



CITY OF BRIDGEPORT

PLANNING & ZONING COMMISSION  
CHECKLIST

FOR PUBLIC HEARING APPLICATIONS

I. **REQUIRED INFORMATION** (except for **Fee & USB** submit an original & 16 copies of all below)

- Completed & Signed Application & Checklist Form
- Fee
- Written Statement of Development Use
- Completed Site Plan
- Drainage Plan
- Building Floor Plans
- Property Owner's List
- Cert. of Corporation/Org. of First Report
- A-2 Site Survey
- Building Elevations
- Other Evidence/Testimonial Information
- 1 USB MEMORY FLASH DRIVE STICK

**NOTE:** Please provide 1 USB MEMORY FLASH DRIVE Stick:

- The information on the memory flash drive sticks must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labeled** with the property address, applicant name and date of hearing.
- **All plans and paper work that is submitted to the Zoning office must be FOLDED (11x17 or smaller) and Collated into 17 separate packets.**

II. **SUPPLEMENTARY INFORMATION (Optional)**

- Perspective Rendering
- Building and Site Sections
- Eight 8 x10 Color or Black/White Photos of the Current Premises' Condition
- Copies of Zoning Board of Appeals, or Historic District Commission Decisions
- Drainage Report
- Traffic Studies
- Environmental Impact Statement
- Real Estate Studies
- Department of Environmental Protection or Coastal Area Management reports
- Aerial Photographs

III. **OPTIONAL EXHIBITS (may be presented at the public hearing (16 copies not required))**

- Color Rendering
- Models
- Material Sample
- OTHER: \_\_\_\_\_

**CITY OF BRIDGEPORT**  
**PLANNING & ZONING COMMISSION**  
**CHECKLIST**

The following requirements shall apply to all applications for public hearings before the Bridgeport Planning & Zoning Commission and for all agenda dates on or after December 23, 2011.

The following are required components for any and all applications for a **change of zone; site plan review; motor vehicle; sub-division; special permit; or coastal site plan reviews** applications. Except for the Fee & USB, the Petitioner shall submit **one (1) original and sixteen (16) copies of all materials described below in sections I & II pertinent to the application.** The agenda closing date shall be five (5) weeks prior to the public hearing. No materials submitted by the petitioner after the agenda closing date shall be accepted by the Clerk or by the Commission, unless exempted under Section III below. Failure to provide any of the components listed under Section I below may be deemed by the Commission to be grounds for denial due to incomplete information.

**I. REQUIRED INFORMATION**

- A Complete and signed application form. **(The application must be signed by the current property owner)**
  
- Fee
  
- A written statement, not to exceed one hundred (100) words, describing all proposed uses.
  
- The original plus sixteen (16) copies of a site plan prepared, signed and sealed** by an engineer, architect or landscape architect registered and licensed to conduct business in the State of CT. Dated and meeting the following requirements:
  - The site plan must be drawn to a scale of 100 feet or less to the inch.
  
  - Proposed and existing structures and amenities, including, but not limited to, footprints of foundations, porches, decks, walkways, travel lanes, shall be indicated. Dimensions to property lines from structures and overall building dimensions shall also be shown. The dimensions of parking lot, including isle width and length, and width of parking spaces shall be shown.
  
  - All applicable (existing and proposed) Zone Development Standards.
  
  - Existing and proposed grades shall be shown at 2-foot intervals.
  
  - One or more benchmarks that can be used in the field to verify conditions shall be indicated.

- A drainage plan prepared by a professional engineer, showing all provisions for site runoff; on-site retentions; connections to city services; and any other pertinent information, including City Engineer's requirements.
- Building floor plans (all floors above and below grade) shall be prepared by a licensed architect, showing any and all proposed new construction or additions to existing structures. Additions and alterations shall be clearly delineated from existing work. Minimum scale 1/16" = 1"0.
- A list of names and addresses of all property owners within 100 feet of all property lines of the subject property shall be provided.
- If the applicant is a corporation a copy of the "Certificate of Corporation" and "Organization and First Report" as filed with the Office of the Secretary of the State of CT must be filed with the application.
- An A-2 survey.
- For applications involving a building(s), the following shall be submitted:
  - Preliminary architectural plans, sections, and/or elevations at 1/4" or 1/8" = 1' showing exterior wall elevations, roof lines, façade materials or other features of proposed buildings or structures.
  - Drawings prepared by a registered architect, landscape architect or professional engineer licensed in the State of CT, each individually sealed and signed by the design professional, (except seals not required on residential projects of less than 5,000 square feet total).
- Any other evidence or testimonial information, which will be presented by the petitioner at a public hearing.

**Note:** All of the above information shall be submitted at the time of filing. Applications with missing information will be deemed incomplete; will not be processed and will be immediately returned to the applicant.

## II. SUPPLEMENTARY INFORMATION

- Perspective renderings, either in black and white or in color, reproduced either photographically or by diazo print, showing principal street side view of the proposed development. Minimum size 8"x10" (for photos); Maximum size 30"x42". Color renderings may be presented at the public hearing provided diazo print or photo reproduction has been submitted to the Clerk for distribution before the agenda closing date.
- Building and site section drawings to show relationship of proposed development to existing adjacent streets and buildings.

- Not more than eight (8) 8"x10" color or black and white photographs showing existing site conditions or surrounding area. These may be reproduced xerographically for application filing.
- Copies of any pertinent actions by the Zoning Board of Appeals or a Historic District Commission.
- Drainage reports, traffic studies, environmental impact studies and/or real estate studies.
- State Department of Energy & Environmental Protection (DEEP) or Coastal Area Management (CAM) reports.
- Aerial photographs of subject parcel and surrounding environment.

### III. OPTIONAL EXHIBITS

The following items may be presented to the Commission at the time of the public hearing (16 copies not required) without need for filing on or before the agenda closing date:

- Color renderings (see Section II item) provided the Commission has received through the Clerk reduced photographic reproductions, or black and white versions of the renderings.
- Models of proposed building(s).
- Samples of materials and/or colors to be used in the proposed development.

**Note:** Staff reports or departmental correspondence (e.g. City Engineer, W.P.C.A., Fire Marshal, Design Review Coordinator, etc.) shall be received and distributed by the Clerk of the Commission on or before the date of the public hearing. **Whether such reports or correspondence is received before the agenda closing date shall not pose any penalty to the Applicant and shall be the responsibility of the staff.**



PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: LUIS FABIAN

2. Is the Applicant's name Trustee of Record? Yes [checked] No

If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.

3. Address of Property: 1650 RESERVOIR AVE BPT. 06606

4. Assessor's Map Information: Block No. 2797 Lot No. 25A

5. Amendments to Zoning Regulations: (indicate) Article: - Section: -

(Attach copies of Amendment)

6. Description of Property (Metes & Bounds): N 16° 40' 12" W 49.99' X N 82° 26' 39" W 108.40' X S 10° 01' 08" W 40.0' X S 79° 58' 53" E - 130.75'

7. Existing Zone Classification: N2 ZONE

8. Zone Classification requested: NO ZONE CHANGE REQUESTED

9. Describe Proposed Development of Property: CONSTRUCT 2 STY. 2 FAMILY RESIDENCE WITH BASEMENT

Approval(s) requested: SPECIAL PERMIT TO ALLOW 2 PRINCIPAL UNITS

Signature: Luis Fabian Date: OCT. 25, 2022 PER SECTION 3.100.9
Print Name: LUIS FABIAN

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature:
Print Name:

Mailing Address: 1670 RESERVOIR AVE. BRIDGEPORT CT 06606
Phone: Cell: (203) 751-5594 Fax:
E-mail Address: WIMACK@gmail.com / ASHTONLUIS16@gmail.com.

\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
A-2 Site Survey
Building Floor Plans
Completed Site / Landscape Plan
Drainage Plan
Building Elevations
Written Statement of Development and Use
Property Owner's List
Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date

## STATEMENT OF DEVELOPMENT USE

### WHOM IT MAY CONCERN

#### Subject Property:

The property is located on east side of Reservoir Avenue, between Cloverhill Avenue and Rainbow Road. It is currently vacant land and comprises 0.11 Acres. The current address is 1650 Reservoir Avenue, Bridgeport CT.

Zoning Information: The property is in an N2 Zone. Mblu 83/2797/25/A

#### Owner Information:

The Subject Property is owned by:

Luis Fabian  
1670 Reservoir Avenue  
Bridgeport CT 06606  
(203) 751-5594  
Email: [ashtonluis16@gmail.com](mailto:ashtonluis16@gmail.com)

#### Statement of Use

The applicant seeks to construct a 2 unit, 2 story residential building with basement comprising:

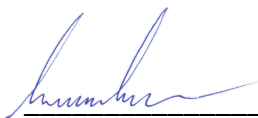
1<sup>st</sup> Floor – 3 Bedroom unit  
2<sup>nd</sup> Floor – 3 Bedroom unit

However, because the property is zoned N2, in accordance with section 3.100.9 of the Bridgeport Zoning Regulation, a Special Permit is required in order to construct 2 principal units on this lot.

This application seeks to comply with the requirement of that regulation and hope that it will receive your favorable consideration.

All adjoining properties are located in the same N2 zone.

Regards



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Michael F. Zarba P.E.  
(207) 405 –7155  
October 26, 2022

## PROPERTY OWNERS LIST

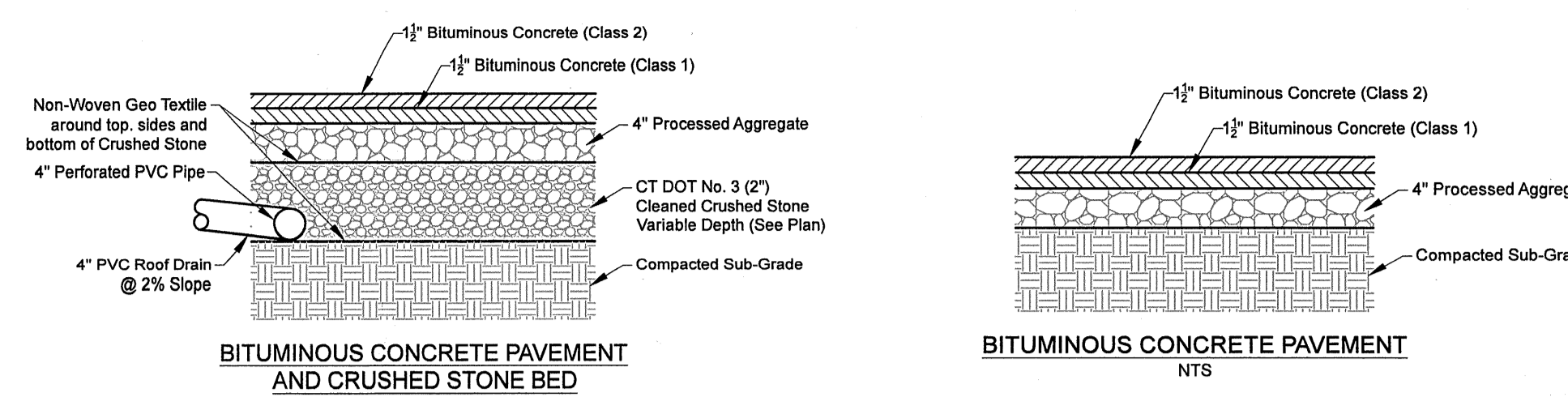
<p><b>43 Brookside Avenue</b></p> <p>Delroy V. Butler 43 Brookside Avenue Bridgeport CT 06606</p>	<p><b>1682 Reservoir Avenue</b></p> <p>K2 Realty LLC 1682 Reservoir Avenue Bridgeport, CT 06606</p>
<p><b>39 Brookside Avenue</b></p> <p>Lawrence Taylor 39 Brookside Avenue Bridgeport CT 06606</p>	<p><b>1670 Reservoir Avenue</b></p> <p>Antonia Hernandez 1670 reservoir Avenue Bridgeport CT 06606</p>
<p><b>31 Brookside Avenue</b></p> <p>Timothy &amp; Iesha A. Lewis 31 Brookside Avenue Bridgeport, CT 06606</p>	<p><b>1672 Reservoir Avenue</b></p> <p>Owen Collins 1672 Reservoir Avenue Bridgeport, CT 06606</p>
<p><b>29 Brookside Avenue</b></p> <p>Carolina Bonaparte 29 Brookside Avenue Bridgeport, CT 06606</p>	<p><b>1680 Reservoir Avenue</b></p> <p>Chelsea Landscaping &amp; Mason LLC 15 Locust Avenue 2FL Front Danbury CT 06810</p>
<p><b>216 Cloverhill Avenue</b></p> <p>Maria E.C. Esparza 216 Cloverhill Avenue Bridgeport CT 06606</p>	<p><b>1644 Reservoir Avenue</b></p> <p>Henry Perez &amp; Maria D. Marte 1644 Reservoir Avenue Bridgeport, CT 06606</p>
<p><b>1635 Reservoir Avenue</b></p> <p>Sherome A. James 1635 Reservoir Avenue Bridgeport, CT 06606</p>	
<p><b>10 Rainbow Road</b></p> <p>Cornell &amp; Jeannette McNeill 10 Rainbow Road Bridgeport, CT 06606</p>	
<p><b>1663 Reservoir Avenue</b></p> <p>Veronica Gonzales 378 Alpine Street Bridgeport, CT 06610</p>	
<p><b>1649 Reservoir Avenue</b></p> <p>Renee Avery 1649 Reservoir Avenue Bridgeport CT 06606</p>	
<p><b>1661 Reservoir Avenue</b></p> <p>Atlantic Coleman LLC 16 Jennings CT Westport CT 06880</p>	





**NOTES**

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A LIMITED PROPERTY/BOUNDARY SURVEY BASED ON A DEPENDENT RESERVE CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2 AND IS INTENDED FOR MUNICIPAL COMPLIANCE PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) AS DETERMINED USING GEODIDS AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60'). LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (COR59). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON SEPTEMBER 10, 2014 IN ACCORDANCE WITH GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:  
STATION: ORANGE,  
NORTHING 453,555.9292, EASTING 927,267.5499,  
LATITUDE 41°15'15.89404", LONGITUDE 73°00'52.60263",  
ELLIPSOID -4.143.
- MAP REFERENCES
  - PROPERTY SURVEY PREPARED FOR DAVE MILLER BUILDER, L.L.C., 1450 RESERVOIR AVENUE, BRIDGEPORT, CONNECTICUT. SCALE: 1"=20'. 6/22/1998 PREPARED BY BAUTIGAM LAND SURVEYORS, P.C. ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - PLAN REVISED LOTS NO: 354-358 INCL. MAP OF 'GRANDVIEW PARK' BRIDGEPORT, CONN. PREPARED FOR FRANK SCOTT. SCALE: 1"=20'. OCT. 11, 1985 PREPARED BY FULLER & CO., INC. ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - MAP PREPARED FOR TARA ASSOCIATES BRIDGEPORT, CONNECTICUT. SCALE: 1"=20'. MAY 24, 1988 PREPARED BY WILLIAM W. SEYMOUR AND ASSOCIATES, P.C. ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - MAP OF RESUBDIVISION LOTS 361-367 MAP OF 'GRANDVIEW PARK' BRIDGEPORT, CT. PREPARED FOR: EATON DEVELOPMENT CO. SCALE: 1"=20'. FEB. 23, 1987 PREPARED BY FULLER & CO., INC. ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - PARTITION MAP LOT A MAP OF 'EATON DEVELOPMENT CO.' BRIDGEPORT, CT. PREPARED FOR: EATON DEVELOPMENT CORPORATION. SCALE: 1"=20'. APRIL 25, 1988 PREPARED BY FULLER & CO., INC. ON FILE IN THE CITY OF BRIDGEPORT CLERK'S OFFICE AS MAP VOLUME 51, PAGE 91.
  - GRAN-VIEW-PARK, PROPERTY OF NEW ENGLAND DEVELOPMENT CO. 1115 MAIN ST. BRIDGEPORT CT. SCALE: 1"=100'. AUG. 1916 PREPARED BY L.W. BURT & SON CIVIL ENGINEERS, HARTFORD ON FILE IN THE CITY OF BRIDGEPORT CLERK'S OFFICE AS MAP VOLUME 8, PAGE 35.
  - AS-BUILT SURVEY PREPARED FOR HABITAT FOR HUMANITY FOR COASTAL FAIRFIELD COUNTY, 216 CLOVERHILL AVENUE, BRIDGEPORT, CONNECTICUT. SCALE: 1"=10'. MAY 10, 2018, CERTIFIED SUBSTANTIALLY CORRECT BY WASHINGTON CABEZAS, JR., PE. IS ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 55, PAGE 290.
  - CITY OF BRIDGEPORT ENGINEERING PIN SHEET SPECIFIC BLOCK 2797.
- RECORD OWNER: LUIS FABIAN VOL. 10245 PG. 305
- ASSESSOR'S REFERENCE: MAP 83 | BLOCK 2797 | LOT 25A
- PARCEL AREA: 5,086± SQ. FT., 0.117± AC.
- PARCEL IS LOCATED WITHIN THE 'N2 ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 427 OF 626, COMMUNITY BRIDGEPORT, CITY OF, NUMBER 090000, PANEL 0427 SURFIC F, MAP NUMBER 090010027, MAP REVISED JULY 18, 2010. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED).
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD DOCUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPOSE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

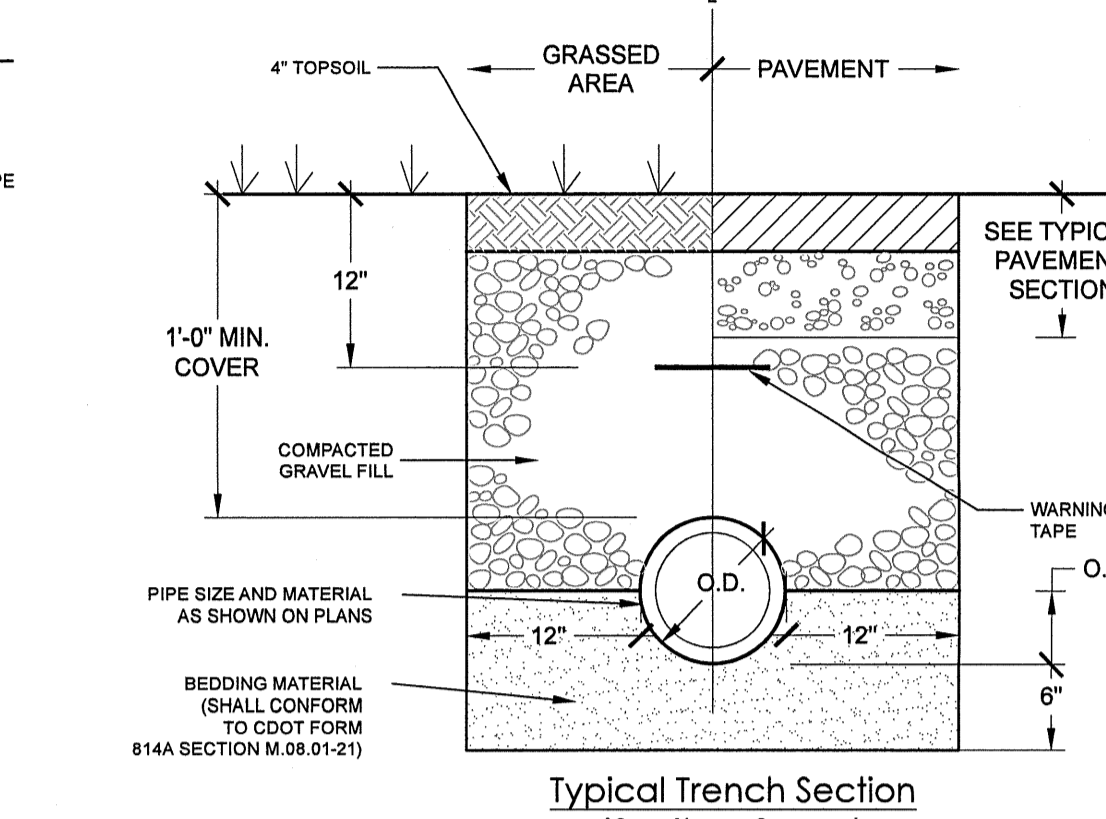
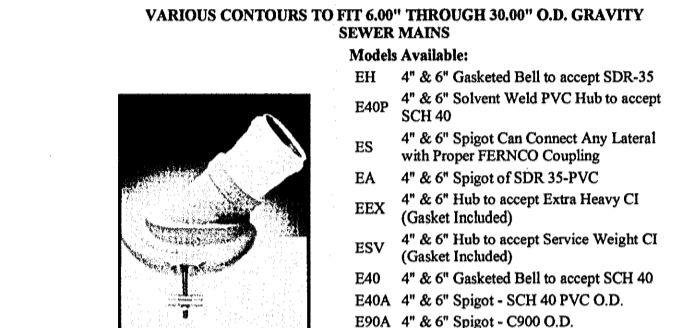


**SANITARY SEWER NOTES**

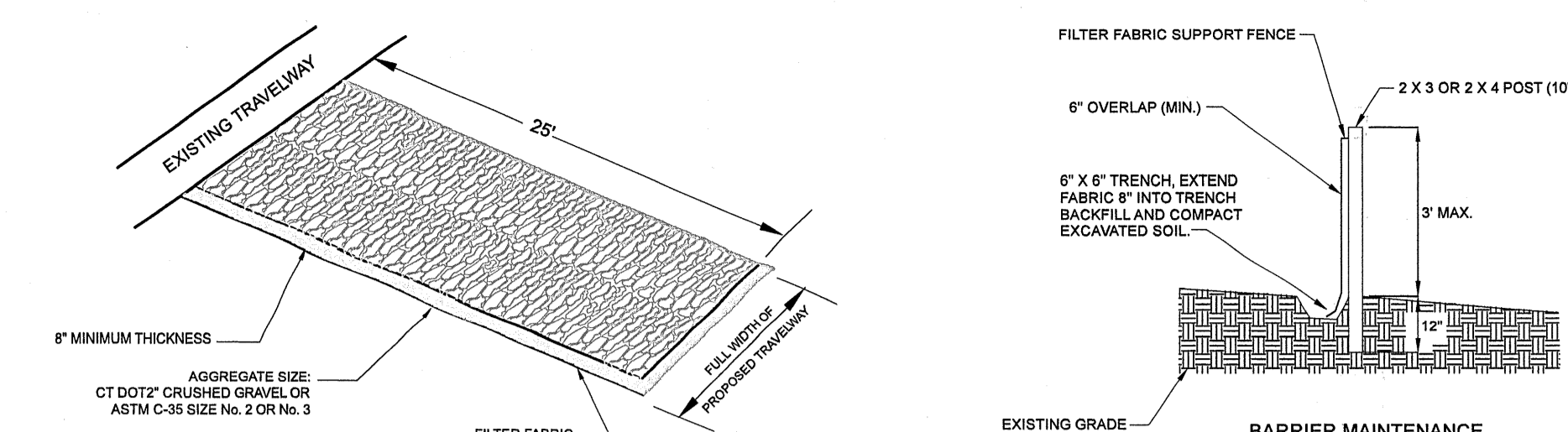
- SADDLE TO BE SEALTITE TYPE 'E' MULTI-RANGE WYE SEWER SADDLE. (TO BE USED IF CONNECTION IS NOT FOUND)
- 6" PVC SEWER CONNECTION TO BE INSTALLED ON CRUSHED STONE BASE. CRUSHED STONE TO EXTEND FROM 6" BELOW PIPE TO 3" ABOVE PIPE. FILTER FABRIC TO BE INSTALLED ON TOP SURFACE OF CRUSHED STONE.
- SERVICE LATERALS TO CROSS SANITARY LINE. VERIFY ELEVATIONS AT CROSSINGS WITH TEST PITS.

**NOTE**

- PIPE TO BE BEDDED IN CRUSHED STONE.



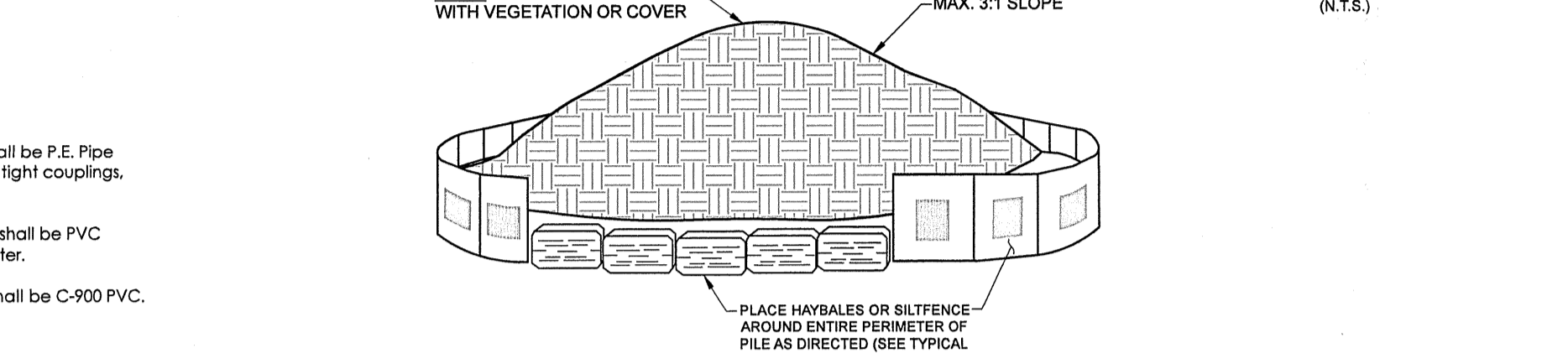
- NOTES:**
- Storm drain pipe shall be P.E. Pipe Type N-12 w/ water tight couplings, by ads or equal.
  - Sewer gravity main shall be PVC SH-40, 8 inch diameter.
  - Sewer force main shall be C-900 PVC.



**ANTI-TRACKING PAD NTS**

- BARRIER MAINTENANCE**
- INSPECT FENCE AFTER EACH RAINFALL AND DAILY DURING PROLONGED RAINFALL. REPAIR WHERE REQUIRED.
  - REMOVE SEDIMENT DEPOSITS WHEN THEY REACH 1/8 OF THE BARRIER.

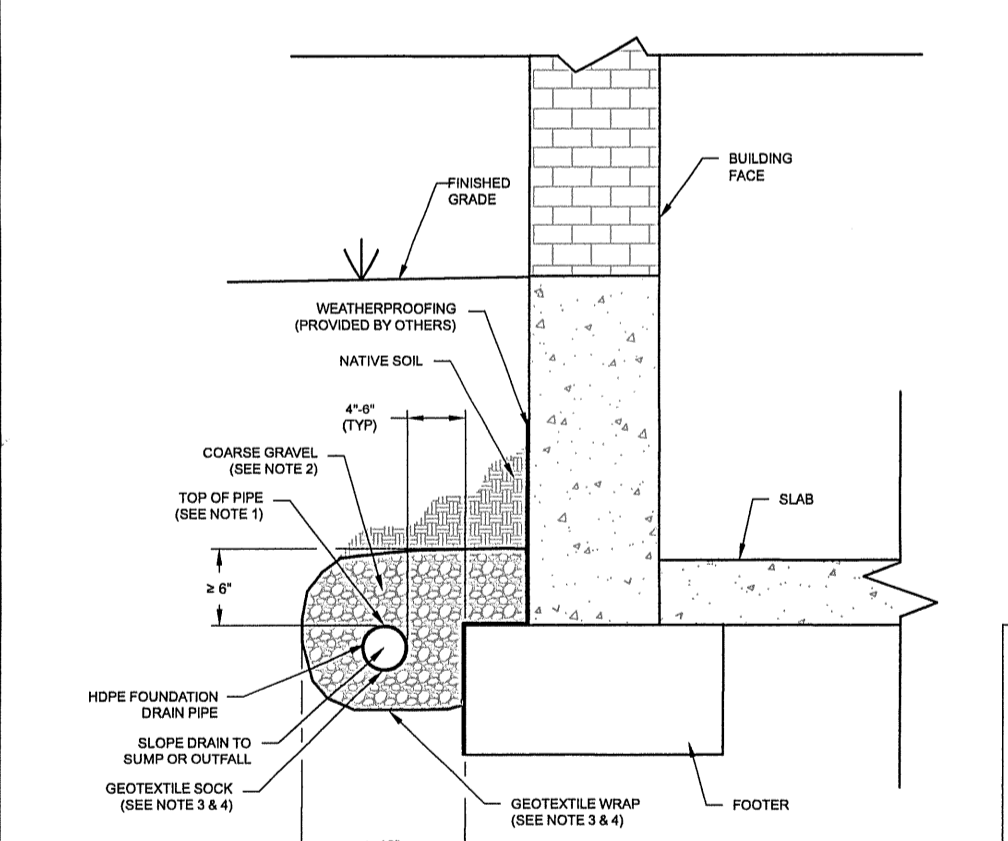
**FILTER FENCE DETAIL (N.T.S.)**



- INSTALLATION NOTES:**
- AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE.
  - THE GROUND SURFACE SHALL SLOPE AWAY FROM THE STOCK PILE.
  - IF NECESSARY, PLACE TARP OR IMPERVIOUS MATERIAL BENEATH STOCKPILE TO PREVENT MIXING OF SOIL.
  - COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED.
  - MAX. SLOPE OF STOCKPILE SHALL BE 3:1 (H:V) UNLESS OTHERWISE APPROVED.

**TEMPORARY SOIL STOCKPILE NTS**

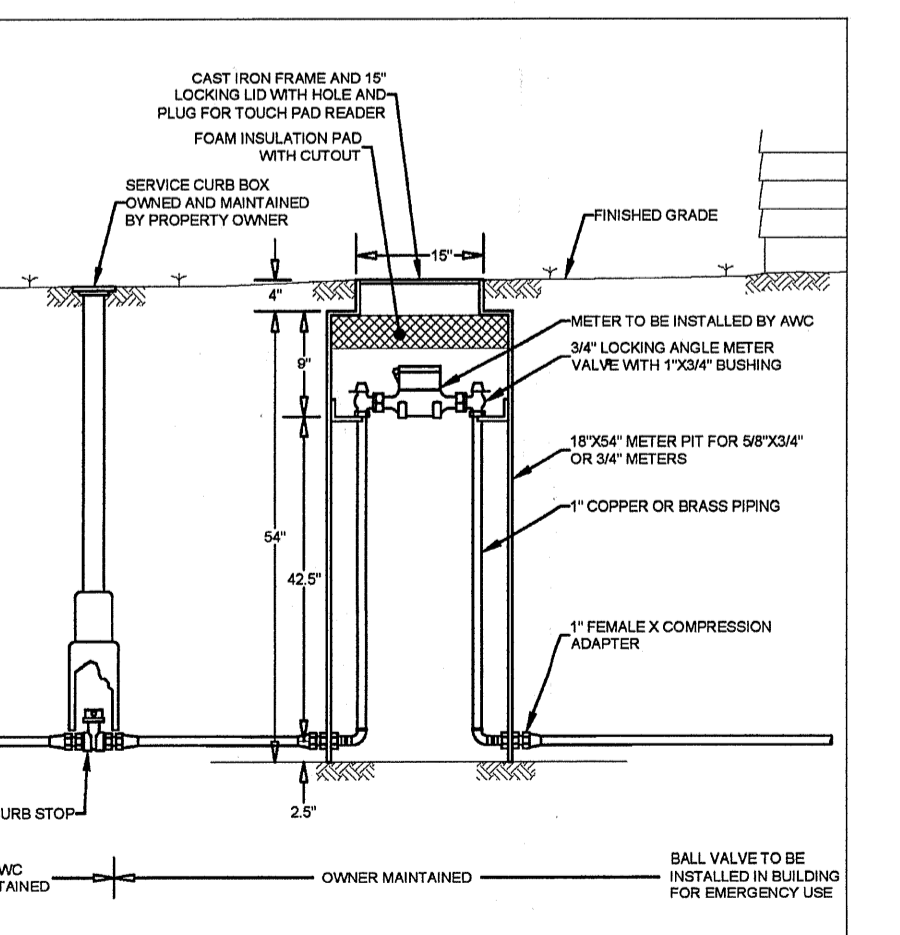
- RECORD OWNER: LUIS FABIAN VOL. 10245 PG. 305
- ASSESSOR'S REFERENCE: MAP 83 | BLOCK 2797 | LOT 25A
- PARCEL AREA: 5,086± SQ. FT., 0.117± AC.
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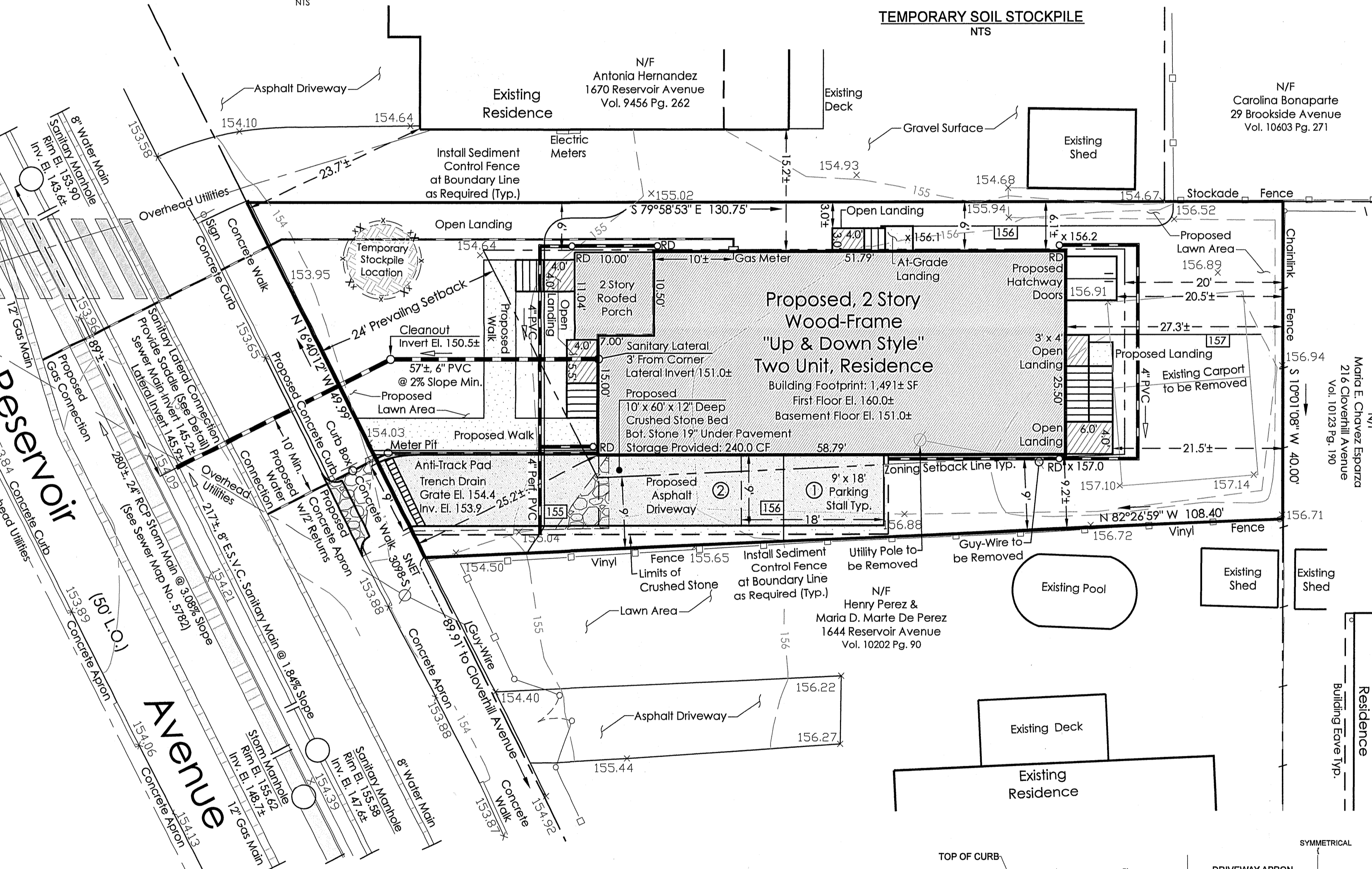
**FOUNDATION DRAIN NTS**

**LEGEND**

MF	NOW OR FORMERLY MONUMENT	CB	CATCH BASIN
IP	IRON PIPE	WM	WATER METER
S.F.	SQUARE FEET	WV	WATER VALVE
CONC.	CONCRETE	GV	GAS VALVE
BIT.	BITUMINOUS	RET.	RETAINING
OHJ	OVERHEAD UTILITIES	SNET	SOUTHERN NEW ENGLAND TELEPHONE
UG	UNDERGROUND	UI	UNITED ILLUMINATING COMPANY
MH	MANHOLE	TMH	TELEPHONE MANHOLE
ELEC.	ELECTRIC	INT.	INTERSECTION
U.P.	UTILITY POLE	INV.	INVERT
DYL	DOUBLE YELLOW LINE	CI	CAST IRON
SWL	SINGLE WHITE LINE	VCL	VITRIFIED CLAY
BWL	BROKEN WHITE LINE	RCP	REINFORCED CONCRETE PIPE
EQP	EDGE OF PAVEMENT	RD	ROOF DRAIN
RET.	RETAINING	MW	MONITOR WELL
CLF	CHAIN LINK FENCE	ES	EXISTING SPOT GRADE
FFE	FINISHED FLOOR ELEVATION	---100---	EXISTING CONTOUR ELEVATION
C.O.	CLEANOUT	L.O.	LAYOUT OF STREET WIDTH
LP	LIGHT POST	HPDE	HIGH DENSITY POLYETHYLENE
ET	EXISTING CONIFER TREE	PVC	POLYVINYL CHLORIDE
		ET	EXISTING DECIDUOUS TREE

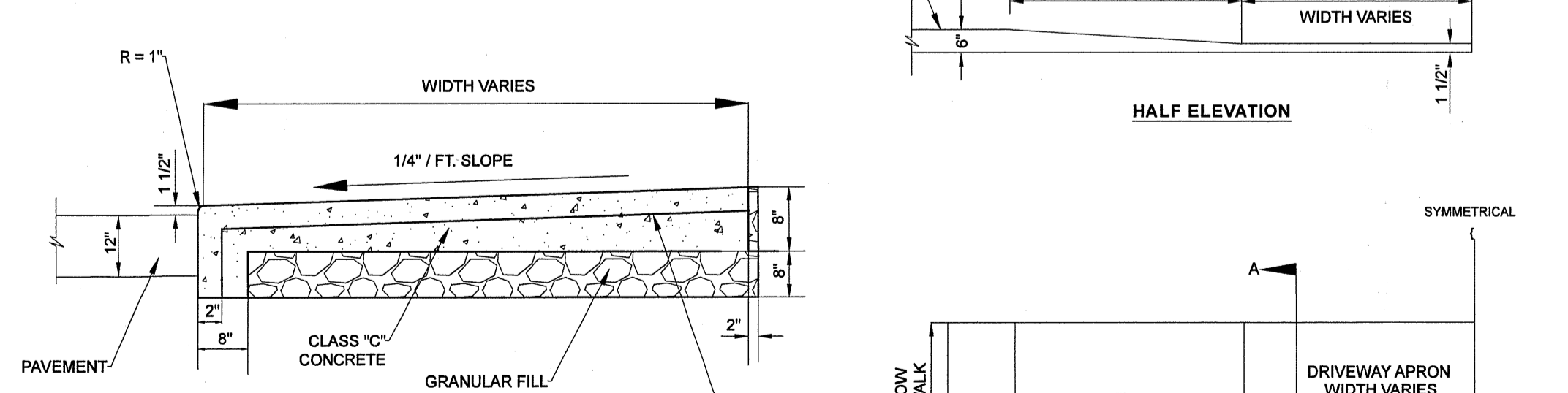


**STANDARD METER PIT NTS**

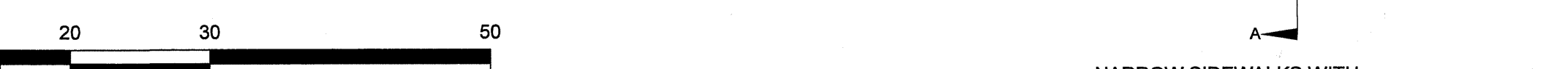


**Percolation Test Results**

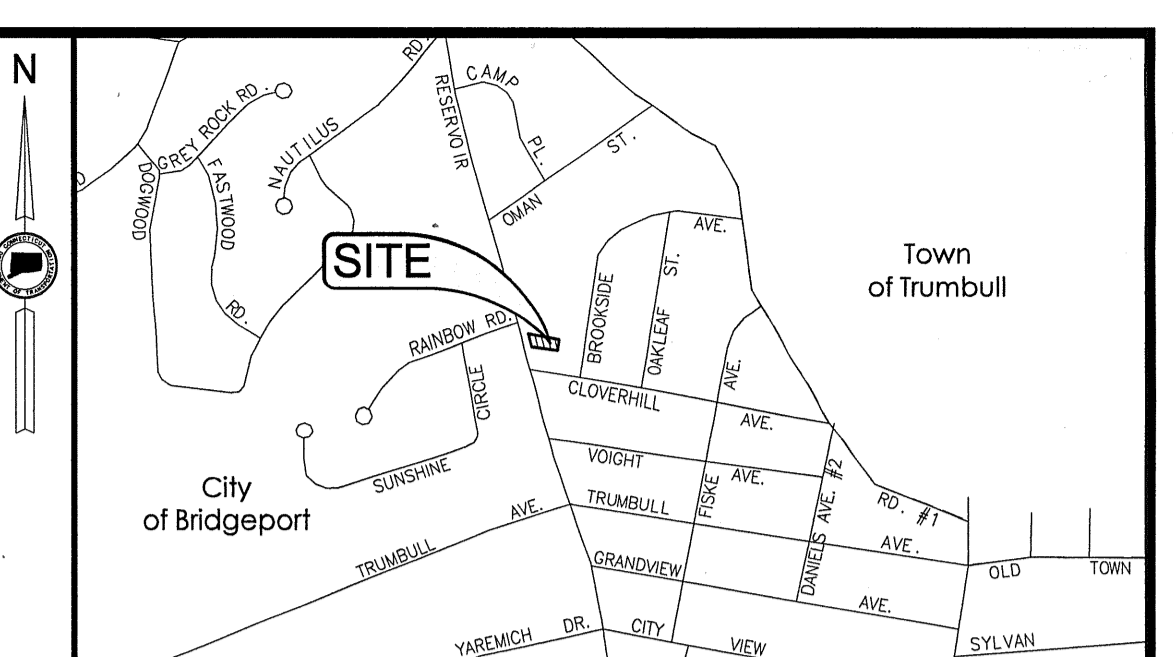
Time	Measurement to Water Surface	Drop in Water Level (0.01")	Rate (Min./Inch)
1:12 PM	0.51		
1:15 PM	0.56	0.05	3.33
1:18 PM	0.62	0.06	4.17
1:21 PM	0.68	0.06	4.17
1:24 PM	0.72	0.04	6.25
1:27 PM	0.74	0.02	12.50
1:30 PM	0.75	0.01	25.00
Overall Percolation Rate (Min/Inch)		4.86	
Minimum Percolation Rate (Min/Inch)		25.00	
Based on minimum percolation rate, a 12" tall system will drain in (Hours):			
		5.0	



**SECTION A**



**SCALE**



**LOCATION MAP SCALE: 1" = 800'**

**N2 Zone Development Standards House 'B' Building Type**

3.100.4. BUILDING LOCATION	REQUIRED	EXISTING	PROPOSED
MULTIPLE PRINCIPAL BUILDINGS	ALLOWED PER 3.100.10.A	NONE	ONE BUILDING
1) LOT WIDTH PER PRINCIPAL BUILDING	45 FT MINIMUM	48± FT	48± FT
LOT SIZE	NO MINIMUM	5,086± SF	5,086± SF
2) PRIMARY STREETWALL	NO MAX FOR 1-UNIT; 50 FT MAX FOR 2-UNIT (MEASURED AT MINIMUM SETBACK ALONG ANY PRIMARY STREET)	NONE	26± FT
3) PRIMARY STREET SETBACK	20 FT MINIMUM; 30 FT MAXIMUM (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3.100.10 FOR ALLOWED ENCROACHMENTS)	NONE	25.2± FT
4) PORCH, STEPS, BAY ENCROACHMENT	8 FT MAX; PORCH OR BAY WIDTH 1.6 FT MAX	NONE	11± FT PORCH WIDTH
5) NON-PRIMARY STREET SETBACK	12 FT MINIMUM	NONE	N/A
6) SIDE SETBACK	6 FT MIN; MIN 15 FT TOTAL BOTH SIDES;	NONE	6.1± FT; 15.3± FT, TOTAL
SPACE BETWEEN ADJACENT BUILDINGS	15 FT MIN.	NONE	15.2± FT
7) REAR SETBACK	20 FT MINIMUM	NONE	27.3± FT
8) SITE COVERAGE	65% (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	91%	55%

**3.100.5. PARKING AND ACCESSORY STRUCTURES**

SEE FIGURE 3.100-C	REQUIRED	EXISTING	PROPOSED
1) PARKING AND DRIVEWAY ACCESS	MAX. 9 FT. WIDTH AT PRIMARY STREET LOT LINE; MAX ONE DRIVEWAY PER BUILDING (SEE 8.0 FOR PARKING)	N/A	9 FT WIDE COMPLEES
2) ATTACHED GARAGE SETBACK	20 FT MIN. BEHIND PRIMARY FACADE	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	REAR FACADE, STREET SIDE FACADE	N/A	N/A
3) SURFACE PARKING AND ACCESSORY STRUCTURE LOCATION	REAR YARD ONLY (SEE 3.170 FOR ACCESSORY STRUCTURES)	REAR YARD	SIDE YARD
STREET SIDE SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3.170 FOR ACCESSORY STRUCTURES)	91± FT	COMPLEES
SIDE AND REAR SETBACK	3 FT. MIN. (SEE 3.170 FOR ACCESSORY STRUCTURES)	3.5± FT	1.4± FT

**3.100.6. HEIGHT**

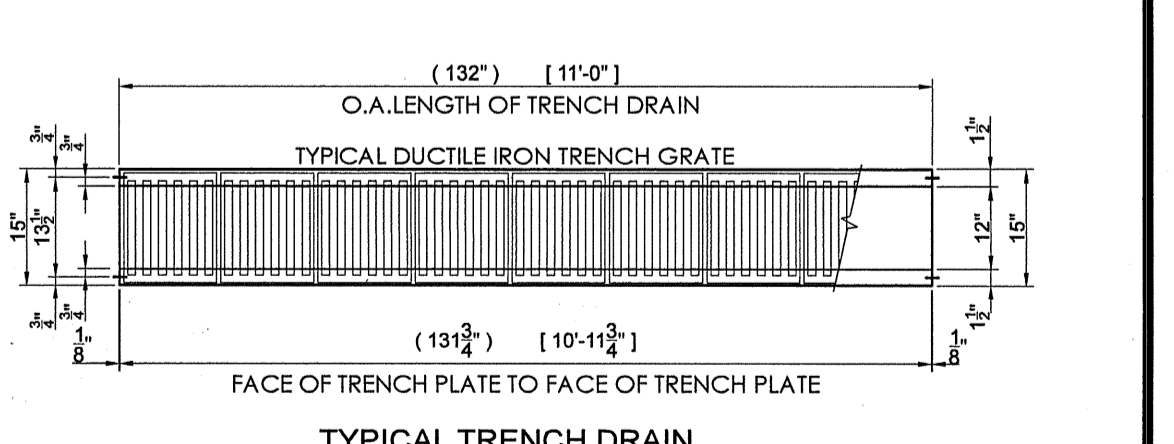
SEE FIGURE 3.100-D	REQUIRED	EXISTING	PROPOSED
1) HEIGHT	1 STORY MIN; 2 STORIES MAX. (SEE 14.20.10 FOR MEASURING HEIGHT. SEE 3.100.10 FOR BASEMENT GARAGE ALLOWANCE)	NONE	2 STORIES
2) STORY HEIGHT	8 FT. MIN; 9 FT. MAX. (MEASURED FLOOR-TO-FLOOR)	NONE	9 FT
3) HEIGHT TO EAVES	HEIGHT TO EAVE IS MEASURED FROM THE FIRST FLOOR TO THE BOTTOM OF THE EAVE. (SEE 14.20.10 FOR MEASURING EAVE.)	NONE	16 FT

**3.100.7. ROOFS**

SEE FIGURE 3.100-D	REQUIRED	EXISTING	PROPOSED
1) ROOF TYPES	PITCHED (SEE 6.20 FOR ROOF TYPES)	NONE	PITCHED
2) TOWER	NOT ALLOWED	NONE	N/A

**3.100.9. ALLOWED USES**

SEE ARTICLE 40 FOR USE DEFINITIONS, SPECIFIC USE LIMITATIONS, AND OTHER USE-RELATED REGULATIONS	RESIDENTIAL	COMMERCIAL	INDUSTRIAL
NUMBER OF PRINCIPAL UNITS	1 IN HOUSE, 2 WITH SPECIAL PERMIT	VACANT LOT	2 UNITS SPECIAL PERMIT REQUIRED
NUMBER OF ACCESSORY APARTMENTS	1 IN BACKYARD COTTAGE WITH SPECIAL PERMIT	VACANT LOT	N/A
HOUSEHOLD LIVING	ALLOWED	VACANT LOT	COMPLEES
GROUP LIVING	ALLOWED	VACANT LOT	N/A
SHORT-TERM RENTAL	NOT ALLOWED	VACANT LOT	N/A



**IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY**

PREPARED FOR  
**LUIS FABIAN**  
1650 RESERVOIR AVENUE  
BRIDGEPORT, CONNECTICUT  
ASSESSOR'S REFERENCE: MAP 83 | BLOCK 2797 | LOT 25A

SHEET 1 OF 1

OCTOBER 14, 2022, WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P: 203 330 8700 • F: 203 330 8701

SCALE: 1"=10'  
FIELD FILE: 1650\_reservoir\_survey.nws  
PROJECT NO. CD1424  
DATE: October 14, 2022  
FILE: 1650\_Reservoir\_Ave\_ILS.dwg  
SHEET 1 OF 1  
REV:

STATE OF CONNECTICUT  
REGISTERED PROFESSIONAL ENGINEER  
No. 70210  
WASHINGTON CABEZAS, JR., P.E. 70249  
PROFESSIONAL ENGINEER & LAND SURVEYOR

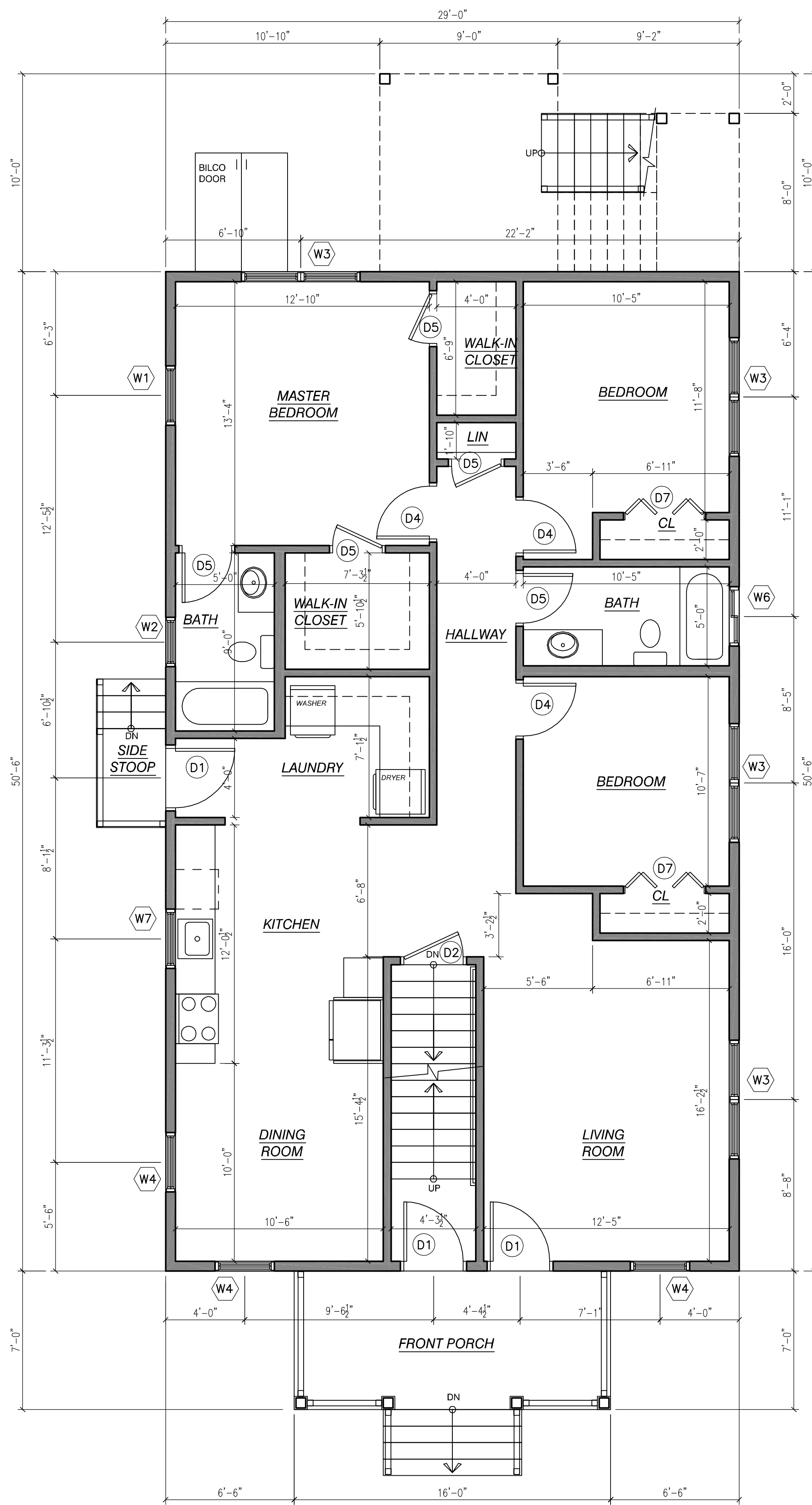
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

WASHINGTON CABEZAS, JR., P.E. 70249  
PROFESSIONAL ENGINEER & LAND SURVEYOR

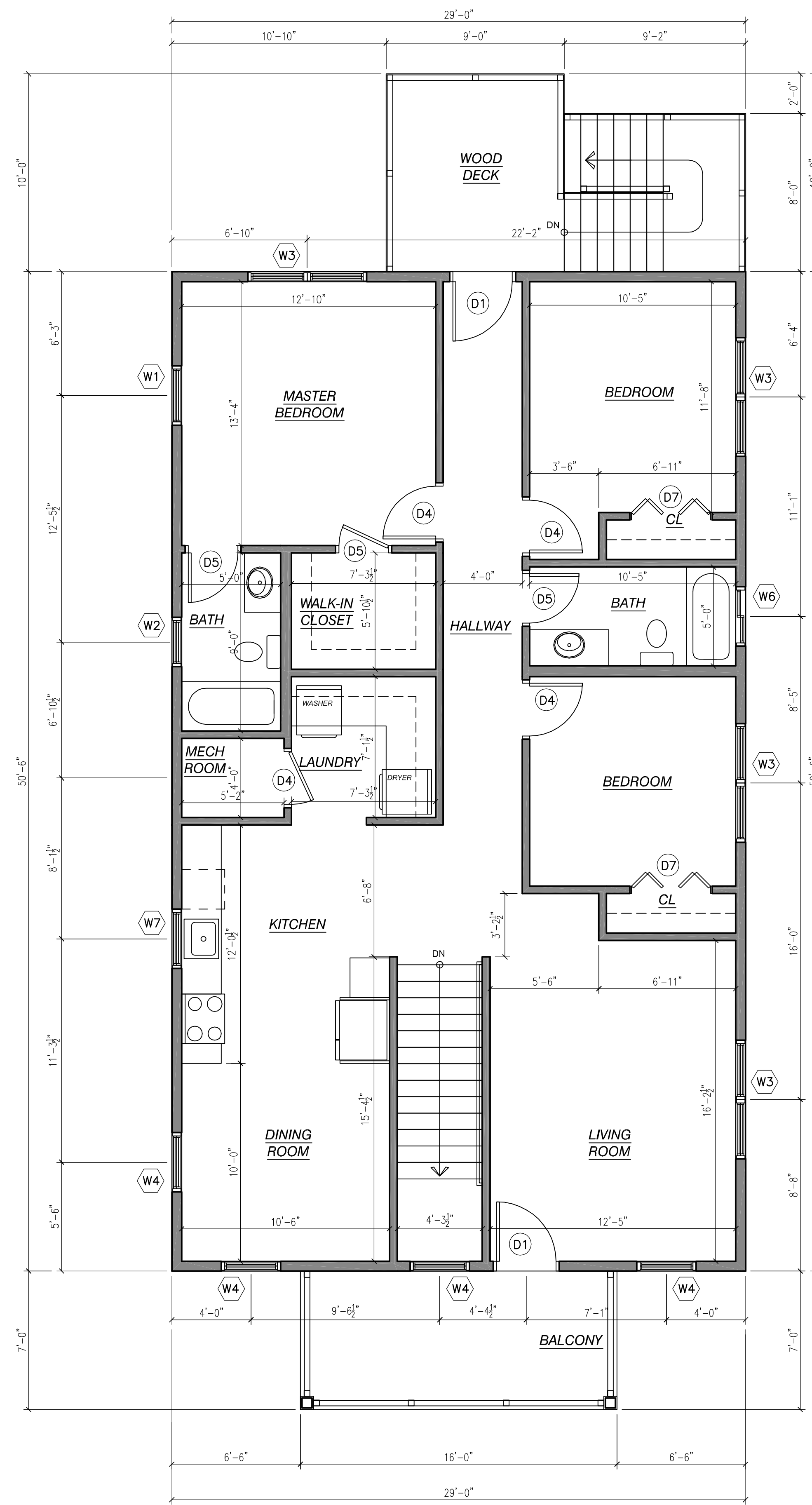
STATE OF CONNECTICUT  
REGISTERED PROFESSIONAL ENGINEER  
No. 70210  
WASHINGTON CABEZAS, JR., P.E. 70249  
PROFESSIONAL ENGINEER & LAND SURVEYOR

STATE OF CONNECTICUT  
REGISTERED PROFESSIONAL ENGINEER  
No. 70210  
WASHINGTON CABEZAS, JR., P.E. 70249  
PROFESSIONAL ENGINEER & LAND SURVEYOR





**1ST FLOOR PLAN**  
SCALE 1/4" = 1'-0"



**2ND FLOOR PLAN**  
SCALE 1/4" = 1'-0"

DOOR SCHEDULE		
	SIZE	REMARKS
D1	3'-0" x 6'-8" x 1-3/4" FULLY WEATHER-STRIPPED, ALUM. SILL WITH TOP GLASS	INSULATED
D2	3'-0" x 6'-8" x 1-3/4"	INSULATED
D3	2'-8" x 6'-8" x 1-3/4"	INSULATED
D4	2'-8" x 6'-8" x 1-3/8"	
D5	2'-6" x 6'-8" x 1-3/8"	
D6	2'-4" x 6'-8" x 1-3/8"	POCKET OPTIONAL
D7	4'-0" x 6'-8"	BI-FOLD CLOSET DOOR
D8	6'-0" x 6'-8"	BI-FOLD CLOSET DOOR
D9	6'-0" x 6'-8"	EXTERIOR SLIDING PATIO DOOR
D10	5'-0" x 6'-8"	BI-FOLD LAUNDRY LOUVER DOOR
D11	1'-8" x 6'-8" x 1-3/8"	
D12	6'-0" x 6'-8"	EXTERIOR SLIDING PATIO DOOR
D13		

WINDOW SCHEDULE			
	ROUGH OPENING	NOMINAL SIZE	REMARKS
W1	SEE MFR.'S SPECIFICATIONS	3'-0" x 5'-0"	D.H. (EGRESS)
W2	SEE MFR.'S SPECIFICATIONS	2'-6" x 4'-0"	D.H. (TEMPERED GLASS)
W3	SEE MFR.'S SPECIFICATIONS	6'-0" x 5'-0"	DOUBLE D.H. (EGRESS)
W4	SEE MFR.'S SPECIFICATIONS	3'-0" x 4'-6"	D.H.
W5	SEE MFR.'S SPECIFICATIONS	5'-0" x 5'-0"	DOUBLE D.H.
W6	SEE MFR.'S SPECIFICATIONS	3'-0" x 2'-0"	SLIDING - SILL 60" A.F.F.
W7	SEE MFR.'S SPECIFICATIONS	3'-0" x 3'-4"	KITCHEN
W8	SEE MFR.'S SPECIFICATIONS	2'-0" x 3'-6"	D.H.
W9	SEE MFR.'S SPECIFICATIONS	2'-0" x 2'-0"	PICTURE

**WINDOW NOTES**

- AS PER 2015 IRC - SECTION R310.1.1: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING WITH A MINIMUM NET CLEAR OPENING OF 5.7 SF. EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SF. WITH A MINIMUM NET REQUIRED CLEARANCE OF 20" WIDTH AND 24" HEIGHT. IN EXISTING BUILDINGS UNDERGOING ALTERATION OR INSTALLATION OF REPLACEMENT WINDOWS IT SHALL BE PERMITTED TO UTILIZE REMOVABLE SASH WINDOWS TO ACHIEVE THE REQUIRED MIN. CLEAR OPENINGS FOR EGRESS.
- EMERGENCY ESCAPES AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE
- WINDOWS PERFORMANCE DATA:  
U-FACTOR: LoE = 0.32 W/ ARGON GAS FILL SHGC: LoE = 0.32  
DP-RATING = DP-50
- AS PER 2015 IRC SECTION R312.2 - WINDOW SILL SHALL NOT BE LESS THAN 24" ABOVE FIN. FLOOR IF WINDOW SILL IS MORE THAN 72" ABOVE EXTERIOR FINISH GRADE.  
EXCEPTIONS:  
A) THE OPERABLE SECTION OF THE WINDOW SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE.  
B) OPENING IS PROVIDED WITH FALL PREVENTION DEVICE THAT COMPLIES WITH ASTM F 2090  
C) WINDOW IS PROVIDED WITH OPENING CONTROL DEVICE THAT COMPLIES WITH 2015 IRC R312.2.2
- WINDOWS AND EXTERIOR DOORS SHALL BE TESTED AND LABELED TO WITHSTAND A MIN. OF 130 MPH WIND LOAD.
- SPACE BETWEEN WINDOW & DOOR JAMBS AND FRAMING SHALL BE SEALED WITH NON-EXPANDING INSULATION AND CAULK OR BACKER ROOD AND CAULK.

1	2	3	4	5	6
---	---	---	---	---	---

1	2	3	4	5	6
---	---	---	---	---	---

**NEW TWO FAMILY HOME PLANS**  
PREPARED FOR PROPERTY LOCATED AT  
19 INFIELD STREET, BRIDGEPORT, CT

1ST & 2ND FLOOR PLANS SCHEDULES & NOTES	date: 07-05-2022	scale: AS NOTED
	drawn: M. REINHEIMER 203-449-6137	project #: MCR-2022-131
	E-Mail: marcosprimrose@yahoo.com	

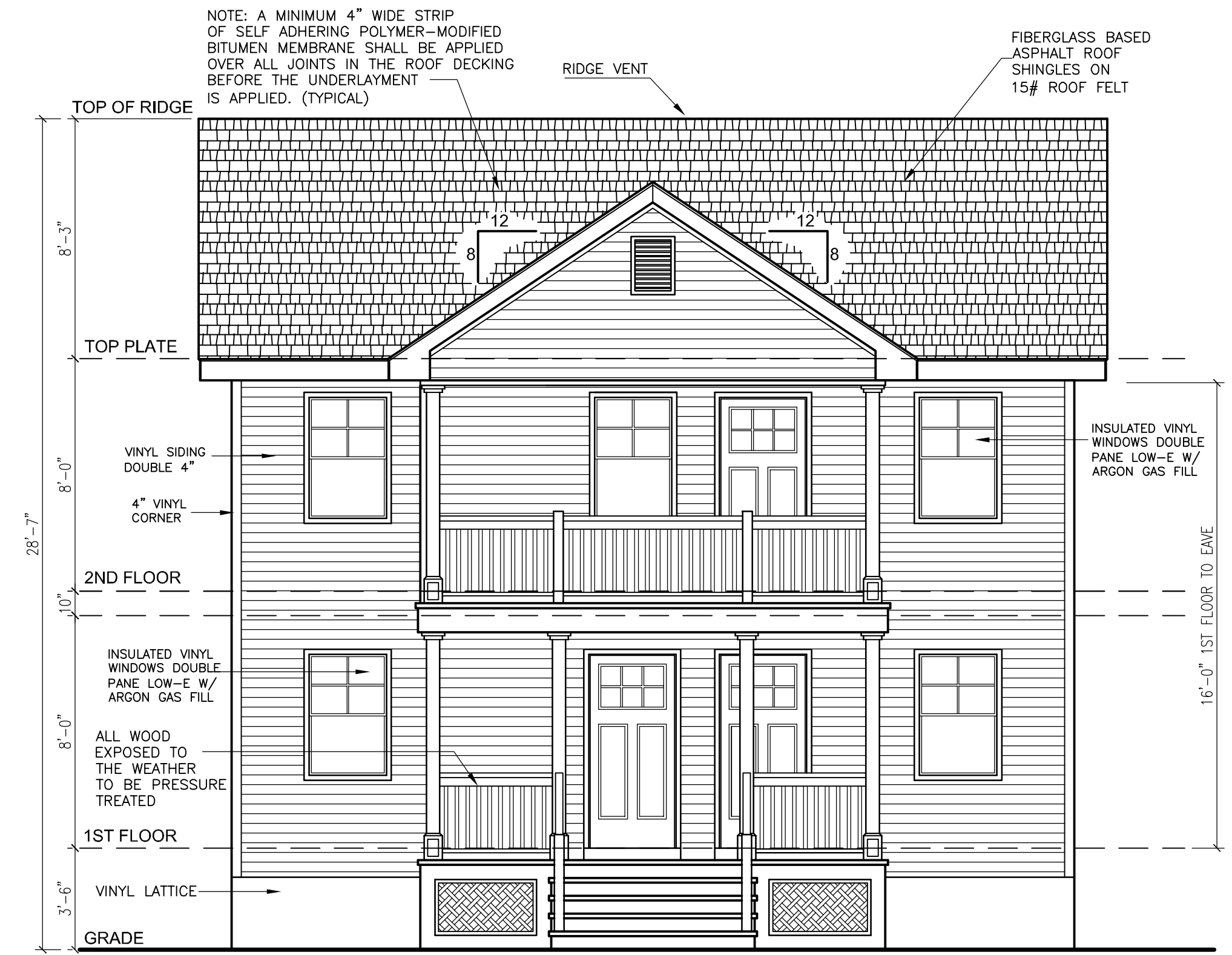
This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

**A-1**



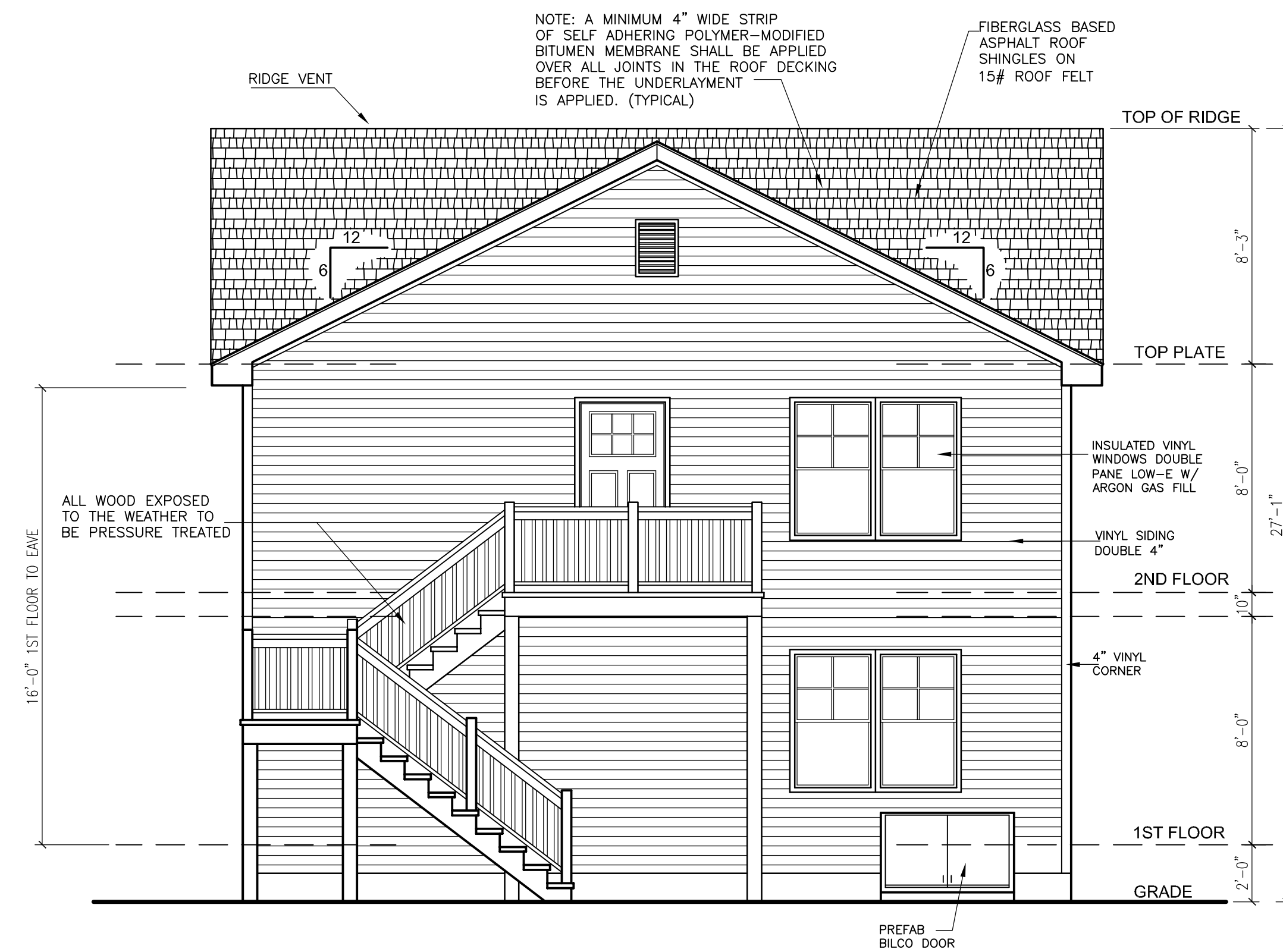
**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

Required Transparency: 10 %  
Provided 2nd Fl: 23.76%  
Provided 1st Fl: 23.76%



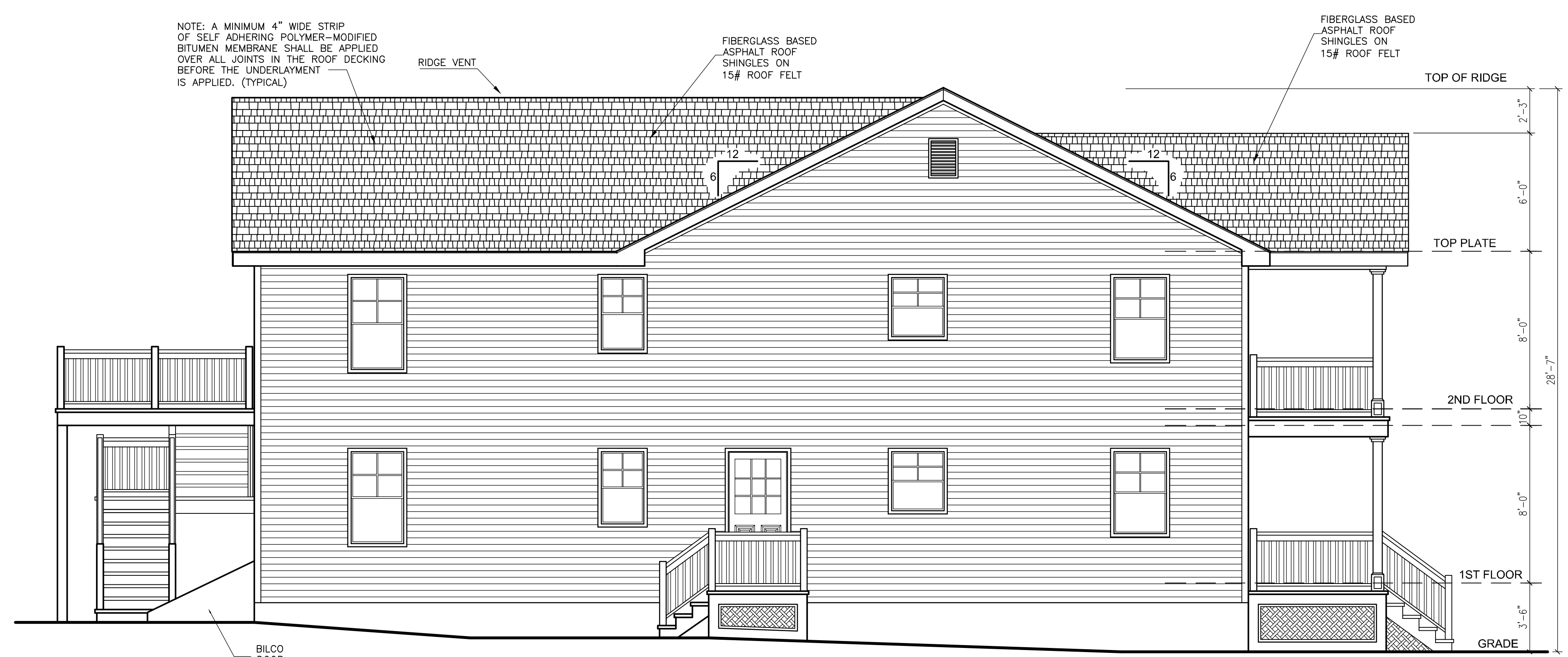
**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

Required Transparency: 12 %  
Provided 2nd Fl: 19.00%  
Provided 1st Fl: 14.74%



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"

Required Transparency: 10 %  
Provided 2nd Fl: 14.48%  
Provided 1st Fl: 12.93%



**LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

Required Transparency: 10 %  
Provided 2nd Fl: 12.00%  
Provided 1st Fl: 13.61%

11-04-2022

1 2 3 4 5 6  
REVISIONS

**NEW TWO FAMILY HOME PLANS**  
PREPARED FOR PROPERTY LOCATED AT  
19 INFIELD STREET, BRIDGEPORT, CT

ELEVATIONS

date: 07-05-2022  
drawn: M. REINHEIMER 203-449-6137  
E-Mail: marcosprimrose@yahoo.com

scale: AS NOTED  
project #: MCR-2022-131

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**A-2**

## **DESIGN REPORT**

# STORMWATER MANAGEMENT SYSTEM

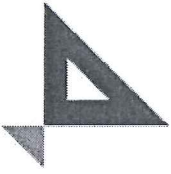
**1650 Reservoir Avenue  
Bridgeport, Connecticut**



*Washington Cabezas, Jr.*

Prepared By: \_\_\_\_\_  
**Washington Cabezas, Jr., PEL 70210**

Date: **October 14, 2022**



**GENERAL INFORMATION**

Per the City of Bridgeport Tax Assessor records, **1650 Reservoir Avenue** is listed as Block **2797**, Lot **25A** with a lot area of **5,086±** square feet in area. The parcel is zoned **N2** and is presently vacant with gravel areas and sparse vegetation. The parcel has a grade change of approximately three feet pitching in a westerly direction. The surface is overgrown vegetation with open gravel areas.

The site is not within a FEMA Special Flood Hazard Zone and is designated in an area known as Zone X (Unshaded) per FEMA FIRM Map Number 09001C0427G, Panel Number 427 of 626, Map Revised July 18, 2010.

Sanitary sewer, gas, water and electric services are available on **Reservoir Avenue**. Proposed Improvements include the construction of a two-story, two-family residence. A sub-grade stormwater infiltration system has been designed at the front of the lot consisting of a **twelve** inch deep stone bed. All remaining yard areas are to be loamed and seeded to establish good grass cover. The storm system will accommodate the theoretical storage volume required by the City of Bridgeport Storm Management Manual.

**DESIGN METHODOLOGY**

The stormwater runoff resulting from the existing and proposed conditions was analyzed using a 24-hour, 2-year, 10-year, 25-year frequency, Type III storm event. HydroCAD software was used to run the storm analysis based on the SCS TR-20 method. A 2-year storm frequency for the Bridgeport area has a rainfall of 3.3 inches, a 10-year storm frequency has a rainfall of 5.0 inches and a 25-year storm frequency has a rainfall of 5.7 inches per ConnDOT Drainage Manual. The minimum time of concentration of ten (10) minutes is used per section 7 of the City of Bridgeport Storm Management Manual. Hydrographs are also included in this report reflecting runoff information for the existing and proposed conditions under the 2, 10, and 25-year storm events.

**RESULTS**

**The resultant hydrographs provided the following information for 25 year storm event:**

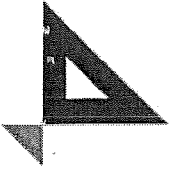
Runoff Area: 4,646 Ft<sup>2</sup>

Existing Conditions Runoff Volume .....	1,803.0 Ft <sup>3</sup>
Post Conditions Runoff Volume.....	1,761.0 Ft <sup>3</sup>
Increase in Runoff.....	-42.0 Ft <sup>3</sup> ( <b>Decrease</b> )

**10% Minimum Volume**

Reduction Requirement..... 180.3 Ft<sup>3</sup>  
*(Based on Existing Conditions during 25-Year Storm Event: 0.10 (1,803.0 CF)*

**Minimum Storage Required** ..... **180.3 Ft<sup>3</sup>**  
*(0+180.3)*



**PROPOSED SYSTEM**

The proposed system will be a 10' x 60' x 12" deep crushed stone bed at the southerly side of the lot. Forty percent of total angular stone volume is used as the crushed stone storage capacity. Total anticipated storage capacity is 240.0 Ft<sup>3</sup>. PVC pipe volume is not included. Roof drains and trench drain will connect directly to the drainage system. The calculations for sizing the system are included in this report.

**Stormwater Storage - Required**

**From hydrographs of 25-Year Event:**

Post Conditions Vol. - Existing Conditions Vol. = 1,761 Ft<sup>3</sup> - 1,803 Ft<sup>3</sup> = -42 Ft<sup>3</sup> (Decrease)

10% Storm Runoff Volume Reduction = 180.3 Ft<sup>3</sup>  
(25-Year Storm Event = 0.10(1,803 Ft<sup>3</sup>) = 180.3 Ft<sup>3</sup>)

Design Volume: 0 Ft<sup>3</sup> + 180.3 Ft<sup>3</sup> = 180.3 Ft<sup>3</sup>

**From the Water Quality Equation:**

WQV= 1" RA/12 and R = 0.05+0.009(% Proposed Impervious)

R = 0.05+0.009(55%) = 0.5450

WQV = 1" (0.545) (0.117)/12 = 0.0053 Acre-Ft = 230.9 Ft<sup>3</sup>

**Minimum Storage Required: 230.9 Ft<sup>3</sup>**

**Stormwater Storage Provided**

1.0' x 10' x 60' Crushed Stone Bed = (1.0x10x60)0.4 = 240.0 Ft<sup>3</sup>

\* Filter Fabric to be installed on all sides of crushed stone. (See detail on plan)

**Minimum Storage Provided: 240.0 Ft<sup>3</sup>**

<b>Pre Vs. Post Runoff Volumes (Multi-Family Residential)</b>			
<b>Storm Frequency</b>	<b>Post Conditions (Ft<sup>3</sup>)</b>	<b>Existing Conditions (Ft<sup>3</sup>)</b>	<b>Runoff Increase (Ft<sup>3</sup>)</b>
<b>2</b>	<b>874</b>	<b>909</b>	<b>-35 (Decrease)</b>
<b>10</b>	<b>1,499</b>	<b>1,540</b>	<b>-41 (Decrease)</b>
<b>25</b>	<b>1,761</b>	<b>1,803</b>	<b>-42 (Decrease)</b>

**1650 RESERVOIR AVENUE**

Prepared by HydroCAD SAMPLER 1-800-927-7246 www.hydrocad.net  
HydroCAD® 10.10-7a Sampler s/n S15755 © 2021 HydroCAD Software Solutions LLC

1650 RESERVOIR AVENUE

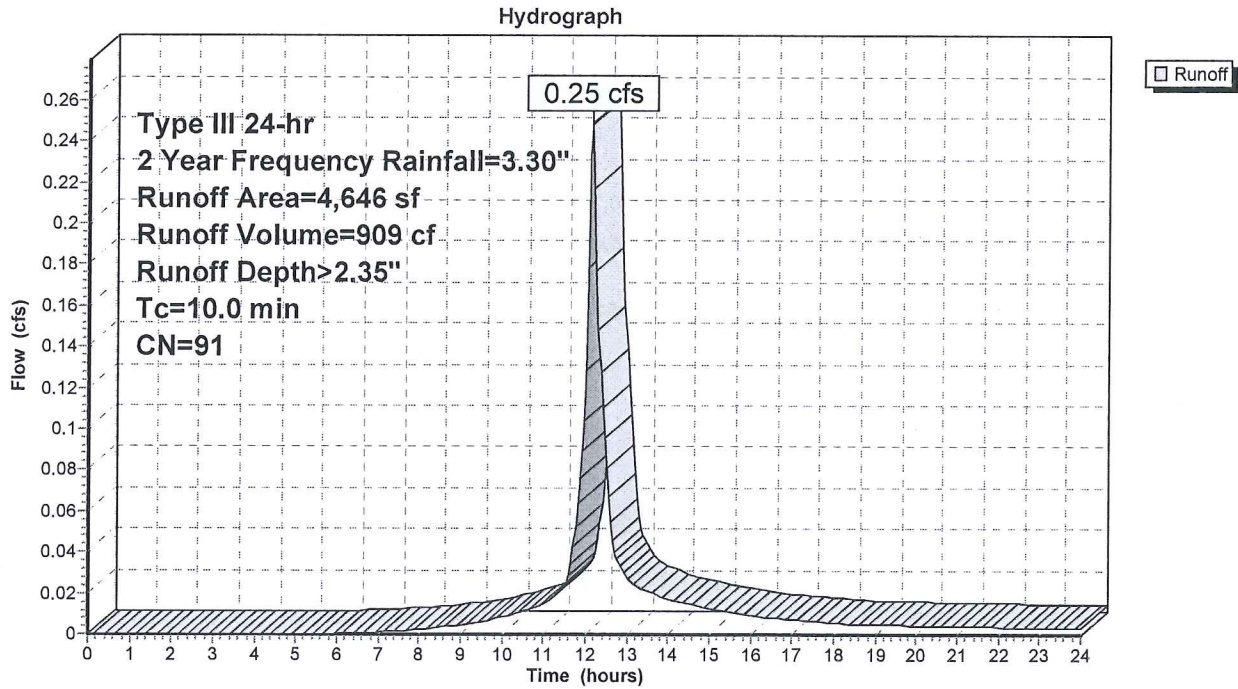
Type III 24-hr 2 Year Frequency Rainfall=3.30"

Printed 10/7/2022

Page 1

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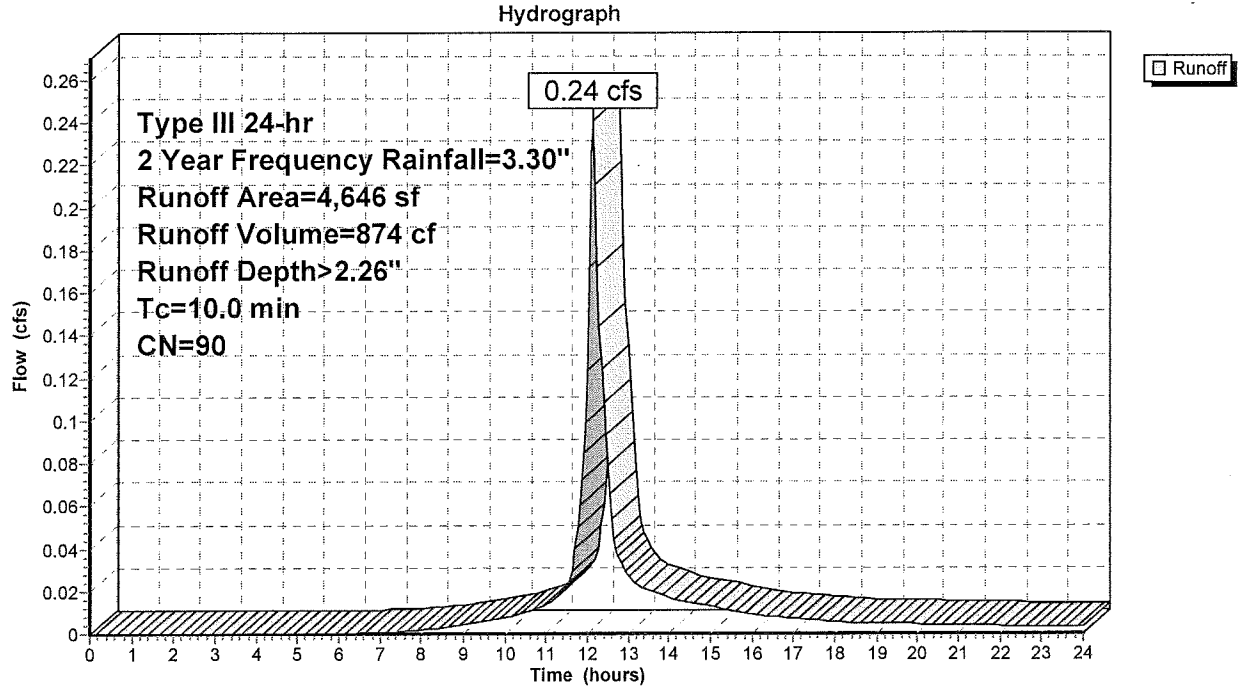
**Subcatchment 1S: Existing Conditions**





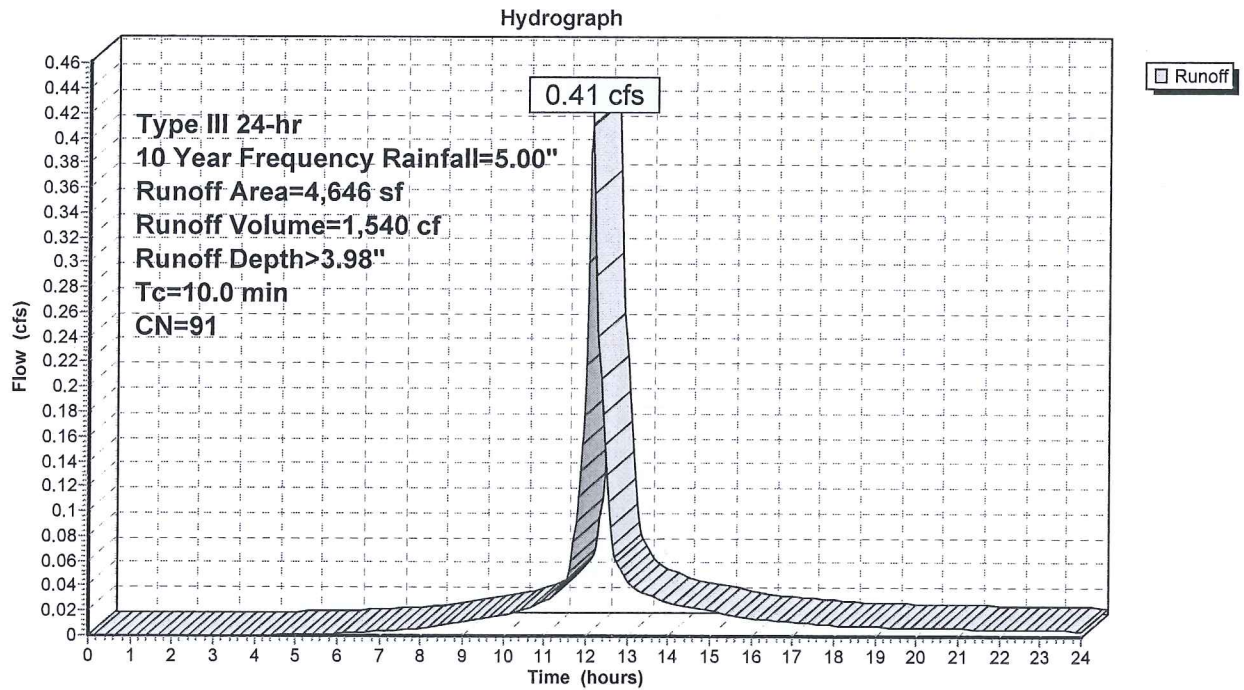
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### Subcatchment 2S: Proposed Conditions



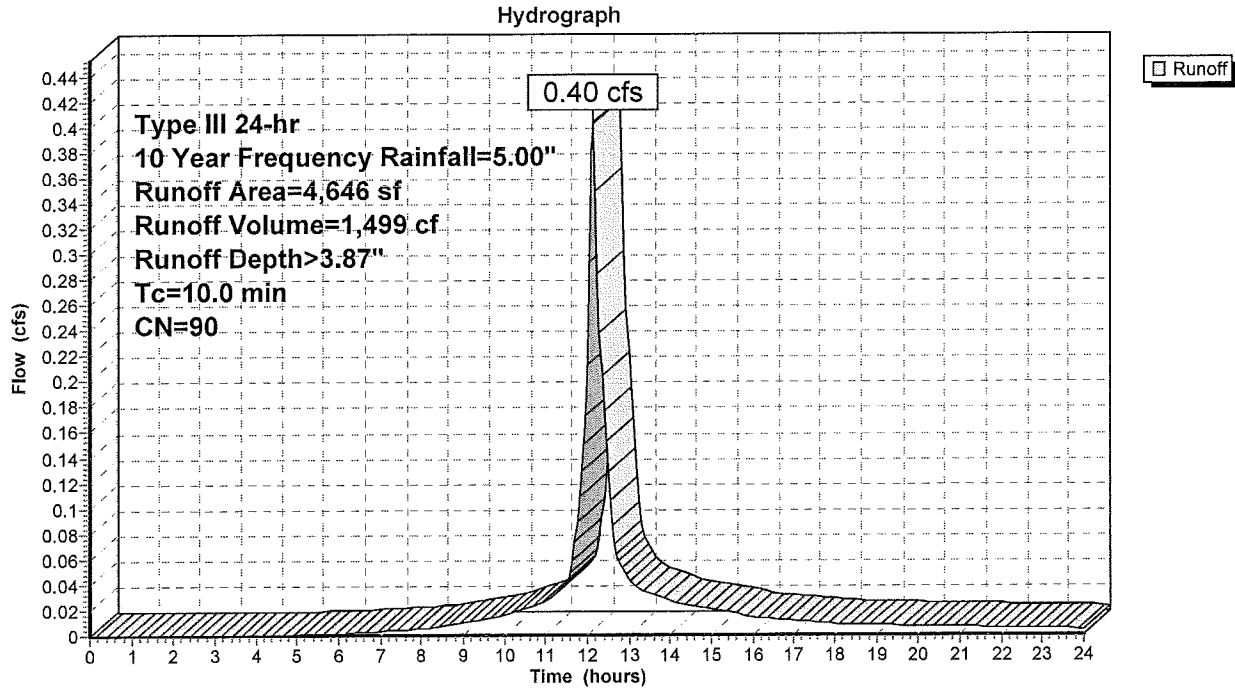
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### Subcatchment 1S: Existing Conditions



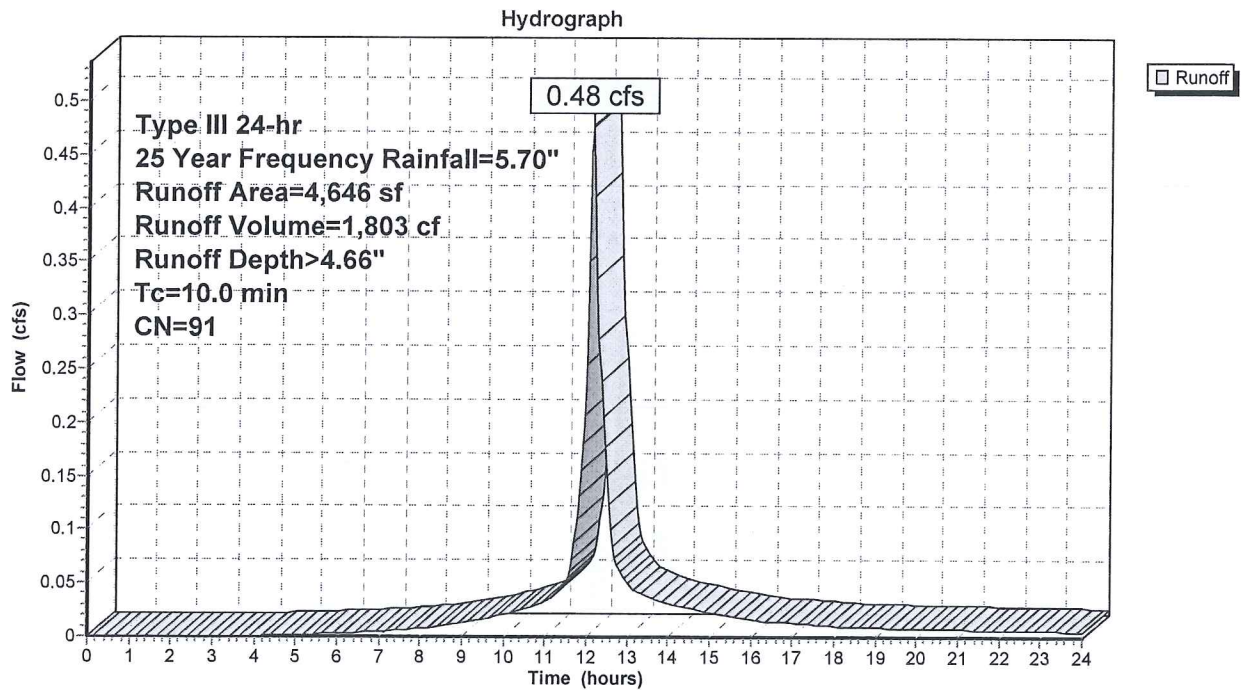
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### Subcatchment 2S: Proposed Conditions



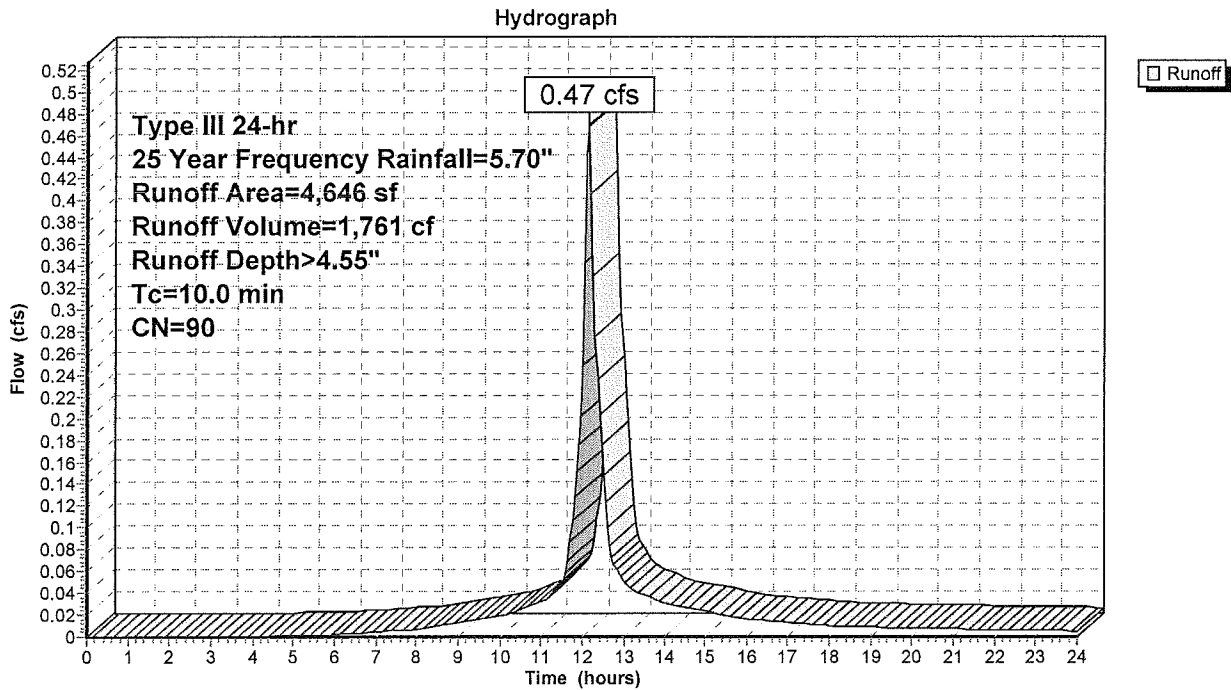
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### Subcatchment 1S: Existing Conditions



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### Subcatchment 2S: Proposed Conditions





# PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: STRONGWALL DEVELOPMENT, LLC C/O MARCIA MACEDO
2. Is the Applicant's name Trustee of Record? Yes YES No \_\_\_\_\_  
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 62 PALMER ST. BRIDGEPORT CT. 06605  
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. \_\_\_\_\_ Lot No. \_\_\_\_\_
5. Amendments to Zoning Regulations: (indicate) Article: \_\_\_\_\_ Section: \_\_\_\_\_  
**(Attach copies of Amendment)**
6. Description of Property (Metes & Bounds): VACANT LOT
7. Existing Zone Classification: N2
8. Zone Classification requested: SPECIAL PERMIT FOR 2-FAMILY DWELLING.
9. Describe Proposed Development of Property: 2-FAM RSIDENTIAL NEW CONSTRUCTION.

Approval(s) requested: SPECIAL PERMIT TO CONSTRUCT/BUILD AS A 2-FAM. DWELLING.

Signature: *M. Macedo* Date: 9/29/2022  
 Print Name: STRONGWALL DEVELOPMENT, C/O MARCIA MACEDO.

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: *M. Henry*  
 Print Name: MARIE C. HENRY (AGENT).

Mailing Address: 2989 BROADBRIDGE AVE. STRATFORD, CT 06614  
 Phone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_  
 E-mail Address: SOLUTIONCONSTRUCTIONCLLC@GMAIL.COM, MARCIALOPESCT@GMAIL.COM

\$ \_\_\_\_\_ Fee received Date: \_\_\_\_\_ Clerk: \_\_\_\_\_

**THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST**

- |   |   |  |
|---|---|--|
| <input checked="" type="checkbox"/> Completed & Signed Application Form   | <input checked="" type="checkbox"/> A-2 Site Survey       | <input checked="" type="checkbox"/> Building Floor Plans |
| <input checked="" type="checkbox"/> Completed Site / Landscape Plan   | <input checked="" type="checkbox"/> Drainage Plan         | <input checked="" type="checkbox"/> Building Elevations  |
| <input checked="" type="checkbox"/> Written Statement of Development and Use                                      | <input checked="" type="checkbox"/> Property Owner's List | <input type="checkbox"/> Fee                             |
| <input checked="" type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) |   |  |

**PROPERTY OWNER'S ENDORSEMENT OF APPLICATION**

<u>STRONGWALL DEVELOPMENT, llc</u>	<u><i>M. Macedo</i></u>	<u>9/29/2022</u>
Print Owner's Name	Owner's Signature	Date
<u>c/o Marcia Macedo</u>	<u><i>M. Macedo</i></u>	<u>9/29/2022</u>
Print Owner's Name	Owner's Signature	Date



City of Bridgeport  
**Zoning Department**  
**PLANNING AND ECONOMIC DEVELOPMENT**

45 Lyon Terrace • Bridgeport, Connecticut 06604  
Telephone (203) 576-7217  
Fax (203) 576-7213

August 12, 2022

STRONGWALL DEVELOPMENT, LLC  
C/O MARCIA MACEDO  
2989 BROADBRIDGE AVENUE  
STRATFORD, CT 06614  
ITEM: #2

**RE: 62 PALMER STREET** – Seeking variances of Sections 3.100.5 for width of driveway access and parking location and 3.100.6 for maximum height to eaves and number of stories to allow for the construction of a two-family residence in a N2 zone.

Dear Marcia Macedo:

At a public hearing held on August 10, 2022, the City of Bridgeport's Zoning Board of Appeals decided the following regarding the above-referenced matter:

**DECISION:** Granted

**REASONS:**

1. Property grade creates a hardship.
2. Parking is provided to the side facing the dead-end street.

If you have any questions, please call the Zoning Office at 203-576-7217.

Respectfully,

Paul Boucher, Clerk  
Zoning Board of Appeals

PB/gb

enclosure: variance form

**\*Conditionally, if variance is not filed in the Town Clerk's office within six months, this approval lapses and has no further effect (Sec. 11.90.7).** Your failure to comply with any conditions applicable to this action will also void the rights and privileges granted hereby. This is not a Building Permit and any structure or building contemplated by this action can only be started after proper application to and issuance of such permit by the Building Official. Other approvals or permits, required by law, should be sought from the proper authorities before exercising any part of this approval. Additional approvals from the Planning & Zoning Commission may be necessary. If so, please contact the Zoning Office for information.

VARIANCE

Pursuant to Chapter 124 (PA-75-317) of the General Statutes of the State of Connecticut, notice is hereby given that on August 10, 2022 the Zoning Board of Appeals of the City of Bridgeport, CT

*granted* a variance for property located at 62 Palmer St

DESCRIPTION OF PROPERTY (lot size) 144.46' x 49.97'

Property owned by Strongwall Development, LLC

NATURE OF VARIANCE: Width of driveway access and parking location and maximum height to eaves and number of stories to allow for the construction of a two-family residence in a N2 zone.

ZONING REGULATIONS – CITY OF BRIDGEPORT, CONNECTICUT

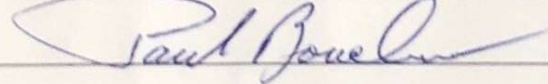
Section 3.100.5 Section \_\_\_\_\_

Section 3.100.6 Section \_\_\_\_\_

Section \_\_\_\_\_ Section \_\_\_\_\_

USE PERMITTED 3-story two-family residential dwelling

Dated and Certified in Bridgeport, Connecticut this 12<sup>th</sup> day of August, 2022

By 

Chairman \_\_\_\_\_ Clerk X Zoning Enforcement Officer \_\_\_\_\_

NOTE: This Variance needs to be filed in the Town Clerk's Office with proof shown to the Zoning Department via copy of your receipt. This is not a Building Permit. Other approvals or permits should be sought from the proper authorities/departments.



WRITTEN STATEMENT OF DEVELOPMENT USE.

Planning & Zoning Commission.

RE: 62-Palmer St., Bridgeport CT 06606.

Existing vacant lot  
N2 Zone

RE: Proposed new construction of a 2-Family dwelling.

To whom it may concern,

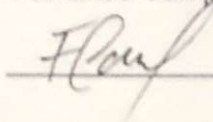
Flagstone Construction, llc would like to request for a "Special Permit" to Develop/Build a 2-Family dwelling that includes the neighborhood design standard on an existing vacant lot of 50' x 100' (62-Palmer St.)

This development is zone-compliant for a two-family dwelling with all the requirements. It will beautify, enhance and protect the neighborhood character as well as its value.

Kind Regards

Flagstone Construction, llc

Fernando Campos, Owner

  
\_\_\_\_\_

Date: 9/29/2022

HAMILTON LINDA JEAN  
69 PALMER ST

BROWN DEATAN E & EUGENIE  
67 PALMER ST

RUIZ RIGOBERTO  
121 FREMONT ST

CUJI NELLY  
55 PALMER STREET

BALLARD MARK C & JULIA A SULLA  
45 PALMER ST

HUYNH TRINH  
195 BROADBRIDGE RD

DE SOUZA NIVIA P  
206 GRIFFIN CR

STRONGWALL DEVELOPMENT LLC  
62 PALMER ST

SIMMONS DIANE  
46 PALMER ST

CURRY DAVID S & SHARON R CURRY  
38 PALMER ST

PETERKIN LORNA C  
36 PALMER ST

SANTANA JOSE LUIS  
5 JILLIJAM PL

MONTOVA WILSON RAMOS  
1207 COPSEY HILL RD

JAMES MORANTUS & TATIANA  
RAPHAEL TRUSTEES  
6 JILLIJAM PL



**Secretary of the State of Connecticut**  
**Certificate of Organization**  
Domestic Limited Liability Company

**Filing Details**

Filing Number: 0010118271 Number of Pages: 2 Filed On: 09/20/2021 12:16 PM

**Primary Details**

Name of Limited Liability Company: FLAGSTONE CONSTRUCTION LLC  
Business ALEI: US-CT.BER:2347292  
Business Email Address: marcialopesct@gmail.com  
NAICS Information: New Housing For-Sale Builders (236117)

**Business Location**

Principal Office Address: 03 STONE LN, TRUMBULL, CT, 06611, United States  
Mailing Address: 03 STONE LN, TRUMBULL, CT, 06611, United States

**Appointment of Registered Agent Appointment of Statutory Agent for Service of Process**

Type: Individual  
Agent's Name: FERNANDO CAMPOS  
Business Address: 03 STONE LN, TRUMBULL, CT, 06611, United States  
Residence Address: 03 STONE LN, TRUMBULL, CT, 06611, United States  
Mailing Address: 03 STONE LN, TRUMBULL, CT, 06611, United States

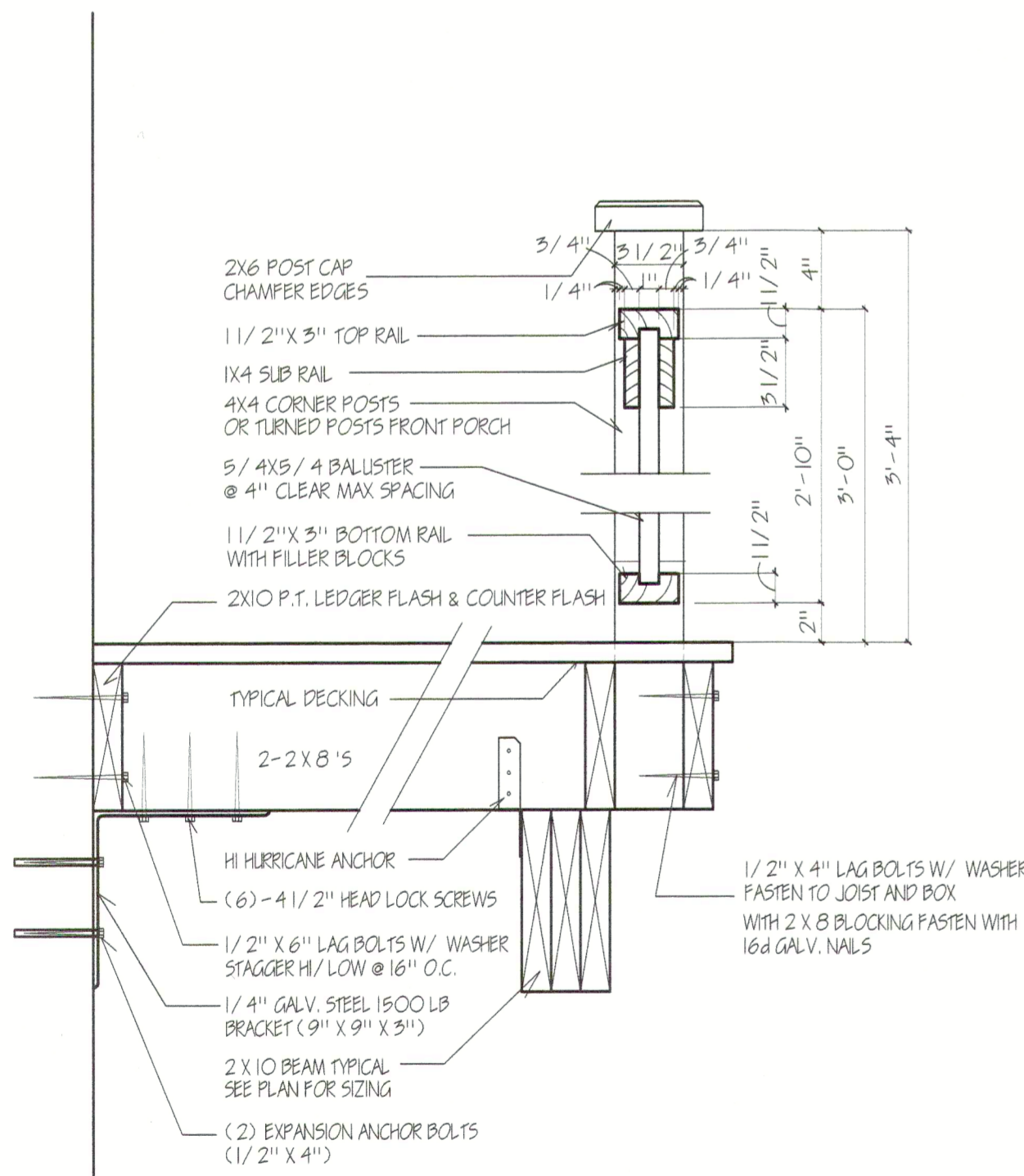
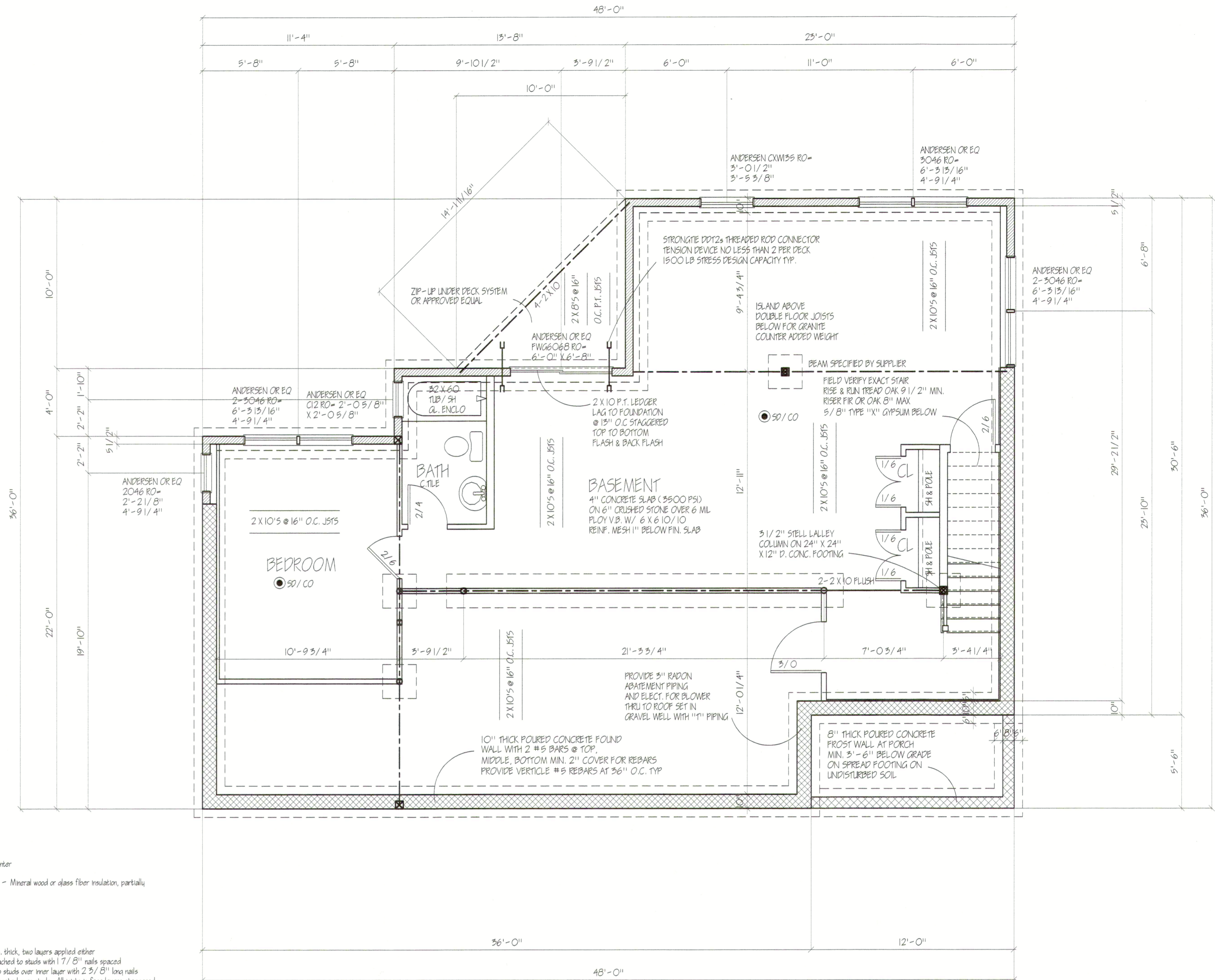
**Agent Appointment Acceptance**

Agent Signature: FERNANDO CAMPOS  
*This signature has been executed electronically*



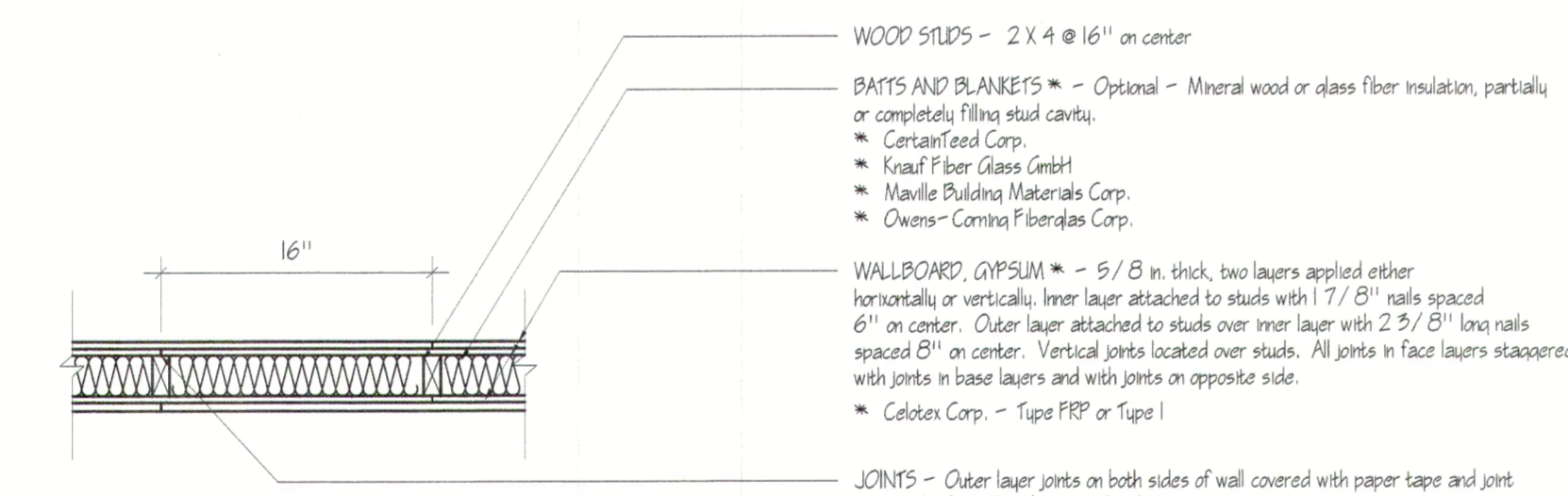
# BRACED WALL LINE LENGTH CALCULATIONS

INPUTS	BWL A-1	BWL B-1	BWL C-1	BWL 1-1	BWL 2-1	BWL 3-1	BWL A-2	BWL B-2	BWL C-2	BWL 1-2	BWL 2-2	BWL 3-2
BRACED WALL LINE LOCATION	1ST OF 2.5TY	1ST OF 2.5TY	1ST OF 1.5TY	1ST OF 2.5TY	1ST OF 2.5TY	1ST OF 2.5TY	2ND OF 2.5TY	2ND OF 2.5TY	2ND OF 2.5TY	2ND OF 2.5TY	2ND OF 2.5TY	2ND OF 2.5TY
EAVE TO RIDGE HEIGHT	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"
BRACED WALL LINE SPACING	22'-0"	22'-0"	14'-0"	25'-0"	25'-0"	22'-0"	22'-0"	14'-0"	25'-0"	25'-0"	25'-0"	25'-0"
WALL HEIGHT	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"
BRACING METHOD	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP
GB CONSTRUCTION TYPE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
GYPSUM WALL BOARD INSIDE	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES
HORIZONTAL JOINTS BLOCKED	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES
HOLD DOWN DEVICE USED	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
TABULATED WIND BRACING AMOUNT	6.0'	6.0'	4.0'	6.75'	6.75'	6.25'	5.5'	5.5'	2.1'	5.75'	5.75'	5.45'
EXPOSURE HEIGHT FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
EAVE - RIDGE HEIGHT FACTOR	0.97	0.97	0.97	0.97	0.97	0.97	0.94	0.94	0.94	0.94	0.94	0.94
WIND WALL HEIGHT FACTOR	0.9	0.9	0.9	0.9	0.9	0.9	0.90	0.90	0.90	0.90	0.90	0.90
NUMBER OF BWL FACTOR	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
HOLD DOWN FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
BLOCKED JOINT FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
GYPSUM ON INSIDE FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
WIND GB CONSTRUCTION FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
REQUIRED WIND BRACING AMOUNT	6.81'	6.81'	4.54'	7.66'	7.66'	7.09'	5.65'	5.65'	2.51'	4.12'	4.12'	5.79'
LENGTH OF WALL BRACING REQUIRED	6.81'	6.81'	4.54'	7.66'	7.66'	7.09'	4.0'	4.0'	4.0'	4.12'	4.12'	4.0'
LENGTH OF WALL BRACING PROVIDED	8.0'	8.0'	6.0'	8.0'	8.0'	8.0'	4.0'	4.0'	4.0'	6.0'	6.0'	4.0'



TYPICAL DECK & RAIL DETAIL

SCALE - 1 1/2" = 1'-0"

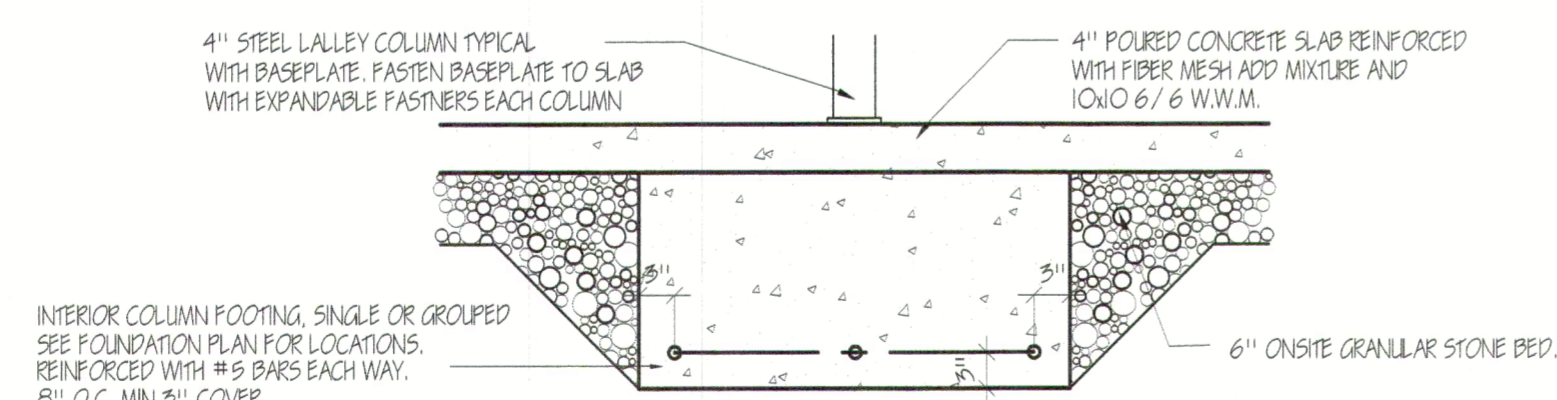


DESIGN NO. ULS01

WALL ASSEMBLY 2.0 HR

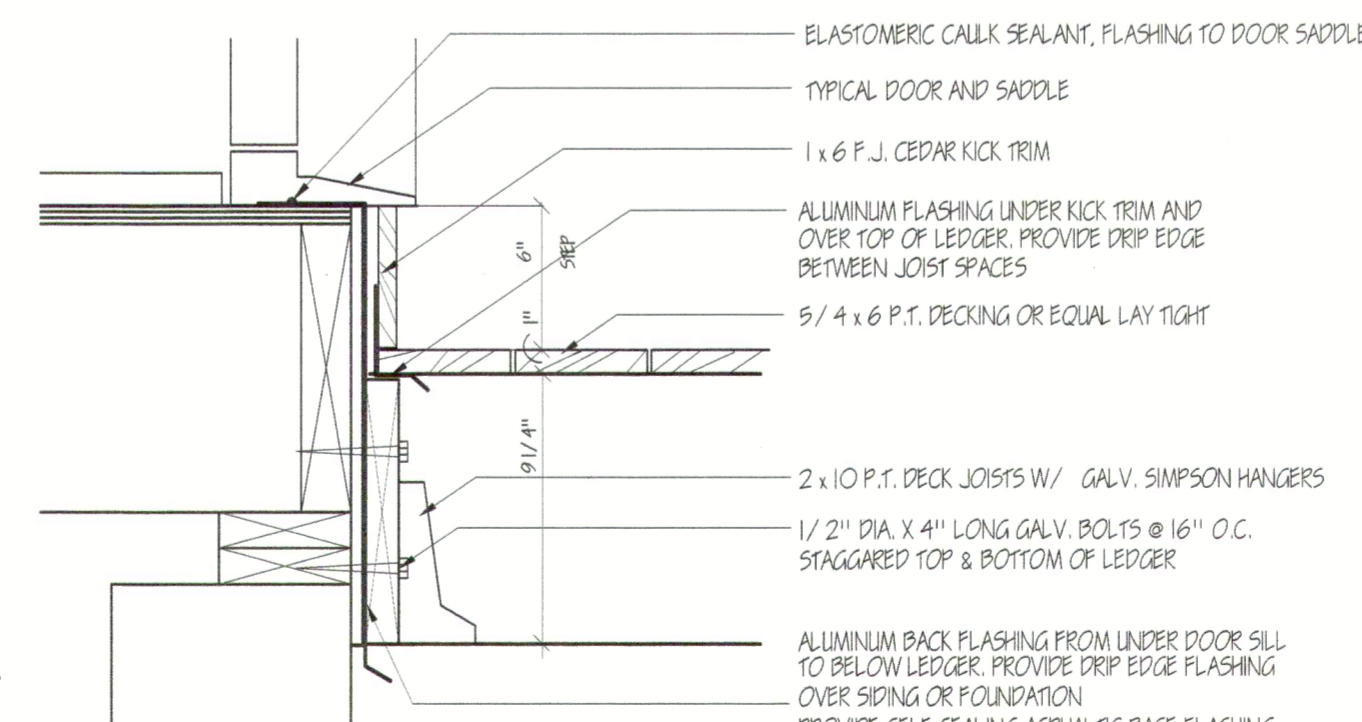
### RATED WALL ASSEMBLY

SCALE: NONE



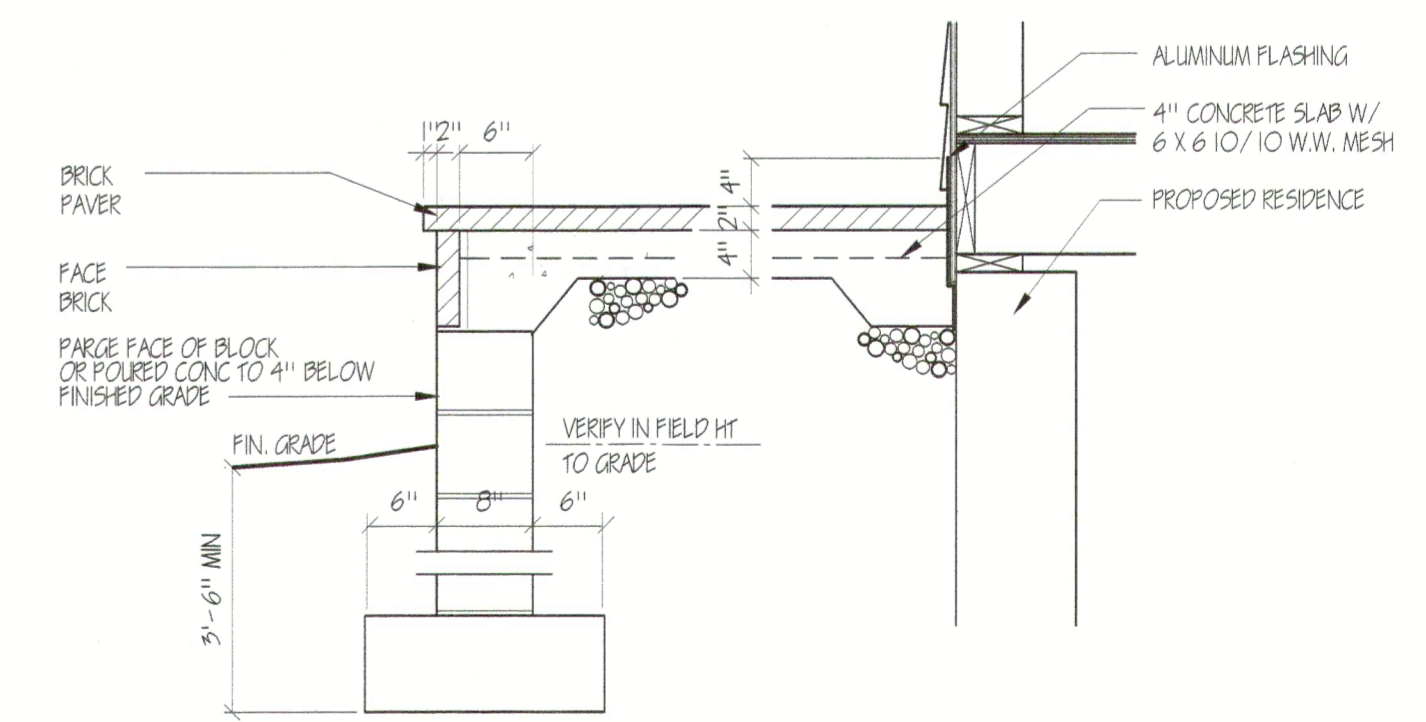
COLUMN FOOTING DETAIL

SCALE: 3/4" = 1'-0"



DECK LEDGER DETAIL

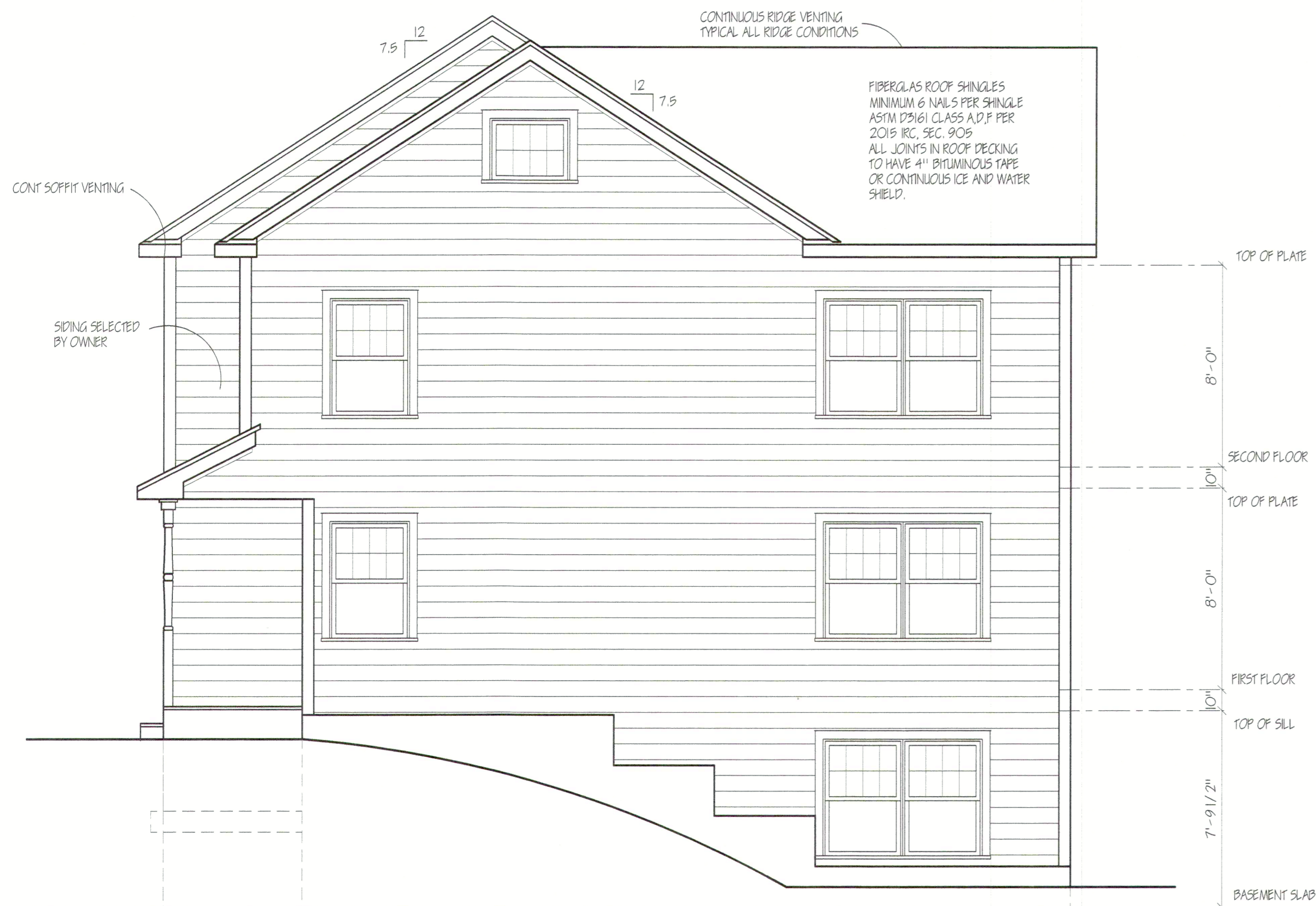
SCALE: 1 1/2" = 1'-0"



ENTRY PORCH DETAIL

SCALE: 3/4" = 1'-0"

CONCRETE: 3500 PSF AT 28 DAYS MINIMUM. PROVIDE NAME OF THE CONCRETE INSTALLER AND SUPPLIER AS PER PUBLIC ACT NO-16-45 TO BE MAINTAINED IN BUILDING DEPT. RECORDS FOR 50 YEARS MIN



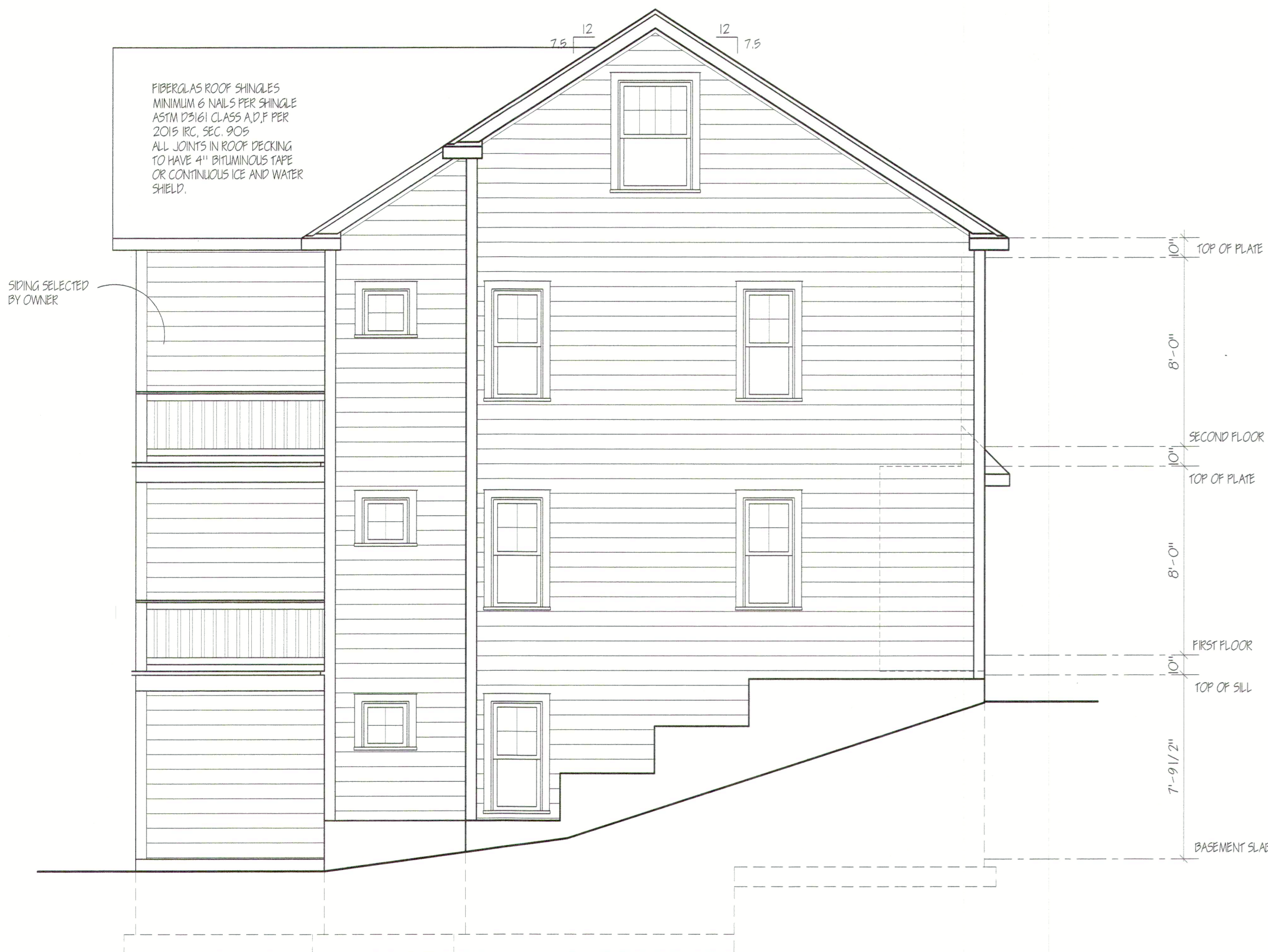
**RIGHT SIDE ELEVATION**

GLAZING 750.0 SQ FT X 10% = 75.0 SQ FT. PROVIDED 127.0 SQ FT



**FRONT ELEVATION**

GLAZING 873 SQ FT X 10% = 87.3 SQ FT. PROVIDED 185.0 SQ FT



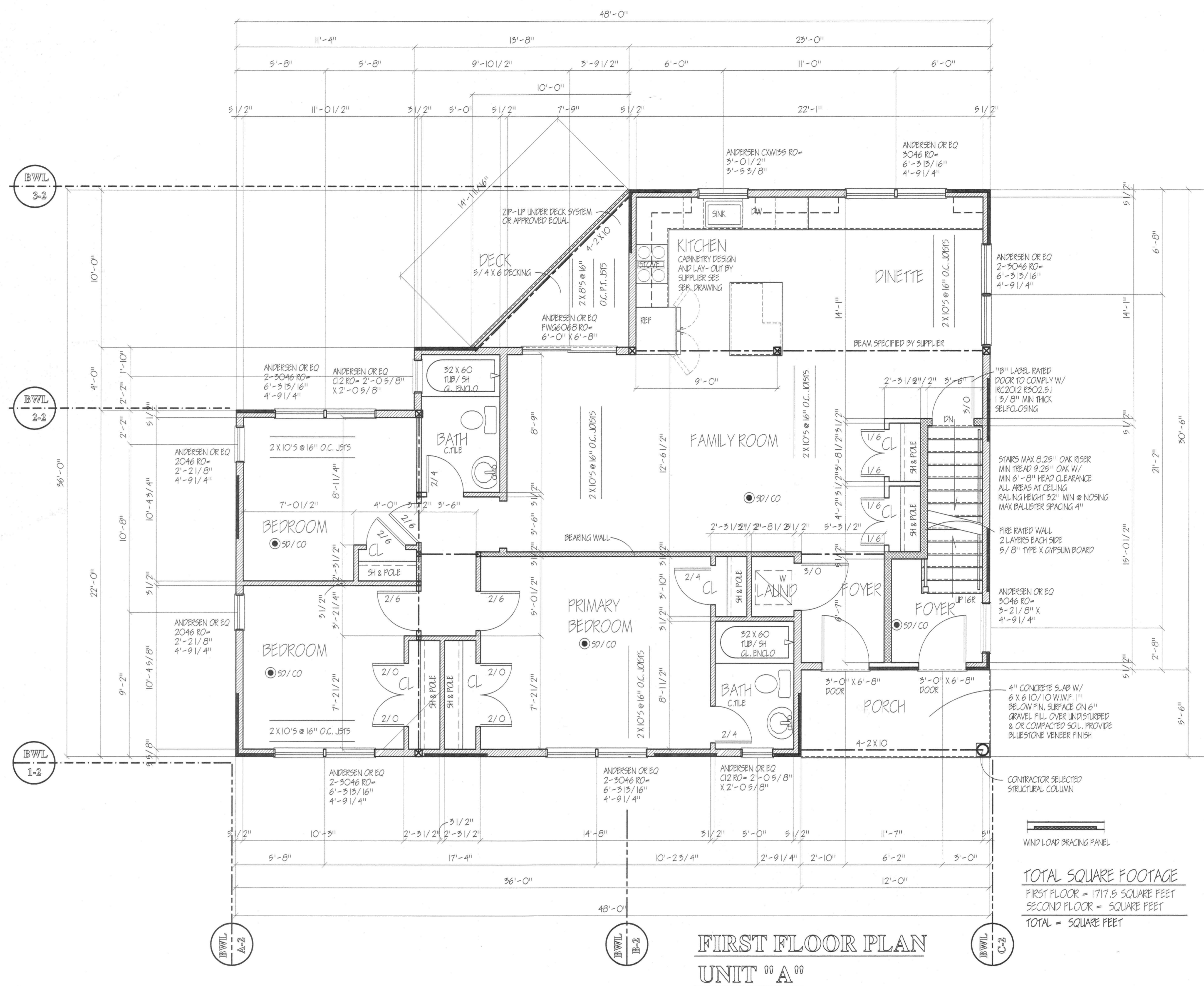
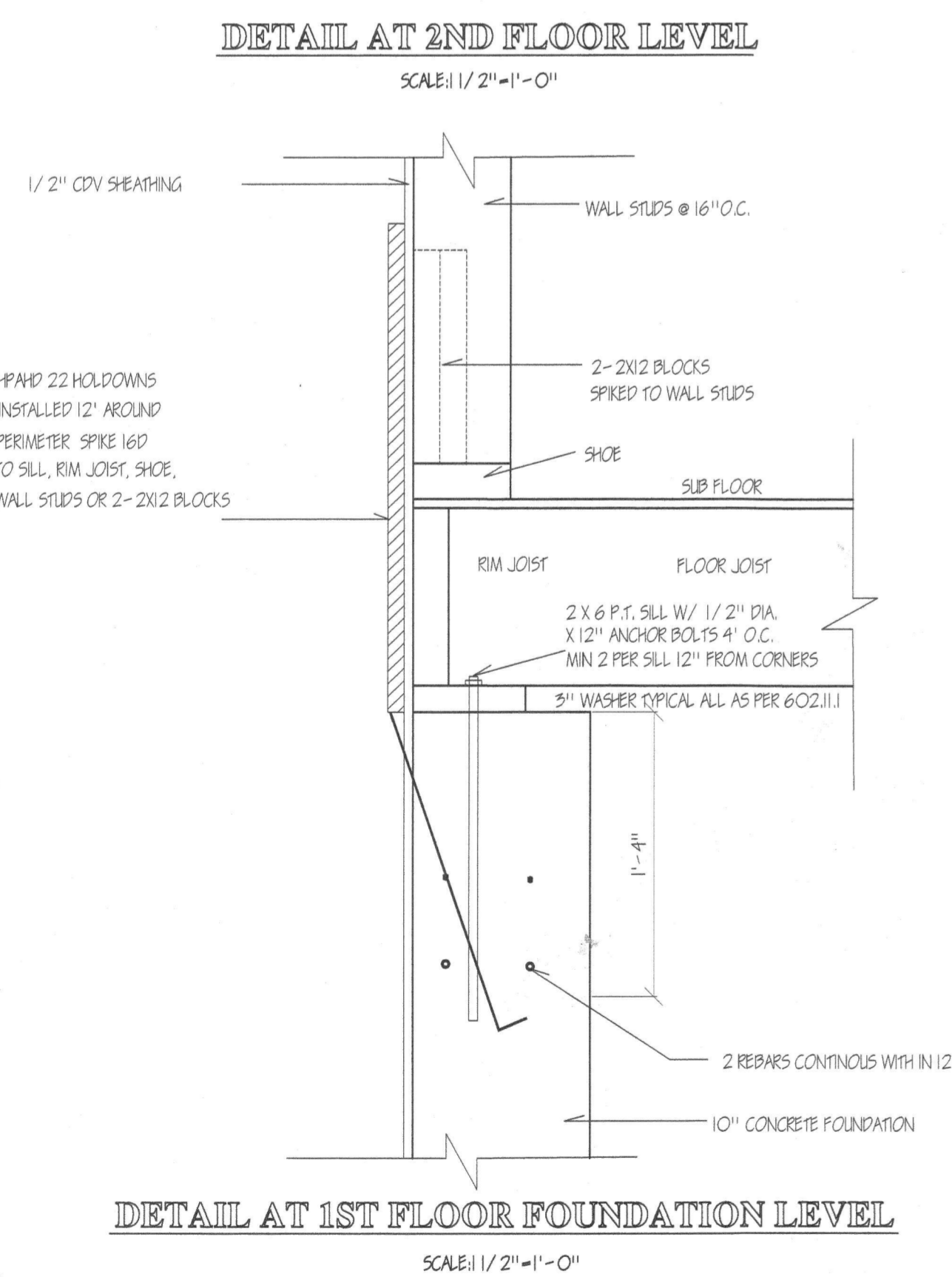
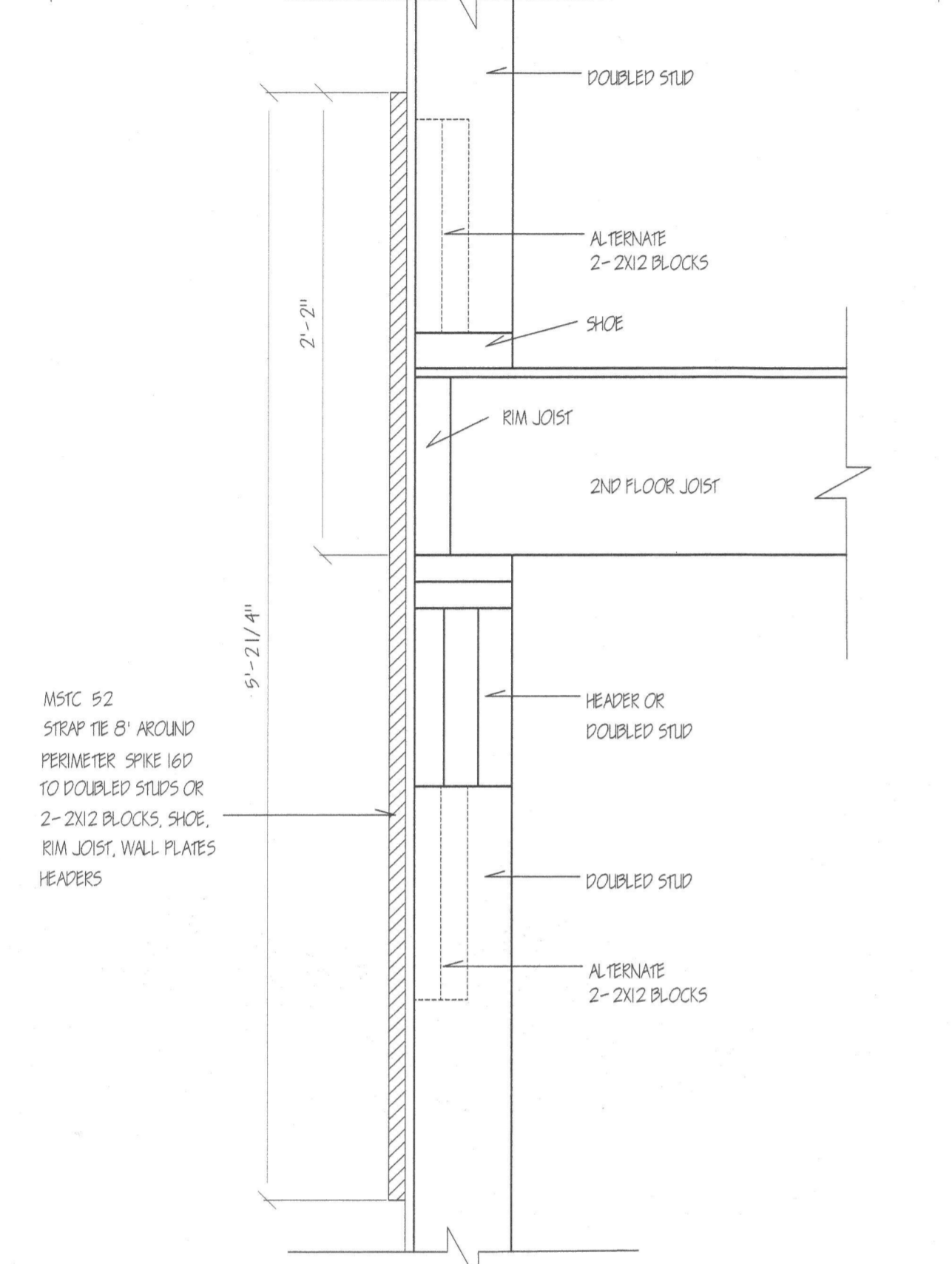
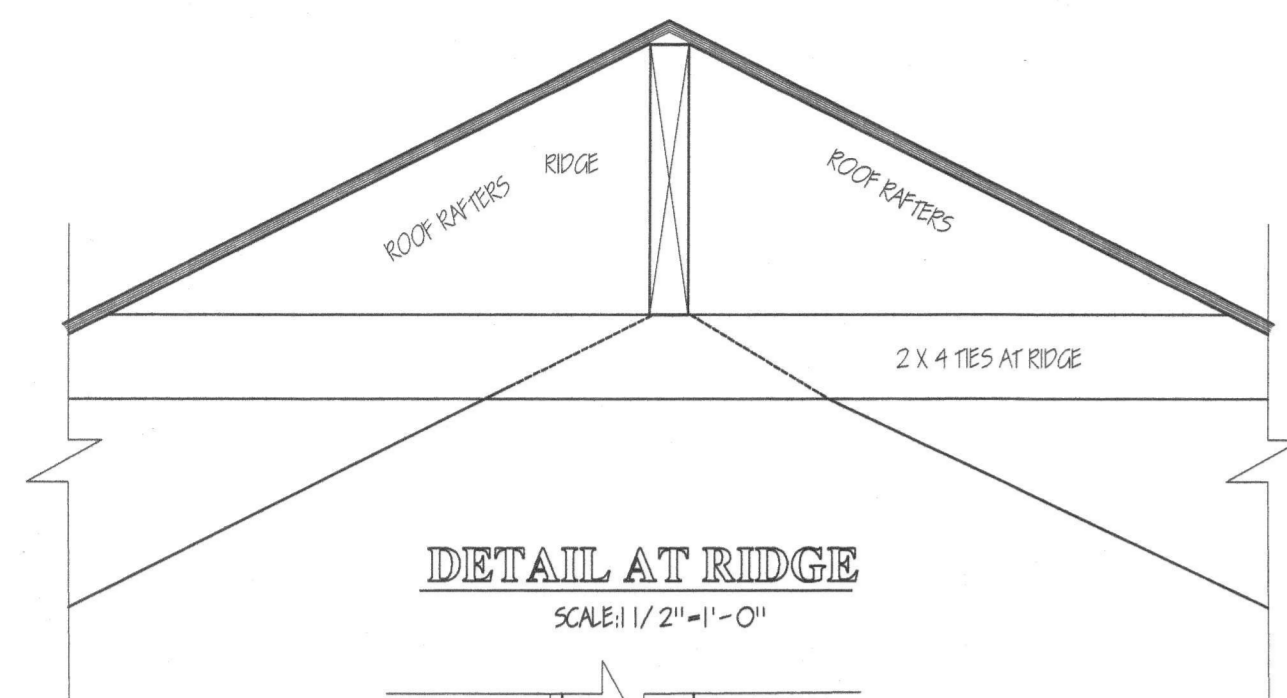
**LEFT SIDE ELEVATION**

GLAZING 725.0 SQ FT X 10% = 72.0 SQ FT. PROVIDED 77.0 SQ FT



**REAR ELEVATION**

GLAZING 1350.0 SQ FT X 10% = 135.0 SQ FT. PROVIDED 345.0 SQ FT



**WALL BRACING NOTES:**

1. THIS WALL BRACING EVALUATION IS BASED ON THE 2012 IRC IN COMPLIANCE WITH THE WALL BRACING REQUIREMENTS OF SECTIONS R602.10, R602.11 AND R602.12.
2. ONE- AND TWO-FAMILY DWELLINGS AND TOWN HOUSES IN SEISMIC DESIGN CATEGORIES A AND B AND 1 AND 2-FAMILY DWELLINGS IN SEISMIC DESIGN CATEGORY C ARE EXEMPT FROM THE SEISMIC REQUIREMENTS OF THE IRC. THE LENGTH OF WALL BRACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TABLE R602.10.1.2 (1) BASED ON WIND SPEED, INCLUDING ALL APPLICABLE ADJUSTMENT FACTORS. (WIND SPEED USED BASED ON 100 MPH.)
3. BRACED WALL LINES USING THE CONTINUOUS SHEATHING (CS) METHOD SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R602.10.4 AND R602.10.9, AS APPLICABLE.
4. BRACED WALL PANELS SHALL BE LOCATED AT EACH END OF BRACED WALL LINES AND MAY BEING UP TO 12.5' FROM THE END PROVIDED THE TOTAL COMBINED DISTANCE FROM EACH END DOES NOT EXCEED 12.5' IN ACCORDANCE WITH FIGURE R602.10.1.4 (2). CORNER CONSTRUCTION FOR CONTINUOUSLY SHEATHED METHODS SHALL BE IN ACCORDANCE WITH SECTION R602.10.4.4 OR R602.10.9.3, AS APPLICABLE.
5. BRACED WALL PANEL SPACING SHALL NOT EXCEED 25'-0" O.C. IN ACCORDANCE WITH SECTION 602.10.1.4.
6. BRACED WALL LINE SPACING SHALL NOT EXCEED 60'-0" O.C.
7. INTERIOR BRACED WALL LINE SPACING IS THE GREATER OF THE DISTANCE BETWEEN 2 ADJACENT BRACED WALL LINES IN ACCORDANCE WITH FIGURE R602.10.1.4 (4) OF THE 2009 IRC.
8. HORIZONTAL PANEL JOINTS IN BRACED WALL PANELS SHALL BE BLOCKED IN ACCORDANCE WITH R602.10.8.

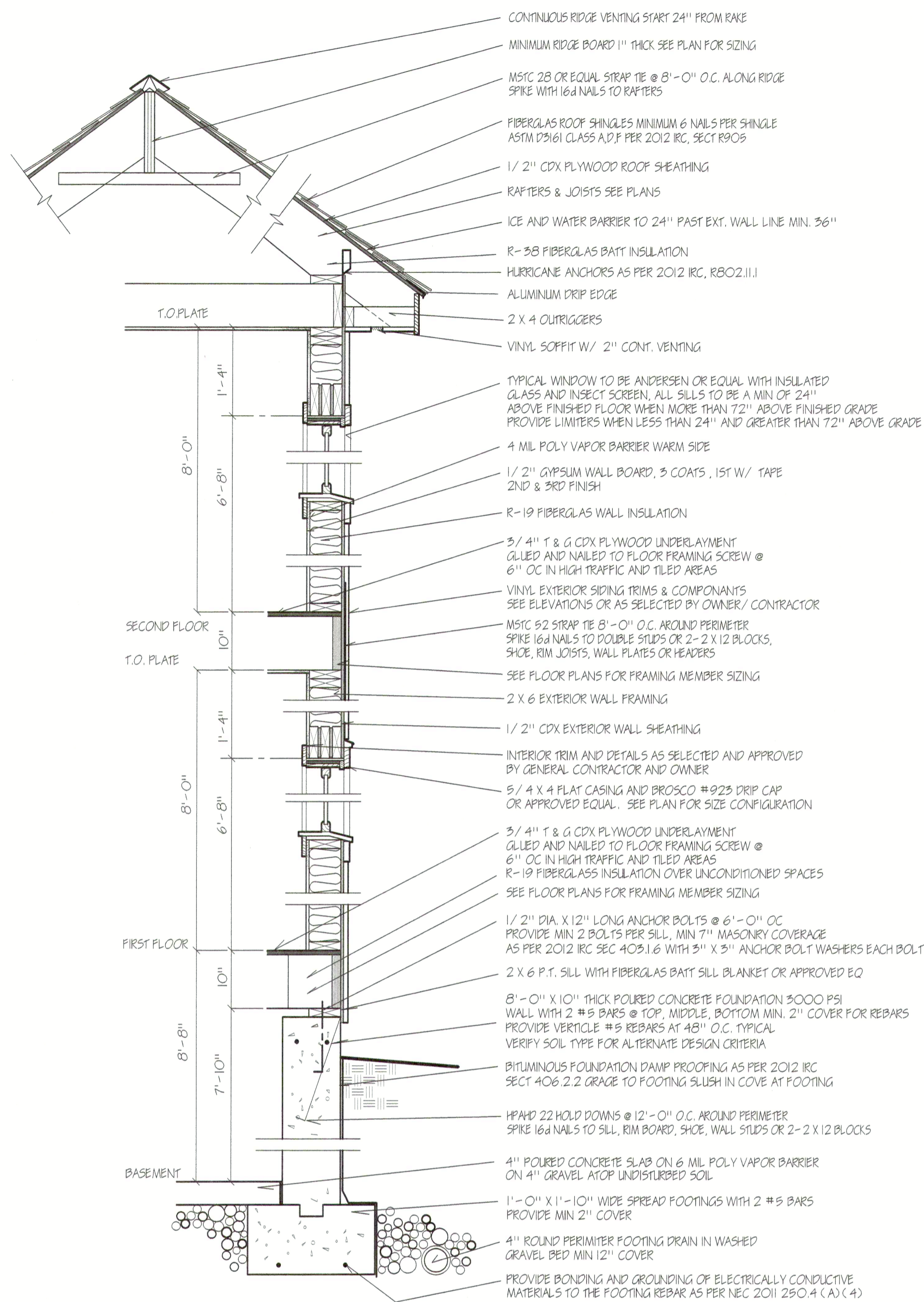
**WALL BRACING CONSTRUCTION METHODS**

CS - WSP (CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL)  
 MINIMUM SHEATHING THICKNESS = 5/8"  
 CONNECTION CRITERIA = 6d COMMON (2" X 10") NAILS @ 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16d @ 1 1/2" X 4 STAPLES @ 3" O.C. SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)

GB (GYPSUM BOARD)  
 MINIMUM THICKNESS 1/2"  
 CONNECTION CRITERIA = NAILS OR SCREWS @ 7" SPACING AT PANEL EDGES INCLUDING TOP AND BOTTOM PLATES; FOR ALL BRACED PANEL WALL LOCATIONS FOR EXTERIOR SHEATHING NAIL OR SCREW SIZE, SEE TABLE R 602.3.1 (1); FOR INTERIOR GYPSUM BOARD NAIL OR SCREW SIZE, SEE TABLE R 702.3.5

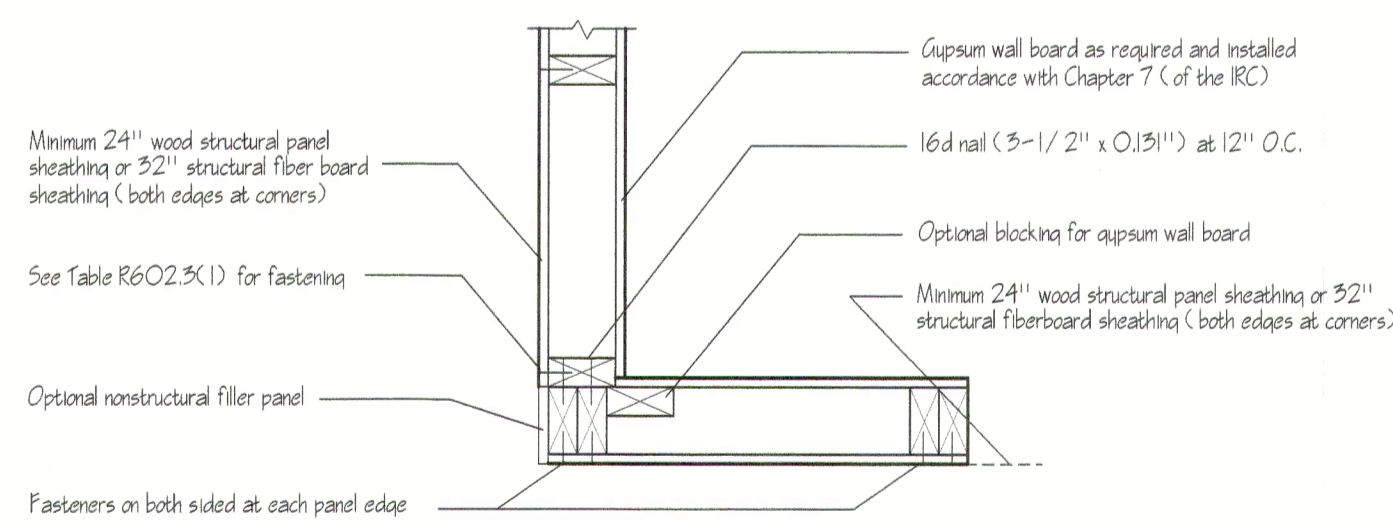
**GENERAL NOTES:**

1. THESE DRAWINGS SHOW INTENT. CONSULT WITH CONTRACTOR FOR ALL DETAILS.
2. ALL WORK SHALL BE IN ACCORDANCE W/ ALL APPLICABLE CODES AND ORDINANCES.
3. VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. CONTACT DESIGNER FOR CLARIFICATION.
4. ALL FRAMING LUMBER TO BE SURFACE DRY P6=1200 PSI REPEITIVE (DOUG FIR, CONST GRADE #2 MIN).
5. CONCRETE: 3500 PSF AT 28 DAYS MINIMUM. PROVIDE NAME OF THE CONCRETE INSTALLER AND SUPPLIER AS PER PUBLIC ACT NO-16-45 TO BE MAINTAINED IN BUILDING DEPT. RECORDS FOR 50 YEARS MIN.
6. SOIL BEARING CAPACITY ASSUMED AT 3000 PSF.
7. WINDOW DESIGNATIONS ARE ANDERSEN TILT WASH STYLE UNITS. FOR SIZE ONLY OWNER TO VERIFY MANUFACTURER UNIT SUBSTITUTIONS MUST MEET IRECS CODES WHERE APPLICABLE 5.0 SQ FT FIRST FL, 5.7 SQ FT SECOND FL.
8. LOADING: 50 PSF FLOORS (L&D) 45 PSF FLOORS (L&D) 20 PSF FLOORS (L&D)
9. PROVIDE HURRICAN ANCHORING AND STRAPPING AS REQUIRED BY 2015 IRC BUILDING CODE GUIDELINES
10. PROVIDE RES-CHECK PER IECC (Energy Code) BY OTHERS TO BE ATTACHED TO DRAWINGS
11. PROVIDE DOCUMENTATION FOR BLOWER DOOR TEST AS REQUIRED BY 2015 IECC C402.1.2.3.
12. PROVIDE DUCT BLAST TEST AS REQUIRED BY THE 2015 IECC CODE
13. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING ANY EXISTING ELEMENTS DOORS, WINDOWS ETC. WHERE APPLICABLE



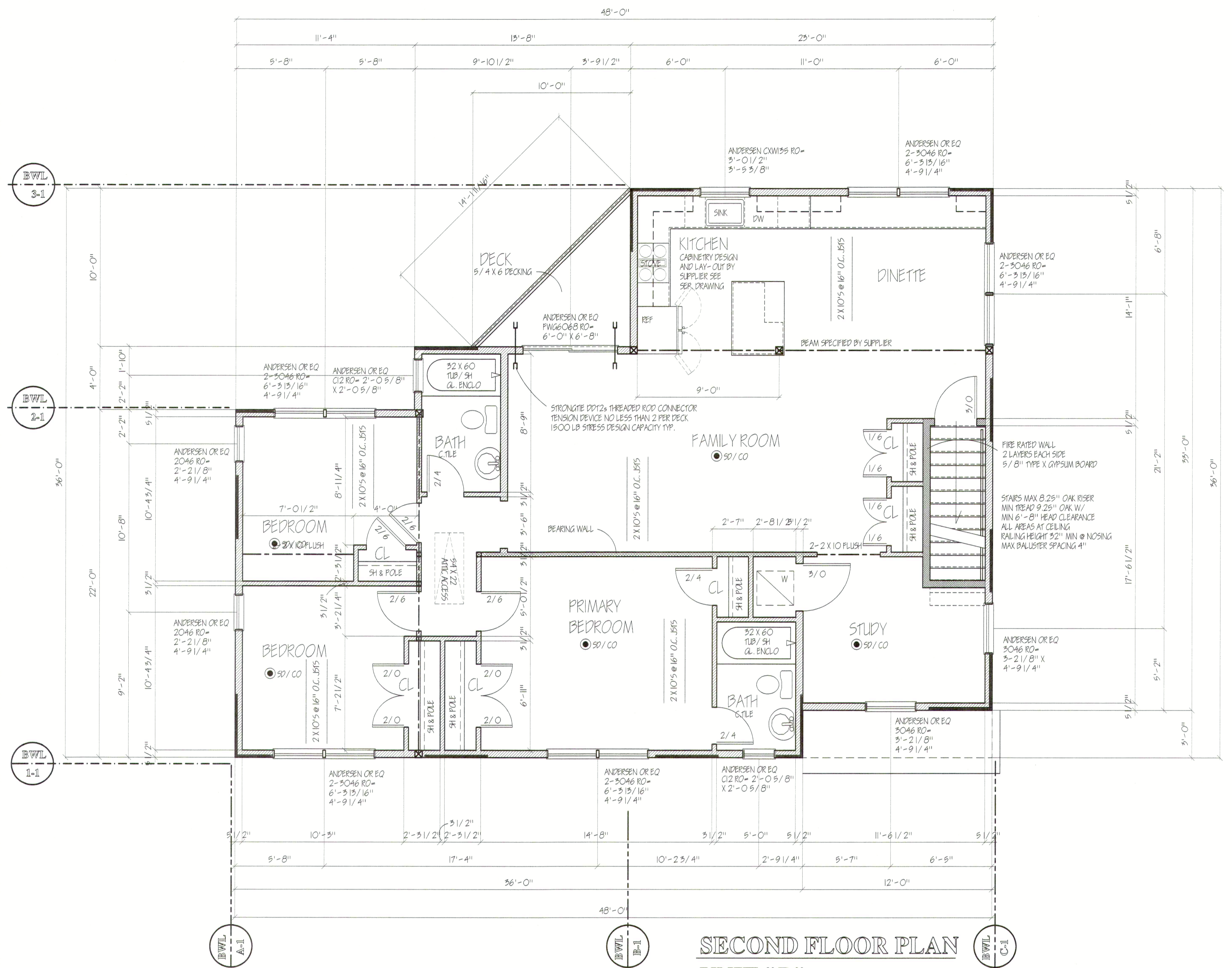
**TYPICAL WALL SECTION**

SCALE 3/4" = 1'-0"



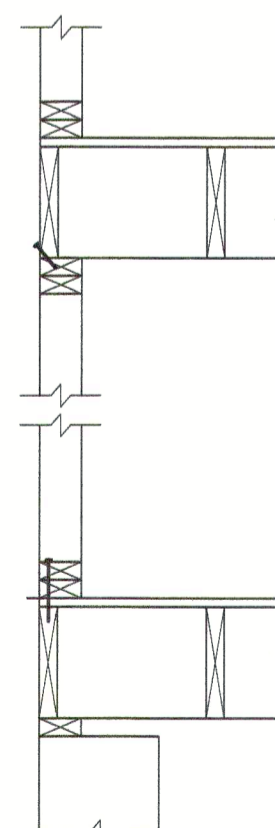
**TYPICAL CORNER DETAIL**

Not to scale

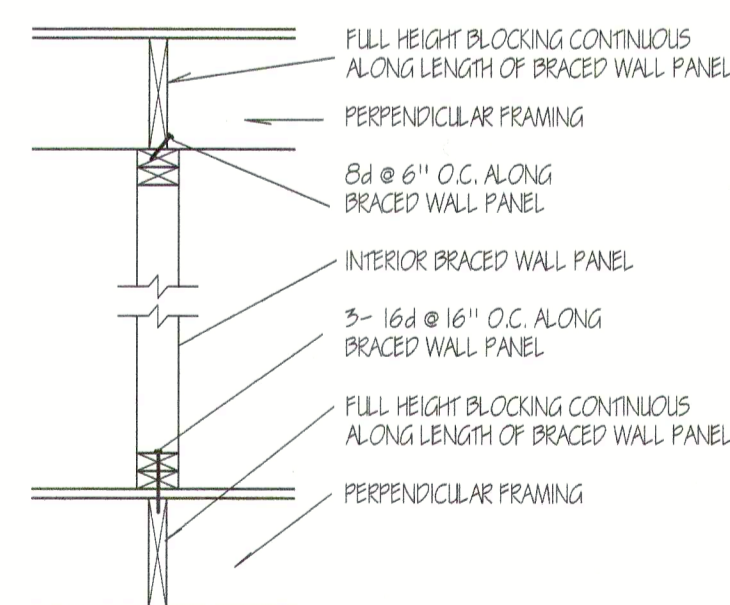


**SECOND FLOOR PLAN**

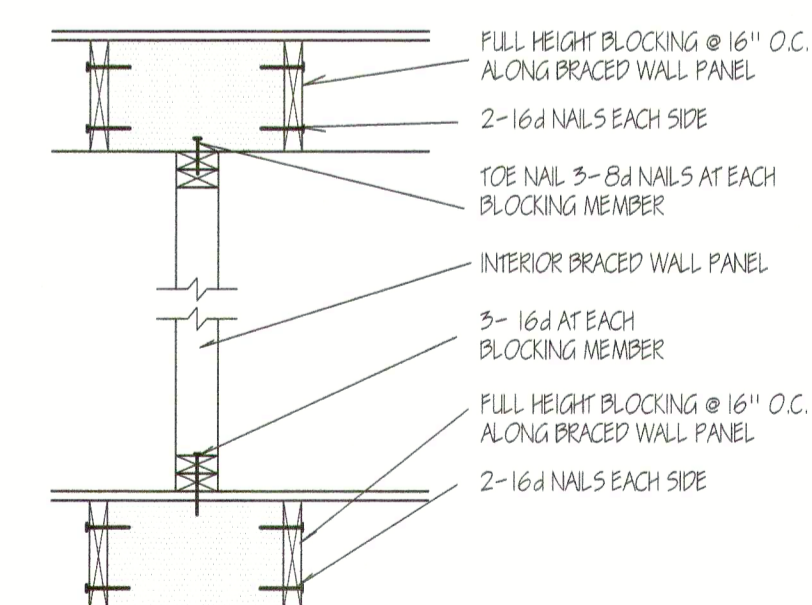
UNIT 00B00



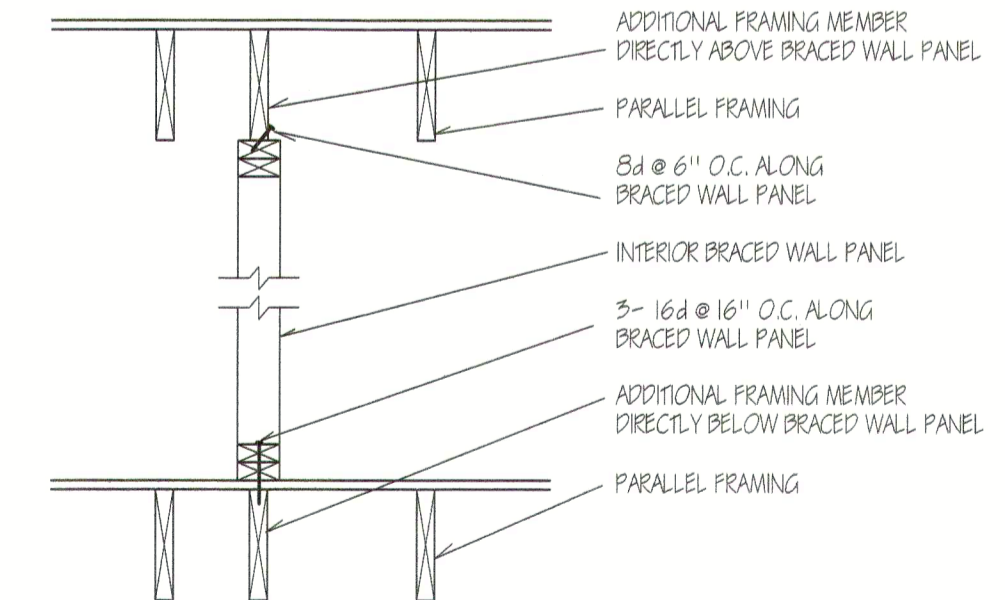
CONTINUOUS RIM OR END JOIST  
PARALLEL OR PERPENDICULAR FRAMING  
8d @ 6" O.C. ALONG  
BRACED WALL PANEL  
EXTERIOR BRACED WALL PANEL  
5- 16d @ 16" O.C. ALONG  
BRACED WALL PANEL  
CONTINUOUS RIM OR END JOIST  
PARALLEL OR PERPENDICULAR FRAMING



FULL HEIGHT BLOCKING CONTINUOUS  
ALONG LENGTH OF BRACED WALL PANEL  
PERPENDICULAR FRAMING  
8d @ 6" O.C. ALONG  
BRACED WALL PANEL  
INTERIOR BRACED WALL PANEL  
5- 16d @ 16" O.C. ALONG  
BRACED WALL PANEL  
FULL HEIGHT BLOCKING CONTINUOUS  
ALONG LENGTH OF BRACED WALL PANEL  
PERPENDICULAR FRAMING



FULL HEIGHT BLOCKING @ 16" O.C.  
ALONG BRACED WALL PANEL  
2- 16d NAILS EACH SIDE  
TOE NAIL 5- 8d NAILS AT EACH  
BLOCKING MEMBER  
INTERIOR BRACED WALL PANEL  
3- 16d AT EACH  
BLOCKING MEMBER  
FULL HEIGHT BLOCKING @ 16" O.C.  
ALONG BRACED WALL PANEL  
2- 16d NAILS EACH SIDE



ADDITIONAL FRAMING MEMBER  
DIRECTLY ABOVE BRACED WALL PANEL  
PARALLEL FRAMING  
8d @ 6" O.C. ALONG  
BRACED WALL PANEL  
INTERIOR BRACED WALL PANEL  
3- 16d @ 16" O.C. ALONG  
BRACED WALL PANEL  
ADDITIONAL FRAMING MEMBER  
DIRECTLY BELOW BRACED WALL PANEL  
PARALLEL FRAMING

**TYPICAL WALL FASTENING DETAILS**

Not to scale

**PROPOSED RESIDENCE**  
 10 ALMAUER STREET  
 BRIDGEPORT, CONNECTICUT

**BILUE LINE DESIGNS**  
 CHRIS JAWOISZ WHEATY, 34 UNDERHILL ROAD  
 SANDY HOOK, CT 06482 (203) 426-9122

REFERENCE: 2622PR2  
 SCALE: 1/4" = 1'-0"  
 DRAWN BY: CJW  
 DATE: 08-16-22





CITY OF BRIDGEPORT

File No. \_\_\_\_\_

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: Park City Compost Initiative Inc (PCCI) 8/19/22
2. Is the Applicant's name Trustee of Record? Yes No
3. Address of Property: 205 Bostwick Ave. Bridgeport, CT 06605
4. Assessor's Map Information: Block No. 12/329/ 1/A/ (GIS ID 329-1A) Lot No.
5. Amendments to Zoning Regulations: (indicate) Article: Section:
6. Description of Property (Metes & Bounds):
7. Existing Zone Classification: P4- Utility- Energy Infrastructure
8. Zone Classification requested: Same or I Industrial -
9. Describe Proposed Development of Property: seeking temporary permit for aerobic static pile composting on 75x75 plot in the NW corner of this property (currently vacant lot- formerly boat junk yard for Captains Cove)- no permanent infrastructure added
Approval(s) requested: P&Z, City, Coastal (City- have DEEP)

Signature: [Handwritten Signature] Date: August 19, 2022
Print Name: Timothy O'Connor, Exec Dir PCCI

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature:
Print Name:

Mailing Address: 511 Lake Ave, Bridgeport, CT 06605 (Also POBox 3315 Bridgeport CT 06605)
Phone: 203 733 0506 Cell: 203 733 0506 Fax: NA
E-mail Address: tvoconnor@gmail.com

\$ TBD Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

City of Bridgeport CT
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date



## CITY OF BRIDGEPORT

# CONCEPTUAL URBAN DESIGN REVIEW TECHNICAL REVIEW

## CHECKLISTS

### **Conceptual Urban Design Review**

A single digital file containing the following information, at the scales indicated, plus one (1) paper set, unfolded (rolled), shall be submitted.

- Site Plan. Show building footprint, parking layout, driveway and landscaping. Scale: 1" = 40'.
- Area Site Plan. Indicate how the site plan for the proposed development relates to the neighborhood, Show an area of approximately 800' x 1000' with the site in the center of the map. Color gray or cross-hatch the building footprints of the proposed development. Scale: 1" = 100'.
- Building Elevations, reflecting proposed site grading, depicting roof, windows, doors, exterior cladding, and any architectural features – porches, stairs, bay windows, dormers, columns, pergolas, etc. Drawings shall be simple line drawings: no color or texture indicated. Scale: 1" = 1/8".
- Street Elevations. Show proposed building facades and include at a minimum two buildings to each side of site, Scale: 1" = 10'.
- Photographs of neighboring buildings. On one or two standard letter size pages, show the front view of neighboring buildings (two minimum) to either side of proposed development site and across the street, for a total length of 200' minimum or four (4) buildings per street side, whichever is greater. Include street name and addresses under each row of photographs. Note: Screen shots from online street photos will meet this requirement. Photo size of approximately 1"x2" is ideal. Individual photos are not acceptable.

### **Technical Review**

Eleven (11) copies of the following information:

- Site Plan, as further outlined in Section 14-2-3b.
- Utility Plan, as further outlined in Section 14-2-3c.
- Phasing Plan, as further outlined in Section 14-2-3d.
- Landscaping Plan.



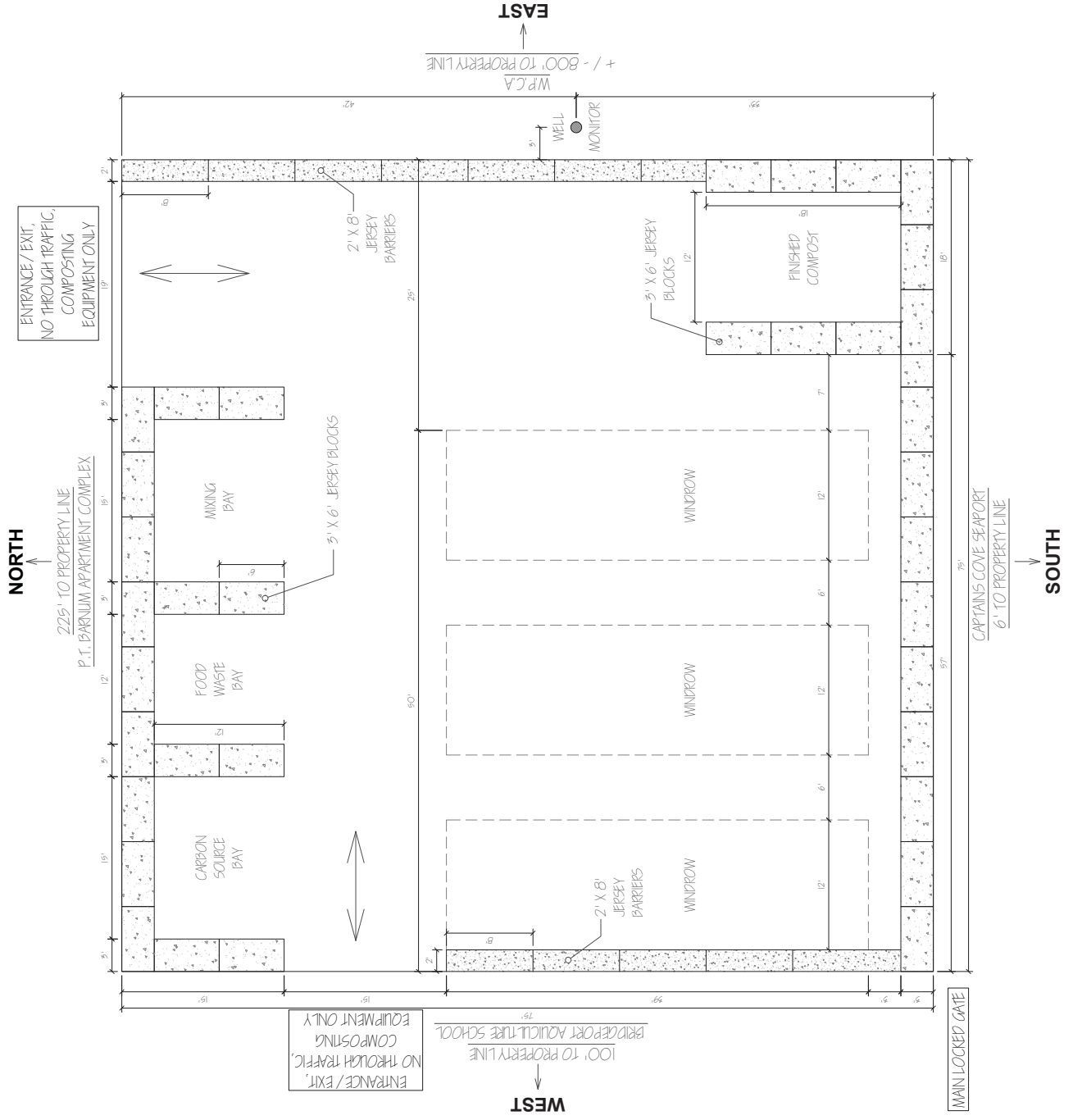
**BLACK ROCK**  
COMPOST COMPANY, LLC  
ANDREW TYRRELL  
CERTIFIED MASTER  
COMPOSTER  
203.449.0572  
BLACKROCKCOMPOST@GMAIL.COM

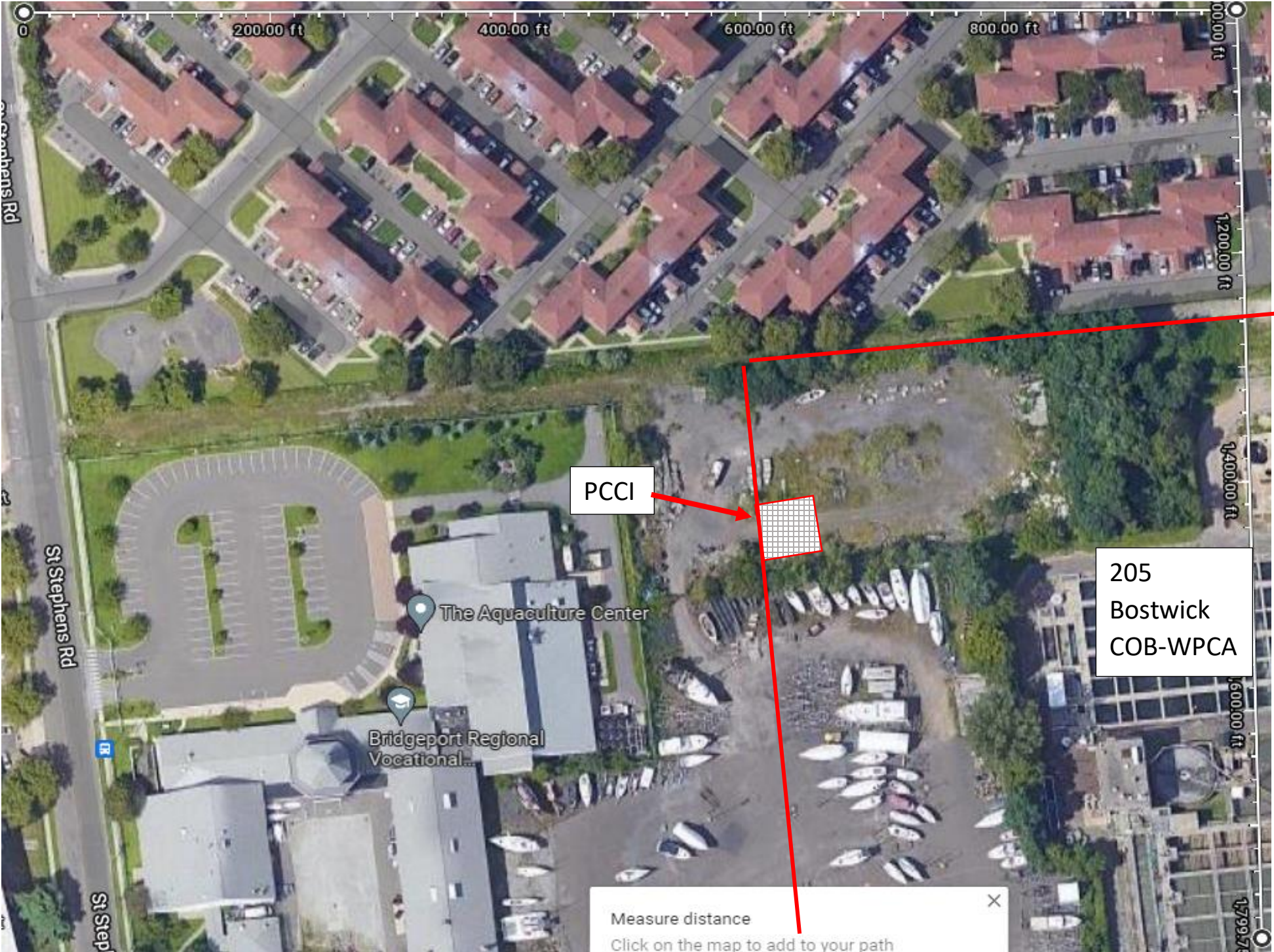
**PARK CITY COMPOST  
INITIATIVE SITE PLAN:  
PHASE 3**

SCALE: 1" = 40'

DWN	7.9.22
REV	8.18.22

DWG. NO.  
**111**





PCCI

The Aquaculture Center

Bridgeport Regional Vocational...

205  
Bostwick  
COB-WPCA

Measure distance  
Click on the map to add to your path

St Stephens Rd

St Stephens Rd

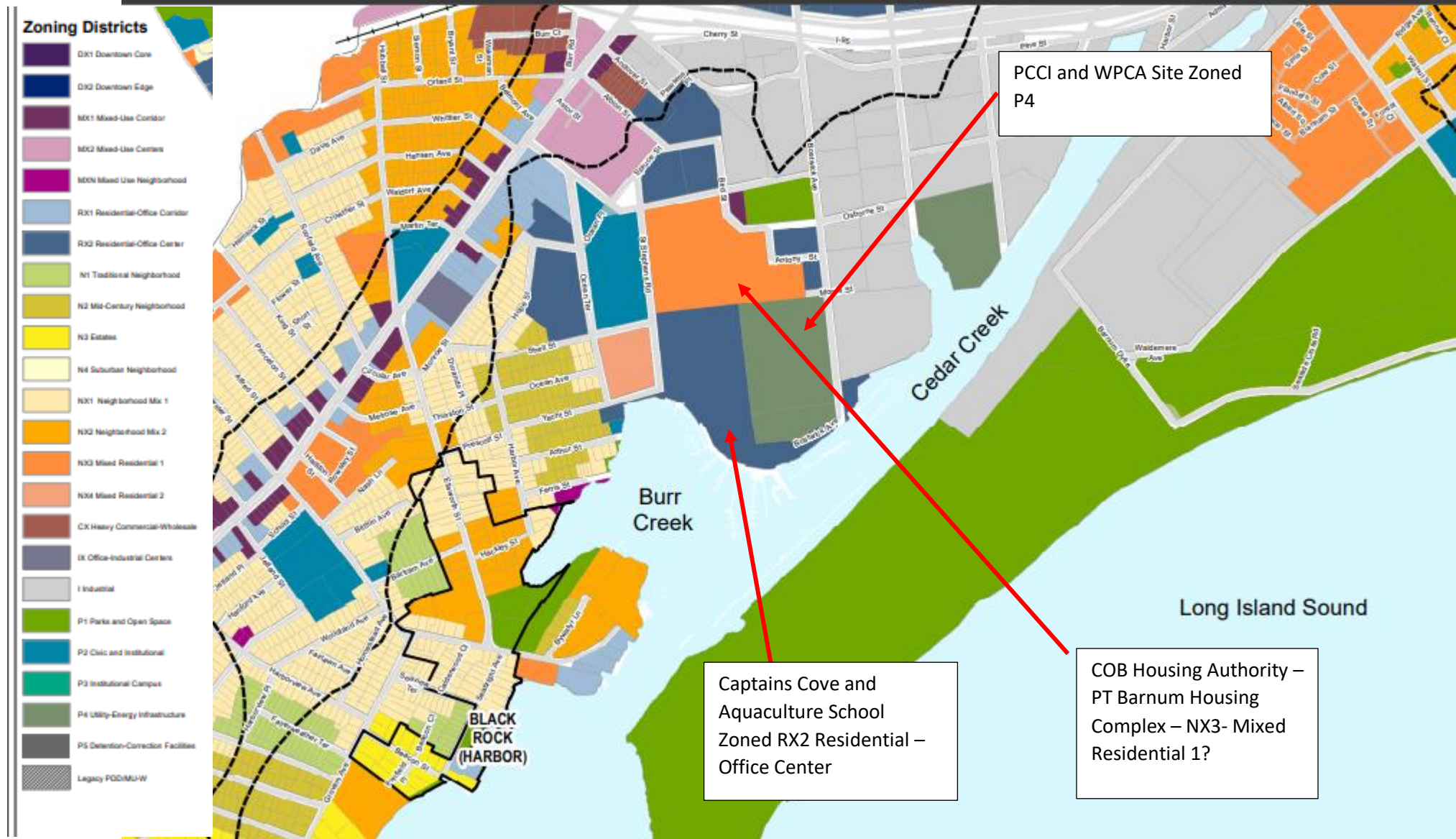
St Step

PCCI – Composting Site Proposal 2022-0819

Location on 75x75 portion of 205 Bostwick Ave – WPCA West End Operations

Site was previously a vacant lot used as a boat graveyard by Captains Cove Marina

Current (2022) zoning for the total 205 Bostwick site is P4: Utility - Energy Infrastructure.



**PCCI Photos for BPT P&S Design Review**

- 1) **Aquaculture School – adjacent property which is shared with Captains Cove Marina**



- 2) **Captains Cove Marina – Site is located on vacant land previously used by the marina for a dead boat yard.**



**3) WPCA West End Plant – 205 Bostwick Ave BPT**



**4) PT Barnum Housing Complex (Multiiple)**



**PT Barnum at Morris and Bostwick**



**PT Barnum Units view to PCCI And Aquaculture School**



**PT Barnum from St Stephens and Shell St East toward WPCA and PCCI**



**West Entrance to PT Barnum from St Stephens**



**Closest View to PCCI Site from Unit 207**



5) Photo views from PCCI Site



North From Site to PT Barnum Housing- large blocks x = corner of site



Northeast from Site – Chip Pile is Corner of Plot



**View to East from Site toward WPCA. Blue Barrell is just off plot of PCCI site**



**View South East from Site toward Captains Cove – showing Fence Line**



**View Due South from site toward Captains Cove Boat Storage Yard & Fence line**



View SouthWest from Site toward Captains Cove and Aquaculture School -also fence



View Due West from Site toward Aquaculture – Car is right outside of Plot

Monday, October 10, 2022

Park City Compost Initiative, Inc.



TO: Bridgeport Planning and Zoning Coastal Review

Cc: Nicholas Sampieri, Matthew McCarthy, Scott Burns, Tim O'Connor

Dear P&Z ,

RE: Submission for Coastal Review of Park City Compost Initiative to conduct Aerobic Static Pile composting in the back of 205 Bostwick Ave (WPCA West End Plant Property) on a temporary basis (to 2025) until WPCA needs the space for staging their expansion project.

**Permitting and Land Use for 75'x75' plot on WPCA's West Side Plant land behind Captains Cove.**

We have already secured:

- CT DEEP Coastal Permit – the plot we are to use is above the flood plain and has no runoff issues so CT DEEP has approved it to proceed to the next step in permitting. (Copy of email included in package.)
- WPCA Management and Board approval for use of this plot until late 2025 when they plan to use it for staging of their major expansion project for the West Side plant.
- COB P&Z approval that PCCI use as a form of urban farming is compatible with existing zoning uses and especially being temporary use (2-3 years).
- COB City Hall Commission approval of PCCI use of the land at no cost for the available term (2-3 years) until WPCA needs the space. (Copy of letter included in packet.)

As part of this process, we have developed Professional Engineer approved site plans, commitments of support from vendors for non-profit rate materials (O&G – for blocks, jersey barriers and crushed stone) and All American Waste for totes and advisory support. We have clear and evolving capital and operating plans reflecting economic and timeline realities, but that will enable PCCI to sharply increase our impact and sustainability over the next 1-2 years.

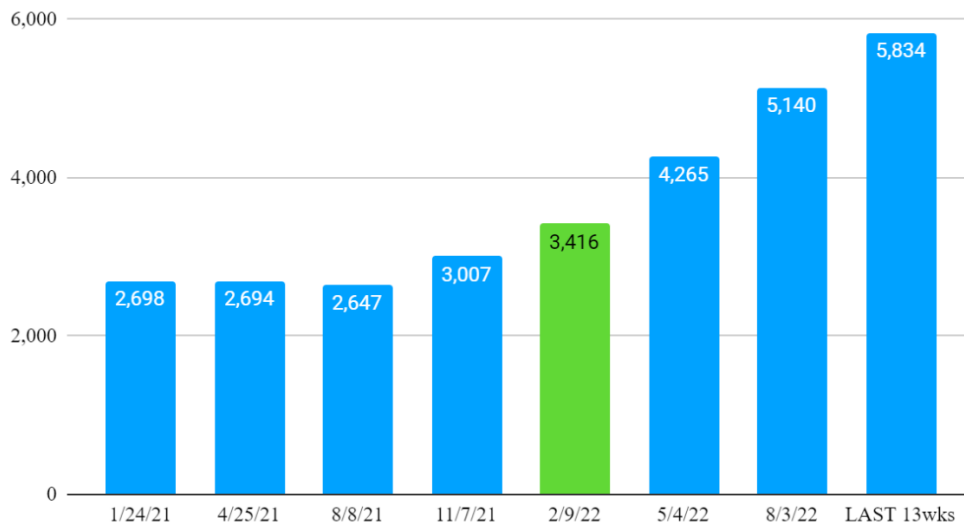
Next steps after COB final zoning approval is DEEP EJ and overall permits.

**Black Rock Community Composting**

Park City Compost Initiative started as a project by the Black Rock NRZ to conduct community composting, initially at the Burroughs Center gardens and then at Captains Cove, with no permits required due to the small scale of the program.

Interest and commitment by residents and organizations has increased while the number of PCCI's residential participants continues to grow from 80 a year ago to currently at 142 in Black Rock as well as collections from a neighborhood leader in the Hollow (Maplewood Ave) and from the Black Rock and Nourish Bridgeport's Brooklawn farmers markets.

PCCI Pilot Program Residuals Receipts 13week Totals



**PCCI has also received considerable support and funding from organizations that understand that Bridgeport and Connecticut in general needs to substantially reduce its solid waste costs, and diverting food scraps to aerobic composting is the lowest cost, least risk (environmental and community) option.**

- 1) Rotary Club of Bridgeport \$20,000 for organizing and start-up costs
- 2) Bridgeport Entrepreneurial Foundation \$10,000 for start up and ramp up
- 3) Bridgeport Environmental Task Force \$110,000 for capital equipment
- 4) SustainableCT Crowd Funding Campaign \$7,500 plus 1:1 Match for education and awareness (in progress)

Diverting food scraps from the waste stream will someday soon not be a choice but rather a requirement of state law and economic realities as tipping fees for solid waste are expected to double from the contract rate Bridgeport enjoys now compared to market rates the City will face on its 2023 contract negotiation (from \$65 to >\$120/ton).

The ultimate goals of PCCI are to strongly and positively impact the City of Bridgeport's environmental, social and budgetary costs of solid waste disposal.

- Improved aesthetic impacts from food waste mixed not being mixed into the solid waste system (smells, spills of liquid waste residue in roadways from household collection, and bulk transportation).
- Improve air quality as fewer noxious fumes would come out of the solid waste collection and disposal (incineration) process, an important health and emotional/political step forward for a community that has long suffered from environmental justice concerns, including dangerously high levels of asthma.
- To inculcate habits of composting among young people by integrating schools into this project. Kids would bring this attitude and commitment home, much as has been done to reduce smoking.

- Economically, PCCI will be able to grow jobs, and municipalities like Bridgeport would also see a budgetary benefit in the form of reduced “tipping fees”, thus lowering overall municipal expenditures.
- Bridgeport can and will be regarded as a socially and environmentally responsible community through this leadership and its impact on the environment, budgets and health of our residents and environment.

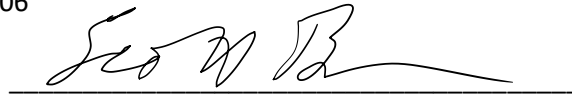
Composting on a non-toxic, low capital requirement basis like aerobic composting, especially using the Aerated Static Pile process we are planning to use and demonstrate at our WPCA site, is substantially lower cost than incineration or hauling waste out of state to Pennsylvania and beyond. (NOTE: CT has NO solid waste landfills to put our waste. As our incinerators age and close like the July 2022 MIRA Hartford region plant closure, waste streams will need to be aggressively reduced through recycling and organics [food scraps and yard waste] diversion and composting for municipalities to manage the economic explosion of doubling of waste fees.)

We ask that you approve our application for temporary farming of compost at 205 Bostwick until such time as WPCA needs the space for its expansion project or PCCI finds additional space to conduct this important service to the community.

Tim O’Connor, Executive Director,  
Park City Compost Initiative Inc.  
[tvoconnor@gmail.com](mailto:tvoconnor@gmail.com) 203 733 0506

Handwritten signature of Tim O'Connor in black ink, written over a horizontal line.

Scott Burns, Board Chair  
Park City Compost Initiative Inc.  
[Scott.Burns@bridgeportCT.gov](mailto:Scott.Burns@bridgeportCT.gov)  
203 690 2228

Handwritten signature of Scott Burns in black ink, written over a horizontal line.



# CITY OF BRIDGEPORT

Application Form

## Municipal Coastal Site Plan Review

### For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

#### Section I: Applicant Identification

Applicant: <u>Park City Compost Initiative Inc.</u> Date: <u>19 Aug 2022</u>
Address: <u>511 Lake Ave, Bridgeport, CT 06605</u> Phone: <u>203 733 0506</u>
Project Address or Location: <u>205 Bostwick -Behind Captains Cove on land that is now WPCA's for the expansion project GPS 41.160485523496696, -73.2144972863872</u>
Interest in Property: <input type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input checked="" type="checkbox"/> other (specify) <u>Free Use for 2-3 years</u>
List primary contact for correspondence if other than applicant: Name: <u>Tim O'Connor</u>
Address: <u>511 Lake Ave</u>
City/Town: <u>Bridgeport</u> State: <u>CT</u> Zip Code: <u>06605</u>
Business Phone: <u>203 733 0506</u>
e-mail: <u>tvoconnor@gmail.com</u>

#### Section II: Project Site Plans

<p>Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:</p> <ul style="list-style-type: none"><li><input checked="" type="checkbox"/> Project location</li><li><input checked="" type="checkbox"/> Existing and proposed conditions, including buildings and grading</li><li><input checked="" type="checkbox"/> Coastal resources on and contiguous to the site</li><li><input checked="" type="checkbox"/> High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)</li><li><input checked="" type="checkbox"/> Soil erosion and sediment controls</li><li><input checked="" type="checkbox"/> Stormwater treatment practices</li><li><input checked="" type="checkbox"/> Ownership and type of use on adjacent properties</li><li><input type="checkbox"/> Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)</li></ul>
--

### Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

### Part I: Site Information

1. Street Address or Geographical Description: #205 Bostwick Ave, Bridgeport CT Lat Lan 41.16041844028811, -73.21452911898328 on 75 x 75ft plot on land transferred from Captains Cove use to WPCA – owned by the City of Bridgeport  
City or Town: Bridgeport, CT
2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)?  YES  NO
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:  
Burr/Cedar Creek/Black Rock Harbor
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:  
Vacant land formerly used as a boat yard/dump – planned future use to be part of the WPCA - West End Plant expansion. Adjacent land south toward water is Captains Cove Marina, Adjacent land to North and East are WPCA Lands for the expansion project. Beyond to the North is PT Barnum Housing, Beyond to the west is the Aquaculture School.
5. Indicate the area of the project site: 75'x75' (5,625sq ft) ~~acres~~ or square feet (circle one)
6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):
  - Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
  - Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.
  - Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.**
7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d)  Yes  **No – however the site will have jersey barriers surrounding the perimeter for security and as an extra storm water barrier.**



## Part II.A.: Description of Proposed Project or Activity

*Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):*

**Site is just weeds and dirt over a very compact gravel base Intention is to add more crushed stone to even out surface. There are no structures on the site at this location, No change in impervious cover / conditions with planned use and site improvements. Run-off and site security via barriers of large concrete blocks and jersey barriers as well as locked gates at the entrances and a locked surrounding fence and gate to Captains Cove access.**

**Planned use is for aerobic composting of food residuals with leaves and wood chips to make a valuable soil amendment. Food residuals will be sourced from residential collection, schools and institutional cafeterias and commercial haulers of segregated food scraps.**

**Past use of site as indicated was as a boat graveyard/storage yard. Site has been cleared of this debris and junk for its planned use for 2-3 years prior to need for this location for construction of the WPCA expansion. None of the site improvements, aside from gravel will be “permanent” additions to the site when vacated for WPCA. Operating process standards will include mixing received food scraps with carbon sources (Browns – leaves and wood chips) the day they are received to minimize smell concerns. Once mixed, food scraps immediately smell like garden soil. Composting via covered aerated static piles results in salable soil amendment in 3-6 months depending on season and buyers needs. Finished compost will be given/sold to food scrap contributors, donors and also sold to landscapers, gardeners, farmers and parks and facilities managers. It is good stuff.**

**The composting process is part of a global movement, and is not ad-hoc or casual, but rather a disciplined and deliberate process. Our composter is certified by UConn as a Master Composter, as well as having completed apprenticeships at Earth Matters NYC for large scale commercial composting.**

**As a non-profit organization, any resources generated beyond operations needs will be invested in education, advocacy and engagement of the community in composting, local food movements, and environmental justice through sustainable practices. We will seek solutions and partners across groups, including waste haulers, Win Waste the operator of the Bridgeport Resco incinerator, as well as the City of Bridgeport who will benefit from the economic model and impact of PCCI.**

## Part II.B.: Description of Proposed Stormwater Best Management Practices

*Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):*

**The aerated static piles of compost will be covered with a textile cover to limit water penetration while allowing the pile to breath. There should therefore be minimal mixing of compost and runoff to effect any suspended solids in the water.**

**Current conditions of the site's soil have demonstrated full local absorption after major spring rain events with no significant puddling on this area of the site.**

**Boundary barriers of substantial blocks or jersey barriers will limit any run-off. Any water collected will likely be just applied to the piles a part of the maintenance of the hot composting process (130-150\*) instead of fresh water, thus staying on the site.**

**Either way, no off-site discharges are expected.**

### Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)				
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)		x		
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)		x		
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)		x		
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				x
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)		x		
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				x
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)		x		
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				x
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				x
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				x

\* General Coastal Resource policy is applicable to all proposed activities

## Part IV: Consistency with Applicable Coastal Resource Policies and Standards

*Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):*

**Adjacent land to the south (between site and waterfront) is currently used and expected to continue its entirely applicable use as a marina and shore-based family restaurant and entertainment venue. No adverse impacts are foreseen from applicants intended use (2-3 yrs as a covered aerobic static pile composting facility.(75' x 75') well inland from the marina and restaurant. Recent demonstration pilot of community composting has been in place at Captain's Cove – at the front of the parking lot with no negative community feedback or complaints from the Captain's Cove operation. This application is to move to a larger pilot operation farther away from the public and coastal uses of the land to allow testing and demonstration of the aerobic static pile process.**

## Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- : General Development\* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- 9 Water-Dependent Uses\*\* - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);  
Definition CGS Section 22a-93(16)
- 9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- 9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- 9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- 9 Boating - CGS Section 22a-92(b)(1)(G)
- 9 Fisheries - CGS Section 22a-92(c)(1)(I)
- 9 Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- 9 Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- 9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- 9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- x **Solid Waste - CGS Section 22a-92(a)(2) Food Scraps are defined as Solid waste by CT DEEP**
- 9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- 9 Cultural Resources - CGS Section 22a-92(b)(1)(J)
- 9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

\* General Development policies are applicable to all proposed activities

\*\* Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

## Part VI: Consistency With Applicable Coastal Use Policies And Standards

*Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage), particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):***

**Current use is not necessarily coastal use given current use as planned site for a water pollution control facility. Use on an interim basis for a sustainable use like food scrap composting with its positive impact on community gardens, parks and soils, combined with reduced pollution from the incinerator is consistent with the Bridgeport Master Plan and CT DEEP desire for more municipal and commercial food diversion and composting programs across the state.**

## Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

*Please complete this section for all projects.*

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		x
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		x
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		x
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		x
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		x
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		x
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		x
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		x

## Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

- Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

- Identification of existing and/or proposed Water-dependent Uses

*Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):\**

**Past water dependent use as boat junk yard is over with the transition of the land by the City of Bridgeport to use by the Bridgeport WPCA for the future expansion and redo of the West End Sewage Treatment facility. There was no prior public access to the site as it was a locked boat yard. Fencing and locks still in place.**

---

**Distance from water and continued presence of Captains Cove Marina as an operating marina implies that there is no impact on water dependent use of the adjacent property.**

—

\*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

**Part VIII: Mitigation of Potential Adverse Impacts**

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

\_\_\_\_ NO ADVSERSE IMPACTS beyond continued use of site for a water pollution control facility.

**Part IX: Remaining Adverse Impacts**

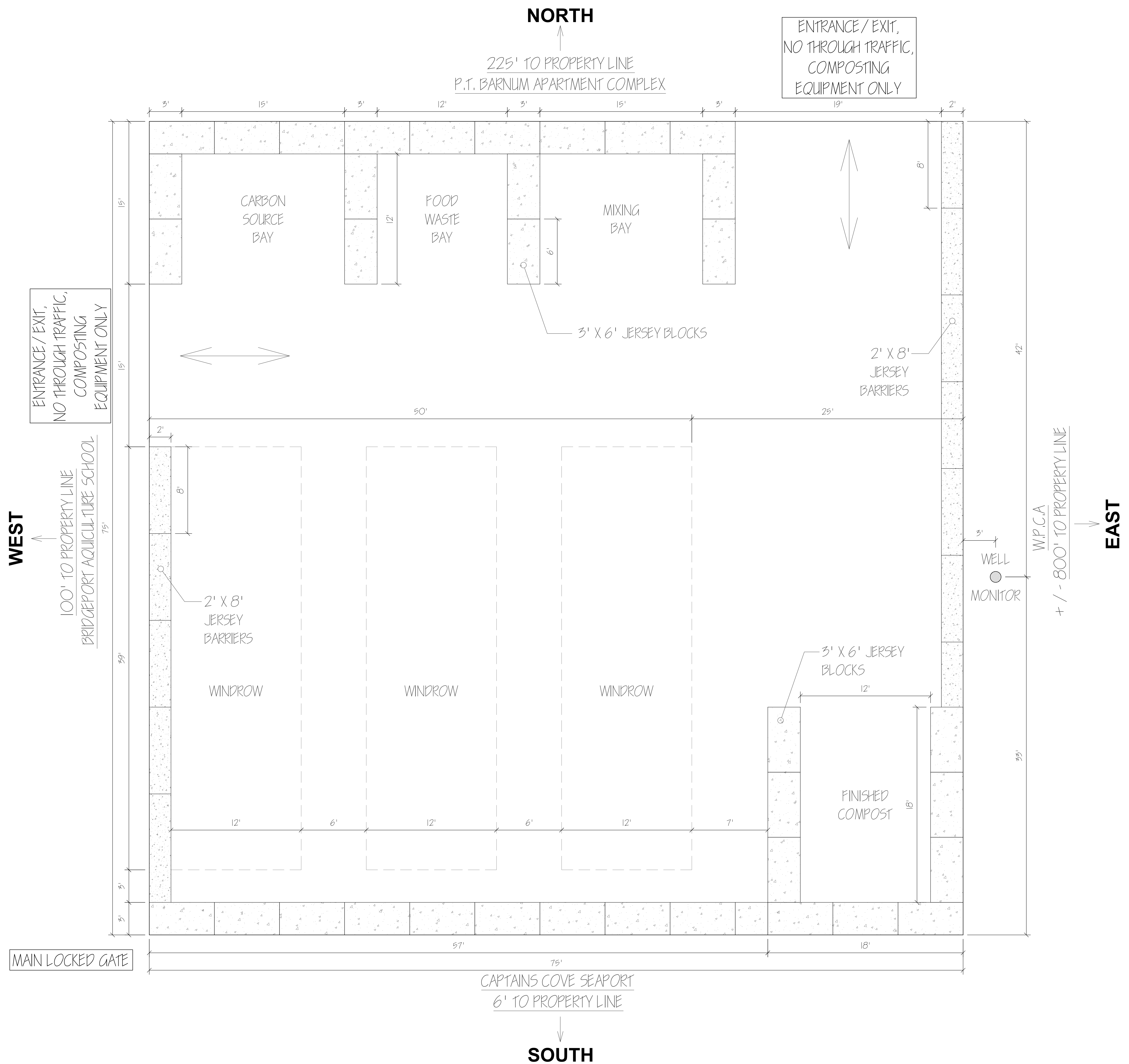
Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

\_\_\_\_ **NONE- CT DEEP has already signed off on this site for this use.**

Attachments:

- 1) Site plan - digital and paper. Signed and sealed by Professional Engineer.
- 2) Site Layout relative to Coast - using Google Maps.
- 3) FEMA Site Map indicating outside of 100 year flood zone.
- 4) List of resource on local and Aerated Static Pile Composting





**BLACK ROCK**  
COMPOST COMPANY, LLC

ANDREW TYRRELL  
CERTIFIED MASTER  
COMPOSTER  
203.449.0572

BLACKROCKCOMPOSTCO@GMAIL.COM

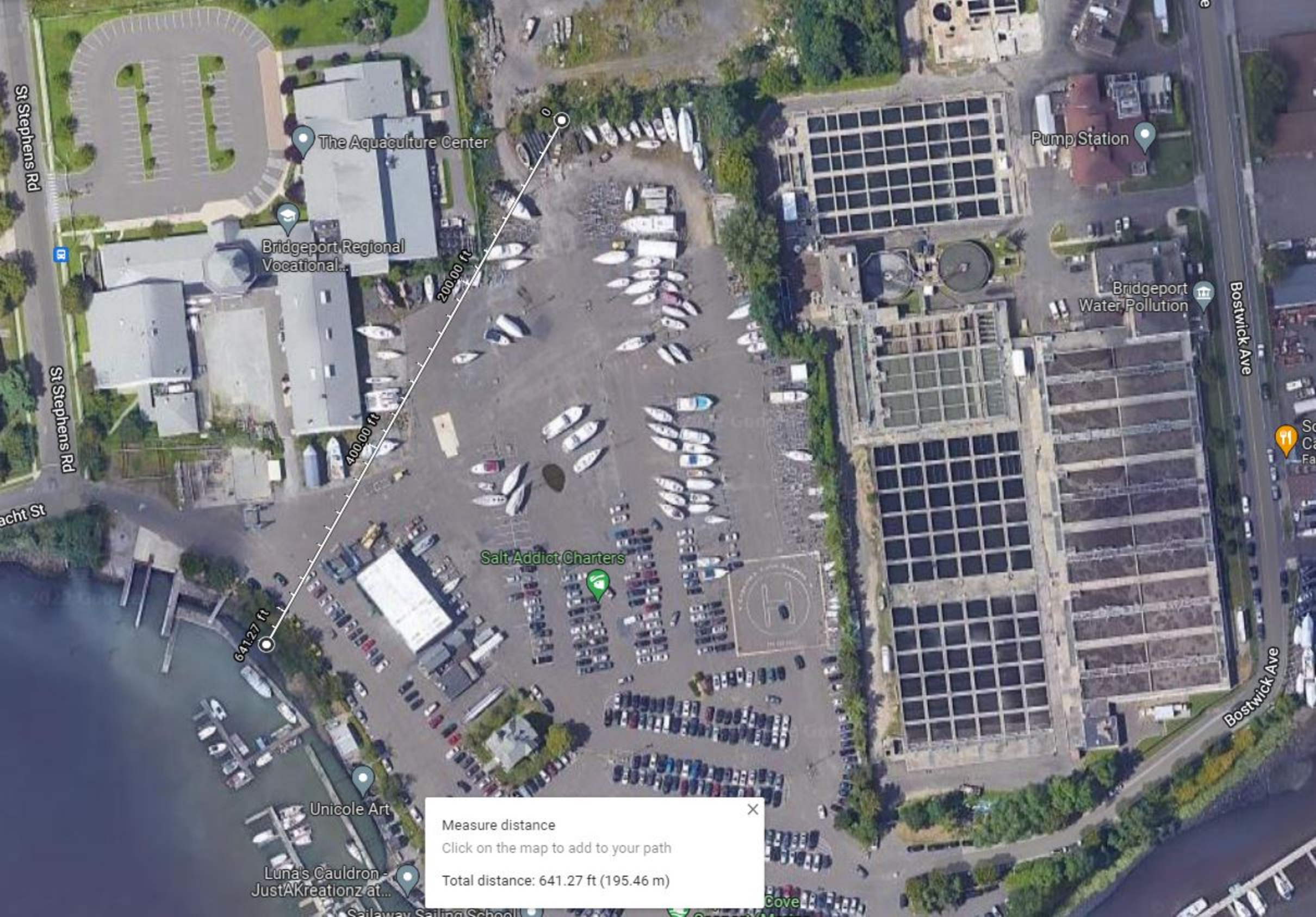
**PARK CITY COMPOST  
INITIATIVE SITE PLAN:  
PHASE 3**

SCALE: 1" = 40'

DWN	7.9.22
REV	8.18.22

DWG. NO.

**1/1**



St Stephens Rd

St Stephens Rd

acht St

The Aquaculture Center

Bridgeport Regional Vocational...

Pump Station

Bridgeport Water Pollution

Bostwick Ave

Bostwick Ave

Salt Addict Charters

Unicole Art

Luna's Cauldron - JustAKreationz at...

Measure distance  
Click on the map to add to your path  
Total distance: 641.27 ft (195.46 m)

200.00 ft

400.00 ft

641.27 ft



# National Flood Hazard Layer FIRMMette



73°13'11"W 41°9'51"N



























0 250 500 1,000 1,500 2,000 Feet 1:6,000


Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

<b>SPECIAL FLOOD HAZARD AREAS</b>	 Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>  With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>  Regulatory Floodway
<b>OTHER AREAS OF FLOOD HAZARD</b>	 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>  Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>  Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>  Area with Flood Risk due to Levee <i>Zone D</i>
<b>OTHER AREAS</b>	 NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>  Effective LOMRs  Area of Undetermined Flood Hazard <i>Zone D</i>
<b>GENERAL STRUCTURES</b>	 Channel, Culvert, or Storm Sewer  Levee, Dike, or Floodwall
<b>OTHER FEATURES</b>	 <b>B</b> 20.2 Cross Sections with 1% Annual Chance Water Surface Elevation  17.5 Coastal Transect  Base Flood Elevation Line (BFE)  Limit of Study  Jurisdiction Boundary  Coastal Transect Baseline  Profile Baseline  Hydrographic Feature
<b>MAP PANELS</b>	 Digital Data Available  No Digital Data Available  Unmapped



 The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **7/19/2022 at 5:27 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Park City Compost Initiative, Inc.

Resources for Composting and Aerated Static Pile  
Composting Systems and Processes



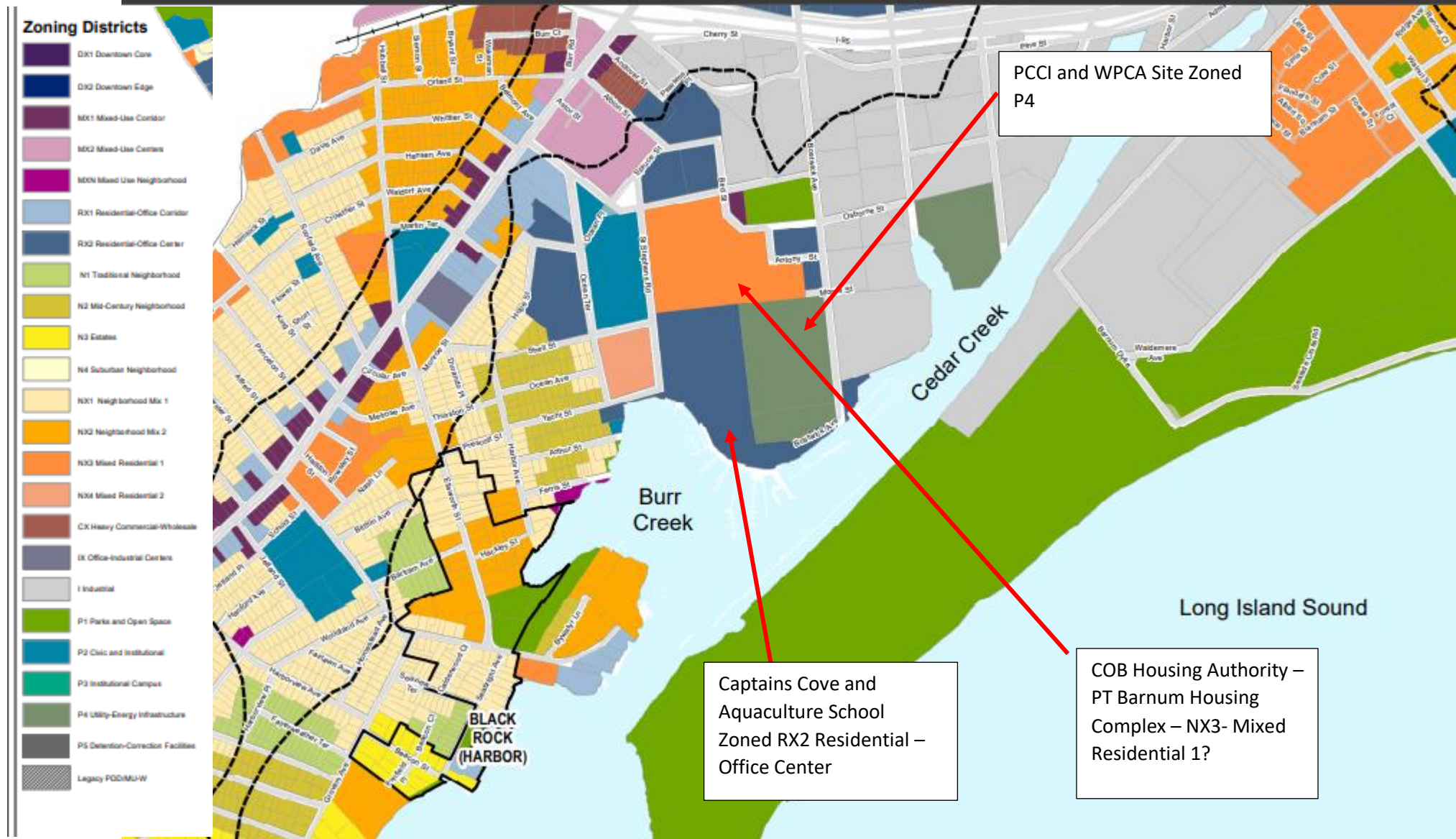
- 1) Biocycle Magazine – Industry publication with heavy focus on composting and sustainable practices <https://www.biocycle.net/category/composting/>
- 2) O2Compost – consultant, systems design and training resource for compost operators. Highly regarded. Not just food scrap composting. <https://www.o2compost.com/>
- 3) Bridgeport Urban Ag Master Plan July 2019  
<https://drive.google.com/file/d/1TDcD2uuvaTwkGt8VABeHnFuZnO3XoL4x/view?usp=sharing>
- 4) Summary from Dec 2020 of CT DEEP’s thinking about food scrap diversion and composting. Foreshadowing more recent indications that separating food scraps like recycling will be mandated to reduce solid waste export costs by 25-30%.  
<https://drive.google.com/file/d/1YqHv3NUQWmryDW6q4dCEAmKvCHY5hxC8/view?usp=sharing>

PCCI – Composting Site Proposal 2022-0819

Location on 75x75 portion of 205 Bostwick Ave – WPCA West End Operations

Site was previously a vacant lot used as a boat graveyard by Captains Cove Marina

Current (2022) zoning for the total 205 Bostwick site is P4: Utility - Energy Infrastructure.



CURRENT OWNER				TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				
BRIDGEPORT CITY OF PUBLIC WOR								Description	Code	Appraised	Assessed	6015  BRIDGEPORT, CT
EXEMPT PARCEL N/A				<b>SUPPLEMENTAL DATA</b> Alt Prcl ID 0329--01A----- Census Tr CEN703 Heart Abstract 200:200 Freeze GIS ID 329-1A Special Dis Assoc Pid#				Ex Com Ln	21	5,000,000	3,500,000	
BRIDGEPORT CT 00000								Ex Com Bl	22	159,953,450	111,967,410	
								Ex C Outb	25	46,550	32,590	
								Total		165,000,000	115,500,000	<b>VISION</b>

RECORD OF OWNERSHIP				BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)								
BRIDGEPORT CITY OF PUBLIC WORKS				0339 0300	10-31-1916	U	I	0		Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed
										2021	21	3,500,000	2020	21	3,500,000	2019	21	2,800,000
											22	111,967,410		22	111,967,410		22	109,168,11
											25	32,590		25	32,590		25	31,890
								Total		115500000	Total		115500000	Total		112000000		

EXEMPTIONS				OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor												
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int												
2015	BAAX		112000000.00																	
			Total																	
			112,000,000.00																	

ASSESSING NEIGHBORHOOD				APPRAISED VALUE SUMMARY				
Nbhd	Nbhd Name	B	Tracing	Batch				
IND								

NOTES												APPRAISED VALUE SUMMARY				
SLUDGE THICKENER=120X40, CHLORINE CONTAC T TANKS=140X205 WATER POLLUTION CONTROL AUTHORITY 40 MILLION GALLONS PER DAY CAPACITY DAILY AVERAGE 22 MILLION GALLONS												Appraised Bldg. Value (Card)				159,614,230
												Appraised Xf (B) Value (Bldg)				339,220
												Appraised Ob (B) Value (Bldg)				46,550
												Appraised Land Value (Bldg)				5,000,000
												Special Land Value				0
												Total Appraised Parcel Value				165,000,000
												Valuation Method				O
												Total Appraised Parcel Value				165,000,000

BUILDING PERMIT RECORD									VISIT / CHANGE HISTORY					
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result
474	03-07-2019	DE		242,500	08-28-2019	100	08-28-2019	BLDG #2 DEMO BASEMENT	09-30-2020	MVS	01	6	33	DataMailer - Drive By revie
									10-21-2008	RT			91	Com Field Review
									08-04-2008	GM			00	Measured & Listed
									05-04-1992	KC			A	Inside Inspection

LAND LINE VALUATION SECTION																
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	I. Factor	Site Index	Cond.	Nbhd.	Nhbd Adj	Notes	Location Adjustment	Adj Unit Pric	Land Value	
1	923	Mun Com Bldg M	ILI		10.000 AC	250,000	1.00000	I	2.00	IND	1.000	SITE/USE		0	500,000	
					Total Card Land Units	10.000 AC	Parcel Total Land Area: 10.0000					Total Land Value			5,000,000	

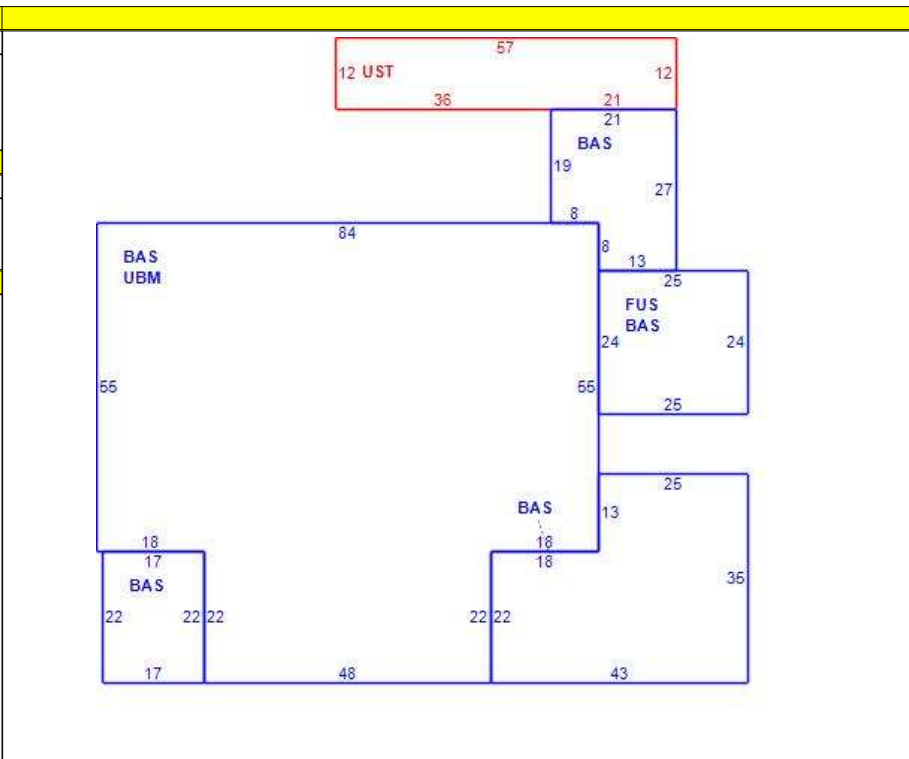
CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	89	Other Municip			
Model	96	Ind/Comm			
Grade:	08	Average			
Stories:	2				
Occupancy:	1.00				
Exterior Wall 1:	20	Brick			
Exterior Wall 2:					
Roof Struct:	01	Flat			
Roof Cover:	04	Tar + Gravel			
Interior Wall 1:	03	Plaster			
Interior Wall 2:					
Interior Floor 1:	03	Concr-Finished			
Interior Floor 2:					
Heating Fuel:	04	Gas			
Heating Type:	04	Forced Air			
AC Type:	03	Central			
Bldg Use:	923	Mun Com Bldg Mdl 96			
Ttl Rooms:					
Ttl Bedrms:	00				
Ttl Baths:	0				
Ttl Half Baths:	0				
Ttl Xtra Fix:	0				
Heat/AC:	00	None			
Frame Type:	03	Masonry			
Baths/Plumbing	02	Average			
Ceiling/Wall:	02	Ceiling Only			
Rooms/Prtns:	02	Average			
Wall Height:	12.00				
% Conn Wall:					
1st Floor Use:					

MIXED USE		
Code	Description	Percentage
923	Mun Com Bldg Mdl 96	100
		0
		0

COST / MARKET VALUATION		
RCN		1,223,647
Year Built		1940
Effective Year Built		
Depreciation Code		A
Remodel Rating		
Year Remodeled		
Depreciation %		40
Functional Obsol		0
External Obsolescence		0
Trend Factor		1.000
Condition		
Condition %		
Percent Good		60
RCNLD		734,190
Dep % Ovr		
Dep Ovr Comment		
Misc Imp Ovr		
Misc Imp Ovr Comment		
Cost to Cure Ovr		
Cost to Cure Ovr Comment		

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Good	Grade	Grade Adj	Appr. Value
SHD1	Shed	L	64	14.00	1993	00	50	3	1.00	450
PAV1	Paving Asph	L	20,000	3.10	1993		50		0.00	31,000
FN1	Fence, Chain	L	1,550	11.00	1993		50		0.00	8,530
FN1	Fence, Chain	L	730	18.00	1993		50		0.00	6,570
ELV1	Freight	B	2	31200.00	1977		60		0.00	37,440
ELV1	Freight	B	2	31200.00	1977		60		0.00	37,440

BUILDING SUB-AREA SUMMARY SECTION							
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value	
BAS	First Floor	8,424	8,424	8,424	118.41	997,484	
FUS	Finished Upper Story	600	600	570	112.49	67,494	
UBM	Unfin Basement	0	5,676	1,135	23.68	134,395	
UST	Unfinished Utility Storage	0	684	205	35.49	24,274	
Ttl Gross Liv / Lease Area		9,024	15,384	10,334		1,223,647	



CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				
BRIDGEPORT CITY OF PUBLIC WOR						Description	Code	Appraised	Assessed	6015  BRIDGEPORT, CT
EXEMPT PARCEL N/A		<b>SUPPLEMENTAL DATA</b> Alt Prcl ID 0329--01A----- Census Tr CEN703 Heart Abstract 200:200 Freeze GIS ID 329-1A Special Dis Assoc Pid#				Ex Com Ln	21	5,000,000	3,500,000	
BRIDGEPORT CT 00000						Ex Com Bl	22	159,953,450	111,967,410	
						Ex C Outb	25	46,550	32,590	
						Total		165,000,000	115,500,000	

**VISION**

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)								
BRIDGEPORT CITY OF PUBLIC WORKS		0339 0300	10-31-1916	U	I	0		Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed
								2021	21	3,500,000	2020	21	3,500,000	2019	21	2,800,000
									22	111,967,410		22	111,967,410		22	109,168,11
									25	32,590		25	32,590		25	31,890
								Total		115500000	Total		115500000	Total		112000000

EXEMPTIONS			OTHER ASSESSMENTS					
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int
2015	BAAX		112000000.00					
Total			112,000,000.00					

This signature acknowledges a visit by a Data Collector or Assessor

ASSESSING NEIGHBORHOOD			
Nbhd	Nbhd Name	B	Tracing
IND			Batch

APPRAISED VALUE SUMMARY	
Appraised Bldg. Value (Card)	159,614,230
Appraised Xf (B) Value (Bldg)	339,220
Appraised Ob (B) Value (Bldg)	46,550
Appraised Land Value (Bldg)	5,000,000
Special Land Value	0
Total Appraised Parcel Value	165,000,000
Valuation Method	O
Total Appraised Parcel Value	165,000,000

NOTES	
PUMP STATION	
-19778.665	

BUILDING PERMIT RECORD							VISIT / CHANGE HISTORY							
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result
									08-28-2019	RK	02		0P	Permit Activity

LAND LINE VALUATION SECTION															
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	I. Factor	Site Index	Cond.	Nbhd.	Nhbd Adj	Notes	Location Adjustment	Adj Unit Pric	Land Value
2	923	Mun Com Bldg M			0 SF	0	1.00000	0	1.00		1.000		0	0	0
Total Card Land Units					0.000	AC	Parcel Total Land Area: 10.0000					Total Land Value		5,000,000	



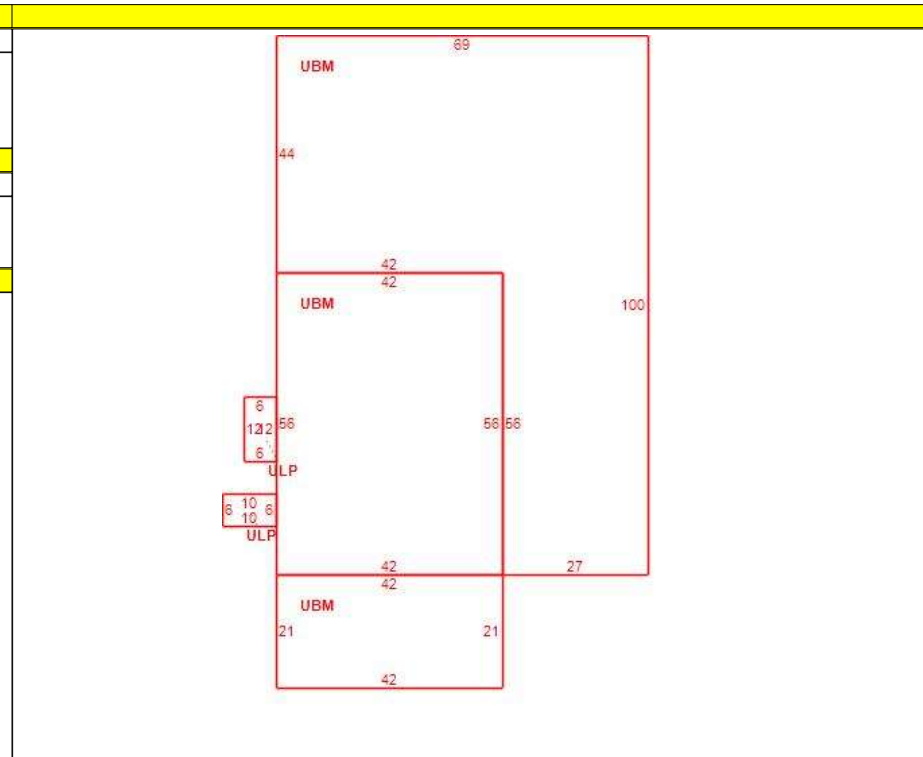
CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	89	Other Municip			
Model:	96	Ind/Comm			
Grade:	08	Average			
Stories:	2				
Occupancy:	1.00				
Exterior Wall 1:	20	Brick			
Exterior Wall 2:					
Roof Struct:	01	Flat			
Roof Cover:	04	Tar + Gravel			
Interior Wall 1:	01	Minim/Masonry			
Interior Wall 2:					
Interior Floor 1:	03	Concr-Finished			
Interior Floor 2:					
Heating Fuel:	04	Gas			
Heating Type:	03	Hot Air-No Duc			
AC Type:	01	None			
Bldg Use:	923	Mun Com Bldg Mdl 96			
Ttl Rooms:					
Ttl Bedrms:	00				
Ttl Baths:	0				
Ttl Half Baths:	0				
Ttl Xtra Fix:	0				
Heat/AC:	00	None			
Frame Type:	03	Masonry			
Baths/Plumbing:	02	Average			
Ceiling/Wall:	00	None			
Rooms/Prtns:	02	Average			
Wall Height:	18.00				
% Conn Wall:					
1st Floor Use:					

MIXED USE		
Code	Description	Percentage
923	Mun Com Bldg Mdl 96	100
		0
		0

COST / MARKET VALUATION	
RCN	223,729
Year Built	1950
Effective Year Built	
Depreciation Code	A
Remodel Rating	
Year Remodeled	
Depreciation %	40
Functional Obsol	0
External Obsolescence	0
Trend Factor	1.000
Condition	
Condition %	
Percent Good	60
RCNLD	134,240
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Good	Grade	Grade Adj	Appr. Value

BUILDING SUB-AREA SUMMARY SECTION							
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value	
UBM	Unfin Basement	0	7,782	1,556	28.38	220,890	
ULP	Uncovered Loading Platform	0	132	20	21.51	2,839	
Ttl Gross Liv / Lease Area		0	7,914	1,576		223,729	



CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				
BRIDGEPORT CITY OF PUBLIC WOR						Description	Code	Appraised	Assessed	6015  BRIDGEPORT, CT
EXEMPT PARCEL N/A		<b>SUPPLEMENTAL DATA</b> Alt Prcl ID 0329--01A----- Census Tr CEN703 Heart Abstract 200:200 Freeze GIS ID 329-1A Special Dis Assoc Pid#				Ex Com Ln	21	5,000,000	3,500,000	
BRIDGEPORT CT 00000						Ex Com Bl	22	159,953,450	111,967,410	
						Ex C Outb	25	46,550	32,590	
						Total		165,000,000	115,500,000	

**VISION**

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)								
BRIDGEPORT CITY OF PUBLIC WORKS		0339 0300	10-31-1916	U	I	0		Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed
								2021	21	3,500,000	2020	21	3,500,000	2019	21	2,800,000
									22	111,967,410		22	111,967,410		22	109,168,11
									25	32,590		25	32,590		25	31,890
								Total		115500000	Total		115500000	Total		112000000

EXEMPTIONS			OTHER ASSESSMENTS					
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int
2015	BAAX		112000000.00					
Total			112,000,000.00					

This signature acknowledges a visit by a Data Collector or Assessor

APPRAISED VALUE SUMMARY	
Appraised Bldg. Value (Card)	159,614,230
Appraised Xf (B) Value (Bldg)	339,220
Appraised Ob (B) Value (Bldg)	46,550
Appraised Land Value (Bldg)	5,000,000
Special Land Value	0
Total Appraised Parcel Value	165,000,000
Valuation Method	O
Total Appraised Parcel Value	165,000,000

ASSESSING NEIGHBORHOOD			
Nbhd	Nbhd Name	B	Tracing
IND			

NOTES	
SCREEN BUILDING	
-21191.43	

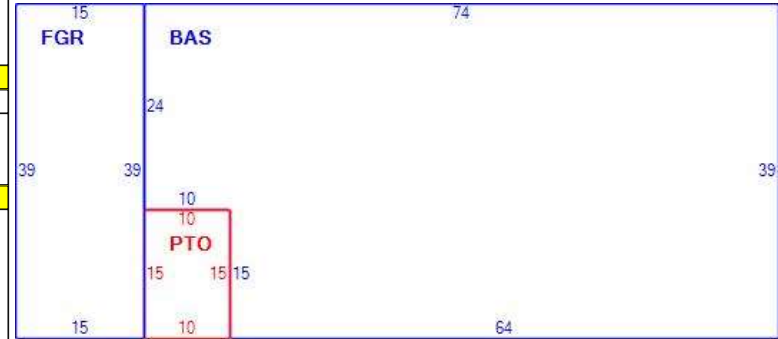
BUILDING PERMIT RECORD							VISIT / CHANGE HISTORY							
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result

LAND LINE VALUATION SECTION															
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	I. Factor	Site Index	Cond.	Nbhd.	Nhbd Adj	Notes	Location Adjustment	Adj Unit Pric	Land Value
3	923	Mun Com Bldg M			0 SF	0	1.00000	0	1.00		1.000		0	0	0
Total Card Land Units					0.000	AC	Parcel Total Land Area: 10.0000					Total Land Value		5,000,000	

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	89	Other Municip			
Model:	96	Ind/Comm			
Grade:	08	Average			
Stories:	1				
Occupancy:	1.00				
Exterior Wall 1:	20	Brick			
Exterior Wall 2:					
Roof Struct:	01	Flat			
Roof Cover:	04	Tar + Gravel			
Interior Wall 1:	01	Minim/Masonry			
Interior Wall 2:					
Interior Floor 1:	03	Concr-Finished			
Interior Floor 2:					
Heating Fuel:	04	Gas			
Heating Type:	03	Hot Air-No Duc			
AC Type:	01	None			
Bldg Use:	923	Mun Com Bldg Mdl 96			
Ttl Rooms:					
Ttl Bedrms:	00				
Ttl Baths:	0				
Ttl Half Baths:	0				
Ttl Xtra Fix:	0				
Heat/AC:	00	None			
Frame Type:	03	Masonry			
Baths/Plumbing:	02	Average			
Ceiling/Wall:	00	None			
Rooms/Prtns:	02	Average			
Wall Height:	10.00				
% Conn Wall:					
1st Floor Use:					

MIXED USE		
Code	Description	Percentage
923	Mun Com Bldg Mdl 96	100
		0
		0

COST / MARKET VALUATION		
RCN		406,497
Year Built		1940
Effective Year Built		
Depreciation Code		G
Remodel Rating		
Year Remodeled		
Depreciation %		35
Functional Obsol		0
External Obsolescence		0
Trend Factor		1.000
Condition		
Condition %		
Percent Good		65
RCNLD		264,220
Dep % Ovr		
Dep Ovr Comment		
Misc Imp Ovr		
Misc Imp Ovr Comment		
Cost to Cure Ovr		
Cost to Cure Ovr Comment		



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Good	Grade	Grade Adj	Appr. Value

BUILDING SUB-AREA SUMMARY SECTION								
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value		
BAS	First Floor	2,736	2,736	2,736	136.50	373,464		
FGR	Garage	439	585	234	54.60	31,941		
PTO	Patio	0	150	8	7.28	1,092		
Ttl Gross Liv / Lease Area		3,175	3,471	2,978		406,497		



CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				
BRIDGEPORT CITY OF PUBLIC WOR						Description	Code	Appraised	Assessed	6015 BRIDGEPORT, CT
EXEMPT PARCEL N/A		<b>SUPPLEMENTAL DATA</b>				Ex Com Ln	21	5,000,000	3,500,000	
BRIDGEPORT CT 00000		Alt Prcl ID 0329--01A----- Census Tr CEN703 Heart Abstract 200:200 Freeze GIS ID 329-1A				Ex Com Bl	22	159,953,450	111,967,410	
		Special Dis Assoc Pid#				Ex C Outb	25	46,550	32,590	
						Total		165,000,000	115,500,000	<b>VISION</b>

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)								
BRIDGEPORT CITY OF PUBLIC WORKS		0339 0300	10-31-1916	U	I	0		Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed
								2021	21	3,500,000	2020	21	3,500,000	2019	21	2,800,000
									22	111,967,410		22	111,967,410		22	109,168,11
									25	32,590		25	32,590		25	31,890
								Total		115500000	Total		115500000	Total		112000000

EXEMPTIONS			OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor											
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int										
2015	BAAX		112000000.00															
Total			112,000,000.00															

ASSESSING NEIGHBORHOOD						APPRAISED VALUE SUMMARY			
Nbhd	Nbhd Name	B	Tracing	Batch					
IND					Appraised Bldg. Value (Card)				159,614,230
					Appraised Xf (B) Value (Bldg)				339,220
					Appraised Ob (B) Value (Bldg)				46,550
					Appraised Land Value (Bldg)				5,000,000
					Special Land Value				0
					Total Appraised Parcel Value				165,000,000
					Valuation Method				O
					Total Appraised Parcel Value				165,000,000

NOTES										
OFFICES AND PUMP ROOM										
-19017.95										

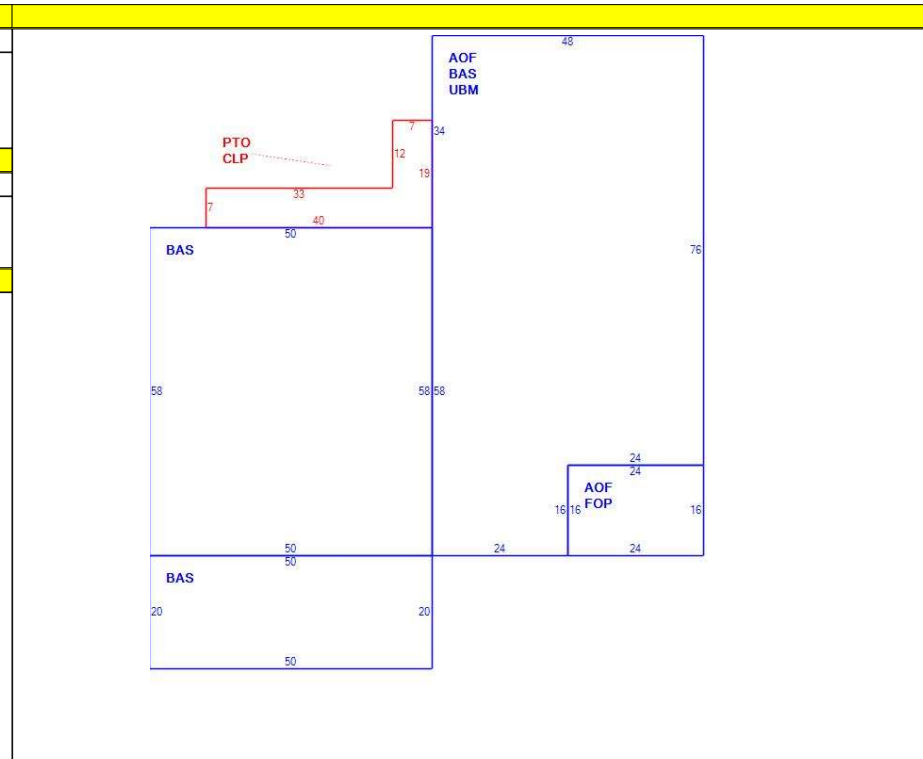
BUILDING PERMIT RECORD							VISIT / CHANGE HISTORY							
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result

LAND LINE VALUATION SECTION															
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	I. Factor	Site Index	Cond.	Nbhd.	Nhbd Adj	Notes	Location Adjustment	Adj Unit Pric	Land Value
4	923	Mun Com Bldg M			0 SF	0	1.00000	0	1.00		1.000		0	0	0
Total Card Land Units					0.000	AC	Parcel Total Land Area: 10.0000					Total Land Value		5,000,000	

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	89	Other Municip			
Model	96	Ind/Comm			
Grade:	08	Average			
Stories:	2				
Occupancy:	1.00				
Exterior Wall 1:	20	Brick			
Exterior Wall 2:					
Roof Struct:	01	Flat			
Roof Cover:	04	Tar + Gravel			
Interior Wall 1:	05	Drywall			
Interior Wall 2:	01	Minim/Masonry			
Interior Floor 1:	05	Vinyl/Asphalt			
Interior Floor 2:	03	Concr-Finished			
Heating Fuel:	04	Gas			
Heating Type:	04	Forced Air			
AC Type:	01	None			
Bldg Use:	923	Mun Com Bldg Mdl 96			
Ttl Rooms:					
Ttl Bedrms:	00				
Ttl Baths:	0				
Ttl Half Baths:	0				
Ttl Xtra Fix:	0				
Heat/AC:	00	None			
Frame Type:	03	Masonry			
Baths/Plumbing	02	Average			
Ceiling/Wall:	05	Sus-Ceil & WI			
Rooms/Prtns:	02	Average			
Wall Height:	10.00				
% Conn Wall:					
1st Floor Use:					

MIXED USE		
Code	Description	Percentage
923	Mun Com Bldg Mdl 96	100
		0
		0

COST / MARKET VALUATION	
RCN	1,730,915
Year Built	1960
Effective Year Built	
Depreciation Code	G
Remodel Rating	
Year Remodeled	
Depreciation %	35
Functional Obsol	0
External Obsolescence	0
Trend Factor	1.000
Condition	
Condition %	
Percent Good	65
RCNLD	1,125,090
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Good	Grade	Grade Adj	Appr. Value
ELV2	Pass	B	3	52000.00	1987		65		0.00	101,400
ELV1	Freight	B	3	31200.00	1987		65		0.00	60,840
A/C	Air Conditioning	B	4,416	2.60	1987		65		0.00	7,460

BUILDING SUB-AREA SUMMARY SECTION							
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value	
AOF	Office	4,416	4,416	6,624	166.98	737,384	
BAS	First Floor	7,932	7,932	7,932	111.32	882,990	
CLP	Loading Platform	0	364	73	22.33	8,126	
FOP	Open Porch	0	384	96	27.83	10,687	
PTO	Patio	0	364	18	5.50	2,004	
UBM	Unfin Basement	0	4,032	806	22.25	89,724	
Ttl Gross Liv / Lease Area		12,348	17,492	15,549		1,730,915	



CURRENT OWNER		TOPO	UTILITIES	STRT / ROAD	LOCATION	CURRENT ASSESSMENT				
BRIDGEPORT CITY OF PUBLIC WOR						Description	Code	Appraised	Assessed	6015  BRIDGEPORT, CT
EXEMPT PARCEL N/A		<b>SUPPLEMENTAL DATA</b>				Ex Com Ln	21	5,000,000	3,500,000	
BRIDGEPORT CT 00000		Alt Prcl ID 0329--01A----- Census Tr CEN703 Heart Abstract 200:200 Freeze  GIS ID 329-1A				Ex Com Bl	22	159,953,450	111,967,410	
		Special Dis  Assoc Pid#				Ex C Outb	25	46,550	32,590	
						Total		165,000,000	115,500,000	<b>VISION</b>

RECORD OF OWNERSHIP		BK-VOL/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)								
BRIDGEPORT CITY OF PUBLIC WORKS		0339 0300	10-31-1916	U	I	0		Year	Code	Assessed	Year	Code	Assessed	Year	Code	Assessed
								2021	21	3,500,000	2020	21	3,500,000	2019	21	2,800,000
									22	111,967,410		22	111,967,410		22	109,168,11
									25	32,590		25	32,590		25	31,890
								Total		115500000	Total		115500000	Total		112000000

EXEMPTIONS			OTHER ASSESSMENTS				This signature acknowledges a visit by a Data Collector or Assessor											
Year	Code	Description	Amount	Code	Description	Number	Amount	Comm Int										
2015	BAAX		112000000.00															
Total			112,000,000.00															

ASSESSING NEIGHBORHOOD				APPRAISED VALUE SUMMARY			
Nbhd	Nbhd Name	B	Tracing	Batch	Appraised Bldg. Value (Card)	159,614,230	
IND					Appraised Xf (B) Value (Bldg)	339,220	
					Appraised Ob (B) Value (Bldg)	46,550	
					Appraised Land Value (Bldg)	5,000,000	
					Special Land Value	0	
					Total Appraised Parcel Value	165,000,000	
					Valuation Method	O	
					Total Appraised Parcel Value	165,000,000	

NOTES									
DEGRITTER BUILDING									
-21191.43									

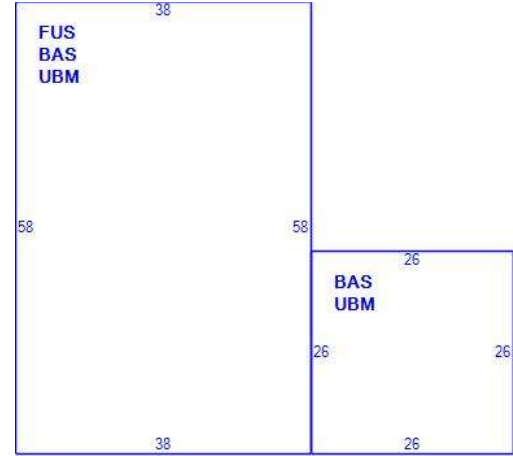
BUILDING PERMIT RECORD							VISIT / CHANGE HISTORY							
Permit Id	Issue Date	Type	Description	Amount	Insp Date	% Comp	Date Comp	Comments	Date	Id	Type	Is	Cd	Purpost/Result

LAND LINE VALUATION SECTION															
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	I. Factor	Site Index	Cond.	Nbhd.	Nhbd Adj	Notes	Location Adjustment	Adj Unit Pric	Land Value
5	923	Mun Com Bldg M			0 SF	0	1.00000	0	1.00		1.000		0	0	0
Total Card Land Units					0.000	AC	Parcel Total Land Area: 10.0000					Total Land Value		5,000,000	

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)		
Element	Cd	Description	Element	Cd	Description
Style:	89	Other Municip			
Model:	96	Ind/Comm			
Grade:	08	Average			
Stories:	2				
Occupancy:	1.00				
Exterior Wall 1:	20	Brick			
Exterior Wall 2:					
Roof Struct:	01	Flat			
Roof Cover:	04	Tar + Gravel			
Interior Wall 1:	01	Minim/Masonry			
Interior Wall 2:					
Interior Floor 1:	08	Average			
Interior Floor 2:					
Heating Fuel:	04	Gas			
Heating Type:	03	Hot Air-No Duc			
AC Type:	01	None			
Bldg Use:	923	Mun Com Bldg Mdl 96			
Ttl Rooms:					
Ttl Bedrms:	00				
Ttl Baths:	0				
Ttl Half Baths:	0				
Ttl Xtra Fix:	0				
Heat/AC:	00	None			
Frame Type:	03	Masonry			
Baths/Plumbing:	02	Average			
Ceiling/Wall:	00	None			
Rooms/Prtns:	02	Average			
Wall Height:	50.00				
% Conn Wall:					
1st Floor Use:					

MIXED USE		
Code	Description	Percentage
923	Mun Com Bldg Mdl 96	100
		0
		0

COST / MARKET VALUATION	
RCN	890,553
Year Built	1940
Effective Year Built	
Depreciation Code	G
Remodel Rating	
Year Remodeled	
Depreciation %	35
Functional Obsol	0
External Obsolescence	0
Trend Factor	1.000
Condition	
Condition %	
Percent Good	65
RCNLD	578,860
Dep % Ovr	
Dep Ovr Comment	
Misc Imp Ovr	
Misc Imp Ovr Comment	
Cost to Cure Ovr	
Cost to Cure Ovr Comment	



OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)										
Code	Description	L/B	Units	Unit Price	Yr Blt	Cond. Cd	% Good	Grade	Grade Adj	Appr. Value
ELV	Elevator	B	1	52000.00	1983		65		0.00	33,800
ELV1	Freight	B	3	31200.00	1983		65		0.00	60,840

BUILDING SUB-AREA SUMMARY SECTION							
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Undeprec Value	
BAS	First Floor	2,880	2,880	2,880	160.46	462,125	
FUS	Finished Upper Story	2,204	2,204	2,094	152.45	336,003	
UBM	Unfin Basement	0	2,880	576	32.09	92,425	
Ttl Gross Liv / Lease Area		5,084	7,964	5,550		890,553	



# 205 BOSTWICK AV

**Location** 205 BOSTWICK AV

**Mblu** 12/ 329/ 1/A /

**Acct#** EK-0000800

**Owner** BRIDGEPORT CITY OF PUBLIC WORKS

**Assessment** \$115,500,000

**Appraisal** \$165,000,000

**PID** 2578

**Building Count** 5

## Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2021	\$160,000,000	\$5,000,000	\$165,000,000

Assessment			
Valuation Year	Improvements	Land	Total
2021	\$112,000,000	\$3,500,000	\$115,500,000

## Owner of Record

**Owner** BRIDGEPORT CITY OF PUBLIC WORKS

**Sale Price** \$0

**Co-Owner**

**Certificate**

**Address** EXEMPT PARCEL N/A  
BRIDGEPORT, CT 00000

**Book & Page** 0339/0300

**Sale Date** 10/31/1916

**Instrument**

## Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BRIDGEPORT CITY OF PUBLIC WORKS	\$0		0339/0300		10/31/1916

## Building Information

### Building 1 : Section 1

**Year Built:** 1940  
**Living Area:** 9,024  
**Replacement Cost:** \$1,223,647  
**Building Percent Good:** 60  
**Replacement Cost  
Less Depreciation:** \$734,190



### Building Attributes

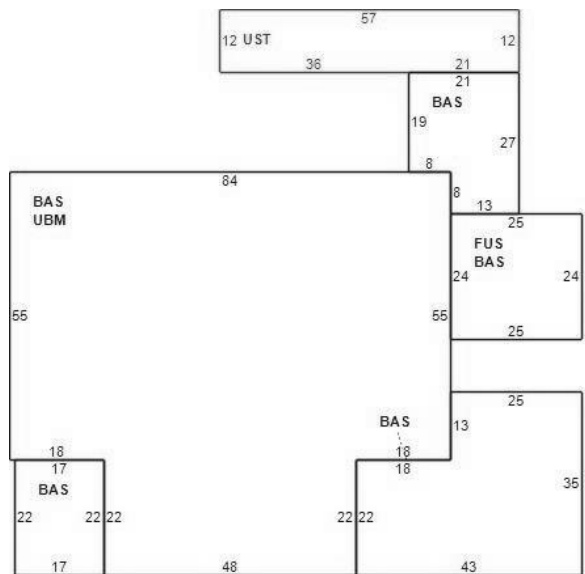
Field	Description
STYLE	Other Municip
MODEL	Ind/Comm
Grade:	Average
Stories:	2
Occupancy:	1.00
Exterior Wall 1:	Brick
Exterior Wall 2:	
Roof Struct:	Flat
Roof Cover:	Tar + Gravel
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Floor 1:	Concr-Finished
Interior Floor 2:	
Heating Fuel:	Gas
Heating Type:	Forced Air
AC Type:	Central
Struct Class	
Bldg Use:	Mun Com Bldg Mdl 96
Ttl Rooms:	
Ttl Bedrms:	00
Ttl Baths:	0
Ttl Half Baths:	0
Ttl Xtra Fix:	0
1st Floor Use:	
Heat/AC:	None
Frame Type:	Masonry
Baths/Plumbing:	Average
Ceiling/Wall:	Ceiling Only
Rooms/Prtns:	Average
Wall Height:	12.00
% Comn Wall:	

### Building Photo



([https://images.vgsi.com/photos2/BridgeportCTPhotos/\A0111\IMG\\_0014\\_1](https://images.vgsi.com/photos2/BridgeportCTPhotos/\A0111\IMG_0014_1))

### Building Layout



(ParcelSketch.ashx?pid=2578&bid=2578)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	8,424	8,424
FUS	Finished Upper Story	600	600
UBM	Unfin Basement	5,676	0
UST	Unfinished Utility Storage	684	0
		15,384	9,024

### Building 2 : Section 1

<b>Year Built:</b>	1950
<b>Living Area:</b>	0
<b>Replacement Cost:</b>	\$223,729
<b>Building Percent Good:</b>	60

**Replacement Cost**

**Less Depreciation:** \$134,240

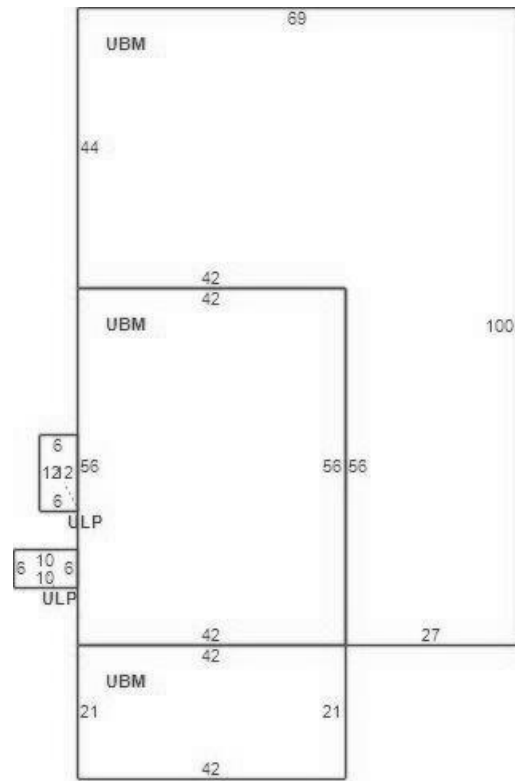
Building Attributes : Bldg 2 of 5	
Field	Description
STYLE	Other Municip
MODEL	Ind/Comm
Grade:	Average
Stories:	2
Occupancy:	1.00
Exterior Wall 1:	Brick
Exterior Wall 2:	
Roof Struct:	Flat
Roof Cover:	Tar + Gravel
Interior Wall 1:	Minim/Masonry
Interior Wall 2:	
Interior Floor 1:	Concr-Finished
Interior Floor 2:	
Heating Fuel:	Gas
Heating Type:	Hot Air-No Duc
AC Type:	None
Struct Class	
Bldg Use:	Mun Com Bldg Mdl 96
Ttl Rooms:	
Ttl Bedrms:	00
Ttl Baths:	0
Ttl Half Baths:	0
Ttl Xtra Fix:	0
1st Floor Use:	
Heat/AC:	None
Frame Type:	Masonry
Baths/Plumbing:	Average
Ceiling/Wall:	None
Rooms/Prtns:	Average
Wall Height:	18.00
% Comn Wall:	

**Building Photo**



(https://images.vgsi.com/photos2/BridgeportCTPhotos//default.jpg)

**Building Layout**



(ParcelSketch.aspx?pid=2578&bid=35096)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
UBM	Unfin Basement	7,782	0
ULP	Uncovered Loading Platform	132	0
		7,914	0

**Building 3 : Section 1**

**Year Built:** 1940  
**Living Area:** 3,175

Replacement Cost: \$406,497

Building Percent Good: 65

Replacement Cost

Less Depreciation: \$264,220

**Building Attributes : Bldg 3 of 5**

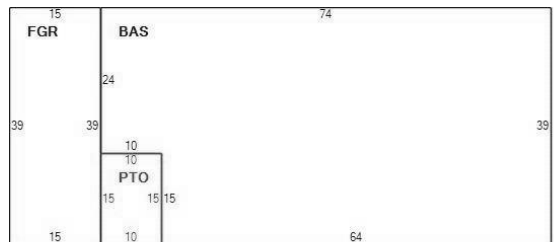
Field	Description
STYLE	Other Municip
MODEL	Ind/Comm
Grade:	Average
Stories:	1
Occupancy:	1.00
Exterior Wall 1:	Brick
Exterior Wall 2:	
Roof Struct:	Flat
Roof Cover:	Tar + Gravel
Interior Wall 1:	Minim/Masonry
Interior Wall 2:	
Interior Floor 1:	Concr-Finished
Interior Floor 2:	
Heating Fuel:	Gas
Heating Type:	Hot Air-No Duc
AC Type:	None
Struct Class	
Bldg Use:	Mun Com Bldg Mdl 96
Ttl Rooms:	
Ttl Bedrms:	00
Ttl Baths:	0
Ttl Half Baths:	0
Ttl Xtra Fix:	0
1st Floor Use:	
Heat/AC:	None
Frame Type:	Masonry
Baths/Plumbing:	Average
Ceiling/Wall:	None
Rooms/Prtns:	Average
Wall Height:	10.00
% Comn Wall:	

**Building Photo**



(<https://images.vgsi.com/photos2/BridgeportCTPhotos//default.jpg>)

**Building Layout**



(ParcelSketch.ashx?pid=2578&bid=35097)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	2,736	2,736
FGR	Garage	585	439
PTO	Patio	150	0
		3,471	3,175

**Building 4 : Section 1**

Year Built: 1960

Living Area: 12,348

Replacement Cost: \$1,730,915

Building Percent Good: 65

**Replacement Cost**

**Less Depreciation:** \$1,125,090

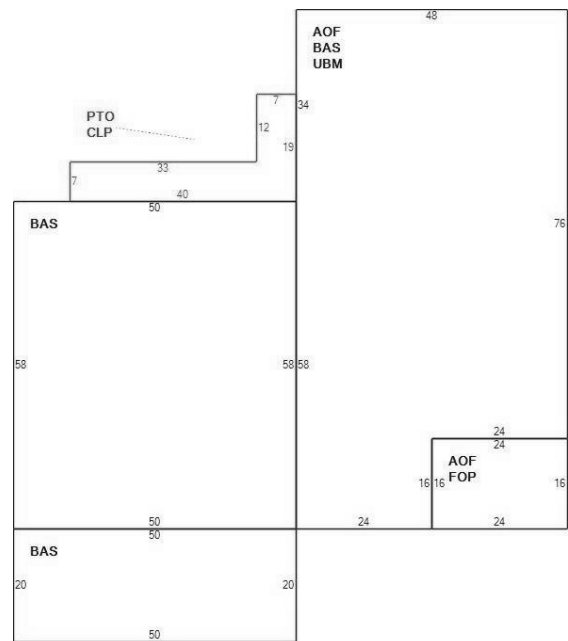
Building Attributes : Bldg 4 of 5	
Field	Description
STYLE	Other Municip
MODEL	Ind/Comm
Grade:	Average
Stories:	2
Occupancy:	1.00
Exterior Wall 1:	Brick
Exterior Wall 2:	
Roof Struct:	Flat
Roof Cover:	Tar + Gravel
Interior Wall 1:	Drywall
Interior Wall 2:	Minim/Masonry
Interior Floor 1:	Vinyl/Asphalt
Interior Floor 2:	Concr-Finished
Heating Fuel:	Gas
Heating Type:	Forced Air
AC Type:	None
Struct Class	
Bldg Use:	Mun Com Bldg Mdl 96
Ttl Rooms:	
Ttl Bedrms:	00
Ttl Baths:	0
Ttl Half Baths:	0
Ttl Xtra Fix:	0
1st Floor Use:	
Heat/AC:	None
Frame Type:	Masonry
Baths/Plumbing:	Average
Ceiling/Wall:	Sus-Ceil & WI
Rooms/Prtns:	Average
Wall Height:	10.00
% Comn Wall:	

**Building Photo**



(<https://images.vgsi.com/photos2/BridgeportCTPhotos//default.jpg>)

**Building Layout**



(ParcelSketch.ashx?pid=2578&bid=35099)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	7,932	7,932
AOF	Office	4,416	4,416
CLP	Loading Platform	364	0
FOP	Open Porch	384	0
PTO	Patio	364	0
UBM	Unfin Basement	4,032	0
		17,492	12,348

**Building 5 : Section 1**

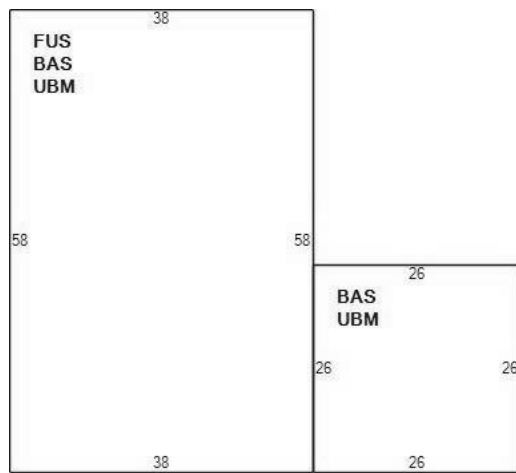
**Year Built:** 1940  
**Living Area:** 5,084  
**Replacement Cost:** \$890,553  
**Building Percent Good:** 65  
**Replacement Cost Less Depreciation:** \$578,860

**Building Photo**



(<https://images.vgsi.com/photos2/BridgeportCTPhotos//default.jpg>)

**Building Layout**



(ParcelSketch.aspx?pid=2578&bid=35098)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	2,880	2,880
FUS	Finished Upper Story	2,204	2,204
UBM	Unfin Basement	2,880	0
		7,964	5,084

Building Attributes : Bldg 5 of 5	
Field	Description
STYLE	Other Municip
MODEL	Ind/Comm
Grade:	Average
Stories:	2
Occupancy:	1.00
Exterior Wall 1:	Brick
Exterior Wall 2:	
Roof Struct:	Flat
Roof Cover:	Tar + Gravel
Interior Wall 1:	Minim/Masonry
Interior Wall 2:	
Interior Floor 1:	Average
Interior Floor 2:	
Heating Fuel:	Gas
Heating Type:	Hot Air-No Duc
AC Type:	None
Struct Class	
Bldg Use:	Mun Com Bldg Mdl 96
Ttl Rooms:	
Ttl Bedrms:	00
Ttl Baths:	0
Ttl Half Baths:	0
Ttl Xtra Fix:	0
1st Floor Use:	
Heat/AC:	None
Frame Type:	Masonry
Baths/Plumbing:	Average
Ceiling/Wall:	None
Rooms/Prtns:	Average
Wall Height:	50.00
% Comn Wall:	

**Extra Features**

Extra Features	Legend

Code	Description	Size	Value	Bldg #
ELV	Elevator	1.00 UNITS	\$33,800	5
ELV2	Pass	3.00 STOPS	\$101,400	4
ELV1	Freight	3.00 STOPS	\$60,840	4
ELV1	Freight	3.00 STOPS	\$60,840	5
A/C	Air Conditioning	4416.00 SF	\$7,460	4
ELV1	Freight	2.00 STOPS	\$37,440	1
ELV1	Freight	2.00 STOPS	\$37,440	1

## Land

### Land Use

**Use Code** 923  
**Description** Mun Com Bldg Mdl 96  
**Zone** ILI  
**Neighborhood** IND  
**Alt Land Appr** No  
**Category**

### Land Line Valuation

**Size (Acres)** 10  
**Frontage** 0  
**Depth** 0  
**Assessed Value** \$3,500,000  
**Appraised Value** \$5,000,000

## Outbuildings

Outbuildings						<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
SHD1	Shed	FR	Frame	64.00 SF	\$450	1
PAV1	Paving Asph			20000.00 SF	\$31,000	1
FN1	Fence, Chain	4	4 ft	1550.00 LF	\$8,530	1
FN1	Fence, Chain	8	8 ft	730.00 LF	\$6,570	1

## Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2021	\$160,000,000	\$5,000,000	\$165,000,000
2020	\$160,000,000	\$5,000,000	\$165,000,000
2019	\$156,000,000	\$4,000,000	\$160,000,000

Assessment			
Valuation Year	Improvements	Land	Total
2021	\$112,000,000	\$3,500,000	\$115,500,000
2020	\$112,000,000	\$3,500,000	\$115,500,000
2019	\$109,200,000	\$2,800,000	\$112,000,000





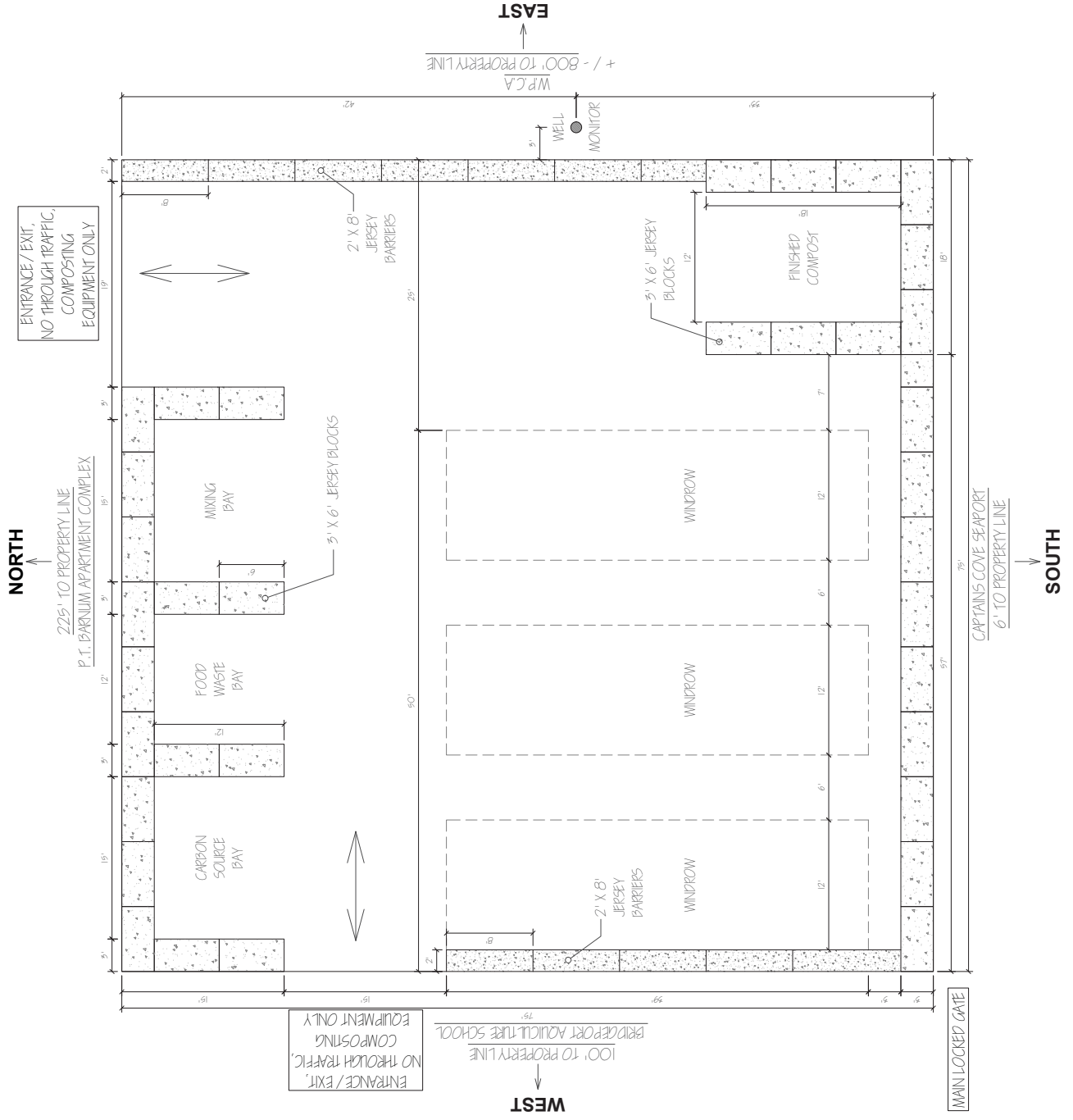
**BLACK ROCK**  
COMPOST COMPANY, LLC  
ANDREW TYRRELL  
CERTIFIED MASTER  
COMPOSTER  
203.449.0572  
BLACKROCKCOMPOST@GMAIL.COM

**PARK CITY COMPOST  
INITIATIVE SITE PLAN:  
PHASE 3**

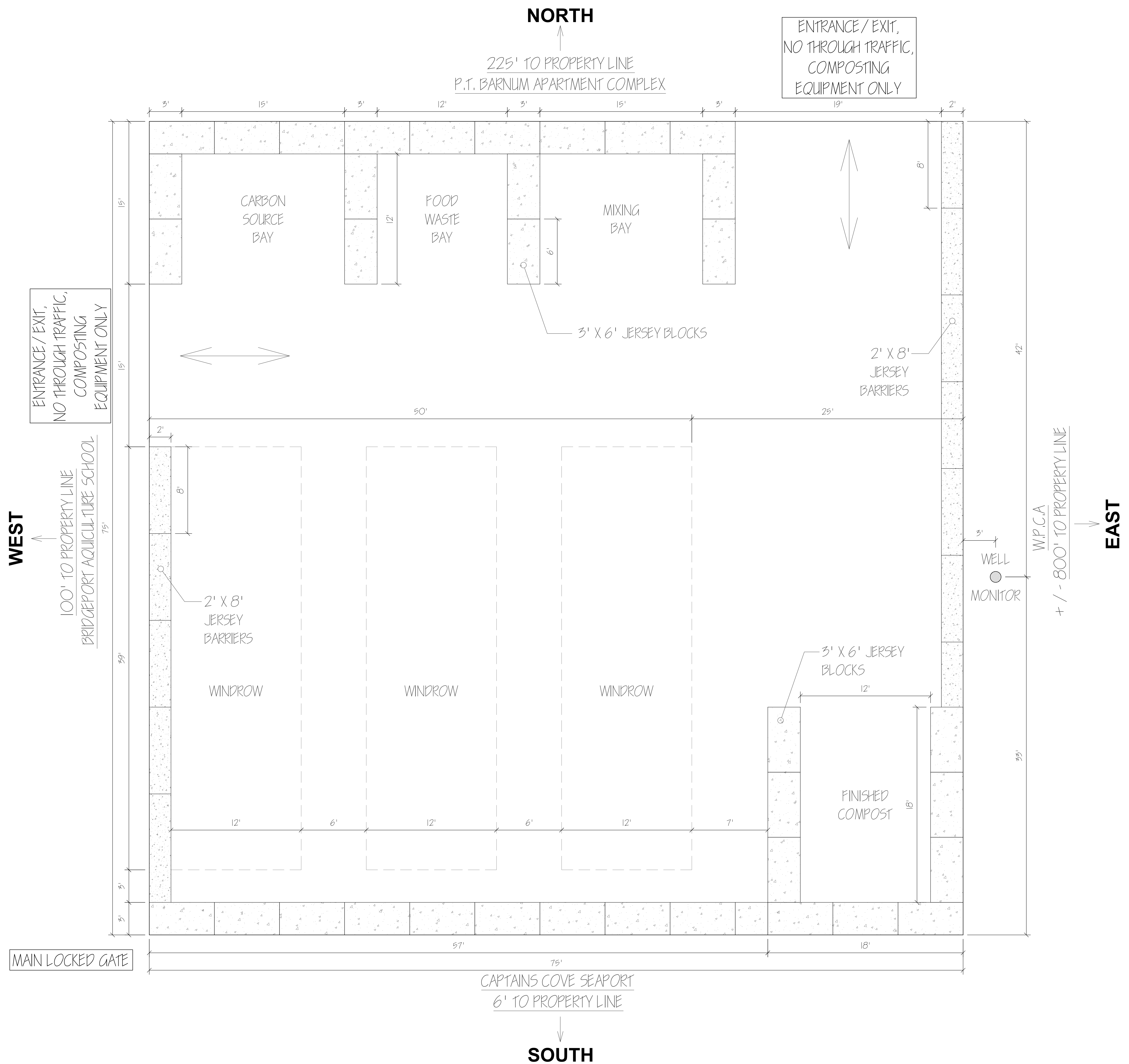
SCALE: 1" = 40'

DWN	7.9.22
REV	8.18.22

DWG. NO.  
**111**







**BLACK ROCK**  
COMPOST COMPANY, LLC

ANDREW TYRRELL  
CERTIFIED MASTER  
COMPOSTER  
203.449.0572

BLACKROCKCOMPOSTCO@GMAIL.COM

**PARK CITY COMPOST  
INITIATIVE SITE PLAN:  
PHASE 3**

SCALE: 1" = 40'

DWN	7.9.22
REV	8.18.22

DWG. NO.

**1/1**



Tim O'Connor &lt;tvoconnor@gmail.com&gt;

---

**Park City Compost Initiative - Stormwater permitting update**

1 message

**Anness, Emily** <Emily.Anness@ct.gov>

Wed, May 11, 2022 at 12:07 PM

To: "tvoconnor@gmail.com" &lt;tvoconnor@gmail.com&gt;

Cc: "Allen, Karen" &lt;Karen.Allen@ct.gov&gt;, "Milne, Beatriz" &lt;Beatriz.Milne@ct.gov&gt;

Hi Tim,

Thank you for providing additional site and industrial activity details for the proposed pilot site in Captain's Cove, Bridgeport, CT. Based on our discussions today regarding site size, location, and material volume, the Department no longer considers the stormwater discharges generated at the pilot site as a point source, and therefore the facility no longer needs to submit a registration under the Industrial Stormwater General Permit.

Please contact me or [DEEP.StormwaterStaff@ct.gov](mailto:DEEP.StormwaterStaff@ct.gov) should you have additional stormwater-related questions or details regarding future proposed projects with potential industrial stormwater discharges.

Thank you,

Emily

Emily Anness, P.E.

Sanitary Engineer

Water Permitting and Enforcement Division

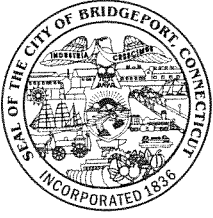
Bureau of Materials Management and Compliance Assurance

Connecticut Department of Energy and Environmental Protection

[79 Elm Street, Hartford, CT 06106-5127](https://www.ct.gov/deep)P: 860.424.4009 | E: [Emily.Anness@ct.gov](mailto:Emily.Anness@ct.gov)

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[www.ct.gov/deep](http://www.ct.gov/deep)***Conserving, improving and protecting our natural resources and environment;***



*City of Bridgeport, Connecticut*

## OFFICE OF THE CITY CLERK

*LEGISLATIVE DEPARTMENT*

---

45 Lyon Terrace • Bridgeport, Connecticut 06604 • Telephone (203) 576-7081 • Fax (203) 332-5608

---

LYDIA N. MARTINEZ  
City Clerk

FRANCES ORTIZ  
Assistant City Clerk

September 29, 2022

Councilmember Scott Burns  
City of Bridgeport, Connecticut

Dear Councilmember Burns:

This shall serve as confirmation that at a Meeting of the City Hall Committee held on September 27, 2022 said committee approved the attached proposal:

1. Request from Councilmember Scott Burns re: "Park City Compost Initiative" to use space on WPCA land, APPROVED (**Item# CHC-32**).

Attest:

Lydia N. Martinez  
City Clerk

cc: K. Flatto, City Hall Committee  
A. Nieves, City Hall Committee

# Secretary of the State of Connecticut

PHONE: 860-509-6003 • EMAIL: [crd@ct.gov](mailto:crd@ct.gov) • WEB: [www.concord-sots.ct.gov](http://www.concord-sots.ct.gov)

## CERTIFICATE OF INCORPORATION NONSTOCK CORPORATION

- Use ink. • Print or type.
- Attach additional 8 1/2 x 11 sheets if necessary.

<b>FILING PARTY</b> <i>(Confirmation will be sent to this address):</i>  NAME: PULLMAN & COMLEY, LLC ADDRESS: 850 MAIN STREET P.O. BOX 7006  CITY: BRIDGEPORT STATE: CT ZIP: 06601 -	<b>FILING FEE: \$50</b>  <i>Make checks payable to "Secretary of the State"</i>
--	---

**1. NAME OF CORPORATION (required)** *(Must include business designation, e.g., Inc., Co., Corp.):*  
 PARK CITY COMPOST INITIATIVE INC.

***The corporation is nonprofit and shall not have or issue shares of stock or make distributions.***

**2. PLACE A CHECK NEXT TO THE APPROPRIATE STATEMENT:**

**A.** The Corporation shall not have members.

**B.** The Corporation shall only have members who are not entitled to vote.

**C.** The Corporation shall have one class of members.

**D.** The Corporation shall have multiple classes of members, which classes are designated as follows:\*

*\*Please note: the manner of election and appointment of members along with their qualifications and rights may be set forth in this certificate or in the Corporation's bylaws. Please see CGS § 33-1055 and -1056.*

**3. THE NATURE OF THE ACTIVITIES TO BE CONDUCTED OR THE PURPOSES TO BE PROMOTED BY THE CORPORATION:**  
 See Exhibit A attached hereto.

**4. OTHER INFORMATION:**

<b>5. CORPORATE E-MAIL ADDRESS</b> <i>(Check box if none. Do not leave blank.)</i> <input type="checkbox"/> None ParkCityCompost@outlook.com	<b>6. NAICS CODE (six digits)</b> <table style="width: 100%; text-align: center; border-collapse: collapse;"> <tr> <td style="border: 1px solid black; width: 20px;">5</td> <td style="border: 1px solid black; width: 20px;">6</td> <td style="border: 1px solid black; width: 20px;">2</td> <td style="border: 1px solid black; width: 20px;">9</td> <td style="border: 1px solid black; width: 20px;">9</td> <td style="border: 1px solid black; width: 20px;">8</td> </tr> </table>	5	6	2	9	9	8
5	6	2	9	9	8		



# Secretary of the State of Connecticut

PHONE: 860-509-6003 • EMAIL: [crd@ct.gov](mailto:crd@ct.gov) • WEB: [www.concord-sots.ct.gov](http://www.concord-sots.ct.gov)

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**NOTE: COMPLETE EITHER 7A OR 7B BELOW, NOT BOTH.**

**7. APPOINTMENT OF REGISTERED AGENT (required)**

**A. If Agent is an individual**, print or type full legal name: Timothy V. O'Connor

Signature accepting appointment \_\_\_\_\_

**BUSINESS ADDRESS (required):** (P.O. Box unacceptable) Check box if none:   
 STREET: 511 Lake Avenue  
 CITY: Bridgeport  
 STATE: CT ZIP: 06605 - 3518

**CONNECTICUT RESIDENCE ADDRESS (required):** (P.O. Box unacceptable)  
 STREET: 511 Lake Ave  
 CITY: Bridgeport  
 STATE: CT ZIP: 06605 - 3518

**NOTE: DO NOT COMPLETE 7B IF AGENT APPOINTED IN 7A ABOVE.**

**B. If Agent is a business**, print or type name of business as it appears on our records: \_\_\_\_\_

Signature accepting appointment on behalf of agent: \_\_\_\_\_

Print full name and title of person signing on behalf of agent: \_\_\_\_\_

**CONNECTICUT BUSINESS ADDRESS (required):** (P.O. Box unacceptable)  
 STREET: \_\_\_\_\_  
 CITY: \_\_\_\_\_  
 STATE: CT ZIP: -

**8. EXECUTION / SIGNATURE(S): Certificate must be signed by each incorporator**

Date (mm/dd/yyyy): \_\_\_\_\_

NAME OF INCORPORATOR(S) <i>(print or type)</i>	ADDRESS(ES) <i>(No PO Boxes)</i>	SIGNATURE(S)
R. Scott Burns	ADDRESS: <u>29 Eames Blvd</u>  CITY: <u>Bridgeport</u> STATE: <u>CT</u> ZIP: <u>06605 - 3606</u>	<div style="border: 1px solid black; padding: 2px; display: inline-block;">DocuSigned by:  646F8E462FB6431...</div>
Timothy V. O'Connor	ADDRESS: <u>511 Lake Ave</u>  CITY: <u>Bridgeport</u> STATE: <u>CT</u> ZIP: <u>06605 - 3518</u>	<div style="border: 1px solid black; padding: 2px; display: inline-block;">DocuSigned by:  927C77E9BD33485...</div>
	ADDRESS: _____  CITY: _____ STATE: _____ ZIP: <u>-</u>	

**Exhibit A**

**CERTIFICATE OF INCORPORATION**

**of**

**PARK CITY COMPOST INITIATIVE INC.**

1. **Name.** The name of the corporation is: PARK CITY COMPOST INITIATIVE INC. (the “Corporation”).

2. **Purposes.** The nature of the activities to be conducted or the purposes to be promoted or carried out by the Corporation are as follows:

(a) The Corporation shall engage in any charitable, scientific, testing for public safety, literary and educational purposes within the meaning of Section 501(c)(3) of the Internal Revenue Code of 1986, as amended from time to time, and to the corresponding provisions of any future United States Internal Revenue Law (the “Code”) and that is permitted under the Connecticut Revised Nonstock Corporation Act (the “Act”).

(b) Such activities shall include, but not be limited to, establishing a non-profit commercial scale food waste composting operation to service Bridgeport, Connecticut and surrounding regions, providing educational materials, training, and support to encourage food waste diversion and composting, promoting local use and application of compost as part of the local food movement, and conducting other lawful activities in support of reducing waste impact on the environment and the community.

(c) Notwithstanding any other provision of this Certificate of Incorporation, the Corporation shall not conduct or carry on any activities not permitted to be conducted or carried on (i) by a corporation exempt from federal income taxation under Section 501(c)(3) of the Code, or (ii) by a corporation contributions to which are deductible under Section 170(c)(2) of the Code.

3. **Nonprofit.** The Corporation is nonprofit and shall not have or issue shares of stock or pay dividends.

4. **Members.** The Corporation shall have no members.

5. **Restrictions.** Notwithstanding any other provision of this Certificate of Incorporation, the Corporation shall at all times be subject to the following restrictions:

(a) No part of the net earnings of the Corporation shall inure to the benefit of, or be given or distributable to, any officer or director of the Corporation or any other private individual, corporation or other entity (except that the Corporation shall be authorized and empowered to pay reasonable compensation for services rendered to or for the Corporation), and no officer, director nor any private individual shall be entitled to share in the distribution of any property or assets of the Corporation upon dissolution.

(b) No substantial part of the activities of the Corporation shall be the carrying on of propaganda, or otherwise attempting to influence legislation (except as otherwise provided by Section 501(h) of the Code), and the Corporation shall not participate in, nor intervene in, any political campaign (including the publication or distribution of statements) on behalf of any candidate for public office.

(c) In any taxable year in which the Corporation is deemed to be a private foundation as described in Section 509(a) of the Code, the Corporation shall distribute its income for such period at such time and manner so as not to subject it to tax under Section 4942 of the Code, and the Corporation shall not (i) engage in any act of self-dealing as defined in Section 4941(d) of the Code, (ii) retain any excess business holdings as defined in Section 4943(c) of the Code, (iii) make any investments in such manner as to subject the Corporation to tax under Section 4944 of the Code, nor (iv) make any taxable expenditures as defined in Section 4945(d) of the Code.

(d) The Corporation shall not indemnify any individual with respect to any excise tax imposed on such individual under Chapter 42 of the Code.

6. **Dissolution.** Upon the dissolution or termination of the existence of the Corporation, all of its property and assets shall, after payment of the lawful debts of the Corporation and the expenses of its dissolution or termination, be delivered, conveyed and paid over (subject to any restrictions imposed by any applicable will, deed, grant, conveyance, agreement, memorandum, writing or other governing document) to one or more charitable, scientific or educational organization (or organizations) that qualifies as an exempt organization under Section 501(c)(3) of the Code at the time of the dissolution or termination of the existence of the Corporation, in such proportions and for such exclusively charitable purposes as the Member of the Corporation may determine, or shall be distributed to the federal government or to a state or local government for a public purpose. Any such assets not so disposed of by the Member shall be disposed by the Connecticut Superior Court in the county in which the principal office of the Corporation is then located, exclusively for such purposes or to such organization or organizations that are organized and operated for one or more exempt purposes as such Court shall determine. Upon winding up and dissolution of the Corporation, after paying or adequately providing for the debts and obligations of the Corporation, the remaining assets shall be distributed to a non-profit fund, foundation or corporation that is organized and operated exclusively for charitable, educational, religious, and/or scientific purposes and which has established its tax exempt status under Section 501(c)(3) of the Internal Revenue Code.

7. **Limited Liability of Directors.** The personal liability of any director of the Corporation to the Corporation for monetary damages for breach of duty as a director of the Corporation shall be limited to an amount that is equal to the compensation received by such director for serving the Corporation during the year of such breach if such breach does not (a) involve a knowing and culpable violation of law by such director, (b) enable such director or an Associate (as defined in Section 33-840 of the Connecticut Business Corporation Act) to receive an improper personal economic gain, (c) show a lack of good faith and a conscious disregard for

the duty of such director to the Corporation under circumstances in which such director was aware that his or her conduct or omission created an unjustifiable risk of serious injury to the Corporation or (d) constitute a sustained and unexcused pattern of inattention that amounted to an abdication of such director's duty to the Corporation.

8. **Indemnification of Directors.** The Corporation shall indemnify, and advance expenses to, each director of the Corporation for liability to any individual or entity for any action taken, or any failure to take any action, as a director of the Corporation, except for liability that (a) involves a knowing and culpable violation of law by such director, (b) enables such director or an Associate (as defined in Section 33-840 of the Connecticut Business Corporation Act) to receive an improper personal gain, (c) shows a lack of good faith and a conscious disregard for the duty of such director to the Corporation under circumstances in which such director was aware that his or her conduct or omission created an unjustifiable risk of serious injury to the Corporation or (d) constitutes a sustained and unexcused pattern of inattention that amounted to an abdication of such director's duty to the Corporation.

ACTIVE/83020.1/TUMEUGO/10121996v1





# Secretary of the State of Connecticut

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## ORGANIZATION AND FIRST REPORT STOCK OR NONSTOCK CORPORATIONS

- Use ink. • Print or type.
- Attach additional 8 ½ x 11 sheets if necessary.

<b>FILING PARTY</b> (Confirmation will be sent to this address):  NAME: PULLMAN & COMLEY, LLC ADDRESS: 850 MAIN STREET P.O. BOX 7006  CITY: BRIDGEPORT STATE: CT ZIP: 06601 -		<b>FILING FEE: \$150</b>  <i>Exception: \$50.00 filing fee for nonstock (nonprofit) corporations.</i>  <i>Make checks payable to "Secretary of the State"</i>						
<b>1. NAME OF CORPORATION</b> (Name must match our records exactly, including the business designation, e.g., Inc., Co., Corp.):  PARK CITY COMPOST INITIATIVE INC.								
<b>2. DATE OF ORGANIZATION MEETING:</b>	<b>3. NAICS CODE</b> (six digits) (required):  <table border="1" style="margin-left: auto; margin-right: auto;"> <tr> <td style="text-align: center;">5</td> <td style="text-align: center;">6</td> <td style="text-align: center;">2</td> <td style="text-align: center;">9</td> <td style="text-align: center;">9</td> <td style="text-align: center;">8</td> </tr> </table>		5	6	2	9	9	8
5	6	2	9	9	8			
<b>4. PRINCIPAL OFFICE ADDRESS</b> (required) (Provide full address): <small>(P.O. Box unacceptable)</small>  STREET: 511 LAKE AVE  CITY: BRIDGEPORT  STATE: CT ZIP: 06605 - 3518								
<b>5. MAILING ADDRESS</b> (If other than principal office address): <small>(P.O. Box IS acceptable)</small>  STREET OR P.O. BOX:  CITY:  STATE: ZIP: -								



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6. OFFICERS:	
<b>A. OFFICER'S NAME:</b> R. Scott Burns	<b>TITLE</b> Chairperson
<b>BUSINESS ADDRESS (required):</b> (P.O. Box unacceptable) Check box if none: <input checked="" type="checkbox"/>	<b>RESIDENCE ADDRESS (required):</b> (P.O. Box unacceptable)
STREET:	STREET: 29 Eames Blvd
CITY:	CITY: Bridgeport
STATE: ZIP: -	STATE: CT ZIP: 06605 - 3606
<b>B. OFFICER'S NAME:</b> Timothy V. O'Connor	<b>TITLE</b> Executive Director/Secretary
<b>BUSINESS ADDRESS (required):</b> (P.O. Box unacceptable) Check box if none: <input checked="" type="checkbox"/>	<b>RESIDENCE ADDRESS (required):</b> (P.O. Box unacceptable)
STREET:	STREET: 511 Lake Ave
CITY:	CITY: Bridgeport
STATE: ZIP: -	STATE: CT ZIP: 06605 - 3518
<b>C. OFFICER'S NAME:</b> Matthew J. McCarthy	<b>TITLE</b> Treasurer
<b>BUSINESS ADDRESS (required):</b> (P.O. Box unacceptable) Check box if none: <input checked="" type="checkbox"/>	<b>RESIDENCE ADDRESS (required):</b> (P.O. Box unacceptable)
STREET:	STREET: 29 Harbor Ave
CITY:	CITY: Bridgeport
STATE: ZIP: -	STATE: CT ZIP: 06605 -
7. DIRECTORS:	
<b>A. DIRECTOR'S NAME:</b> R. Scott Burns	<b>TITLE</b> Chairperson
<b>BUSINESS ADDRESS (required):</b> (P.O. Box unacceptable) Check box if none: <input checked="" type="checkbox"/>	<b>RESIDENCE ADDRESS (required):</b> (P.O. Box unacceptable)
STREET:	STREET: 29 Eames Blvd
CITY:	CITY: Bridgeport
STATE: ZIP: -	STATE: CT ZIP: 06605 - 3606
<b>B. DIRECTOR'S NAME:</b> Timothy V. O'Connor	<b>TITLE</b> Executive Director/Secretary
<b>BUSINESS ADDRESS (required):</b> (P.O. Box unacceptable) Check box if none: <input checked="" type="checkbox"/>	<b>RESIDENCE ADDRESS (required):</b> (P.O. Box unacceptable)
STREET:	STREET: 511 Lake Ave
CITY:	CITY: Bridgeport
STATE: ZIP: -	STATE: CT ZIP: 06605 - 3518
<b>C. DIRECTOR'S NAME:</b> Matthew J. McCarthy	<b>TITLE</b> Treasurer
<b>BUSINESS ADDRESS (required):</b> (P.O. Box unacceptable) Check box if none: <input checked="" type="checkbox"/>	<b>RESIDENCE ADDRESS (required):</b> (P.O. Box unacceptable)
STREET:	STREET: 29 Harbor Ave
CITY:	CITY: Bridgeport
STATE: ZIP: -	STATE: CT ZIP: 06605 -

**ORGANIZATION AND FIRST REPORT****of****PARK CITY COMPOST INITIATIVE INC.****ADDENDUM – DIRECTORS CONTINUED**

<b>7. DIRECTORS</b>	
<b>D. DIRECTOR'S NAME:</b> Daniel Joseph Martens	<b>TITLE:</b> Director
<b>BUSINESS ADDRESS:</b> N/A	<b>RESIDENCE ADDRESS:</b> 28 Northwood Road Fairfield, CT 06825
<b>E. DIRECTOR'S NAME:</b> Uyen Huynh	<b>TITLE:</b> Director
<b>BUSINESS ADDRESS:</b> N/A	<b>RESIDENCE ADDRESS:</b> 240 Exeter Street Bridgeport, CT 06606



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**8. CHANGE OF REGISTERED AGENT INFORMATION** (If no changes, check box "no changes" and proceed to Section 9):

Check box if no changes:

**NOTE: COMPLETE EITHER 8A OR 8B BELOW, NOT BOTH.**

**A. If Agent is an individual**, print or type full legal name: \_\_\_\_\_

Signature accepting appointment \_\_\_\_\_

**BUSINESS ADDRESS (required):**  
(P.O. Box unacceptable)  
 Check box if none:   
 STREET:  
 CITY:  
 STATE:                                      ZIP:                                      -

**CONNECTICUT RESIDENCE ADDRESS (required):**  
(P.O. Box unacceptable)  
 STREET:  
 CITY:  
 STATE:                                      CT                                      ZIP:                                      -

**CONNECTICUT MAILING ADDRESS (required)** (For stock corporations only):

STREET OR P.O. BOX:  
 CITY:  
 STATE:                                      CT                                      ZIP:                                      -

**NOTE: DO NOT COMPLETE 8B IF AGENT APPOINTED IN 8A ABOVE.**

**B. If Agent is a business**,  
 print or type name of business as it appears on our records: \_\_\_\_\_

Signature accepting appointment on behalf of agent: \_\_\_\_\_

Print full name and title of person signing on behalf of agent: \_\_\_\_\_

**CONNECTICUT BUSINESS ADDRESS (required):**  
(P.O. Box unacceptable)  
 STREET:  
 CITY:  
 STATE:                                      CT                                      ZIP:                                      -

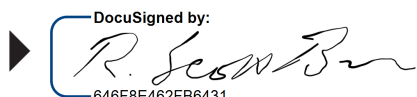
**CONNECTICUT MAILING ADDRESS (required):**  
(for stock corporations only)  
 STREET OR P.O. BOX:  
 CITY:  
 STATE:                                      CT                                      ZIP:                                      -

**9. ENTITY E-MAIL ADDRESS (required):**  
(Check box if none. Do not leave blank.)

None    [ParkCityCompost@outlook.com](mailto:ParkCityCompost@outlook.com)

**10. EXECUTION/SIGNATURE (required)** (Subject to penalties of false statement):

Date (mm/dd/yyyy): \_\_\_\_\_

NAME OF SIGNATORY (print or type)	CAPACITY/TITLE OF SIGNATORY	SIGNATURE
R. Scott Burns	Chairperson	 646F8E462FB6431...