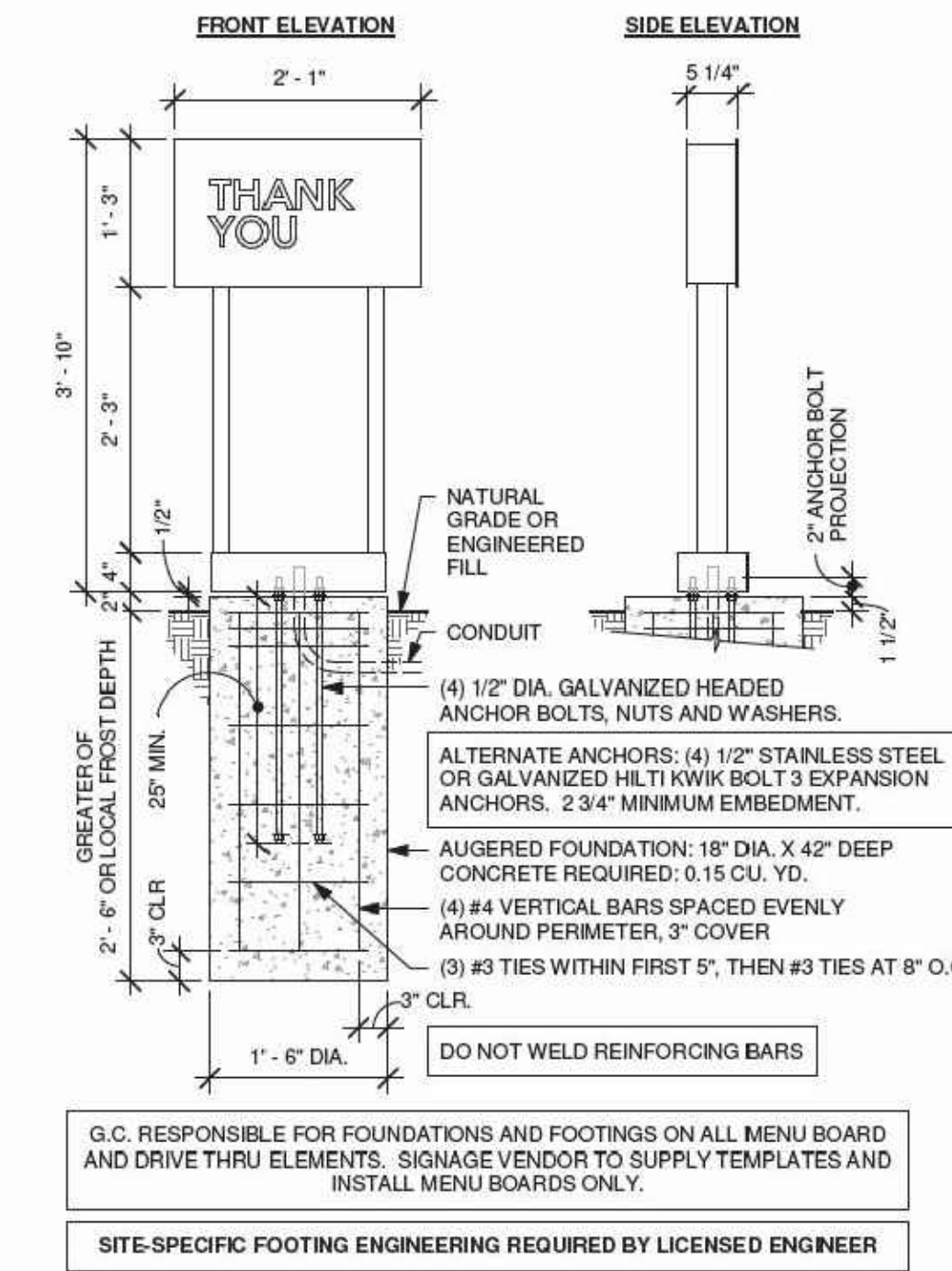
DTE CLEARANCE BAR BASE PLATE
Scale: 1 1/2" = 1'-0"



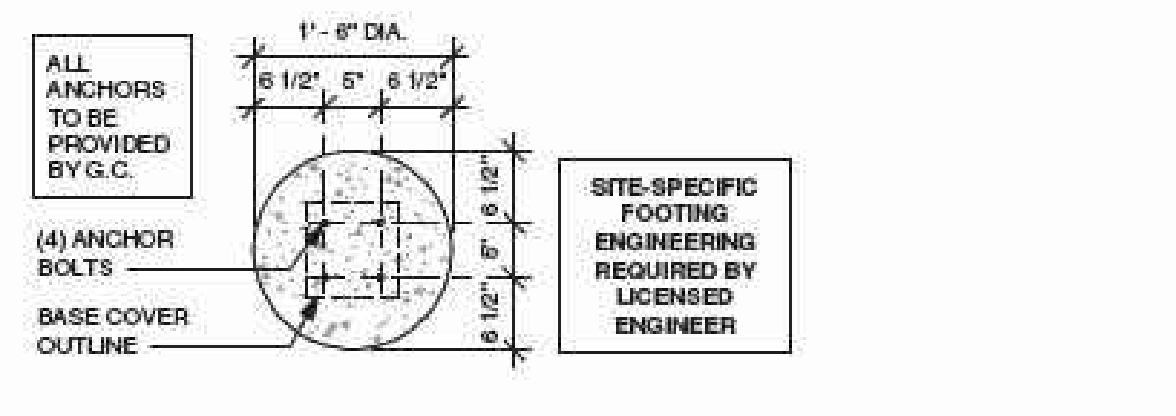
DTE PRE-MENU ANCHOR ROD
Scale: 3/4" = 1'-0"



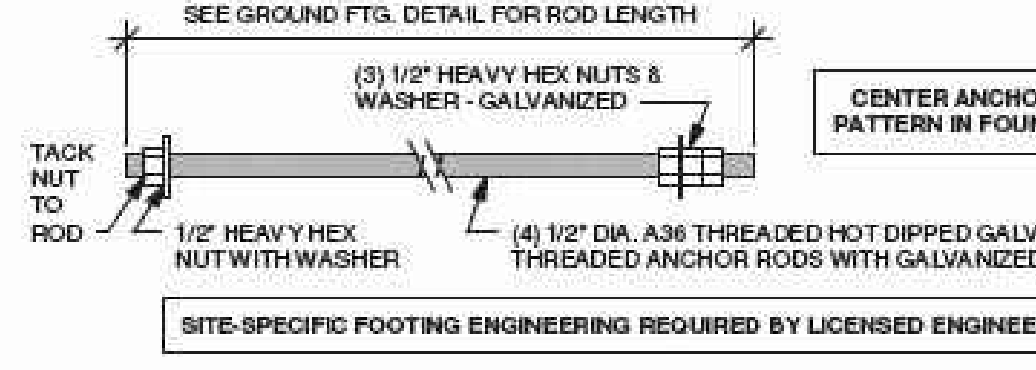
DTE PRE-MENU BOLT PATTERN (TOP VIEW)
Scale: 1 1/2" = 1'-0"



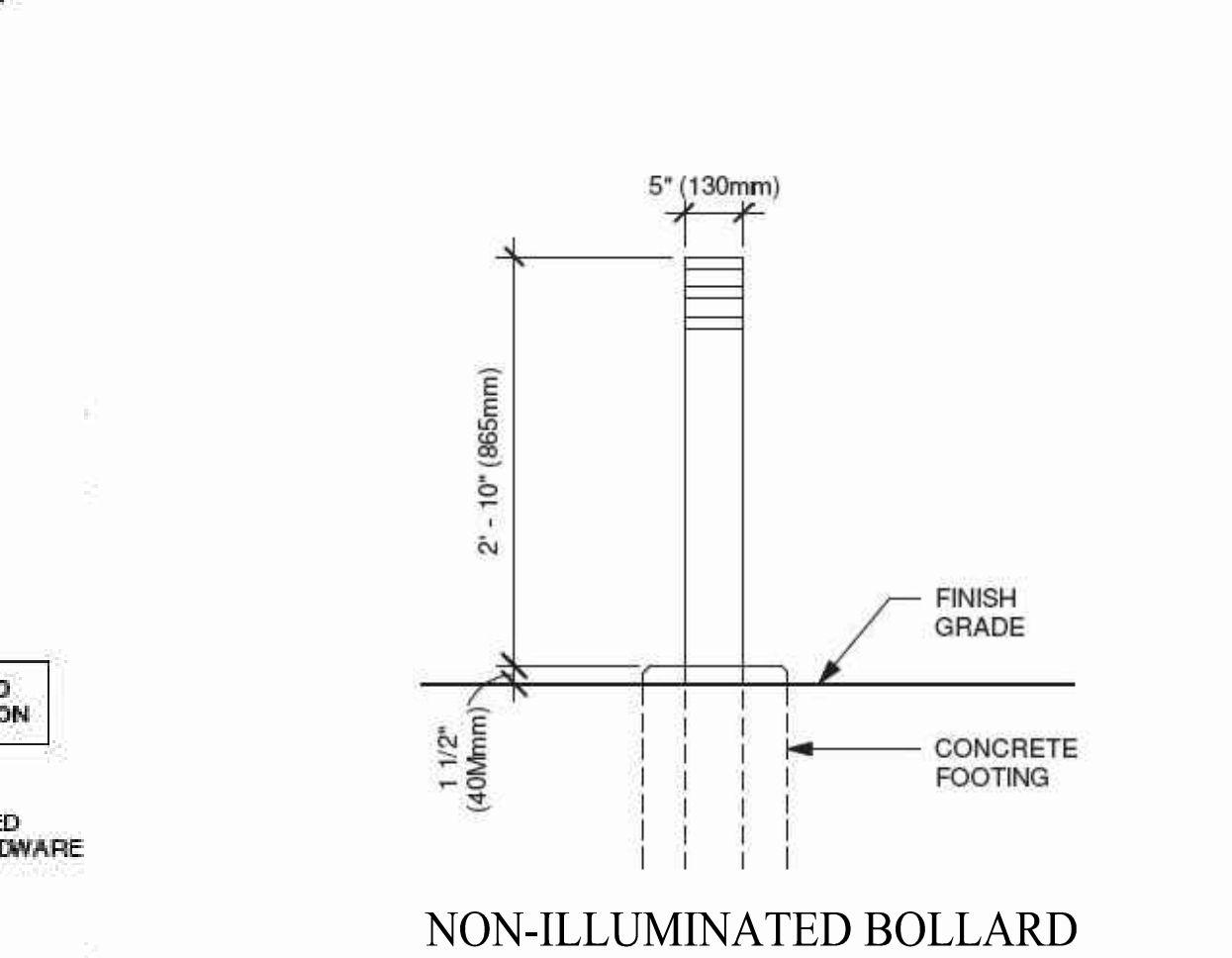
DTE EXIT SIGNAGE GROUND FOOTING
Scale: 3/4" = 1'-0"



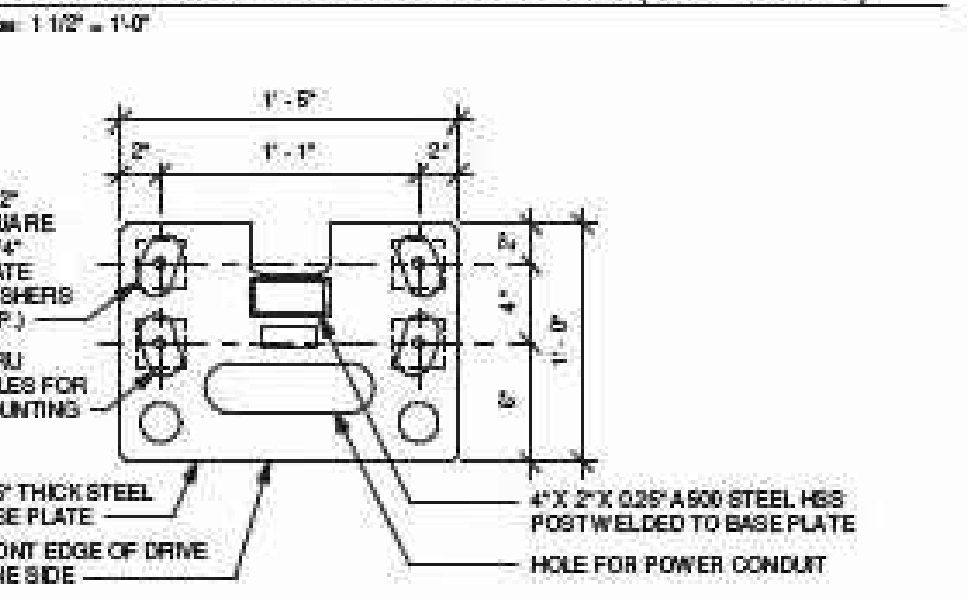
DTE CLEARANCE BAR BOLT PATTERN (TOP VIEW)
Scale: 3/4" = 1'-0"



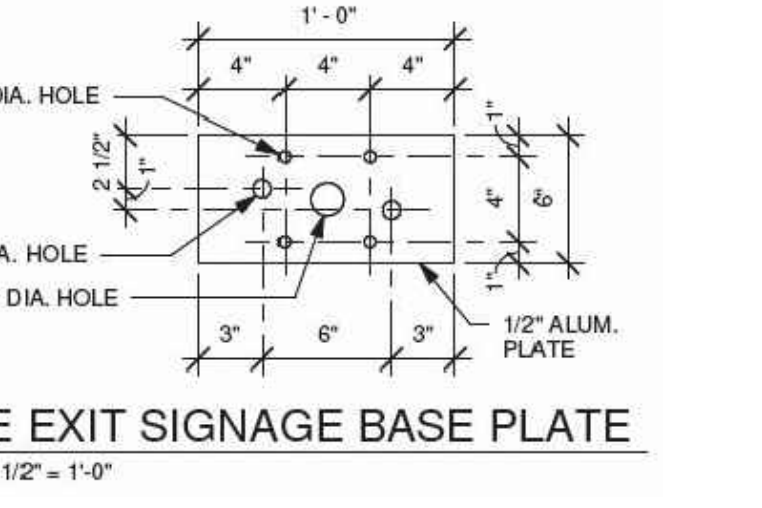
DTE CLEARANCE BAR ANCHOR ROD
Scale: 3/4" = 1'-0"



NON-ILLUMINATED BOLLARD
SCALE: NTS



DTE PRE-MENU BASE PLATE
Scale: 1 1/2" = 1'-0"



DTE EXIT SIGNAGE BASE PLATE
Scale: 1 1/2" = 1'-0"

Rev. #: Date Description

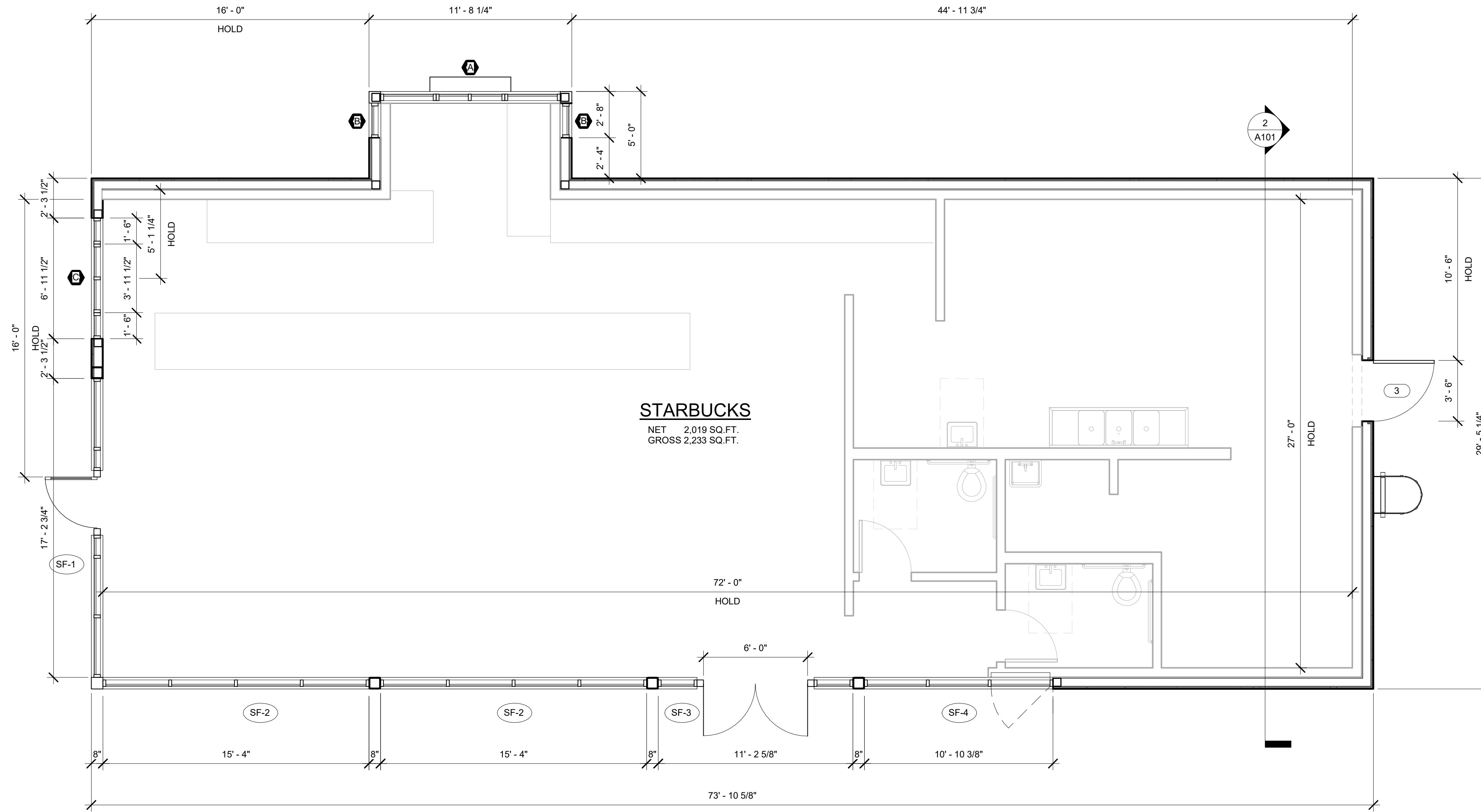
SOLLI ENGINEERING
501 Main Street, Monro, CT 06468 T: (203) 880-5455 F: (203) 880-9695
331 Newbury Street, Boston, MA 02115 T: (617) 203-3160 F: (203) 880-9695

Drawn By: SWG
Checked By: PSK
Approved By: KMS
Project #: 21100801
Plan Date: 02/26/21
Scale: NTS
Project: Kevin Solli, P.E. CT 25759

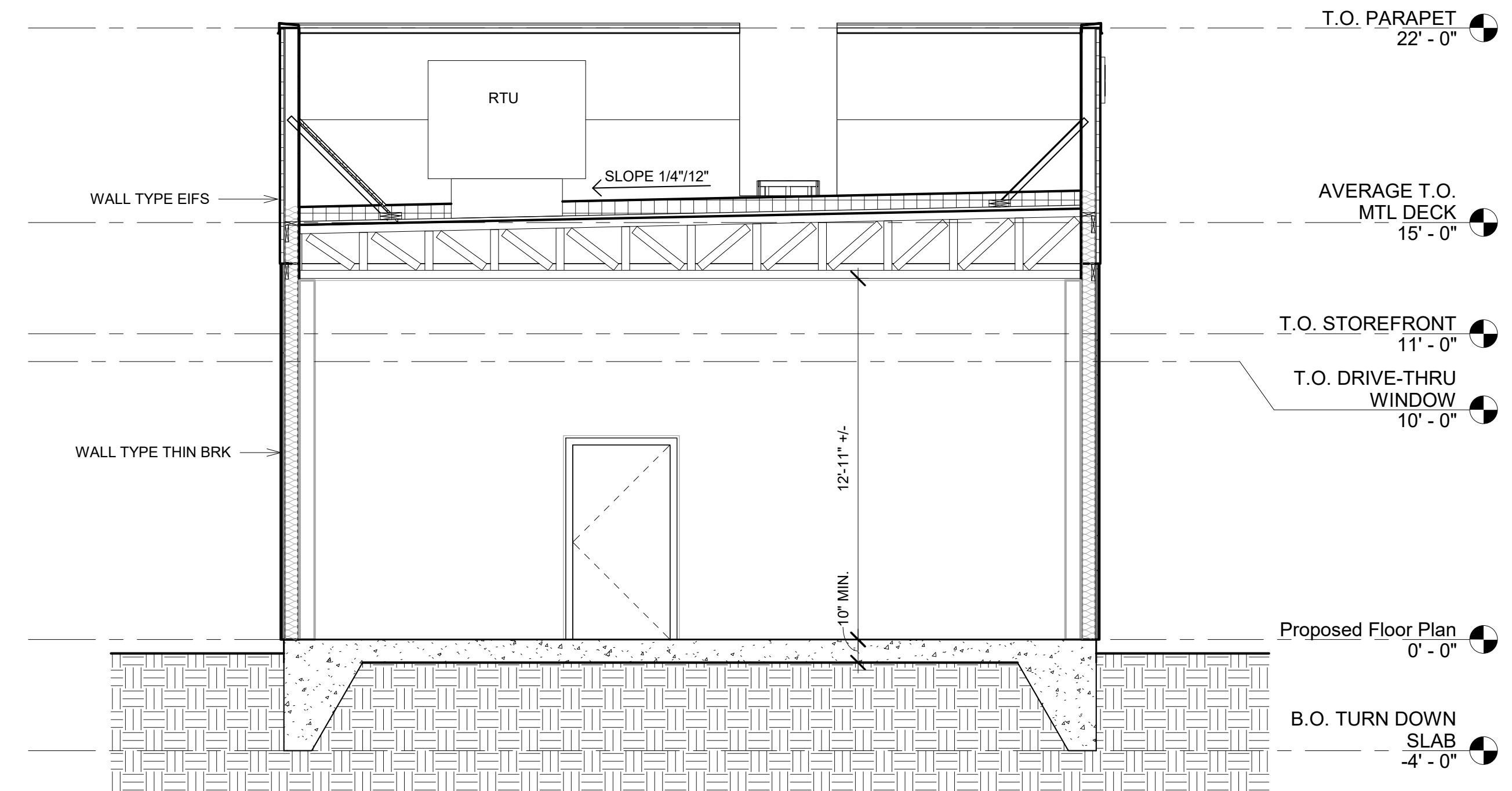
BROOKSIDE SHOPPING CENTER
4531-4577 MAIN STREET
BRIDGEPORT, CT

Sheet Title: DETAIL SHEET
Sheet #: 3.04

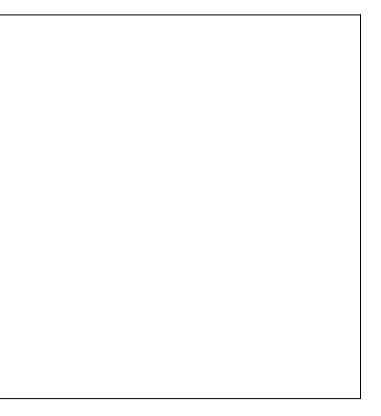
Mar 17, 2021 - 6:27pm peter
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1 Proposed Floor Plan
1/4" = 1'-0"



2 Section 1
1/4" = 1'-0"



STAMP

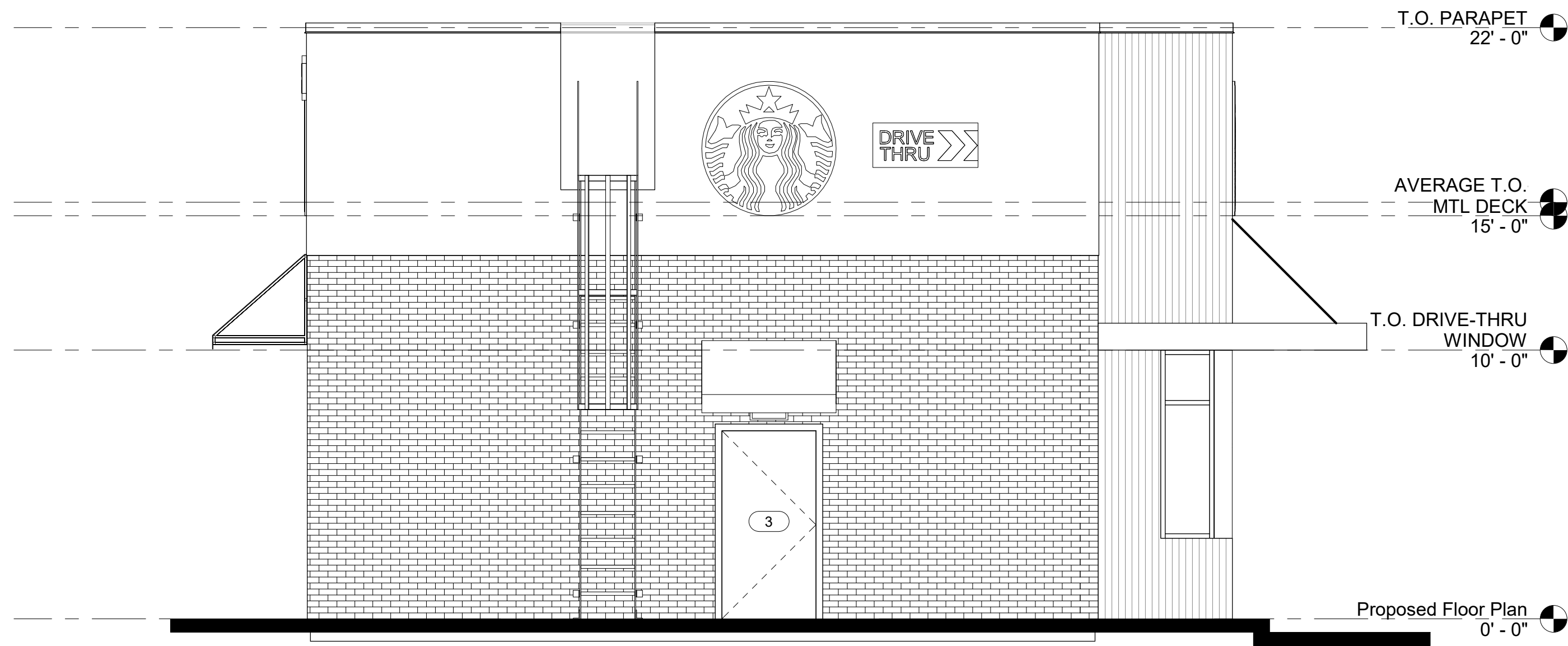
Starbucks
Brookside Center Shopping Mall
4531 Main Street
Bridgeport, CT 06606

No.	Description	Date
1	ZONING-WINDOW REVISED DWG SET	01-20-21 02-25-21
2		

Proposed Floor Plan

Project Number 20122.00
Date 01/15/21
Drawn By WDW
Checked By TS

A101
Scale 1/4" = 1'-0"



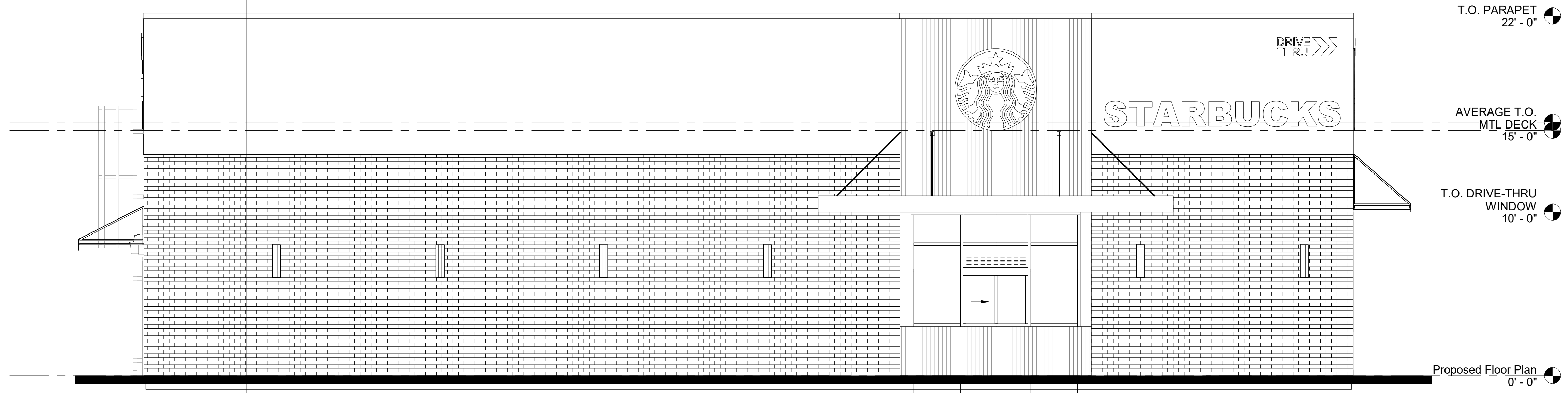
1 East
1/4" = 1'-0"



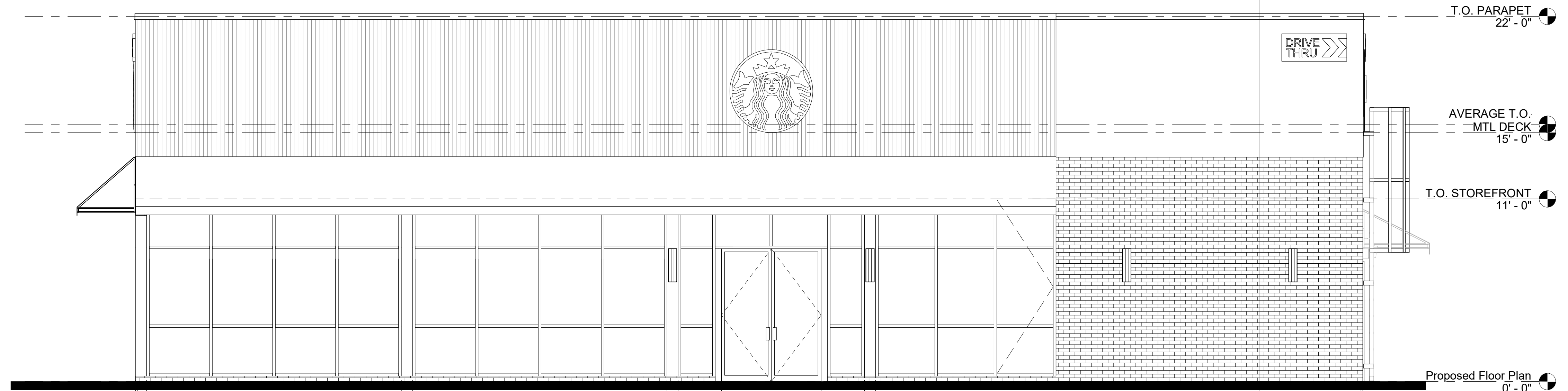
4 West
1/4" = 1'-0"

WEST ELEVATION - SIDE STREET FRONTAGE
BUILDING LENGTH = 29'-5 1/4"
50% OF BLDG LENGTH = 14'-8 5/8"
DESIGN GLASS LENGTH = 24'-10 1/4" (84%)
GROUND FLOOR HEIGHT = 15'-6"
BLDG LENGTH = 29'-5 1/4"
TOTAL WALL AREA = 456.28 SQ FT
40% OF WALL AREA = 182.51 SQ FT
TOTAL WINDOW DESIGN = 241.00 SQ FT (52.8%)

STAMP



2 North
1/4" = 1'-0"



3 South
1/4" = 1'-0"

SOUTH ELEVATION - PRIMARY STREET FRONTAGE
BUILDING LENGTH = 73'-10 5/8"
75% OF BLDG LENGTH = 55'-4 31/32"
DESIGN GLASS LENGTH = 54'-5" (75%)
GROUND FLOOR HEIGHT = 15'-6"
BLDG LENGTH = 73'-10 5/8"
TOTAL WALL AREA = 1145.22 SQ FT
50% OF WALL AREA = 572.61 SQ FT
TOTAL WINDOW DESIGN = 591.11 SQ FT (51.61%)

Starbucks
Brookside Center Shopping Mall
4531 Main Street
Bridgeport, CT 06606

No.	Description	Date
1	ZONING-WINDOW	01-20-21
2	REVISED DWG SET	02-25-21

Proposed Elevations

Project Number	20122.00
Date	01/15/21
Drawn By	WDW
Checked By	TS

A102
Scale As indicated



JOSEPH P. GANIM
Mayor

City of Bridgeport
OFFICE OF PLANNING & ECONOMIC DEVELOPMENT

Margaret E. Morton Government Center
999 Broad Street, Bridgeport, Connecticut 06604

THOMAS F. GILL
Director

WILLIAM J. COLEMAN
Deputy Director

To: Chairman Riley and Honorable Members of the Planning & Zoning Commission
C: Dennis Buckley, Zoning Official
Fr: Bill Coleman, Deputy Director 
Date: 03.26.2021

Re: 8-24 Review; Proposed Ground Lease for a Portion of Allen Street Parcel for Installation of Electronic Billboard for Harbor Yard Amphitheater

Pursuant to OPED's recent submittal of the above-captioned item to the Bridgeport City Council, we are asking the Planning and Zoning Commission to provide its review of the above-captioned ground lease as per its purview under *Title 8, Section 126, Chapter 8-24 of The Connecticut General Statutes*. We ask that this matter be considered under "City Business" at the Planning & Zoning Commission's meeting of Monday, April 26, 2021. Attached, for the Commission's review, please find a copy of the cover letter and accompanying resolution submitted to the City Council, along with relevant attachments. We look forward to presenting this item before you at your meeting of 4/26/21. Thank you.

Bill Coleman

Deputy Director, Office of Planning & Economic Development, **City of Bridgeport**
Margaret E. Morton Government Center, 999 Broad Street, Bridgeport, CT 06604
203-576-7221 (office), 203-275-6416 (cell), William.coleman@bridgeportct.gov



JOSEPH P. GANIM
Mayor

City of Bridgeport
OFFICE OF PLANNING & ECONOMIC DEVELOPMENT

Margaret E. Morton Government Center
999 Broad Street, Bridgeport, Connecticut 06604

THOMAS F. GILL
Director

WILLIAM J. COLEMAN
Deputy Director

March 26, 2021

City Clerk
45 Lyon Terrace
Bridgeport CT 06604

Re: Resolution Seeking Approval of a Lease of City Property on the Site of the Former Pequonnock Apartments to Allow the Installation of a Digital Billboard to Support the Harbor Yard Amphitheater Project

Request for a Public Hearing Before the Full Council on April 19, 2021

Request for Public Notice in Accordance with Governor's Executive Order 71

Referral to the Joint ECDE & Contracts Committee

Dear City Clerk and Honorable Members of the City Council:

The Bridgeport City Council approved on November 6, 2017 (Item No. 160-16) and the parties executed on December 18, 2017, as amended to date, that certain Facility Development and Operating Agreement (the "Operating Agreement") for the joint financing and renovation of the Ballpark at Harbor Yard into the Harbor Yard Amphitheater. The Operating Agreement in part authorizes Harbor Yard Amphitheater, LLC (the "Operator") to seek approvals to construct a digital billboard pursuant to a mutually acceptable agreement with the City.

For your consideration, the attached resolution proposes that the City enter into a lease with the Operator for the purpose of allowing the installation of a digital billboard that will promote Amphitheater events and will also benefit the City financially and in other ways as described in the Lease attached to the resolution.

This item will require a public hearing, which we request be ordered before the full City Council at its meeting of Monday, April 19, 2021.

This item must be publicly noticed in accordance with the provisions of the Governor's Executive Order 7I, as follows:

First publication—On the City's website and posted in the City Clerk's Office no more than 15 days and no less than 10 days before the public hearing

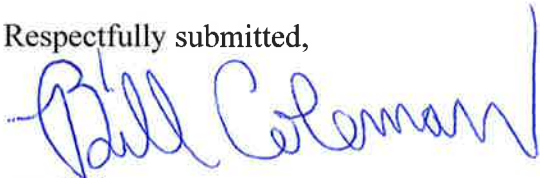
Second publication—On the City's website and posted in the City Clerk's Office no less than 2 days before the public hearing

Such notice must remain until the City Council has acted on the matter.

This item is for referral to the Joint ECDE and Contracts Committee, which we respectfully request be convened on Tuesday, April 13, 2021.

A favorable Ch. 8-24 report is being requested contemporaneously herewith from the Planning & Zoning Commission and is expected to be received prior to the Council's vote on this matter.

Respectfully submitted,



Bill Coleman
Deputy Director

C: Thomas Gill, Director, OPED
Ronald Pacacha, Esq., Of Counsel to the City Attorney's Office
Thomas Gaudett, Mayoral Aide

**RESOLUTION SEEKING APPROVAL OF A LEASE
ON CITY PROPERTY TO LOCATE AN ELECTRONIC DIGITAL BILLBOARD IN
SUPPORT OF THE HARBOR YARD AMPHITHEATER PROJECT**

WHEREAS, the City of Bridgeport (“**City**”) and Harbor Yard Amphitheater, LLC (the “**Operator**”) have entered into that certain Facility Development and Operating Agreement approved by the City Council (Item No. 160-16, approved November 6, 2017) executed as of December 18, 2017, as amended by that certain First Amendment to Facility Development and Operating Agreement approved by the City Council and dated as of April 20, 2020 (collectively, the “**Operating Agreement**”) pursuant to which the parties thereto agreed to jointly finance the renovation of the former Ballpark at Harbor Yard, home of the former Bridgeport Bluefish Professional Baseball Club, an approximately 7.8 Acre parcel of land located at 500 Main Street, Bridgeport, CT and shown as Lot No. 1 on that certain Subdivision Map of Property located on Broad Street and South Frontage Road dated February 14, 2000, rev’d 6-29-00, scale 1” = 60’, prepared by Kasper Group, Inc., Bridgeport, CT recorded in the Bridgeport Land Records (the “**Facility**”);

WHEREAS, as set forth in Paragraph 7.2(b) of the Operating Agreement, the Operator reserved the right to seek and now requests the City Council’s approval of a lease (the “**Lease**”) that will permit the construction and operation of a digital two-sided billboard and its appurtenances (collectively, the “**Amphitheater Billboard**”) on a small portion of City property formerly owned by the Housing Authority of the City of Bridgeport a/k/a Park City Communities and commonly known as the site of the former Pequonnock Apartments on Allen Street at a location more particularly shown in the Lease and on that certain Improvement Location Survey dated March 13, 2021 prepared by Godfrey Hoffman Hodge, LLC attached thereto and incorporated therein by reference (the “**Demised Premises**”);

WHEREAS the proposed Lease, a copy of which is attached hereto provides the terms and conditions for the use of the Demised Premises including the consideration to be received by the City both in the form of monetary compensation and the right to use a percentage of the billboard advertising “flips” for the promotion of various City attractions, public events, activities, and public service announcements; and

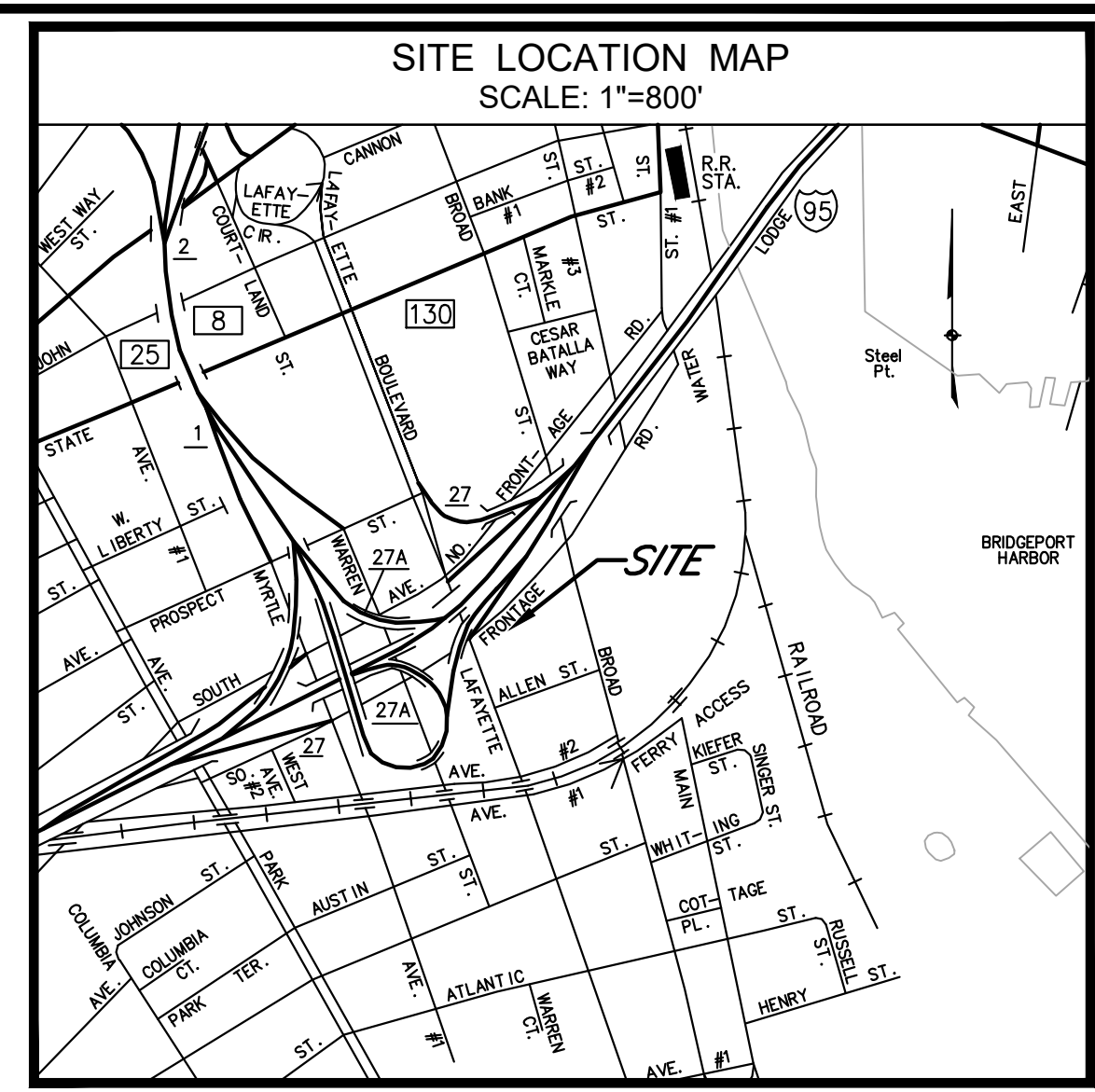
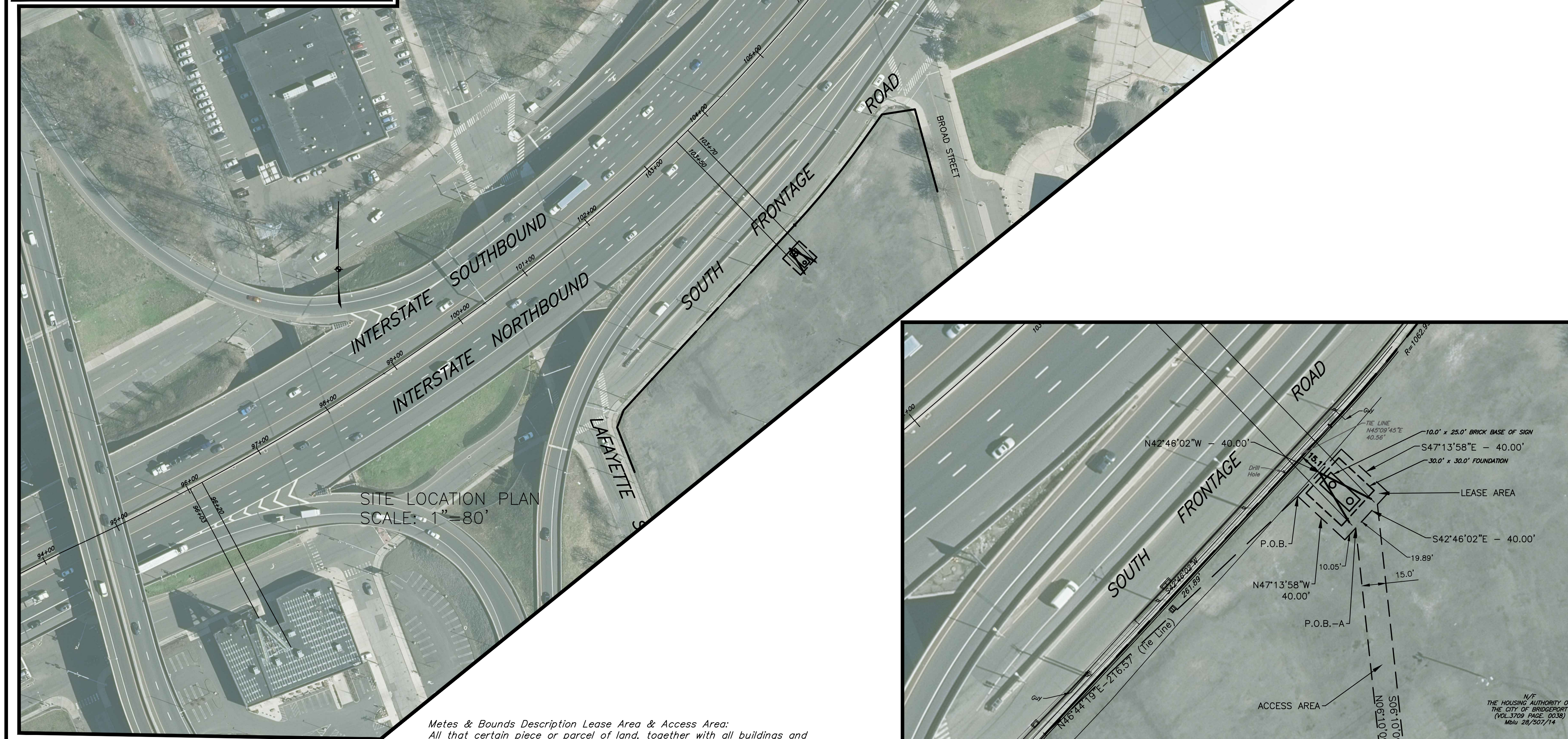
WHEREAS, the parties believe that the Lease for the Amphitheater Billboard will be instrumental in the success of the Amphitheater, will be financially beneficial to the City, and is in the best interests of the citizens of the City of Bridgeport.

NOW, THEREFORE, BE IT:

RESOLVED, that the use of the Demised Premises pursuant to the terms and conditions of the Lease is hereby approved; and

FURTHER RESOLVED, that the Mayor or the Director of the Office of Planning and Economic Development is hereby authorized to enter into the Lease in substantially the form attached hereto, and is further authorized to take all other actions and do all other things necessary in furtherance of the purposes of and consistent with this resolution and in the best interests of the City of Bridgeport and its citizens.

LEGEND			
	Property / Street Line		Concrete Monument / TO BE SET
	Easement / Right of Way Line		Iron Pin / TO BE SET
	Stone Wall		LOT NUMBER (TYPICAL)
	Wire / Chain Link Fence		Now or Formerly
	Wood / Rail Fence		Type 'C' Catch Basin / PROPOSED
	Water Course		Utility Pole
	Existing Contour		Fire Hydrant
	PROPOSED CONTOUR		Light Pole
	PROPOSED SILTENCE		Wetlands
	UGL		Existing Spot Grade
	Underground Electric Line		PROPOSED SPOT GRADE
	OHW		Hatch
	Overhead Wires		Water Gate
	GAS		Gas Gate
	Sanitary Sewer Line		Existing Text - Lower Case "Italic" Letters
	Storm Sewer Line		PROPOSED TEXT - UPPER CASE "BOLD" LETTERS
	Telephone Line		
	Water Line		
	Tree Line		
	Existing Structure		
	PROPOSED CONST. ENTRANCE		



NOTES:

- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE JUNE 21, 1996, AMENDED OCTOBER 26, 2018.
 - THE HORIZONTAL ACCURACY CONFORMS TO CLASS "A-2" FOR THE PROPERTY LINES AND PROPOSED EASEMENT LINES. THE HORIZONTAL ACCURACY FOR THE STATE OF CT DOT STATIONING IS CLASS "D".
 - THE BOUNDARY DETERMINATION CATEGORY IS A "RESURVEY".
 - THE TYPE OF SURVEY IS A "IMPROVEMENT LOCATION SURVEY".
- ALL MONUMENTATION FOUND OR SET IS DEPICTED ON THIS MAP.
- THE NORTH ARROW, BEARINGS AND COORDINATES ARE BASED UPON THE CONNECTICUT STATE COORDINATE SYSTEM, MD 83 UTILIZING THE STATE OF CONNECTICUT ACORN GPS NETWORK.
- REFERENCE MAP(S):
 - RIGHT OF WAY SURVEY, MAP SHOWING LAND ACQUIRED FROM THE HOUSING AUTHORITY OF THE CITY OF BRIDGEPORT, BY: THE STATE OF CONNECTICUT HIGHWAY DEPARTMENT DATED: NOV. 25, 1966
 - PLAN OF CONSTRUCTION OF CONNECTICUT ROUTE 25 BY: THE STATE OF CONNECTICUT HIGHWAY DEPARTMENT DATED: AUG. 3, 1965
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON MAY HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE LOCATIONS OF WHICH ARE UNKNOWN TO GODFREY-HOFFMAN HODGE, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

TO: OUTFRONT MEDIA

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

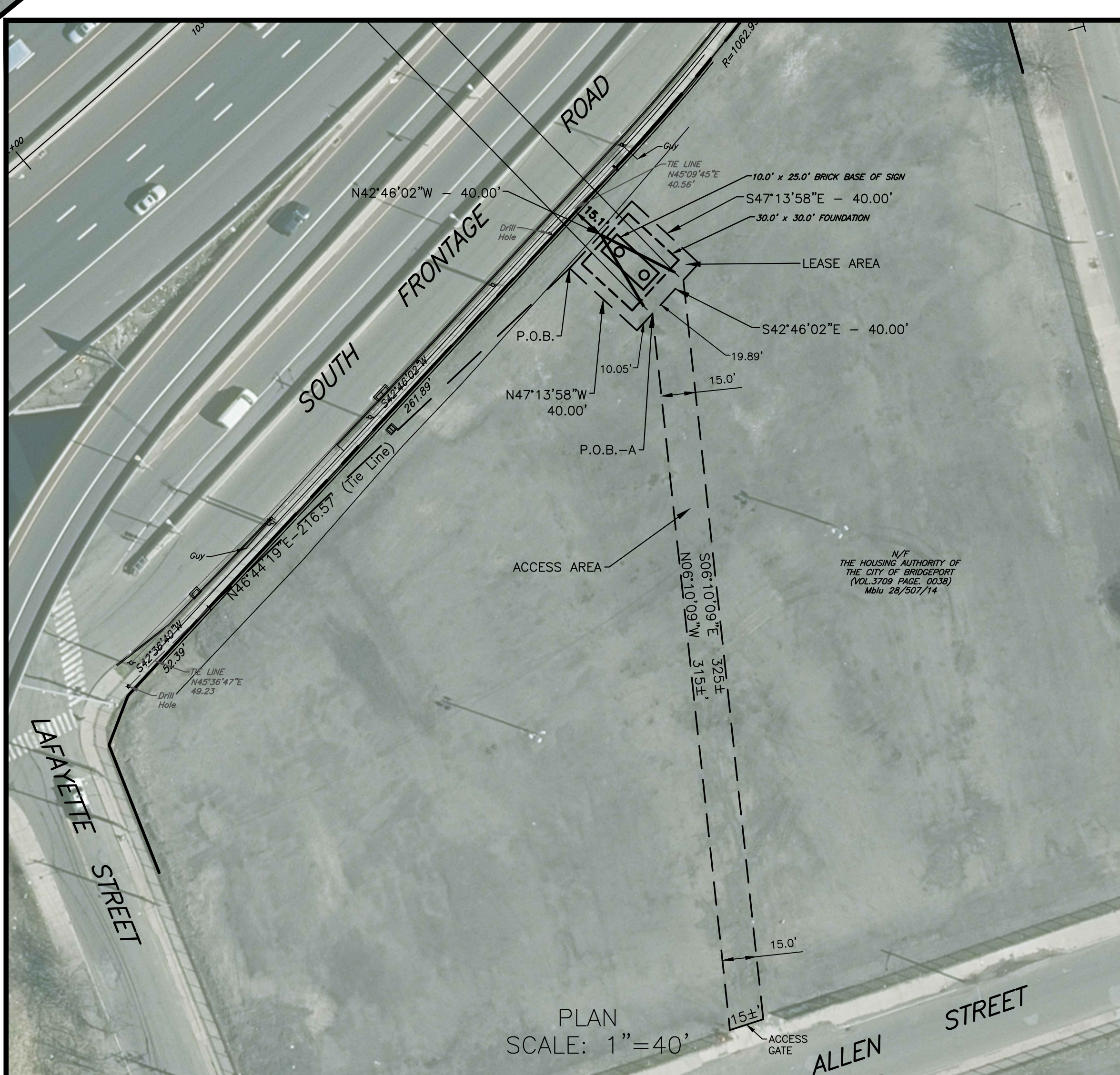
ADAM ROEMAN, L.S. #15168

NOT VALID WITHOUT LIVE SIGNATURE AND SEAL.

Metes & Bounds Description Lease Area & Access Area:
 All that certain piece or parcel of land, together with all buildings and improvements thereon, situated in the City of Bridgeport, State of Connecticut depicted on map entitled 'Improvement Location Survey - Proposed, Prepared For Outfront Media, South Frontage Road, Bridgeport, Connecticut, prepared by Godfrey Hoffman Hodge, LLC and dated March 13, 2021, bounded and described as follows:

Lease Area:
 Beginning at the easterly corner of herein described parcel, said point being North 46 degrees 44 minutes 19 seconds East, 216.57 feet from an angle point in the highway line of South Frontage Road and being marked P.O.B.;
 Thence; North 42 degrees 46 minutes 02 seconds East, through land now or formerly of The Housing Authority of the City of Bridgeport, a distance of 40.00 feet;
 Thence; South 47 degrees 13 minutes 58 seconds East, through land now or formerly of The Housing Authority of the City of Bridgeport, a distance of 40.00 feet;
 Thence; South 42 degrees 46 minutes 02 seconds West, through land now or formerly of The Housing Authority of the City of Bridgeport, a distance of 40.00 feet;
 Thence; North 47 degrees 13 minutes 58 seconds West, through land now or formerly of The Housing Authority of the City of Bridgeport, a distance of 40.00 feet to the point and place of beginning.
 Said parcel contains 1,600 Square Feet.

Access Area:
 Beginning at a point on the southerly line of the Billboard Easement, said point being North 42 degrees 46 minutes 02 seconds East, 10.05 feet and marked P.O.B.-A;
 Thence; North 42 degrees 46 minutes 02 seconds East, through land now or formerly of The Housing Authority of the City of Bridgeport, a distance of 19.89 feet;
 Thence; South 06 degrees 10 minutes 09 seconds East, through land now or formerly of The Housing Authority of the City of Bridgeport, a distance of 325 feet more or less;
 Thence; Southwesterly along the northerly streetline of Allen Street, a distance of 15 feet more or less;
 Thence; North 06 degrees 10 minutes 09 seconds West, through land now or formerly of The Housing Authority of the City of Bridgeport, a distance of 315 feet more or less to the point of beginning.



NOTES:

- THE CLOSEST BILLBOARD TO THE NORTH (ARENA) IS 551 FEET.
- THE CLOSEST BILLBOARD TO THE SOUTH IS 730 FEET.
- ALL DISTANCES MEASURED ALONG THE HIGHWAY CENTERLINE BASELINE.
- NO EQUIPMENT BUILDING IS PROPOSED.
- NO PERIMETER FENCING IS PROPOSED.
- NO LANDSCAPING IS PROPOSED.
- ACCESS AREA IS SUBJECT TO CHANGE IF THE PROPERTY IS DEVELOPED.

ALL WORK, LABOR, AND MATERIALS TO BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES AND LAWS WHICH SHALL TAKE PRECEDENCE OVER THESE DRAWINGS IN THE EVENT OF ERRORS AND/OR OMISSIONS HEREIN.

THE WORD "CERTIFY" OR "DECLARE" IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE LAND SURVEYOR AND/OR ENGINEER, WHICH IS BASED ON THEIR BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH IT CONSTITUTES NEITHER A GUARANTEE OR WARRANTY.

THE INFORMATION CONTAINED HEREIN IS THE PROPRIETARY AND CONFIDENTIAL PROPERTY OF GODFREY-HOFFMAN HODGE, LLC. REPRODUCTIONS, PUBLICATION, DISTRIBUTION, OR DUPLICATION IN WHOLE OR IN PART REQUIRES THE WRITTEN PERMISSION OF GODFREY-HOFFMAN HODGE, LLC. THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE LIVE SIGNATURE AND LIVE SEAL OF THE DESIGNATED LICENSED PROFESSIONAL.

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NO.	DATE	DESCRIPTION



IMPROVEMENT LOCATION SURVEY - PROPOSED
 PREPARED FOR
OUTFRONT MEDIA
 SOUTH FRONTAGE ROAD
 BRIDGEPORT, CONNECTICUT

0 20 40 60 80 100

GODFREY HOFFMAN HODGE, LLC
 PROFESSIONAL LAND SURVEYORS & CIVIL ENGINEERS
 28 BROADWAY NORTH AVENUE, CT 06473, TEL: 203.239.4217 - WWW.GODFREYHOFFMAN.COM
 1793 FARMINGTON AVENUE, UNIONVILLE, CT 06895, TEL: 860.673.0444 - WWW.HODGELL.COM

DRAWN BY: CAD
 CHECKED BY: AH
 DATE: 3-13-2021
 SCALE: 1"=40'
 PROJECT: 21-030
 DRAWING:
11

RECVD IN THE BPT. ZONING
DEPT. ON 4/13/21

File No. 21-23

**PETITION TO THE PLANNING & ZONING COMMISSION
CITY OF BRIDGEPORT, CONNECTICUT**

- 1. **NAME OF PETITIONER:** The Office of Planning & Economic Development (OPED)
- 2. Is the Petitioner's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
- 3. Address of Property: Citywide
(number) (street) (state) (zip code)
- 4. Assessor's Map Information: Block No. _____ N/A Lot No. _____ N/A
- 5. Amendments to Zoning Regulations: (indicate) Article: 11-7 Sections: 11-7-3, 11-7-3(e), & 11-7-7
(Attach copies of Amendment)
- 6. Description of Property (Metes & Bounds) N/A
- 7. Existing Zone Classification: ALL
- 8. Zone Classification requested: ALL
- 9. Describe Proposed Development of Property: N/A
Approval(s) requested: 11-7-3 (amend to include MU-EM zones); 11-7-3(e) (amend to include a building of three or more stories in the MU-EM zone); 11-7-7 (amend for the exception of MU-EM zones).

Signature: Bill Coleman Date: 04/12/21
 Print Name: Bill Coleman, Deputy Director, OPED

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
 Print Name: _____

Mailing Address: 999 Broad St, Bridgeport CT, 06604
 Phone: 203-576-7221 Cell: _____ Fax: _____
 E-mail Address: william.coleman@bridgeportct.gov

\$ 0 Fee received **"See Note"** Date: _____ Clerk: Dennis Buckley

THIS PETITION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site Development Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

ENDORSEMENT OF APPLICATION

Print Owner's Name _____ Owner's Signature _____ Date _____
 Print Owner's Name _____ Owner's Signature _____ Date _____

***Note:** Base Fee plus \$100/1000sf for commercial and/or \$100 per new dwelling unit.

Proposed Text Amendment

Section 11-7-3 Regulations Applying to Signs in All Zones **(INCLUDING MU-EM ZONES):**

Section 11-7-3 (e) Maximum Height. Except as provided in this Section, the maximum height above ground level of any sign shall be no greater than the maximum height allowable in the zone where situated or twenty-five (25) feet whichever is less. No part of any wall sign shall extend above the top of the wall or façade to which it is attached; except that the height of an on-premises wall sign on a building of five (5) or more stories in a non-residential zone, **OR ON A BUILDING OF THREE OR MORE STORIES IN THE MU-EM ZONE**, and erected to be visible from any major commercial thoroughfare or interstate highway may be greater than twenty-five (25) feet above ground level subject to the issuance of a special permit upon a finding of compliance with the provisions of Section 14-4-4j.

Section 11-7-7 - Office/Retail General (OR-G), Office/Retail with Historic District Overlays, and Mixed Use Zones **(EXCEPT MU-EM ZONES):**