

AGENDA
CITY COUNCIL MEETING
MONDAY, JUNE 15, 2015

7:00 P.M.
CITY COUNCIL CHAMBERS, CITY HALL - 45 LYON TERRACE
BRIDGEPORT, CONNECTICUT

Prayer

Pledge of Allegiance

Roll Call

MINUTES FOR APPROVAL:

Approval of City Council Minutes: May 4, 2015 and May 11, 2015
(Special Meeting)

ITEMS FOR IMMEDIATE CONSIDERATION:

- 104-14** Communication from CAO re: Proposed Federal Aviation Administration (FAA) Grant Offer for Airport Improvement Program (AIP) Project No. 3-09-0002-031-2015 at I.I. Sikorsky Memorial Airport in Stratford **FOR IMMEDIATE CONSIDERATION.**

RESOLUTIONS TO BE REFERRED TO BOARDS, COMMISSIONS, ETC.:

- 103-14** Resolution presented by Council Member(s) L. Martinez and Feliciano re: Request to designate the Intersection of Park Street and Berkshire Avenue as being an "All-Way-Stop" with appropriate signage being posted and stop lines being painted on the roadway surface at all four corners, referred to Board of Police Commission.
- 105-14** Resolution presented by Council Member Torres re: Request that City Council Member's Written and Electronic Requests for Departmental Information of any kind be provided Expeditiously, referred to Miscellaneous Matters Committee.

MATTERS TO BE ACTED UPON (CONSENT CALENDAR):

- *88-14** Public Safety and Transportation Committee Report re: Application for Waiver to Extend Driveway Width Entrance Located at Globe Industries on 197 Ash Street.
- *100-14** Contracts Committee Report re: Agreement with Vision Government Solutions, Inc. for the Reappraisal and Revaluation of Taxable, Real and Exempt Property Located within the corporate limits of the City.

MATTERS TO BE ACTED UPON (CONSENT CALENDAR) CONTINUED:

- *95-14** Budget and Appropriations Committee Report re: Municipal Suspense Tax Book.

MATTERS TO BE ACTED UPON:

- 89-14** Public Safety and Transportation Committee Report re: Grant Submission: U.S. Department of Justice (DOJ), Office of Justice Programs (OJP) and Bureau of Justice Assistance (BJA) Byrne Criminal Justice Innovation Program (Project #16430).

UNFINISHED BUSINESS:

- 33-14** Economic and Community Development and Environment Committee Report re: Resolution Authorizing the Disposition of certain City-Owned Properties by Auction, Sale to Abutter or by Sale to Community Based Housing Development Corporations.

THE FOLLOWING NAMED PERSON HAS REQUESTED PERMISSION TO ADDRESS THE CITY COUNCIL ON MONDAY, JUNE 15, 2015 AT 6:30 P.M., IN THE CITY COUNCIL CHAMBERS, CITY HALL, 45 LYON TERRACE, BRIDGEPORT, CT.

NAME

SUBJECT

Beth Lazar
1241 Main Street, Apt. 728
Bridgeport, CT 06604

Say no to corporate welfare, say no to extending Seaview Avenue and save the the woods.

John Marshall Lee
30 Beacon Street
Bridgeport, CT 06605

City Council, financial reviews?

Tania Mayen
59 Rennell Street
Bridgeport, CT 06604

Activities for kids this summer including "Park City Movie Nights".

**CITY OF BRIDGEPORT
CITY COUNCIL
PUBLIC SPEAKING SESSION
MONDAY, JUNE 15, 2015
6:30 PM**

CALL TO ORDER

Council President McCarthy called the Public Speaking Session to order at 6:45 p.m.

ROLL CALL

City Clerk Hudson called the roll.

The following members were present:

130th District: Susan Brannelly, Enrique Torres
131st District: Jack O. Banta, Denese Taylor-Moye
132nd District: Robert Halstead, Patricia Swain
133rd District: Thomas McCarthy
134th District: AmyMarie Vizzo-Paniccia, Michelle Lyons
135th District: Richard Salter
136th District: Josè Casco, Alfredo Castillo
137th District: Milta Feliciano, Lydia Martinez
138th District: Melanie Jackson
139th District: James Holloway

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CITY CLERK'S OFFICE
2015 JUN 22 P 2:03
ATTEST
CITY CLERK

A quorum was present.

THE FOLLOWING NAMED PERSON HAS REQUESTED PERMISSION TO ADDRESS THE CITY COUNCIL ON MONDAY, JUNE 15, 2015 AT 6:30 P.M., IN THE CITY COUNCIL CHAMBERS, CITY HALL, 45 LYON TERRACE, BRIDGEPORT, CT.

NAME

SUBJECT

Beth Lazar

1241 Main Street, Apt. 728
Bridgeport, CT 06604

Say no to corporate welfare, say no to
extending Seaview Avenue and save the
the woods.

Ms. Lazar came forward to address the Council with seven other people holding signs about saving Remington Woods.

Council Member Brannelly joined the meeting at 6:46 p.m.

Ms. Lazar said that the City should say no to corporate welfare and the extension of Seaview Avenue. The Seaview Avenue extension would go through the Remington Woods, which was owned by DuPont. The City would have to maintain the road and this would be corporate

City of Bridgeport
City Council
Regular Meeting
June 15, 2015

welfare at the taxpayer's expense. She listed several things that would have to be done in terms of creating the Seaview Avenue Extension including sewer, water and electrical lines. Ms. Lazar said that she opposed the development of Remington Woods because of environmental issues. The woods are filled with a variety of wildlife that would be pushed out. Also the extension of the road would increase traffic, pollution and possibly cause flooding when it rains.

John Marshall Lee
30 Beacon Street
Bridgeport, CT 06605

City Council, financial reviews?

Mr. Lee came forward and read the following statement into the record:

Members of the City Council, I want to thank you for helping me form one of the most important decisions of my life, the pursuit of a City Council seat in the 2015 election. You see I am a serious reader and also a close listener. Using those talents and a good amount of time during the past five years I have studied Bridgeport issues on paper through financial reports and the external audit. I have spoken in public, written letters to the CT Post and blog with others interested in Bridgeport affairs almost daily.

In recent years I have addressed the Council at these sessions and attended a good number of sub-committee meetings. My three major priorities for Bridgeport governance have been to encourage OPEN, ACCOUNTABLE and TRANSPARENT process to benefit the City as a whole. Previously, I have stated that many of you handle constituent issues and problems very well, but how does the Council perform on matters facing the entire City?

Regarding OPEN, ACCOUNTABLE and TRANSPARENT:

- Why has there been no response from one or more of current Council members who were part of the group of 15 in 2013 who illegally appropriated about \$30,000 of taxpayer funds to make gifts to local charities and took personal credit for the gifts in a primary and election year? No meeting agenda, minutes or record of a vote as you listened to your President lead you on this path? Charitable gifts to good charities are yours to make with your own funds, not other people's money. It's a bad precedent for the City to let stand!!
- The City Charter calls for a meeting each year for the Capital budget, a meeting that is not held. Chapter 9, Section 6c says that "***the city council shall solicit suggestions, comments and recommendations from city officials and the members of the public regarding the proposed capital budget and shall conduct at least one public hearing.***" Why do you fail in this duty? Why do you pass a \$40 Million capital budget with more than 30 requests on one piece of paper without addressing the plans and funding before the public? Does the public feel that it is participating as intended?
- Students in school? Do you know that in the budget fiscal year most recently audited (2013-14), our municipal contribution, that is the amount from local taxpayers in contrast to Federal and State funds for Public Education was \$56, 872,000, which when spread

among 21,008 youth comes to \$2750 per student? By contrast did you know that New Haven and Hartford local taxpayers provide over \$4500 per each student in their city? Why is this contrast not publicly revealed here in the City? Are Council members supporting public education? If so, why is this gap present? Can City budget efficiencies find necessary money for the BOE?

- And as I shared two weeks ago, there are 13 City Departments that show a line item 06 that covers **Other Financing Uses**. Can anyone explain how this number has 'silently' increased over three years from \$66,862,919 to over \$79 Million?

Where and when does your Council dig into numbers brought to you by the City Departments? Why aren't more reports provided to the public on the City site? Where is the necessary staffing to assist you as in other municipalities? The funding is present in your budget. What holds you back from using it and becoming much better?

I have more questions you know. But I have decided to seek the answers by running for office and winning a seat on the other side of this rail. If I am successful I will have more than five minutes twice per month to make a request and find answers. I have been a Watchdog and shall continue to be vigilant, perhaps barking occasionally, and rarely growling, on behalf of all the people. I can think of no higher calling for a taxpayer citizen than as one person with one voice and two ears, to encourage "best practices" in the City of Bridgeport. What will happen? Time will tell.

Tania Mayen
59 Rennell Street
Bridgeport, CT 06604

Activities for kids this summer including
"Park City Movie Nights".

Ms. Mayen came forward and spoke about the various summer youth programs and activities that would be available during the summer months.

Rev. Velma Lovelace
1186 Noble Avenue
Bridgeport, CT

Thank you, Mayor Finch, for the
park improvements.

Rev. Lovelace came forward to say thank you to the Mayor and said she appreciates what he had done in Bridgeport. She said that she was very excited about what was being done with the parks, particularly Pleasure Beach which is now open after so many years. Rev. Lovelace also was appreciative of the fact that the Mayor is putting more police officers on the street, particularly after the tragic shooting the other day.

Ms. Elaine Ficarra
1070 Main Street
Bridgeport, CT

P.T. Barnum Festival

Ms. Elaine Ficarra came forward and greeted the Council members. She said she was the director of the P.T. Barnum Festival. She said that the theme of the parade is 'Hands Across the

Water' because Bridgeport is reaching out to those who don't live in Bridgeport to come, stay and play in Bridgeport. She mentioned that the City had received grant funding from the State to help promote the Festival. There are also discount coupons for the out of town residents for the Zoo and other attractions. The Wing Ding will also include a clambake. Ms. Ficarra said that Mr. Robert Kennedy from Public Works had been chosen as the Grand Marshal for the parade.

The next name on the speaker list was Mr. David Goodman. Council President McCarthy called the name a number of times and there was no response.

Ms. Lela Torro
Bridgeport CT.

Remington Woods

Ms. Torro came forward to speak about Remington Woods and said that the Woods were a precious resource. The City should not settle for corporations coming in and taking open space for development. She requested that the City Council save this precious resource.

ADJOURNMENT

Council President McCarthy adjourned the meeting at 7:00 p.m.

Respectfully submitted,

S. L. Soltes
Telesco Secretarial Services

**CITY OF BRIDGEPORT
CITY COUNCIL MEETING
MONDAY, JUNE 15, 2015**

7:00 PM

**City Council Chambers, City Hall - 45 Lyon Terrace
Bridgeport, Connecticut**

CALL TO ORDER

Mayor Finch called the meeting to order at 7:17 p.m.

PRAYER

Mayor Finch then requested Rev. Lovelace to lead those present in prayer.

PLEDGE OF ALLEGIANCE

Mayor Finch then requested Mr. Josè Cruz, a military academy student who was being mentored by Council Member Vizzo-Paniccia, to lead the Pledge of Allegiance.

ROLL CALL

City Clerk Hudson called the roll.

The following members were present:

130th District: Susan Brannelly, Enrique Torres
131st District: Jack O. Banta, Denese Taylor-Moye
132nd District: Robert Halstead, Patricia Swain
133rd District: Thomas McCarthy
134th District: AmyMarie Vizzo-Paniccia, Michelle Lyons
135th District: Rev. Mary McBride-Lee, Richard Salter
136th District: Josè Casco, Alfredo Castillo
137th District: Milta Feliciano, Lydia Martinez
138th District: Michael Marella, Melanie Jackson
139th District: Eneida Martinez, James Holloway

A quorum was present. Council President McCarthy announced that Council Member Austin was celebrating his 47th wedding anniversary with his family and could not be present.

Council Member McBride requested a moment of silence for Savonnie McNeil and the other victims of the recent Trumbull Gardens shooting.

Council President McCarthy requested a moment of silence in memory of Virginia Keeley, a Democratic Town Council Member and also in memory of Lorraine Laske, Atty. Art Laske's mother. All those present stood in silence for a moment to remember the various people named.

ITEMS FOR IMMEDIATE CONSIDERATION:

104-14 Communication from CAO re: Proposed Federal Aviation Administration (FAA) Grant Offer for Airport Improvement Program (AIP) Project No. 3-09-0002-031-2015 at I.I. Sikorsky Memorial Airport in Stratford FOR IMMEDIATE CONSIDERATION.

City Attorney Anastasi commented that this item would require a 2/3rd majority to pass.

Ms. Teri Brown, Assistant CAO and Mr. Steve Ford from the Sikorsky Airport came forward to speak about the various projects that were underway at the airport. She explained that the grant funding had been received on June 1st and has to be submitted by July 10th.

**** COUNCIL MEMBER MARELLA MOVED AGENDA ITEM 104-14 COMMUNICATION FROM CAO RE: PROPOSED FEDERAL AVIATION ADMINISTRATION (FAA) GRANT OFFER FOR AIRPORT IMPROVEMENT PROGRAM (AIP) PROJECT NO. 3-09-0002-031-2015 AT I.I. SIKORSKY MEMORIAL AIRPORT IN STRATFORD FOR IMMEDIATE CONSIDERATION.**

**** COUNCIL MEMBER VIZZO-PANICCIA SECONDED.**

**** THE MOTION PASSED UNANIMOUSLY.**

MINUTES FOR APPROVAL:

Approval of City Council Minutes: May 4, 2015 and May 11, 2015 (Special Meeting)

**** COUNCIL MEMBER BRANNELLY MOVED THE MINUTES OF MAY 4, 2015.**

**** COUNCIL MEMBER L. MARTINEZ SECONDED.**

**** THE MOTION PASSED UNANIMOUSLY.**

Approval of City Council Minutes: May 11, 2015.

Council President McCarthy stated that Council Member Swain wished to amend the minutes and requested that following statement be read into the record as part of the motion to amend.

May 11, 2015 (Special Meeting) –

**** COUNCIL PRESIDENT MCCARTHY MOVED THE MINUTES OF THE MAY 11, 2015 SPECIAL MEETING.**

**** COUNCIL MEMBER MARELLA SECONDED.**

**** COUNCIL MEMBER SWAIN MOVED TO AMEND THE MINUTES OF MAY 11, 2015 TO INCLUDE THE FOLLOWING DOCUMENT THAT COUNCIL MEMBER SWAIN READ INTO THE RECORD AS FOLLOWS:**

"Moving forward, the City and Council will both be well served if we had an unbiased consultant that could help us during the budget process to ask the right questions and help us to understand the answers given by the administration. Furthermore, this consultant would not need to be an additional burden to the tax payers as there is already money in the legislative budget for such a position."

**** COUNCIL PRESIDENT MCCARTHY SECONDED.**

**** THE MOTION TO AMEND THE MINUTES OF MAY 11, 2015 PASSED UNANIMOUSLY.**

**** THE MOTION TO APPROVE THE MINUTES OF MAY 11, 2015 AS AMENDED PASSED UNANIMOUSLY.**

RESOLUTIONS TO BE REFERRED TO BOARDS, COMMISSIONS, ETC.:

**** COUNCIL MEMBER BANTA MOVED THE FOLLOWING ITEMS TO BE REFERRED TO BOARDS, COMMISSIONS, ETC.**

103-14 RESOLUTION PRESENTED BY COUNCIL MEMBER(S) L. MARTINEZ AND FELICIANO RE: REQUEST TO DESIGNATE THE INTERSECTION OF PARK STREET AND BERKSHIRE AVENUE AS BEING AN "ALL-WAY-STOP" WITH APPROPRIATE SIGNAGE BEING POSTED AND STOP LINES BEING PAINTED ON THE ROADWAY SURFACE AT ALL FOUR CORNERS, REFERRED TO BOARD OF POLICE COMMISSION.

105-14 RESOLUTION PRESENTED BY COUNCIL MEMBER TORRES RE: REQUEST THAT CITY COUNCIL MEMBER'S WRITTEN AND ELECTRONIC REQUESTS FOR DEPARTMENTAL INFORMATION OF ANY KIND BE PROVIDED EXPEDITIOUSLY, REFERRED TO MISCELLANEOUS MATTERS COMMITTEE.

**** COUNCIL MEMBER LYONS SECONDED.**

**** THE MOTION PASSED UNANIMOUSLY.**

MATTERS TO BE ACTED UPON (CONSENT CALENDAR):

***88-14 Public Safety and Transportation Committee Report re: Application for Waiver to Extend Driveway Width Entrance Located at Globe Industries on 197 Ash Street.**

***100-14 Contracts Committee Report re: Agreement with Vision Government Solutions, Inc. for the Reappraisal and Revaluation of Taxable, Real and Exempt Property Located within the corporate limits of the City.**

***95-14 Budget and Appropriations Committee Report re: Municipal Suspense Tax Book.**

Mayor Finch then asked if there was any Council Member who would like to remove an item from the Consent Calendar. Council Member Brannelly requested that Agenda Item 100-14 be removed from the Consent Agenda. City Clerk Hudson then read the revised Consent Agenda into the record.

**** COUNCIL MEMBER BRANNELLY MOVED THE FOLLOWING ITEMS AS THE CONSENT AGENDA:**

***88-14 PUBLIC SAFETY AND TRANSPORTATION COMMITTEE REPORT RE: APPLICATION FOR WAIVER TO EXTEND DRIVEWAY WIDTH ENTRANCE LOCATED AT GLOBE INDUSTRIES ON 197 ASH STREET.**

***95-14 BUDGET AND APPROPRIATIONS COMMITTEE REPORT RE: MUNICIPAL SUSPENSE TAX BOOK.**

**** COUNCIL MEMBER JACKSON SECONDED.**

**** THE MOTION TO APPROVE THE CONSENT CALENDAR PASSED WITH 18 IN FAVOR FOR 88-14 (BRANNELLY, TORRES, BANTA, TAYLOR-MOYE, HALSTEAD, SWAIN, MCCARTHY, LYONS, VIZZO-PANICCIA, MCBRIDE-LEE, SALTER, CASTILLO, L. MARTINEZ, FELICIANO, MARELLA, JACKSON AND E. MARTINEZ) AND ONE ABSTENTION (HOLLOWAY) AND PASSED UNANIMOUSLY FOR 95-14.**

***100-14 Contracts Committee Report re: Agreement with Vision Government Solutions, Inc. for the Reappraisal and Revaluation of Taxable, Real and Exempt Property Located within the corporate limits of the City.**

Council Member Brannelly said that there may be a change in the tax re-evaluation because the change to Land Evaluation.

Ms. Kelly-Lenz, the Finance Director, came forward to say that the change for land evaluation tax will include City involvement along with State and Federal involvement. If the legislation approves the land evaluation tax, the re-evaluation would be done in 2018 when all the property would be re-evaluative.

Council Member Halstead said that he was in favor of the land evaluation tax until a better method is identified.

Council President McCarthy said that the appraisal effort has to go forward and while the land evaluation process is a lengthy one. While he was in favor of the land evaluation, he felt that the best thing would be to do would be to pass the contract and have the land evaluation process move on a parallel track.

Council Member Halstead said that this was wrong.

**** COUNCIL MEMBER HALSTEAD MOVED TO TABLE AGENDA ITEM 100-14.
** THE MOTION FAILED DUE TO A LACK OF A SECOND.**

**** COUNCIL MEMBER BRANNELLY MOVED AGENDA ITEM 100-14 CONTRACTS COMMITTEE REPORT RE: AGREEMENT WITH VISION GOVERNMENT SOLUTIONS, INC. FOR THE REAPPRAISAL AND REVALUATION OF TAXABLE, REAL AND EXEMPT PROPERTY LOCATED WITHIN THE CORPORATE LIMITS OF THE CITY.**

**** COUNCIL PRESIDENT MCCARTHY SECONDED.**

**** THE MOTION TO APPROVE THE CONSENT CALENDAR PASSED WITH 18 IN FAVOR (BRANNELLY, TORRES, BANTA, TAYLOR-MOYE, SWAIN, MCCARTHY, LYONS, VIZZO-PANICCIA, MCBRIDE-LEE, SALTER, CASTILLO, L. MARTINEZ, FELICIANO, MARELLA, JACKSON, E. MARTINEZ AND HOLLOWAY) AND ONE OPPOSED (HALSTEAD)**

MATTERS TO BE ACTED UPON:

**** COUNCIL PRESIDENT MCCARTHY MOVED THE FOLLOWING MATTERS TO BE ACTED UPON:**

89-14 Public Safety and Transportation Committee Report re: Grant Submission: U.S. Department of Justice (DOJ), Office of Justice Programs (OJP) and Bureau of Justice Assistance (BJA) Byrne Criminal Justice Innovation Program (Project #16430).

**** COUNCIL MEMBER LYONS SECONDED.**

**** THE MOTION PASSED UNANIMOUSLY.**

UNFINISHED BUSINESS:

33-14 Economic and Community Development and Environment Committee Report re: Resolution Authorizing the Disposition of certain City-Owned Properties by Auction, Sale to Abutter or by Sale to Community Based Housing Development Corporations.

**** COUNCIL MEMBER LYONS MOVED AGENDA ITEM 33-14 ECONOMIC AND COMMUNITY DEVELOPMENT AND ENVIRONMENT COMMITTEE REPORT RE: RESOLUTION AUTHORIZING THE DISPOSITION OF CERTAIN CITY-OWNED PROPERTIES BY AUCTION, SALE TO ABUTTER OR BY SALE TO COMMUNITY BASED HOUSING DEVELOPMENT CORPORATIONS.**

**** COUNCIL PRESIDENT MCCARTHY SECONDED.**

Council Member Holloway said that he wanted to make sure that the properties in the center of Bridgeport are not being given to non-profits that don't pay taxes. Groups like Habitat build homes that are put back on the tax rolls.

Council Member Halstead said that there was a reverter clause in the contract that returns the property to the City.

Council Member Feliciano said that there needed to be a cleaner process for this type of transaction.

**** THE MOTION TO APPROVE AGENDA ITEM 33-14 PASSED UNANIMOUSLY.**

Council Member Halstead said that he would like to take a personal privilege. He said that there had been an issue about a tax abatement. He said that this was not appropriate to have negotiations with the developers without notifying the Council Members and that there needs to be more inclusive and transparent process. The only way he found out about the meeting was when he happened to see a group of people gathered in one location.

Council Member McBride-Lee said that she was involved in the effort to support those who were hurt and in pain in the neighborhood where the shooting took place. Mayor Finch commented that after Rev. Lee concluded her Sunday Services, she led a march down to Trumbull Gardens and the following day lead another march that had over 500 people participating in it. He spoke about how the State regulates the cars more than they regulate firearms. He said that in the past, there were no background checks at gun shows because there were no computers to facilitate this. However, now, our phones can do a background check. The City will be doing a gun buy-back program. While hunting guns and rifles are used for hunting, they are also used for crimes.

Council Member E. Martinez said that she would like to thank the Police Department. She recommended that a Healing Community Service be set up for Trumbull Gardens residents and others who were harmed by this. She said that the children continue to walk through the memorials on the site and they grow up believing this is something that will be part of their lives forever.

Council Member E. Martinez said that the Mayor should not have to initiate a buy-back program with private funding. Mayor Finch said that he had been in touch with the legislators about this.

Council Member L. Martinez said that there were many people who were working to help the people. She spoke about two groups that had met together to help one another when tragedy strikes. Bridgeport is a City that cares and there are many people who work hard every day to improve it.

Council Member Swain said that that she was dismayed about the issue regarding the tax abatement. Mayor Finch replied that all the Council Members should be welcomed at all meetings.

Council Member Lyons said that there was another shooting at the end of her street. She said that she was at the scene and would encourage the Governor to give the City more funding for police officers. The summer is coming and that is not a comfortable thought.

Council Member Taylor-Moye said that she was pleased that the City residents stood with the residents of Trumbull Gardens. Bridgeport residents stick together when things happen. The

nine people who were shot could have been shot in any part of the City. God Bless all the victims and the City.

Council President McCarthy said that Council Member Vizzo-Paniccia and Council Member Holloway were at the National League of City Elected Officials Summer Conference in Salt Lake City, UT and a moment of silence was requested at that meeting when the news about the shooting was announced.

Council President McCarthy also reminded everyone that that there is only one Council Meeting in July and one in August.

ADJOURNMENT

**** COUNCIL PRESIDENT MCCARTHY MOVED TO ADJOURN.**

**** COUNCIL MEMBER MARELLA SECONDED.**

**** THE MOTION TO ADJOURN PASSED UNANIMOUSLY.**

The meeting adjourned at 8:02 p.m.

Respectfully submitted,

S. L. Soltes
Telesco Secretarial Services



OFFICE OF THE CITY CLERK
COMMUNICATION FORM

IMMEDIATE CONSIDERATION

Below to be used for processing of Immediate Consideration items only

Log ID/Item number:	104-14
Submitting Department / Contact Name	Chief Administrative Office, Teri Brown, Assistant Chief Administrative Officer
Subject:	Proposed Federal Aviation Administration (FAA) Grant Offer for Airport Improvement Program (AIP) Project No. 3-09-0002-031-2015 at I.I. Sikorsky Memorial Airport in Stratford, Connecticut.
Referred to Committee:	Immediate Consideration
City Council Date:	June 15, 2015

Attest:

Fleeta C. Hudson
Fleeta C. Hudson, City Clerk

Date

Approved by:

Bill Finch
Bill Finch, Mayor

Date

6/23/15

ATTEST
CITY CLERK

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2015 JUN 24 A 9:24



CITY OF BRIDGEPORT
CHIEF ADMINISTRATIVE OFFICE

999 Broad Street
Bridgeport, Connecticut 06604
Telephone (203) 576-3964 Fax (203) 332-5652

BILL FINCH
Mayor

ANDREW J. NUNN
Chief Administrative
Officer

THERESA A. BROWN
Asst. Chief Administrative
Officer

June 10, 2015

Office of the City Clerk
City of Bridgeport
45 Lyon Terrace, Room 204
Bridgeport, Connecticut 06604

RE: Resolution – Authorization to Execute Acceptance of Federal Aviation Administration (FAA) Grant Offer for Airport Improvement Project (AIP) Project No. 3-09-0002-031-2015 at I.I. Sikorsky Memorial Airport in Stratford, Connecticut

Attached, please find a Grant Summary and Resolution for the FAA Grant Offer for AIP Project No. 3-09-0002-031-2015 for immediate consideration at the City Council meeting on June 15, 2015.

Grant Offer: Acceptance of FAA Grant Offer for AIP Project No. 3-09-0002-031-2015

If you have any questions or require any additional information please contact me at 203-337-2341 or teri.brown@bridgeportct.gov.

Thank you,

Teri Brown
Assistant Chief Administrative Officer

ATTEST
CITY CLERK

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2015 JUN 10 P 2:47



GRANT SUMMARY

PROJECT TITLE: Federal Aviation Administration (FAA) Grant Offer for Airport Improvement Program (AIP) Project No. 3-09-0002-031-2015 at I.I. Sikorsky Memorial Airport in Stratford, Connecticut

DEPARTMENT SUBMITTING INFORMATION: Chief Administrative Office and Sikorsky Memorial Airport

CONTACT NAME: Teri Brown

PHONE NUMBER: 203-337-2341

PROJECT SUMMARY/DESCRIPTION: As part of a series of FAA supported significant improvements at Sikorsky Memorial Airport, the FAA has made the above referenced grant offer to the City of Bridgeport. This grant offer approves the City's application for funding for a project at Sikorsky Memorial Airport consisting of Environmental Permitting Monitoring associated with construction of a Runway Safety Area for Runway 06/24. Under the terms of the grant, the FAA agrees to pay ninety (90) percent of allowable costs up to \$121,140. Acceptance of the offer must be executed by the City of Bridgeport's authorized representative by July 10, 2015.

A Resolution by the Bridgeport City Council

Regarding the

Federal Aviation Administration Grant Offer for Airport Improvement Project No. 3-09-0002-031-2015 at I.I. Sikorsky Memorial Airport in Stratford, Connecticut

(DRAFT)

WHEREAS, the Federal Aviation Administration makes Federal funding assistance available to airports for the purpose of airport improvements; and

WHEREAS, such funding has been offered to the City of Bridgeport as Airport Improvement Project 3-09-0002-031-2015 for improvements at Sikorsky Memorial Airport; and

WHEREAS, funds under this grant will provide funding for Environmental Permitting Monitoring in connection with construction of a runway safety area for Runway 06/24; and

WHEREAS, the City of Bridgeport will act as sponsor for the Environmental Permitting Monitoring at Sikorsky Memorial Airport; and

WHEREAS, it is desirable and in the public interest that the City of Bridgeport act as sponsor on behalf of the Sikorsky Memorial Airport to administer the FAA funding plus any additional City funding; and

WHEREAS, it is desirable and in the public interest that the City of Bridgeport, for Sikorsky Memorial Airport, accepts and executes the Federal Aviation Administration Offer for Airport Improvement Project No. 3-09-0002-031-2015 for improvements which, consistent with other ongoing improvements at the Airport, will greatly enhance the safety, use, and public benefits associated with Sikorsky Memorial Airport.

NOW THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL:

1. That it is cognizant of the City's grant offer from the Federal Aviation Administration for Airport Improvement Project No. 3-09-0002-031-2015; and
2. That it hereby authorizes, directs and empowers the Chief Administrative Officer to accept and execute the Grant Offer for Airport Improvement Project No. 3-09-0002-031-2015 and to provide such additional information and to execute such other contracts, amendments, and documents as may be necessary to administer this grant.



OFFICE OF THE CITY CLERK RESOLUTION FORM

SECTION I CITY COUNCIL SUBMISSION INFORMATION

Log ID/Item Number:	103-14	AT ST CITY CLERK	RECEIVED CITY CLERK'S OFFICE JUN -9 A 10:33
Submitted by Councilmember(s):	Lydia N. Martinez		
Co-Sponsors(s):	Milta I. Feliciano		
District:	137TH		
Subject:	All Way Stop Sign		
Referred to:	Board of Police Commissioners		
City Council Date:	June 15, 2015		

SECTION II RESOLUTION (PLEASE TYPE BELOW)

WHEREAS, maintaining the safety and well being of all Bridgeport residents is a priority of the City Council; and

WHEREAS, our streets and roads are travelled by motor vehicles, bicyclists, motorcyclists and pedestrians alike; and

WHEREAS, the intersection of Park Street with Berkshire Avenue is abutted by an assortment of private homes and multifamily residences occupied by older adults, many who are handicapped, families with young children, and persons with developmental disabilities; and

WHEREAS, daily the intersection is traversed by a large number of motor vehicles, light and heavy commercial trucks, and police, fire and emergency medical response vehicles answering calls for service; and

WHEREAS, these vehicles often travel at high speed on Park Street and when approaching the Berkshire Avenue intersection do not slow down thus increasing risk of a serious accident occurring; and

WHEREAS, these vehicles often do not come to a complete stop at the stop signs and stop lines on Berkshire Avenue before turning onto or crossing Park Street thus increasing risk of a serious accident occurring; and

WHEREAS, residents complain that recently due to these hazardous conditions they have witnessed several near accidents that could have been quite serious and fear for the safety of themselves and others; and

NOW, THEREFORE, BE IT RESOLVED, that the City Council hereby requests the Board of Police Commissioners designate the intersection of Park Street and Berkshire Avenue as being an "All Way Stop" with appropriate signage being posted and stop lines being painted on the roadway surface at all four corners.

Four (4) Images Attached



OFFICE OF THE CITY CLERK RESOLUTION FORM

SECTION III SUBSEQUENT REFERRALS/REPLIES AND DATE SENT/RECEIVED

DEPARTMENT	Referral date sent	Response Received	Date reply received
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
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Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	

SECTION IV PUBLIC HEARING INFORMATION

Public Hearing Required	Details	Date
<input type="checkbox"/> Yes <input type="checkbox"/> No	Public Hearing Ordered on:	
	CT Post Publication Date(s):	
	Public Hearing Held on:	

SECTION V WITHDRAWN/SINE DIE INFORMATION

Choose an item.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Date:
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SECTION VI AMENDMENTS/EXHIBITS

Choose an item.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Date:
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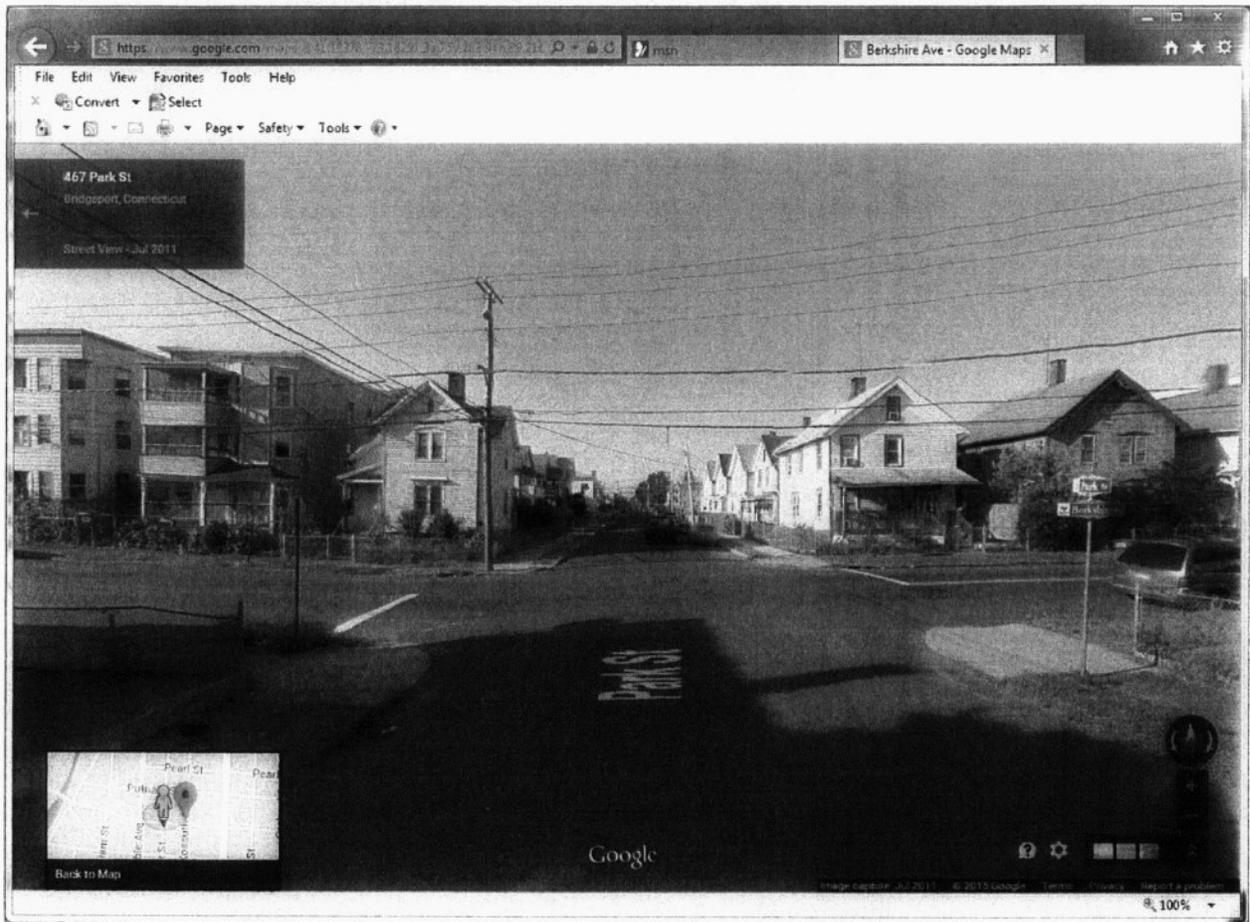
SECTION VII COMMITTEE ACTION/APPROVAL INFORMATION

Approved by Committee:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Date:
Tabled:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Date:

SECTION VIII DATE OF APPROVAL/DENIAL FROM CITY COUNCIL

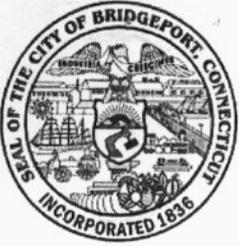
City Council Approval Date:	
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OFFICE OF THE CITY CLERK RESOLUTION FORM

SECTION I CITY COUNCIL SUBMISSION INFORMATION

Log ID/Item Number:	105-14
Submitted by Councilmember(s):	Enrique Torres
Co-Sponsors(s):	Choose an item.
District:	130TH
Subject:	City Council Member Requests for Departmental Information
Referred to:	Miscellaneous Matters Committee
City Council Date:	June 15, 2015

SECTION II RESOLUTION (PLEASE TYPE BELOW)

WHEREAS, each of the twenty City Council members has been elected by voters in a District to represent their specific individual interests; and

WHEREAS, the twenty elected City Council members form an elected body that is called to consider the broad interests of the City as an entirety ; and

WHEREAS, the current City Charter of the City of Bridgeport (Chapter 9, Section 4) says: *"The city council shall have the full power to require the different City officers and employees to furnish all information which they may possess and to exhibit to it all books, contracts, reports and other papers and documents in their respective departments.....and it is hereby made the duty of all the city officers to furnish and exhibit the same when so required."* and

NOW, THEREFORE, BE IT RESOLVED, that, hereafter that written request for Departmental Information of any kind from any City Council member to any City Department or Department Director or their designee will be provided expeditiously. And that an immediate response by electronic mail will be provided to all City Council members that said request was received along with a realistic time frame anticipated by the Department for delivering the balance of the information requested. This change in the process will show a willingness by City Departments to assist all Council members in preparing for votes and in researching issues and concerns that are expressed by and important to Bridgeport residents.

RECEIVED
CITY CLERK'S OFFICE
2015 JUN 10 P 4: 04
ATTEST
CITY CLERK



OFFICE OF THE CITY CLERK RESOLUTION FORM

SECTION III SUBSEQUENT REFERRALS/REPLIES AND DATE SENT/RECEIVED

DEPARTMENT	Referral date sent	Response Received	Date reply received
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
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Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
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Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	
Choose an item.		<input type="checkbox"/> Yes <input type="checkbox"/> No	

SECTION IV PUBLIC HEARING INFORMATION

Public Hearing Required	Details	Date
<input type="checkbox"/> Yes <input type="checkbox"/> No	Public Hearing Ordered on:	
	CT Post Publication Date(s):	
	Public Hearing Held on:	

SECTION V WITHDRAWN/SINE DIE INFORMATION

Choose an item.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Date:
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SECTION VI AMENDMENTS/EXHIBITS

Choose an item.	<input type="checkbox"/> Yes <input type="checkbox"/> No	Date:
-----------------	--	-------

SECTION VII COMMITTEE ACTION/APPROVAL INFORMATION

Approved by Committee:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Date:
Tabled:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Date:

SECTION VIII DATE OF APPROVAL/DENIAL FROM CITY COUNCIL

City Council Approval Date:	
-----------------------------	--

RECEIVED
 CITY CLERK'S OFFICE
 2015 JUN 10 P 4: 04
 ATTEST
 CITY CLERK

Item# *88-14 Consent Calendar

Application for Waiver to Extend Driveway Width
Entrance Located at Globe Industries on 197 Ash
Street.



**Report
of
Committee
on**

Public Safety and Transportation

Submitted: June 15, 2015

Adopted:

Attest:

Fleeta C. Hudson

Fleeta C. Hudson, City Clerk

Approved by:

Bill Finch, Mayor



City of Bridgeport, Connecticut

To the City Council of the City of Bridgeport:

The Committee on **Public Safety and Transportation** begs leave to report; and recommends for adoption the following resolution:

***88-14 Consent Calendar**

WHEREAS, Municipal Code Section 12.08.030 sets forth the requirements for driveway construction as no wider than twenty (20) feet at the sidewalk and no closer together than 25 feet from each other; and

WHEREAS, Municipal Code Section 12.08.070 sets forth an application process for any person desiring a permit for a driveway approach having a greater width than twenty (20) feet at the sidewalk, or any person desiring to establish two driveway approaches for the same property which shall be closer together than twenty-five (25) feet; and

WHEREAS, an application for a permit to construct driveways has been duly and properly submitted by the Director of Public Facilities to the City Council; Now, therefore be it

RESOLVED, That the City Council does hereby order the issuance of a permit(s) to the applicant listed below for location and purposes herein specified:

APPLICANT:	Cabezas DeAngelis Engineers & Surveyors 1450 Barnum Avenue, Suite 201 Bridgeport Connecticut, 06610
PURPOSE(S):	Construction of Driveways: In excess of twenty (20) feet in width
LOCATION(S):	197 Ash Street; Globe Industries



Report of Committee on Public Safety and Transportation
*88-14 Consent Calendar

-2-

RESPECTFULLY SUBMITTED,
THE COMMITTEE ON PUBLIC SAFETY
AND
TRANSPORTATION

Michelle A. Lyons

Michelle A. Lyons, Co-Chair

Denese Taylor-Moye

Denese Taylor-Moye, Co-Chair

Jack O. Banta

Jack O. Banta

Richard D. Salter, Sr.

Richard D. Salter, Sr.

Alfredo Castillo

Eneida L. Martinez

Eneida L. Martinez

Melanie Jackson

Melanie Jackson



CITY OF BRIDGEPORT
ENGINEERING DEPARTMENT

CITY HALL - 45 Lyon Terrace
Bridgeport, Connecticut 06604-4023
Telephone (203) 576-7211
Fax (203) 576-7154

B.H.I. FINCH
Mayor

JON URQUIDI
City Engineer

April 22, 2015

Jorge Garcia
Director Public Facilities
Bridgeport, Connecticut 06604

Re: **185, 197 and 235 Ash Street – Application for Waiver of City Council
Ordinance 12.08.07 to Extend Driveway Width**

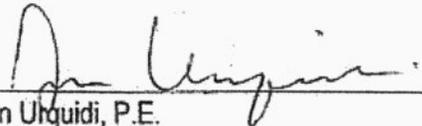
Dear Mr. Garcia:

Please be advised that we have reviewed the attached plan labeled "WB-62 Truck Template Proposed Curb Cut 197 Ash Street" Prepared by Cabezas DeAngelis Dated January 2015, and the letter from Mr. Chris DeAngelis dated January 26, 2015, for the extension of a driveway width for Globe Industries on Ash Street. The purpose of the extended driveway curb cut is to provide adequate turning movements for delivery Vehicles in the facility and so that those vehicles do not encroach on the sidewalk in front of the property. The existing curb cut is approximately 165 feet long and the sidewalks and curb are generally in disrepair

We recommend that approval be granted for the driveway as depicted on the plans based on the following additional comments:

1. The property owner has agreed to replace the sidewalks and curbs at their expense.
2. The curb cut will be reduced from 165 feet to 45 feet
3. The petitioner's request must be formally referred to City Council for any waiver requests to City Ordinances. The request should be accompanied by a recommendation by the City Engineer's office that wider driveways are required to facilitate delivery to the site in and out of the subject property. A wider curb cut will also facilitate emergency vehicle movements in and out of the site.

Very truly yours,


Jon Urquidi, P.E.
City Engineer

JPU/p
c: Bobby Kennedy, Public Facilities
Fire Chief Brian Rooney



ENGINEERS & SURVEYORS • 1450 BARNUM AVENUE • SUITE 201 • BRIDGEPORT, CT 06610

January 26, 2015

Mr. Jorge Garcia, Director
Public Facilities Administration
City of Bridgeport / City Hall Annex
99 Broad Street, 2nd Floor
Bridgeport, CT 06604

Re: 197 Ash Street

Dear Mr. Garcia:

Attached please find the site plan for the proposed building addition at the above noted address. The owner of the building is Globe Industries, a long-standing business in Bridgeport that has occupied the property for several years and seeks to expand.

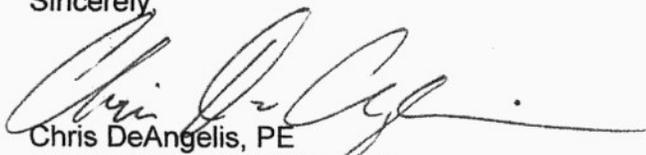
The new building addition requires a loading dock to be constructed along Ash Street. In order to accommodate trucks into the dock, a 45' wide curb cut is required (see Figure A), which is greater than the 30' maximum allowed for commercial driveways. Therefore, we request that the City Council allow this curb cut to be constructed as shown on the project plans.

Please note the following important considerations:

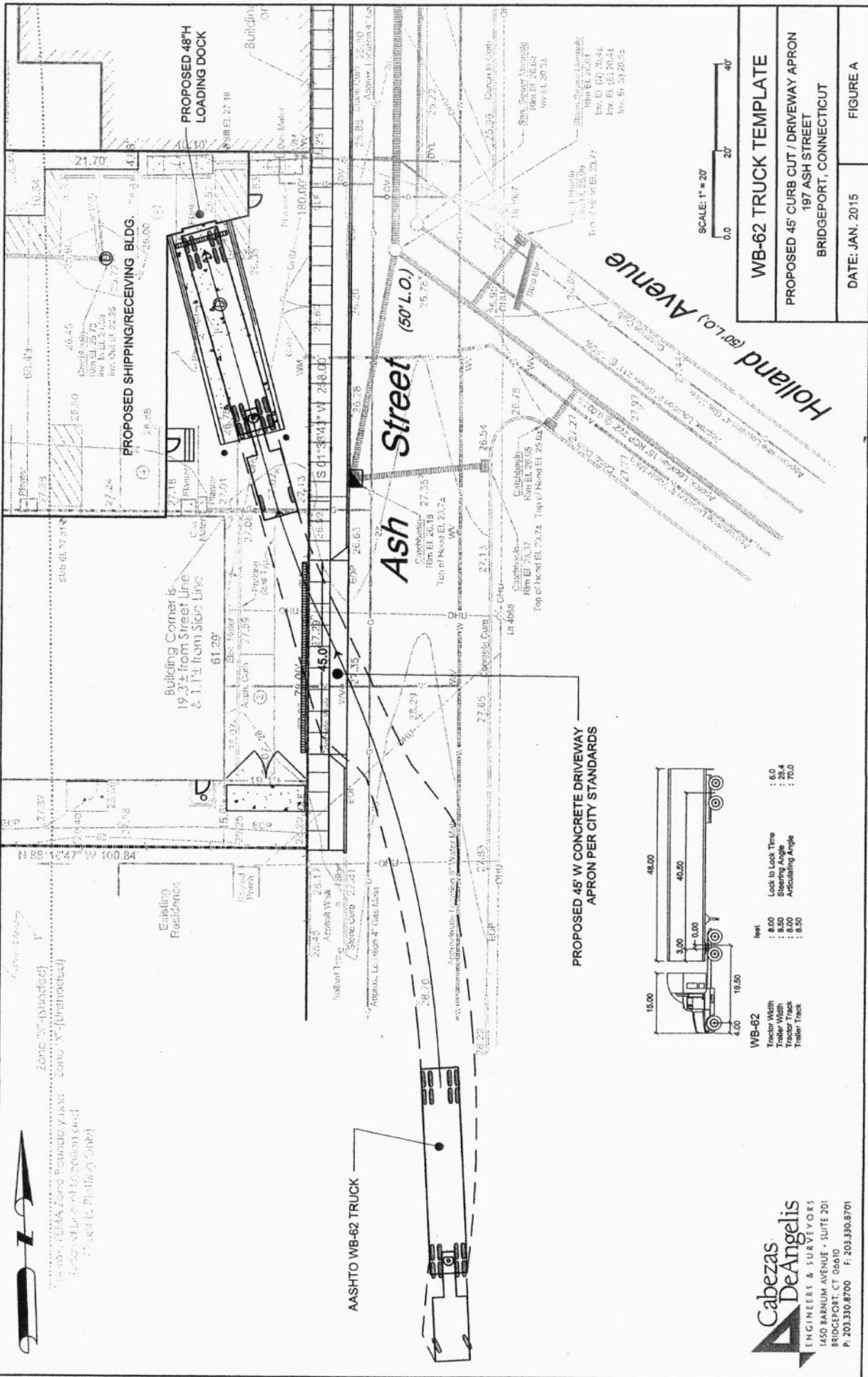
1. The existing sidewalk along Ash Street is in disrepair, and will be reconstructed with new walks and curbs to City standards;
2. The existing curb cut opening is approximately 165' as shown on Figure B attached, so the new curb cut will actually reduce the existing opening significantly;
3. The new loading dock on Ash Street will help to remove some truck traffic from Dewey Street which the owner currently is using for truck deliveries;
4. The project will include other improvements such as drainage, landscaping and the aforementioned sidewalk and curb improvements.

We hope that this letter meets with your satisfaction at this time. If you have any questions regarding this request, please do not hesitate to contact me. Thank you.

Sincerely,



Chris DeAngelis, PE
CABEZAS-DeANGELIS, LLC

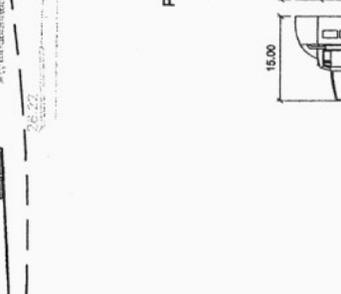


Zone V (Standard)
 Zone W (Unimproved)
 Zone X (Unimproved)
 Zone Y (Unimproved)

PROPOSED SHIPPING/RECEIVING BLDG.
 PROPOSED 48" LOADING DOCK

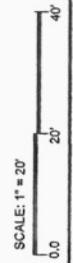
AASHTO WB-62 TRUCK

PROPOSED 45' W CONCRETE DRIVEWAY APRON PER CITY STANDARDS



WB-62	feet
Tractor Width	: 8.00
Tractor Track	: 4.00
Trailer Width	: 18.50
Trailer Length	: 40.50
Lock to Lock Time	: 6.0
Steering Angle	: 25.4
Articulating Angle	: 70.0

WB-62 TRUCK TEMPLATE
 PROPOSED 45' CURB CUT / DRIVEWAY APRON
 197 ASH STREET
 BRIDGEPORT, CONNECTICUT

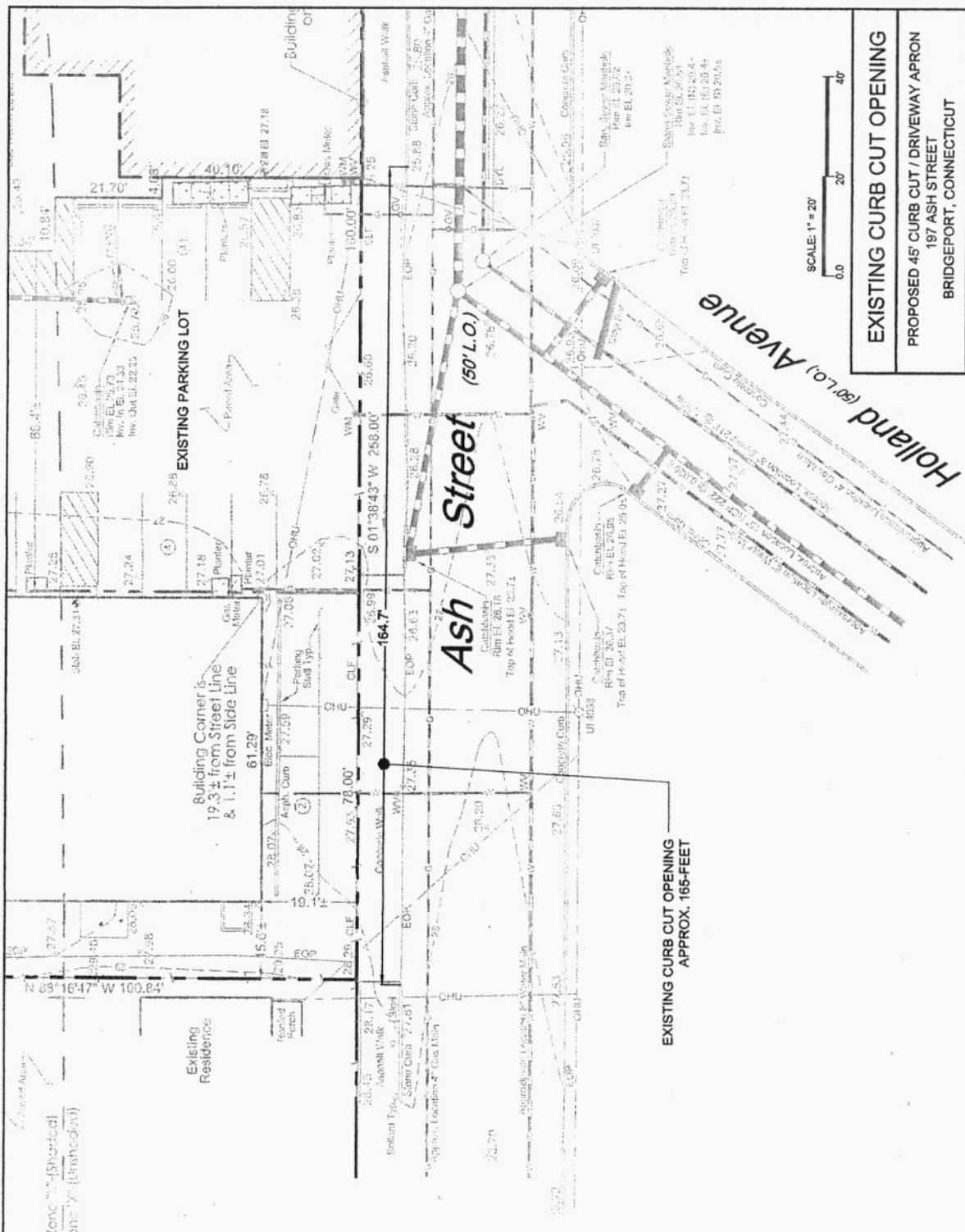


DATE: JAN. 2015
 FIGURE A

Cabezas DeAngelis
 ENGINEERS & SURVEYORS
 1450 BARNUM AVENUE - SUITE 201
 BRIDGEPORT, CT 06610
 P: 203.330.8700 F: 203.330.8701



Zone 'X' (Shaded)
 Zone 'Y' (Unshaded)



EXISTING CURB CUT OPENING	
PROPOSED 45' CURB CUT / DRIVEWAY APRON 187 ASH STREET BRIDGEPORT, CONNECTICUT	
DATE: JAN. 2015	FIGURE B

Cabezas DeAngelis
 ENGINEERS & SURVEYORS
 1450 BARNUM AVENUE • SUITE 201
 BRIDGEPORT, CT 06610
 P. 203.330.8700 F. 203.330.8701

Item# *100-14 Consent Calendar

Agreement with Vision Government Solutions, Inc. for the Reappraisal and Revaluation of Taxable, Real Exempt Property Located within the Corporate Limits of the City of Bridgeport.



**Report
of
Committee
on
Contracts**

Submitted: June 15, 2015

Adopted:

Attest:

Fleeta C. Hudson
Fleeta C. Hudson, City Clerk

Approved by:

Bill Finch, Mayor



City of Bridgeport, Connecticut

To the City Council of the City of Bridgeport.

The Committee on **Contracts** begs leave to report; and recommends for adoption the following resolution:

***100-14 Consent Calendar**

RESOLVED, That the attached Agreement with Vision Government Solutions, Inc. for the reappraisal and revaluation of taxable, real and exempt property within the corporate limits of the City of Bridgeport, Connecticut be and it hereby is, in all respects, approved, ratified and confirmed.

**RESPECTFULLY SUBMITTED,
THE COMMITTEE ON CONTRACTS**

Howard Austin Sr., Co-Chair

Milta I. Feliciano, Co-Chair

Susan T. Brannelly

James Holloway

Richard D. Salter, Sr.

Alfredo Castillo

Melanie Jackson

**CONTRACT FOR THE
REAPPRAISAL AND STATISTICAL UPDATE
OF TAXABLE REAL AND EXEMPT PROPERTY
LOCATED WITHIN THE CORPORATE LIMITS OF
BRIDGEPORT, CONNECTICUT
Effective October 1, 2015**

This agreement, made this ____ day of _____, 20__, by and between the CITY OF BRIDGEPORT, a municipal corporation, located in the County of Fairfield, State of Connecticut, hereinafter termed the CITY, acting by and through its Mayor, having been so duly authorized, and Vision Government Solutions, Inc. hereinafter termed the CONTRACTOR.

WITNESSETH THAT:

WHEREAS, the CITY, through its ASSESSOR, plans to undertake a reappraisal and statistical update of all real property located within the corporate limits of the CITY; and,

WHEREAS, the CONTRACTOR is to assist the ASSESSOR in making such reappraisal and statistical update and represents that it is experienced and qualified to carry on such work, and is familiar with the recognized appraisal practices and with the standards required for determining values for assessment purposes,

NOW, THEREFORE, the CITY and the CONTRACTOR, for the consideration and under the conditions hereinafter set forth, hereby agree as follows:

1. EMPLOYMENT OF CONTRACTOR

The CITY hereby engages the CONTRACTOR and the CONTRACTOR hereby agrees to make a reappraisal and statistical update of real property located within the corporate limits of the CITY and to perform all the services and furnish all the databases, labor, materials, supplies and equipment and perform all work for the project in strict accordance with the Contract Specifications, a copy of which is attached hereto and made a part hereof, all such labor, materials, supplies and equipment to comply with the requirements of the pertinent Connecticut General Statutes and Special Acts, pertinent rulings of the Secretary of Office of Policy and Management, pertinent ordinances and agreements of the CITY, and pertinent decisions of several courts.

2. COMMENCEMENT AND COMPLETION DATES

The CONTRACTOR agrees to commence the work no later than ninety (90) days after the signing of the contract or as agreed upon by the ASSESSOR in accordance with the Contract Specifications.

3. COMPENSATION

The CITY agrees to pay the CONTRACTOR the total sum of **Three Hundred Thirty-Five Thousand Dollars (\$335,000)** as compensation for the CONTRACTOR'S services to be performed, the software and databases to be delivered: the records, materials, forms and supplies to be furnished by the CONTRACTOR. The CONTRACTOR and the CITY agree that the methods of billing and payments shall be set forth in the Contract Specifications, including fiscal year limitations.

4. TRANSFER, ASSIGNMENT AND SUBLETTING of CONTRACT

The CONTRACTOR shall not assign, transfer or sublet the contract or any interest or part therein, without first receiving written approval from the CITY, such approval not being unreasonably withheld. It should be mutually agreed and understood that said consent by the CITY shall in no way release CONTRACTOR from any responsibility or liability as covered in the Contract Specifications or this contract.

Nothing contained in this contract or Contract Specifications shall be deemed to create any contractual relationship between any subcontractor and the CITY.

5. INDEMNIFICATION AND CONDITIONS

CONTRACTOR shall, at all times, defend, indemnify, protect and save harmless, the CITY and its officers, agents and employees from any and all claims or demands for damage for bodily injury, including death or property damages sustained by any party, including officers, agents and employees of CONTRACTOR. Said hold harmless clause shall include, but not be limited to investigation, defense and settlement or payment or judgment of any liabilities.

6. MISREPRESENTATION OR DEFAULT

The CITY may void this agreement if CONTRACTOR has misrepresented any offering or defaults on any contract with a Connecticut municipality. CONTRACTOR shall, also, immediately notify the CITY OF any claim or case formally brought against CONTRACTOR.

7. CANCELLATION

If CONTRACTOR, with the result that it does not pay its debts as they become due, or if a receiver shall be appointed for its business or its assets and not voided within 60 days, or if interest herein shall be sold under execution or if it shall be adjudicated insolvent or bankrupt, then and forthwith thereafter, the CITY shall have the right, at its option and without prejudice to its rights hereunder, to terminate the contract.

IN WITNESS HEREOF, the CITY OF BRIDGEPORT, Connecticut and VISION have executed this contract on the date first above-mentioned by their duly authorized officers.

IN THE PRESENCE OF

CITY OF BRIDGEPORT, CONNECTICUT

Witness

Signed: _____

By: _____

Its: _____



Witness

VISION GOVERNMENT SOLUTIONS, INC.

Signed: Charles T. O'Shea

By: Charles T. O'Shea

Its: Exec VP

CONTRACT SPECIFICATIONS

1 DEFINITIONS

- 1.1 **ASSESSOR:** The word "Assessor" shall mean the duly appointed Assessor of BRIDGEPORT, Connecticut.
- 1.2 **PROJECT:** The word "PROJECT" shall mean the statistical update of all real property within the corporate limits of BRIDGEPORT, Connecticut for assessment purposes.
- 1.3 **CONTRACTOR:** The word "CONTRACTOR" shall mean the certified revaluation company who shall perform this project.
- 1.4 **CITY:** The word "CITY" shall hereinafter mean The CITY OF BRIDGEPORT, Connecticut.

2 SCOPE OF PROJECT

This Project includes the statistical update of all real property within the corporate limits of BRIDGEPORT, Connecticut effective as of October 1, 2015.

CONTRACTOR shall furnish all the databases, labor, materials, supplies and equipment and perform all work for the project in strict accordance with the hereinafter-listed specifications.

All work will be carried out and all forms, materials, and supplies utilized in this project shall conform to and be carried out in accordance with the requirements of the Secretary, Office of Policy and Management, the Connecticut General Statutes, and Regulations of Connecticut State Agencies pertaining hereto, and shall be subject to the direct supervision and approval of the ASSESSOR of the CITY OF BRIDGEPORT.

The values to be determined shall be the present true and actual value of each parcel of real property as that term is used in Title 12 of the Connecticut General Statutes and shall be based upon recognized methods of appraisal and conform to Uniform Standards of Professional Appraisal Practices, as required by Connecticut General Statutes for the licensing and certification of all individuals involved in the appraisal of real estate.

The Project will cover and include all real property in BRIDGEPORT including the following categories:

1. All taxable real estate, land, buildings, and improvements.
 2. All tax-exempt real estate, land, buildings, and improvements.
 3. All public utility and buildings.
- 2.1 **EFFECTIVE DATE:** The effective date of this project shall be for the October 1, 2015 Grand List and the pricing and valuation by CONTRACTOR of all land, buildings and property under this CONTRACT shall reflect the present true and actual value as of October 1, 2015.
 - 2.2 **PARCEL COUNT:**

CONTRACTOR's price for the statistical update is based upon the following anticipated parcel counts (estimated by CITY as of October 1, 2015)

Residential Dwellings – 22,076
Residential Condominiums – 6,109
Residential Vacant Land - 1,035
Commercial Buildings – 1,746
Apartments – 421
Industrial Buildings – 710
C&I Vacant Land – 578
Exempt Improved – 910
Exempt Vacant – 976

2.3 CITY DATA

Current Basis of Assessment	
Taxable Grand List as of October 1, 2014	7,172,603,143
Date of Last Revaluation	October 1, 2008
Estimated 2009 Population	147,216
Area of the City	16 sq miles

3 GENERAL CONDITIONS

3.1 STATE CERTIFICATION

The CONTRACTOR must hold, from the time of submission of the proposal through the completion of all work hereinafter required, a valid Connecticut Revaluation Company Certification pursuant to Section 12-2c of the Connecticut General Statutes.

3.2 PERSONNEL

CONTRACTOR shall provide experienced and qualified personnel in compliance with the requirements for the Equal Employment Opportunity provisions of Federal and State governments. CONTRACTOR shall submit to the CITY, written qualifications of all personnel assigned to this project.

All personnel assigned to this project shall be subject to the approval of the ASSESSOR, prior to the commencement of the individual's duties in the CITY and shall be caused to be removed from the project by CONTRACTOR upon written notification of the ASSESSOR.

3.2.1 Minimal Qualifications

3.2.1.a Project Manager or Supervisor:

The administration of this project shall be assigned by CONTRACTOR to a project manager or supervisor, who shall be certified by the State of Connecticut as a Revaluation Supervisor pursuant to Section 12-2c of the Connecticut General Statutes, and such other statutes and regulations that the State of Connecticut may promulgate from time to time, and shall have not less than three (3) years of practical appraisal management experience in the appraisal of commercial, industrial, apartment, and residential type properties. The project manager or supervisor shall be subject to approval by the ASSESSOR.

3.2.1.b Reviewers and Appraisers:

Reviewers and appraisers shall be certified under the Connecticut Revaluation Certification Program pursuant to Section 12-2c of the Connecticut General Statutes, and such other statutes and regulations that the State of Connecticut may promulgate from time to time, and shall not have less than three (3) years of practical appraisal experience in the appraisal of the particular type of properties for which they are responsible. Two (2) years of this experience shall have been in the mass appraisal field and shall have occurred within the past five (5) years. All reviewers and appraisers shall be subject to the approval of the ASSESSOR prior to the commencement of their duties on this project.

3.2.1. cBackground Check:

All personnel will be subject to background checks by the BRIDGEPORT Police Department.

3.2.2 Identification

All field personnel shall have visible clip-on identification cards, which shall include an up-to-date photograph, supplied by CONTRACTOR and signed by the CITY 'S Assessor. In addition, all field personnel shall carry a "Letter of Introduction" signed by the ASSESSOR. All automobiles used by field personnel shall be registered with the CITY's Police Department giving license number, make, model, year and color of all vehicles used on this Project.

3.2.3 Office Hours and Staffing:

CONTRACTOR shall maintain an office in the BRIDGEPORT City Hall, as needed, from the commencement of work on this project through the conclusion of the public hearings. This office shall be staffed at Contractor's expense with clerical staff as needed, as well as other qualified full-time persons so as to ensure the successful completion of this project in accordance with the completion dates set forth in the Contract Specifications and any Addenda thereto.

3.2.4 Conflict of Interest

No resident of the CITY or CITY employee shall be employed by CONTRACTOR, except in a clerical capacity, without the prior approval of the ASSESSOR and the MAYOR.

3.3 PROTECTION OF THE CITY

3.3.1 Bonding

CONTRACTOR shall, to secure the faithful performance by CONTRACTOR of the terms of this CONTRACT, furnish to the CITY a Performance Surety Bond in the amount of this contract; which bond shall be issued by a bonding company licensed to do such business in the State of Connecticut, with a minimum. Best Company rating of "A/VII." Said bond shall be delivered to the CITY prior to the commencement of actual work and shall be in a form satisfactory to and approved by the CITY 'S attorney. It is understood and agreed that upon completion and delivery to the CITY OF the statistical update and its approval by the ASSESSOR and after completion of the duties of the Board of Assessment Appeals, the performance bond shall be reduced to 10% of the value of the contract for the purpose of covering the defense of all appeals taken by taxpayers. The reduced amount of the bond shall remain effective until a final resolution in the courts of any timely appeals taken from the doings of the Board of Assessment Appeals on the list of October 1, 2015.

3.3.2 Insurance

CONTRACTOR shall, at its own expense, provide and keep in force:

3.3.2.a Workers' Compensation insurance in the required amount, and Employers' Liability insurance in the following amounts:

Bodily injury by accident-	\$100,000 each accident.
Bodily injury by disease-	\$500,000 each accident and,
Bodily injury by disease-	\$100,000 each employee.

The policy must provide coverage for benefits payable under the Connecticut Workers Compensation Act, and include the Voluntary Compensation endorsement.

3.3.2.b Appraiser's Professional Liability insurance providing errors and omissions coverage for professional services rendered as an appraiser. The minimum limit of liability shall be \$1,000,000 per claim, subject to a \$2,000,000 aggregate.

Any deductible applicable to a claim must be noted on the Certificate of Insurance. If the policy is written on a claim made policy form, CONTRACTOR must maintain the insurance for a period of two years from the completion of the contract.

3.3.2.c During the term of the contract, CONTRACTOR shall provide Public Liability insurance for bodily injury and property damage. The Public Liability insurance shall be written on a comprehensive form and include, without limitation, coverage for premises and operations, completed operations, independent contractors, broad form property damage, blanket contractual and personal injury. The required limits of liability are:

\$2,000,000-	General Aggregate
\$2,000,000-	Product-Completed Operations Aggregate

\$1,000,000- Personal and Advertising Injury
\$1,000,000- Each Occurrence
\$ 50,000- Fire Damage/Fire
\$ 5,000- Medical Expense/Person

3.3.2.d Automobile Liability insurance shall be written with a Comprehensive Form and include coverage for owned, hired, and non-owned vehicles. The limit for any one accident or loss shall be \$1,000,000.

3.3.2.e Insurance Certification: An Insurance certificate shall be required to be filed with the CITY, certifying coverage and limits of automobile, bodily injury liability, property damage liability and Worker's Compensation.

"The CITY to be named as Additional Insured on the Insurance coverage named herein for the claims arising out of the COMPANY'S performance of the contract herein".

3.3.2.f Patent/Copyright Liability: CONTRACTOR shall save the CITY harmless from any liability of any nature or kind, including costs and expenses for, or on account of, any patented or copyrighted equipment, materials, articles or processes used in the performance of this contract.

The CITY must be named as an Additional Insured on the policy.

3.3.2.g Defense of CITY: All insurance companies shall have the duty to defend the CITY against liability or property damage claims arising from the conduct of CONTRACTOR and/or agents or employees.

3.3.3 Penalties

3.3.3.a Failure by CONTRACTOR to complete all work prior to the date specified herein, December 30, 2015, shall be cause for a penalty payment by CONTRACTOR, on request of the ASSESSOR, in the amount of THREE HUNDRED DOLLARS (\$300.00) per day beyond the specified date of completion. For the purposes of this penalty only, completion of all work no later than February 26, 2016 is defined as follows:

3.3.3.a.i Completed property record cards with all pricing, review and final valuations.

3.3.3.a.ii Final Assessment notices addressed and in envelopes prepared for mailing.

3.3.3.b Penalties due under this clause shall be deducted from the contract price and will represent a fair and equitable estimate of the damages the CITY will suffer if CONTRACTOR'S work is not completed by December 30, 2015. The CITY shall have the right to use the funds withheld from each periodic payment to these CONTRACT SPECIFICATIONS to satisfy in whole or in part, this penalty clause.

Delays occasioned by strike, explosion or acts of God or an order of court or other public authority are excepted.

- 3.3.3.c Bankruptcy, Receivership, Insolvency:** If CONTRACTOR, with the result that it does not pay its debts as they become due, or if a receiver shall be appointed for its business or its assets and not voided within 60 days, or if interest herein shall be sold under execution or if it shall be adjudicated insolvent or bankrupt, then and forthwith thereafter, the CITY shall have the right, at its option and without prejudice to its rights hereunder, to terminate the contract.
- 3.3.3.d Termination:** If either party fails to fulfill in a timely and satisfactory manner their obligations under this agreement, or shall violate any of the covenants, conditions or stipulations of this agreement, which failure or violation shall continue for 30 days after written notice of said failure or violation is received by the offending party, unless the correction of such failure inherently requires a longer period of time and provided further that the applicable party is proceeding diligently to correct the failure, then the opposing party shall thereupon have the right to terminate this agreement by giving written notice to the offending party of such termination and specify the effective date thereof, at least seven (7) days before the effective date of such termination.
- In the event of termination, all finished work and documentation, complete and incomplete, shall, at the option of the ASSESSOR, be delivered to them. CONTRACTOR shall be entitled to the release of the performance bond and to receive just and equitable compensation for any work performed under this agreement completed prior to the date of termination.
- Notwithstanding the above, in the event of termination, neither party shall be relieved of liability by virtue of its breach of this agreement.
- 3.3.3.e Hold Harmless Agreement:** CONTRACTOR shall, at all times, defend, indemnify, protect and save harmless, the CITY and its officers, agents and employees from any and all claims or demands for damage for bodily injury, including death or property damages sustained by any party, including officers, agents and employees of CONTRACTOR. Said hold harmless clause shall include, but not limited to investigation, defense and settlement or payment or judgment of any liabilities.
- 3.3.3.f Sever ability:** In the event any part of any clause or provision of this contract or contract specifications is judicially determined to be unenforceable, it shall be deemed severable from the remainder of that clause or provision and such remainder shall be binding upon the parties to this contract.
- 3.3.3.g Waiver:** No action or failure to act by the CITY shall constitute a waiver of any right or duty afforded it under the contract or contract specifications.
- 3.3.3.h Misrepresentation or Default:** The CITY may void this agreement if CONTRACTOR has misrepresented any offering or defaults on any contract with a Connecticut

municipality. CONTRACTOR shall, also, immediately notify the CITY OF any claim or case formally brought against CONTRACTOR.

3.4 CHANGES AND SUBLETTING OF CONTRACT

3.4.1 Changes

Changes in these specifications or to the contract will be permitted only upon written mutual agreement of CONTRACTOR and the CITY.

3.4.2 Subletting

CONTRACTOR shall not assign, transfer or sublet the contract or any interest or part therein, without first receiving written approval from the CITY, such approval not being unreasonably withheld. It should be mutually agreed and understood that said consent by the CITY shall in no way release CONTRACTOR from any responsibility or liability as covered in these specifications and contract.

3.5 COMPLETION DATE AND TIME SCHEDULE

Signing of Contract: Within 30 days after receipt of notice of acceptance by the CITY OF its bid, as possibly revised by negotiations, CONTRACTOR shall execute with the CITY a contract in the form agreeable to the CITY and incorporating these contract specifications.

Contractor shall commence the statistical update work not later than two weeks after contract signing, and shall continue uninterruptedly in a diligent fashion so as to ensure completion within the schedule of completion dates hereinafter set forth below:

3.5.1 Completion Dates

3.5.2 Completion Dates

The following phases of the PROJECT must be completed in accordance with the following schedule. Failure to substantially complete the stated performance by the stated dates shall constitute a material breach of this Contract:

- 3.5.2.a** Data Collection of Sales completed by September 1, 2015.
- 3.5.2.b** Complete and deliver to the Assessor commercial, industrial, public utility, and tax-exempt valuation by November 1, 2015.
- 3.5.2.c** Complete and deliver to the Assessor land study and values set by October 15, 2015.
- 3.5.2.d** Complete and deliver building cost manual by October 15, 2015.
- 3.5.2.e** Complete and deliver to the Assessor study of market rents, expenses and capitalization factors by November 1, 2015.
- 3.5.2.f** Deliver completed CAMA database with digital images, property record cards with all measurements, listings, sketches, pricing, and suggested values to the ASSESSOR according to the following schedule:

- 3.5.2.g ASSESSOR completes review and final adjustments made for real property no later than November 17, 2015.
- 3.5.2.h Assessment change notices mailed to comply with requirements of Connecticut State Statutes, Section 12-62(f) by January 15, 2016. (CONTRACTOR to pay postage)
- 3.5.2.i Informal hearings to begin no later than November 22, 2015 and end no later than December 22, 2015.
- 3.5.2.j Notices of results of informal hearings completed shall be completed on forms approved by the Assessor and mailed out (CONTRACTOR to pay postage), computer filed and final property record cards printed and delivered to the ASSESSOR in alphabetical street order no later than December 30, 2015.

3.5.3 Assessment Date

The completed appraisals, upon approval of the ASSESSOR, will serve as the basis for assessments effective on the Grand List of October 1, 2015.

3.5.4 Delays:

CONTRACTOR shall not be liable for delays caused by reasons of war, strike, explosion, acts of God, order of court or other public authority.

3.6 PAYMENT SCHEDULE

3.6.1 Periodic Payments

Payments shall be made in the following manner:

Thirty (30) days after the execution date of this contract, and at the end of each thirty (30) day period thereafter for the term of this contract, CONTRACTOR will certify in writing to the ASSESSOR the percentage of the total work completed under the contract which CONTRACTOR has performed during the said thirty (30) day period. Such notification will itemize and accurately indicate the extent and nature of work performed by volume, street, and category or in any manner as required by the ASSESSOR. The itemization shall be categorized by each of the "Stages of Completion" listed on the Payment Schedule as shown below.

The CITY, upon determination by the ASSESSOR that the certification of CONTRACTOR concerning work during said period is accurate, will pay to CONTRACTOR a percentage of the total compensation due under the contract equal to the percentage of work certified as having been completed during said period, less ten percent (10%), which is to be retained by the CITY for payment to CONTRACTOR at such time that he or she has performed fully and satisfactorily all its obligations, requirements, and litigation under the contract. The retained ten (10%) percent of the contract price is to be paid upon the completion of work of the Board of Assessment Appeals on the October 1, 2015 Grand List in accordance with provisions of Section 3.3.3b of this contract

This contract makes provisions for a reduction of the performance bond to 10% of the contract price so as to ensure the defense of any appeals resulting from the statistical update work.

3.6.2 Fiscal Year Limitations:

The contract cost shall be paid in the 2015/2016 CITY Fiscal Years according to the provisions of this section and subject to the appropriation of necessary funds by the CITY's fiscal authority. CONTRACTOR shall incur no cost in any fiscal year in excess of that year's annual appropriation plus the balance of prior years' unexpended appropriations.

3.6.3 Stages of Completion

0100	Project Supervision	\$23,188
0200	Residential Valuation	\$30,800
0201	Residential Measure & List	\$14,808
0202	Residential Field Review	\$40,656
0300	Commercial Valuation	\$58,652
0301	Commercial Measure and List	\$1,441
0302	Commercial Field Review	\$25,234
0600	Residential Hearings	\$18,162
0601	Commercial Hearings	\$6,820
0800	Data Entry	\$39,952
0802	Data Entry Printing	\$11,888
0900	Project Finalization and Project Support	\$8,571
1100	Letter/Mailings	\$31,158
9901	Associated Project Expenses	\$14,685
9902	Bonding	\$8,985
Total		\$335,000

4 RESPONSIBILITIES OF CONTRACTOR

4.1 GOOD FAITH

CONTRACTOR shall, in good faith use, its best efforts to assist the ASSESSOR in determining the present true and actual valuations of all real property situated in the CITY, and shall not undervalue or overvalue any land, building or other property to avoid or minimize its responsibilities specified herein.

4.2 PUBLIC RELATIONS

The parties of this statistical update project recognize that a good public relations program is required in order that the public of the CITY may be informed as to the purpose, benefits and procedures of the statistical update program.

CONTRACTOR shall provide reasonable assistance to the ASSESSOR in conducting a program of public information through the press and other media, such as meeting with citizens, service clubs and property owner groups as a means of establishing understanding and support for the statistical update

program and sound assessment administration. CONTRACTOR shall supply visual aids and other media at its disposal to this end. All public releases shall be approved by the ASSESSOR prior to release.

4.3 CONDUCT OF COMPANY EMPLOYEES

As a condition of this contract, CONTRACTOR'S employees shall, at all times, treat the residents, employees and taxpayers of the CITY with respect and courtesy; CONTRACTOR shall take appropriate and meaningful disciplinary measures against those who violate the terms of this provision. A suitable dress code for all employees will also be implemented.

4.4 RECORDS

4.4.1 General Provisions

CONTRACTOR shall provide all record cards, street cards, owner cards, supplies, equipment, forms, literature, notices and papers to be used in this project at no additional cost to the CITY.

4.4.2 Records are CITY Property

The original or a copy of all records and computations, including machine readable databases, made by CONTRACTOR in connection with any appraisal of property in the CITY shall, at all times, be the property of the CITY and, upon completion of the project or termination of this contract by the CITY, shall be left in good order in the custody of the ASSESSOR. Such records and computations shall include, but not be limited to:

4.4.2.a Assessor's Maps;

4.4.2.b Land Value Maps;

4.4.2.c Materials and Wages, Cost Investigations and Schedules;

4.4.2.d Data Collection Forms, Listing Cards, Property Record Cards with property valuations and sketches;

4.4.2.e Capitalization Rate Data;

4.4.2.f Sales Data;

4.4.2.g Depreciation Tables;

4.4.2.h Computations of land and/or building values;

4.4.2.i All letters of memoranda to individuals or groups explaining methods used for appraisals;

4.4.2.j Operating statement of income properties;

4.4.2.k Duplicated notice of valuation changes;

4.4.2.l Database of all property records, CAMA system, and integration with administrative system.

4.4.2.m In addition, throughout the conduct of said statistical update, any criteria, guidelines, price schedules or statement of procedures used in such statistical update by the Contractor shall be available by contractor for public inspection in the Assessor's office and shall be available thereafter, all in accordance with Section 12-62 (c) of the Connecticut General Statutes.

4.4.3 ASSESSOR'S Records

CONTRACTOR shall use a system approved by the ASSESSOR for the accurate accounting of all records and maps, which may be taken from the ASSESSOR'S office in conjunction with this project. All such records and maps shall be returned immediately following their use. None of the ASSESSOR'S records shall be taken outside the corporate limits of the CITY without prior written permission of the ASSESSOR.

The ASSESSOR will permit CONTRACTOR to copy all residential building sketches from existing field cards, together with the outside dimensions of all auxiliary buildings such as garages, barns, sheds, and swimming pools. CONTRACTOR will be permitted to copy and sketch all commercial and industrial properties, which are presently outlined on existing ASSESSOR's field cards.

4.4.4 Property Record Cards (Street Cards)

CONTRACTOR shall complete and file by Map order, Property Record Cards, commonly referred to as "Street Cards" or "Field Cards". These cards shall contain all manner of information affecting value, including but not limited to, information as to location of property, classification as to usage, owner of record, source of title, size, shape and physical characteristics of land, with the breakdown of front feet, square feet or acreage as applicable, along with the unit of value applicable to each, public utilities available, public improvements, census tract number, zoning regulations in effect as of the assessment date. All physical improvements shall be listed giving all interior and exterior construction details, quality of construction, age, condition, replacement values, percent of physical, functional and economic depreciation, depreciated values, fair market value and 70% assessment value will be shown. A computer-generated sketch of all buildings, with the appropriate scale of such sketch, shall also be shown on these cards. The "Street Cards" or "Field Cards" will contain a digitized photo of each house.

4.5 ASSESSMENT NOTICES

At the close of the PROJECT, a notice shall be sent, at CONTRACTOR'S expense by first class mail, to each property owner of record, setting forth the valuation that has been placed upon the property identified in the notice, prepared on a form approved by the ASSESSOR. CONTRACTOR will provide the needed information for the notice. Also enclosed with such notice shall be information specifying the dates, times and places of the informal public hearings and information describing the property owner's right to appeal the valuation of his property, including the manner in which an appeal may be filed with the Board of Assessment Appeals. Such notices shall be subject to approval by the ASSESSOR in accordance with Connecticut General Statutes.

At that same time, the company should be prepared to make data available via the Web so that taxpayers can log in and review properties on-line.

4.6 INFORMAL PUBLIC HEARINGS

At a time mutually agreeable to the ASSESSOR and CONTRACTOR and following completion of all review work by the ASSESSOR and CONTRACTOR, CONTRACTOR shall hold public hearings so

that owners of property or their legal representative may appear at specified times to discuss, with qualified members of CONTRACTOR'S staff, the valuations of their property. CONTRACTOR'S personnel shall explain the manner and methods of arriving at value. Informal public hearings, at the ASSESSOR's discretion, may be held on weeknights and Saturdays.

CONTRACTOR, in conjunction with recommendations of the ASSESSOR, shall schedule a sufficient number of hearings and provide sufficient personnel to handle said hearings expeditiously and fairly. Any information offered by the taxpayer or their legal representative shall be given consideration, and an adjustment shall be made where warranted. The public hearings shall be completed by February 20, 2016.

CONTRACTOR shall keep a record, on a form approved by the ASSESSOR, of all owners that requested a hearing and the result of that hearing. A copy of those records shall be given to the ASSESSOR.

CONTRACTOR shall be responsible for sending notice, by First Class mail at CONTRACTOR'S expense, to each taxpayer or his or her legal representative who appears at these hearings seeking review of valuation. Such notice shall include the original valuation determined by CONTRACTOR and any adjusted valuation as deemed appropriate based on any information received at such hearing, or a statement that no change is warranted. Such notice shall be subject to approval by the ASSESSOR and shall contain information describing the property owner's rights to appeal the valuation, including the manner in which an appeal may be filed with the Board of Assessment Appeals.

4.7 BOARD OF ASSESSMENT APPEALS

The City will review all Board of Assessment Appeal requests as a result of this project and will require the CONTRACTOR to provide an Appraiser to support only those requests requiring a value decision. The appraiser shall be approved by the ASSESSOR, be of the CONTRACTOR's staff, and be available as is necessary for attendance at any deliberations of the Board of Assessment Appeals held after the completion of the statistical update, Sundays excluded, but such availability and attendance shall not be required after the date for the completion of the duties of the Board of Assessment Appeals on the October 1, 2015 Grand List or for one complete calendar year beyond completion of the statistical update, whichever comes first. Such attendance shall be to assist in the settlement of complaints and to explain the valuations made.

4.8 INFORMATION

4.8.1 Information to CITY

CONTRACTOR shall give to the ASSESSOR any and all information requested pertaining to the project for a period of one (1) year after completion of the duties of the Board of Assessment Appeals on the October 1, 2015 Grand List, without any additional cost to the CITY .

5 BUILDING COST SCHEDULES

5.1 General

CONTRACTOR shall prepare for usage in the project as hereinafter specified, building cost schedules. These schedules will reflect the unit-in-place method based upon the square foot or cubic foot area of buildings as applicable. These schedules shall be used in computing the replacement cost in the CITY for all residential, commercial, industrial, and farm construction. They shall reflect the wage scale for the various trades, labor efficiencies, overhead, profit, engineer and architect fees and all other direct and indirect costs of construction. Before final acceptance, they shall be proven by testing against known sales. All finalized schedules shall be approved by the ASSESSOR before adoption and usage by CONTRACTOR.

5.2 Types of Cost Schedules

5.2.1 Residential

Residential cost schedules shall include schedules for various classifications, types, models, and story heights on a per square foot basis, normally associated with residential buildings. The schedule shall be flexible with special sections reflecting the various additions and deductions for construction components from the base specifications, along with prices for different types of heating systems, bathrooms, porches, breezeways, attached, detached, and basement garages, and finished basements and schedules for other building improvements usually found on residential property including, but not limited to, in-ground swimming pools, barns, sheds, tennis courts, gazebos, and hot tubs.

5.2.2 Commercial

Commercial building cost schedules shall be prepared in unit costs of material in place and charted on a per square foot basis, and shall be prepared for various story heights and contain all the additions and deductions for construction components from base specifications.

5.2.3 Industrial and Special Structures

Cost schedules for industrial and special purpose structures shall be prepared in unit costs of material in place and charted on a per square foot basis, and shall contain all the additions and deductions for construction components from base specifications.

5.2.4 Farm

Cost schedules for farm structures shall be prepared for square foot and cubic foot costs for various types of farm buildings including, but not limited to, barns, sheds, silos, milk houses, coops, etc.

Cost schedules for the afore-mentioned must be supported by a recognized valuation publication company such as Marshall and Swift, Means, etc.

5.3 Depreciation Schedules

Depreciation schedules or methods to be used in determining the amount of depreciation shall reflect the normal and accepted depreciation rates of buildings according to classification. These schedules or methods shall cover residential, commercial, industrial, and farm buildings and shall be approved by the ASSESSOR.

5.4 Schedule for CITY

CONTRACTOR shall supply and leave for the CITY not less than three (3) copies of all the above required building cost schedules and depreciation schedules for the CITY'S usage, one copy of which shall be turned over to the ASSESSOR upon approval of the schedules.

6 APPRAISAL SPECIFICATIONS

6.1 Appraisal of Land

CONTRACTOR shall appraise all land within the CITY: including residential, vacant, commercial, industrial, agricultural, special use, public utility, and tax-exempt.

6.1.1 Land Value Study

Land shall be valued on the basis of an analysis of all sales data occurring during the two-year period prior to October 1, 2015. The analysis and application of sales data shall be governed by procedures and techniques expressly approved by the ASSESSOR. CONTRACTOR shall make a careful investigation of this data and shall consult owners, realtors, banks and other sources for information relative to sales of properties within the CITY. All factors affecting the final values of land shall be considered, such as location, zoning, inland wetlands, topography, soil condition, utilities, size, vacancy, form of ownership, non-conforming uses, and zoning variances.

Non-conforming uses and zoning variances shall be considered in establishing values. A brief description of each lot or parcel of land, together with the valuation computations, shall be entered on the field record card.

6.1.2 Land Value Inspection

CONTRACTOR will make necessary adjustments in value to compensate for topographical irregularities such as high banks, steep slopes, swamps, irregular shapes or anything else which may detract from the usefulness of the land. Non-conforming uses and zoning variances shall be considered in establishing values.

6.1.3 Land Value Unit

CONTRACTOR shall prepare land unit values by front foot, square foot, acreage or fractional acreage; whichever in the judgment of CONTRACTOR and ASSESSOR most accurately reflects the market for the appraised land.

6.1.4 Land Value Map

CONTRACTOR shall delineate the land value units on all streets and acreage in the CITY on a suitable map to be provided by the CITY. The land value map shall be returned to the CITY prior to the completion of the PROJECT.

6.1.5 Neighborhood Delineation

After consideration of the environmental, economic and social characteristics of the CITY, CONTRACTOR shall, with the cooperation and approval of the ASSESSOR, delineate "neighborhood" units within the CITY. Each neighborhood unit will, in CONTRACTOR'S opinion, exhibit homogenous characteristics. Each neighborhood unit will be assigned a separate identification code, which will be used for valuation. These neighborhood codes shall be recorded and maintained on all property record cards and the computer database.

6.2 APPRAISAL OF RESIDENTIAL BUILDINGS AND STRUCTURES

6.2.1 Physical Inspections

Interior Inspections

Contractor to perform onsite inspections of all sale properties to be utilized in the analysis, minimal of 12 months of sales will be used in the sales analysis.

The data collector shall have each interior inspection dated and verified by having an adult owner or resident of each building or dwelling unit sign the data collection form.

When entrance to a building for an inspection is refused, the data collector shall make note of the fact and within two (2) working days, notify the ASSESSOR of the fact in writing, giving the facts as to the time of the visit and if possible, the name of the party refusing entrance and other pertinent information. The ASSESSOR shall review the situation, and if he/she shall be unable to gain the cooperation of the party involved, he/she shall so notify the CONTRACTOR, and they shall proceed to estimate the value of the building on the basis of facts ascertainable without entry and make adequate notations of the lack of cooperation, and the manner of arriving at value, conspicuously on the property record card.

The data collection form shall indicate the initials of the data collector and the date(s) of the inspection(s) and attempts, if multiple. The field card must also have the initials of the person whom completed the data entry as well.

All inspections shall be conducted in a courteous, dignified, respectful and careful manner so as to minimize any disturbance to the use and occupancy of such structures.

Call Backs

The CONTRACTOR shall make an initial inspection and one (1) call back attempt on properties that require an onsite inspection. The time and date at which the call back was made shall be duly noted on the data collection form by the data collector making such a call back.

If after the two visits, contact was not established with a property owner, a notification letter approved by the ASSESSOR, shall be mailed by the CONTRACTOR, informing the property owner of the statistical update process and the fact that the representatives of the CONTRACTOR were not able to make contact, and requesting that within a prescribed time limit the property owner contact the CONTRACTOR, by telephone or mail, for alternative arrangements for the inspection of the property.

6.2.2 Exterior Field Review

6.2.2a All properties shall be reviewed in the field by CONTRACTOR's personnel qualified as reviewers as previously prescribed in these specifications.

The properties shall be reviewed for classification, final value, and to assure that they are correlated to comparable properties. The ASSESSOR shall be notified of the dates of review and be entitled to accompany the reviewers during this phase of the statistical update.

6.2.2b Field Recording: Physical data and characteristics of the land parcel shall be observed in the field and recorded.

6.2.3 Pricing and Valuations

Pricing and valuations of all land and buildings must reflect the present true and actual value as of October 1, 2015, and shall be done from and in accordance with the previously approved manuals and schedules.

The final valuation shall be the true and actual value of the structures plus the true and actual value of the land. In arriving at the true and actual value of the structures, replacement cost new less depreciation from all causes may be considered along with other factors affecting the value of the property, all of which shall be noted on the property record card.

6.3 APPRAISAL OF COMMERCIAL, INDUSTRIAL, PUBLIC UTILITY, AND SPECIAL PURPOSE PROPERTIES

6.3.1 General

All commercial, industrial, public utility and special purpose buildings shall be classified, priced and reviewed in the same manner as residential properties, as set forth previously in these specifications.

6.3.2 Income Approach

Income and expense data gathered by the CITY shall be utilized by CONTRACTOR for income producing and, where appropriate, owner-occupied properties. Any income and expense data with accompanying summary reports and rent schedules shall become property of the CITY. All information filed and furnished with Income and Expense report shall not be a public record and is not subject to the provisions of Section 1-200 et seq. (Freedom of Information) of the Connecticut General Statutes. From these returns and other data sources, such as field investigations and interviews, CONTRACTOR will establish market or economic rent and expenses for income producing properties. CONTRACTOR shall also develop capitalization rates by investigating sales and income data. Rates shall be established for the various classes of property and checked by bankers, investors and appraisers to ensure their accuracy. When the rates and methods have been approved by the ASSESSOR, CONTRACTOR shall perform the income approach using both actual and economic income and expenses. CONTRACTOR shall be responsible for entering all income data into the CAMA system.

6.3.3 Review

All final reviews and inspections shall be made in the same manner and for the same purpose as prescribed for residential properties. The reviewer shall be completely trained and fully experienced in the appraisal of the particular type and kind of commercial, industrial, public utility or special purpose building; the final value of which he or she is responsible.

6.4 CONTROL AND QUALITY CHECKS

6.4.1 Field Checks

The ASSESSOR shall spot check in the field, properties picked at random by him/her with or without the appropriate CONTRACTOR'S supervisor.

6.4.2 Building Permits

The ASSESSOR shall be responsible for all building permits.

6.4.3 Sales Analysis

Sales analyses of properties shall be performed as a means of sustaining the values derived. These analyses shall be done on the aggregate of all residential properties and on each of the neighborhoods previously delineated. The sales analyses shall include, at a minimum, sales ratios and coefficients of variance and dispersion. Any additional requests for sales analyses by the ASSESSOR shall also be performed.

6.4.5 Performance Based Revaluation Standards: All fair market values that are developed by the CONTRACTOR must meet the Performance Based Testing Standards developed by the State of Connecticut Office of Policy and Management in accordance with Section 12-62i of the Connecticut General Statutes.

7 RESPONSIBILITIES OF THE CITY

7.1 Nature of Service

It is clearly understood and agreed that the service rendered by CONTRACTOR are in the nature of assistance to the ASSESSOR and all decisions as to proper valuation shall rest with the ASSESSOR.

7.2 Cooperation

The ASSESSOR, CITY, and its employees will cooperate with and render all reasonable assistance to CONTRACTOR and its employees.

7.3 Items Furnished By the City

The CITY shall furnish the following:

7.3.1 Maps

The CITY shall furnish one (1) set of the most up-to-date CITY Tax Maps that are currently available showing streets, and property lines and boundaries.

7.3.2 Land Dimensions

The CITY will make available lot sizes and total acreage to CONTRACTOR of all pieces of property where the map or present records fail to disclose measurement or acreage.

7.3.3 Zoning

The CITY will provide current CITY zoning regulations and zoning maps.

7.3.4 Existing Property Record Cards

The CITY will make available the present street cards.

7.3.5 Property Transfers

The CITY shall notify CONTRACTOR, on a regular basis, of property splits and transfers occurring after the initial creation of the statistical update database by CONTRACTOR. CONTRACTOR shall the statistical update database as necessary.

7.3.6 Signing of Communications

The CITY shall sign, by the ASSESSOR or Assessor's designee, communications to be mailed at CONTRACTOR'S expense, for the purpose of contacting a property owner for inspection of the property.

7.3.7 Mailing Address

The CITY shall make available through the ASSESSOR'S office the current mailing address and other relative data that exists on the administrative program for all property owners.

7.3.8 Office Space

The CITY shall furnish to CONTRACTOR sufficient office space to carry out the terms of this contract. If the CITY is unable to provide space, the CITY will reimburse CONTRACTOR for leased space, subject to the CITY's approval for appropriateness and cost. The CITY shall provide installation of a telephone line and CONTRACTOR shall be responsible for all monthly charges on such lines for the duration of the project.

7.3.9 Media

The CITY shall have information above available on computer disk for the purposes of creating a legal file on CONTRACTOR's computers during the initial stages of statistical update.

7.3.10 Obligation to Keep Current

The CITY shall continuously and keep current the information specified above.

7.3.11 Sales Information

The CITY shall continuously and currently provide copies of all sales information available to it with respect to transfer of parcels.

8 TRAINING:

- 8.1 Personnel:** The Assessor shall determine the individuals and the amount of training each individual shall receive. If more than one person is receiving training at the same time, the training time shall be calculated as if one person is receiving training.
- 8.2 Location:** All training shall take place on the CITY 'S computer hardware within the CITY, unless both the CITY and CONTRACTOR agree to an alternate training site or computer hardware.
- 8.3 Documentation:** CONTRACTOR will provide a detailed user manual for the CAMA software and Grand List production interface.

9 TRANSMITTAL OF DELIVERABLES TO THE ASSESSOR

9.1 Records

Regular periodic delivery of appraisals and other information required under this agreement, as completed and in accordance to a schedule hereinabove set forth or agreeable to the ASSESSOR shall be made to the ASSESSOR for his review. All appraisals of buildings either complete or under construction, shall be completed as of October 1, 2015. All completed and/or corrected records shall be turned over to the ASSESSOR as February 26, 2016. The final inspection and review shall take into consideration any known or apparent changes in the Individual property since they were first inspected in order that the final appraisal of property shall be appraised as of October 1, 2015.

This information and/or appraisals and records shall not be made public until after the informal public hearings, except to the extent public access may be compulsory under provisions of applicable law.

It is understood and agreed that the Statistical update of properties covered by this contact shall meet or exceed the standards as outlined in the Connecticut Performance Based Revaluation Standards and Certification of Revaluation (Connecticut General Statutes sec. 12-62I-1 to 12-62I-7), shall be acceptable to the ASSESSOR and shall conform to the procedures and technical requirements of the ASSESSOR and, at least weekly, Contractor shall meet with said ASSESSOR to discuss the progress and various other details of the project.

CLARIFICATIONS CITY OF BRIDGEPORT, CONNECTICUT

1. Progress Report of Completed Work:

0100	Project Supervision	\$23,188
0200	Residential Valuation	\$30,800
0201	Residential Measure & List	\$14,808
0202	Residential Field Review	\$40,656
0300	Commercial Valuation	\$58,652
0301	Commercial Measure and List	\$1,441
0302	Commercial Field Review	\$25,234
0600	Residential Hearings	\$18,162
0601	Commercial Hearings	\$6,820
0800	Data Entry	\$39,952
0802	Data Entry Printing	\$11,888
0900	Project Finalization and Project Support	\$8,571
1100	Letter/Mailings	\$31,158
9901	Associated Project Expenses	\$14,685
9902	Bonding	\$8,985
Total		\$335,000

2. **Board of Assessment Appeals:** The City will review all Board of Assessment Appeal requests as a result of the 2015 Statistical update and will require a Vision Senior Appraiser to support only those requests requiring a value decision.
3. **Litigation:** Litigation, Litigation preparation, Narrative Reports preparation or any days spent outside of assisting with BOA will be billed at the rate of **Nine Hundred Dollars (\$900) per Diem.**
4. **Imaging services:** Vision can provide imaging services at a cost of \$2.50 per image. This price includes image capturing and associated data entry services. As a separate offering, the City could select Facet Technologies to provide street level imaging services. The pricing would be the same \$2.50 per parcel for a single image and this service would be provided on a city-wide scope. If selected, the City would executed a contract directly with Facet and the services would be provide in the spring of 2016. We have included information on Facet within this proposal.

CITY OF BRIDGEPORT, CONNECTICUT

Project Schedule

<i>TASK</i>	<i>FROM</i>	<i>TO</i>
Project Startup	06/15/2015	
Public Relations	On Going	
Sales Data Collection	06/15/2015	09/01/2015
Preliminary Land Study	09/01/2015	
Final Deeds Entered into CAMA by Assessor	10/07/2015	
Building Cost	07/1/2015	10/15/2015
Final Residential Land Study	07/1/2015	10/15/2015
Commercial & Market Rent Study	07/15/2015	11/01/2015
Residential Field Review	07/01/2015	11/01/2015
Commercial Field Review	09/01/2015	11/01/2015
Suggested Values to Assessor	11/10/2015	
Assessor Review of Values	11/10/2015	11/17/2015
Valuation Notice	11/20/2015	
Informal Hearings	11/22/2015	12/22/2015
Final Testing Standards	12/29/2015	
Project Completion	12/30/2015	

NON-COLLUSION AFFIDAVIT OF PRIME BIDDER

(To be included with bid #)

State of Massachusetts

County of Worcester

Charles T. O'Shea, being first duly sworn, deposes and says that:

(1) He is Executive Vice President of Vision Government Solutions, Inc.
the Bidder that has submitted the attached Bid;

(2) He is fully informed respecting the preparation and contents of the attached Bid and of all pertinent circumstances respecting such bid;

(3) Such Bid is genuine and is not a collusive or sham Bid;

(4) Neither the said Bidder nor any of its officers, partners, owners, representatives, employees or parties in interest, including this affidavit, has in any way colluded, conspired, connived or agreed, directly or indirectly with any other Bidder, firm or person to submit a collusive or sham Bid in connection with the Contract for which the attached Bid has been submitted or to refrain from bidding in connection with such Contract, or has in any manner, directly or indirectly, sought by agreement or collusion or communication or conference with any other Bidder, firm or person to fix the price or prices in the attached Bid or of any other Bidder, or to fix any overhead, profit or cost element of the Bid price or the Bid price of any Bidder, or to secure through any collusion, conspiracy, connivance or unlawful agreement any advantage against the City of Bridgeport, owner, or any person interested in the proposed Contract; and

(5) The price or prices quoted in the attached Bid are fair and proper and are not tainted by any collusion, conspiracy, connivance or unlawful agreement on the part of the Bidder or any of its agents, representatives, owners, employees, or parties in interest, including this affiant.

Charles T. O'Shea

(Signed)

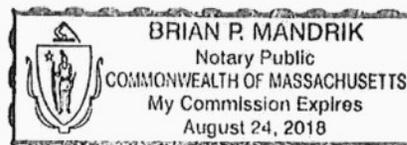
Exec VP

(Title)

Subscribed and sworn to before me this 27th day of May, 2015.

Brian P. Mandrik (Title)

My Commission Expires: 8/24/2018



Item# *95-14 Consent Calendar

Municipal Suspense Tax Book.



**Report
of
Committee
on**

Budget & Appropriations

Submitted: JUNE 15, 2015

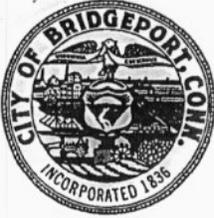
Adopted:

Attest: *Fleeta C. Hudson*

Fleeta C. Hudson, City Clerk

Approved by:

Bill Finch, Mayor



City of Bridgeport, Connecticut

To the City Council of the City of Bridgeport:

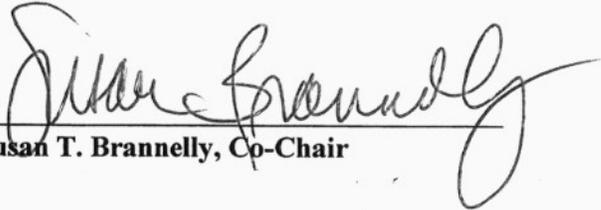
The Committee on **Budget and Appropriations** begs leave to report; and recommends for adoption the following resolution:

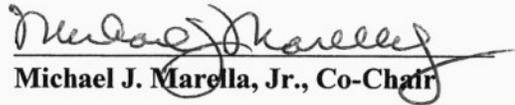
***95-14 Consent Calendar**

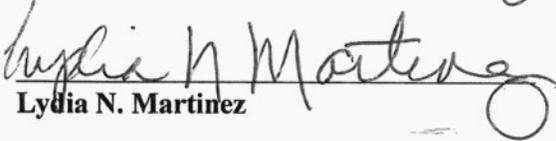
RESOLVED, That City Council of the City of Bridgeport hereby approve, as directed by the State Tax Commission under Section 12-165, a copy of Municipal Suspense Tax Book for fiscal year ending June 30, 2015; and be it further

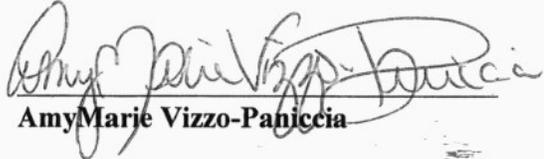
RESOLVED, That this Manual represents Grand List 1999 through 2013, which consist of Analyzed Personal Property and Motor Vehicle Taxes at the close of the fiscal year ending June 30, 2015 for the total amount of \$208,876.02.

Respectfully submitted,
**THE COMMITTEE ON BUDGET
AND APPROPRIATIONS**


Susan T. Brannelly, Co-Chair

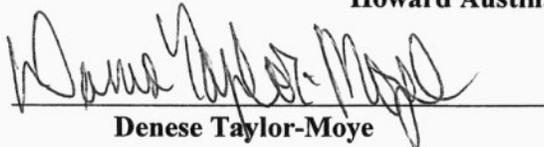

Michael J. Marella, Jr., Co-Chair


Lydia N. Martinez


Amy Marje Vizzo-Paniccia


Patricia Swain


Howard Austin, Sr.


Denese Taylor-Moye

City Council Date: June 15, 2015

Bill #	Name	Reason	Town Due
1999-02-6796327	PUMPHREY ROBERT Q	DECEASED	\$ 177.78
1999-02-6797111	MOLLOY PETER S	UNCOLLECTABLE	\$ 437.20
2000-02-6796327	PUMPHREY ROBERT Q	BANKRUPTCY	\$ 170.64
2000-02-6796742	STEINHARDT MANUEL	UNCOLLECTABLE	\$ 284.38
2000-02-6797111	MOLLOY PETER S	UNCOLLECTABLE	\$ 392.86
2000-02-6804869	LARY LISHA Y	UNCOLLECTABLE	\$ 13.53
2000-02-6805211	THOMPSON THOMAS	UNCOLLECTABLE	\$ 176.36
2000-03-5330117	ALSON THOMAS G	DECEASED	\$ 523.26
2000-03-5657540	IGLESIAS WANDA	DECEASED	\$ 5.94
2000-04-5599884	THOMAS ALSON	BANKRUPTCY	\$ 567.58
2001-02-6795827	ANTHONY DEBORAH	UNCOLLECTABLE	\$ 284.92
2001-02-6796327	PUMPHREY ROBERT Q	BANKRUPTCY	\$ 150.14
2001-02-6796742	STEINHARDT MANUEL	UNCOLLECTABLE	\$ 235.50
2001-02-6797111	MOLLOY PETER S	UNCOLLECTABLE	\$ 334.46
2001-02-6804869	LARY LISHA Y	UNCOLLECTABLE	\$ 164.86
2001-02-6805211	THOMPSON THOMAS	UNCOLLECTABLE	\$ 152.88
2001-03-5330117	ALSON THOMAS G	BANKRUPTCY	\$ 458.64
2001-03-5994520	IGLESIAS WANDA	DECEASED	\$ 116.19
2001-03-6987564	ARNONE RALPH A	BANKRUPTCY	\$ 693.64
2001-04-6452989	HOWARD SHERRY D	BANKRUPTCY	\$ 683.84
2002-02-6804508	ATKINSON LACRETIA G	UNCOLLECTABLE	\$ 238.58
2002-02-6804516	BAILEY GLENSTENE L	BANKRUPTCY	\$ 587.21
2002-02-6804869	LARY LISHA Y	UNCOLLECTABLE	\$ 128.46
2002-02-6804877	LARY LISHA Y	UNCOLLECTABLE	\$ 873.26
2002-02-6805211	THOMPSON THOMAS	UNCOLLECTABLE	\$ 120.78
2002-02-8134185	DEVANE LAWRENCE RAY	UNCOLLECTABLE	\$ 236.70
2002-03-5657540	IGLESIAS WANDA	DECEASED	\$ 560.28
2002-03-6686386	HOWARD SHERRY D	BANKRUPTCY	\$ 518.72
2002-03-6987564	ARNONE RALPH A	BANKRUPTCY	\$ 564.14
2002-04-6854106	DECAMPOS ANGIE A	BANKRUPTCY	\$ 61.38
2002-04-6854114	DECAMPOS ANGIE A	BANKRUPTCY	\$ 58.40
2003-02-8134185	DEVANE LAWRENCE RAY	UNCOLLECTABLE	\$ 117.72
2003-02-8344937	BROWN BERKELEY HULON	UNCOLLECTABLE	\$ 342.88
2003-03-5114791	HOLMES ANTHONY M	BANKRUPTCY	\$ 84.62
2003-03-6686386	HOWARD SHERRY D	BANKRUPTCY	\$ 49.80
2003-03-7034018	DECAMPOS ANGIE A	BANKRUPTCY	\$ 70.26
2003-03-7070090	HOLMES ANTHONY M	BANKRUPTCY	\$ 397.78
2003-03-8132361	MARTINEZ ADALBERTO	BANKRUPTCY	\$ 215.62
2003-04-7359791	WILSON STEPHANIE	BANKRUPTCY	\$ 322.06
2004-02-8134185	DEVANE LAWRENCE RAY	UNCOLLECTABLE	\$ 96.16
2004-02-8134207	HARRISON EDWARD ERNEST	UNCOLLECTABLE	\$ 206.40
2004-02-8322887	WIGGINS-GILL BRENDA A	UNCOLLECTABLE	\$ 513.58
2004-02-8344937	BROWN BERKELEY HULON	UNCOLLECTABLE	\$ 326.36
2004-03-6617457	ARNONE JOANNE AKA	BANKRUPTCY	\$ 256.12
2004-03-7034018	DECAMPOS ANGIE A	BANKRUPTCY	\$ 53.64
2004-03-7070090	HOLMES ANTHONY M	BANKRUPTCY	\$ 346.44
2004-03-7375907	ARNONE JOANNE OR	BANKRUPTCY	\$ 309.62
2004-03-7411938	DECAMPOS ANGIE A	BANKRUPTCY	\$ 75.48
2004-03-7564203	WILSON STEPHANIE	BANKRUPTCY	\$ 319.62
2004-03-8132361	MARTINEZ ADALBERTO	BANKRUPTCY	\$ 196.88

Bill #	Name	Reason	Town Due
2004-03-8132425	MODLA THOMAS A	BANKRUPTCY	\$ 505.50
2004-03-8328745	MODLA THOMAS A	BANKRUPTCY	\$ 494.48
2004-04-7615126	DECAMPOS ANGIE A JR	BANKRUPTCY	\$ 101.20
2005-02-8134185	DEVANE LAWRENCE RAY	UNCOLLECTABLE	\$ 100.84
2005-02-8134207	HARRISON EDWARD ERNEST	UNCOLLECTABLE	\$ 185.92
2005-02-8134584	STANCIL MILDRED	UNCOLLECTABLE	\$ 369.96
2005-02-8322887	WIGGINS-GILL BRENDA A	UNCOLLECTABLE	\$ 571.58
2005-02-8340290	CUAYA MAGDALENA	UNCOLLECTABLE	\$ 369.96
2005-02-8344937	BROWN BERKELEY HULON	UNCOLLECTABLE	\$ 326.50
2005-02-8348703	CEDENO VENANCIA	UNCOLLECTABLE	\$ 1,374.36
2005-03-6617457	ARNONE JOANNE AKA	BANKRUPTCY	\$ 252.28
2005-03-6617678	ARROYO DAVID	BANKRUPTCY	\$ 113.21
2005-03-7101998	MERCADO SANTIAGO	BANKRUPTCY	\$ 85.08
2005-03-7375907	ARNONE JOANNE OR	BANKRUPTCY	\$ 299.94
2005-03-7411938	DECAMPOS ANGIE A	BANKRUPTCY	\$ 77.68
2005-03-7482754	MERCADO SANTIAGO	BANKRUPTCY	\$ 142.06
2005-03-7754347	ARROYO DAVID OR	BANKRUPTCY	\$ 175.72
2005-03-8132361	MARTINEZ ADALBERTO	BANKRUPTCY	\$ 187.94
2005-03-8132425	MODLA THOMAS A	BANKRUPTCY	\$ 546.82
2005-04-5486265	ARROYO DAVID	BANKRUPTCY	\$ 20.97
2005-04-6119074	ARROYO DAVID	BANKRUPTCY	\$ 54.03
2005-04-6914842	MERCADO SANTIAGO	BANKRUPTCY	\$ 33.23
2005-04-8032986	HOLLOWAY JENNIE	DECEASED	\$ 209.37
2005-04-8036990	JAMES PATRICIA A	BANKRUPTCY	\$ 108.03
2006-02-6804567	SIMPSON TRAVIS D	UNCOLLECTABLE	\$ 201.42
2006-02-6805083	WILSON ONIEL	UNCOLLECTABLE	\$ 127.36
2006-02-7575582	DUVAL KELLY L	UNCOLLECTABLE	\$ 70.42
2006-02-7575841	LORRAINE GAY	UNCOLLECTABLE	\$ 84.00
2006-02-7957116	DONFRANCESCO PATRICIA M	UNCOLLECTABLE	\$ 109.28
2006-02-8133171	LOPEZ JERSY MILENKO	UNCOLLECTABLE	\$ 134.58
2006-02-8133677	KNIGHT JAMES JR	UNCOLLECTABLE	\$ 361.20
2006-02-8133685	ROBINSON TACARA	UNCOLLECTABLE	\$ 110.18
2006-02-8133839	ATANACIO EVELIA	UNCOLLECTABLE	\$ 84.00
2006-02-8133928	MORENO RAMON	UNCOLLECTABLE	\$ 75.88
2006-02-8133995	ROSADO DIANA	UNCOLLECTABLE	\$ 65.98
2006-02-8134258	MOORE KHALIL G	UNCOLLECTABLE	\$ 95.74
2006-02-8134398	CRUZ ELIZABETH	UNCOLLECTABLE	\$ 104.78
2006-02-8134479	SANTOS EDUARDO	UNCOLLECTABLE	\$ 95.74
2006-02-8134584	STANCIL MILDRED	UNCOLLECTABLE	\$ 74.06
2006-02-8134592	BOYD WILLIAM	UNCOLLECTABLE	\$ 61.42
2006-02-8322801	MORRISSEY RONALD	UNCOLLECTABLE	\$ 60.52
2006-02-8322836	BOGLE ROBERT A	UNCOLLECTABLE	\$ 89.42
2006-02-8322844	HACKSHAW AND SONS LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8322852	PRIDGEN GERALD	UNCOLLECTABLE	\$ 106.54
2006-02-8322887	WIGGINS-GILL BRENDA A	UNCOLLECTABLE	\$ 428.94
2006-02-8323034	ARANJO JOSEPH JR	UNCOLLECTABLE	\$ 361.20
2006-02-8323051	ARMSTRONG BERNADETTE	UNCOLLECTABLE	\$ 361.20
2006-02-8323093	BORNO PAUL G	UNCOLLECTABLE	\$ 361.20
2006-02-8323115	BRYANT VANELLA	UNCOLLECTABLE	\$ 361.20
2006-02-8323191	KOUREMTIS NOMIKOS	UNCOLLECTABLE	\$ 361.20
2006-02-8323271	DASH ERIC S	UNCOLLECTABLE	\$ 361.20

Bill #	Name	Reason	Town Due
2006-02-8323280	DASH ERIC S	UNCOLLECTABLE	\$ 361.20
2006-02-8323301	DEJESUS JOSE	UNCOLLECTABLE	\$ 361.20
2006-02-8323336	EDWARDS LIVINGSTON	UNCOLLECTABLE	\$ 361.20
2006-02-8323344	BAGSHAW HOLLY	UNCOLLECTABLE	\$ 361.20
2006-02-8323417	GORDON WINSTON	UNCOLLECTABLE	\$ 361.20
2006-02-8323433	SPODNICK PATRICIA	UNCOLLECTABLE	\$ 361.20
2006-02-8323441	HANCOCK TIMOTHY T	UNCOLLECTABLE	\$ 84.88
2006-02-8323450	HENMAN HELEN ESTHER	UNCOLLECTABLE	\$ 361.20
2006-02-8323468	HENMAN HELEN ESTHER	UNCOLLECTABLE	\$ 361.20
2006-02-8323484	ORTIZ WILFERDO	UNCOLLECTABLE	\$ 105.64
2006-02-8323531	THOMPSON ERICA J	UNCOLLECTABLE	\$ 93.92
2006-02-8323573	LEE CAMILLE N	UNCOLLECTABLE	\$ 75.88
2006-02-8323581	LEGAGNEUR MARIE S	UNCOLLECTABLE	\$ 361.20
2006-02-8323590	LLANOS ASUNCION	UNCOLLECTABLE	\$ 361.20
2006-02-8323654	MANNINO ANDREW	UNCOLLECTABLE	\$ 361.20
2006-02-8323735	NAVARRO JOSE A	UNCOLLECTABLE	\$ 361.20
2006-02-8323743	NAVARRO JOSE A	UNCOLLECTABLE	\$ 361.20
2006-02-8323778	OLADEJI ANTHONY G	UNCOLLECTABLE	\$ 361.20
2006-02-8323808	SENTEIO TANYA	UNCOLLECTABLE	\$ 361.20
2006-02-8323816	PIERE-LOUIS JACKSON	UNCOLLECTABLE	\$ 361.20
2006-02-8323824	PIERE-LOUIS JACKSON	UNCOLLECTABLE	\$ 361.20
2006-02-8323859	RODRIGUEZ BYRON	UNCOLLECTABLE	\$ 361.20
2006-02-8323867	RODRIGUEZ WALBERTO	UNCOLLECTABLE	\$ 361.20
2006-02-8323972	SPENCE STUART	UNCOLLECTABLE	\$ 361.20
2006-02-8323981	TABORA JOSE	UNCOLLECTABLE	\$ 361.20
2006-02-8324014	TORRES JUAQUIN JR	UNCOLLECTABLE	\$ 361.20
2006-02-8324022	TURCIOS JOSE MANUEL	UNCOLLECTABLE	\$ 361.20
2006-02-8324031	TURCIOS JOSE MANUEL	UNCOLLECTABLE	\$ 361.20
2006-02-8324049	TURCIOS JOSE MANUEL	UNCOLLECTABLE	\$ 361.20
2006-02-8324065	WUSU DESMOND	UNCOLLECTABLE	\$ 92.10
2006-02-8324146	WILLIAMS KEDRUM	UNCOLLECTABLE	\$ 361.20
2006-02-8324154	WILSON MELORY	UNCOLLECTABLE	\$ 361.20
2006-02-8329881	MCKOY MABLE	UNCOLLECTABLE	\$ 44.10
2006-02-8329938	FRET YOLANDA	UNCOLLECTABLE	\$ 66.84
2006-02-8329946	FRET YOLANDA	UNCOLLECTABLE	\$ 361.20
2006-02-8329954	D AND D INC	UNCOLLECTABLE	\$ 361.20
2006-02-8330006	ALVA LUCY	UNCOLLECTABLE	\$ 361.20
2006-02-8330022	ALVES BARROSO	UNCOLLECTABLE	\$ 361.20
2006-02-8330031	AMADO LURDES B	UNCOLLECTABLE	\$ 22.83
2006-02-8330049	AMES DAWN E	UNCOLLECTABLE	\$ 41.54
2006-02-8330057	AREVALO CLAUDIA	UNCOLLECTABLE	\$ 361.20
2006-02-8330138	CORA LIZ	UNCOLLECTABLE	\$ 361.20
2006-02-8330146	CORICA AUGUSTINE D	UNCOLLECTABLE	\$ 127.36
2006-02-8330154	CRUZ EDWIN D	UNCOLLECTABLE	\$ 72.24
2006-02-8330171	DAVIS ALBERT	UNCOLLECTABLE	\$ 361.20
2006-02-8330189	DAVIS ALBERT	UNCOLLECTABLE	\$ 361.20
2006-02-8330219	DISANTO PASQUA	UNCOLLECTABLE	\$ 361.20
2006-02-8330243	FERNANDES ALAN	UNCOLLECTABLE	\$ 72.24
2006-02-8330260	EDMOND JERMAINE	UNCOLLECTABLE	\$ 361.20
2006-02-8330286	ELLISON ELAINE	UNCOLLECTABLE	\$ 361.20
2006-02-8330294	ENAMORADO MIGUEL	BANKRUPTCY	\$ 88.50

Bill #	Name	Reason	Town Due
2006-02-8330308	ESPINAL MARIA	UNCOLLECTABLE	\$ 361.20
2006-02-8330316	FERNANDEZ RAMON	UNCOLLECTABLE	\$ 361.20
2006-02-8330332	JONES WILLIAM	UNCOLLECTABLE	\$ 361.20
2006-02-8330341	JONES WILLIAM	UNCOLLECTABLE	\$ 361.20
2006-02-8330375	GENOVA ALICIA	UNCOLLECTABLE	\$ 111.08
2006-02-8330383	GILL NATALIE R	UNCOLLECTABLE	\$ 188.74
2006-02-8330405	HERNANDEZ JAVIER	UNCOLLECTABLE	\$ 361.20
2006-02-8330430	IRVIN DAISY P	UNCOLLECTABLE	\$ 361.20
2006-02-8330448	IRVIN DAISY P	UNCOLLECTABLE	\$ 361.20
2006-02-8330456	JAQUEZ GUILLERMO	UNCOLLECTABLE	\$ 187.82
2006-02-8330464	JAQUEZ GUILLERMO	UNCOLLECTABLE	\$ 25.80
2006-02-8330502	JOHNSON EMMETT A	UNCOLLECTABLE	\$ 361.20
2006-02-8330511	JONES FRANCES	UNCOLLECTABLE	\$ 361.20
2006-02-8330529	KELLY SAMANTHA JEEYUNG	UNCOLLECTABLE	\$ 186.02
2006-02-8330537	LANCASTER LESLIE W	UNCOLLECTABLE	\$ 361.20
2006-02-8330553	LEWIS JUANITA L	UNCOLLECTABLE	\$ 255.56
2006-02-8330570	LOPEZ MILEDY	UNCOLLECTABLE	\$ 177.02
2006-02-8330588	BAERGA ANTONIO	UNCOLLECTABLE	\$ 361.20
2006-02-8330618	MATTHEW DONALDSON L	UNCOLLECTABLE	\$ 503.00
2006-02-8330677	MATOS AWILDA	UNCOLLECTABLE	\$ 361.20
2006-02-8330685	NUNES OCEANIRA	UNCOLLECTABLE	\$ 66.84
2006-02-8330707	PEREIRA ANTONIO F	UNCOLLECTABLE	\$ 772.98
2006-02-8330723	RAMIREZ BERNABE	UNCOLLECTABLE	\$ 79.46
2006-02-8330740	RIVERA EDILBERTO	UNCOLLECTABLE	\$ 361.20
2006-02-8330758	RIVERA EDILBERTO	UNCOLLECTABLE	\$ 361.20
2006-02-8330766	RIVERA EDILBERTO	UNCOLLECTABLE	\$ 361.20
2006-02-8330782	SAINT VICTOR SAMUEL	UNCOLLECTABLE	\$ 361.20
2006-02-8330812	SCOTT KAVAIN L	UNCOLLECTABLE	\$ 361.20
2006-02-8330821	SCUDDER SONSEEHRAY	UNCOLLECTABLE	\$ 361.20
2006-02-8330839	SEMEXANT MARIO	UNCOLLECTABLE	\$ 361.20
2006-02-8330847	SHAW DONNETTE VICTORIA	UNCOLLECTABLE	\$ 462.34
2006-02-8330871	SMALL OUDIA	UNCOLLECTABLE	\$ 361.20
2006-02-8330898	SOURIVANH KHAMPHOUTH	UNCOLLECTABLE	\$ 361.20
2006-02-8330936	VILLACIS RAUL	UNCOLLECTABLE	\$ 361.20
2006-02-8330944	VILLACIS RAUL	UNCOLLECTABLE	\$ 361.20
2006-02-8330961	BARRIER JAMES	UNCOLLECTABLE	\$ 83.10
2006-02-8331011	WINER PATRICIA M	UNCOLLECTABLE	\$ 84.88
2006-02-8331487	VASQUEZ JESUS	UNCOLLECTABLE	\$ 95.74
2006-02-8331509	DAMMAD ABDUL M	UNCOLLECTABLE	\$ 513.82
2006-02-8331606	WOOD JAMES E	UNCOLLECTABLE	\$ 103.86
2006-02-8331622	BUTLER STEPHANIE	UNCOLLECTABLE	\$ 111.08
2006-02-8331649	DAFONTE SILVESTER M AKA	UNCOLLECTABLE	\$ 361.20
2006-02-8331673	HEAVEN GARY P	UNCOLLECTABLE	\$ 247.44
2006-02-8331690	JOHNSON ALFRED	UNCOLLECTABLE	\$ 363.92
2006-02-8331703	LOMANTO BRIAN T	UNCOLLECTABLE	\$ 307.96
2006-02-8331720	RAMSEY CURTIS T	UNCOLLECTABLE	\$ 70.42
2006-02-8331819	LEITE VANIA	UNCOLLECTABLE	\$ 66.84
2006-02-8331827	HASSAN GOUMA	UNCOLLECTABLE	\$ 361.20
2006-02-8331843	ACOSTA STEPHANIE E	UNCOLLECTABLE	\$ 660.12
2006-02-8331860	ORTIZ JESUS	BANKRUPTCY	\$ 361.20
2006-02-8331878	ORTIZ JESUS	BANKRUPTCY	\$ 361.20

Bill #	Name	Reason	Town Due
2006-02-8336292	BELLAMY CAROLYN	UNCOLLECTABLE	\$ 361.20
2006-02-8336306	RODRIGUEZ CARMEN	UNCOLLECTABLE	\$ 361.20
2006-02-8336314	MARTINEZ MARCO A	UNCOLLECTABLE	\$ 112.00
2006-02-8336471	ALLEN EDWARD M	UNCOLLECTABLE	\$ 361.20
2006-02-8336489	ALLEN EDWARD M	UNCOLLECTABLE	\$ 361.20
2006-02-8336497	ALVAREZ RAMONA	UNCOLLECTABLE	\$ 361.20
2006-02-8336527	BERNARD ANGEL L JR	UNCOLLECTABLE	\$ 361.20
2006-02-8336543	BROWN PAUL	UNCOLLECTABLE	\$ 361.20
2006-02-8336551	BROWN PAUL	UNCOLLECTABLE	\$ 361.20
2006-02-8336560	CASON JOHN W	UNCOLLECTABLE	\$ 361.20
2006-02-8336578	MARKO CONSTANTINE	UNCOLLECTABLE	\$ 361.20
2006-02-8336594	CRUZ RENAY A	UNCOLLECTABLE	\$ 102.04
2006-02-8336608	DALEY DENHAM	UNCOLLECTABLE	\$ 361.20
2006-02-8336659	EBRON REBIA	UNCOLLECTABLE	\$ 361.20
2006-02-8336667	EBRON REBIA	UNCOLLECTABLE	\$ 361.20
2006-02-8336675	EBRON REBIA	UNCOLLECTABLE	\$ 361.20
2006-02-8336683	ESPINAL LUIS	UNCOLLECTABLE	\$ 361.20
2006-02-8336705	FOSTER ANDREW	UNCOLLECTABLE	\$ 361.20
2006-02-8336713	GIBSON MASIE	UNCOLLECTABLE	\$ 361.20
2006-02-8336799	LEE CLAUDE W	UNCOLLECTABLE	\$ 361.20
2006-02-8336802	LOPEZ EUGENIA	UNCOLLECTABLE	\$ 361.20
2006-02-8336811	LOPEZ EUGENIA	UNCOLLECTABLE	\$ 361.20
2006-02-8336829	LOPEZ WILFREDO	UNCOLLECTABLE	\$ 361.20
2006-02-8336845	MARCELLUS JEAN JACQUES	UNCOLLECTABLE	\$ 361.20
2006-02-8336900	ORTIZ JACOB H	UNCOLLECTABLE	\$ 361.20
2006-02-8336918	ORTIZ JESUS	BANKRUPTCY	\$ 361.20
2006-02-8336934	RAMIREZ EDDY L	UNCOLLECTABLE	\$ 361.20
2006-02-8336942	RAMIREZ EDDY L	UNCOLLECTABLE	\$ 361.20
2006-02-8336951	HERNANDEZ CARMEN	UNCOLLECTABLE	\$ 178.78
2006-02-8336969	RODRIGUEZ EDGAR	UNCOLLECTABLE	\$ 168.88
2006-02-8336993	RODRIGUEZ ERNESTO	UNCOLLECTABLE	\$ 361.20
2006-02-8337019	LOPEZ JEFFERY	UNCOLLECTABLE	\$ 69.56
2006-02-8337051	VASQUEZ ANGEL G	UNCOLLECTABLE	\$ 361.20
2006-02-8337132	RUCKER BEVERLY J	UNCOLLECTABLE	\$ 57.80
2006-02-8337281	RICARDO GERMAN F	UNCOLLECTABLE	\$ 311.54
2006-02-8337311	RICARDO GERMAN F	UNCOLLECTABLE	\$ 134.10
2006-02-8337337	GOINGS EMMA S	UNCOLLECTABLE	\$ 111.08
2006-02-8337353	FAIRFIELD COUNTY CARTING LLC	UNCOLLECTABLE	\$ 225.76
2006-02-8337388	410-450 EAST MAIN LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8337396	410-450 EAST MAIN LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8337485	ARRIAZA MARVIN	UNCOLLECTABLE	\$ 173.38
2006-02-8337493	AUGUSTIN KETTELIE	UNCOLLECTABLE	\$ 361.20
2006-02-8337574	BRITT ERNEST	UNCOLLECTABLE	\$ 361.20
2006-02-8337612	BUTLER SANDRA J	UNCOLLECTABLE	\$ 361.20
2006-02-8337639	CAFORA LOUIS	UNCOLLECTABLE	\$ 75.87
2006-02-8337663	CARPIO MARVIN OMAR	UNCOLLECTABLE	\$ 311.54
2006-02-8337728	CLARK WILLIE	UNCOLLECTABLE	\$ 138.16
2006-02-8337744	CORTEZ JOSE	UNCOLLECTABLE	\$ 75.88
2006-02-8337752	MELO RIVAN FERREIRA	UNCOLLECTABLE	\$ 361.20
2006-02-8337795	DAVIS CARL	UNCOLLECTABLE	\$ 73.16
2006-02-8337817	DELRIO LUIS A	UNCOLLECTABLE	\$ 232.98

Bill #	Name	Reason	Town Due
2006-02-8337833	DICKS DANIEL J	UNCOLLECTABLE	\$ 123.72
2006-02-8337841	DOSSANTOS MARLENE	UNCOLLECTABLE	\$ 361.20
2006-02-8337884	FEDERICO BARBARA	UNCOLLECTABLE	\$ 361.20
2006-02-8337892	FEDERICO BARBARA	UNCOLLECTABLE	\$ 361.20
2006-02-8337906	FEDERICO BARBARA	UNCOLLECTABLE	\$ 361.20
2006-02-8337914	FERNANDES ORALDO J	UNCOLLECTABLE	\$ 132.76
2006-02-8337949	FLEMING TERIA	UNCOLLECTABLE	\$ 361.20
2006-02-8337957	FLEURANCY ERIQUE	UNCOLLECTABLE	\$ 361.20
2006-02-8337973	GAINES ARTHUR J JR	UNCOLLECTABLE	\$ 361.20
2006-02-8338023	GONZALEZ JUAN RAFAEL	UNCOLLECTABLE	\$ 53.30
2006-02-8338031	GONZALEZ VLADIMIRO	UNCOLLECTABLE	\$ 361.20
2006-02-8338074	INTHIRATHL KONGKHAM	UNCOLLECTABLE	\$ 113.78
2006-02-8338112	KALABER ZSOLT	BANKRUPTCY	\$ 361.20
2006-02-8338139	LOPEZ MILEDY	UNCOLLECTABLE	\$ 70.42
2006-02-8338155	LOZADA ROBERT M	UNCOLLECTABLE	\$ 361.20
2006-02-8338210	GEFFRARO GERLAD JR	UNCOLLECTABLE	\$ 65.02
2006-02-8338236	MEDINA NOEMI	UNCOLLECTABLE	\$ 361.20
2006-02-8338244	ANTONIO GERMAN	UNCOLLECTABLE	\$ 361.20
2006-02-8338287	MONTANEZ EDWIN	UNCOLLECTABLE	\$ 361.20
2006-02-8338295	MONTANEZ EDWIN	UNCOLLECTABLE	\$ 361.20
2006-02-8338309	MONTANEZ EDWIN	UNCOLLECTABLE	\$ 361.20
2006-02-8338317	MONTANEZ EDWIN	UNCOLLECTABLE	\$ 361.20
2006-02-8338325	MONTANEZ EDWIN	UNCOLLECTABLE	\$ 361.20
2006-02-8338406	OBERLE KEITH R	UNCOLLECTABLE	\$ 361.20
2006-02-8338473	PEREZOTERO JOSE L	UNCOLLECTABLE	\$ 174.28
2006-02-8338481	PESCHIER NICOLE BREWSTER	UNCOLLECTABLE	\$ 361.20
2006-02-8338490	POLCHOWSKI ANANI	UNCOLLECTABLE	\$ 361.20
2006-02-8338546	RAMROOP DEOMATTY	UNCOLLECTABLE	\$ 361.20
2006-02-8338562	RIVERA HIRAM	UNCOLLECTABLE	\$ 361.20
2006-02-8338601	SALMAN JOSEPH M	UNCOLLECTABLE	\$ 25.80
2006-02-8338635	SANCHEZ MARIA	UNCOLLECTABLE	\$ 109.28
2006-02-8338678	SORRENTINO ROBERT G	UNCOLLECTABLE	\$ 361.20
2006-02-8338708	SUTTON LASHONDA	UNCOLLECTABLE	\$ 361.20
2006-02-8338716	THOMPSON IRIS	UNCOLLECTABLE	\$ 54.20
2006-02-8338759	DENOMME RICHARD	UNCOLLECTABLE	\$ 95.73
2006-02-8338775	VALENTINE NNODUM	UNCOLLECTABLE	\$ 361.20
2006-02-8338783	VALENTINE NNODUM	UNCOLLECTABLE	\$ 361.20
2006-02-8338791	VALENTINE NNODUM	UNCOLLECTABLE	\$ 361.20
2006-02-8338805	VALENTINE NNODUM	UNCOLLECTABLE	\$ 361.20
2006-02-8338813	ROSADO CARMEN	UNCOLLECTABLE	\$ 361.20
2006-02-8338830	SMITH ANTONETTE	UNCOLLECTABLE	\$ 145.18
2006-02-8338872	WATKINS ROBERT	UNCOLLECTABLE	\$ 361.20
2006-02-8338902	WINSTON MATTHEW D	UNCOLLECTABLE	\$ 36.12
2006-02-8338937	BAUTISTA RICARDO	UNCOLLECTABLE	\$ 361.20
2006-02-8338953	WT APARTMENTS LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8339577	FAIRFIELD COUNTY CARTING LLC	UNCOLLECTABLE	\$ 65.12
2006-02-8339704	SCOTT JAMES A	UNCOLLECTABLE	\$ 68.66
2006-02-8339712	NEW ENGLAND INVESTMENTS LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8339721	NEW ENGLAND INVESTMENTS LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8339739	NEW ENGLAND INVESTMENTS LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8339747	NEW ENGLAND INVESTMENTS LLC	UNCOLLECTABLE	\$ 361.20

Bill #	Name	Reason	Town Due
2006-02-8339755	NEW ENGLAND INVESTMENTS LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8339763	NEW ENGLAND INVESTMENTS LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8339771	PARROTT AVE LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8339798	REALTY ASSET PROPERTIES LTD	UNCOLLECTABLE	\$ 361.20
2006-02-8339844	ALVARADA VICTOR M	BANKRUPTCY	\$ 25.80
2006-02-8339887	AREVALO CLAUDIA	UNCOLLECTABLE	\$ 361.20
2006-02-8339895	AREVALO CLAUDIA	UNCOLLECTABLE	\$ 361.20
2006-02-8339909	AYALA LINDA LIMI	UNCOLLECTABLE	\$ 91.23
2006-02-8339933	AZEEZ JIDE	UNCOLLECTABLE	\$ 361.20
2006-02-8339984	BERMUDEZ ANGELITA M	UNCOLLECTABLE	\$ 84.88
2006-02-8340010	BERNARD ANGEL L JR	UNCOLLECTABLE	\$ 361.20
2006-02-8340052	BONNER FLOYD JR	UNCOLLECTABLE	\$ 78.60
2006-02-8340079	BONNEY TOUSSAINT	UNCOLLECTABLE	\$ 68.65
2006-02-8340087	BOURSIQUOT JEAN GARDY	UNCOLLECTABLE	\$ 361.20
2006-02-8340095	MARTINS PEDRO ALEX	UNCOLLECTABLE	\$ 125.54
2006-02-8340109	BROWN BERNICE L	UNCOLLECTABLE	\$ 361.20
2006-02-8340117	BROWN BERNICE L	UNCOLLECTABLE	\$ 361.20
2006-02-8340125	BROWN FRED H	UNCOLLECTABLE	\$ 361.20
2006-02-8340141	MARRERO MONSERRATE	UNCOLLECTABLE	\$ 361.20
2006-02-8340150	BUTTS RASHAAN	UNCOLLECTABLE	\$ 361.20
2006-02-8340176	CASADO CARMEN	UNCOLLECTABLE	\$ 361.20
2006-02-8340184	CASADO CARMEN	UNCOLLECTABLE	\$ 361.20
2006-02-8340214	CATARINO GERALDO	UNCOLLECTABLE	\$ 84.87
2006-02-8340222	CAVINESS DOROTHY D	UNCOLLECTABLE	\$ 361.20
2006-02-8340265	CISSE AWA	UNCOLLECTABLE	\$ 361.20
2006-02-8340281	CROSS PHILIP	UNCOLLECTABLE	\$ 361.20
2006-02-8340290	CUAYA MAGDALENA	UNCOLLECTABLE	\$ 361.20
2006-02-8340303	CZERNOTA SOPHIE EVELYN	UNCOLLECTABLE	\$ 361.20
2006-02-8340371	DEJEAN ELIZABETH	UNCOLLECTABLE	\$ 361.20
2006-02-8340389	DELACRUZ GLORIMAR	UNCOLLECTABLE	\$ 361.20
2006-02-8340427	DIAZ FELIX A	UNCOLLECTABLE	\$ 149.90
2006-02-8340460	DONALDSON ANDRE L	UNCOLLECTABLE	\$ 361.20
2006-02-8340486	DUFANE JULIANIE	UNCOLLECTABLE	\$ 361.20
2006-02-8340516	RIVERA SHIRLEY	UNCOLLECTABLE	\$ 59.62
2006-02-8340559	GONZALES WILLIAM	UNCOLLECTABLE	\$ 361.20
2006-02-8340567	JOHNSON TERENCE	UNCOLLECTABLE	\$ 102.96
2006-02-8340605	FERNEZ EDWARD	UNCOLLECTABLE	\$ 214.04
2006-02-8340613	FLEMING RONDA	UNCOLLECTABLE	\$ 55.11
2006-02-8340630	FREEMAN IRIS	UNCOLLECTABLE	\$ 361.20
2006-02-8340648	FULLER JAMES A	UNCOLLECTABLE	\$ 361.20
2006-02-8340656	FULLER JAMES A	UNCOLLECTABLE	\$ 361.20
2006-02-8340664	FULLER JAMES A	UNCOLLECTABLE	\$ 361.20
2006-02-8340699	GOMEZ ANGEL	UNCOLLECTABLE	\$ 361.20
2006-02-8340702	GONZALEZ MARIA	UNCOLLECTABLE	\$ 361.20
2006-02-8340711	GONZALEZ MARIA	UNCOLLECTABLE	\$ 361.20
2006-02-8340729	GRIFFIN ROBERT L	UNCOLLECTABLE	\$ 361.20
2006-02-8340796	HENDERSON GILLIAN	UNCOLLECTABLE	\$ 361.20
2006-02-8340800	HERIVEAUX EMMANUEL	UNCOLLECTABLE	\$ 361.20
2006-02-8340818	HERNANDEZ ADAN	UNCOLLECTABLE	\$ 361.20
2006-02-8340826	HOOKS CURTIS V	UNCOLLECTABLE	\$ 361.20
2006-02-8340834	HOOKS CURTIS V	UNCOLLECTABLE	\$ 361.20

Bill #	Name	Reason	Town Due
2006-02-8340842	HOOKS CURTIS V	UNCOLLECTABLE	\$ 188.74
2006-02-8340851	HOOKS CURTIS V	UNCOLLECTABLE	\$ 361.20
2006-02-8340869	IANNELLI JOSEPH A	UNCOLLECTABLE	\$ 361.20
2006-02-8340877	ATKINSON ANDREW	UNCOLLECTABLE	\$ 361.20
2006-02-8340885	ITURRALDE MIRIAM	UNCOLLECTABLE	\$ 361.20
2006-02-8340893	JACKSON ESTHER	UNCOLLECTABLE	\$ 681.78
2006-02-8340923	JAMES ROGER EVANS JR	UNCOLLECTABLE	\$ 127.36
2006-02-8340974	JEROME ANTOINE K	UNCOLLECTABLE	\$ 361.20
2006-02-8340991	JOHNSON HENRY	UNCOLLECTABLE	\$ 68.66
2006-02-8341016	KEARNEY MICHAEL	UNCOLLECTABLE	\$ 361.20
2006-02-8341075	KIM JUNG UNG	UNCOLLECTABLE	\$ 361.20
2006-02-8341083	LAWRENCE SANDY	UNCOLLECTABLE	\$ 361.20
2006-02-8341105	LAZO OSCAR H	UNCOLLECTABLE	\$ 361.20
2006-02-8341121	LEE BETTY	UNCOLLECTABLE	\$ 361.20
2006-02-8341130	LEFKOWITZ RICHARD	UNCOLLECTABLE	\$ 361.20
2006-02-8341156	LOPEZ JOSE	UNCOLLECTABLE	\$ 361.20
2006-02-8341164	LOPEZ JOSE	UNCOLLECTABLE	\$ 361.20
2006-02-8341202	MARCHIANO MARIO	UNCOLLECTABLE	\$ 361.20
2006-02-8341211	STARON HELEN	UNCOLLECTABLE	\$ 361.20
2006-02-8341229	MARKS TINA	UNCOLLECTABLE	\$ 361.20
2006-02-8341318	MIMS HAROLD	UNCOLLECTABLE	\$ 87.64
2006-02-8341342	MONTANEZ EDWIN	UNCOLLECTABLE	\$ 361.20
2006-02-8341351	BAILEY WILLIAM T	UNCOLLECTABLE	\$ 361.20
2006-02-8341369	MORALES JAYSON G	UNCOLLECTABLE	\$ 55.98
2006-02-8341393	NAPLES THOMAS P	UNCOLLECTABLE	\$ 136.40
2006-02-8341423	NOGUERAS MICHELLE	UNCOLLECTABLE	\$ 361.20
2006-02-8341458	PACHECO ORLANDO	UNCOLLECTABLE	\$ 361.20
2006-02-8341491	PHILLIPS ALBERTA T	UNCOLLECTABLE	\$ 361.20
2006-02-8341504	PHILLIPS ALBERTA T	UNCOLLECTABLE	\$ 361.20
2006-02-8341512	PIERRE MARIE	UNCOLLECTABLE	\$ 361.20
2006-02-8341539	PINEDA BERTA	UNCOLLECTABLE	\$ 361.20
2006-02-8341555	WALTER PALMA	UNCOLLECTABLE	\$ 361.20
2006-02-8341571	RANGEL LOURDES	UNCOLLECTABLE	\$ 361.20
2006-02-8341580	RANGEL LOURDES	UNCOLLECTABLE	\$ 361.20
2006-02-8341644	MARTINEZ MILTON JR	UNCOLLECTABLE	\$ 546.34
2006-02-8341652	RIVERA DELIA	UNCOLLECTABLE	\$ 361.20
2006-02-8341687	ROSADO EDUARDO	UNCOLLECTABLE	\$ 361.20
2006-02-8341709	SAMATULSKI VIRGINIA	UNCOLLECTABLE	\$ 361.20
2006-02-8341733	SEGARRA RAFAEL JR	UNCOLLECTABLE	\$ 361.20
2006-02-8341750	SOMOHANO MARY M	UNCOLLECTABLE	\$ 361.20
2006-02-8341792	USED0 ANASTACIO	UNCOLLECTABLE	\$ 119.22
2006-02-8341814	VALENTIN EDWIN	UNCOLLECTABLE	\$ 361.20
2006-02-8341831	VEGA FABIAN	UNCOLLECTABLE	\$ 361.20
2006-02-8341849	VINES SEARS	UNCOLLECTABLE	\$ 123.76
2006-02-8341857	VOID JAMES	UNCOLLECTABLE	\$ 72.24
2006-02-8341873	DILLON CHEDDI	UNCOLLECTABLE	\$ 361.20
2006-02-8341881	WILLIS DAWNE	UNCOLLECTABLE	\$ 361.20
2006-02-8343485	FRAZIER DONALD	UNCOLLECTABLE	\$ 411.78
2006-02-8343493	KOVACS EMERY D	UNCOLLECTABLE	\$ 48.76
2006-02-8343540	HENRIQUES ARMINDA C	UNCOLLECTABLE	\$ 214.04
2006-02-8343558	HENRIQUES ARMINDA C	UNCOLLECTABLE	\$ 160.74

Bill #	Name	Reason	Town Due
2006-02-8343574	1946 EAST MAIN STREET LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8343604	ALFARO ELSIE R	UNCOLLECTABLE	\$ 461.48
2006-02-8343639	ANNUZZI SANDRA E	UNCOLLECTABLE	\$ 260.06
2006-02-8343655	BARDSLIVING KEEANN	UNCOLLECTABLE	\$ 361.20
2006-02-8343671	BLAKE LENNOX	UNCOLLECTABLE	\$ 63.20
2006-02-8343680	BOYD ANDRE U	UNCOLLECTABLE	\$ 162.56
2006-02-8343710	CHISHA ERIC Y	UNCOLLECTABLE	\$ 118.32
2006-02-8343779	CURTIN ROHAN K	UNCOLLECTABLE	\$ 140.89
2006-02-8343787	DALY ROBERT F	UNCOLLECTABLE	\$ 176.10
2006-02-8343809	DEJESUS ANTONIO	UNCOLLECTABLE	\$ 361.20
2006-02-8343817	GARCIA HILBERTO	UNCOLLECTABLE	\$ 139.98
2006-02-8343868	HANTON ELAINE R	UNCOLLECTABLE	\$ 79.46
2006-02-8343876	HAZEL WILLIAM	BANKRUPTCY	\$ 180.60
2006-02-8343884	HENRIQUES ARMINDA C	UNCOLLECTABLE	\$ 177.92
2006-02-8343892	HENRIQUES ARMINDA C	UNCOLLECTABLE	\$ 614.04
2006-02-8343922	HERNANDEZ ANGELA D	UNCOLLECTABLE	\$ 107.50
2006-02-8343931	GONZALEZ WANDA Y	UNCOLLECTABLE	\$ 72.24
2006-02-8343990	HUITZIL MAXIMINA Z	UNCOLLECTABLE	\$ 361.20
2006-02-8344007	JEAN BAPTISTE R	UNCOLLECTABLE	\$ 139.98
2006-02-8344015	JOSEPH CHASLEY	UNCOLLECTABLE	\$ 361.20
2006-02-8344058	ŁEPKOWSKI THERESA A	UNCOLLECTABLE	\$ 291.68
2006-02-8344066	LEWIS ANTHONY D	UNCOLLECTABLE	\$ 1,291.28
2006-02-8344074	LOPEZ ERNESTO ARTURO	UNCOLLECTABLE	\$ 190.56
2006-02-8344121	MATEO AMY	UNCOLLECTABLE	\$ 361.20
2006-02-8344155	MCDOWELL JAMES S	UNCOLLECTABLE	\$ 361.20
2006-02-8344163	MCNEIL MAURICE R	UNCOLLECTABLE	\$ 216.72
2006-02-8344180	MENDEZ SHELLYANN	UNCOLLECTABLE	\$ 109.28
2006-02-8344210	MONTES ERICA	UNCOLLECTABLE	\$ 361.20
2006-02-8344228	CORWELL JOYCE	UNCOLLECTABLE	\$ 88.50
2006-02-8344317	ORTERO SANTA	UNCOLLECTABLE	\$ 361.20
2006-02-8344368	ONUNOGBO KINGSLEY N	UNCOLLECTABLE	\$ 649.30
2006-02-8344376	PACHECO FRANCISCO M	UNCOLLECTABLE	\$ 361.20
2006-02-8344384	PACHECO RAQUEL	UNCOLLECTABLE	\$ 361.20
2006-02-8344414	PEREZ JULIO A	UNCOLLECTABLE	\$ 361.20
2006-02-8344422	PHANNGAVONG JOANNE	UNCOLLECTABLE	\$ 104.78
2006-02-8344431	PIERCE ROBERT C	UNCOLLECTABLE	\$ 149.72
2006-02-8344449	QUINONEZ JANET	UNCOLLECTABLE	\$ 361.20
2006-02-8344490	RIVERA JUAN B	UNCOLLECTABLE	\$ 97.54
2006-02-8344511	SAMANIEGO WILSON	UNCOLLECTABLE	\$ 169.78
2006-02-8344546	SILVA RONALDO	UNCOLLECTABLE	\$ 167.06
2006-02-8344554	SMALL WANDA E	UNCOLLECTABLE	\$ 145.40
2006-02-8344562	SNOW LIONEL V	UNCOLLECTABLE	\$ 349.48
2006-02-8344589	STEVENS LA VERNCE MARIE	UNCOLLECTABLE	\$ 361.20
2006-02-8344597	STEVENS LA VERNCE MARIE	UNCOLLECTABLE	\$ 361.20
2006-02-8344619	TORRES FELIX	UNCOLLECTABLE	\$ 80.41
2006-02-8344643	TUCKER DARYELL E	UNCOLLECTABLE	\$ 66.84
2006-02-8344651	VAZQUEZ MOSHELLAMIL	UNCOLLECTABLE	\$ 158.06
2006-02-8344686	GREEN TAMMY	UNCOLLECTABLE	\$ 361.20
2006-02-8344694	WARD FRANCIS	UNCOLLECTABLE	\$ 307.04
2006-02-8344708	WHITE BRIAN	UNCOLLECTABLE	\$ 361.20
2006-02-8344724	WILLSON KIARA	UNCOLLECTABLE	\$ 361.20

Bill #	Name	Reason	Town Due
2006-02-8344741	GUTIERREZ CESAR A	UNCOLLECTABLE	\$ 189.64
2006-02-8344759	EVANGELISTE MARIA C	UNCOLLECTABLE	\$ 95.74
2006-02-8344767	ESTORIL APARTMENTS LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8344775	ESTORIL APARTMENTS LLC	UNCOLLECTABLE	\$ 361.20
2006-02-8344864	ALONZO ROSA B	UNCOLLECTABLE	\$ 361.20
2006-02-8344872	ANDERSON CURTIS	UNCOLLECTABLE	\$ 55.12
2006-02-8344881	ARMISTEAD KISHA K	UNCOLLECTABLE	\$ 103.86
2006-02-8344899	BAKER JAMES MANUEL	UNCOLLECTABLE	\$ 333.22
2006-02-8344911	BARGAS WASHINGTON DANILO	UNCOLLECTABLE	\$ 149.90
2006-02-8344937	BROWN BERKELEY HULON	UNCOLLECTABLE	\$ 267.30
2006-02-8344953	CARTER TONYA MICHELLE	UNCOLLECTABLE	\$ 61.42
2006-02-8344961	CINO BERNARD	UNCOLLECTABLE	\$ 521.94
2006-02-8344996	CRUZ ANTHONY A	UNCOLLECTABLE	\$ 252.84
2006-02-8345020	DASILVA ADALTO	UNCOLLECTABLE	\$ 136.40
2006-02-8345038	DAVIS BRANDI	UNCOLLECTABLE	\$ 154.44
2006-02-8345062	FAWOLE BABAJIDE	UNCOLLECTABLE	\$ 361.20
2006-02-8345089	FOSTER MICHAEL	UNCOLLECTABLE	\$ 84.00
2006-02-8345097	GONZALEZ AMANDA	UNCOLLECTABLE	\$ 253.76
2006-02-8345101	HODGES DOROTHY LAVERN	UNCOLLECTABLE	\$ 180.60
2006-02-8345119	HODGES DOROTHY LAVERN	UNCOLLECTABLE	\$ 783.82
2006-02-8345151	LOWERY EMMA H	UNCOLLECTABLE	\$ 311.54
2006-02-8345160	MACIEL ROGERIO BARBOSA	UNCOLLECTABLE	\$ 125.54
2006-02-8345178	MCPHAIL ERWIN	UNCOLLECTABLE	\$ 89.42
2006-02-8345208	MORAIS JANIO	UNCOLLECTABLE	\$ 122.82
2006-02-8345259	OLADEJI JOHN	UNCOLLECTABLE	\$ 361.20
2006-02-8345267	OLADEJI JOHN	UNCOLLECTABLE	\$ 361.20
2006-02-8345275	OLADEJI JOHN	UNCOLLECTABLE	\$ 361.20
2006-02-8345348	RAMOS CARLOS	UNCOLLECTABLE	\$ 594.18
2006-02-8345372	ROAN JAMES D JR	UNCOLLECTABLE	\$ 1,722.94
2006-02-8345381	RODRIGUES ANTONIO	UNCOLLECTABLE	\$ 505.68
2006-02-8345399	RUFFIN KEVIN	UNCOLLECTABLE	\$ 241.12
2006-02-8345402	SANCHEZ JENSSY	UNCOLLECTABLE	\$ 109.28
2006-02-8345437	SCOTT BETTY	UNCOLLECTABLE	\$ 102.04
2006-02-8345461	STOLIKER RICHARD	UNCOLLECTABLE	\$ 379.28
2006-02-8345470	STOLIKER RICHARD	UNCOLLECTABLE	\$ 530.08
2006-02-8345500	TOMANINI ROGERIO	UNCOLLECTABLE	\$ 115.58
2006-02-8345577	WILLIAMS SIRRAM M	BANKRUPTCY	\$ 361.20
2006-02-8348223	RIBEIRO MARLY S	UNCOLLECTABLE	\$ 68.66
2006-02-8348339	SIGUA CLAUDIO M	UNCOLLECTABLE	\$ 209.50
2006-02-8348428	ROSA ANDRIANA B	UNCOLLECTABLE	\$ 349.48
2006-02-8348550	TRAVAGLINI GIULIANO VIAN	UNCOLLECTABLE	\$ 280.88
2006-02-8348568	HAWKEYE CONSTRUCTION	UNCOLLECTABLE	\$ 339.54
2006-02-8348576	NEW CAANNAN INTERIORS	UNCOLLECTABLE	\$ 113.78
2006-02-8348592	ADAMS THOMAS M	UNCOLLECTABLE	\$ 112.00
2006-02-8348606	ALSTON JANINE N	UNCOLLECTABLE	\$ 103.86
2006-02-8348614	ANSTETT HERBERT	UNCOLLECTABLE	\$ 14.99
2006-02-8348622	ARANA SYRLENE S	UNCOLLECTABLE	\$ 114.72
2006-02-8348631	BARAJAS JUAN RANGEL	UNCOLLECTABLE	\$ 289.88
2006-02-8348649	BETRO BRUNO	UNCOLLECTABLE	\$ 486.74
2006-02-8348673	CALDERON ENRIQUE	UNCOLLECTABLE	\$ 232.08
2006-02-8348681	CALDERON ENRIQUE	UNCOLLECTABLE	\$ 250.16

Bill #	Name	Reason	Town Due
2006-02-8348690	CAMPOS FREDERICO A	UNCOLLECTABLE	\$ 87.60
2006-02-8348703	CEDENO VENANCIA	UNCOLLECTABLE	\$ 1,102.60
2006-02-8348711	CHAN FENG K	UNCOLLECTABLE	\$ 61.42
2006-02-8348720	CLARK BRANDON	UNCOLLECTABLE	\$ 71.38
2006-02-8348738	COSGROVE FRANCIS A	UNCOLLECTABLE	\$ 93.92
2006-02-8348762	DELIMA TARLIS BATISTA	UNCOLLECTABLE	\$ 614.96
2006-02-8348771	DELLAMARGGIO DONNA M	UNCOLLECTABLE	\$ 110.18
2006-02-8348789	DEOLIVEIRA JOSE B	UNCOLLECTABLE	\$ 95.74
2006-02-8348797	DEOLIVERIA MARCOS	UNCOLLECTABLE	\$ 64.16
2006-02-8348827	DOWSEY ANN L	UNCOLLECTABLE	\$ 89.42
2006-02-8348835	DUNN WILLIAM P	UNCOLLECTABLE	\$ 195.06
2006-02-8348908	FILHO DJALMA	UNCOLLECTABLE	\$ 142.66
2006-02-8348916	FILHO JOAO B	UNCOLLECTABLE	\$ 156.24
2006-02-8348924	GABRIELLE PIERRE PAUL	UNCOLLECTABLE	\$ 106.54
2006-02-8348932	GARCIA MARCOS V	UNCOLLECTABLE	\$ 363.92
2006-02-8348967	GUILLEN JOSE R	UNCOLLECTABLE	\$ 74.06
2006-02-8348975	HARNOIS MICHEAL W	UNCOLLECTABLE	\$ 127.36
2006-02-8348983	IZZO SHELIA	UNCOLLECTABLE	\$ 204.10
2006-02-8349009	JOYLES DION	UNCOLLECTABLE	\$ 1,074.24
2006-02-8349017	JULIANI ANGELO F	UNCOLLECTABLE	\$ 273.66
2006-02-8349025	LOPEZ ERNESTO	UNCOLLECTABLE	\$ 436.16
2006-02-8349033	LOWERY EUGENE	UNCOLLECTABLE	\$ 113.78
2006-02-8349068	MARCIAL THOMAS	UNCOLLECTABLE	\$ 84.88
2006-02-8349076	MASTRO KIELY J	UNCOLLECTABLE	\$ 189.64
2006-02-8349092	MCGHEE SONIA	UNCOLLECTABLE	\$ 197.78
2006-02-8349106	MCKNIGHT MILDRED M	UNCOLLECTABLE	\$ 779.34
2006-02-8349157	MERISIER PIERRE R	UNCOLLECTABLE	\$ 156.24
2006-02-8349165	MITCHELL ADRIENNE	UNCOLLECTABLE	\$ 145.40
2006-02-8349190	PAMBIANCHI ROBERT	UNCOLLECTABLE	\$ 645.66
2006-02-8349203	PAMBIANCHI ROBERT P	UNCOLLECTABLE	\$ 53.30
2006-02-8349211	PAMBIANCHI ROBERT P	UNCOLLECTABLE	\$ 277.24
2006-02-8349238	REILLY WILLIAM J	UNCOLLECTABLE	\$ 53.30
2006-02-8349246	RIBEIRO AILSON	UNCOLLECTABLE	\$ 95.74
2006-02-8349254	RIBEIRO VALDECI	UNCOLLECTABLE	\$ 96.64
2006-02-8349262	RITENOUR JAMES E	UNCOLLECTABLE	\$ 661.02
2006-02-8349271	RULLAN RULLAN ALBIN	UNCOLLECTABLE	\$ 123.72
2006-02-8349289	SACRAMENTO SANDOVAL D	UNCOLLECTABLE	\$ 401.86
2006-02-8349297	SAINVIL MARIE E	UNCOLLECTABLE	\$ 537.30
2006-02-8349301	SEIDE MARIE	UNCOLLECTABLE	\$ 179.74
2006-02-8349327	SHORT JAMES	UNCOLLECTABLE	\$ 12.13
2006-02-8349335	SOUSA ANDRE L	UNCOLLECTABLE	\$ 197.78
2006-02-8349343	SOUZA CELSO	UNCOLLECTABLE	\$ 74.06
2006-02-8349351	SOUZA SAMUEL I	UNCOLLECTABLE	\$ 98.46
2006-02-8349360	VARELA MARLON Z	UNCOLLECTABLE	\$ 158.06
2006-02-8349378	WARD FRANCIS	UNCOLLECTABLE	\$ 100.28
2006-02-8349386	WELITON MOREIRA	UNCOLLECTABLE	\$ 304.32
2006-02-8349394	WELLINGTON KEYON CARLEAF	UNCOLLECTABLE	\$ 467.74
2006-02-8349408	WIGGINS TERESA CHERRY	UNCOLLECTABLE	\$ 81.28
2006-02-8352395	MIRANDA RAMON JOSE	UNCOLLECTABLE	\$ 871.42
2006-02-8352441	DOSSANTOS CONCIECO D	UNCOLLECTABLE	\$ 154.44
2006-02-8352450	BARBOSA EDINALDO F	UNCOLLECTABLE	\$ 167.06

Bill #	Name	Reason	Town Due
2006-02-8352484	SALOMAO MARCOS	UNCOLLECTABLE	\$ 67.74
2006-02-8352492	PAVIOTE WEDER	UNCOLLECTABLE	\$ 241.12
2006-02-8352514	MATESIC SIMUN	UNCOLLECTABLE	\$ 288.10
2006-02-8352522	SEUK KOOK	UNCOLLECTABLE	\$ 242.02
2006-02-8352531	LITUMA JOSE A	UNCOLLECTABLE	\$ 103.86
2006-02-8352557	FERREIRA GILBERTO SIMIL	UNCOLLECTABLE	\$ 156.24
2006-02-8352565	PAWLISHEN SUSAN N	UNCOLLECTABLE	\$ 570.70
2006-02-8352581	SISNIEGAS KAROLA	UNCOLLECTABLE	\$ 163.48
2006-02-8352590	SENZER MARGARET L	UNCOLLECTABLE	\$ 528.26
2006-02-8352603	MORALES DORA L	UNCOLLECTABLE	\$ 332.30
2006-02-8352611	LOPEZ JINHSON	UNCOLLECTABLE	\$ 422.62
2006-02-8352662	GARCIA MARCUS VINICIUS	UNCOLLECTABLE	\$ 361.20
2006-02-8352697	HOWARD EARNEST L	UNCOLLECTABLE	\$ 361.20
2006-02-8352701	JAQUEZ GUILLERMO	UNCOLLECTABLE	\$ 361.20
2006-02-8352760	RANDOLPH WENDELL L	UNCOLLECTABLE	\$ 361.20
2006-02-8352778	STERLING FELICIA	UNCOLLECTABLE	\$ 361.20
2006-02-8352824	BRAMANTE DENIS J	UNCOLLECTABLE	\$ 197.78
2006-02-8352841	CARPIO MARVIN OMAR	UNCOLLECTABLE	\$ 309.78
2006-02-8352883	DE SOUSA JOELMA FARIA	UNCOLLECTABLE	\$ 306.14
2006-02-8352891	DEAN ERIC M	UNCOLLECTABLE	\$ 1,157.66
2006-02-8352905	DUNCAN JUANITA	UNCOLLECTABLE	\$ 25.80
2006-02-8352930	KUCINSKIENE LORETA	UNCOLLECTABLE	\$ 702.54
2006-02-8352948	NICHOLAS LYNN C	UNCOLLECTABLE	\$ 119.22
2006-02-8352956	NICHOLAS LYNN C	UNCOLLECTABLE	\$ 577.92
2006-02-8352964	NICHOLAS LYNN C	UNCOLLECTABLE	\$ 186.96
2006-02-8352981	PERRY MYEISHA V	UNCOLLECTABLE	\$ 551.76
2006-02-8353006	TAYLOR LEAH DEBORA	UNCOLLECTABLE	\$ 141.80
2006-02-8353049	BATISTA ANTONIO C	UNCOLLECTABLE	\$ 174.28
2006-02-8353057	CASTELLANO RICHARD	UNCOLLECTABLE	\$ 121.00
2006-02-8353081	MCCULLOUGH RASHEEDA	UNCOLLECTABLE	\$ 778.38
2006-02-8353138	SILVA JAIRO	UNCOLLECTABLE	\$ 183.32
2006-02-8353154	TASSI CLAUDIA	UNCOLLECTABLE	\$ 893.96
2006-02-8353481	MARTIN KENNETH	UNCOLLECTABLE	\$ 361.20
2006-02-8353553	ALCIDE JACKSON	UNCOLLECTABLE	\$ 361.20
2006-02-8353588	ANTUNES FERNANDO	UNCOLLECTABLE	\$ 367.56
2006-02-8353596	ARNONE RALPH	BANKRUPTCY	\$ 25.80
2006-02-8353618	BARNES RAYNELL	UNCOLLECTABLE	\$ 177.02
2006-02-8353634	BRONFMAN WALLACE	UNCOLLECTABLE	\$ 1,825.86
2006-02-8353669	CASKIN EDWARD T	UNCOLLECTABLE	\$ 5.22
2006-02-8353685	CHESNEY MILDRED	UNCOLLECTABLE	\$ 101.14
2006-02-8353693	CRUZ RIODIN WALLYN	UNCOLLECTABLE	\$ 329.62
2006-02-8353715	DONASCIMENTO SANDRA M	UNCOLLECTABLE	\$ 297.10
2006-02-8353731	DOUPONA LAUREN E	UNCOLLECTABLE	\$ 153.52
2006-02-8353740	DOUPONA LAUREN E	UNCOLLECTABLE	\$ 593.28
2006-02-8353758	ELNAEEM MOHAMED E	UNCOLLECTABLE	\$ 116.50
2006-02-8353766	ELNAEEM MOHAMED E	UNCOLLECTABLE	\$ 798.28
2006-02-8353791	COLSON CHARLENE	UNCOLLECTABLE	\$ 361.20
2006-02-8353812	FLORES ESTHER	UNCOLLECTABLE	\$ 120.12
2006-02-8353898	GONCALVES GEIDIMILSON B	UNCOLLECTABLE	\$ 74.06
2006-02-8353936	HENRY CAMILLE A	UNCOLLECTABLE	\$ 737.76
2006-02-8353944	HERNADEZ JOSE S	UNCOLLECTABLE	\$ 256.48

Bill #	Name	Reason	Town Due
2006-02-8353987	LEAL HERBETY A	UNCOLLECTABLE	\$ 343.16
2006-02-8353995	LIMA ALEXANDER	UNCOLLECTABLE	\$ 116.50
2006-02-8354037	LOPEZ ERNESTO ARTURO	UNCOLLECTABLE	\$ 367.56
2006-02-8354061	MAYARD FALLIERE J	UNCOLLECTABLE	\$ 762.16
2006-02-8354100	MENDEZ MARIA LUISA	UNCOLLECTABLE	\$ 116.50
2006-02-8354151	MORA JESUS	UNCOLLECTABLE	\$ 490.38
2006-02-8354169	MORA JESUS	UNCOLLECTABLE	\$ 340.44
2006-02-8354177	MOREIRA FABIO R	UNCOLLECTABLE	\$ 144.48
2006-02-8354215	PARRISH MATRO I	UNCOLLECTABLE	\$ 702.54
2006-02-8354291	RODRIGO GIZELLE	UNCOLLECTABLE	\$ 143.62
2006-02-8354304	SANCHES JULIANO P	UNCOLLECTABLE	\$ 109.28
2006-02-8354321	SCHAFFER KISOOK	UNCOLLECTABLE	\$ 393.74
2006-02-8354339	SIMPSON PAULINE	UNCOLLECTABLE	\$ 110.18
2006-02-8354347	SMITH BRYAN C	DECEASED	\$ 228.48
2006-03-6261849	ARROYO DAVID	BANKRUPTCY	\$ 140.16
2006-03-6617457	ARNONE RALPH A OR	BANKRUPTCY	\$ 513.62
2006-03-7101998	MERCADO SANTIAGO	BANKRUPTCY	\$ 124.26
2006-03-7375907	ARNONE JOANNE OR	BANKRUPTCY	\$ 273.08
2006-03-7482754	MERCADO SANTIAGO	BANKRUPTCY	\$ 85.94
2006-03-7777746	COKE DIANNE	BANKRUPTCY	\$ 441.38
2006-03-7819899	HILL RONNIE A	DECEASED	\$ 317.12
2006-03-8142595	ARNONE RALPH A	BANKRUPTCY	\$ 312.08
2006-03-8208421	HOLLOWAY JENNIE	DECEASED	\$ 321.46
2006-03-8213093	JAMES PATRICIA A	BANKRUPTCY	\$ 99.70
2006-03-8240571	MODLA THOMAS A	BANKRUPTCY	\$ 259.32
2006-03-8240589	MODLA THOMAS A	BANKRUPTCY	\$ 477.50
2006-04-8036990	JAMES PATRICIA A	BANKRUPTCY	\$ 71.58
2006-04-8362170	ARNONE RALPH A	BANKRUPTCY	\$ 48.22
2006-04-8415095	GRAY CHRISTIE	BANKRUPTCY	\$ 23.82
2006-04-8452080	MODLA THOMAS A	BANKRUPTCY	\$ 653.79
2007-03-7777746	COKE DIANNE	BANKRUPTCY	\$ 404.12
2007-03-8138083	ALLEN WILLODENE F	BANKRUPTCY	\$ 273.82
2007-03-8208421	HOLLOWAY JENNIE	DECEASED	\$ 285.54
2007-03-8240589	MODLA THOMAS A	BANKRUPTCY	\$ 447.00
2007-03-8531702	ARNONE RALPH A	BANKRUPTCY	\$ 191.12
2007-03-8589859	GRAY CHRISTIE	BANKRUPTCY	\$ 71.77
2007-03-8589867	GRAY CHRISTIE M	BANKRUPTCY	\$ 101.42
2007-03-8621019	MARTINEZ ADALBERTO	BANKRUPTCY	\$ 142.76
2007-03-8629869	MODLA THOMAS A	BANKRUPTCY	\$ 673.26
2007-03-8672756	SANTIAGO DAWN M	BANKRUPTCY	\$ 467.01
2007-04-0087042	GRAY CHRISTIE M	BANKRUPTCY	\$ 73.60
2007-04-0087043	GRAY CHRISTIE M	BANKRUPTCY	\$ 370.77
2007-04-0093200	PATRON VIRGINIA S	DECEASED	\$ 66.42
2008-03-0053053	ARNONE RALPH A	BANKRUPTCY	\$ 400.18
2008-03-0062425	COKE DIANNE	BANKRUPTCY	\$ 306.44
2008-03-0076336	GRAY CHRISTIE	BANKRUPTCY	\$ 59.66
2008-03-0076337	GRAY CHRISTIE M	BANKRUPTCY	\$ 65.86
2008-03-0076338	GRAY CHRISTIE M	BANKRUPTCY	\$ 79.30
2008-03-0076339	GRAY CHRISTIE M	BANKRUPTCY	\$ 306.44
2008-03-0099223	PATRON VIRGINIA S	DECEASED	\$ 55.79
2008-03-0109539	SANTIAGO DAWN M	BANKRUPTCY	\$ 366.10

Bill #	Name	Reason	Town Due
2009-02-0045314	ARONE RALPH	BANKRUPTCY	\$ 743.26
2009-03-0003096	ARNONE RALPH A	BANKRUPTCY	\$ 146.28
2009-03-0026010	GRAY CHRISTIE M	BANKRUPTCY	\$ 65.41
2009-03-0026011	GRAY CHRISTIE M	BANKRUPTCY	\$ 265.20
2009-03-0048653	PATRON VIRGINIA S	DECEASED	\$ 57.08
2009-04-0080778	ARNONE RALPH A OR	BANKRUPTCY	\$ 380.70
2009-04-0095872	SILVA ANASTASIA P	BANKRUPTCY	\$ 455.34
2010-02-0045314	ARONE RALPH	BANKRUPTCY	\$ 743.26
2010-03-0014386	CRUZ LUIS M	BANKRUPTCY	\$ 163.72
2010-03-0039995	MCCOY NICHELLE I	BANKRUPTCY	\$ 21.48
2010-03-0040358	MCLEAIN LAWRENCE M	BANKRUPTCY	\$ 211.68
2010-03-0068668	VILLA ADRIANA M	BANKRUPTCY	\$ 59.26
2010-03-0068669	VILLA ADRIANA M	BANKRUPTCY	\$ 196.02
2010-04-0080781	ARNONE RALPH A OR	BANKRUPTCY	\$ 338.21
2010-04-0083683	CRUZ LUIS M	BANKRUPTCY	\$ 66.79
2011-02-0040348	ARONE RALPH	BANKRUPTCY	\$ 585.82
2011-03-0053194	ARNONE RALPH A OR	BANKRUPTCY	\$ 750.26
2011-03-0056649	BOSWELL BRENDA D	BANKRUPTCY	\$ 311.21
2011-03-0064151	CRUZ LUIS M	BANKRUPTCY	\$ 113.06
2011-03-0089439	MCCOY NICHELLE I	BANKRUPTCY	\$ 289.42
2011-03-0089797	MCLEAIN LAWRENCE M	BANKRUPTCY	\$ 212.96
2011-03-0089798	MCLEAIN LAWRENCE M	BANKRUPTCY	\$ 128.68
2011-03-0099702	PETTWAY NYESHA	BANKRUPTCY	\$ 349.02
2011-03-0106830	RUDOLPH RUTH M	BANKRUPTCY	\$ 254.06
2011-03-0117726	VILLA ADRIANA M	BANKRUPTCY	\$ 115.12
2011-03-0117727	VILLA ADRIANA M	BANKRUPTCY	\$ 387.68
2011-04-0097079	SANTIAGO EFRAIN	BANKRUPTCY	\$ 8.55
2012-02-0001226	ARONE RALPH	BANKRUPTCY	\$ 596.44
2012-03-0053332	ARNONE RALPH A OR	BANKRUPTCY	\$ 675.96
2012-03-0056794	BOSWELL BRENDA D	BANKRUPTCY	\$ 602.30
2012-03-0058728	BYRON CELESTE	DECEASED	\$ 115.10
2012-03-0061144	CHAPPELL CATANYA T	BANKRUPTCY	\$ 240.26
2012-03-0061511	CHILVERS JOCELYN E	DECEASED	\$ 172.45
2012-03-0065535	DAVIS GLORIA G	BANKRUPTCY	\$ 99.61
2012-03-0080788	JACKSON FRANK C	BANKRUPTCY	\$ 196.30
2012-03-0080789	JACKSON FRANK C	BANKRUPTCY	\$ 20.93
2012-03-0088581	MARONICH JOHN	BANKRUPTCY	\$ 253.49
2012-03-0090133	MCCOY NICHELLE	BANKRUPTCY	\$ 607.32
2012-03-0090493	MCLEAIN LAWRENCE M	BANKRUPTCY	\$ 197.98
2012-03-0090494	MCLEAIN LAWRENCE M	BANKRUPTCY	\$ 126.82
2012-03-0090495	MCLEAIN SASHA	BANKRUPTCY	\$ 305.54
2012-03-0091719	MESTRE EDGARDO	BANKRUPTCY	\$ 140.64
2012-03-0091720	MESTRE EDGARDO	BANKRUPTCY	\$ 204.26
2012-03-0100424	PETTWAY NYESHA	BANKRUPTCY	\$ 201.82
2012-03-0107632	RUDOLPH WALTER	BANKRUPTCY	\$ 9.43
2012-03-0108640	SANCHEZ ANNABEL	BANKRUPTCY	\$ 85.80
2012-03-0108641	SANCHEZ ANNABEL	BANKRUPTCY	\$ 211.80
2012-03-0108642	SANCHEZ ANNABEL	BANKRUPTCY	\$ 266.32
2012-03-0109169	SANTIAGO EFRAIN	BANKRUPTCY	\$ 98.36
2012-03-0109170	SANTIAGO EFRAIN	BANKRUPTCY	\$ 20.93
2012-03-0109171	SANTIAGO EFRAIN	BANKRUPTCY	\$ 20.93

Bill #	Name	Reason	Town Due
2012-03-0111860	SMITH WRIGHT JACQUELINE	BANKRUPTCY	\$ 104.22
2012-03-0112987	STATUM GEORGIA M	BANKRUPTCY	\$ 30.76
2012-04-0084249	DAVIS GLORIA G	BANKRUPTCY	\$ 5.86
2012-04-0088769	JACKSON FRANK C	BANKRUPTCY	\$ 58.18
2012-04-0091795	MESTRE EDGARDO	BANKRUPTCY	\$ 121.34
2012-04-0091796	MESTRE EDGARDO	BANKRUPTCY	\$ 119.08
2012-04-0091797	MESTRE EDGARDO	BANKRUPTCY	\$ 223.00
2012-04-0096758	SANCHEZ ANNABEL	BANKRUPTCY	\$ 251.30
2012-04-0096759	SANCHEZ ANNABEL	BANKRUPTCY	\$ 341.12
2012-04-0096949	SANTIAGO EFRAIN	BANKRUPTCY	\$ 177.84
2012-04-0096950	SANTIAGO EFRAIN	BANKRUPTCY	\$ 177.84
2013-03-0055222	BECKFORD BROWN DEATAN E	BANKRUPTCY	\$ 385.70
2013-03-0055223	BECKFORD BROWN DEATAN E	BANKRUPTCY	\$ 21.10
2013-03-0055249	BECKFORD-BROWN EUGENIE	BANKRUPTCY	\$ 172.38
2013-03-0061573	CHILVERS JOCELYN E	DECEASED	\$ 304.26
2013-03-0065684	DAVIS GLORIA G	BANKRUPTCY	\$ 106.34
2013-03-0071267	FEW GOOD MEN TRUCKING LL	DECEASED	\$ 355.32
2013-03-0072411	FOUNTAS GEORGE J	BANKRUPTCY	\$ 51.06
2013-03-0079508	HOLLOWAY JENNIE L	DECEASED	\$ 637.20
2013-03-0093688	MOORE HELY U	DECEASED	\$ 96.63
2013-03-0098575	OTT TIMOTHY DAVID OR	BANKRUPTCY	\$ 167.10
2013-03-0098579	OTT WENDY LOREEN	BANKRUPTCY	\$ 343.50
2013-03-0100989	PETERSON DAWUD M	BANKRUPTCY	\$ 112.67
2013-03-0109631	SANCHEZ ANNABEL	BANKRUPTCY	\$ 661.66
2013-03-0109632	SANCHEZ ANNABEL	BANKRUPTCY	\$ 79.75
2013-03-0109633	SANCHEZ ANNABEL	BANKRUPTCY	\$ 513.98
2013-03-0110160	SANTIAGO EFRAIN	BANKRUPTCY	\$ 21.10
2013-03-0110161	SANTIAGO EFRAIN	BANKRUPTCY	\$ 21.10
Total			\$ 208,876.02

Item# 89-14

Grant Submission: re U.S. Department of Justice (DOJ), Office of Justice Programs (OJP), and Bureau of Justice Assistance (BJA) Byrne Criminal Justice Innovation Program (#16430).



**Report
of
Committee
on**

Public Safety and Transportation

Submitted: June 15, 2015

Adopted:

Attest:

Fleeta C. Hudson
Fleeta C. Hudson, City Clerk

Approved by:

Bill Finch, Mayor



City of Bridgeport, Connecticut

To the City Council of the City of Bridgeport.

The Committee on **Public Safety and Transportation** begs leave to report; and recommends for adoption the following resolution:

89-14

**A Resolution by the Bridgeport City Council
Regarding the
U.S. Department of Justice, Office of Justice Programs and Bureau of Justice Assistance
Byrne Criminal Justice Innovation Grant Program**

WHEREAS, the U.S. Department of Justice (DOJ), Office of Justice Programs (OJP), and Bureau of Justice Assistance (BJA) are authorized to extend financial assistance to municipalities in the form of grants; and

WHEREAS, this funding has been made possible through the **Byrne Criminal Justice Innovation Grant Program**; and

WHEREAS, funds under this grant will be used to create the East End Violence Prevention Project; and

WHEREAS, it is desirable and in the public interest that the City of Bridgeport, **Department of Health and Social Services**, submits an application to the U.S. Department of Justice (DOJ), Office of Justice Programs (OJP), and Bureau of Justice Assistance (BJA) form a cross-sector partnership that will use data-driven research and community and resident input to develop a strategy to address violent crime, improve community safety, and advance neighborhood revitalization in the East End of Bridgeport.

NOW THEREFORE, BE IT HEREBY RESOLVED BY THE CITY COUNCIL:

1. That it is cognizant of the City's grant application to and contract with the U.S. Department of Justice (DOJ), Office of Justice Programs (OJP), and Bureau of Justice Assistance (BJA) for the purpose of the **Byrne Criminal Justice Innovation Grant Program**; and
2. That it hereby authorizes, directs and empowers the Mayor or his designee, the **Director of the Department of Health and Social Services**, to execute and file such application with the U.S. Department of Justice (DOJ), Office of Justice Programs (OJP) and Bureau of Justice Assistance (BJA) **Byrne Criminal Justice Innovation Grant Program (#16430)** and to provide such additional information and to execute such other contracts, amendments, and documents as may be necessary to administer this program.



Report of Committee on Public Safety and Transportation
89-14

-2-

**RESPECTFULLY SUBMITTED,
THE COMMITTEE ON PUBLIC SAFETY
AND
TRANSPORTATION**

Michelle A Lyons

Michelle A. Lyons, Co-Chair

Denese Taylor-Moye

Denese Taylor-Moye, Co-Chair

Jack O. Banta

Jack O. Banta

Richard D. Salter, Sr.

Richard D. Salter, Sr.

Alfredo Castillo

Eneida L. Martinez

Eneida L. Martinez

Melanie Jackson

Melanie Jackson

Resolution authorizing the Disposition of Certain City-Owned Properties by Auction, by Sale to Abutter or by Sale to Community based Housing Development Corporations.

Report
of
Committee
on

CD & Environment

Submitted: May 4, 2015

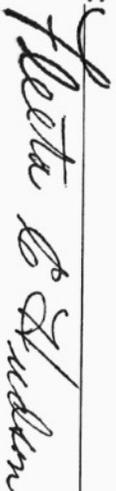
Tabled & Ref'd back to Committee: May 4, 2015

Resubmitted: June 1, 2015

Tabled by Full Council: June 1, 2015

Resubmitted: June 15, 2015

Adopted:



Attest:

City Clerk

Approved

Mayor



City of Bridgeport, Connecticut

To the City Council of the City of Bridgeport.

The Committee on ECD and Environment begs leave to report; and recommends for adoption the following resolution:

***33-14 Consent Calendar**

A Resolution Authorizing the Disposition of Certain City-Owned Properties by Auction, by Sale to Abutter, or by Sale to Community Based Housing Development Corporations

WHEREAS, over time by foreclosure and other conveyances, property comes to the ownership of the City of Bridgeport, much of which is blighted and deteriorated or consists of vacant lots, both buildable and non-buildable; and

WHEREAS, the Bridgeport City Council has the legal authority to approve the disposition of City-owned property; and

WHEREAS, the twenty-three properties listed in this resolution have been approved for disposition by the City Planning and Zoning Commission and subsequently by the City Hall Committee; and

WHEREAS, certain City-owned properties are located between two abutting property owners and consist of small silvers or non-buildable lots such that the best strategy for disposing of such properties would be to transfer them to an abutting property owner for the highest offer available thereby adding value to the abutting property while adding to the City's tax base and decreasing the City's ongoing maintenance responsibilities; and

WHEREAS, certain City properties lend themselves to redevelopment for small scale infill housing development and affordable housing development, such as is constructed by various community-based housing development organizations; and

WHEREAS, certain City properties may be of such value that it would be in the City's financial interest to offer them at public auction to the highest responsible bidder; and



Report of Committee on ECD and Environment
*33-14 Consent Calendar

-2-

NOW THEREFORE BE IT RESOLVED, that with respect to the following twenty-three properties listed within this resolution, the Mayor and/or the Director of OPED or their Designee is authorized to sale, lease, transfer or otherwise dispose of said properties by any of the three following methods:

1. Public Auction to the Highest Responsible Bidder
2. Direct Sale to an Abutter Making the Highest Responsible Offer
3. Direct Sale to a Responsible Community Based Housing Development Corporation, provided such Corporation agrees to pay full taxes on such Property;

BE IT FURTHER RESOLVED that it be required that the property at 104 Journire Road and 138 Ranch Drive, be auctioned or sold on the condition that:

1. It is to be used exclusively as owner-occupied housing for a term of not less than twenty years; and
2. That any deed transferring title ownership from the City to any purchaser by auction or sale will contain a reverter provision to the effect that in the event and at such time as the premises known as 104 Journire Road and 138 Ranch Drive, becomes occupied by other than any owner or owners in residence, then title will immediately revert to the City of Bridgeport without compensation.

BE IT FURTHER RESOLVED that the Mayor and/or the Director of the Office of Planning and Economic Development, or their respective designees, are hereby authorized to take all necessary actions and to do any and all necessary and appropriate things in furtherance of the objectives of this resolution.



Report of Committee on ECD and Environment
 *33-14 Consent Calendar

NUMBER	ADDRESS	HOUSE TYPE	Block/Lot
117	Andover Street	Res-Lot	308-28
167	Wessels Ave	Res-Lot	1940-01
145	Andover Street	Res-lot	308-36
106	Clifford Street	Res-Lot	620-31
112	Clifford Street	Res-Lot	620-30
65	Clifford Street	Res-Lot	620-02
1327	Reservoir Avenue	Res-Lot	2778-43
141	William Street	Res-Lot	1653-13A
143	William Street	Res-Lot	1653-13
1519	Seaview Avenue	Res-Lot	750-16
502	Berkshire Avenue	Res-Lot	1722-18
138	Ranch Drive	Res-Lot	2513-13A
677	Noble Avenue	Res-Lot	1631-14
1206	East Main Street	Res-Lot	1736-3A
74	Circular Avenue	Res-Condo	245-1A
167	Bradley Street	Res-Mult	2026-27
309	Bunnell Street	Res-Mult	747-26
171	Deforest Avenue	Res-Lot	611-07
47	Goodsell Street	Res	1001-14
242	Pearl Harbor Street	Res	1939-40
849	Noble Avenue	Res-Lot	1614-14
1777	Central Avenue	Res-Rowhouse	1813-24
121	George Street	Res-lot	
6-9	Madison CT	Res-Lot	1004-4
104	Jourmire RD	Res	2560-18

Attached please find individual parcel locator maps and parcel data sheets for all of these disposition parcels.



Report of Committee on ECD and Environment
*33-14 Consent Calendar

-4-

RESPECTFULLY SUBMITTED,
THE COMMITTEE ON
ECONOMIC AND COMMUNITY DEVELOPMENT & ENVIRONMENT

Lydia N. Martinez, Co-Chair

Jack O. Banta

Jack O. Banta, Co-Chair

Mary A. McBride-Lee

Jose R. Casco

Michelle A. Lyons

Michael J. Marella

Eneida Martinez

Eneida Martinez

Council Date: May 4, 2015
Tabled & Ref'd Back to Committee on May 4, 2015
Resubmitted: June 1, 2015
Tabled by Full Council: June 1, 2015
Resubmitted: June 15, 2015

117 ANDOVER ST

Location 117 ANDOVER ST **Assessment** \$48,560
Mblu 19/ 308/ 28/ / **Appraisal** \$69,370
Acct# EA-0000091 **PID** 2518
Owner BRIDGEPORT CITY OF FORECLOSURE **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$0	\$69,370	\$69,370

Assessment			
Valuation Year	Improvements	Land	Total
2013	\$0	\$48,560	\$48,560

Owner of Record

Owner BRIDGEPORT CITY OF FORECLOSURE **Sale Price** \$0
Co-Owner **Book & Page** 1589/ 542
Address EXEMPT PARCEL N/A **Sale Date** 08/24/1978
 BRIDGEPORT, CT 06604

Ownership History

Ownership History
No Data for Ownership History

Building Information

Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Grade:	
Stories:	

Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Full Baths:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	
Fireplaces:	
Fin Bsmt Area:	
Fin Bsmt Quality:	
Bsmt Garages:	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\08\99\73.JPG>)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 920
Description Mun Lnd Com
Zone ILI
Neighborhood IND
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 0.09
Frontage 0
Depth 0
Assessed Value \$48,560
Appraised Value \$69,370

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$69,370	\$69,370
2011	\$0	\$69,370	\$69,370
2009	\$0	\$69,370	\$69,370

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$48,560	\$48,560
2011	\$0	\$48,560	\$48,560
2009	\$0	\$48,560	\$48,560

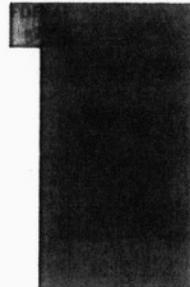
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Stories:	
Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	

Building Photo

(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\10\06\94.jpg>)

Building Layout



Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 921
Description Mun Lnd Res
Zone RC
Neighborhood 1610
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0.94
Frontage 0
Depth 0
Assessed Value \$28,690
Appraised Value \$40,990

Outbuildings

Outbuildings	Legend
---------------------	---------------

No Data for Outbuildings

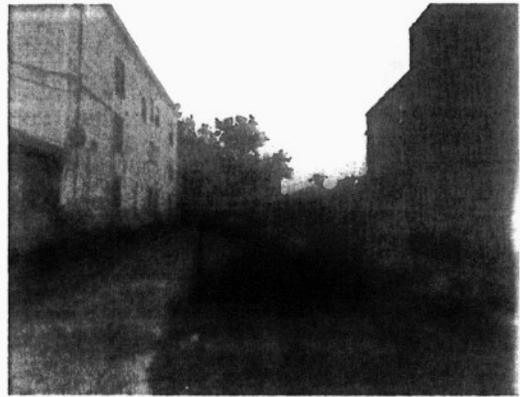
Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$132,520	\$40,990	\$173,510
2011	\$132,520	\$40,990	\$173,510
2009	\$148,880	\$40,990	\$189,870

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$92,760	\$28,690	\$121,450
2011	\$92,760	\$28,690	\$121,450
2009	\$104,220	\$28,690	\$132,910

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Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Full Baths:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	
Fireplaces:	
Fin Bsmt Area:	
Fin Bsmt Quality:	
Bsmt Garages:	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\08\99\82.JPG>)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 920
Description Mun Lnd Com
Zone ILI
Neighborhood IND
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0.09
Frontage 0
Depth 0
Assessed Value \$48,560
Appraised Value \$69,370

Outbuildings

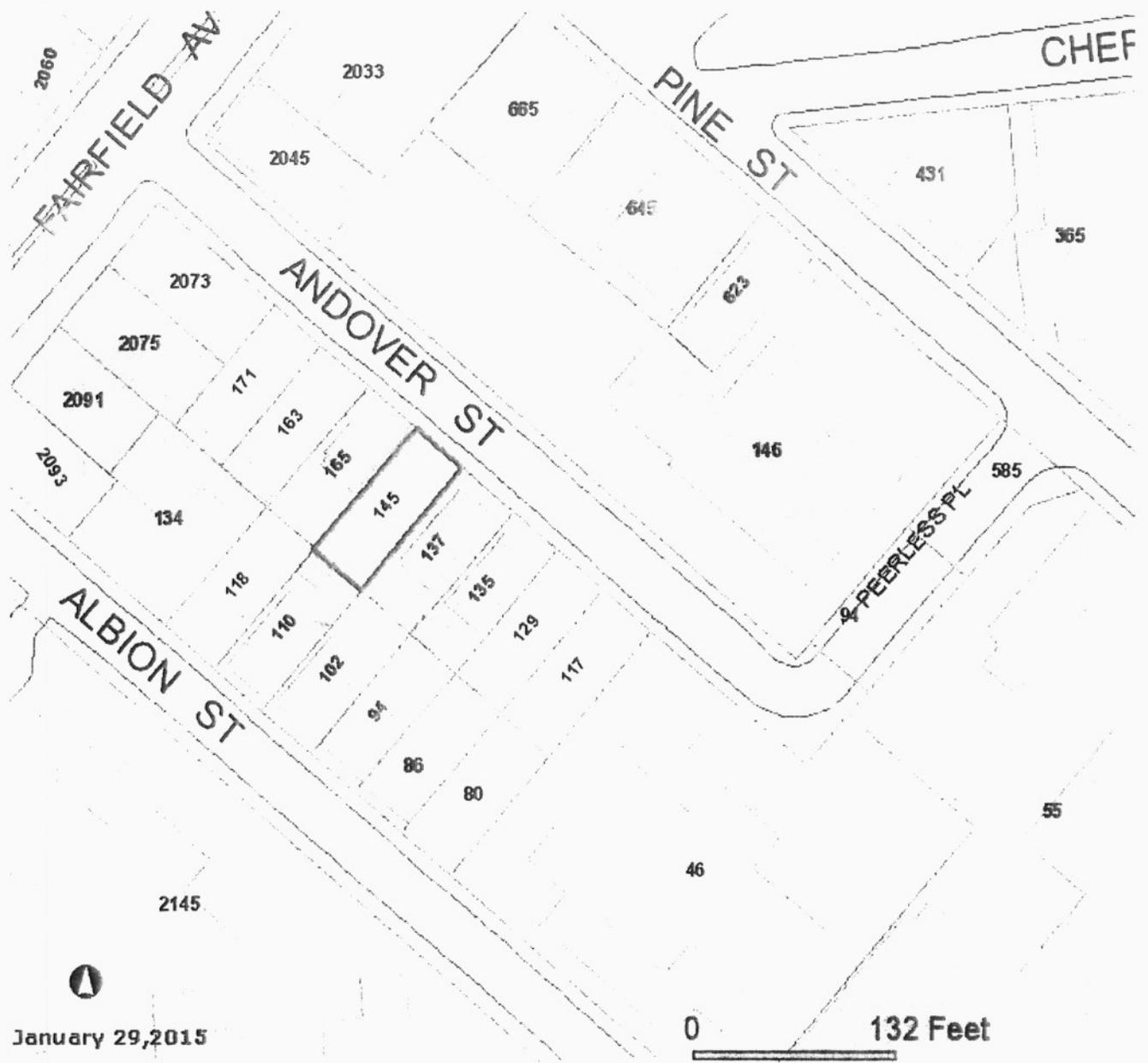
Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$69,370	\$69,370
2011	\$0	\$69,370	\$69,370
2009	\$0	\$69,370	\$69,370

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$48,560	\$48,560
2011	\$0	\$48,560	\$48,560
2009	\$0	\$48,560	\$48,560

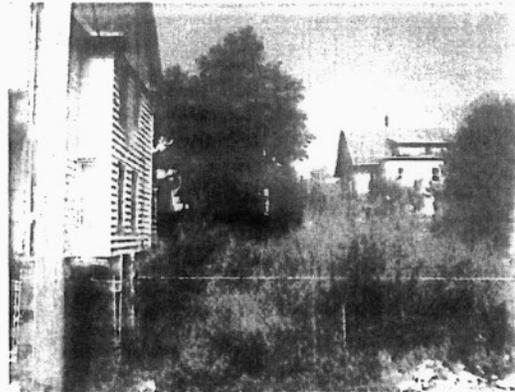
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January 29, 2015

0 132 Feet

Grade:	
Stories:	
Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(<http://images.vgsi.com/photos/BridgeportCTPhotos//\00\09\74\98.jpg>)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 921
Description Mun Lnd Res
Zone RBB
Neighborhood 1040
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0.06
Frontage 0
Depth 0
Assessed Value \$12,830
Appraised Value \$18,330

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

No Data for Outbuildings

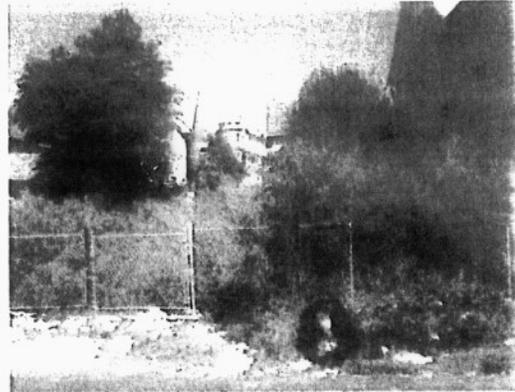
Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$18,330	\$18,330
2011	\$0	\$18,330	\$18,330
2009	\$0	\$18,330	\$18,330

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$12,830	\$12,830
2011	\$0	\$12,830	\$12,830
2009	\$0	\$12,830	\$12,830

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Model	
Grade:	
Stories:	
Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(http://images.vgsi.com/photos/BridgeportCTPhotos/\00\09\75\00.jpg)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 921
Description Mun Lnd Res
Zone RBB
Neighborhood 1040
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 0.06
Frontage 0
Depth 0
Assessed Value \$12,830
Appraised Value \$18,330

Outbuildings

--

Outbuildings

Legend

No Data for Outbuildings

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$18,330	\$18,330
2011	\$0	\$18,330	\$18,330
2009	\$0	\$18,330	\$18,330

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$12,830	\$12,830
2011	\$0	\$12,830	\$12,830
2009	\$0	\$12,830	\$12,830

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65 CLIFFORD ST

Location 65 CLIFFORD ST **Assessment** \$13,260
Mbiu 37/ 621/ 2/ / **Appraisal** \$18,940
Acct# EA-0001710 **PID** 3814
Owner BRIDGEPORT CITY OF FORECLOSURE **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$0	\$18,940	\$18,940

Assessment			
Valuation Year	Improvements	Land	Total
2013	\$0	\$13,260	\$13,260

Owner of Record

Owner BRIDGEPORT CITY OF FORECLOSURE **Sale Price** \$0
Co-Owner **Book & Page** 0/ 0
Address EXEMPT PARCEL N/A **Sale Date**
 BRIDGEPORT, CT 06604

Ownership History

Ownership History
No Data for Ownership History

Building Information

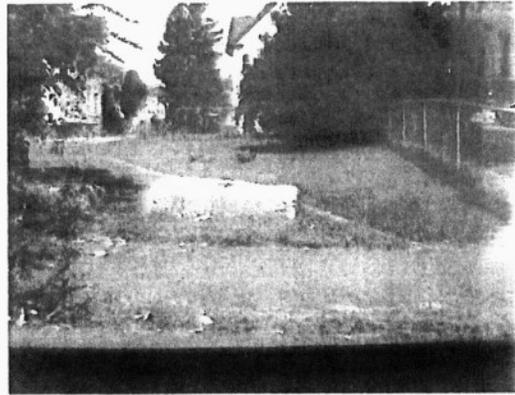
Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Grade:	
Stories:	

Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms:	
Total Full Baths:	
Total Half Baths:	
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	
Kitchen Style:	
Fireplaces:	
Fin Bsmt Area:	
Fin Bsmt Quality:	
Bsmt Garages:	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\09\74\96.jpg>)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 921
Description Mun Lnd Res
Zone RBB
Neighborhood 1040
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0.07
Frontage 0
Depth 0
Assessed Value \$13,260
Appraised Value \$18,940

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$18,940	\$18,940
2011	\$0	\$18,940	\$18,940
2009	\$0	\$18,940	\$18,940

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$13,260	\$13,260
2011	\$0	\$13,260	\$13,260
2009	\$0	\$13,260	\$13,260

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1327 RESERVOIR AV

Location 1327 RESERVOIR AV **Assessment** \$46,740
Mblu 83/ 2778/ 43/ / **Appraisal** \$66,770
Acct# EB-0014920 **PID** 32244
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$0	\$66,770	\$66,770

Assessment			
Valuation Year	Improvements	Land	Total
2013	\$0	\$46,740	\$46,740

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 0/ 0
Address EXEMPT PARCEL N/A **Sale Date**
 BRIDGEPORT, CT 00000

Ownership History

Ownership History
No Data for Ownership History

Building Information

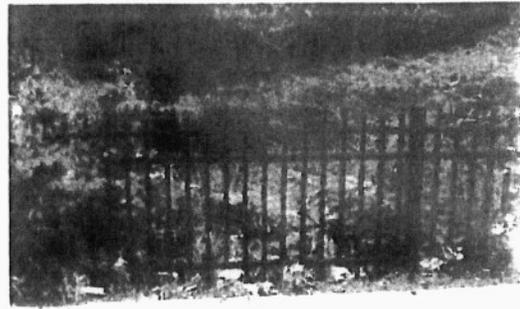
Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Grade:	
Stories:	

Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\04\01\12.jpg>)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 921
Description Mun Lnd Res
Zone RA
Neighborhood 2140
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 0.79
Frontage 0
Depth 0
Assessed Value \$46,740
Appraised Value \$66,770

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$66,770	\$66,770
2011	\$0	\$66,770	\$66,770
2009	\$0	\$66,770	\$66,770

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$46,740	\$46,740
2011	\$0	\$46,740	\$46,740
2009	\$0	\$46,740	\$46,740

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January 29, 2015

327 Feet

141 WILLIAM ST

Location 141 WILLIAM ST **Assessment** \$60,740
Mblu 42/ 1653/ 13/A / **Appraisal** \$86,770
Acct# RL-0055000 **PID** 14396
Owner BRIDGEPORT REDEVELOPMENT AGENCY **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$7,950	\$78,820	\$86,770
Assessment			
Valuation Year	Improvements	Land	Total
2013	\$5,570	\$55,170	\$60,740

Owner of Record

Owner BRIDGEPORT REDEVELOPMENT AGENCY **Sale Price** \$0
Co-Owner **Book & Page** 4439/ 296
Address 45 LYON TERR **Sale Date** 10/19/2000
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
LEONETTI PHILIP C	\$0	0/ 0	01/01/1900

Building Information

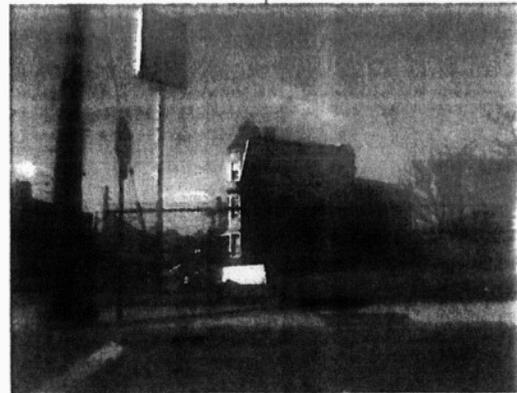
Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Outbuildings
Model	
Grade:	
Stories:	

Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\09\84\28.jpg>)

Building Layout

 Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 920
Description Mun Lnd Com
Zone B1
Neighborhood NC3
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 0.12
Frontage 0
Depth 0
Assessed Value \$55,170
Appraised Value \$78,820

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
PAV1	Paving Asph			5298 SF	\$7,950	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$7,950	\$78,820	\$86,770
2011	\$7,950	\$78,820	\$86,770
2009	\$7,950	\$78,820	\$86,770

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$5,570	\$55,170	\$60,740
2011	\$5,570	\$55,170	\$60,740
2009	\$5,570	\$55,170	\$60,740

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143 WILLIAM ST

Location 143 WILLIAM ST **Assessment** \$61,110
Mblu 42/ 1653/ 13/ / **Appraisal** \$87,310
Acct# RL-0054900 **PID** 14395
Owner BRIDGEPORT REDEVELOPMENT AUTHORITY (BRA) **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$8,490	\$78,820	\$87,310

Assessment			
Valuation Year	Improvements	Land	Total
2013	\$5,940	\$55,170	\$61,110

Owner of Record

Owner BRIDGEPORT REDEVELOPMENT AUTHORITY (BRA) **Sale Price** \$0
Co-Owner **Book & Page** 4439/ 296
Address 45 LYON TERRACE **Sale Date** 10/19/2007
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
LEONETTI PHILIP C	\$0	0/ 0	01/01/1900

Building Information

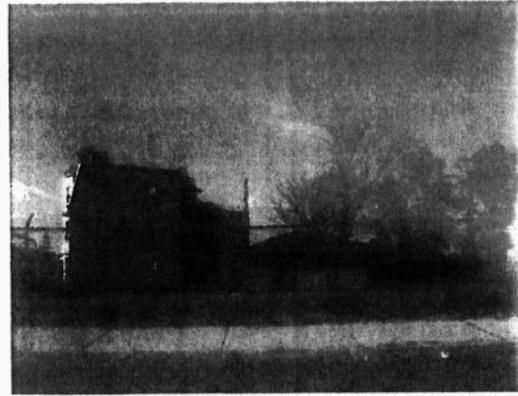
Building 1 : Section 1

Year Built: 1930
Living Area: 432
Replacement Cost: \$23,777
Building Percent: 15
Good:
Replacement Cost
Less Depreciation: \$3,570

Building Photo

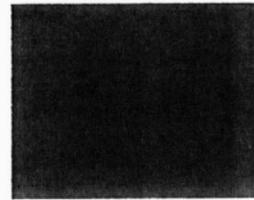
Building Attributes	
Field	Description
STYLE	Commercial
MODEL	Comm/Ind
Grade:	E
Stories:	1

Occupancy:	1
Exterior Wall 1:	Brick
Exterior Wall 2:	Concr/CinderBl
Roof Struct:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Drywall
Interior Wall 2:	
Interior Floor 1:	Linoleum
Interior Floor 2:	
Heating Fuel:	None
Heating Type:	None
AC Type:	None
Bldg Use:	Mun Com Bldg Mdl 94
Ttl Rooms:	
Ttl Bedrms:	00
Ttl Baths:	0
Ttl Half Baths:	0
Ttl Xtra Fix:	0
1st Floor Use:	
Heat/AC:	None
Frame Type:	Masonry
Baths/Plumbing:	Average
Ceiling/Wall:	Ceil & Walls
Rooms/Prtns:	Average
Wall Height:	9
% Conn Wall:	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\09\84\29.jpg>)

Building Layout



Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	432	432
		432	432

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code	922
Description	Mun Com Bldg Mdl 94
Zone	B1
Neighborhood	NC3
Alt Land Appr Category	No

Land Line Valuation

Size (Acres)	0.12
Frontage	0
Depth	0
Assessed Value	\$55,170
Appraised Value	\$78,820

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
PAV1	Paving Asph			4000 SF	\$3,600	1
FN1	Fence, Chain	4	4 ft	240 LF	\$1,320	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$8,490	\$78,820	\$87,310
2011	\$8,490	\$78,820	\$87,310
2009	\$8,490	\$78,820	\$87,310

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$5,940	\$55,170	\$61,110
2011	\$5,940	\$55,170	\$61,110
2009	\$5,940	\$55,170	\$61,110

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1519 SEAVIEW AV

Location 1519 SEAVIEW AV **Assessment** \$56,040
Mblu 43/ 750/ 16/ / **Appraisal** \$80,050
Acct# RS-0088400 **PID** 5281
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$10,500	\$69,550	\$80,050
Assessment			
Valuation Year	Improvements	Land	Total
2013	\$7,350	\$48,690	\$56,040

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 8387/ 309
Address 45 LYON TERRACE **Sale Date** 03/22/2011
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
SLEZAK LUCILLE A 1/2 &	\$0	3301/ 58	08/23/1994
SLEZAK JOHN B EST	\$0	3235/ 109	03/10/1994
SLEZAK JOHN B & ALICE SLEZAK	\$0	3091/ 155	01/29/1993
HARE INC	\$0	2982/ 47	03/04/1992

Building Information

Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Outbuildings

Model	
Grade:	
Stories:	
Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\09\84\95.jpg>)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 921
Description Mun Lnd Res
Zone ILI
Neighborhood SVAI
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0.09
Frontage 0
Depth 0
Assessed Value \$48,690
Appraised Value \$69,550

Outbuildings

--

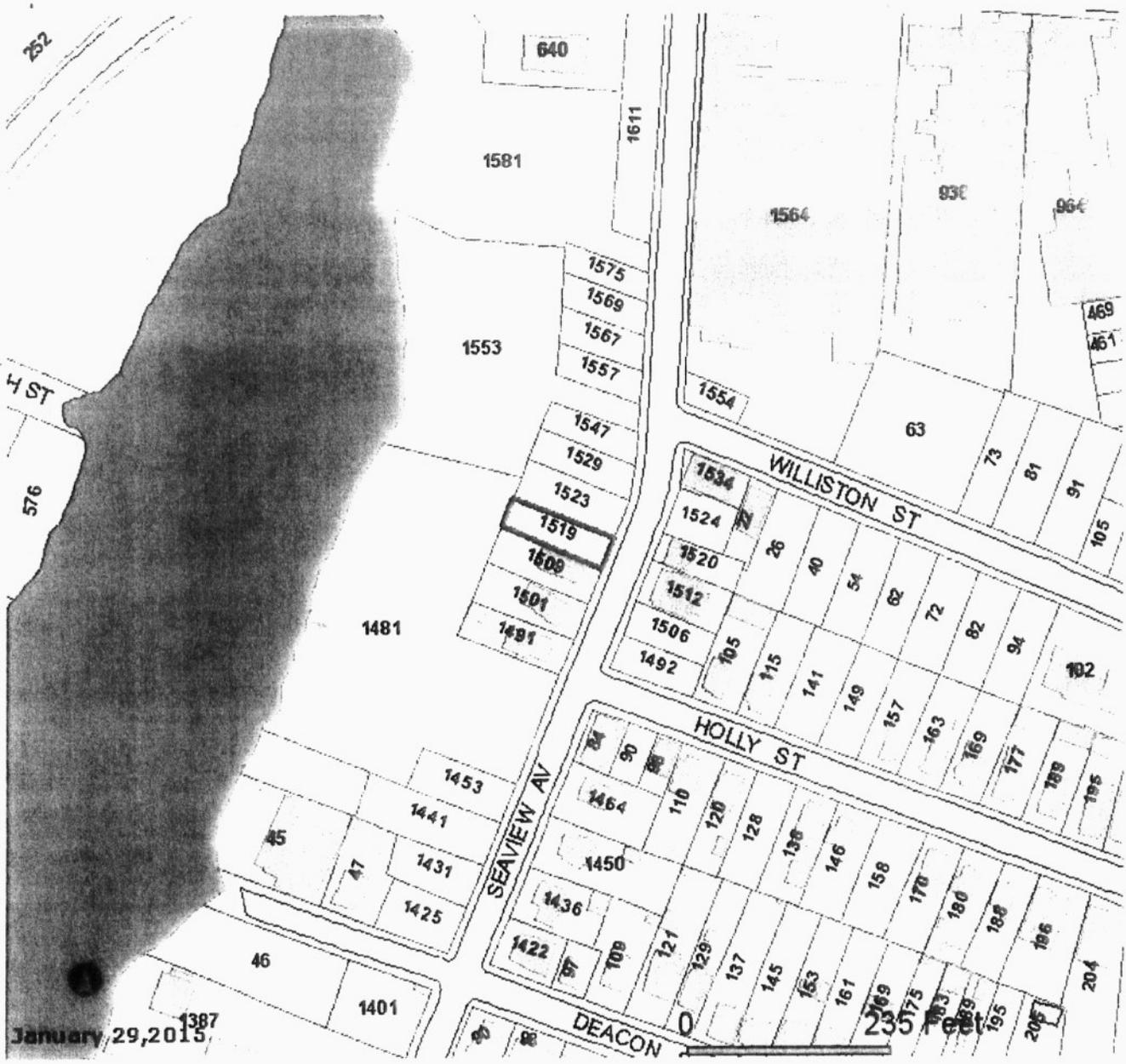
Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
WIRN	Wrought Iron 6			250 LF	\$10,500	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$10,500	\$69,550	\$80,050
2011	\$10,500	\$69,550	\$80,050
2009	\$10,500	\$69,550	\$80,050

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$7,350	\$48,690	\$56,040
2011	\$7,350	\$48,690	\$56,040
2009	\$7,350	\$48,690	\$56,040

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January 29, 2015

502 BERKSHIRE AV

Location 502 BERKSHIRE AV **Assessment** \$19,450
Mbiu 48/ 1722/ 18/ / **Appraisal** \$27,790
Acct# RS-0011626 **PID** 15093
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$0	\$27,790	\$27,790

Assessment			
Valuation Year	Improvements	Land	Total
2013	\$0	\$19,450	\$19,450

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 7714/ 71
Address 45 LYON TERRACE **Sale Date** 01/02/2008
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
STREIT MARK	\$0	3254/ 161	04/29/1994
IOVITA JAMES	\$5,000	2503/ 230	06/01/1988
DIPIETRO FRANCES ALICE	\$0	2442/ 349	01/26/1988

Building Information

Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent
Good:
Replacement Cost
Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Vacant Land
Model	

Grade:	
Stories:	
Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(<http://images.vgsi.com/photos/BridgeportCTPhotos//\00\07\58\75.JPG>)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 921
Description Mun Lnd Res
Zone C
Neighborhood 1430
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0.09
Frontage 0
Depth 0
Assessed Value \$19,450
Appraised Value \$27,790

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

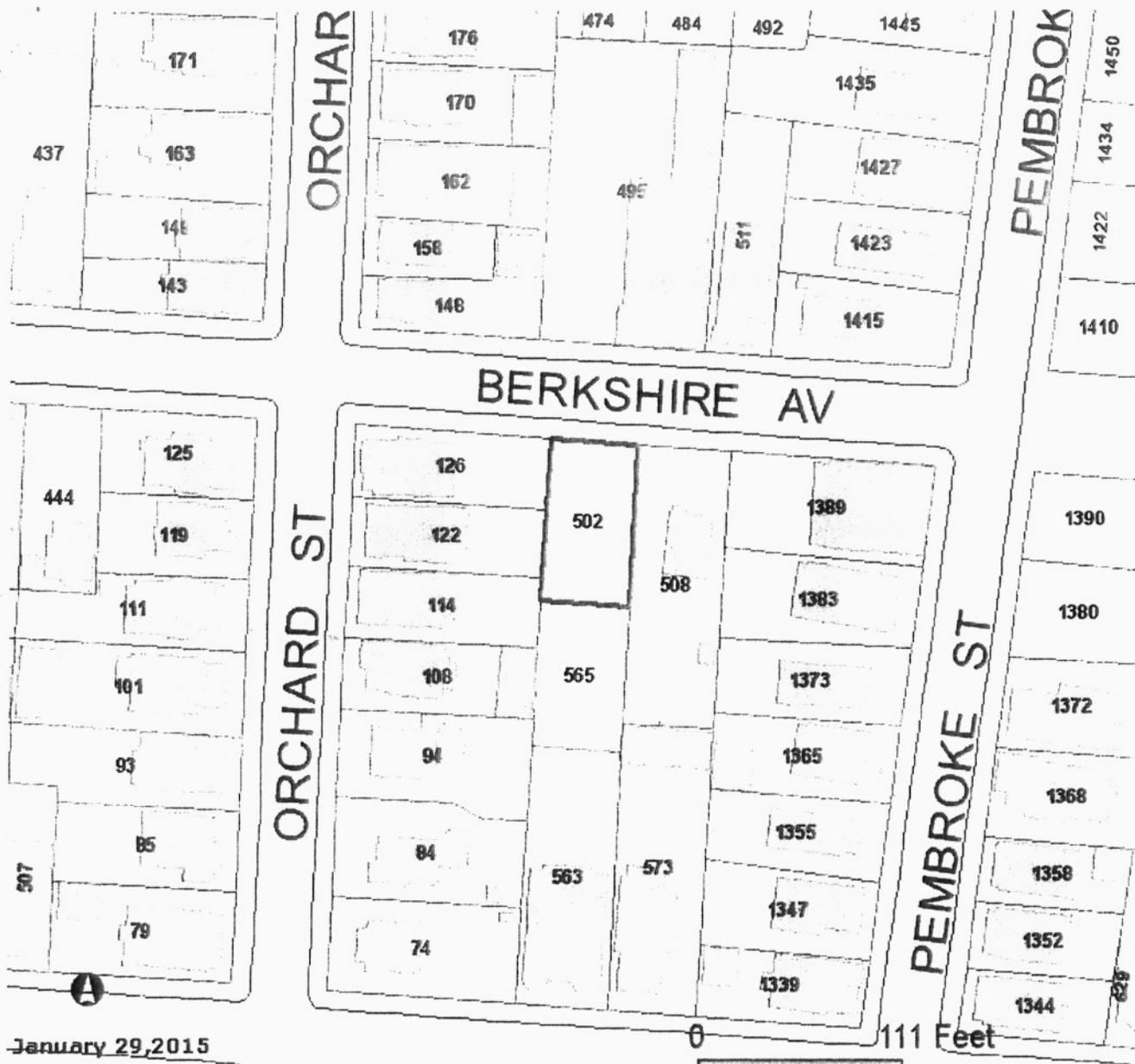
No Data for Outbuildings

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$27,790	\$27,790
2011	\$0	\$27,790	\$27,790
2009	\$0	\$27,790	\$27,790

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$19,450	\$19,450
2011	\$0	\$19,450	\$19,450
2009	\$0	\$19,450	\$19,450

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January 29, 2015

138 RANCH DR

Location 138 RANCH DR **Assessment** \$29,510
Mblu 80/ 2513/A 10/ / **Appraisal** \$42,150
Acct# EA-0006100 **PID** 28827
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$0	\$42,150	\$42,150
Assessment			
Valuation Year	Improvements	Land	Total
2013	\$0	\$29,510	\$29,510

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 1216/ 110
Address EXEMPT PARCEL N/A **Sale Date** 04/24/1961
 BRIDGEPORT, CT 00000

Ownership History

Ownership History
No Data for Ownership History

Building Information

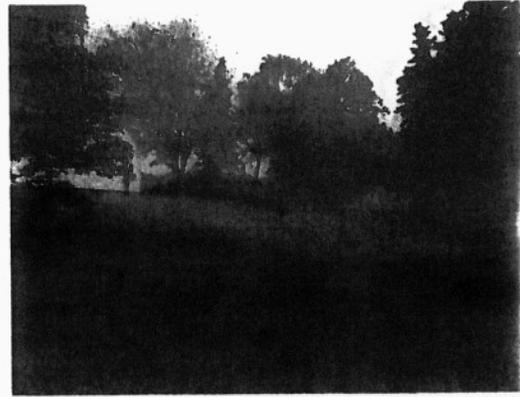
Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent
Good:
Replacement Cost
Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Grade:	
Stories:	

Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\08\73\59.JPG>)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code	921
Description	Mun Lnd Res
Zone	RA
Neighborhood	2060
Alt Land Appr Category	No

Land Line Valuation

Size (Acres)	0.14
Frontage	0
Depth	0
Assessed Value	\$29,510
Appraised Value	\$42,150

Outbuildings

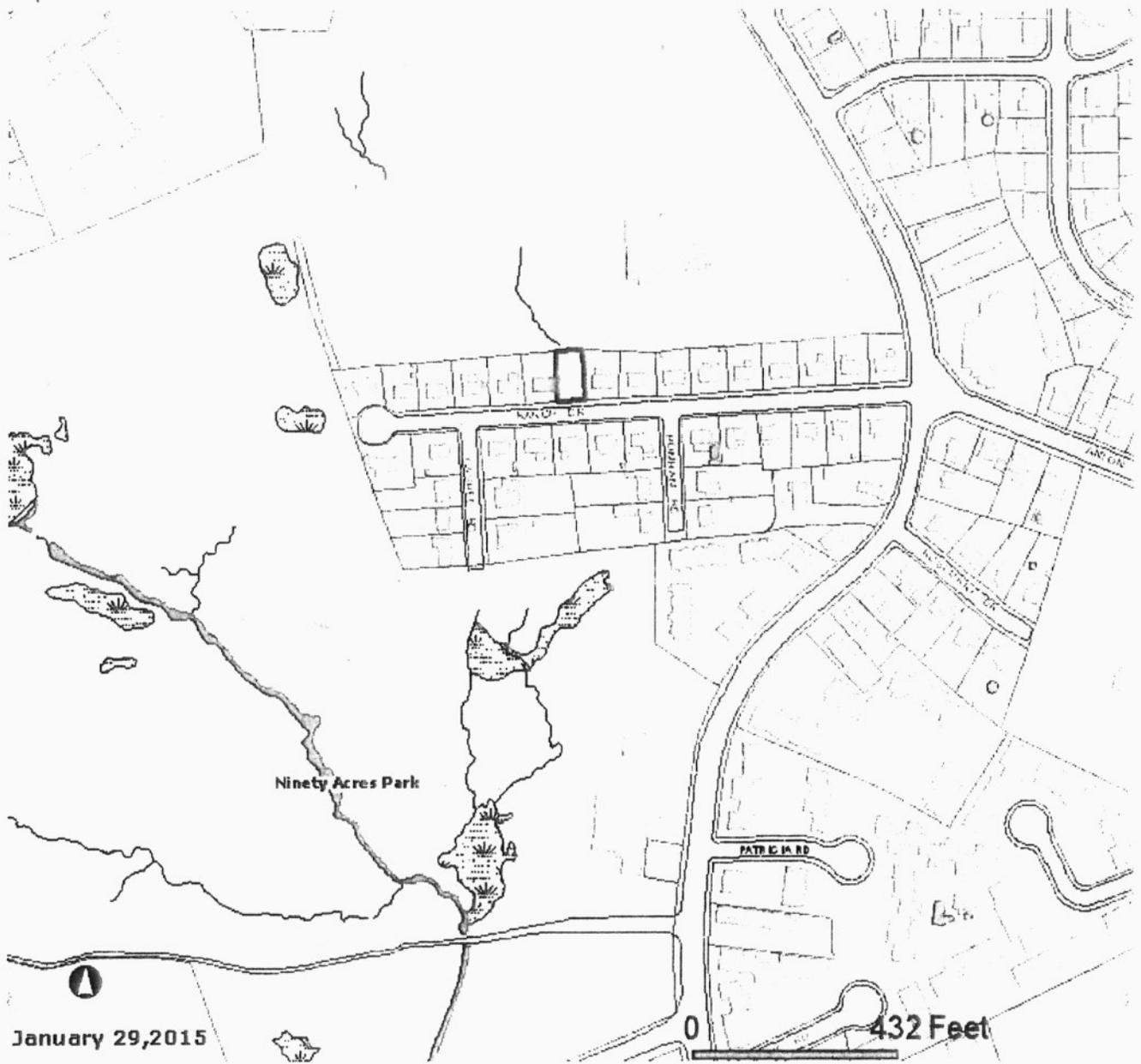
Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$42,150	\$42,150
2011	\$0	\$42,150	\$42,150
2009	\$0	\$42,150	\$42,150

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$29,510	\$29,510
2011	\$0	\$29,510	\$29,510
2009	\$0	\$29,510	\$29,510

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January 29, 2015

677 NOBLE AV

Location 677 NOBLE AV **Assessment** \$104,540
Mblu 48/ 1631/ 14/ / **Appraisal** \$149,350
Acct# RF-0092169 **PID** 14156
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$117,750	\$31,600	\$149,350
Assessment			
Valuation Year	Improvements	Land	Total
2013	\$82,420	\$22,120	\$104,540

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$29,500
Co-Owner **Book & Page** 8311/ 67
Address 45 LYON TERRACE **Sale Date** 10/19/2010
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
QUINTO VINCENT	\$0	6812/ 290	01/30/2006
FRAMULARO ANGELO R	\$0	2326/ 350	07/06/1987
FRAMULARO CHARLES V & ANGELO R	\$0	2010/ 87	01/16/1986

Building Information

Building 1 : Section 1

Year Built: 1902
Living Area: 2092
Replacement Cost: \$196,323
Building Percent 59
Good:
Replacement Cost
Less Depreciation: \$115,830

Building Photo

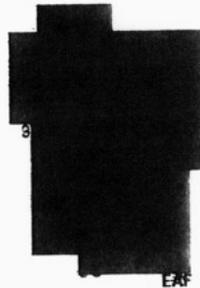
Building Attributes	
Field	Description
Style	Two Family
Model	Residential

Grade:	C
Stories:	2.25
Occupancy:	2
Exterior Wall 1:	Asbest Shingle
Exterior Wall 2:	
Roof Structure:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Flr 1:	Carpet
Interior Flr 2:	
Heat Fuel:	Gas
Heat Type:	Forced Air
AC Type:	None
Total Bedrooms	5 Bedrooms
Total Full Baths	2
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	11
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	0
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\07\63\47.JPG>)

Building Layout



Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	861	861
FUS	Finished Upper Story	817	817
EAF	Fin Expansion Attic	827	414
BSM	Basement	861	0
FOP	Open Porch	56	0
		3422	2092

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code	924
Description	Mun Res Bldg Mdl 01
Zone	RC
Neighborhood	1415

Land Line Valuation

Size (Acres)	0.07
Frontage	0
Depth	0
Assessed Value	\$22,120

Alt Land Appr No
Category

Appraised Value \$31,600

Outbuildings

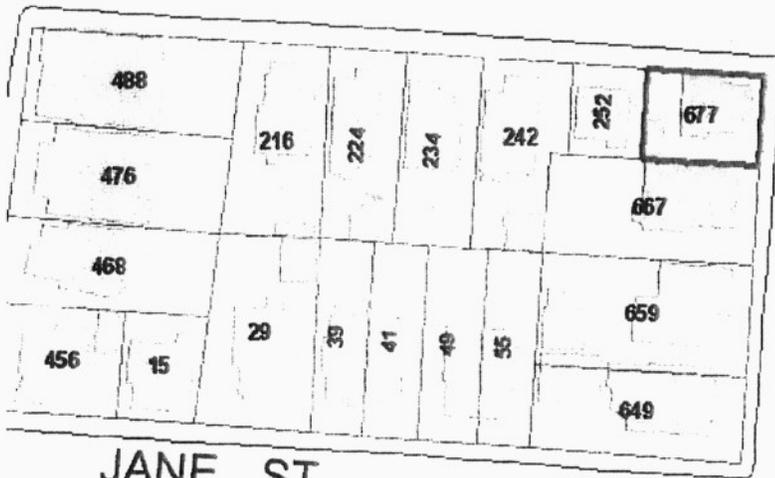
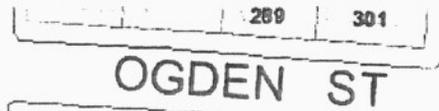
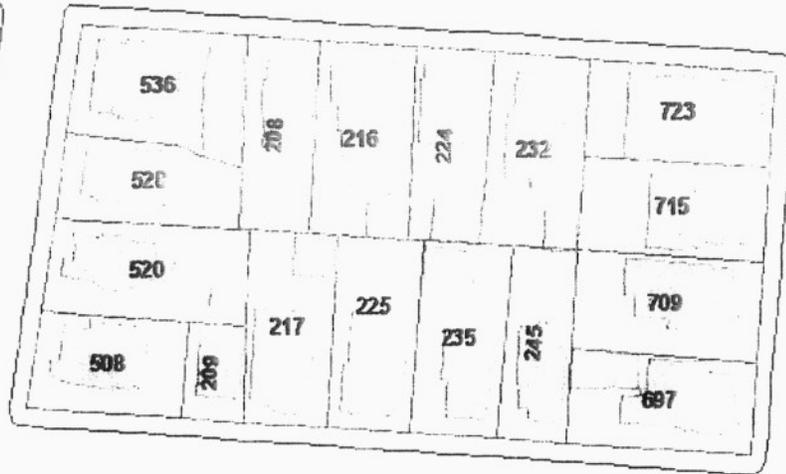
Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
GAR1	Garage	CB	CindBk/Frame	200 SF	\$1,920	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$117,750	\$31,600	\$149,350
2011	\$117,750	\$31,600	\$149,350
2009	\$136,810	\$31,600	\$168,410

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$82,420	\$22,120	\$104,540
2011	\$82,420	\$22,120	\$104,540
2009	\$95,760	\$22,120	\$117,880

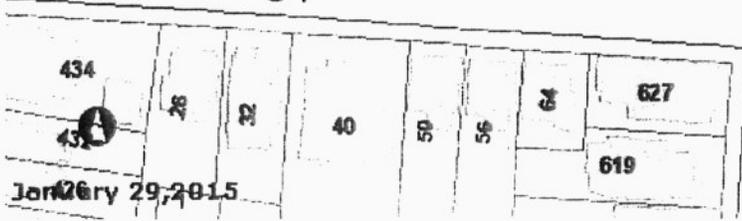
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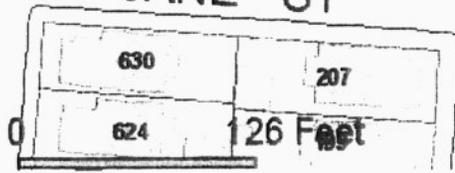
SHELTON ST



JANE ST



JANE ST



January 29, 2015

1206 EAST MAIN ST #1208

Location 1206 EAST MAIN ST #1208 **Assessment** \$44,930
Mblu 48/ 1736/ 3/A / **Appraisal** \$64,190
Acct# RR-0081660 **PID** 15255
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$0	\$64,190	\$64,190

Assessment			
Valuation Year	Improvements	Land	Total
2013	\$0	\$44,930	\$44,930

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 8291/ 306
Address 45 LYON TERRACE **Sale Date** 09/09/2010
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
EAST MAIN STREET	\$14,835	4714/ 175	11/16/1994
ROMAN GEORGE	\$0	3330/ 333	11/16/1994
ROMAN WILLIAM	\$0	2917/ 27	07/10/1991
ROMAN MARCIA M	\$0	2315/ 308	06/18/1987

Building Information

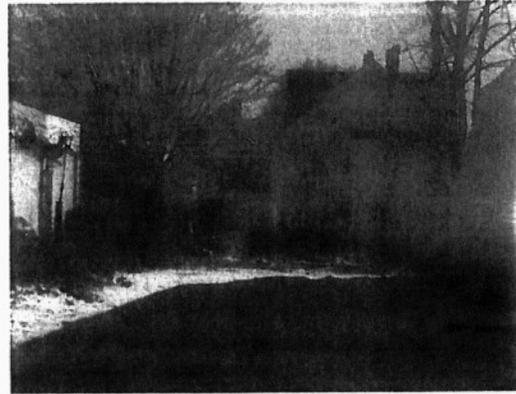
Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Vacant Land

Model	
Grade:	
Stories:	
Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Fir 1:	
Interior Fir 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\01\57\30.JPG>)

Building Layout

Building Layout

Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code	920
Description	Mun Lnd Com
Zone	ORN
Neighborhood	EM2
Alt Land Appr Category	No

Land Line Valuation

Size (Acres)	0.06
Frontage	0
Depth	0
Assessed Value	\$44,930
Appraised Value	\$64,190

Outbuildings

--

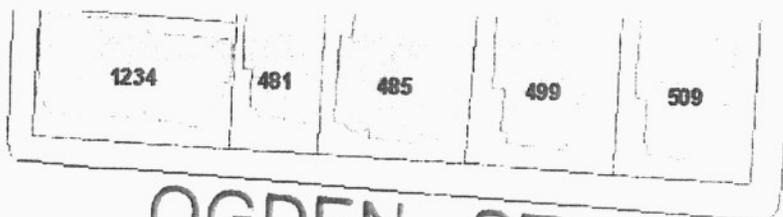
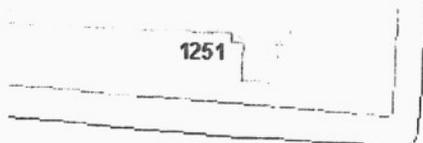
Outbuildings	Legend
No Data for Outbuildings	

Valuation History

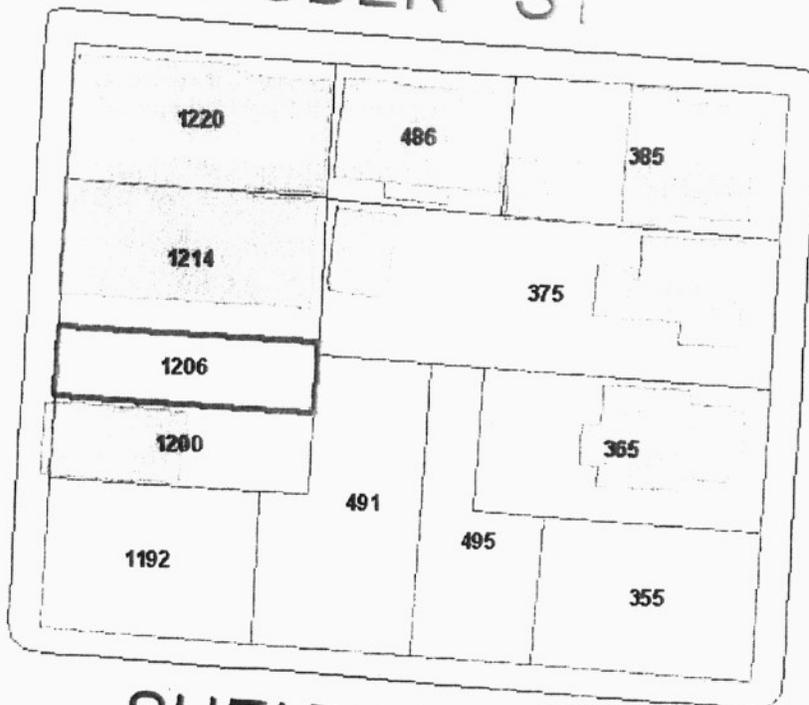
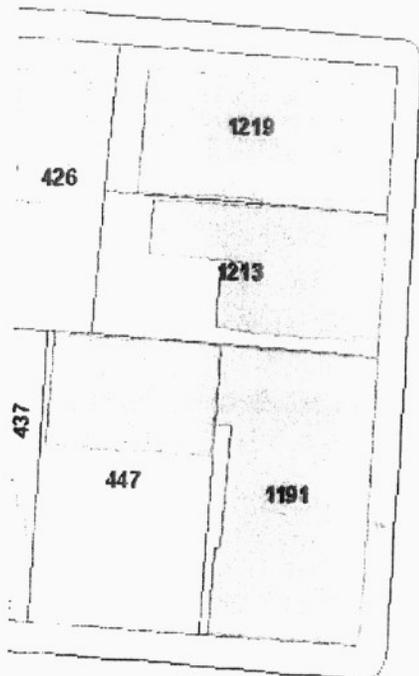
Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$64,190	\$64,190
2011	\$0	\$64,190	\$64,190
2009	\$0	\$64,190	\$64,190

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$44,930	\$44,930
2011	\$0	\$44,930	\$44,930
2009	\$0	\$44,930	\$44,930

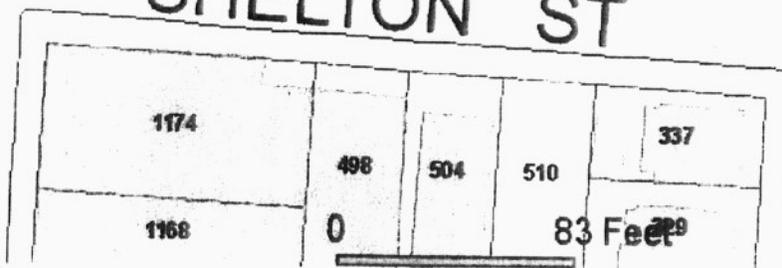
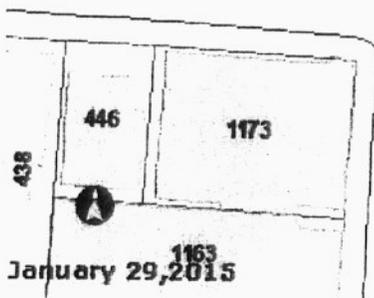
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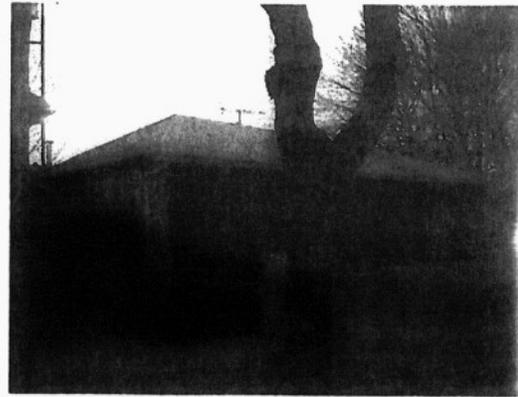
OGDEN ST



SHELTON ST



Occupancy	1
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Floor 1	Carpet
Interior Floor 2	
Heat Fuel:	Oil
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms	1 Bedroom
Total Full Baths	1 Full
Total Half Baths	0
Xtra Fixtres	0
Total Rooms:	3
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	0
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	0
Grade	C
Stories:	3
Residential Units:	13
Exterior Wall 1:	Brick
Exterior Wall 2:	
Roof Structure	Flat
Roof Cover	Rolled Compos
Cmrc'l Units:	0
Res/Com Units:	0
Section #:	0
Parking Spaces	0
Section Style:	0
Security:	
Cmplx Cnd	
Xtra Field 1:	
Remodel Ext:	
Super	



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Building Layout

BAS[514]

WDK[48]

Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	514	514
WDK	Wood Deck	48	0
		562	514

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 108
Description Condominium
Zone
Neighborhood CNDO
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 0
Frontage 0
Depth 0
Assessed Value \$0
Appraised Value \$0

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$42,320	\$0	\$42,320
2011	\$42,320	\$0	\$42,320
2009	\$42,320	\$0	\$42,320

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$29,620	\$0	\$29,620
2011	\$29,620	\$0	\$29,620
2009	\$29,620	\$0	\$29,620

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Model	Residential
Grade:	C
Stories:	2.00
Occupancy:	2
Exterior Wall 1:	Vinyl Siding
Exterior Wall 2:	
Roof Structure:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Drywall
Interior Wall 2:	
Interior Fir 1:	Carpet
Interior Fir 2:	
Heat Fuel:	Oil
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms	6 Bedrooms
Total Full Baths	3
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	10
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	0
Fin Bsmt Area	806
Fin Bsmt Quality	Rec Room
Bsmt Garages	



(http://images.vgsi.com/photos/BridgeportCTPhotos/\00\08\06\55.JPG)

Building Layout



Building Sub-Areas		Legend	
Code	Description	Gross Area	Living Area
BAS	First Floor	1152	1152
FUS	Finished Upper Story	1152	1152
BSM	Basement	1152	0
FOP	Open Porch	68	0
UEP	Utility Enclosed Porch	28	0
		3552	2304

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code	924
Description	Mun Res Bldg Mdl 01
Zone	RB
Neighborhood	1440

Land Line Valuation

Size (Acres)	0.11
Frontage	0
Depth	0
Assessed Value	\$38,080

Alt Land Appr No
Category

Appraised Value \$54,400

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
GAR1	Garage	FR	Frame	400 SF	\$5,760	1
FCP	Carport	RS	Res	220 SF	\$1,580	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$214,820	\$54,400	\$269,220
2011	\$214,820	\$54,400	\$269,220
2009	\$214,820	\$54,400	\$269,220

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$150,380	\$38,080	\$188,460
2011	\$150,380	\$38,080	\$188,460
2009	\$150,380	\$38,080	\$188,460

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January 29, 2015

ESSEX ST 120 Feet

309 BUNNELL ST

Location 309 BUNNELL ST **Assessment** \$168,950
Mblu 37/ 747/ 26/ / **Appraisal** \$241,360
Acct# RH-0091550 **PID** 5205
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$199,250	\$42,110	\$241,360
Assessment			
Valuation Year	Improvements	Land	Total
2013	\$139,470	\$29,480	\$168,950

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 8696/ 19
Address 45 LYON TERRACE **Sale Date** 11/07/2012
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
HOWELL IDA M CROWDER	\$0	0/ 0	01/01/1900

Building Information

Building 1 : Section 1

Year Built: 1907
Living Area: 3138
Replacement Cost: \$310,772
Building Percent: 64
Good:
Replacement Cost
Less Depreciation: \$198,890

Building Photo

Building Attributes	
Field	Description
Style	Three Family
Model	Multi-Family
Grade:	C
Stories:	3.00

Occupancy:	3
Exterior Wall 1:	Vinyl Siding
Exterior Wall 2:	
Roof Structure:	Flat
Roof Cover:	T+G/Rubber
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Flr 1:	Carpet
Interior Flr 2:	
Heat Fuel:	Gas
Heat Type:	Forced Air
AC Type:	None
Total Bedrooms	6 Bedrooms
Total Full Baths	3
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	15
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	0
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	
	NBHD 10-3 Fam



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\09\46\95.JPG>)

Building Layout



Building Sub-Areas		Legend	
Code	Description	Gross Area	Living Area
FUS	Finished Upper Story	2092	2092
BAS	First Floor	1046	1046
BSM	Basement	1046	0
FOP	Open Porch	354	0
		4538	3138

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code	915
Description	Mun Res Bldg Mdl 03
Zone	RC
Neighborhood	1040
Alt Land Appr	No

Land Line Valuation

Size (Acres)	0.09
Frontage	0
Depth	0
Assessed Value	\$29,480
Appraised Value	\$42,110

Category

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
PAT1	Patio	CR	Concrete	240 SF	\$360	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$199,250	\$42,110	\$241,360
2011	\$199,250	\$42,110	\$241,360
2009	\$199,250	\$42,110	\$241,360

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$139,470	\$29,480	\$168,950
2011	\$139,470	\$29,480	\$168,950
2009	\$139,470	\$29,480	\$168,950

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171 DEFOREST AV

Location 171 DEFOREST AV **Assessment** \$32,300
Mblu 30/ 611/ 7/ / **Appraisal** \$46,140
Acct# RE-0005550 **PID** 3579
Owner BRIDGEPORT CITY OF WPCA **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$0	\$46,140	\$46,140

Assessment			
Valuation Year	Improvements	Land	Total
2013	\$0	\$32,300	\$32,300

Owner of Record

Owner BRIDGEPORT CITY OF WPCA **Sale Price** \$16,500
Co-Owner FOR THE CITY OF BRIDGEPORT **Book & Page** 7986/ 289
Address 171 DEFOREST AVE **Sale Date** 03/16/2009
 BRIDGEPORT, CT 06606

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
EDWARDS DOROTHY	\$0	1415/ 88	04/01/1970

Building Information

Building 1 : Section 1

Year Built:
Living Area: 0
Replacement Cost: \$0
Building Percent Good:
Replacement Cost Less Depreciation: \$0

Building Photo

Building Attributes	
Field	Description
Style	Vacant Land
Model	
Grade:	
Stories:	

Occupancy:	
Exterior Wall 1:	
Exterior Wall 2:	
Roof Structure:	
Roof Cover:	
Interior Wall 1:	
Interior Wall 2:	
Interior Flr 1:	
Interior Flr 2:	
Heat Fuel:	
Heat Type:	
AC Type:	
Total Bedrooms	
Total Full Baths	
Total Half Baths	
Total Xtra Fixtrs:	
Total Rooms	
Bath Style:	
Kitchen Style:	
Fireplaces	
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	

Building Photo

(<http://images.vgsi.com/photos/BridgeportCTPhotos//\00\10\03\78.jpg>)

Building Layout



Building Sub-Areas	Legend
No Data for Building Sub-Areas	

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 921
Description Mun Lnd Res
Zone RBB
Neighborhood 1040
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0.11
Frontage 0
Depth 0
Assessed Value \$32,300
Appraised Value \$46,140

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

No Data for Outbuildings

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$0	\$46,140	\$46,140
2011	\$184,490	\$46,140	\$230,630
2009	\$223,280	\$46,140	\$269,420

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$0	\$32,300	\$32,300
2011	\$129,150	\$32,300	\$161,450
2009	\$156,300	\$32,300	\$188,600

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47 GOODSELL ST

Location 47 GOODSELL ST **Assessment** \$120,380
Mblu 47/ 1001/ 14/ / **Appraisal** \$171,954
Acct# RC-0067200 **PID** 6279
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$115,804	\$56,150	\$171,954

Assessment			
Valuation Year	Improvements	Land	Total
2013	\$81,070	\$39,310	\$120,380

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 8309/ 344
Address 45 LYON TERRACE **Sale Date** 10/18/2010
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
MARCELLO ANTONIA &	\$0	6527/ 37	08/04/2005
CASTALDO FRED S EST	\$0	3004/ 269	05/19/1992

Building Information

Building 1 : Section 1

Year Built: 1872
Living Area: 1789
Replacement Cost: \$239,494
Building Percent 57
Good:
Replacement Cost
Less Depreciation: \$136,510

Building Photo

Building Attributes	
Field	Description
Style	Conventional
Model	Multi-Family
Grade:	C

Stories:	2.00
Occupancy:	1
Exterior Wall 1:	Vinyl Siding
Exterior Wall 2:	
Roof Structure:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Flr 1:	Carpet
Interior Flr 2:	
Heat Fuel:	Gas
Heat Type:	Forced Air
AC Type:	None
Total Bedrooms	3 Bedrooms
Total Full Baths	1
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	9
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	0
Fin Bsmt Area	330
Fin Bsmt Quality	Rec Room
Bsmt Garages	
	NBHD 13-SFR

 Building Photo

(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\10\05\40.jpg>)

Building Layout



Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1001	1001
FUS	Finished Upper Story	788	788
BSM	Basement	809	0
CRL	Crawl Space	192	0
PTO	Patio	92	0
		2882	1789

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code 915
Description Mun Res Bldg Mdl 03
Zone MUP
Neighborhood 1350

Land Line Valuation

Size (Acres) 0.13
Frontage 0
Depth 0
Assessed Value \$39,310

Alt Land Appr No
Category

Appraised Value \$56,150

Outbuildings

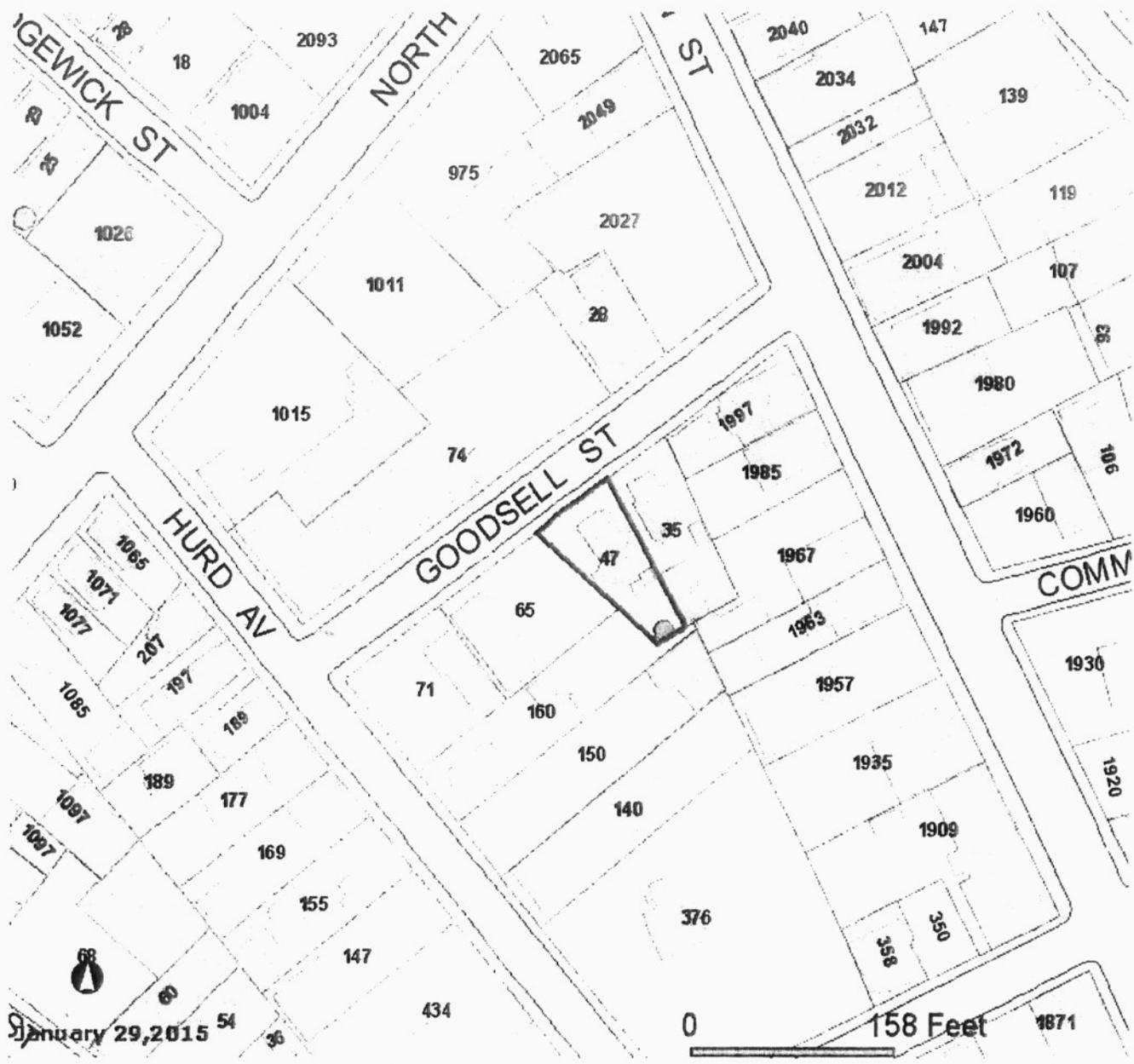
Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
PAT1	Patio	CR	Concrete	192 SF	\$580	1
WDK	Wood Deck			100 SF	\$900	1
SHD1	Shed	FR	Frame	144 SF	\$1,210	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$115,804	\$56,150	\$171,954
2011	\$115,804	\$56,150	\$171,954
2009	\$116,660	\$56,150	\$172,810

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$81,070	\$39,310	\$120,380
2011	\$81,070	\$39,310	\$120,380
2009	\$81,670	\$39,310	\$120,980

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242 PEARL HARBOR ST #244

Location 242 PEARL HARBOR ST #244 **Assessment** \$111,330
Mblu 56/ 1939/ 40/ / **Appraisal** \$159,050
Acct# RW-0009975 **PID** 17961
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$127,930	\$31,120	\$159,050
Assessment			
Valuation Year	Improvements	Land	Total
2013	\$89,550	\$21,780	\$111,330

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$13,650
Co-Owner **Book & Page** 8786/ 176
Address 45 LYON TERRACE **Sale Date** 03/04/2013
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
WALLER RONALD CRAIG	\$0	1643/ 873	02/05/1981

Building Information

Building 1 : Section 1

Year Built: 1942
Living Area: 1740
Replacement Cost: \$182,752
Building Percent 70
Good:
Replacement Cost
Less Depreciation: \$127,930

Building Photo

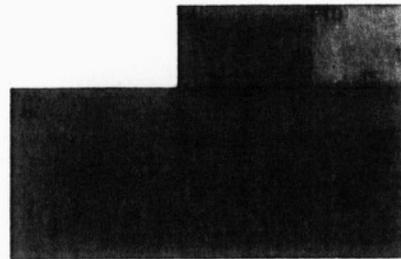
Building Attributes	
Field	Description
Style	Two Family
Model	Residential
Grade:	C
Stories:	1.00

Occupancy:	2
Exterior Wall 1:	Brick 2
Exterior Wall 2:	
Roof Structure:	Hip
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Flr 1:	Hardwood
Interior Flr 2:	
Heat Fuel:	Gas
Heat Type:	Forced Air
AC Type:	None
Total Bedrooms	4 Bedrooms
Total Full Baths	2
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	8
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	1
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	
.	NBHD 16-2 Fam



(http://images.vgsi.com/photos/BridgeportCTPhotos/\00\07\96\00.JPG)

Building Layout



Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1740	1740
CRL	Crawl Space	1740	0
PTO	Patio	180	0
		3660	1740

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code	924
Description	Mun Res Bldg Mdl 01
Zone	RC
Neighborhood	1610
Alt Land Appr Category	No

Land Line Valuation

Size (Acres)	0.14
Frontage	0
Depth	0
Assessed Value	\$21,780
Appraised Value	\$31,120

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$127,930	\$31,120	\$159,050
2011	\$144,770	\$31,120	\$175,890
2009	\$144,770	\$31,120	\$175,890

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$89,550	\$21,780	\$111,330
2011	\$101,340	\$21,780	\$123,120
2009	\$101,340	\$21,780	\$123,120

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849 NOBLE AV

Location 849 NOBLE AV **Assessment** \$121,680
Mblu 48/ 1614/ 14/ / **Appraisal** \$173,820
Acct# RE-0011820 **PID** 13938
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$133,580	\$40,240	\$173,820
Assessment			
Valuation Year	Improvements	Land	Total
2013	\$93,510	\$28,170	\$121,680

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 8753/ 190
Address 45 LYON TERRACE **Sale Date** 01/17/2013
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
ROBINSON MYRNA		8728/ 197	12/17/2012
ELEM PANSYE O	\$0	6794/ 90	01/18/2006
ELEM PANSYE O	\$0	6794/ 89	01/18/2006

Building Information

Building 1 : Section 1

Year Built: 1877
Living Area: 1720
Replacement Cost: \$201,157
Building Percent 64
Good:
Replacement Cost
Less Depreciation: \$128,740

Building Photo

Building Attributes	
Field	Description
Style	Conventional
Model	Residential

Grade:	C
Stories:	2.00
Occupancy:	1
Exterior Wall 1:	Asbest Shingle
Exterior Wall 2:	
Roof Structure:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Flr 1:	Carpet
Interior Flr 2:	
Heat Fuel:	Gas
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms	3 Bedrooms
Total Full Baths	2
Total Half Baths	0
Total Xtra Fixtrs:	
Total Rooms	7
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	0
Fin Bsmt Area	392
Fin Bsmt Quality	Rec Room
Bsmt Garages	
	NBHD 14-SFR



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\07\61\34.JPG>)

Building Layout



Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1160	1160
FUS	Finished Upper Story	560	560
BSM	Basement	860	0
CAN	Canopy	100	0
CRL	Crawl Space	140	0
FOP	Open Porch	35	0
PRS	Piers	160	0
PTO	Patio	5	0
UAT	Unfinished Attic	560	0
		3580	1720

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code 101
Description Single Family
Zone ORN
Neighborhood 1415
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 0.14
Frontage 0
Depth 0
Assessed Value \$28,170
Appraised Value \$40,240

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
GAR1	Garage	CB	CindBk/Frame	336 SF	\$4,840	1

Valuation History

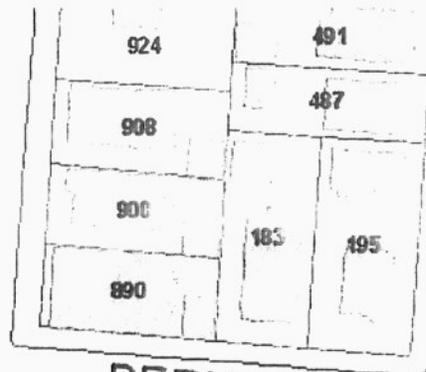
Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$133,580	\$40,240	\$173,820
2011	\$133,580	\$40,240	\$173,820
2009	\$133,580	\$40,240	\$173,820

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$93,510	\$28,170	\$121,680
2011	\$93,510	\$28,170	\$121,680
2009	\$93,510	\$28,170	\$121,680

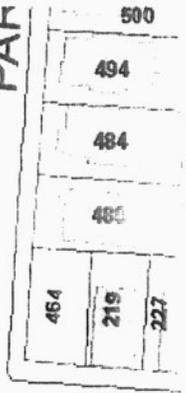
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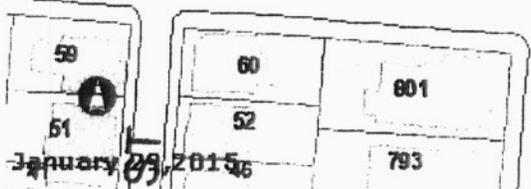
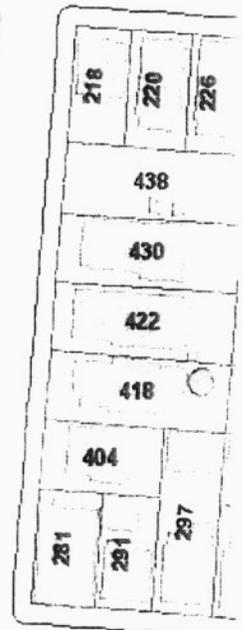
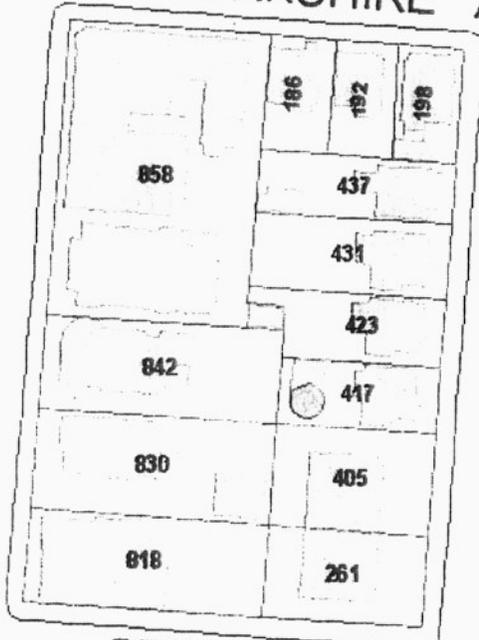
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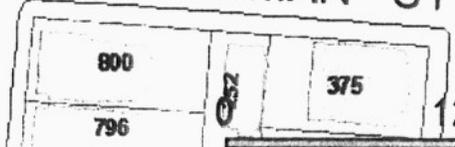
PAF



BERKSHIRE AV



STILLMAN ST



January 29, 2015

126 Feet

1777 CENTRAL AV

Location 1777 CENTRAL AV **Assessment** \$64,260
Mblu 49/ 1813/ 24/ / **Appraisal** \$91,800
Acct# RC-0195500 **PID** 16012
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$72,780	\$19,020	\$91,800
Assessment			
Valuation Year	Improvements	Land	Total
2013	\$50,950	\$13,310	\$64,260

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$17,000
Co-Owner **Book & Page** 8284/ 238
Address 45 LYON TERRACE **Sale Date** 08/25/2010
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
CROWTHER JESSIE	\$0	0/ 0	01/01/1900

Building Information

Building 1 : Section 1

Year Built: 1918
Living Area: 1038
Replacement Cost: \$127,687
Building Percent 57
Good:
Replacement Cost
Less Depreciation: \$72,780

Building Photo

Building Attributes	
Field	Description
Style	Row House
Model	Residential
Grade:	C
Stories:	2.00

Occupancy:	1
Exterior Wall 1:	Brick 2
Exterior Wall 2:	
Roof Structure:	Flat
Roof Cover:	T+G/Rubber
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Flr 1:	Carpet
Interior Flr 2:	Hardwood
Heat Fuel:	Gas
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms	3 Bedrooms
Total Full Baths	1
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	6
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	0
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\07\80\88.JPG>)

Building Layout



Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
FUS	Finished Upper Story	526	526
BAS	First Floor	512	512
BSM	Basement	512	0
FOP	Open Porch	128	0
		1678	1038

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code	924
Description	Mun Res Bldg Mdl 01
Zone	RC
Neighborhood	1440
Alt Land Appr	No

Land Line Valuation

Size (Acres)	0.03
Frontage	0
Depth	0
Assessed Value	\$13,310
Appraised Value	\$19,020

Category

Outbuildings

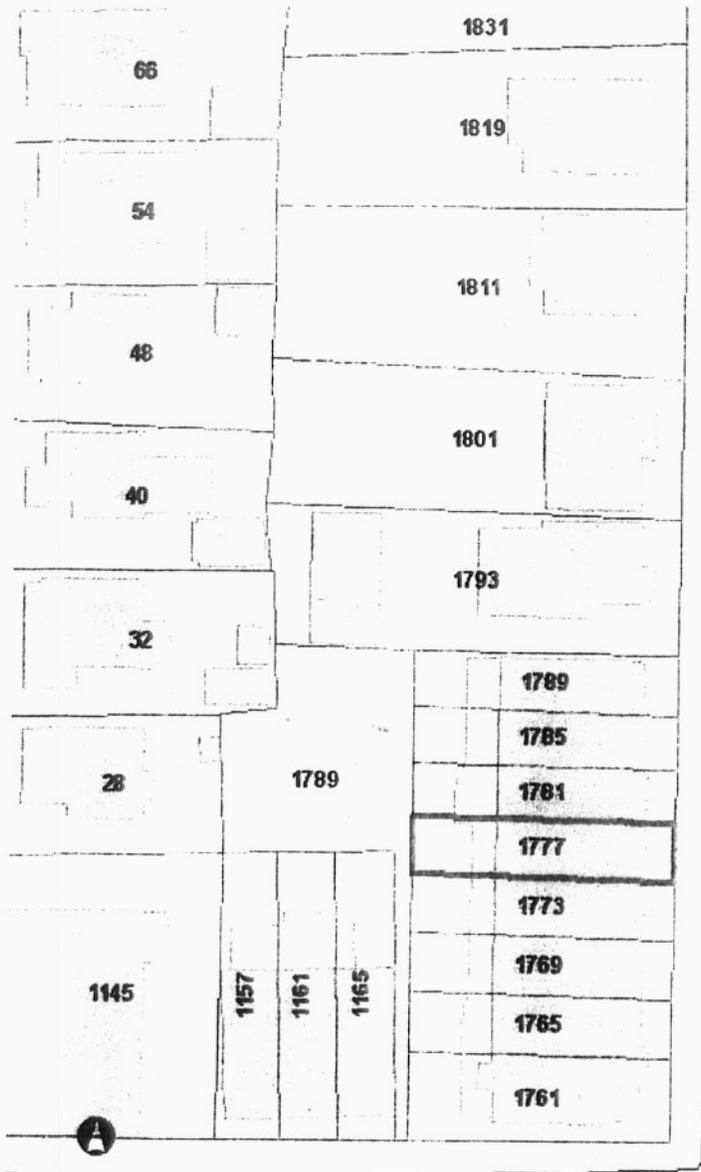
Outbuildings	Legend
No Data for Outbuildings	

Valuation History

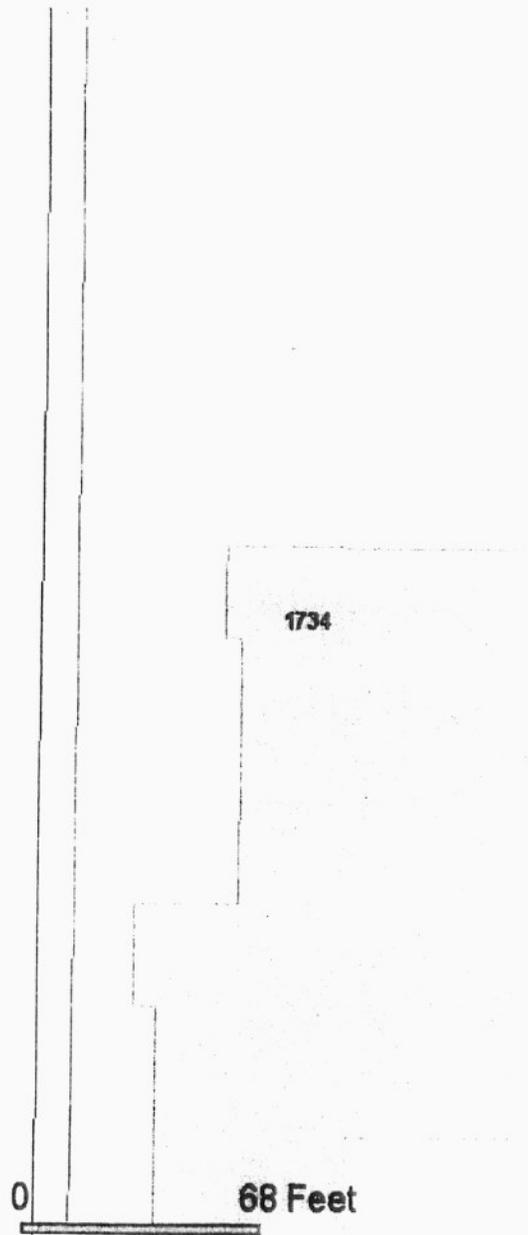
Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$72,780	\$19,020	\$91,800
2011	\$72,780	\$19,020	\$91,800
2009	\$72,780	\$19,020	\$91,800

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$50,950	\$13,310	\$64,260
2011	\$50,950	\$13,310	\$64,260
2009	\$50,950	\$13,310	\$64,260

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January 29, 2015



121 GEORGE ST

Location 121 GEORGE ST **Assessment** \$160,810
Mblu 41/ 1043/ 9/ / **Appraisal** \$229,720
Acct# RE-0035420 **PID** 7180
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$174,260	\$55,460	\$229,720
Assessment			
Valuation Year	Improvements	Land	Total
2013	\$121,990	\$38,820	\$160,810

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 8993/ 271
Address 45 LYON TER **Sale Date** 02/04/2014
 BRIDGEPORT, CT 06606

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
BRIDGEPORT CITY OF	\$0	8993/ 265	02/04/2014
TEIXEIRA RAMON DAVID ET AL	\$0	4875/ 226	04/10/2002
TEIXEIRA ARTHUR	\$0	3837/ 110	01/05/1998
ESTEVEZ LIDIA & FERNANDO ALVES	\$40,000	3245/ 202	04/05/1994

Building Information

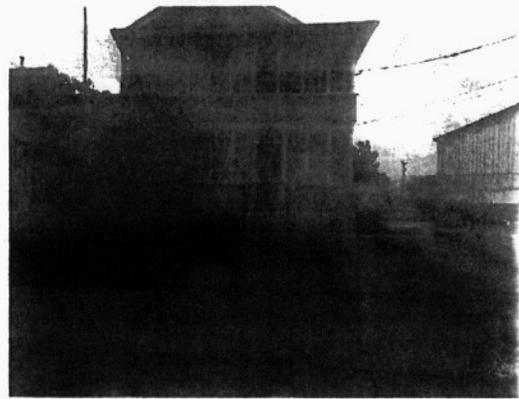
Building 1 : Section 1

Year Built: 1896
Living Area: 2789
Replacement Cost: \$293,162
Building Percent: 57
Good:
Replacement Cost
Less Depreciation: \$167,100

Building Photo

Building Attributes	
Field	Description
Style	Three Family

Model	Multi-Family
Grade:	C
Stories:	2.25
Occupancy:	3
Exterior Wall 1:	Asbest Shingle
Exterior Wall 2:	
Roof Structure:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Flr 1:	Carpet
Interior Flr 2:	
Heat Fuel:	Gas
Heat Type:	Forced Air
AC Type:	None
Total Bedrooms	5 Bedrooms
Total Full Baths	3
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	11
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	0
Fin Bsmt Area	761
Fin Bsmt Quality	Rec Room
Bsmt Garages	



(http://images.vgsi.com/photos/BridgeportCTPhotos/\00\06\98\30.JPG)

Building Layout



Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1014	1014
FUS	Finished Upper Story	1014	1014
EMF	Fin Expansion Attic	1014	761
BSM	Basement	1014	0
FEP	Enclosed Porch	270	0
FOP	Open Porch	64	0
		4390	2789

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code 915
Description Mun Res Bldg Mdl 03

Land Line Valuation

Size (Acres) 0.11
Frontage 0

Zone MUP
 Neighborhood 1350
 Alt Land Appr No
 Category

Depth 0
 Assessed Value \$38,820
 Appraised Value \$55,460

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
SHD1	Shed	FR	Frame	200 SF	\$280	1
GAR1	Garage	FR	Frame	456 SF	\$4,380	1
GAR1	Garage	FR	Frame	520 SF	\$2,500	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$174,260	\$55,460	\$229,720
2011	\$174,260	\$55,460	\$229,720
2009	\$174,260	\$55,460	\$229,720

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$121,990	\$38,820	\$160,810
2011	\$121,990	\$38,820	\$160,810
2009	\$121,990	\$38,820	\$160,810

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104 JOURMIRE RD

Location 104 JOURMIRE RD **Assessment** \$123,490
Mblu 87/ 2560/ 18/ / **Appraisal** \$176,400
Acct# RP-0142100 **PID** 29452
Owner BRIDGEPORT CITY OF **Building Count** 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2013	\$90,290	\$86,110	\$176,400

Assessment			
Valuation Year	Improvements	Land	Total
2013	\$63,210	\$60,280	\$123,490

Owner of Record

Owner BRIDGEPORT CITY OF **Sale Price** \$0
Co-Owner **Book & Page** 8941/ 240
Address 45 LYON TERRACE **Sale Date** 11/06/2013
 BRIDGEPORT, CT 06604

Ownership History

Ownership History			
Owner	Sale Price	Book & Page	Sale Date
ODELL KATHERINE (ESTATE OF)	\$0	8134/ 147	11/24/2009
ODELL KATHERINE	\$0	3823/ 236	12/10/1997
POPLAVSKY EUGENIA (RESP)	\$0	3677/ 305	02/27/1997

Building Information

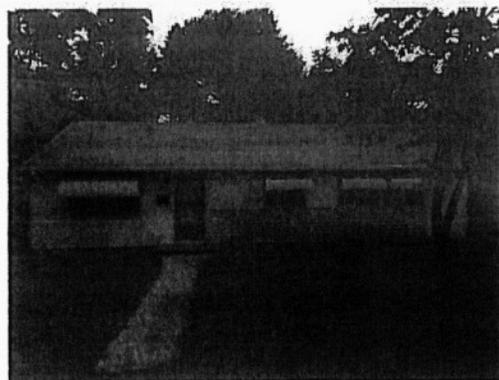
Building 1 : Section 1

Year Built: 1953
Living Area: 1104
Replacement Cost: \$124,162
Building Percent: 70
Good:
Replacement Cost
Less Depreciation: \$86,910

Building Photo

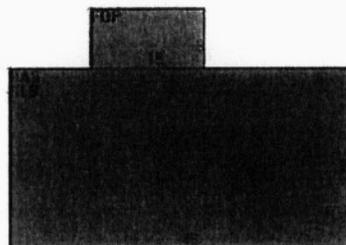
Building Attributes	
Field	Description
Style	Ranch
Model	Residential

Grade:	C
Stories:	1.00
Occupancy:	1
Exterior Wall 1:	Vinyl Siding
Exterior Wall 2:	
Roof Structure:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Drywall
Interior Wall 2:	
Interior Flr 1:	Carpet
Interior Flr 2:	
Heat Fuel:	Gas
Heat Type:	Radiant
AC Type:	None
Total Bedrooms	3 Bedrooms
Total Full Baths	1
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	6
Bath Style:	Average
Kitchen Style:	Modern
Fireplaces	0
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	
	NBHD 20-SFR



(<http://images.vgsi.com/photos/BridgeportCTPhotos/\00\08\71\60.JPG>)

Building Layout



Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1104	1104
FOP	Open Porch	120	0
SLB	Slab	1104	0
		2328	1104

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land

Land Use

Use Code	101
Description	Single Family
Zone	RA
Neighborhood	2060
Alt Land Appr Category	No

Land Line Valuation

Size (Acres)	0.18
Frontage	0
Depth	0
Assessed Value	\$60,280
Appraised Value	\$86,110

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
GAR1	Garage	FR	Frame	352 SF	\$3,380	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$90,290	\$86,110	\$176,400
2011	\$90,290	\$86,110	\$176,400
2009	\$90,290	\$86,110	\$176,400

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$63,210	\$60,280	\$123,490
2011	\$63,210	\$60,280	\$123,490
2009	\$63,210	\$60,280	\$123,490

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City of Bridgeport

My Map



Legend

- Property Lines
<all other values>
- BlockLine
- Property Line
- Right of Way
- Parcel Label
- Parcels



This map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

141.9 Feet

70.97

0

141.9

WCS_1984_Web_Mercator_Auxiliary_Sphere
Created by Greater Bridgeport Regional Council

Grade:	C
Stories:	2.5
Occupancy:	2
Exterior Wall 1:	Aluminum Sidin
Exterior Wall 2:	
Roof Structure:	Gable
Roof Cover:	Asphalt Shingl
Interior Wall 1:	Plaster
Interior Wall 2:	
Interior Flr 1:	Carpet
Interior Flr 2:	
Heat Fuel:	Gas
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms	4 Bedrooms
Total Full Baths	2
Total Half Baths	0
Total Xtra Fixtrs:	0
Total Rooms	8
Bath Style:	Average
Kitchen Style:	Average
Fireplaces	0
Fin Bsmt Area	
Fin Bsmt Quality	
Bsmt Garages	

Building Photo

(<http://images.vgsi.com/photos/BridgeportCTPhotos//\00\10\07\49.jpg>)

Building Layout



Building Sub-Areas			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	858	858
FUS	Finished Upper Story	858	858
EAF	Fin Expansion Attic	888	666
BSM	Basement	858	0
FOP	Open Porch	266	0
		3728	2382

Extra Features

Extra Features		Legend
No Data for Extra Features		

Land

Land Use

Use Code 102
 Description Two Family
 Zone RC
 Neighborhood 1350

Land Line Valuation

Size (Acres) 0.08
 Frontage 0
 Depth 0
 Assessed Value \$35,640

Alt Land Appr No
Category

Appraised Value \$50,920

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2012	\$110,470	\$50,920	\$161,390
2011	\$144,090	\$50,920	\$195,010
2009	\$153,690	\$50,920	\$204,610

Assessment			
Valuation Year	Improvements	Land	Total
2012	\$77,330	\$35,640	\$112,970
2011	\$100,860	\$35,640	\$136,500
2009	\$107,580	\$35,640	\$143,220

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