



CITY OF BRIDGEPORT

File No. \_\_\_\_\_

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: 1849 Main Street LLC
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 1849 Main Street #1857 & 48 Hurd Ave #Rear, Bridgeport, CT 06606
4. Assessor's Map Information: Block No. 47/1021 Lot No. 5/A
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section:
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 270.0' x 34.64' x 100.0' x 30.0' x 66.37' x 141.60' x 67.57' x 34.60'
7. Existing Zone Classification: MX1
8. Zone Classification requested: MX2
9. Describe Proposed Development of Property: To construct an automobile detailing building with associated site improvements

Approval(s) requested: Zone Change and Certification of Location for light vehicle sales & service.

Signature: Date: 12/29/2022
Print Name:

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Print Name:

Mailing Address: 10 Sasco Hill Rd, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-528-0590 Fax:
E-mail Address: chris@russorizio.com

\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

1849 Main Street, LLC 12/29/2022
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date

sa S. Broder\*  
roder@russorizio.com  
lin B. Connor  
lin@russorizio.com  
William J. Fitzpatrick, III  
fitzpatrick@russorizio.com  
David K. Kurata  
kurata@russorizio.com  
Anton H. Lesser+  
anton@russorizio.com  
Therine M. Macol  
thy@russorizio.com  
Storia L. Miller\*  
storia@russorizio.com  
Anthony J. Novella\*  
novella@russorizio.com



10 Sasco Hill Road  
Fairfield, CT 06824

Tel 203-254-7579 or 203-255-9928 Fax 203-576-6626

5 Brook St., Suite 2B  
Darien, CT 06820  
Tel 203-309-5500

299 Broadway, Suite 708  
New York, NY 10007  
Tel 646-357-3527

110 Merchants Row, Suite 3  
Rutland, VT 05702  
Tel 802-251-6556

www.russorizio.com

Leah M. Par  
Leah@russorizio.com  
William M. Petrocci  
WPetro@russorizio.com  
Raymond Rizi  
Ray@russorizio.com  
Christopher B. Rus  
Chris@russorizio.com  
Robert D. Russ  
Rob@russorizio.com  
John J. Ryan  
John@russorizio.com  
Jane Ford She  
Jane@russorizio.com  
Vanessa R. Wamb  
Vanessa@russorizio.com

\* Also Admitted in VT  
\* Also Admitted in NY  
+ Of Counsel

December 30, 2022

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Zone Change and Certificate of Location for Light Vehicle Service & Sales – 1849 Main Street and 48 Hurd Avenue #Rear**

Dear Mr. Boucher:

Please accept, on behalf of my client, 1849 Main Street, LLC (the “Petitioner”), the following narrative and enclosed application materials as part of an application for a zone change for the properties known as 1849 Main Street and 48 Hurd Avenue #Rear, which have now been merged into one property as 1849 Main Street (the “Site”), from the MX1 Zone to the MX2 Zone. In addition, the Petitioner requests approval of a Certificate of Location for light vehicle sales & service under Sec. 11.120.1.C of the Regulations to construct a detailing building.

### Zone Change

The Petitioner requests a zone change under Section 11.40 of the Zoning Code of the City of Bridgeport (the “Regulations”) for the Site to the proposed MX2 Zone. The Site contains two (2) street frontages –Main Street and Hurd Avenue. It is in close proximity to the corner of Main Street and Frank Street. This Site currently contains a one-story masonry building, which is proposed to be demolished. The Site abuts the VIP car wash and is located along the retail corridor of Main Street on both sides of the street. It is also in close proximity to the Route 8/25 Connector and one of its exit ramps.

The abutting property to the south of the Site, which has frontage on both Main Street and Hurd Avenue is located within the MX2 Zone. The property further to the south



located at the corner of Main Street and Frank Street is also partially within the MX2 Zone. The Site used to contain two properties – 1849 Main Street and 48 Hurd Avenue #Rear. These properties were merged to create the Site with an address of 1849 Main Street. Since the current Regulations and Zoning Map were approved, the Site has been located in the MX1 Zone. The Petitioner proposes to change the zone of the Site to the MX2 Zone, which is in accordance with the Regulations and the Plan of Conservation and Development (“POCD”). Under Sec. 2.10.2.D of the Regulations, the MX2 Zone is “intended for the mixed-use, regional scale nodes within the city, where residents and visitors may access multiple uses by walking and automobile.” This perfectly characterizes the Site. The Site stands in a mix of residential a commercial/industrial uses. The Site is surrounded by the VIP Car Wash, multi-family dwellings, a large church, an industrial garage workshop, a restaurant, a construction company and other retail storefronts. The MX2 Zone allows for the Site to be developed to enhance a main retail corridor along Main Street. Its design guidelines will promote development close to Main Street to promote a pedestrian environment. However, in addition, the Site is located in close proximity to Route 8/25 Connector. The difference between the MX1 Zone and the MX2 Zone is the MX2 Zone is intended for locations that are easily accessible by automobile. The Site is located in an area where Main Street is at its closest point to the highway system and it is a central location to the City. As Main Street heads north, the distance between Main Street and the highway corridor increases. Therefore, the MX2 Zone is more appropriate for the Site than the MX1 Zone.

The Petition satisfies the review and approval criteria for a zoning map amendment under Section 11.40.7 of the Regulations. The property to the south, which spans from Main Street to Hurd Avenue is located in the MX2 Zone. The MX1 Zone would not be the appropriate zone for the Site. With its proximity to the Route 8/25 Connector, the Site is located at a regional mixed-use node with tremendous access for both pedestrians and vehicles. This characteristic perfectly aligns with the intent of the MX2 Zone. The Petition is in conformity with the comprehensive plan.

### **Certificate of Location Approval**

The Petitioner requests an approval for a Certificate of Location for light vehicle sales and service at the Site. The Petitioner proposes to construct a two-story detailing building on the Site. The Site currently contains 17,663 SF of lot area with a single approximately 6,789 SF single-story building. The existing building is proposed to be demolished. The Site abuts VIP car wash, which has been in existence and been successful for two decades. The Petitioner seeks to add a detailing building to the services to offer to patrons with the vehicles. The light vehicle sales & service use is permitted in the proposed MX2 Zone with a Certificate of Location.

The Petitioner proposes to construct a detailing building with a building footprint of 3,700 SF. The total building area is a proposed 6,660 SF. The detailing building will be accessed from 1839 Main Street, which abuts the Site and currently has a curb cut. Patrons will enter via this entrance and likely enter the existing car wash at 1839 Main Street. Once vehicles exit the car wash, they will have the ability to drive to the proposed detailing building internally without utilizing a public street. The proposed building will contain Twelve (12) service bays where various detailing services will be

offered. Once complete, these vehicles will exit the north side of the detailing building and then exit through an exit-only curb cut onto Main Street. One (1) parking space will be located to the side of the proposed building. Seven (7) parking spaces will be located to the rear of the Site. The portion of the proposed building located on Main Street will contain a retail area connected with the detailing building. It will have direct access out onto the Main Street sidewalk. The proposed building will also contain a second floor office area.

The proposed design of the building is in accordance with the Regulations. The street frontage of the proposed building and portions of the façade visible from the street will have extensive windows and transparency. The brick façade of the proposed building and attached wall will provide a tremendous street wall and streetscape appearance. It will be a significant rehabilitation of the Site in a manner that is fully compliant with the new Zone Bridgeport.

The Petition satisfies the requirements of the Regulations for a Certificate of Location. The Petition is fully compliant with the Regulations. An automotive use is appropriate for the MX2 Zone, which should be located in areas that are easily accessible by vehicle, such as the Site. The proposed use will not impair the future development of the surrounding area. In fact, it enhances an abutting use at the VIP car wash, which has already been successful for decades. In addition, new commercial development along the Main Street corridor will only enhance the corridor. The proposed building and Site design also protect adjacent neighborhoods. The proposed building is located on Main Street, while the parking area and landscape buffer are located at the rear of the Site to buffer neighboring properties. As the detailing building will only be open during normal business hours during the day, it will also reduce any impact to neighboring properties. The proposed use will not adversely impact property values. The rehabilitation of the Site will achieve the exact opposite by spurring new construction development in the area. The proposed use will not be disruptive to existing uses. The use will utilize an existing curb cut to enter the Site. All traffic between the car wash and proposed detailing building will be internal. The new curb cut on the Site will be an exit-only with minimal effect on traffic. Any traffic would be contained on the Site.

For the reasons stated above, the Petitioner respectfully requests approval of a zone change of the Site from the MX1 Zone to the MX2 Zone and approval of a Certificate of Location for light vehicles sales & service.

Sincerely,



Christopher Russo

# 1849 MAIN STREET LLC ACTIVE

1837 MAIN STREET, BRIDGEPORT, CT, 06604, United States

## BUSINESS DETAILS

### Business Details

#### General Information

**Business Name**

1849 MAIN STREET LLC

**Business status**

ACTIVE

**Citizenship/place of formation**

Domestic/Connecticut

**Business address**

1837 MAIN STREET, BRIDGEPORT, CT, 06604, United States

**Annual report due**

3/31/2023

**NAICS code**

All Other Consumer Goods Rental (532289)

**Business ALEI**

1126863

**Date formed**

12/13/2013

**Business type**

LLC

**Mailing address**

1837 MAIN STREET, BRIDGEPORT, CT, 06604, United States

**Last report filed**

2022

**NAICS sub code**

532289

#### Principal Details

**Principal Name**

VALDEMIRO SANTOS

**Principal Title**

MEMBER

**Principal Business address**

1837 MAIN STREET, BRIDGEPORT, CT, 06604, United States

Principal Residence address  
1837 MAIN STREET, BRIDGEPORT, CT, 06604, United States

**Agent details**

Agent name  
VALDEMIRO SANTOS

Agent Business address  
1849 MAIN STREET, BRIDGEPORT, CT, 06604, United States

Agent Mailing address  
1849 MAIN STREET, BRIDGEPORT, CT, 06604, United States

Agent Residence addresss  
1849 MAIN STREET , BRIDGEPORT, CT, 06604, United States

**Filing History**



**Business Formation - Certificate of Organization**

**0005001113**

Filing date: 12/13/2013

Filing time:

Volume Type  
B

Volume  
1880

Start page  
850

Pages  
2

Date generated  
12/13/2013



**PROPERTIES WITHIN 100' OF 1849 MAIN ST AND 48 HURD AVE #REAR**

LOCATION	OWNER'S NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
72 FRANK ST #76	ROBLANC INC	4635 MADISON AVENUE	TRUMBULL	CT	06611
84 FRANK ST #86	CABELEIRA DOMINGOS	86 FRANK ST	BRIDGEPORT	CT	06604
37 HURD AV	LUSITANIA LLC	50 HURD AVENUE	BRIDGEPORT	CT	06604
1797 MAIN ST	1797 MAIN STREET LLC	1797 MAIN ST	BRIDGEPORT	CT	06606
1839 MAIN ST	JROD LLC	1839 MAIN ST	BRIDGEPORT	CT	06604
50 HURD AV #58	PINHO LLC	50 HURD AVE	BRIDGEPORT	CT	06604
60 HURD AV #62	FAI & WONG BROTHERS REALTY CORP	9 CHERRY GROVE CT	VALLEY STREAM	NY	11581
1824 MAIN ST #1836	COLUMBUS PLACE ASSOCIATES LLC	122 ROBERTON CROSSING	FAIRFIELD	CT	06825
64 HURD AV #66	MARTINS MIGUEL (EST OF) & MARIA A	64 HURD AVE	BRIDGEPORT	CT	06604
1840 MAIN ST	COLUMBUS PLACE ASSOCIATES	122 ROBERTON CROSSING	FAIRFIELD	CT	06825
1849 MAIN ST #1857	1849 MAIN STREET LLC	1650 BUSHWICK AVENUE	BROOKLYN	NY	11207
375 GRAND ST #377	BUSH MARK J	375 GRAND ST	BRIDGEPORT	CT	06604
365 GRAND ST	PEREIRA MARIA	2 HUNTERS RIDGE RD	SHELTON	CT	06484
1860 MAIN ST	COLUMBUS PLACE ASSOCIATES	122 ROBERTON CROSSING	FAIRFIELD	CT	06825
355 GRAND ST #361	PEREIRA MARIA	2 HUNTERS RIDGE RD	SHELTON	CT	06484
1871 MAIN ST #1891	ORCHARD HILL DEVELOPMENT LLC	1871 MAIN ST	BRIDGEPORT	CT	06604
1882 MAIN ST	NS RETAIL HOLDINGS LLC	1882 MAIN ST	BRIDGEPORT	CT	06604
61 HURD AV	BENFICA-OPORTO LLC	126 FRANK ST	BRIDGEPORT	CT	06604
126 FRANK ST	FRANK STREET YARD LLC	126 FRANK ST	BRIDGEPORT	CT	06604
389 GRAND ST	PEREIRA MARIA F	389 GRAND ST	BRIDGEPORT	CT	06604

**MX2 Zone Development Standards**

**Storefront Building Type**

3.20.4. BUILDING SITING SEE FIGURE 3.20-B	REQUIRED	NEW LOT 'A'	NEW LOT 'B'	NEW LOT 'C'
1) LOT WIDTH	N/A	100.8± FT.	114± FT. PRIMARY	157± FT. PRIMARY
2) PRIMARY STREETWALL	75% MINIMUM; (SEE COURTYARDS, OUTDOOR DINING, AND SEATING ALLOWANCES PER 3.20.10.A; MINIMUM STREETScape AREA REQUIRED PER 3.20.10.B. THROUGH LOTS ADDRESSED PER 3.20.10.B. SEE 14.20.6 FOR MEASURING)	49%	0%	0%
3) PRIMARY STREET BUILD-TO-ZONE	<b>0 FT. MINIMUM, 15 FT. MAXIMUM;</b> (SEE COURTYARDS, OUTDOOR DINING, AND SEATING ALLOWANCES PER 3.20.10.A; MINIMUM STREETScape AREA REQUIRED PER 3.20.10.B. THROUGH LOTS ADDRESSED PER 3.20.10.B. SEE 14.20.6 FOR MEASURING)	4.2± FT.	70.7± FT.	VACANT
4) NON-PRIMARY STREET BUILD-TO-ZONE	<b>0 FT. MINIMUM, 15 FT. MAXIMUM;</b> (SEE COURTYARDS, OUTDOOR DINING, AND SEATING ALLOWANCES PER 3.20.10.A; MINIMUM STREETScape AREA REQUIRED PER 3.20.10.B. THROUGH LOTS ADDRESSED PER 3.20.10.B. SEE 14.20.6 FOR MEASURING)	N/A	41.3± FT.	VACANT
5) SIDE SETBACK	<b>0 FT. MINIMUM, 5 FT. MINIMUM</b> (ADJACENT TO OTHER BUILDING TYPES)	0.3± FT.	2.6± FT.	VACANT
6) REAR SETBACK	<b>15 FT. MAXIMUM</b> ADJACENT TO 'N' ZONES (BUFFER REQUIRED ADJACENT TO 'N' ZONES PER 3.20.10)	36.1± FT.	THROUGH-LOT	VACANT
7) SITE COVERAGE	95% MAXIMUM (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	100%	92%	VACANT

**3.20.5. PARKING AND ACCESSORY STRUCTURES**  
SEE FIGURE 3.20-C

1) PARKING AND DRIVEWAY ACCESS	NON-PRIMARY STREET: IF NO NON-PRIMARY STREET, PRIMARY: MAX. 22 FT. WIDTH AT SIDEWALK WITHOUT MEDIAN; MAX. 1 ACCESS DRIVE (SEE 8.0 FOR PARKING)	1 ACCESS DRIVE 25± FT WIDTH	3 ACCESS DRIVES 14± (HURD AVE) 27± FT (MAIN ST) 30± FT (MAIN ST)	2 ACCESS DRIVES 20± FT (MAIN ST) 25± FT (MAIN ST)
2) ATTACHED GARAGE SETBACK	30 FT MIN. BEHIND PRIMARY FACADE ABOVE ANY BASEMENT (SEE 6.50.11 FOR GARAGE DOOR DESIGN REGULATIONS)	N/A	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	REAR, SIDE, NON-PRIMARY STREET FACADE (SEE 6.50.11 FOR GARAGE DOOR DESIGN REGULATIONS)	N/A	N/A	N/A
3) SURFACE PARKING LOCATION	REAR YARD, LIMITED SIDE YARD (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	N/A	N/A	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	N/A	N/A	N/A
SIDE AND REAR SETBACK	3 FT. MINIMUM (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	N/A	N/A	N/A
4) ACCESSORY STRUCTURE LOCATION	REAR YARD (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A	N/A
SIDE AND REAR SETBACK	5 FT. MINIMUM; 15 FT. MINIMUM ADJACENT TO 'N' ZONES (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A	N/A
ALLOWED ACCESSORY STRUCTURES	(SEE 3.170 FOR ACCESSORY STRUCTURES AND 4.70 FOR ACCESSORY USES)			
OUTBUILDINGS AND GARAGES	ALLOWED	N/A	N/A	N/A
OUTBUILDINGS AND GARAGES (HEIGHT)	ONE STORY MAX. OR, WHERE PRINCIPAL BUILDINGS ARE 2 OR MORE STORIES, 1.5 STORIES, CALCULATED BASED UPON THE FLOOR-TO-FLOOR HEIGHTS USED ON THE PRINCIPAL BUILDING.	N/A	N/A	N/A
OUTBUILDINGS AND GARAGES (FLOOR AREA)	THE MAXIMUM FLOOR AREA IS 50% OF THE PRINCIPAL BUILDING FOOTPRINT	N/A	N/A	N/A
DRIVE-THROUGH FACILITIES	ALLOWED	N/A	COMPLIES	N/A
FUEL PUMPS	ALLOWED	N/A	N/A	N/A

**3.20.6. HEIGHT**  
SEE FIGURE 3.20-D

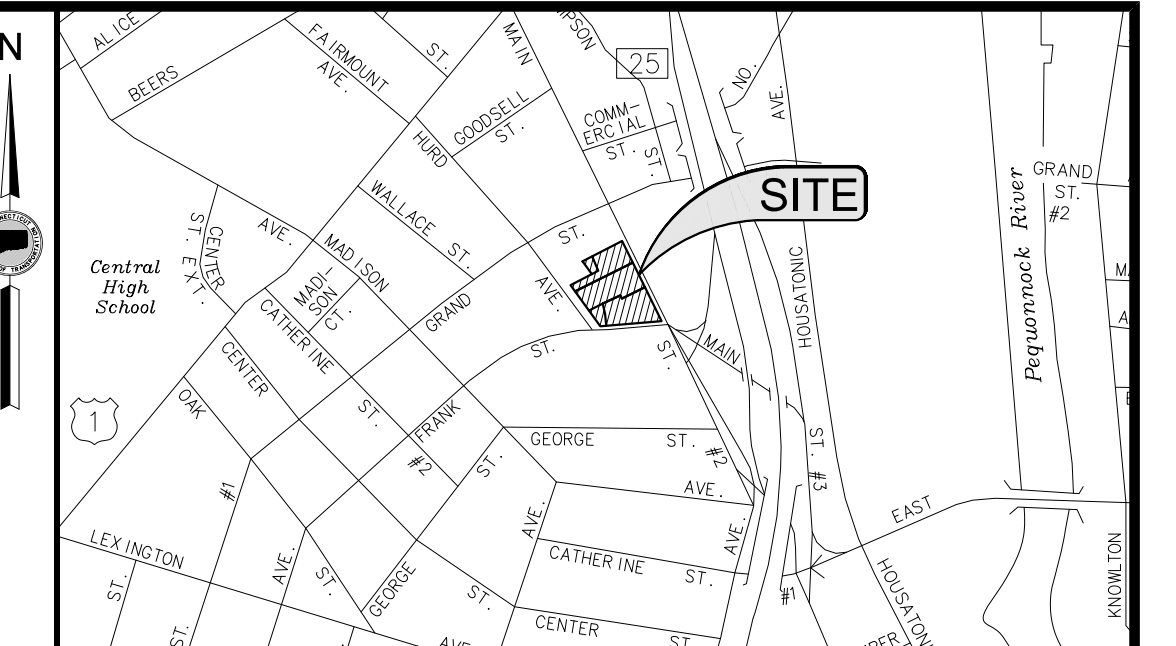
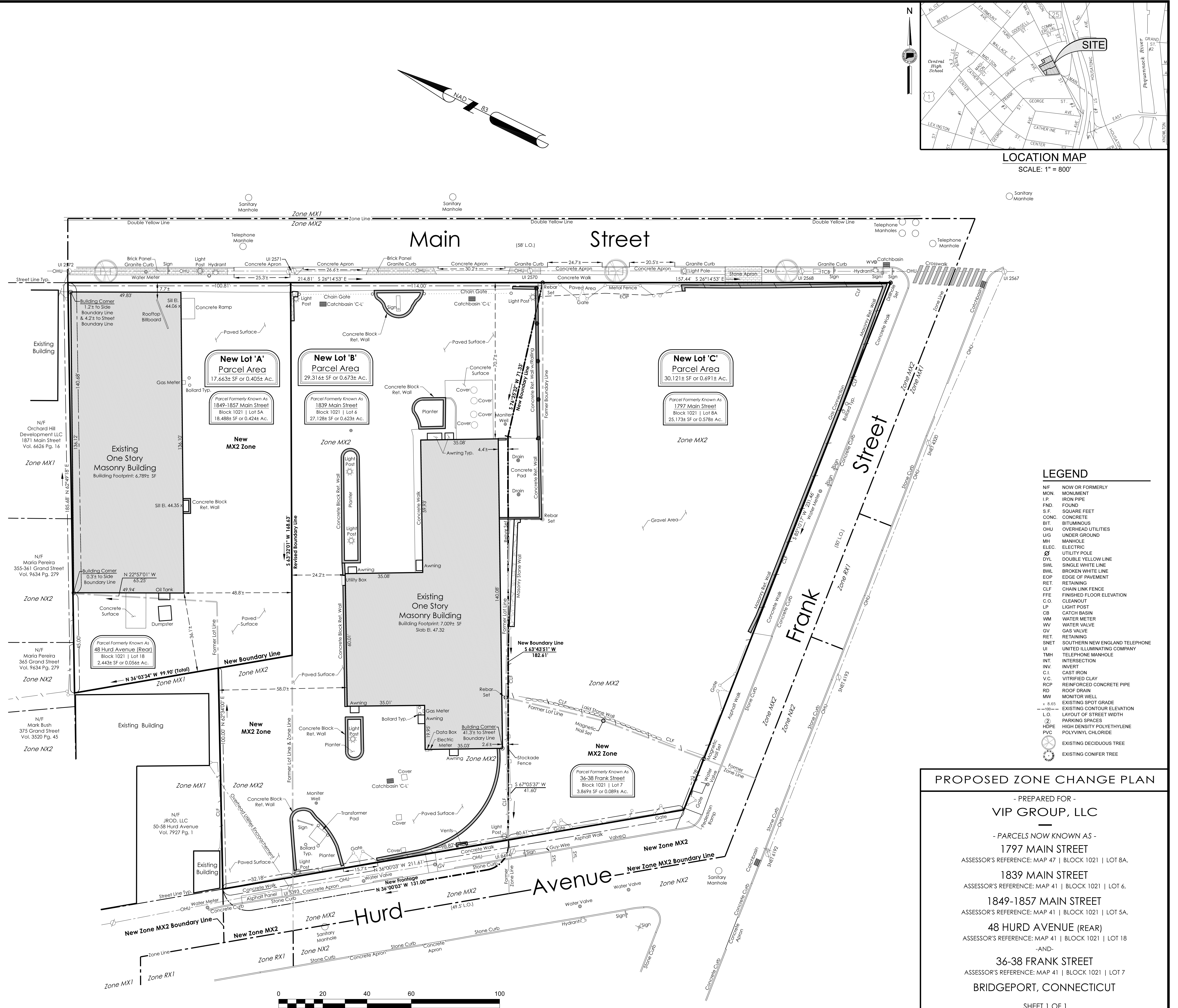
1) HEIGHT	2 STORY MINIMUM; 3 STORIES MAXIMUM	1 STORY	1 STORY	N/A
2) ADDITIONAL HIGH-RISE OR STEPPED-BACK HEIGHT	2 STORIES ADDITIONAL STORIES ALONG MAJOR CORRIDORS	N/A	N/A	N/A
3) GROUND STORY HEIGHT	12 FT. MINIMUM; 14 FT. MAXIMUM	11± FT.	11± FT.	N/A
	14 FT. MINIMUM HEIGHT FOR SINGLE-STORY BUILDING WITH 6 FT. MAXIMUM HEIGHT PARAPET	11± FT.	11± FT.	N/A
4) UPPER STORY HEIGHT	9 FT. MINIMUM, 14 FT MAXIMUM	N/A	N/A	N/A

**3.20.7. ROOFS**  
SEE FIGURE 3.20-E

1) ROOF TYPES	FLAT, PARAPET (SEE 6.20 FOR ROOF TYPES AND TOWER REGULATIONS)	FLAT	FLAT	N/A
2) TOWER	ALLOWED	N/A	N/A	N/A

**3.20.9. ALLOWED USES**  
SEE ARTICLE 4.0 FOR USE DEFINITIONS, SPECIFIC USE LIMITATIONS, AND OTHER USE-RELATED REGULATIONS

RESIDENTIAL	ALLOWED	N/A	N/A	N/A
NUMBER OF PRINCIPLE UNITS	ALLOWED	N/A	N/A	N/A
NUMBER OF ACCESSORY UNITS	NOT ALLOWED	N/A	N/A	N/A
HOUSEHOLD LIVING	ALLOWED	N/A	N/A	N/A
COMMERCIAL	ALLOWED	N/A	CONVENIENCE STORE	N/A
RETAIL AND ENTERTAINMENT 4.40.2.A RETAIL SALES	ALLOWED	N/A	CONVENIENCE STORE	N/A
LIGHT VEHICLE SALES AND SERVICE 3.170.2.D.4 CAR WASH FACILITY	REQUIRES CERTIFICATE OF LOCATION APPROVAL	ACCESSORY CAR WASH FACILITY	CAR WASH FACILITY	N/A



**LOCATION MAP**  
SCALE: 1" = 800'

**LEGEND**

- N/F NOW OR FORMERLY
- MON MONUMENT
- I.P. IRON PIPE
- FND. FOUND
- S.F. SQUARE FEET
- CONC. CONCRETE
- BIT. BITUMINOUS
- O.H.U. UNDER UTILITIES
- U.G. UNDER GROUND
- M.H. MANHOLE
- ELEC. ELECTRIC
- U.P. UTILITY POLE
- D.Y.L. DOUBLE YELLOW LINE
- S.W.L. SINGLE WHITE LINE
- B.W.L. BROKEN WHITE LINE
- E.O.P. EDGE OF PAVEMENT
- RET. RETAINING
- C.L.F. CHAIN LINE FENCE
- F.F.E. FINISHED FLOOR ELEVATION
- C.O. CLEANOUT
- L.P. LIGHT POST
- C.B. CATCH BASIN
- W.M. WATER METER
- W.V. WATER VALVE
- G.V. GAS VALVE
- RET. RETAINING
- S.N.E.T. SOUTHERN NEW ENGLAND TELEPHONE
- U.I. UNITED ILLUMINATING COMPANY
- T.M.H. TELEPHONE MANHOLE
- INT. INTERSECTION
- INV. INVERT
- C.I. CAST IRON
- V.C. VITRIFIED CLAY
- R.C.P. REINFORCED CONCRETE PIPE
- R.D. ROOF DRAIN
- M.W. MONITOR WELL
- E.S.G. EXISTING SPOT GRADE
- E.C.E. EXISTING CONTOUR ELEVATION
- L.O. LAYOUT OF STREET WIDTH
- P. PARKING SPACES
- H.D.P.E. HIGH DENSITY POLYETHYLENE
- P.V.C. POLYVINYL CHLORIDE
- E.D.T. EXISTING DECIDUOUS TREE
- C.T. EXISTING CONIFER TREE

**PROPOSED ZONE CHANGE PLAN**

- PREPARED FOR -  
**VIP GROUP, LLC**

- PARCELS NOW KNOWN AS -  
**1797 MAIN STREET**  
ASSESSOR'S REFERENCE: MAP 47 | BLOCK 1021 | LOT 8A.

**1839 MAIN STREET**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 6.

**1849-1857 MAIN STREET**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 5A.

**48 HURD AVENUE (REAR)**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 18

-AND-  
**36-38 FRANK STREET**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 7

**BRIDGEPORT, CONNECTICUT**





# VIP AUTO DETAILING

## 1849 MAIN STREET

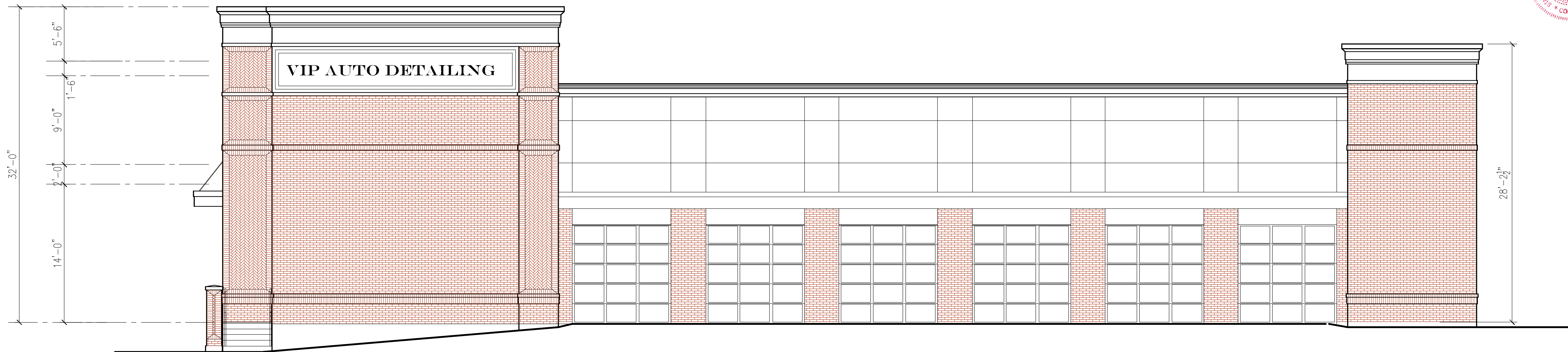
### BRIDGEPORT, CT



**GUEDES ASSOCIATES, INC.**  
Designers, Architects & Project Managers  
1425 Noble Avenue, Bpt., CT. 06610  
Tel. 203-367-5180 Fax. 203-367-4961

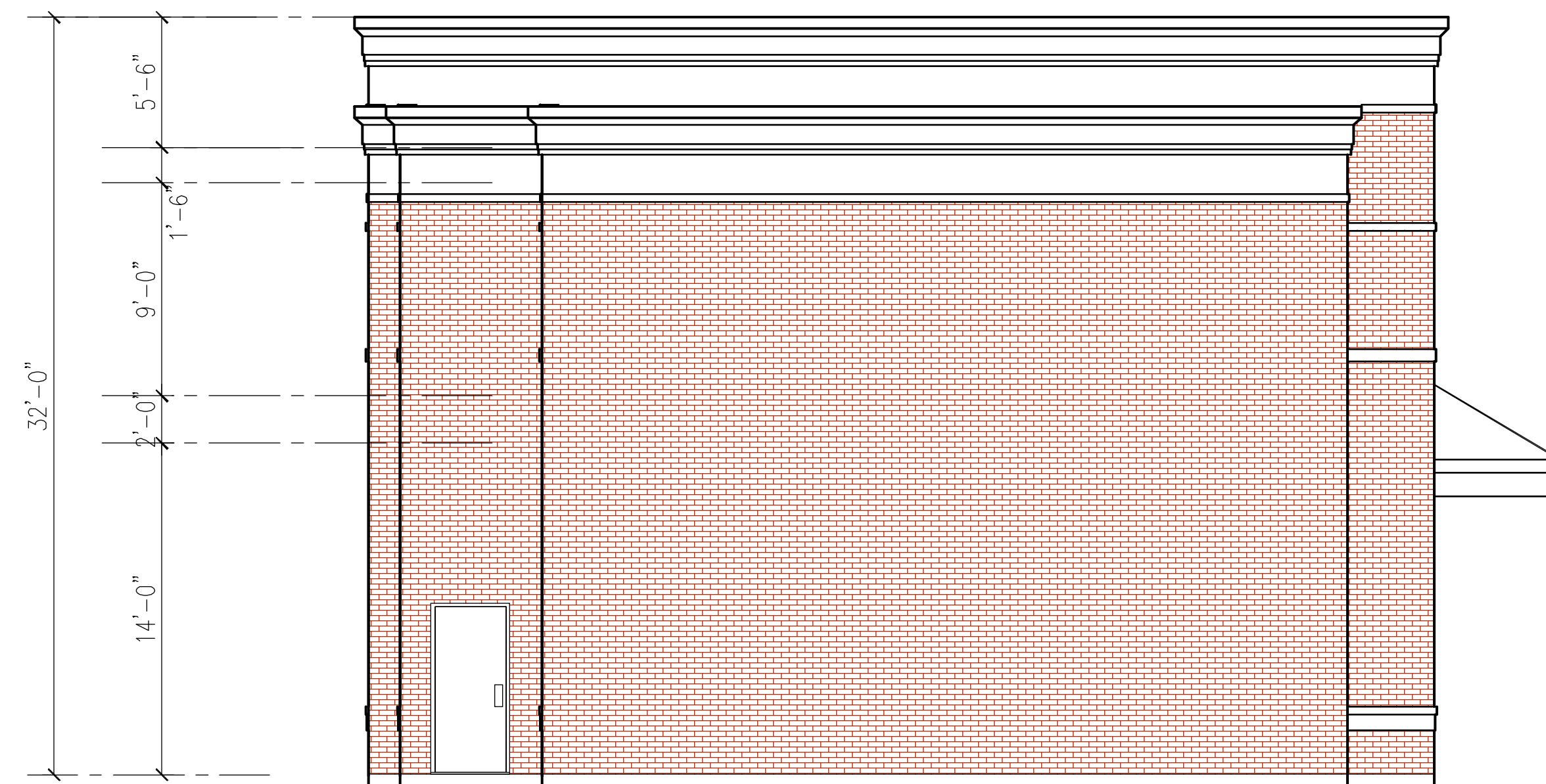






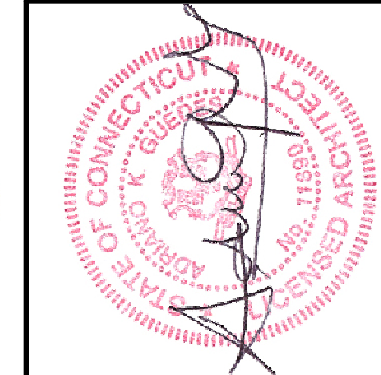
## NORTH ELEVATION PLAN

SCALE - 3/16" = 1'-0"



## WEST ELEVATION PLAN

SCALE - 3/16" = 1'-0"



1	2	3	4	5	6
REVISIONS					

11-16-2022

**GUEDES ASSOCIATES, INC.**  
 Designers, Architects & Project Managers  
 1425 Noble Avenue, Bpt., CT. 06610  
 Tel. 203-367-5180 Fax. 203-367-4961



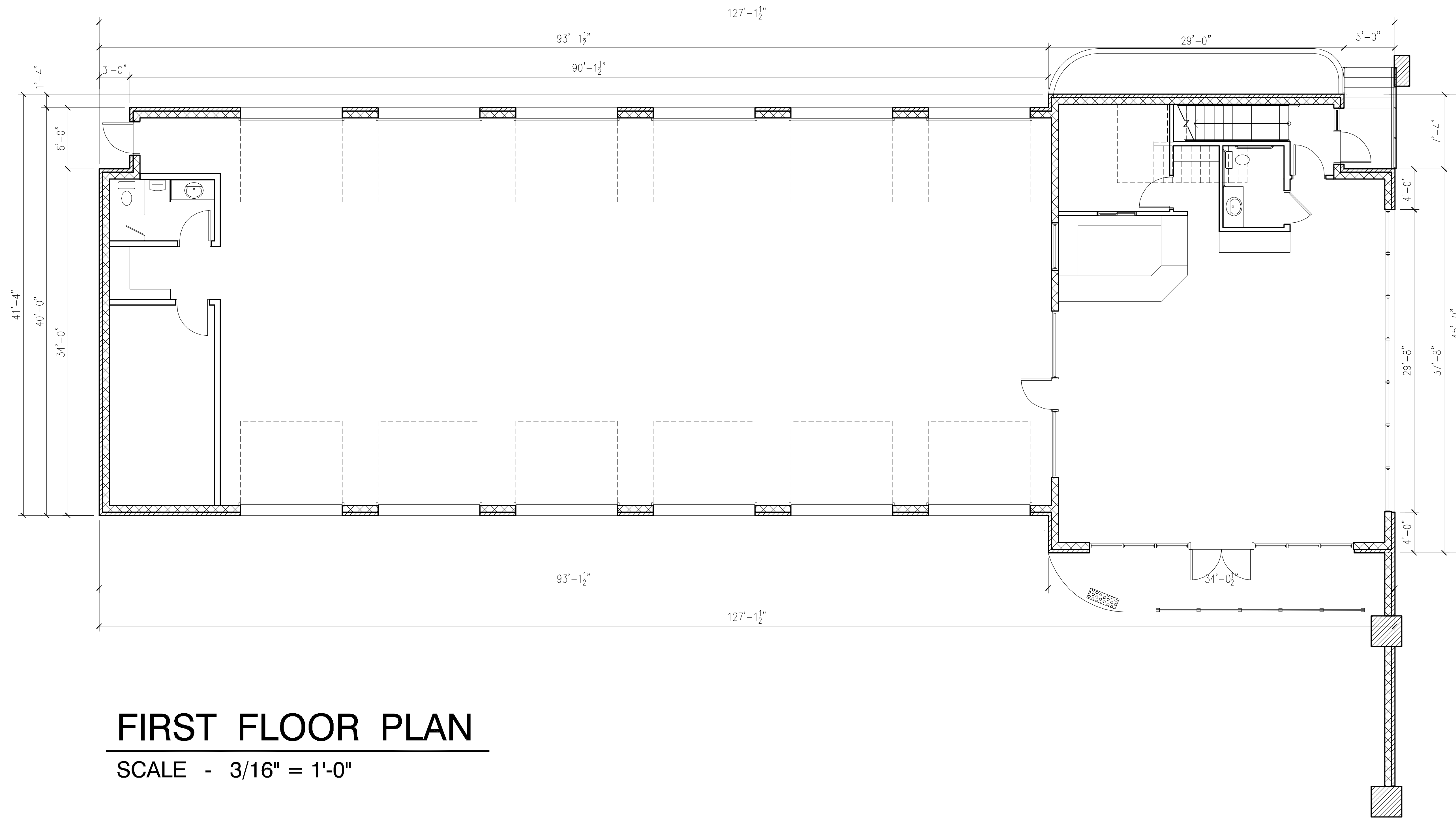
AUTO DETAILING BUILDING VIP CAR SERVICE 1849 MAIN STREET, BRIDGEPORT, CT	date: 10-12-2020	scale: AS NOTED
	drawn: J.N. GUEDES	project #:
NORTH & WEST ELEVATION PLAN		



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

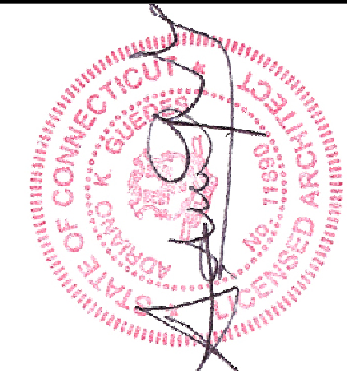
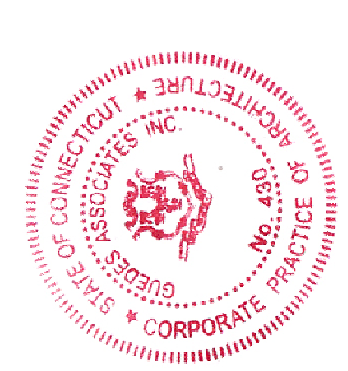
A-4





# FIRST FLOOR PLAN

SCALE - 3/16" = 1'-0"



REVISIONS	
1	
2	
3	
4	
5	
6	

**GUEDES ASSOCIATES, INC.**  
 Designers, Architects & Project Managers  
 1425 Noble Avenue, Bpt., CT. 06610  
 Tel. 203-367-5180 Fax. 203-367-4961

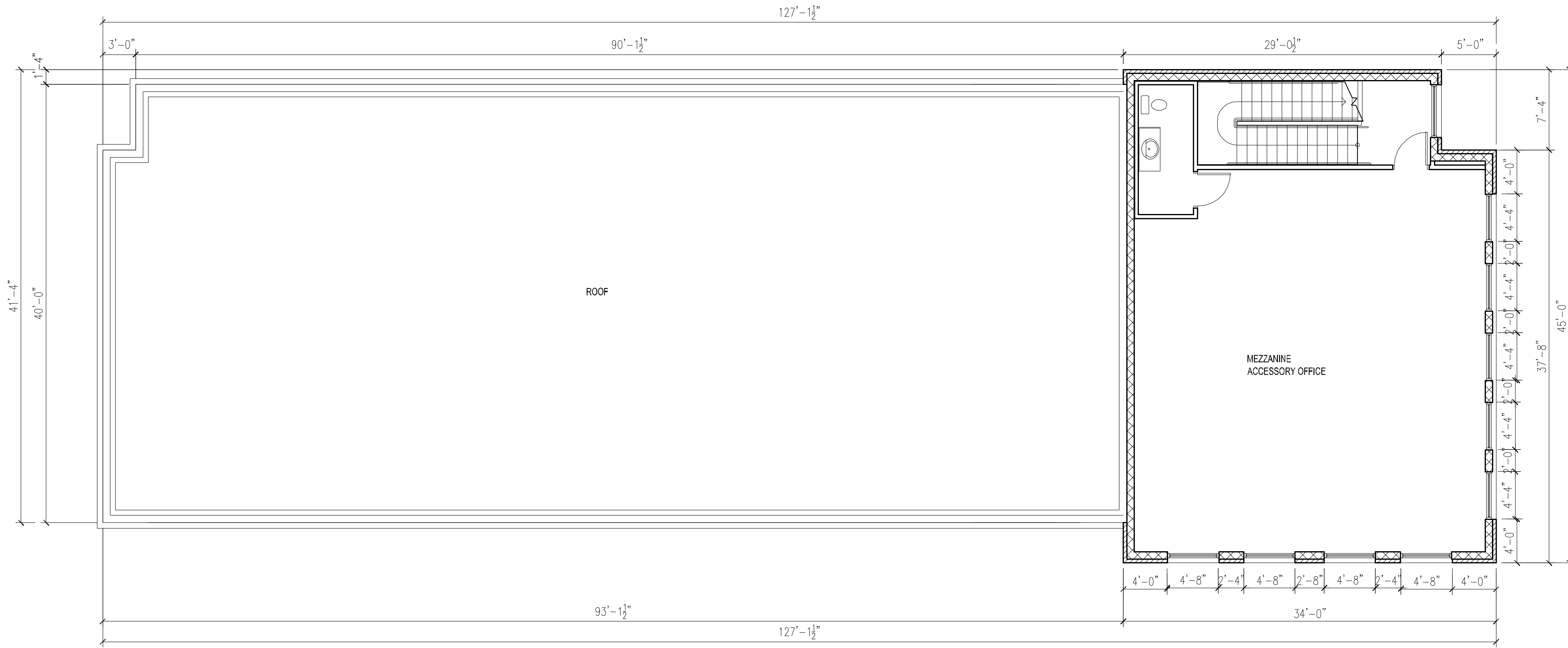
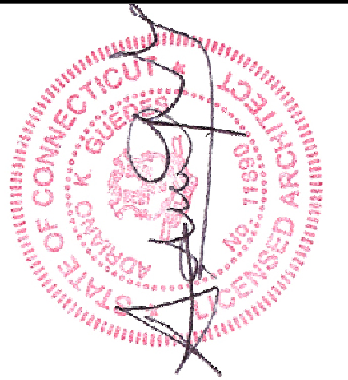


This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without the written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

AUTO DETAILING BUILDING VIP CAR SERVICE 1849 MAIN STREET, BRIDGEPORT, CT	date:	10-12-2020	scale:	AS NOTED
	drawn:	J.N. GUEDES	project #:	
FIRST FLOOR PLAN				

**A-1**





# SECOND FLOOR PLAN

SCALE - 3/16" = 1'-0"

03-12-2022

REVISIONS					
1					
2					
3					
4					
5					
6					

**GUEDES ASSOCIATES, INC.**  
 Designers, Architects & Project Managers  
 1425 Noble Avenue, Bpt., CT. 06610  
 Tel. 203-367-5180 Fax. 203-367-4961



AUTO DETAILING BUILDING  
 VIP CAR SERVICE  
 1849 MAIN STREET, BRIDGEPORT, CT

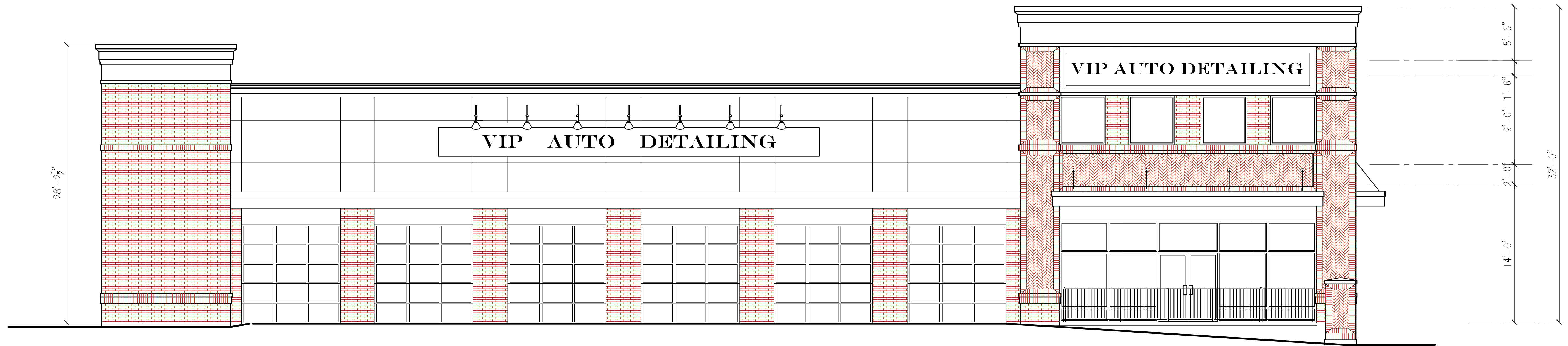
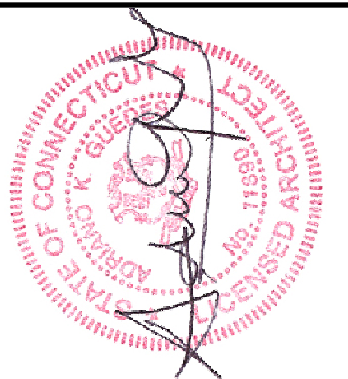
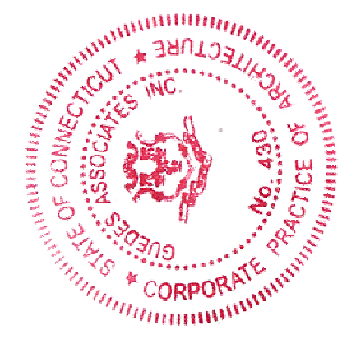
date: 10-12-2020	scale: AS NOTED
drawn: J.N. GUEDES	project #:

SECOND FLOOR PLAN



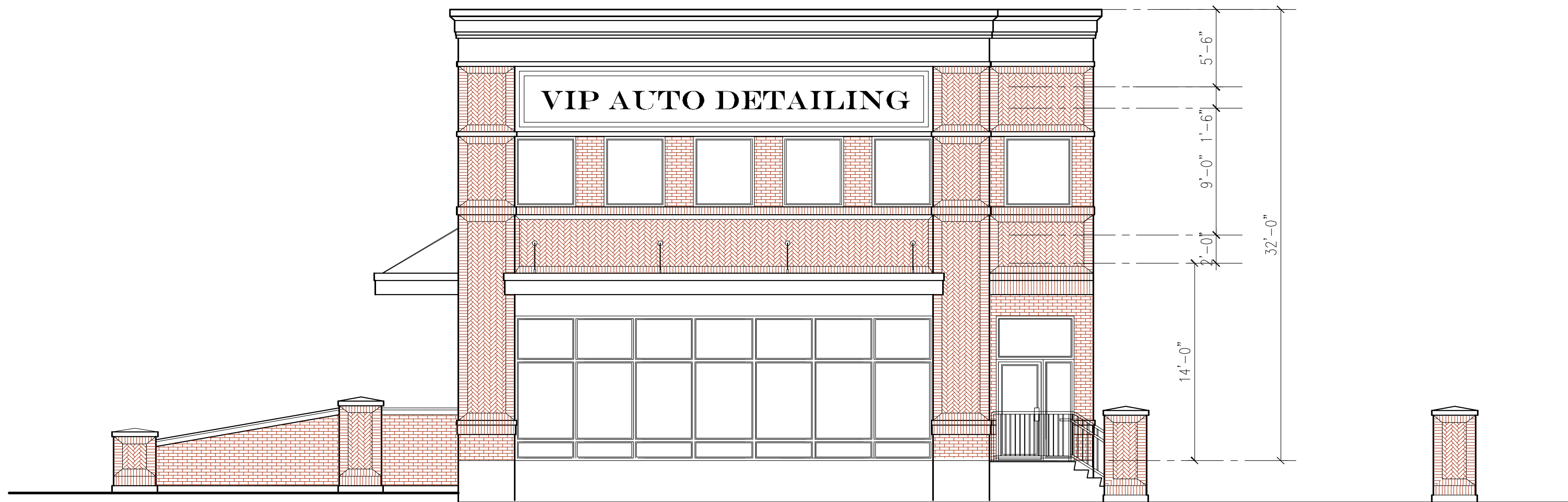
This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervision, the architect will not be held responsible for damages.

**A-2**



# SOUTH ELEVATION PLAN

SCALE - 3/16" = 1'-0"



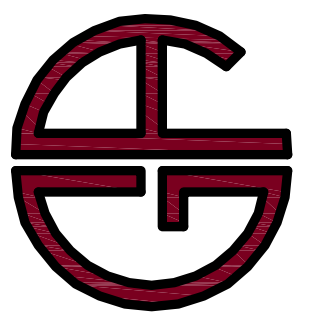
# EAST ELEVATION PLAN

SCALE - 3/16" = 1'-0"

11-16-2022

REVISIONS	
1	
2	
3	
4	
5	
6	

**GUEDES ASSOCIATES, INC.**  
 Designers, Architects & Project Managers  
 1425 Noble Avenue, Bpt., CT. 06610  
 Tel. 203-367-5180 Fax. 203-367-4961



AUTO DETAILING BUILDING  
 VIP CAR SERVICE  
 1849 MAIN STREET, BRIDGEPORT, CT

date: 10-12-2020  
 drawn: J.N. GUEDES  
 scales: AS NOTED  
 project #:

SOUTH & EAST  
 ELEVATION PLAN



This drawing is the property of the architect. It has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the architect. Method of construction shown on this drawing should be followed exactly. Any deviation without architect's consent or supervisor, the architect will not be held responsible for damages.

# A-3



CITY OF BRIDGEPORT

File No. \_\_\_\_\_

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: Madl Coleman Holding Company, LLC
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 22-96 Williston St, Bridgeport, CT 06607
4. Assessor's Map Information: Block No. 47/748 Lot No. 30
5. Amendments to Zoning Regulations: (indicate) Article: Section:
6. Description of Property (Metes & Bounds): 355.65' x 122.5' x 388.33' x 94.7' x 28,45' x 35.65'
7. Existing Zone Classification: RX2
8. Zone Classification requested: RX2
9. Describe Proposed Development of Property: Proposed construction of a 60 dwelling unit multi-family residential apartment building on a vacant lot.

Approval(s) requested: Coastal site plan review and site plan review

Signature: Date: 12/29/2022
Print Name:

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Print Name:

Mailing Address: 10 Sasco Hill Rd, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-528-0590 Fax:
E-mail Address: chris@russorizio.com

\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Madl Coleman Holding Company, LLC 12/29/2022
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date



22 - 96 Williston St Neighbors List

LOCATION	OWNER	OWNER ADDRESS	CITY	STATE	ZIP
195 HOLLY ST	TELLOS BRIDGEPORT LLC	195 HOLLY STREET	BRIDGEPORT	CT	06607
189 HOLLY ST	KHOUNPHIXAY KALA ET AL	180 HOLLY ST	BRIDGEPORT	CT	06607
177 HOLLY ST	ABRAHAM JOSE & MARIA	177 HOLLY ST	BRIDGEPORT	CT	06607
169 HOLLY ST	CABNESS CAMAR & APRIL BENNETT	169 HOLLY ST	BRIDGEPORT	CT	06607
163 HOLLY ST	SUAREZ MARIA L	163 HOLLY ST	BRIDGEPORT	CT	06604
157 HOLLY ST	WOODSON ROSHELLEY ET ALS	157 HOLLY ST	BRIDGEPORT	CT	06607
149 HOLLY ST	HABITAT FOR HUMANITY OF FFLD INC	1542 BARNUM AVE	BRIDGEPORT	CT	06610
1492 SEAVIEW AV #1496	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
141 HOLLY ST #143	HOLMES OLLIE	141-143 HOLLY ST	BRIDGEPORT	CT	06607
115 HOLLY ST #117	PANAGIOTIDIS IOANNIS & FOTINI	115-117 HOLLY ST	BRIDGEPORT	CT	06607
102 WILLISTON ST #104	HOUSING AUTHORITY CITY OF BPT	150 HIGHLAND AVE	BRIDGEPORT	CT	06604
1506 SEAVIEW AV #1508	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
105 HOLLY ST #107	SANCHEZ ISMAEL	105 HOLLY ST #107	BRIDGEPORT	CT	06607
22 WILLISTON ST #24	MADL COLEMAN HOLDINGS COMPANY LLC	22 WILLISTON ST #24	BRIDGEPORT	CT	06607-1049
1512 SEAVIEW AV #1514	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
1520 SEAVIEW AV	SOUTHERN CT HEALTH SYS PROP INC	267 GRANT ST	BRIDGEPORT	CT	06610
397 BUNNELL ST #403	QUEENS GRANT LP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
105 WILLISTON ST	QUEENS GRANT LIMITED PARTNERSHIP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
1524 SEAVIEW AV #1532	SEAVIEW VENTURE LLC	570 STATE ST	BRIDGEPORT	CT	06604
1534 SEAVIEW AV #1542	SEAVIEW VENTURE LLC	570 STATE ST	BRIDGEPORT	CT	06604
91 WILLISTON ST #93	QUEENS GRANT LIMITED PARTNERSHIP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
81 WILLISTON ST	QUEENS GRANT LIMITED PARTNERSHIP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
73 WILLISTON ST	QUEENS GRANT LIMITED PARTNERSHIP	964 CRESCENT AVE	BRIDGEPORT	CT	06607
1554 SEAVIEW AV #1558	CLASSIC CRESCENT LLC	240 WHITE PLAINS RD	TRUMBULL	CT	06611
63 WILLISTON ST	938 CRESCENT AVENUE LLC	938 CRESCENT AVENUE	BRIDGEPORT	CT	06607
1564 SEAVIEW AV	BRIDGEPORT CITY OF	45 LYON TER	BRIDGEPORT	CT	06604

# MADL COLEMAN HOLDING COMPANY, LLC

ACTIVE

1732 RESERVOIR AVENUE, BRIDGEPORT, CT, 06606, United States

## BUSINESS DETAILS

### Business Details

#### General Information

**Business Name**

MADL COLEMAN HOLDING COMPANY, LLC

**Business status**

ACTIVE

**Citizenship/place of formation**

Domestic/Connecticut

**Business address**

1732 RESERVOIR AVENUE, BRIDGEPORT, CT, 06606, United States

**Annual report due**

3/31/2022

**NAICS code**

Other Activities Related to Real Estate (531390)

**Business ALEI**

1365575

**Date formed**

11/9/2020

**Business type**

LLC

**Mailing address**

1732 RESERVOIR AVENUE, BRIDGEPORT, CT, 06606, United States

**Last report filed**

2021

**NAICS sub code**

531390

#### Principal Details

**Principal Name**

MARSHAN COLEMAN

**Principal Title**

MANAGING MEMBER

**Principal Business address**

1732 RESERVOIR AVENUE, BRIDGEPORT, CT, 06606, United States

Principal Residence address  
1732 RESERVOIR AVENUE, BRIDGEPORT, CT, 06606, United States

**Agent details**

Agent name  
MARSHAN COLEMAN

Agent Business address  
1732 RESERVOIR AVENUE, BRIDGEPORT, CT, 06606, United States

Agent Mailing address  
1732 RESERVOIR AVENUE, BRIDGEPORT, CT, 06606, United States

Agent Residence address  
1732 RESERVOIR AVENUE , BRIDGEPORT, CT, 06606, United States

**Filing History**



(<https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t00000023SfC/kHzzwuw.0RLDmv4JjrkpDELrhhmSTLRCuK.Y8bW0lc>)

Volume Type  
E

Volume  
103

Start page  
1911

Pages  
2

Date generated  
11/9/2020

Digital copy  
[View as PDF](#)

(<https://ctds.my.salesforce.com/sfc/p/t0000000PNLu/a/t00000023SfC/kHzzwuw.0RLDmv4JjrkpDELrhhmSTLRCuK.Y8bW0lc>)

E  
F  
C  
C  
F  
C  
1



# 54CITY OF BRIDGEPORT

Application Form

## Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

### Section I: Applicant Identification

Applicant: <u>Madl Coleman Holding Company, LLC</u>	Date: <u>12/29/2022</u>
Address: <u>c/o Russo &amp; Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT</u>	Phone: <u>203-528-0590</u>
Project Address or Location: <u>22-96 Williston Street, Bridgeport, CT 06607</u>	
Interest in Property: <input checked="" type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant: Name: <u>Chris Russo, Russo &amp; Rizio, LLC</u>	
Address: <u>10 Sasco Hill Road</u>	
City/Town: <u>Fairfield</u>	State: <u>CT</u> Zip _____
Code: <u>06824</u>	
Business Phone: <u>203-528-0590</u>	
e-mail: <u>Chris@russorizio.com</u>	

### Section II: Project Site Plans

<p>Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:</p> <p><input checked="" type="checkbox"/> Project location</p> <p><input checked="" type="checkbox"/> Existing and proposed conditions, including buildings and grading</p> <p><input checked="" type="checkbox"/> Coastal resources on and contiguous to the site</p> <p><input type="checkbox"/> High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)</p> <p><input checked="" type="checkbox"/> Soil erosion and sediment controls</p> <p><input checked="" type="checkbox"/> Stormwater treatment practices</p> <p><input checked="" type="checkbox"/> Ownership and type of use on adjacent properties</p> <p><input checked="" type="checkbox"/> Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)</p>
--

### Section III: Written Project Information



Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

### Part I: Site Information

1. Street Address or Geographical Description:

City or Town: Bridgeport

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)?  YES  NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:  
Yellow Mill Channel is located over 435' from the Site. There is no adjacent water.

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:  
The Site is currently vacant. The Site is located in the RX-2 Zone. A mixed-use building is located to the west and multi-family dwellings surround the remainder of the Site. The industrial zone and several industrial uses are located across Williston Street.

5. Indicate the area of the project site: 1.068  acres or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities

Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.

Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d)  Yes  No

### Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The Petitioner proposes to construct a four[story apartment building containing sixty (60) residential dwelling units. The Petitioner will provide surface parking of Fifty (50) spaces. The proposed building and site coverage is below the maximum standards of the zone under the Zoning Regulations. The development will be completed in one phase in an anticipated Twenty-four (24) months of construction.

---

---

---

---

---

---

---

---

**Part II.B.: Description of Proposed Stormwater Best Management Practices**

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes adjacent to or within 35' of the Site and volumes (attach additional pages if necessary):

Storm water run-off from the building and the driveway and parking areas will be treated with a subsurface system. The primary stormwater treatment will be implemented as to Stormwater Best Management Practice.

---

---

---

---

### Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

\* General Coastal Resource policy is applicable to all proposed activities

#### Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

Yellow Mill Channel, which is the closest coastal resource, is located over 435' from the Site.

The proposed project complies with CGS Sec. 22a-92(a)(1) "...by promoting economic growth without significantly disrupting the environment...", with CGS Sec. 22a-92(b)(2)(F) "...manage coastal hazard areas to minimize hazards to property..." and with CGS Sec. 22a-92(c)(2)(B) "...maintain patterns of water circulation in the placement of drainage control structures..."

#### Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development\* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- 9 Water-Dependent Uses\*\* - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);  
Definition CGS Section 22a-93(16)
- 9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- 9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- 9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- 9 Boating - CGS Section 22a-92(b)(1)(G)
- 9 Fisheries - CGS Section 22a-92(c)(1)(I)
- 9 Coastal Wetlands within 435' of the Site - CGS Sections 22a-92(a)(6), 22a-92(c)(1)(j) and 22a-92(c)(1)(K)
- 9 Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- 9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- 9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- 9 Solid Waste - CGS Section 22a-92(a)(2)
- 9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- 9 Cultural Resources - CGS Section 22a-92(b)(1)(J)
- 9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

\* General Development policies are applicable to all proposed activities

\*\* Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

## Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration. This project will be limited to the confines of the Site and will be completed within Twenty-four (24) months. All disturbed pervious areas will be loamed, seeded and planted upon completion of construction.

## Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

*Please complete this section for all projects.*

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

**Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses**

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The **Applicable** column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

There is no proposed activity that will qualify as a water-dependent use as there is no adjacent water within 435' of the Site.

---



---



---



---



---



---



---



---



---



---

\*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.





Lisa S. Broder\*  
LBroder@russorizio.com

Colin B. Connor  
Colin@russorizio.com

Robert G. Golger  
Bob@russorizio.com

David K. Kurata  
DKurata@russorizio.com

Stanton H. Lesser+  
Stanton@russorizio.com

Katherine M. Macol  
Kathy@russorizio.com

Victoria L. Miller\*  
Victoria@russorizio.com

Anthony J. Novella\*  
Anovella@russorizio.com



10 Sasco Hill Road, Fairfield, CT 06824  
Tel 203-254-7579 or 203-255-9928  
Fax 203-576-6626

5 Brook St., Suite 2B, Darien, CT 06820  
Tel 203-309-5500

[www.russorizio.com](http://www.russorizio.com)

Leah M. Parisi  
Leah@russorizio.com

William M. Petroccio\*  
WPetro@russorizio.com

Raymond Rizio\*  
Ray@russorizio.com

Christopher B. Russo  
Chris@russorizio.com

Robert D. Russo\*  
Rob@russorizio.com

John J. Ryan+  
John@russorizio.com

Jane Ford Shaw  
Jane@russorizio.com

Vanessa R. Wambolt  
Vanessa@russorizio.com

\* Also Admitted in NY

\* Also Admitted in VT

+ Of Counsel

December 29, 2022

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604

**Re: Petition for Site Plan Review and Coastal Site Plan Review – 22-96 Williston Street**

Dear Mr. Boucher:

Please accept this Petition to the Bridgeport Planning and Zoning Commission for Site Plan Review and Coastal Site Plan Review on behalf of my client, Madl Coleman Holding Company, LLC, for the properties located at 22-96 Williston Street (the “Site”) in the RX-2 Zone.

### Proposed Development & Use

The Petitioner requests approval to construct a four-story multi-family residential apartment building to contain Sixty (60) dwelling units on the Site. The Petitioner is permitted as of right to build a multi-family residential apartment building on the Site in the RX-2 Zone. The Site is located in a neighborhood with a mix of multi-family dwellings, including on either side of the proposed building. The Site is bordered by the NX-2 Zone to the south and on its sides and the Industrial I Zone to its north across Williston Street. It is located just north of I-95 and just south of the railroad tracks. The Site is a shallow, but extremely wide lot. It has 378.94’ of frontage along Williston Street, but only approximately 122’ in depth. The size of the Site dwarves many of its abutting properties.

The Petitioner proposes to construct a single four-story multi-family residential dwelling on the Site containing Sixty (60) dwelling units. The Site will be accessed by a two-way driveway in Two (2) locations along Williston Street. Said access will lead to a parking

area containing Fifty (50) off-street parking spaces. There are no parking requirements under the Regulations in the RX-2 Zone.

The proposed four-story building will contain Sixty (60) residential dwelling units – Forty-four (44) one-bedroom, Twelve (12) two-bedroom and Four (4) three-bedroom dwelling units. Each unit will contain an open-concept kitchen, dining and living area, a full bath and bedroom with walk-in closet and a washer/dryer. The two-bedroom and three-bedroom units will feature an additional full bath. The upper floors will be accessed by Two (2) elevators and Three (3) stairwells. A basement floor will also contain storage lockers for residents to utilize.

The proposed design of the building conforms to the urban design guidelines. Transparent stairwells and significant window area provide the level of transparency desired by the Regulations. The proposed parking area is located to the side and rear of the proposed building, so the building is the focus of the streetscape as contemplated by the Regulations. Its entrance fronts the primary street. The street wall occupies Seventy-three percent (73%) of the street frontage on Williston Street. The building does not occupy more of the street frontage due to the necessity of Two (2) driveway access point to service such a long Site. The Site will contain extensive landscaping.

### **Site Plan Review**

The Petition satisfies the Section 14-2-5 Site Plan Review standards of the Regulations. The design of the proposed buildings and landscaping create a harmonious building-street interaction providing a tremendous improvement to the existing streetscape. The scale and proportion of the buildings conform to the RX-2 Zone Development Standards and the Petitioner has received the necessary variances to be fully compliant with the Regulations. The Petition proposes significant landscaping. The proposed multi-family residential dwelling use and its density are permitted in the RX-2 Zone. The proposed use and building replace a long vacant and underutilized Site. The Site abuts other multi-family dwellings and provides a buffer to the industrial area located across Williston Street.

The proposed design of the building and its proximity to the highway system will be a great asset for residents. The Petition proposes sufficient off-street parking and accessible spaces. The interior traffic layout will provide full circulation around the building for emergency services.

### **Coastal Site Plan Review**

The Petition also complies with Section 14-3 of the Regulations regarding coastal site plan review. While the Site is located within the coastal boundary, it is over Four hundred and thirty-five feet (435') from Yellow Mill Channel, which is the nearest coastal resource. Buildings and streets exist between the coastal resource and the Site. It has no connection to the coastal resource but for being included within its boundary. There are no natural features

associated with the coastal resource on the Site. As stated above, the Petition fully complies with the site plan review standards of the Regulations. The Petition poses no danger or threat to coastal resources and it has no potential adverse impacts. The proposed building and Site improvements will all be constructed in accordance with current codes and regulations, including appropriate stormwater drainage systems. Appropriate sediment and erosion controls, such as silt fencing and anti-tracking aprons, will be utilized during construction.

For these reasons, we respectfully request approval of the Petition to construct a multi-family residential apartment dwelling containing Sixty (60) dwelling units with associated Site improvements on the Site in the RX-2 Zone.

Sincerely,



Christopher Russo



# Williston Town Homes

22-96 Williston Street  
Bridgeport, Ct 06607

## SHEET LIST

Sheet List	
Sheet Number	Sheet Name
INFORMATION	
G000	Cover Page
G001	Renderings
CIVIL	
C-1	Ex. Conditions, Soil Erosion & Sediment Control Plan, Notes abd Details
C-2	Site Plan
C-3	Grading & Drainage Plan
SITE	
SL100	Site Lighting Plan
ARCHITECTURAL	
A101	Typical Ground Floor Plan
A102	2nd & 3rd Floor Plans
A103	4th & Roof Floor Plans
A201	Williston Street Exterior Elevation
A202	Exterior Elevations
A500	Typical Enlarged Floor Plans
Grand total: 12	

### PROJECT STATUS:

Regulatory Approval

### UNIT MATRIX

	1BR	2BR	3BR	
1st Floor:	11	3	1	
2nd Floor:	11	3	1	
3rd Floor:	11	3	1	
4th Floor:	11	3	1	
Total	44	12	4	60 Units

### PROJECT DATA

#### CODES TO WHICH THIS PROJECT WAS DESIGNED

STATE BUILDING CODE STATE OF CONNECTICUT	2018
INTERNATIONAL BUILDING CODE	2015
STATE FIRE SAFETY CODE STATE OF CONNECTICUT	2018
INTERNATIONAL MECHANICAL CODE	2015
INTERNATIONAL PLUMBING CODE	2015
INTERNATIONAL ENERGY CONSERVATION CODE	2015
NFPA 70, NATIONAL ELECTRICAL CODE	2017
HEALTH CODE OF CONNECTICUT	CURRENT
OSHA TITLE 29 / LABOR	CURRENT
AMERICANS WITH DISABILITIES ACT	2010
ACCESSIBILITY ICC/ANSI A117.1	2009

#### CONSTRUCTION TYPE:

USE GROUP PER BOCA

### PROJECT TEAM:

#### Architect

Wiles+Architects, LLC  
257 Naugatuck Avenue,  
Milford, CT 06460  
ph | 203-366-6003

#### Owner

MADL Coleman Holding Co., LLC  
1732 Reservoir Avenue,  
Bridgeport, CT 06606  
ph | 203-650-2656

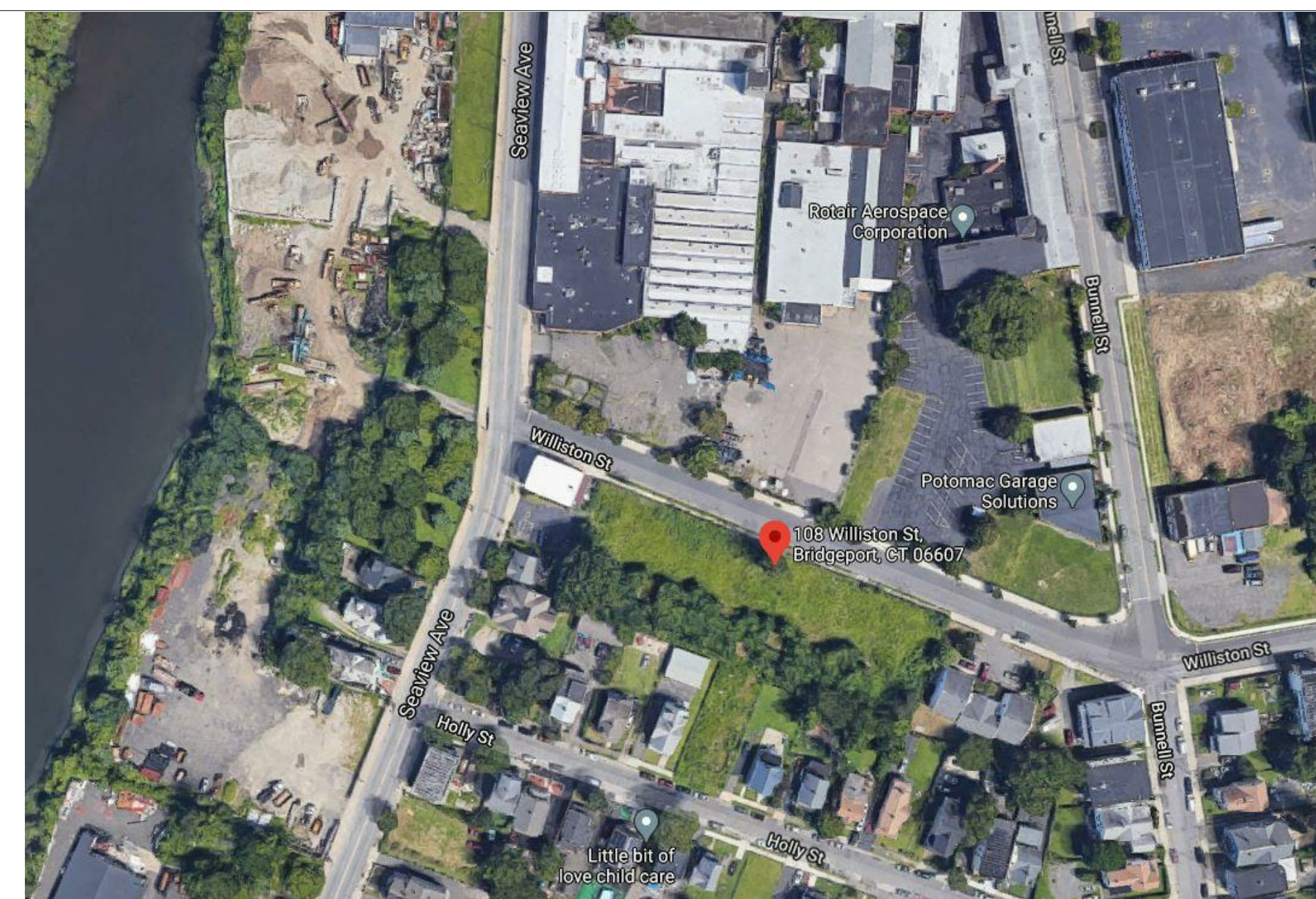
#### Civil Engineers

Cabezas-DeAngelis, LLC  
78 Elm Street,  
Bridgeport, CT 06460  
ph | 203-330-8700

#### Site Lighting

Lighting Affiliates LTD  
1208 Cromwell Ave, Unit E,  
Rocky Hill, CT 06067  
ph | 860-721-1171

### VICINITY MAP:



DATE: March 09, 2023





ROOF TOP



FRONT FACADE



FRONT FACADE



FRONT FACADE / STREET VIEW



REAR FACADE & PARKING LOT VIEW

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

**Williston Town Homes**

22-96 Williston Street  
Bridgeport, Ct 06607

Professional Seal:

**wiles**  
Architects

Wiles + Architects, LLC  
155 Brooklawn Avenue  
Bridgeport, Ct 06604  
ph: 203.366.6003  
f: 203.384.1751  
www.wilesarch.com

No.	Description	Date

**Renderings**

Project number	19-500
Date	03.09.23
Drawn by	--
Checked by	--

INFORMATION

**G001**

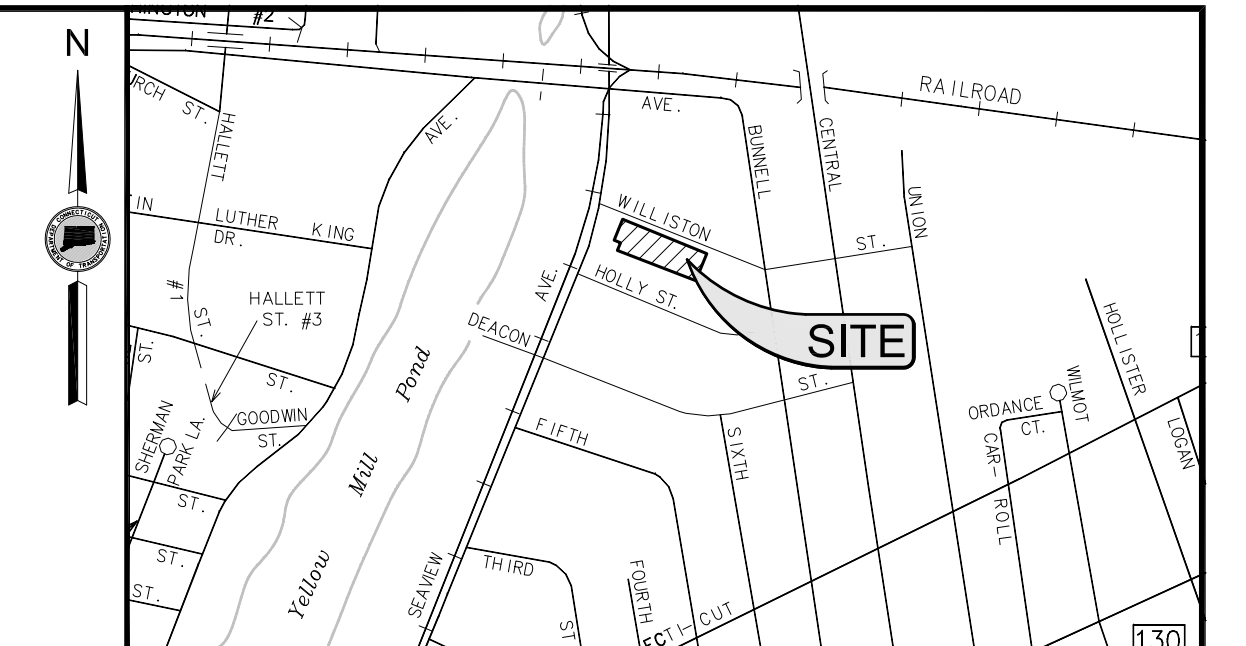
Scale



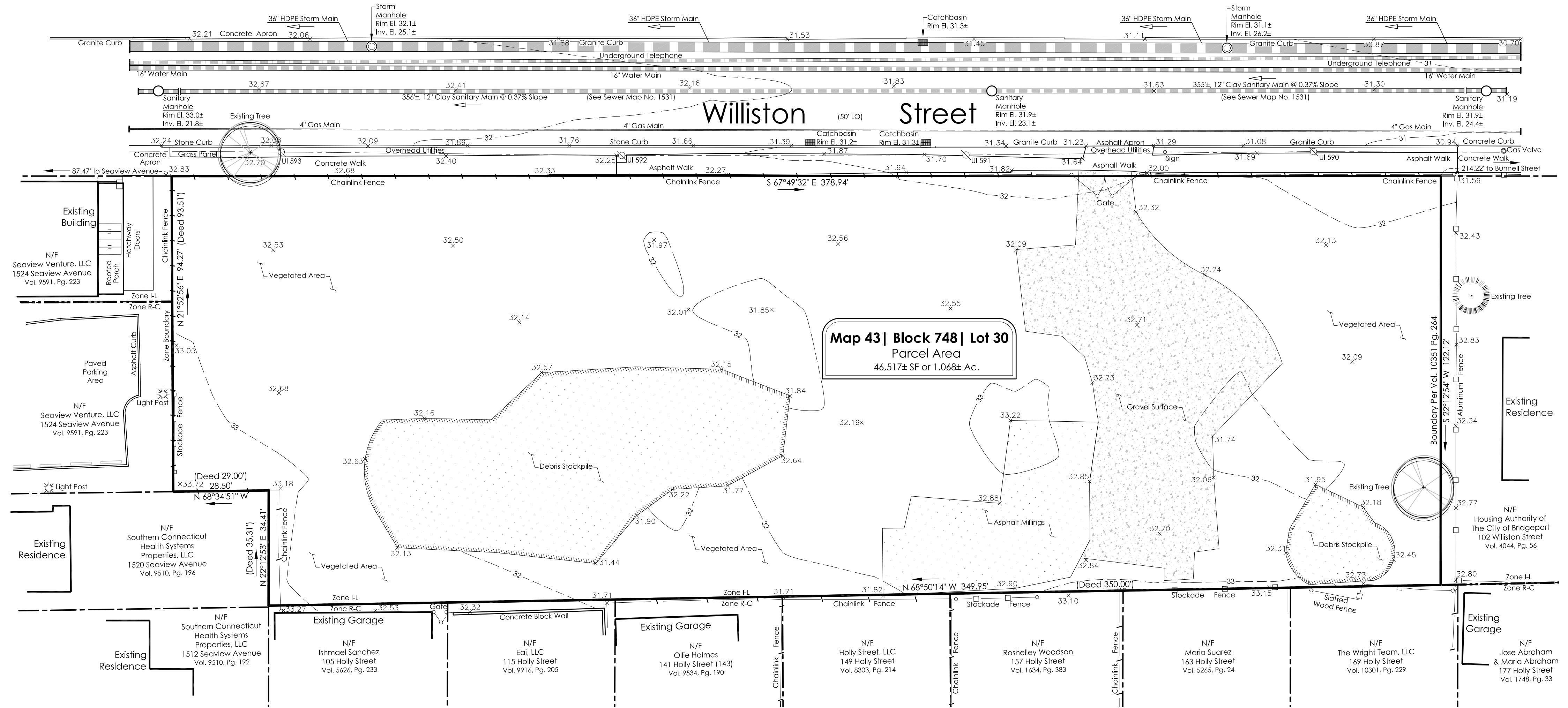
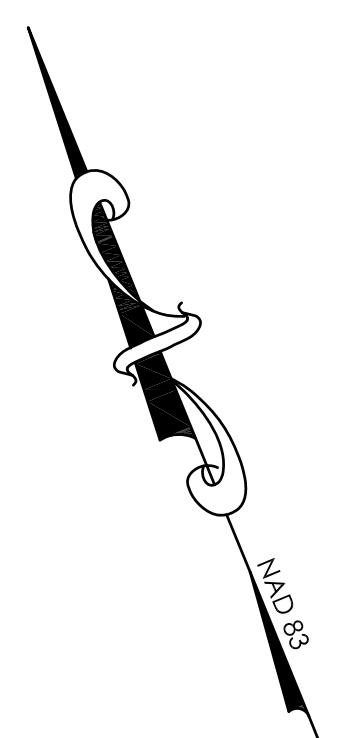
NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN **EXISTING CONDITIONS SURVEY AND TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND TOPOGRAPHIC ACCURACY CLASS **T-2** AND IS INTENDED FOR **SITE PLANNING** PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEOD033 AND **CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60)**. LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CONR83). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **MARCH 19, 2015** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:  
**STATION: ORANGE**  
**NORTHING 653,555.9292, EASTING 927,267.5499,**  
**LATITUDE 41°15'15.89404", LONGITUDE 73°00'52.60263",**  
**ELLIPSOID -4.143**
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
  - MAP ENTITLED "PROPERTY SURVEY PREPARED FOR BRIDGEPORT ECONOMIC DEVELOPMENT CORPORATION 84-86 & 90 HOLLY STREET BRIDGEPORT, CONNECTICUT." SCALE: 1" = 10', DATED DEC. 15, 2010 PREPARED BY LINDQUIST SURVEYING LLC AND FOUND ON FILE IN THE CITY OF BRIDGEPORT CLERK'S OFFICE AS MAP VOL. 54, PG. 229.
  - MAP ENTITLED "SUBDIVISION MAP FOR ROBERT DELBUONO FORMERLY ELIZABETH PIEGER ET AL, PROPERTY BRIDGEPORT, CONN." SCALE: 1" = 10', DATED FEB. 12, 1965 PREPARED BY THOS. J. HARDIMAN AND FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO. ATLAS PUBLISHERS 136-138 SO. FOURTH ST. PHILADELPHIA, 1929 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO. CIVIL ENGINEERS, 136-138 SO. FOURTH ST. PHILADELPHIA, 1917 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - ATLAS OF THE CITY OF BRIDGEPORT, CONNECTICUT COMPILED FROM OFFICIAL RECORDS AND MAPS, CITY BLOCK MAPS, RECORDED AND PRIVATE PLANS, AND ORIGINAL SURVEYS, COMPILED AND PUBLISHED BY WILLIAM H. KERSHAW, CIVIL ENGINEER, 231-232 NEWFIELD BUILDING, 1188 MAIN STREET, BRIDGEPORT, CONN., 1910 AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
  - SEWER MAP ENTITLED "WILLISTON ST." MAP NO. 1531.
  - CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING BLOCK 748.

- RECORD OWNER: MADL COLEMAN HOLDINGS COMPANY, LLC VOL. 10351 PG. 264
- ASSESSOR'S REFERENCE: MAP 43 | BLOCK 748 | LOT 30
- PARCEL AREA: 46.517± SQ. FT. OR 1.068± AC.
- PARCEL IS LOCATED WITHIN THE "L-1" ZONING DISTRICT & THE NATIONAL REGISTER HISTORIC DISTRICT "DEACON'S POINT".
- THE SUBJECT PARCEL IS LOCATED WITHIN THE COASTAL BOUNDARY OF YELLOW MILL POND - RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT **SHEET 4 OF 4**, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **441** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF NUMBER **090002** PANEL **0441** SUFFIX **G**, MAP NUMBER **09001C0441G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AREA DESIGNATED AS **ZONE X (UNSHADED)**.
- RECORD MAPS, DEEDS, AND OTHER DRAWINGS IN THE FILES OF VARIOUS DEPARTMENTS OF THE CITY OF BRIDGEPORT DISCREPANCIES. IN SOME CASES SIGNIFICANT, WITH RESPECT TO ADJUTING DEEDS AND LINES OF TITLE (INCLUDING STREET LINES). THE LINES OF TITLE EVIDENCED IN THE DOCUMENTS REFERENCED HEREIN DO NOT NECESSARILY AGREE WITH PINS, PIPES, MONUMENTS, ETC. FOUND OR WITH OTHER PHYSICAL EVIDENCE FOUND. THE CITY OF BRIDGEPORT HAS ESTABLISHED STREET LINES IN THE SUBJECT AREA; HOWEVER, ORIGINAL MONUMENTATION HAS BEEN REMOVED OR NOT FOUND. THE PROPERTY LINES, INCLUDING THE STREET LINES DEPICTED AND NOTED HEREON REPRESENT THE APPARENT "BEST FIT" OF THESE CONFLICTING ELEMENTS AND ARE CONSIDERED TO BE THOSE WHICH ARE TO BE MOST LIKELY CORRECT AND ARE SUBJECT TO ANY REVISION OR CORRECTION WHICH MAY BE REQUIRED BY APPROPRIATE LEGAL PROCEEDINGS OR BY DISCOVERY OF ADDITIONAL INFORMATION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-722-4455).
- ZONING VARIANCE PERTAINING TO SECTIONS 8-6 AND 15-2E GRANTED DECEMBER 10, 1991 AND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE IN BOOK **VOLUME 2961 PAGE 173**.



LOCATION MAP  
SCALE: 1" = 800'



Map 43 | Block 748 | Lot 30  
Parcel Area  
46.517± SF or 1.068± Ac.

**LEGEND**

N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	WM	WATER METER
IP.	IRON PIPE	WV	WATER VALVE
FND.	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
UG	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	CI	CAST IRON
UT	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EQP	EDGE OF PAVEMENT	+ 8.45	EXISTING SPOT GRADE
RET.	RETAINING	---100---	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	⊗	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
⊗	EXISTING CONIFER TREE	⊗	EXISTING DECIDUOUS TREE

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P:203 330 8700 • F:203 330 8701

TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON  
WASHINGTON CABEZAS, JR. PEL 70210



EXISTING CONDITIONS SURVEY  
- AND -  
TOPOGRAPHIC SURVEY  
PREPARED FOR  
**MADL COLEMAN HOLDINGS COMPANY, LLC**  
22 WILLISTON STREET  
BRIDGEPORT, CONNECTICUT  
ASSESSOR'S REFERENCE: MAP 43 | BLOCK 748 | LOT 30  
SHEET 1 OF 1  
JUNE 8, 2021 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 20'



**SEDIMENT AND EROSION CONTROL NARRATIVE**

THE INTENT OF THIS EROSION AND SEDIMENT CONTROL PLAN IS TO COLLECT SEDIMENT IN RUN-OFF DURING EARTH WORK OPERATIONS BEFORE CONSTRUCTION AREAS MAY BE STABILIZED. THE MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED WHERE SHOWN ON THE PLANS AND AS DIRECTED BY THE ENGINEER OR CITY REPRESENTATIVE. SILTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "2002 CT DEP GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."

**PROJECT DESCRIPTION**

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW 4-STORY APARTMENT BUILDING AND RELATED SITE IMPROVEMENTS.

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL AND MAINTAIN THE EROSION CONTROL MEASURES DURING THE CONSTRUCTION PERIOD. WHEN CONSTRUCTION IS COMPLETE, IT WILL BE THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM TO ENSURE EFFICIENT OPERATION AND REMOVAL OF SEDIMENT. CONSTRUCTION IS SCHEDULED TO BEGIN IN THE SUMMER OF 2023 AND END FALL OF 2024.

**SEDIMENT AND EROSION CONTROL NOTES**

1. THE CONTRACTOR SHALL ASSIGN A PERSON OR PERSONS WHO WILL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN AND DESCRIBED HEREIN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL METHODS AND INFORMING ALL PARTIES ENGAGED IN THE CONSTRUCTION OF THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, AND NOTIFYING THE PLANNING AND ZONING OFFICER OF ANY TRANSFER OF THIS RESPONSIBILITY.
2. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE AND SHALL CONSIST OF: ANTI-TRACKING PAD, HAYBALES, SILT FENCE, MULCH, AND TEMPORARY SEEDING. MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. CLEAN OUT OF ANY OIL/WATER SEPARATORS, CATCH BASIN SUMPS AND CULVERTS SHALL OCCUR ON A REGULAR BASIS DURING THE CONSTRUCTION PERIOD. THE ACCUMULATED SEDIMENT SHALL BE DISPOSED OF TO A LOCATION APPROVED BY THE ENGINEER OR CITY REPRESENTATIVE.
4. THE EROSION CONTROL FEATURES SHALL BE CHECKED DAILY AND AFTER EACH SEVERE RAIN STORM FOR DAMAGE. UNTIL SUCH FEATURES ARE, IN THE OPINION OF THE ENGINEER, NO LONGER NEEDED, ALL SEDIMENTATION SYSTEMS SHALL HAVE THE ACCUMULATED SEDIMENT REMOVED BEFORE IT SIGNIFICANTLY REDUCES THEIR STORAGE VOLUME OR FUNCTION PRIOR TO THE NEXT RAIN STORM FORECAST FOR THE REGION.
5. THE CONTRACTOR SHALL HAVE ON HAND AT ALL TIMES THE NECESSARY MATERIALS AND EQUIPMENT TO PROVIDE FOR EARLY MEASURES TO CONTROL EROSION AND SEDIMENT LOSS. THE CONTRACTOR SHALL CEASE ANY OF HIS OPERATIONS WHICH WILL INCREASE EROSION OR SEDIMENT LOSS DURING RAIN STORMS.
6. ALL SLOPES OF STOCKPILED MATERIAL AND OTHER DISTURBED AREAS SHALL BE STABILIZED AND PROTECTED BY SURROUNDING WITH HAYBALES, AS SHOWN ON THE PLANS. ALL DAMAGED AREAS SHALL BE REPAIRED AS SOON AS POSSIBLE. THE CONTRACTOR SHALL RESPOND TO MAINTENANCE OR ADDITIONAL MEASURES ORDERED BY THE ENGINEER OR THE CITY REPRESENTATIVE WITHIN 24 HOURS.
7. THE CONTRACTOR SHALL PERFORM DUST CONTROL ON A DAILY BASIS DURING PERIODS OF DRY WEATHER, ON ALL AREAS WHERE SOIL HAS NOT YET BEEN STABILIZED AND AS DIRECTED BY THE ENGINEER.
8. AT THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES, WHEN ALL DISTURBED AREAS ARE STABILIZED WITH NEW TURF, PAVEMENT, ETC., THE CONTRACTOR SHALL COMPLETELY REMOVE ALL SEDIMENTATION AND EROSION CONTROL MEASURES FROM THE SITE, UNLESS SPECIFICALLY ORDERED BY THE ENGINEER TO REMAIN IN PLACE.

**SEDIMENT AND EROSION CONTROL MEASURES**

MULCHES SHALL BE HAY, STRAW, WOOD CELLULOSE, WOOD CHIPS, STONE, NETTING, BURLAP OR OTHER SUITABLE MULCH MATERIAL AS APPROVED BY THE ENGINEER. MULCHES SHALL BE REASONABLY CLEAN AND FREE OF NOXIOUS WEEDS AND DELTERIOUS MATERIALS. ASPHALT SPRAYS WILL NOT BE ALLOWED. THE CONTRACTOR SHALL PREVENT STRAW, WOOD CHIPS, ETC., FROM ENTERING ANY WATERCOURSE.

HAY BALES SHALL BE PLACED AROUND ALL EXISTING DRAINAGE INLETS OR AS DIRECTED BY THE ENGINEER. THEY SHALL BE HELD IN PLACE BY TWO WOODEN STAKES IN EACH BALE. BALES SHALL BE MAINTAINED OR REPLACED AS ORDERED BY THE ENGINEER UNTIL THEY ARE NO LONGER NECESSARY FOR THE PURPOSE INTENDED OR ARE ORDERED REMOVED BY THE ENGINEER. HAY BALES SHALL BE MADE OF HAY WITH 40 POUNDS MINIMUM WEIGHT AND 120 POUNDS MAXIMUM WEIGHT. WOOD STAKES SHALL BE A MINIMUM OF 1 INCH BY 1 INCH NOMINAL SIZE BY A MINIMUM OF 3 FEET LONG.

SILT FENCE SHALL CONSIST OF 3-FOOT WIDE GEOSYNTHETIC FABRIC WITH PREFABRICATED WOOD POSTS AS MANUFACTURED BY "MIRAFIT" OR EQUAL. THE BOTTOM SIX INCHES OF FABRIC SHALL BE BURIED BY EITHER TRENCHING OR BY LAYING THE SIX INCH SECTION HORIZONTALLY ON THE GROUND AND BURYING BY RAMPING THE TOPSOIL UP TO THE CONTROL FENCE.

- MINIMUM LENGTH OF SILT FENCE IS 15 LF.
- MAXIMUM POST SPACING IS 10 LF.
- JOINTS IN FILTER FABRIC SHALL BE ONLY AT SUPPORT POSTS WITH MINIMUM 6" OVERLAP, SECURELY SEALED
- SILT FENCE SHALL NOT BE USED IN A WATER COURSE
- FABRIC SUSCEPTIBLE TO SUNLIGHT DAMAGE SHALL NOT BE USED IN ANY INSTALLATIONS WHERE EXPOSURE TO LIGHT WILL EXCEED 30 DAYS, UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY THE ENGINEER.

TEMPORARY GRASS SEED SHALL BE PERENNIAL RYE-GRASS (LOLIUM PERENNE) OR AN IMPROVED VARIETY THEREOF, SUCH AS MANHATTAN, HAVING A MINIMUM PURITY OF 98 PERCENT AND A MINIMUM GERMINATION OF 90 PERCENT. THE SEEDING MAY BE ALTERED BY THE ENGINEER IF REQUESTED BY THE CONTRACTOR TO SUIT SPECIAL AREAS OR CONDITIONS.

**CONSTRUCTION SEQUENCE**

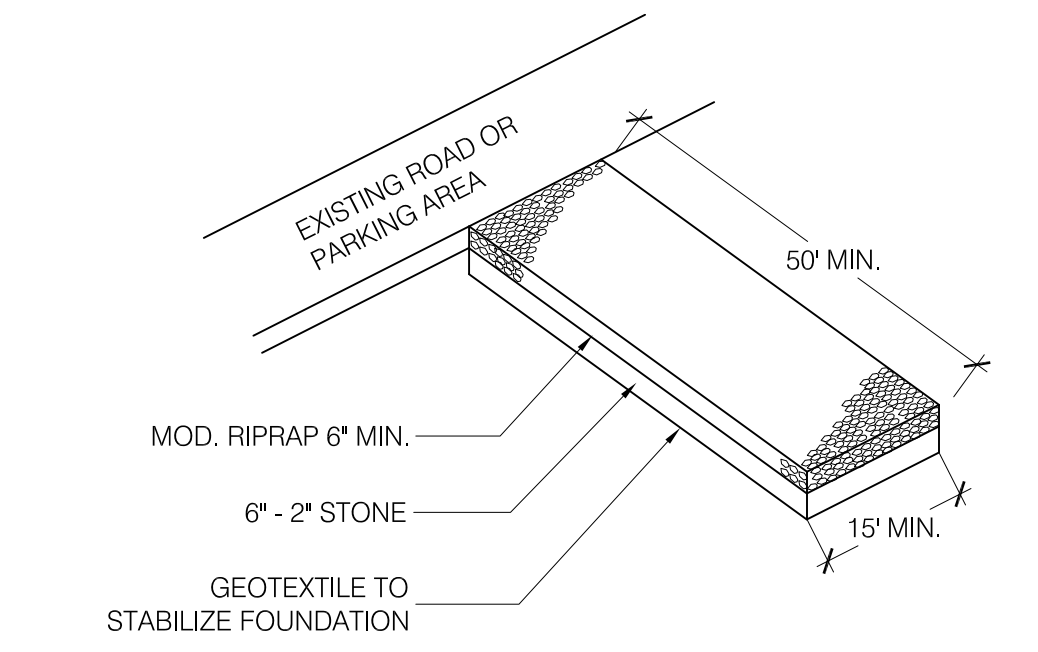
1. INSTALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES
2. PROCEED WITH CLEARING OF THE SITE.
3. INSTALL INTERIOR SEDIMENT AND EROSION CONTROL DEVICES.
4. CONSTRUCT NEW BUILDINGS.
5. FORM AND COMPACT FINAL SUBGRADE. INSTALL DRAINAGE STRUCTURES AND OTHER BELOW-GRADE IMPROVEMENTS.
6. INSTALL ABOVE-GRADE IMPROVEMENTS. INSTALL BASE MATERIAL.
7. COMPLETE PAVING OF PARKING LOT. INSTALL SIDEWALKS AND CURBS.
8. COMPLETE FINAL GRADING/TOPSOIL & SEEDING; STABILIZE ALL GROUND SURFACES.
9. PERFORM FINAL CLEAN-UP; REPAIR EXISTING EROSION CONTROL FEATURES

**ESTIMATED TIME FRAME**

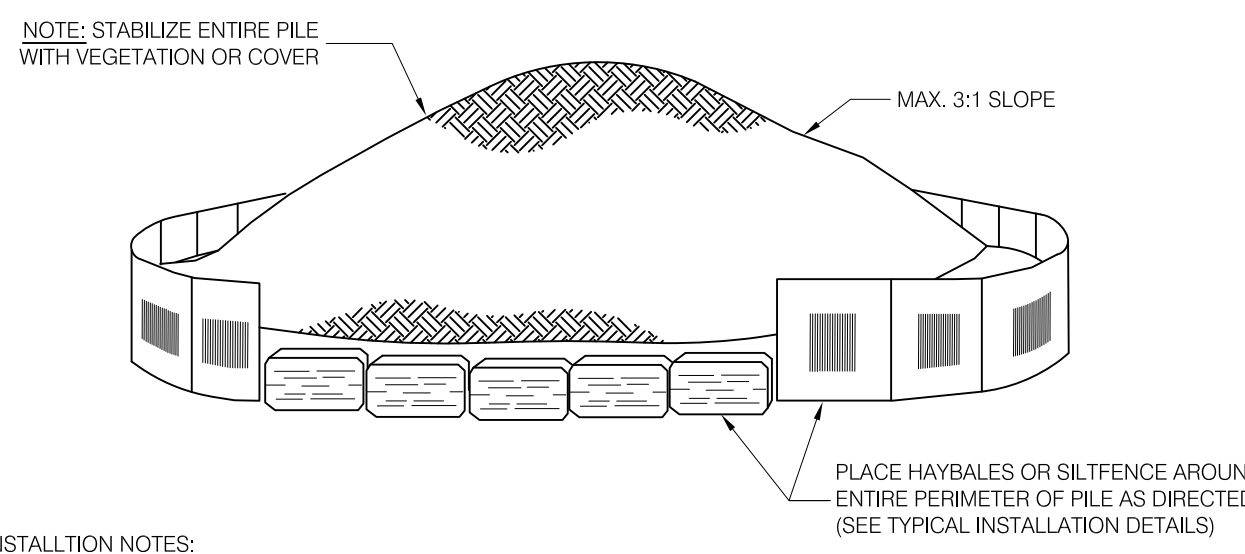
1 DAY	1 DAY
1 WEEK	1 WEEK
1 DAY	1 DAY
9 MONTHS	9 MONTHS
1 MONTH	1 MONTH
2 WEEKS	2 WEEKS
1 MONTH	1 MONTH
1 WEEK	1 WEEK
2 DAYS	2 DAYS
<b>±12 MONTHS TOTAL</b>	

**CONTACT PERSON**

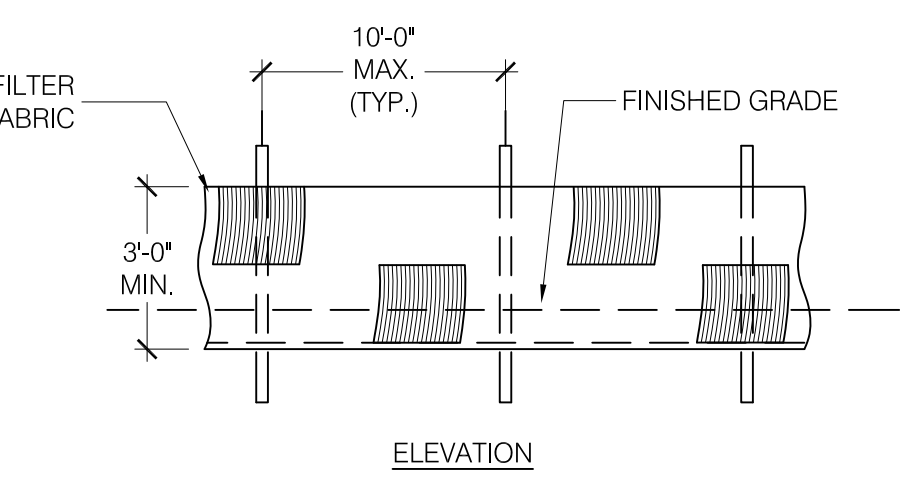
SITE ENGINEER:  
CHRIS DeANGELIS, PE  
203-330-8700



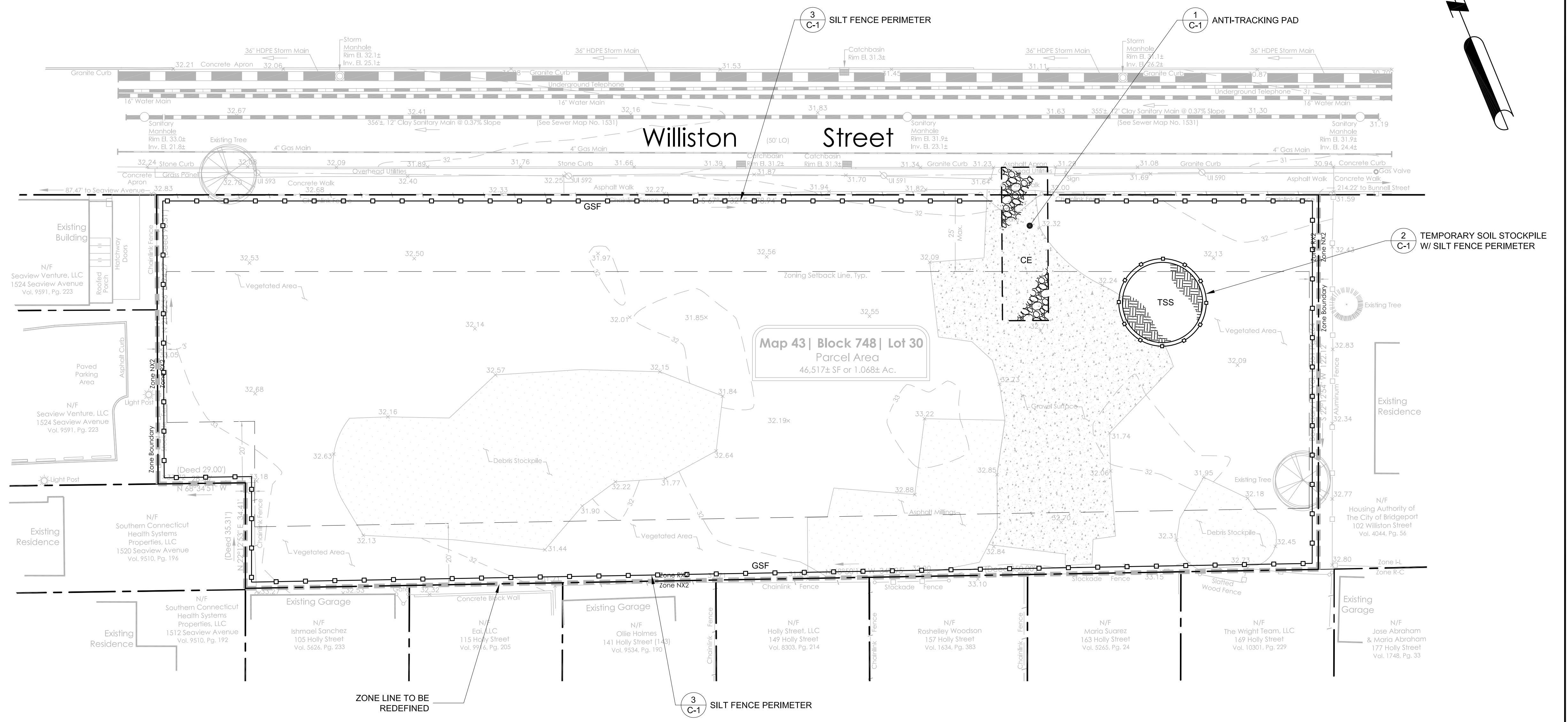
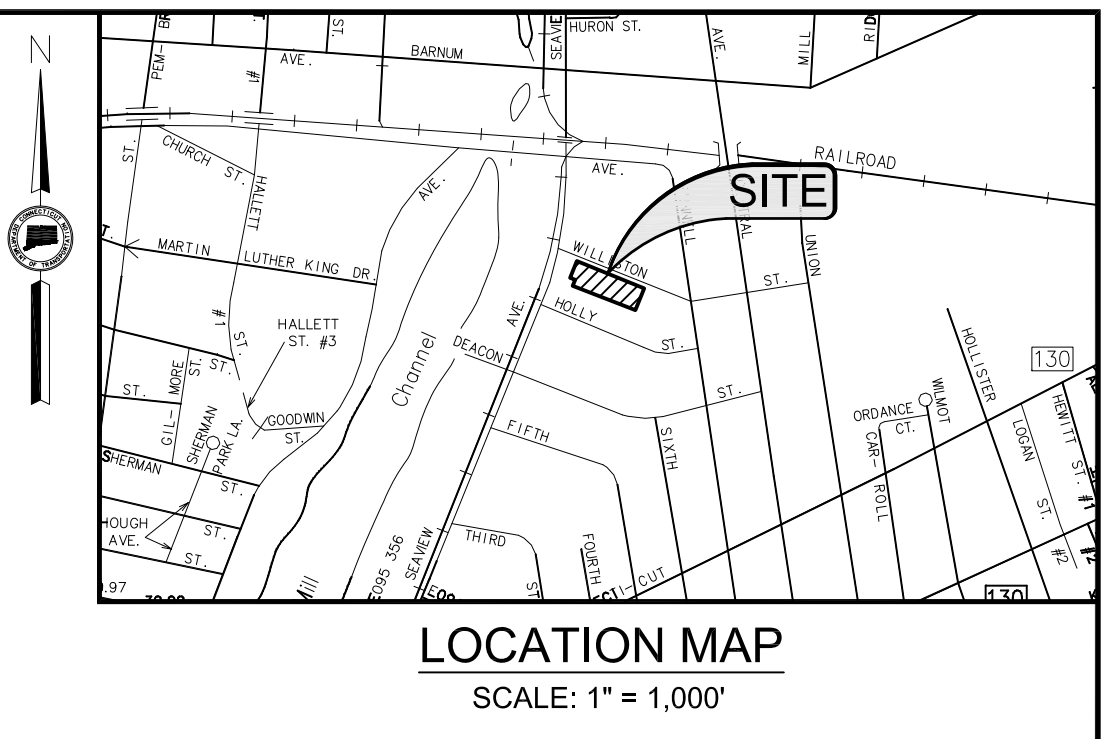
1 ANTI-TRACKING PAD DETAIL  
SCALE: N.T.S.



2 TEMPORARY SOIL STOCKPILE  
SCALE: N.T.S.



3 SILT FENCE DETAIL  
SCALE: N.T.S.



**LEGEND**

---	PROPERTY LINE
○-○	SILT FENCE
○-○-○	CHAINLINK FENCE
---	HAYBALES
CE	CONSTRUCTION ENTRANCE
GSF	GEOTEXTILE SILT FENCE
TD	TEMPORARY DIVERSION
TST	TEMPORARY SEDIMENT TRAP
TSS	TEMPORARY SOIL STOCKPILE

**FOR CITY PERMITTING**  
(NOT FOR CONSTRUCTION)

**GRAPHIC SCALE**  
1 inch = 20 ft.

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P:203 330 8700 F:203 330 8701

SEAL:  
  
CHRISTIAN A. DeANGELIS, PE

**REVISIONS:**

No.	DESC.	DATE
0	ZBA SUBMISSION	3/9/23

**NEW 4-STORY APARTMENT BUILDING & RELATED SITE IMPROVEMENTS**

- PROPERTY LOCATED AT -  
22-24, 26-32, 40-46, 54, 62-64, 72, 82, 94-96  
WILLISTON STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
MADL COLEMAN HOLDING CO., LLC  
1732 RESERVOIR AVENUE, BRIDGEPORT, CT 06606

SHEET TITLE:  
**Ex. Conditions, Soil Erosion & Sediment Control Plan, Notes and Details**

PROJ. No.: 2021-07  
DATE: 09 MARCH 2023  
DWG. No.: C-1

SHEET 1 OF 3  
SCALE: 1" = 20'

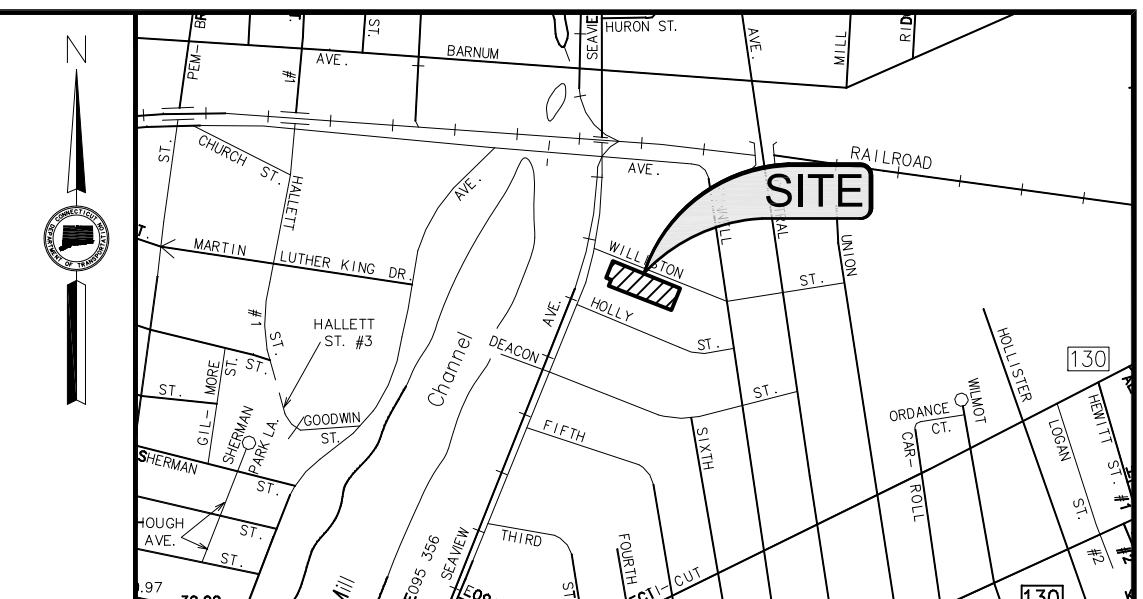
DESIGNED: CAD	DRAWN BY: CAD	CHECKED: CAD
---------------	---------------	--------------

Copyright © 2023 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.

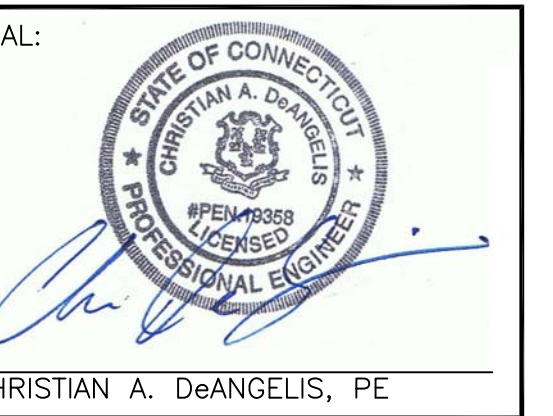


**GENERAL NOTES**

- ALL UTILITY AND SUB-SURFACE INFORMATION SHOWN HEREON IS TO BE CONSIDERED APPROXIMATE BOTH AS TO SIZE AND LOCATION. THE CONTRACTOR SHALL MAKE INVESTIGATIONS IN THE FIELD TO VERIFY ALL EXACT UTILITY LOCATIONS BEFORE CONSTRUCTION. CALL TELEPHONE # 1-800-922-4455 "CALL BEFORE YOU DIG" A MINIMUM OF 2 DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
- SITE PLAN BASED ON MAP ENTITLED "EXISTING CONDITIONS SURVEY AND TOPOGRAPHIC SURVEY, PREPARED FOR MADL COLEMAN HOLDINGS COMPANY, LLC 22 WILLISTON STREET, BRIDGEPORT, CONNECTICUT", DATED JUNE 28, 2021 AND PREPARED BY CABEZAS-DEANGELIS, LLC. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
- THE SITE LIES WITHIN FEMA FLOOD ZONE X (UNSHADED) AS NOTED ON FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 441 OF 626 BRIDGEPORT, CITY OF, NUMBER 090002, PANEL 0441 SUFFIX G. MAP NUMBER 09001C0441G, MAP REVISED JULY 8, 2013.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONSTRUCTION OPERATIONS WITHIN AND OUTSIDE OF THE LIMITS OF CONSTRUCTION AS SHOWN ON THE PLANS.
- ALL DISTURBED AREAS WITHIN OR OUTSIDE THE LIMITS OF CONSTRUCTION NOT COVERED BY BUILDINGS, PAVEMENT, PLANTING BEDS OR OTHER IMPROVEMENTS ARE TO BE TOP SOILED (4" DEPTH MIN.) AND SEEDED PER DIRECTION OF THE OWNER.
- ANY DIMENSION LINE SHOWN FROM PROPERTY LINE, FACE OF CURB OR BUILDING IS PERPENDICULAR UNLESS OTHERWISE SHOWN.
- PROVIDE, ERECT AND MAINTAIN BARRICADES, WARNING LIGHTS, SIGNS, ETC., AS REQUIRED FOR SAFETY OF PERSONNEL, PUBLIC AND OCCUPANTS OF THE FACILITIES AFFECTED BY THE CONTRACTOR'S OPERATIONS. CONTRACTOR SHALL MAINTAIN TRAFFIC ACCESS AND EGRESS PATTERNS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IN ACCORDANCE WITH CONDOT STANDARDS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CONDOT FORM 816, LATEST EDITION, AS AMENDED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, AND SUPERVISION TO CONSTRUCT THE PROPOSED IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING EXCAVATION, PAVEMENT REMOVAL, UNSUITABLE MATERIAL REMOVAL AND OFF-SITE DISPOSAL THEREOF, INSTALLATION OF BASE MATERIAL, PAVEMENTS, FILL MATERIAL, CURBING, DRAINAGE STRUCTURES, TOPSOIL AND SEED.
- THE CONTRACTOR SHALL CAREFULLY SAWCUT EXISTING CURBS AND PAVEMENTS PRIOR TO REMOVAL. ALL EXISTING CURBING, PAVEMENTS AND OTHER AMENITIES THAT MAY INTERFERE WITH THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.



**LOCATION MAP**  
SCALE: 1" = 1,000'



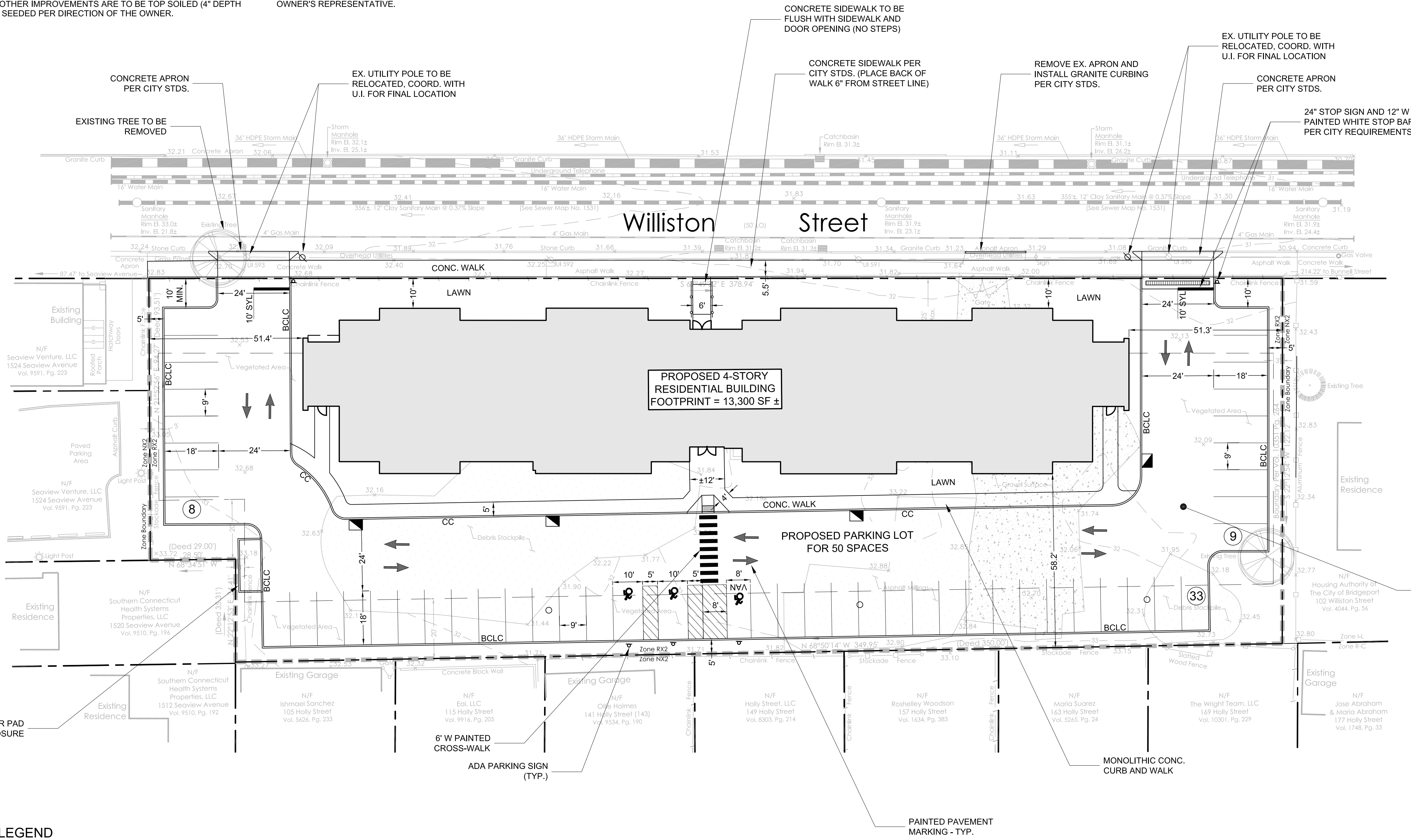
REVISIONS:

No.	DESC.	DATE
0	ZBA SUBMISSION	3/9/23

**RX-2 Zone Development Standards**

GENERAL BUILDING	REQUIRED	EXISTING	PROPOSED
<b>3.50.4 BUILDING LOCATION (FIGURE 3.50-B)</b>			
1. LOT WIDTH	N/A	N/A	N/A
2. PRIMARY STREETWALL	80% MIN.	N/A	±73%
3. PRIMARY STREET BUILD-TO-ZONE	0 FT. MIN. / 25 FT. MAX.	N/A	10 FT.
4. STOOP, BAY ENCROACHMENT	N/A	N/A	N/A
5. NON-PRIMARY STREET BUILD-TO-ZONE	0 FT. MIN. / 25 FT. MAX.	N/A	N/A
6. SIDE SETBACK	3 FT. MIN.	N/A	51.3 FT.
7. REAR SETBACK	20 FT. MIN.	N/A	58.2 FT.
8. SITE COVERAGE	85% MAX.	0% (VACANT LOT)	±76%
<b>3.50.5 PARKING &amp; ACCESSORY STRUCTURES (FIGURE 3.50-C)</b>			
1. PARKING & DRIVEWAY ACCESS IF NO NON-PRIMARY STREET ALLOWABLE DRIVEWAY ACCESS POINTS	PRIMARY STREET 22'W MAX. @ SIDEWALK 1 PER BUILDING	N/A (VACANT LOT)	24' W 2 PROPOSED
2. ATTACHED GARAGE SETBACK	20' MIN. BEHIND PRIMARY FACADE IN REAR OF BUILDING	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	REAR, INTERIOR SIDE AND SIDE FACADES	N/A	N/A
3. SURFACE PARKING LOCATION	REAR YARD, LIMITED SIDE YARD	N/A (VACANT LOT)	PARKING @ REAR
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPAL BUILDING	N/A	COMPLIANT
SIDE AND REAR SETBACK	3 FT. MIN.	N/A	5 FT.
4. ACCESSORY STRUCTURE LOCATION	REAR YARD	N/A	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPAL BUILDING	N/A	N/A
SIDE AND REAR SETBACK	3 FT. MIN.	N/A	N/A
<b>3.50.6 HEIGHT (FIGURE 3.50-D)</b>			
1. HEIGHT	2 STORES MIN. 5.5 STORES MAX.	N/A (VACANT LOT)	4 STORES
ADDITIONAL HIGH-RISE OR STEPPED-BACK HEIGHT	ADD'L STORES ALLOWED WITH S.P.	N/A	N/A
2. GROUND STORY HEIGHT	10 FT. MIN. / 18 FT. MAX.	N/A	10.0 FT.
3. ALL OTHER STORES HEIGHT	10 FT. MIN. / 14 FT. MAX.	N/A	10.0 FT.
<b>3.50.7 ROOFS (FIGURE 3.50-D)</b>			
4. ROOF TYPES	FLAT, PARAPET	N/A	FLAT
5. TOWER	NOT ALLOWED	N/A	N/A

**NEW 4-STORY APARTMENT BUILDING & RELATED SITE IMPROVEMENTS**  
- PROPERTY LOCATED AT -  
22-24, 26-32, 40-46, 54, 62-64, 72, 82, 94-96  
WILLISTON STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
MADL COLEMAN HOLDING CO., LLC  
1732 RESERVOIR AVENUE, BRIDGEPORT, CT 06606



**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- ZONING BOUNDARY
- FENCE
- RETAINING WALL
- LIGHT POLE
- SIGN
- PARKING COUNT
- BITUMINOUS CONCRETE LIP CURB
- CONCRETE CURB
- SINGLE YELLOW LINE

**A.D.A. PARKING SUMMARY**

PER 2003 IBC PORTION OF THE 2005 CONNECTICUT STATE BUILDING CODE, SECTION 1106, TABLE 1106.1:

TOTAL NUMBER OF PARKING SPACES PROVIDED = 50  
A.D.A. SPACES REQUIRED = 2 SPACES INCLUDING 1 VAN SPACE

TOTAL SPACES PROVIDED = 3 INCLUDING 1 VAN SPACE

**FOR CITY PERMITTING**  
(NOT FOR CONSTRUCTION)

**GRAPHIC SCALE**  
1 inch = 20 ft.

**SHEET TITLE:**  
SITE PLAN

PROJ. No.: 2021-07  
DATE: 09 MARCH 2023  
DWG. No.: C-2

SHEET 2 OF 3  
SCALE: 1" = 20'

DESIGNED: CAD	DRAWN BY: CAD	CHECKED: CAD
---------------	---------------	--------------

Copyright © 2023 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.



- NOTES**
- CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" SERVICES AT 1-800-922-4455 A MINIMUM OF TWO (2) DAYS BEFORE BEGINNING ANY EXCAVATION AT THE SITE.
  - CONTRACTOR SHALL CLEARLY MARK CLEARING LIMITS FOR OWNER'S REVIEW PRIOR TO TREE REMOVAL OPERATIONS. TREES TO BE REMOVED ON TOWN PROPERTY REQUIRE APPROVAL OF LOCAL TREE WARDEN.
  - NEW WORK SHALL BLEND SMOOTHLY WITH EXISTING GRADES. UNLESS OTHERWISE SHOWN, ALL PAVEMENTS SHALL HAVE A TWO PERCENT CROSS-PITCH TO INSURE PROPER DRAINAGE.
  - SILTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS NECESSARY PRIOR TO THE START OF GRADING AND MAINTAINED UNTIL ALL GROUND SURFACES ARE STABILIZED, I.E. WITH TURF, PAVEMENTS, ETC.
  - PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE. ACTIVE UTILITY LINES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE UTILITY OWNER AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL SUBSURFACE UTILITIES PRIOR TO THE START OF WORK. ANY FIELD CONDITIONS THAT DIFFER FROM THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CONDOT FORM 816, LATEST EDITION, AS AMENDED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR SPECIFIED HEREIN.
  - COMPACT MATERIAL TO NOT LESS THAN THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557 AND D-2049 AS FOLLOWS:
    - FOR UNPAVED AREAS, COMPACT TOP 6" OF SUBGRADE AND EACH LAYER OF BACKFILL OF FILL MATERIAL TO 85% MAXIMUM DRY DENSITY.
    - FOR PAVEMENTS, COMPACT TOP 12" OF SUBGRADE AND EACH LAYER OF BACKFILL MATERIAL TO 95% MAXIMUM DRY DENSITY.
  - ALL UNSUITABLE MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
  - GRADES IN A.D.A. PARKING AREA SHALL NOT EXCEED 50:1 IN ANY DIRECTION.

**DEEP TEST HOLE RESULTS**  
(PERFORMED BY CABEZAS-DeANGELIS, LLC)  
OCTOBER 12, 2022

**DTH #1**

0 - 8"	Gravel Fill, Base Material
8"-11"	Organic material, old topsoil layer
11"- 27"	Orange-Brown Med. to Coarse Sand, Dry, Stony, Compact
27"- 38"	Light Brown Med. to Coarse Sand, Dry, Compact with some stones
38"- 72"	Tan Med. to Coarse Sand, Dry, Compact, No Stones

No Ledge, No Roots, No Mottling, No Groundwater

**DTH #2**

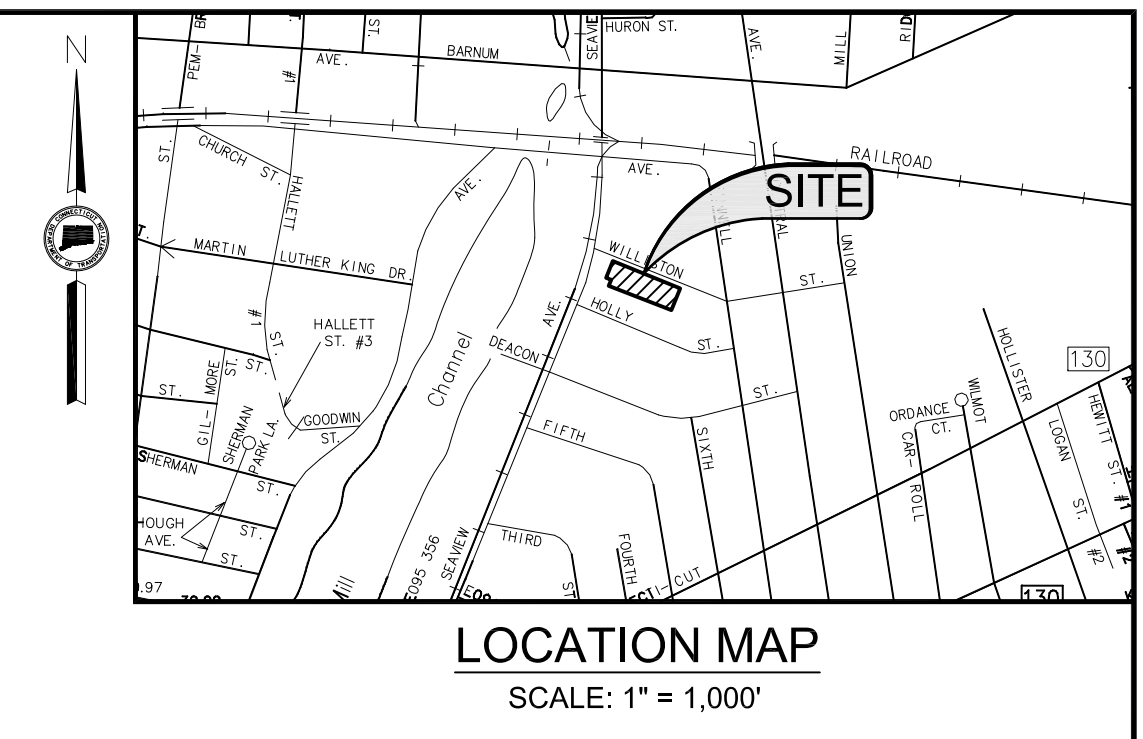
0 - 8"	Gravel Fill, Base Material
8" - 48"	Misc. Fill, building rubble mixed with sand and gravel.

No Ledge, No Roots, No Mottling, No Groundwater

**PERCOLATION TEST PT-1**  
PREFORMED BY CABEZAS-DeANGELIS LLC  
DATE: OCTOBER 12, 2022  
HOLE SIZE: 6"Ø, 14" DEEP

TIME	MEAS.	DROP	RATE (Mins./Inch)
9:32	0.33'	--	--
9:35	0.38'	0.05'	5.00
9:38	0.42'	0.04'	6.25
9:41	0.46'	0.04'	6.25
9:44	0.50'	0.04'	6.25
9:47	0.55'	0.03'	8.33
9:50	0.58'	0.03'	8.33
9:53	0.59'	0.03'	8.33
9:56	0.62'	0.03'	8.33
9:59	0.64'	0.02'	12.5
10:02	0.66'	0.02'	12.5
10:05	0.68'	0.02'	12.5
10:08	0.70'	0.02'	12.5

TOTAL TIME = 36 Mins.  
MINIMUM PERC. RATE = 12.5 Mins./Inch



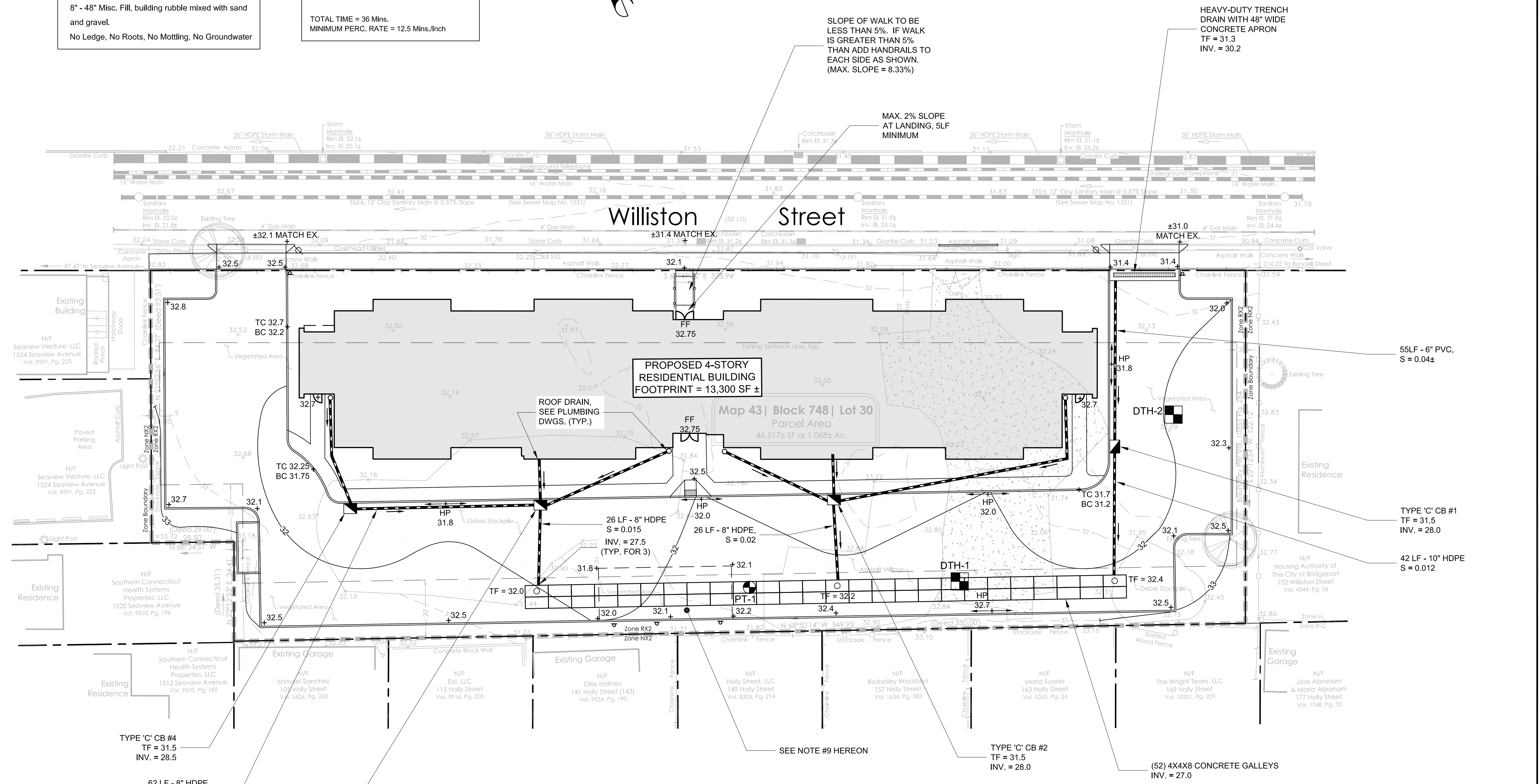
**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P:203 330 8700 F:203 330 8701

SEAL:  
  
CHRISTIAN A. DeANGELIS, PE

**REVISIONS:**

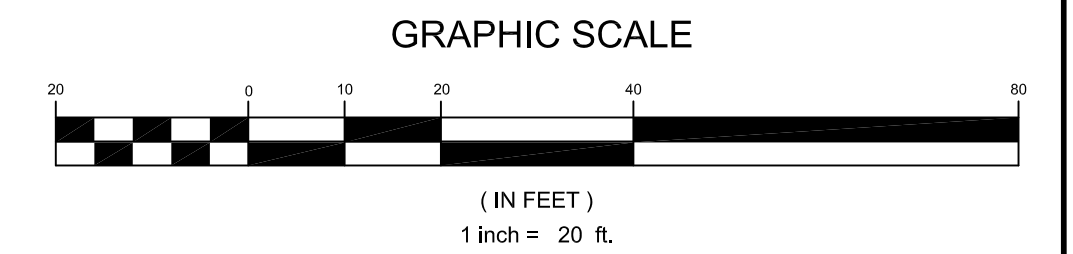
No.	DESC.	DATE
0	ZBA SUBMISSION	3/9/23

**NEW 4-STORY APARTMENT BUILDING & RELATED SITE IMPROVEMENTS**  
- PROPERTY LOCATED AT -  
22-24, 26-32, 40-46, 54, 62-64, 72, 82, 94-96  
WILLISTON STREET  
BRIDGEPORT, CT  
- PREPARED FOR -  
MADL COLEMAN HOLDING CO., LLC  
1732 RESERVOIR AVENUE, BRIDGEPORT, CT 06606



- LEGEND AND ABBREVIATIONS**
- STORM DRAIN (EX.)
  - STORM DRAIN (PROP.)
  - CATCH BASIN (PROP.)
  - DRYWELL BASIN (PROP.)
  - CATCH BASIN (EX.)
  - MANHOLE (D=STORM, S=SEWER)
  - CURB
  - CONTOUR (EX.)
  - SPOT ELEV. (EX.)
  - CONTOUR (PROP.)
  - SPOT ELEV. (PROP.)
  - PROPERTY LINE
  - TC/BC TOP OF CURB / BOTTOM OF CURB
  - HP HIGH POINT
  - HDPE HIGH DENSITY POLYETHYLENE
  - V.I.F. VERIFY IN FIELD
  - GC GRADE CHANGE
  - TF TOP OF FRAME
  - INV. INVERT

**FOR CITY PERMITTING**  
(NOT FOR CONSTRUCTION)



**GRADING & DRAINAGE PLAN**

PROJ. No.: 2021-07  
DATE: 09 MARCH 2023  
DWG. No.: C-3

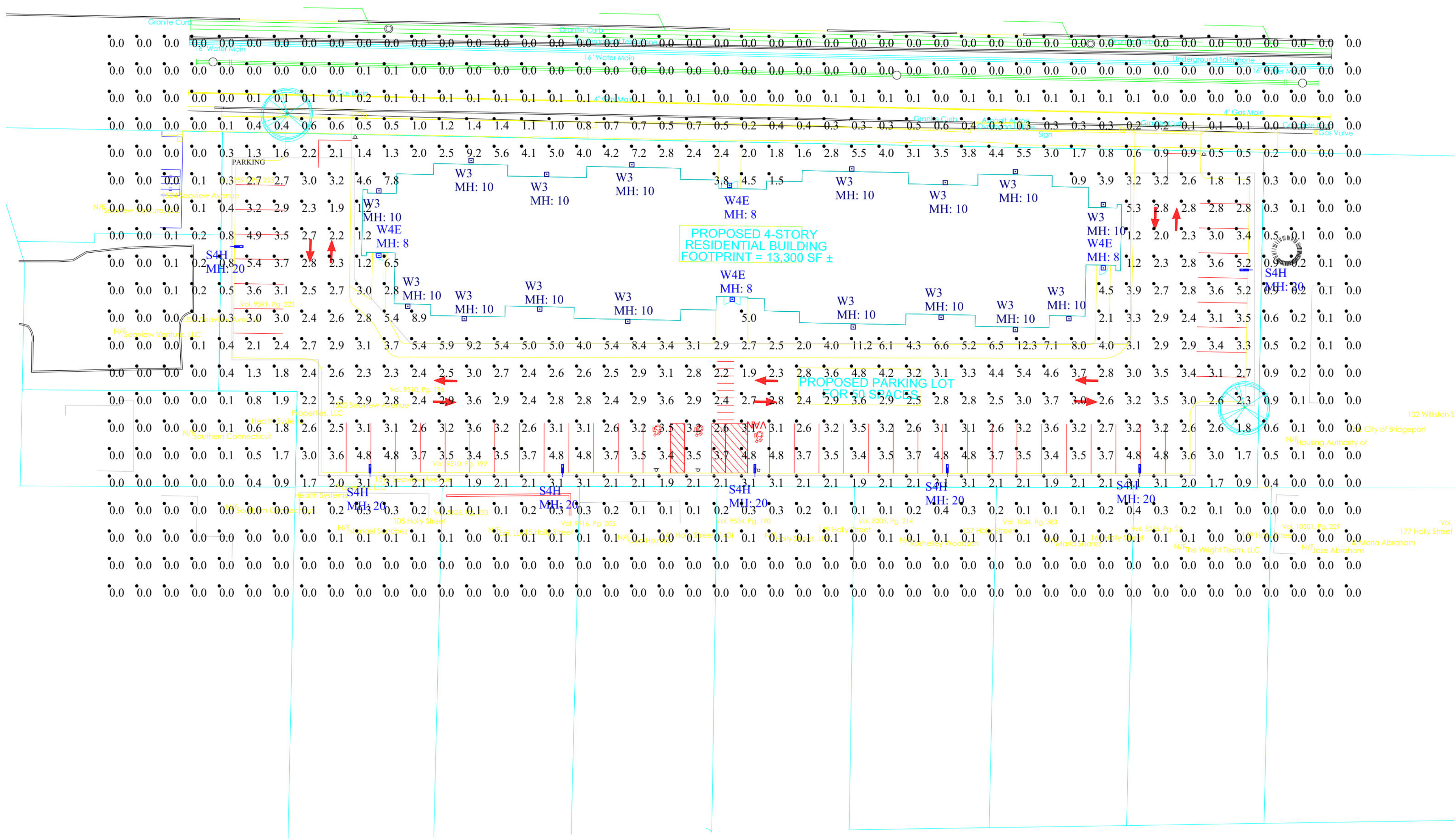
SHEET 3 OF 3  
SCALE: 1" = 20'

DESIGNED: CAD	DRAWN BY: CAD	CHECKED: CAD
---------------	---------------	--------------

Copyright © 2023 Cabezas-DeAngelis, LLC. All rights reserved. No part of these documents may be reproduced in any form or by any means without the written permission of Cabezas-DeAngelis, LLC.



C:\Users\Justin\Documents\Williston St\_Central file\_Scheme\_Z\_George\Wiles6006.rvt



**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

**Williston Town Homes**

**22-96 Williston Street**  
**Bridgeport, Ct 06607**

Professional Seal:

**wiles**  
Architects

Wiles + Architects, LLC  
155 Brooklawn Avenue  
Bridgeport, Ct 06604  
ph: 203.366.6003  
f: 203.384.1751  
www.wilesarch.com

No.	Description	Date

Filename: Williston Street Site Lighting - Bridgeport.AGI

Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
	7	S4H	Single	11949	156	0.900	B1-U0-G2	20	NLS Lighting TRC-3-T4-48L-1-30K7-UNV-SGL-BLK-HSS-20 20FT POLE
	16	W3	Single	3528	28	0.900	B1-U0-G1	10	NLS Lighting TWA-T3-16L-53-30K7-UNV-WM-BLK
	4	W4E	Single	2424	18	0.900	B1-U0-G1	8	NLS Lighting TWA-T4-16L-35-30K7-UNV-WM-BLK-EM8

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
SITE	ILLUMINANCE	Fc	1.35	12.3	0.0	N.A.	N.A.	
PARKING	ILLUMINANCE	Fc	3.14	5.4	1.5	2.09	3.60	

Greg Loda / Greg Horn  
Lighting Affiliates  
1208 Cromwell Ave  
Rocky Hill, CT 06067

website: www.lightingaffiliates.com  
Voice Number : (860) 721-1171 x 219  
Email Address : gloda@lightingaffiliates.com

**Site Lighting Plan**

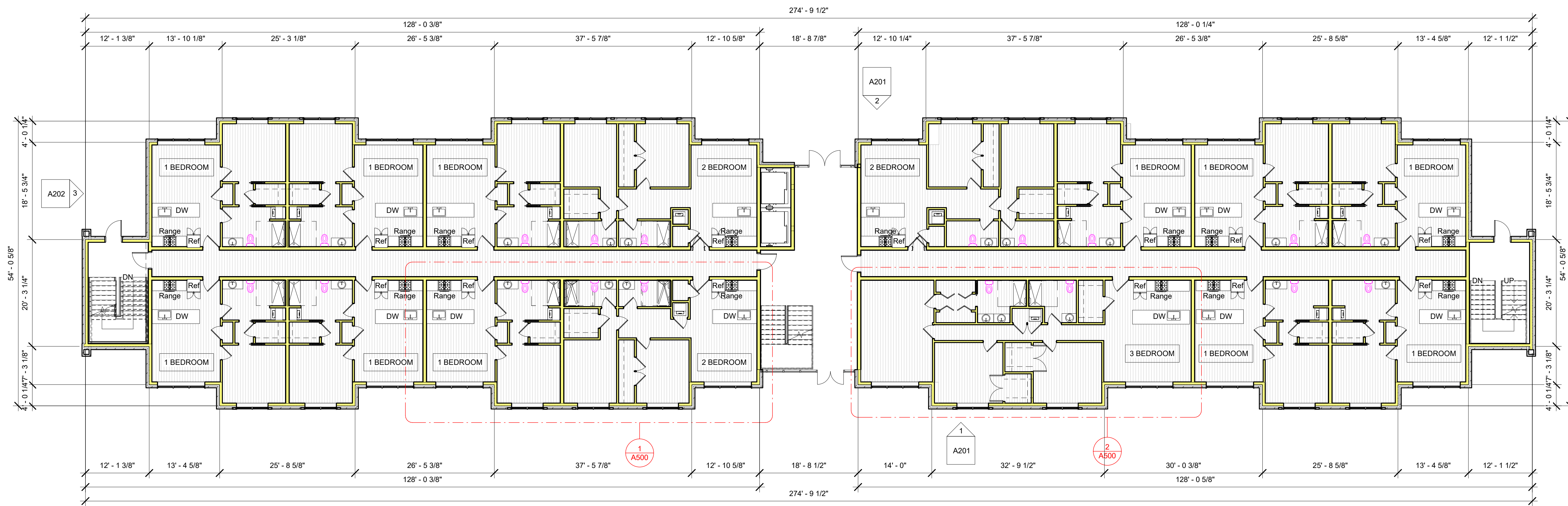
Project number 19-500  
Date 03.09.23  
Drawn by Author  
Checked by Checker  
Designer

**SL100**

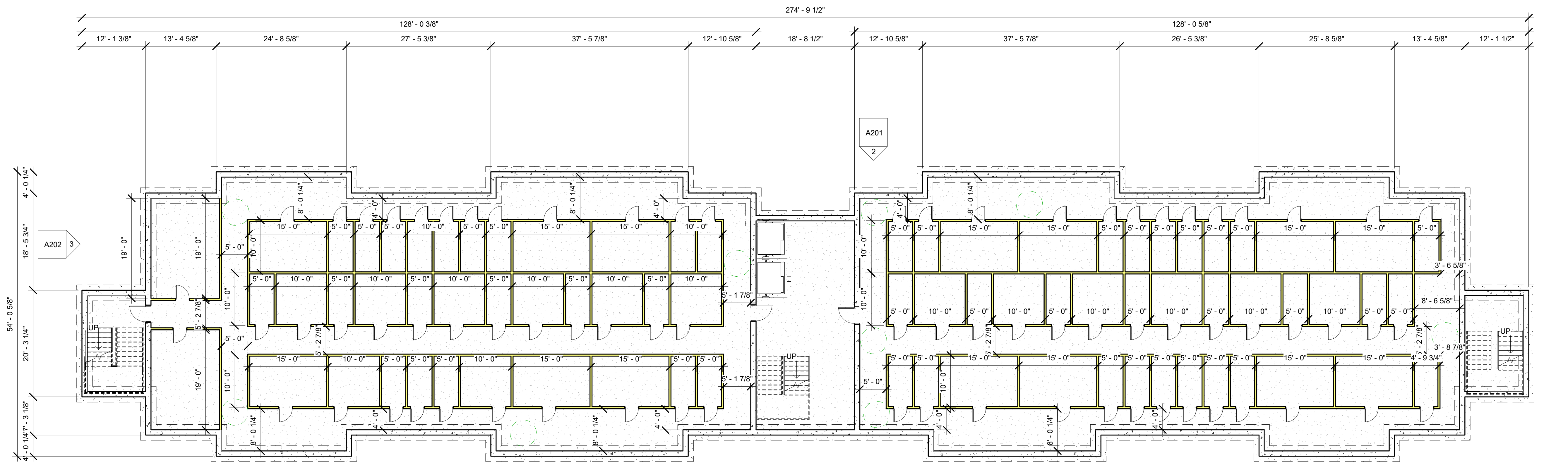
Scale

PRINTED: 3/9/2023 5:02:41 PM





1 Ground Floor  
3/32" = 1'-0"



2 Basement Level  
3/32" = 1'-0"

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

**Williston Town Homes**

22-96 Williston Street  
Bridgeport, Ct  
06607

Professional Seal:

**wiles** Architects  
Wiles + Architects, LLC  
155 Brooklawn Avenue  
Bridgeport, Ct 06604  
ph: 203.366.6003  
f: 203.364.1751  
www.wilesarch.com

No.	Description	Date

**Typical Ground Floor Plan**

Project number	19-500
Date	03.09.23
Drawn by	--
Checked by	--
ARCHITECTURAL	

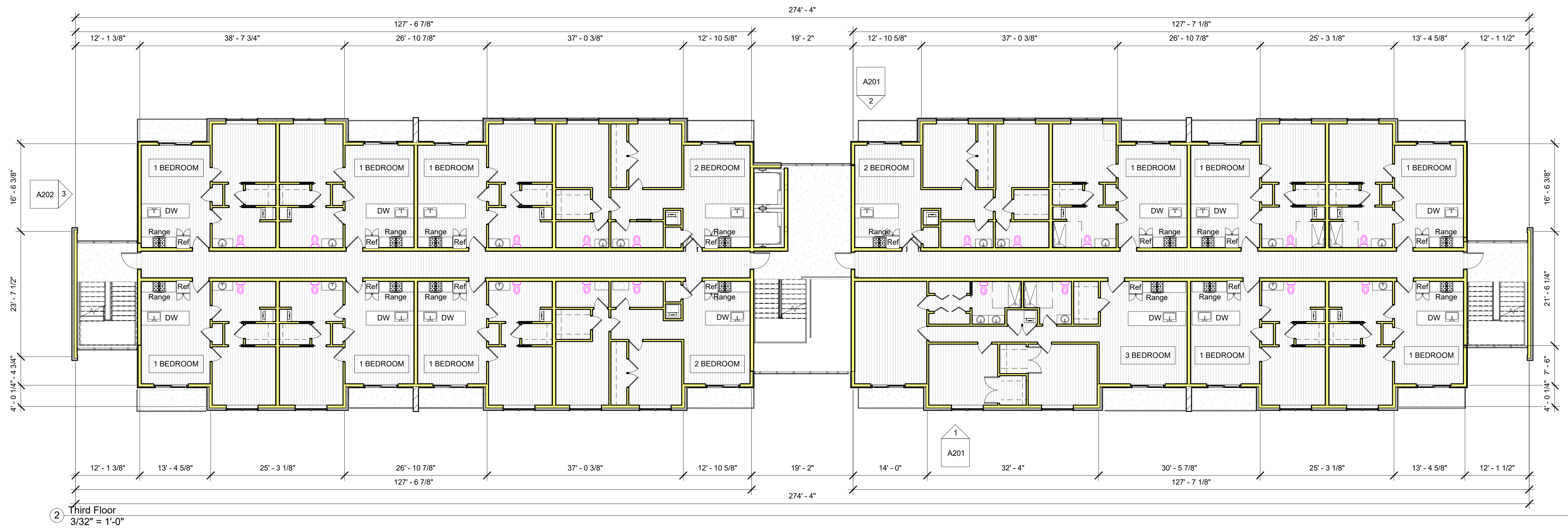
A101

Scale 3/32" = 1'-0"

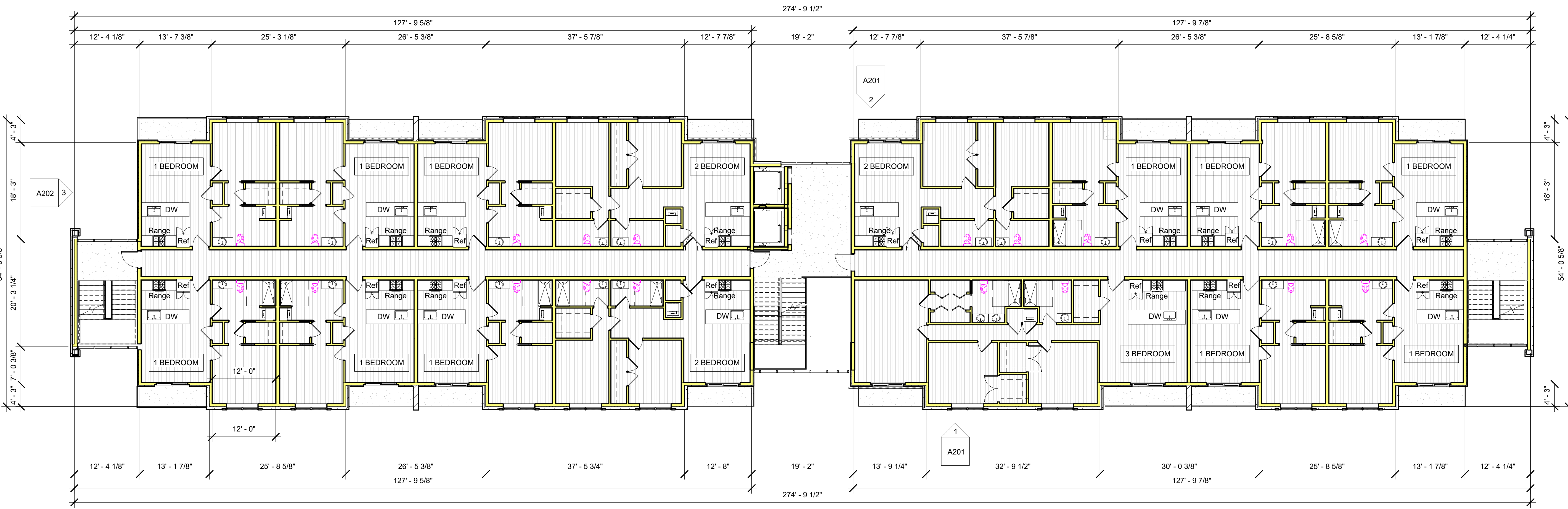
C:\Users\Justin\Documents\Williston St Central file\_Scheme\_Z\_George\Wiles6006.rvt



C:\Users\Justin\Documents\Williston St\_Central file\_Scheme Z\_George\Wiles6006.rvt



② Third Floor  
3/32" = 1'-0"



① Second Floor  
3/32" = 1'-0"

PRINTED: 3/9/2023 4:59:50 PM

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

**Williston Town Homes**

**22-96 Williston Street  
Bridgeport, Ct  
06607**

Professional Seal:

**wiles**  
Architects

Wiles + Architects, LLC  
155 Brooklawn Avenue  
Bridgeport, Ct 06604  
ph: 203.396.6003  
f: 203.384.1751  
www.wilesarch.com

No.	Description	Date

**2nd & 3rd Floor Plans**

Project number	19-500
Date	03.09.23
Drawn by	--
Checked by	--
ARCHITECTURAL	

**A102**

Scale 3/32" = 1'-0"

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

**Williston Town Homes**

22-96 Williston Street  
Bridgeport, Ct 06607

Professional Seal:

**wiles** Architects  
Wiles + Architects, LLC  
155 Brooklawn Avenue  
Bridgeport, Ct 06604  
ph: 203.396.6003  
f: 203.384.1751  
www.wilesarch.com

No.	Description	Date

**4th & Roof Floor Plans**

Project number	19-500
Date	03.09.23
Drawn by	--
Checked by	--

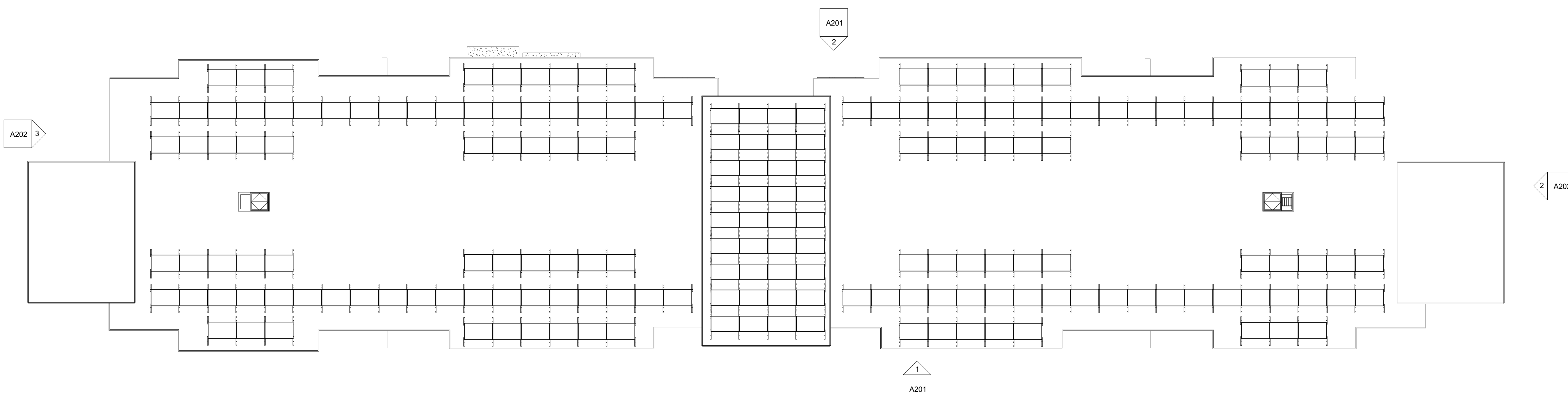
**ARCHITECTURAL**

# A103

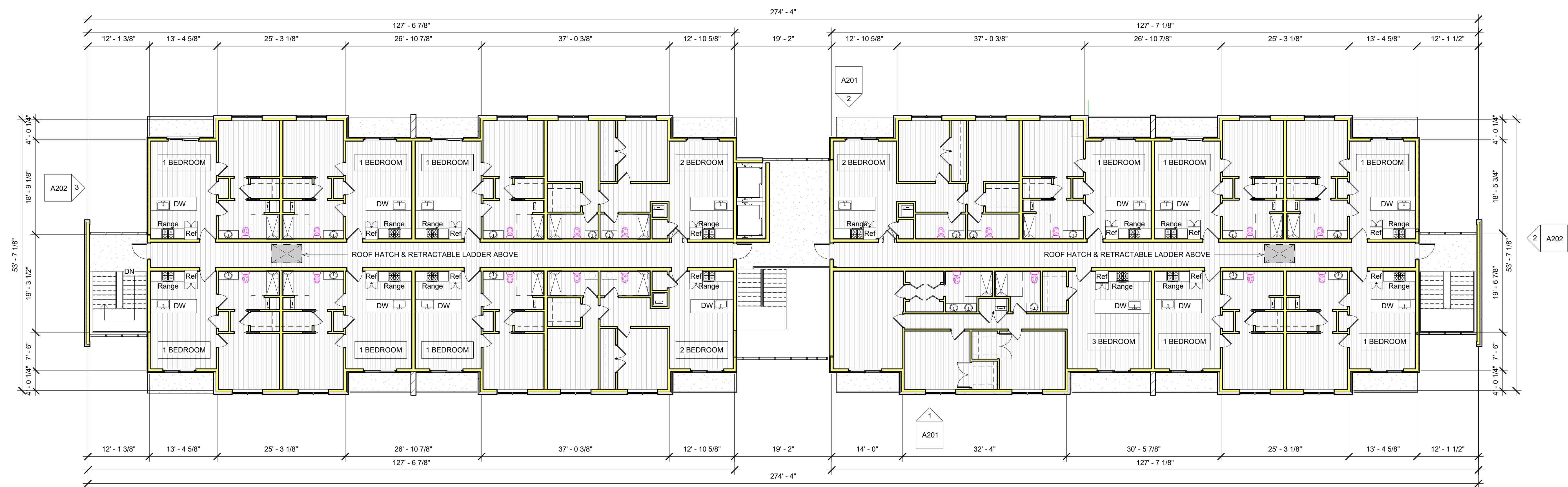
Scale 3/32" = 1'-0"

PRINTED: 3/9/2023 5:00:47 PM

Wiles+Architects 2018 copyright



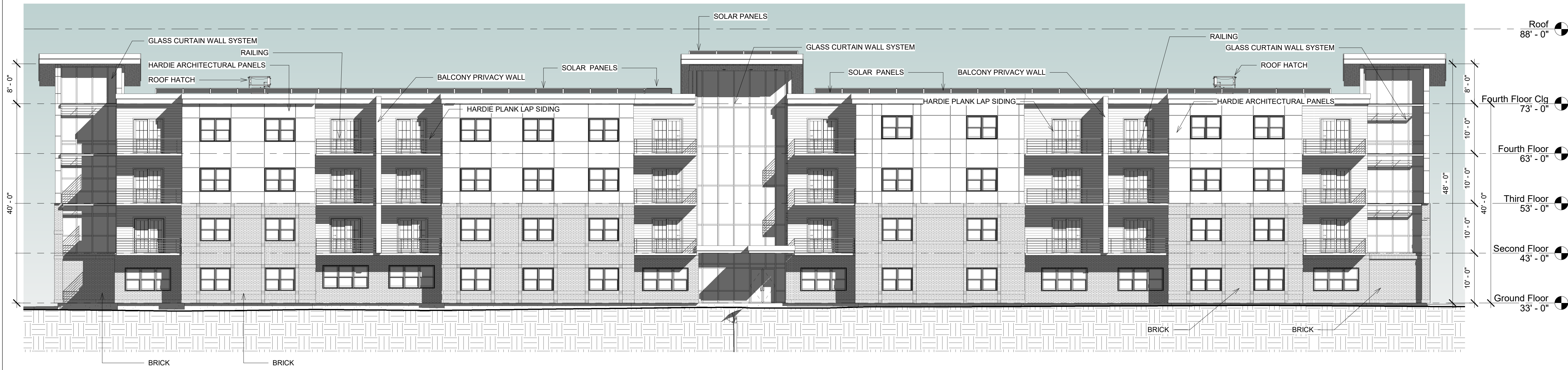
② Roof  
3/32" = 1'-0"



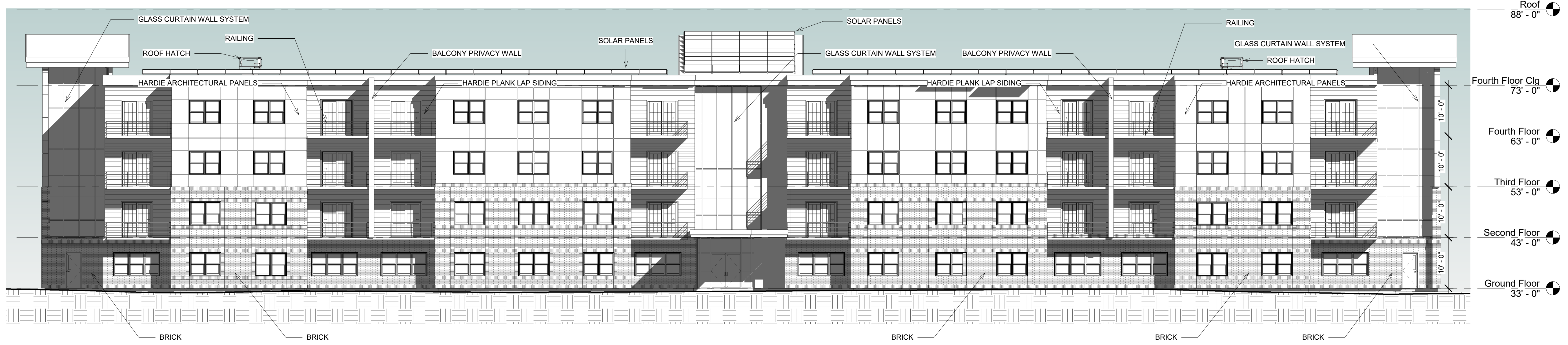
① Fourth Floor  
3/32" = 1'-0"

C:\Users\Justin\Documents\Williston St\_Central file\_Scheme\_Z\_George\Wiles6006.rvt





1 South Elevation  
3/32" = 1'-0"



2 North Elevation  
3/32" = 1'-0"

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

**Williston Town Homes**

22-96 Williston Street  
Bridgeport, Ct 06607

Professional Seal:

**wiles** Architects  
Wiles + Architects, LLC  
155 Brooklawn Avenue  
Bridgeport, Ct 06604  
ph: 203.366.6003  
f: 203.364.1751  
www.wilesarch.com

No.	Description	Date

**Williston Street Exterior Elevation**

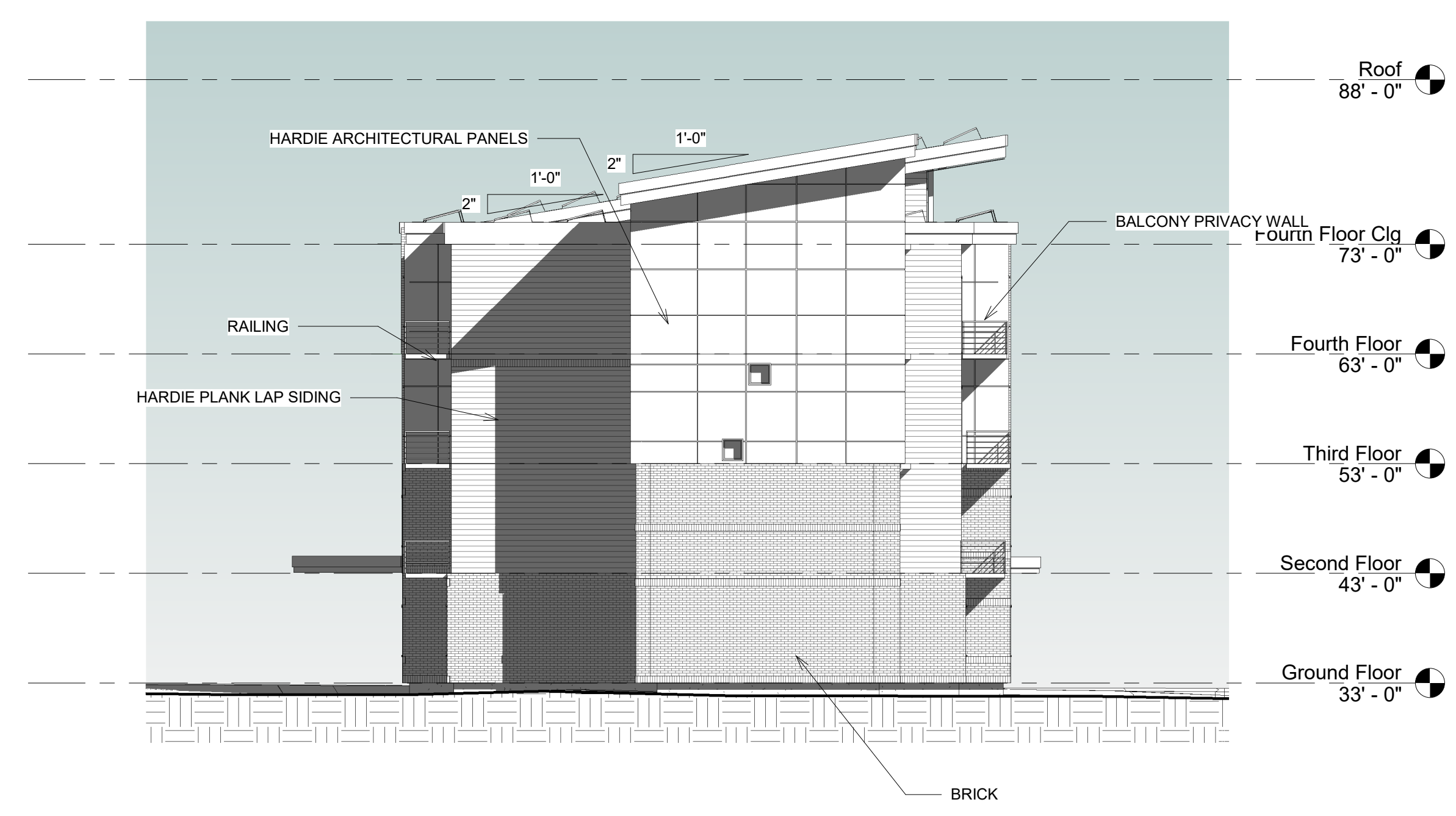
Project number	19-500
Date	03.09.23
Drawn by	--
Checked by	--
ARCHITECTURAL	
<b>A201</b>	
Scale	3/32" = 1'-0"

C:\Users\Justin\Documents\Williston St\_Central file\_Scheme Z\_George\Wiles6006.rvt

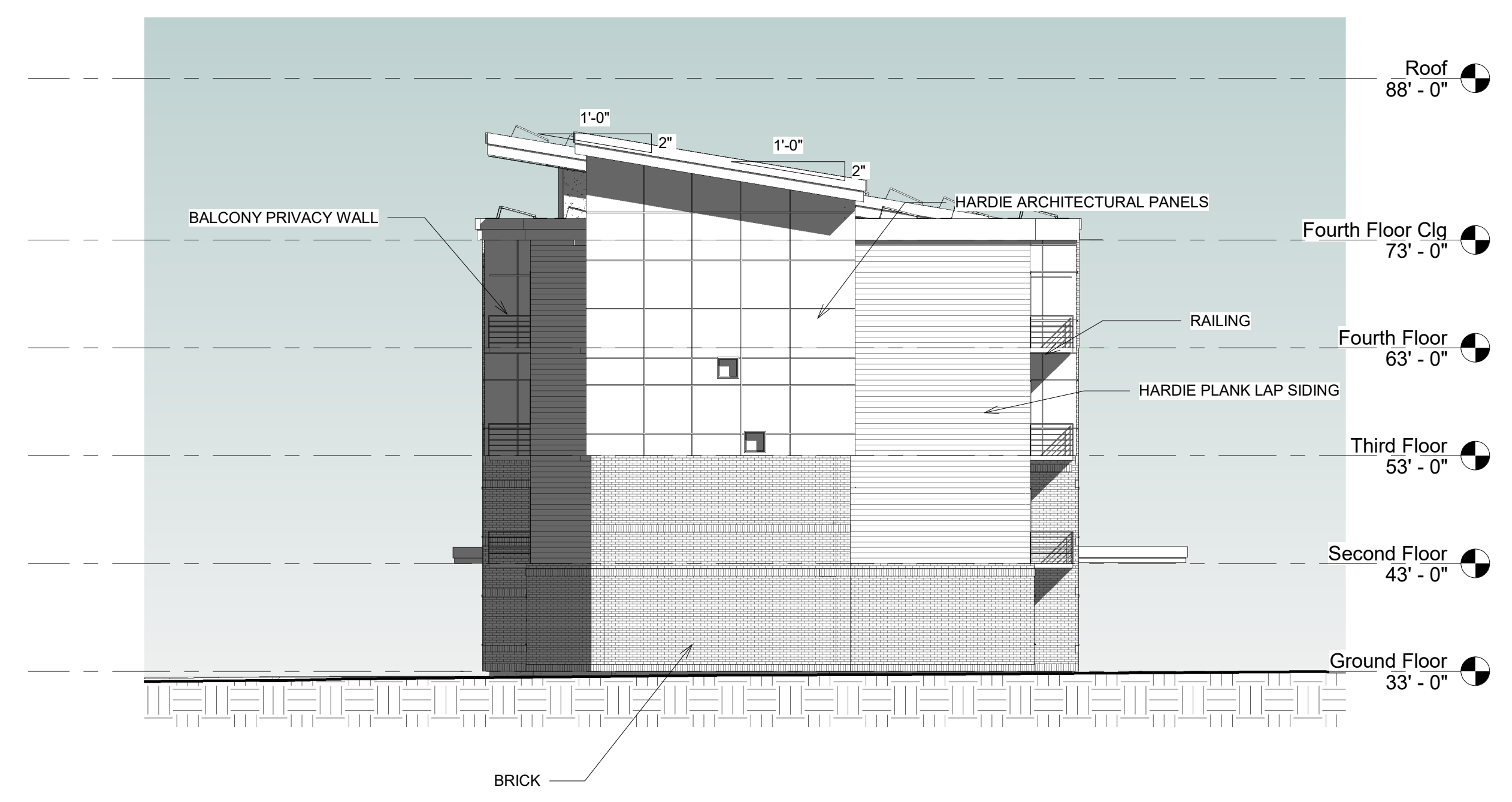


**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.



③ East Elevation  
3/32" = 1'-0"



② West Elevation  
3/32" = 1'-0"

**Williston Town Homes**

22-96 Williston Street  
Bridgeport, Ct 06607

Professional Seal:

**wiles**  
Architects

Wiles + Architects, LLC  
155 Brooklawn Avenue  
Bridgeport, Ct 06604  
ph: 203.384.6003  
f: 203.384.1751  
www.wilesarch.com

No.	Description	Date

**Exterior Elevations**

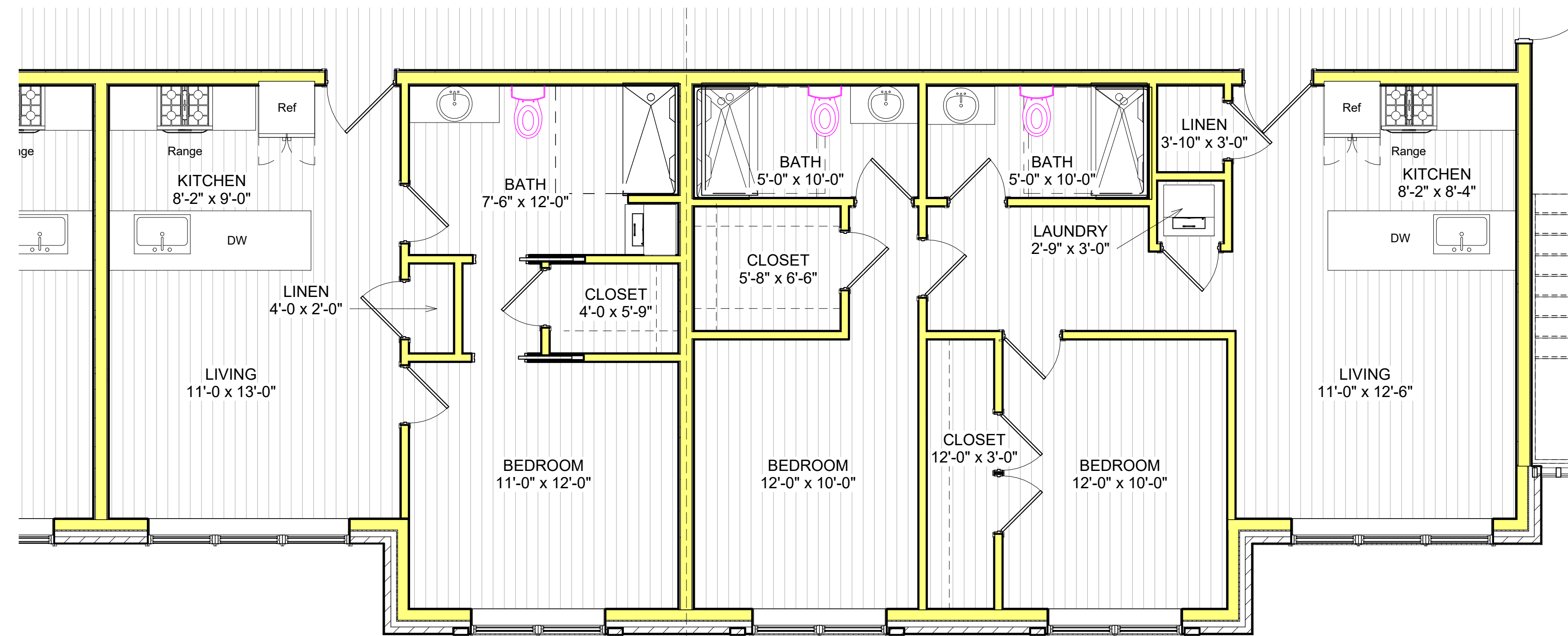
Project number	19-500
Date	03.09.23
Drawn by	--
Checked by	--

ARCHITECTURAL

**A202**

Scale 3/32" = 1'-0"

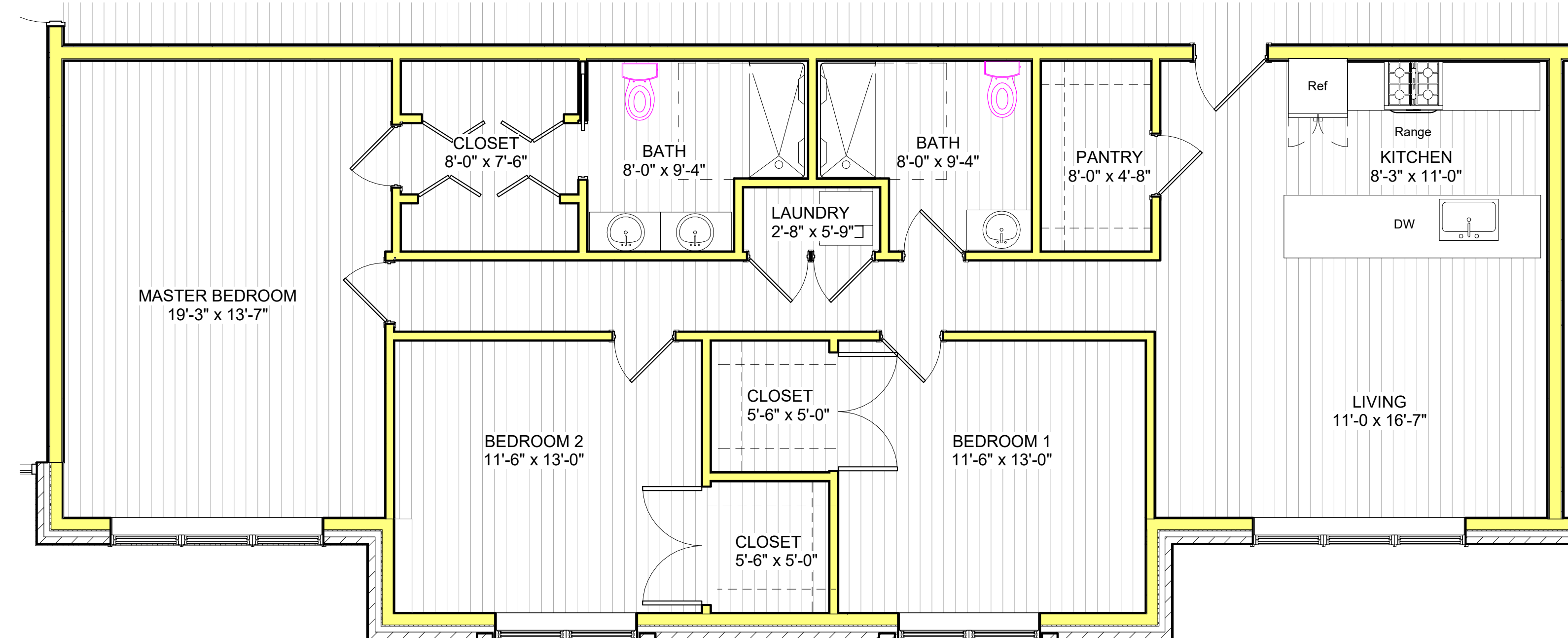
PRINTED: 3/9/2023 5:01:36 PM



One Bedroom Unit 545 sf

Two Bedroom Unit 805 sf

1 Enlarged Unit Plans  
1/4" = 1'-0"



3 Bedroom Unit 1,338 sf

2 Ground Floor - Callout 1  
1/4" = 1'-0"

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

**Williston Town Homes**

22-96 Williston Street  
Bridgeport, Ct 06607

Professional Seal:

**wiles** Architects  
Wiles + Architects, LLC  
155 Brooklawn Avenue  
Bridgeport, Ct 06604  
ph: 203.366.6003  
f: 203.364.1751  
www.wilesarch.com

No.	Description	Date

**Typical Enlarged Floor Plans**

Project number	19-500
Date	03.09.23
Drawn by	--
Checked by	--
ARCHITECTURAL	

A500

Scale 1/4" = 1'-0"



# DRAINAGE STUDY

## **DRAINAGE COMPUTATIONS**

*for*

***New 60-Unit, 4-Story Residential Building &  
Related Site Improvements  
#22-96 Williston Street  
Bridgeport, CT***

**Prepared for:**

MADL Coleman Holdings Co., LLC  
1732 Reservoir Avenue  
Bridgeport, Connecticut 06606

**Prepared by:**



Christian A. DeAngelis, P.E.

**CABEZAS DeANGELIS LLC**

78 Elm Street  
Bridgeport, CT 06604  
Telephone: (203) 330-8700  
Fax: (203) 330-8701

Project #21-07

March 9, 2023



## TABLE OF CONTENTS

<b>SECTION</b>	<b>PAGE</b>
I. Summary.....	1
II. Site Description.....	1
Existing Conditions .....	1
Proposed Conditions.....	2
III. Hydrologic Analysis.....	2
IV. Water Quality & Groundwater Recharge Analysis .....	3
V. Conclusions.....	3

### **LIST OF FIGURES AND ATTACHMENTS**

Figure A	Site Location Map
Figure B	FEMA Map
Figure C	Soils Map
Figure D	Existing Conditions
Figure E	Proposed Conditions

### **APPENDIX**

- Hydro-Cad Run-off Calculations – Pre vs. Post Development with Infiltration System
- Water Quality Analysis Calculation



## **DRAINAGE ANALYSIS**

### **New 60 Unit, 4-Story Apartment Building & Related Site Improvements #22-96 Williston Street Bridgeport, CT**

#### **I. Summary**

The proposed project consists of the construction of a new 4-story, 60-unit residential building and related site improvements located at 22-96 Williston Street in Bridgeport, CT. The new building will be constructed along the front (north) side of the property and a parking lot for approximately 50 vehicles will be constructed on the south side.

Impervious surfaces will be increased from the existing conditions. Therefore, a new underground stormwater infiltration system will be installed in order to comply with City regulations concerning the discharge of storm water from the site.

This report has been prepared to determine what storm water impacts, if any, can be expected to occur as a result of the proposed development.

The results of this study show that although impervious surfaces will be increased from existing conditions, post-construction storm water run-off rates and total run-off volumes, in compliance with City of Bridgeport stormwater regulations, will be reduced due to the inclusion of the new stormwater management system. Additionally, the quality of stormwater run-off will be improved by “capturing and treating” the required Water Quality Volume (WQV).

Therefore, it is concluded that the project will not have any adverse impacts to adjacent properties, City-owned drainage facilities, or Long Island Sound.

#### **II. Site Description**

##### Existing Conditions

The drainage study area is approximately 46,517 sf (1.07-acres). The existing property is a vacant lot currently used for construction vehicle and material storage. There are large amounts of soil stockpiled and miscellaneous debris on the property.

The site is bounded by Williston Avenue on the north side and residential property on the west, south and east sides. Site access is from Williston Street. Site coverage is currently 0% impervious surface as shown in Figure D attached, however, the site is highly disturbed with very little natural vegetation and large amounts of gravel surface.

Soils at the site are generally classified as Udorthents-Urban Land Complex as noted in the Web Soil Survey prepared by National Resource Conservation Service (Figure C).

A test pit and percolation test were performed at the site in October, 2022 and revealed coarse, dry sand and gravel to a depth of approximately 72 inches.

The property generally drains via overland flow northerly towards Williston Street. There is no known formal drainage system on site. All flow eventually enters an existing 36" diameter RCP City storm drain line in Williston Street. See Figure D.

The site is not located within a FEMA high hazard flood zone and there is no known history of flooding at the site (see Figure B).

### Proposed Conditions

The new residential building will be constructed along the north side of the site and the new parking lot will be constructed at the rear of the new building.

The development will result in an increase of approximately 35,250 sf of impervious surface at the site. Total impervious surface (post construction) is expected to be approximately 76% as shown in Figure E.

City stormwater regulations require that existing stormwater runoff rates and volumes be reduced after construction. Therefore, an underground stormwater infiltration system will be utilized. The new infiltration system will consist of fifty-two (52) 4x8x4 concrete galleys and will be installed below the parking lot on the south side of the property. Since there was no ground water or mottling noted in the test pit, and the material was found to be a good mix of sand and gravel, no pretreatment is necessary. In addition to runoff from the parking lot, this system will pick up runoff from the building roof drains.

### **III. Hydrologic Analysis**

The drainage study area of 46,517 sf was analyzed for the existing and proposed condition for the 2, 10, 25 and 50-year storm event utilizing the National Resource Conservation Service unit hydrograph method as outlined in TR-55. Curve numbers were based on HSG 'C' values for both the existing and proposed conditions. Rainfall depths were based on recently updated precipitation frequencies as published by NOAA (Atlas 14, Volume 10, Version 2) for Bridgeport, CT. A Type III Temporal Distribution was used for the analysis.

Peak run-off rates and total runoff volumes were calculated for the "pre" and "post" construction conditions for each storm event. Time of Concentration (Tc) was assumed to be 5 minutes for both the existing and proposed conditions.

In order to comply with City Stormwater regulations, run-off rates and volumes must be reduced a minimum of 10% from existing conditions. When the volume of the proposed underground retention system is considered, the resulting decreases were found to exceed 10% for all storm events.

**Table 1**  
**Total Run-off Values**  
**Existing vs. Proposed (with Retention System)**

	2-Year	10-Year	25-Year	50-Year
Ex. Peak Flow (cfs)	2.99	5.15	6.49	7.48
Prop. Peak Flow (cfs)	0.13	0.29	2.74	6.38
% Decrease	96%	94%	58%	15%

	2-Year	10-Year	25-Year	50-Year
Ex. Run-off Vol. (cf)	9,022	15,911	20,298	23,587
Prop. Run-off Vol. (cf)	411	877	3,208	5,226
% Decrease	95%	94%	84%	78%

#### **IV. Water Quality Analysis**

Since the site is located within the Coastal Limits of Long Island Sound, it is necessary to “capture and treat” the “first flush” of run-off in order to remove 80% total suspended solids. The first flush of run-off, known as the Water Quality Volume (WQV), was calculated to be 2,845 cf for the project site area of approx. 46,517 sf (1.07-acres).

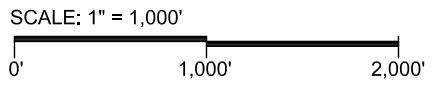
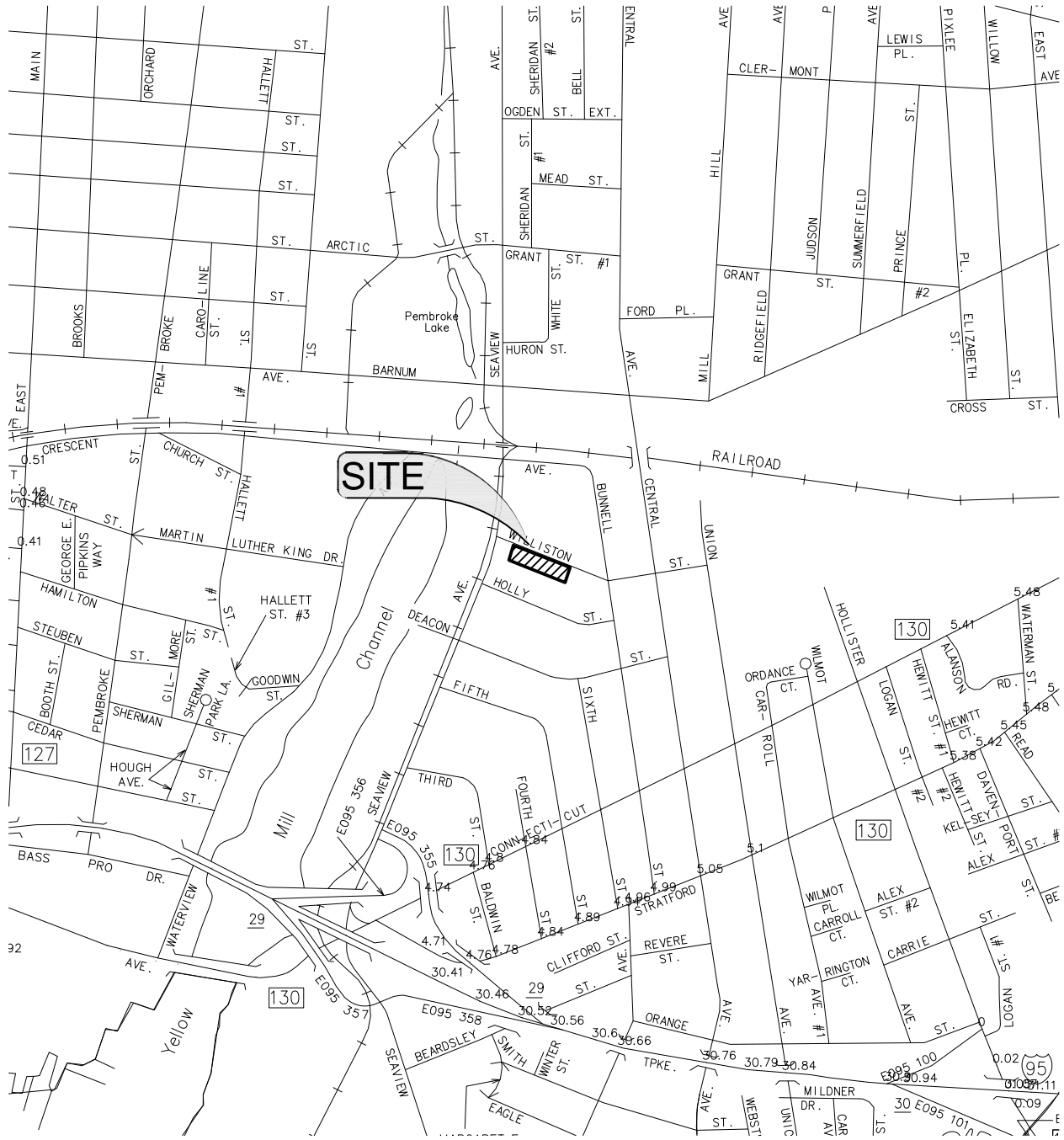
The new underground infiltration system provides 4,865 cf of retained storage and thus meet the WQV goals. Since there was no ground water or mottling noted in the test pit, and the material was found to be a good mix of sand and gravel, the infiltration system can be considered a primary treatment practice and no pretreatment is necessary. Calculations are attached in Appendix 2.

#### **V. Conclusions**

Although the proposed development will increase impervious surfaces at the site, which will also increase stormwater run-off rates and volumes, the inclusion of the stormwater infiltration system will reduce runoff flows and volumes from predevelopment levels in accordance with City of Bridgeport regulations. The resulting retention volume is also sufficient to meet WQV goals.

Therefore, it is concluded that the project will not result in any adverse impacts to existing downstream properties, Long Island Sound or any City-owned drainage facilities.





### LOCATION MAP

NEW 4-STORY RESIDENTIAL BUILDING &  
 RELATED SITE IMPROVEMENTS PROJECT  
 22-96 WILLISTON STREET  
 BRIDGEPORT, CT

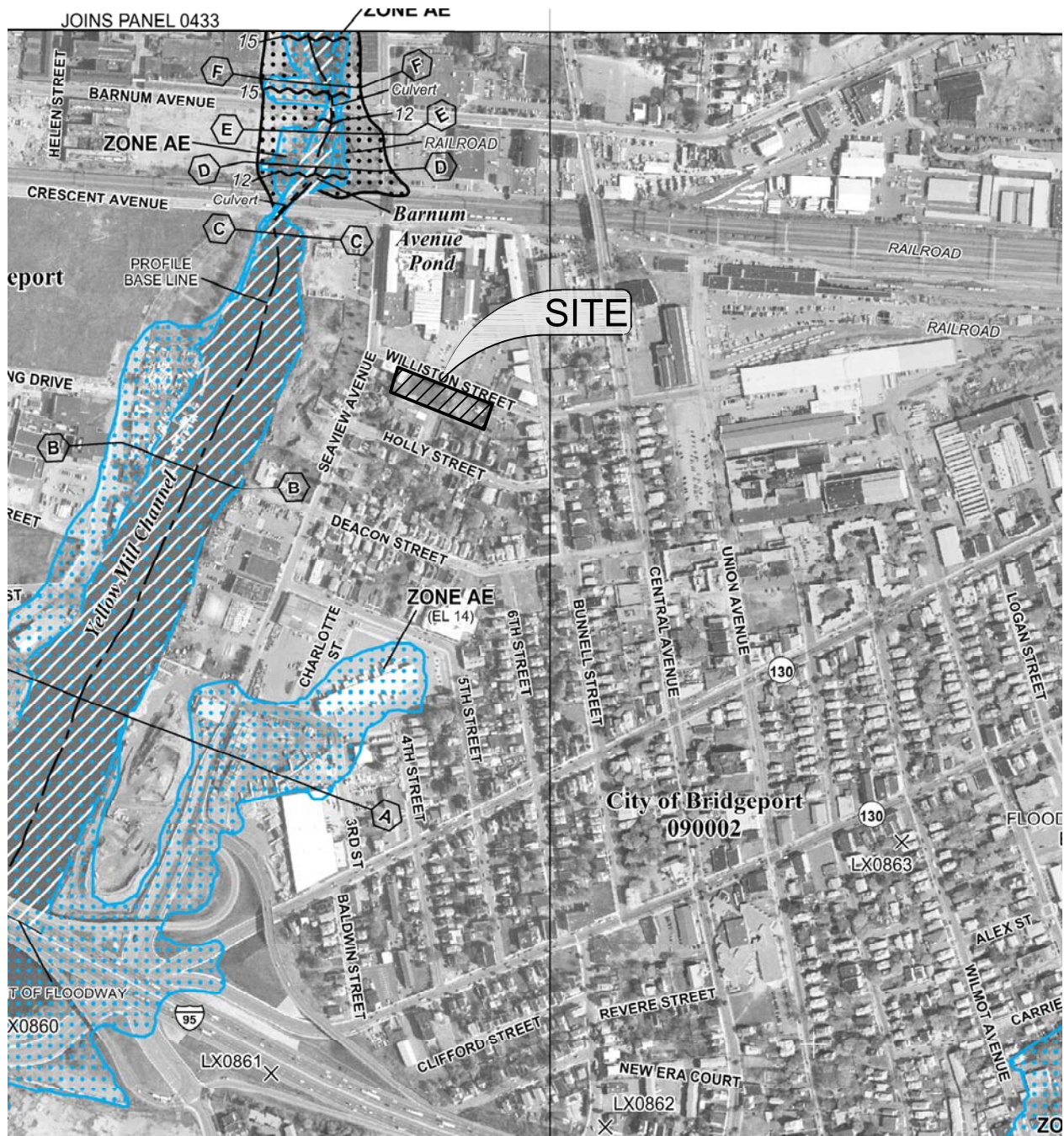
DATE: MARCH 2023

FIGURE A



78 ELM STREET, BRIDGEPORT, CT 06604  
 P: 203 330 8700 • F: 203 330 8701





ZONE X (UNSHADED)  
 MAP NO. 09001C0441G; EFFECTIVE DATE JULY 8, 2013  
 DATUM = NAVD 1988  
 NTS

**FEMA - FIRM MAP**

**NEW 4-STORY RESIDENTIAL BUILDING &  
 RELATED SITE IMPROVEMENTS PROJECT  
 22-96 WILLISTON STREET  
 BRIDGEPORT, CT**

DATE: MARCH 2023

FIGURE B





(Williston Avenue)

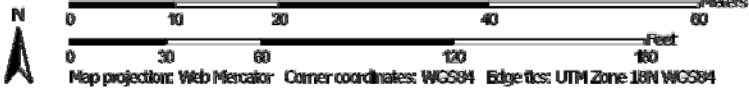
022470 022480 022490 022500 022510 022520 022530 022540 022550 022560 022570 022580 022590 022600



Soil Map may not be valid at this scale.

023470 023480 023490 023500 023510 023520 023530 023540 023550 023560 023570 023580 023590 023600

Map Scale: 1:663 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

Natural Resources Conservation Service

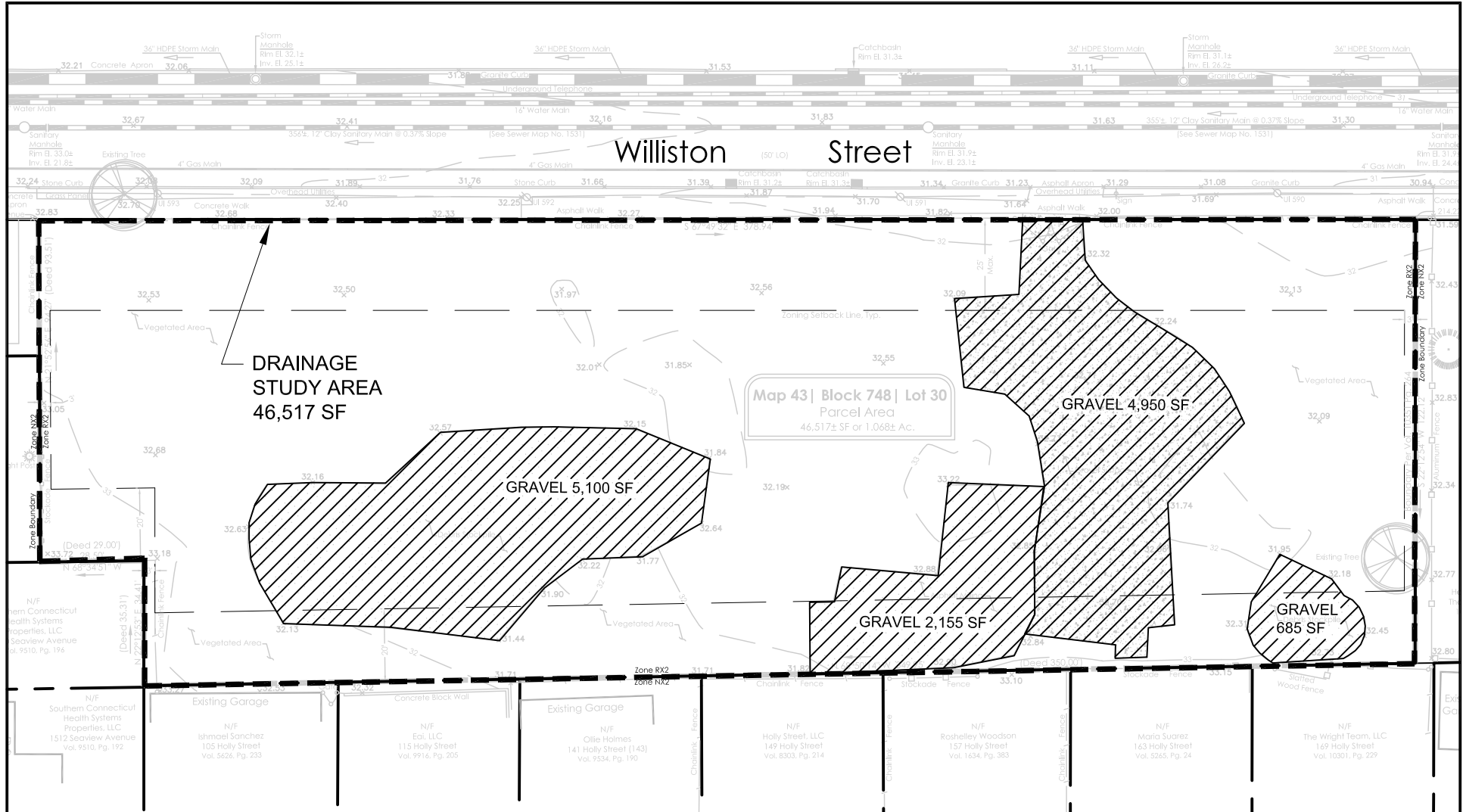
Web Soil Survey National Cooperative Soil Survey

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P: 203 330 8700 • F: 203 330 8701



<b>SOILS MAP</b> (FROM NRCS WEBSITE)	
NEW 4-STORY RESIDENTIAL BUILDING & RELATED SITE IMPROVEMENTS PROJECT 22-96 WILLISTON STREET BRIDGEPORT, CT	
DATE: MARCH 2023	FIGURE C





**DRAINAGE  
STUDY AREA  
46,517 SF**

**Map 43 | Block 748 | Lot 30  
Parcel Area  
46,517± SF or 1.068± Ac.**

**GRAVEL 5,100 SF**

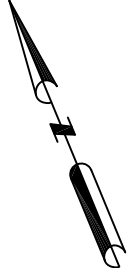
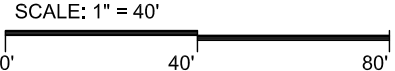
**GRAVEL 2,155 SF**

**GRAVEL 4,950 SF**

**GRAVEL 685 SF**

<b>EXISTING IMPERVIOUS AREA</b>	
<b>NEW 4-STORY RESIDENTIAL BUILDING &amp; RELATED SITE IMPROVEMENTS PROJECT 22-96 WILLISTON STREET BRIDGEPORT, CT</b>	
<b>DATE: MARCH 2023</b>	<b>FIGURE D</b>

**Cabezas  
DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P: 203 330 8700 • F: 203 330 8701



P2 - OFF SITE FLOW  
 TOTAL AREA = 3,852 SF  
 (136 PAVED + 3716 LAWN)

Williston Street

PROPOSED 4-STORY  
 RESIDENTIAL BUILDING  
 FOOTPRINT = 13,300 SF ±

TOTAL  
 IMPERVIOUS  
 AREA = 35,250 SF

**PROPOSED IMPERVIOUS AREA**

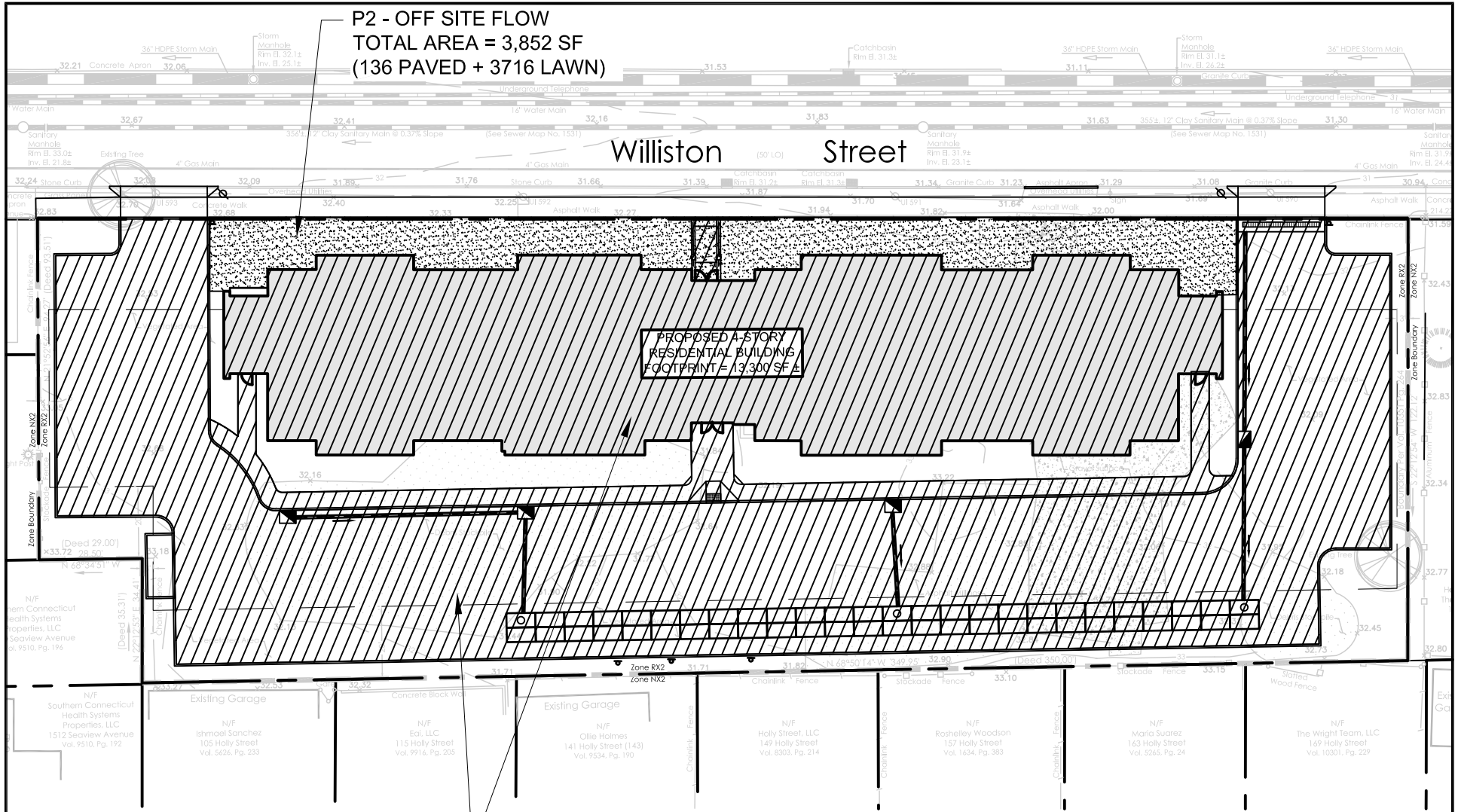
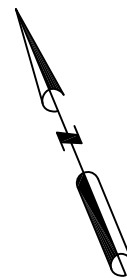
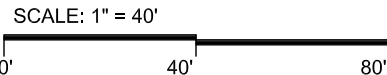
NEW 4-STORY RESIDENTIAL BUILDING &  
 RELATED SITE IMPROVEMENTS PROJECT  
 22-96 WILLISTON STREET  
 BRIDGEPORT, CT

DATE: MARCH 2023

FIGURE E



ENGINEERS & SURVEYORS  
 78 ELM STREET, BRIDGEPORT, CT 06604  
 P:203 330 8700 • F:203 330 8701





## APPENDIX I

Hydro-Cad Run-off Calculations - Pre vs. Post-Development  
with Infiltration System



**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Sandra Pavlovic, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Orlan Wilhite

NOAA, National Weather Service, Silver Spring, Maryland

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps & aerials](#)

**PF tabular**

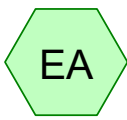
<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches)<sup>1</sup></b>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
<b>5-min</b>	<b>0.351</b> (0.280-0.434)	<b>0.419</b> (0.334-0.519)	<b>0.530</b> (0.421-0.658)	<b>0.623</b> (0.491-0.777)	<b>0.750</b> (0.570-0.976)	<b>0.846</b> (0.628-1.12)	<b>0.946</b> (0.679-1.30)	<b>1.06</b> (0.717-1.49)	<b>1.22</b> (0.789-1.77)	<b>1.34</b> (0.850-2.00)
<b>10-min</b>	<b>0.497</b> (0.396-0.615)	<b>0.594</b> (0.473-0.735)	<b>0.752</b> (0.597-0.934)	<b>0.882</b> (0.695-1.10)	<b>1.06</b> (0.807-1.38)	<b>1.20</b> (0.890-1.59)	<b>1.34</b> (0.962-1.85)	<b>1.50</b> (1.01-2.11)	<b>1.72</b> (1.12-2.51)	<b>1.90</b> (1.20-2.83)
<b>15-min</b>	<b>0.585</b> (0.466-0.723)	<b>0.698</b> (0.556-0.864)	<b>0.884</b> (0.701-1.10)	<b>1.04</b> (0.818-1.30)	<b>1.25</b> (0.950-1.63)	<b>1.41</b> (1.05-1.87)	<b>1.58</b> (1.13-2.17)	<b>1.76</b> (1.19-2.48)	<b>2.03</b> (1.32-2.96)	<b>2.24</b> (1.42-3.33)
<b>30-min</b>	<b>0.815</b> (0.650-1.01)	<b>0.973</b> (0.775-1.20)	<b>1.23</b> (0.977-1.53)	<b>1.45</b> (1.14-1.80)	<b>1.74</b> (1.32-2.27)	<b>1.96</b> (1.46-2.61)	<b>2.19</b> (1.57-3.02)	<b>2.45</b> (1.66-3.45)	<b>2.81</b> (1.83-4.10)	<b>3.10</b> (1.96-4.61)
<b>60-min</b>	<b>1.05</b> (0.834-1.29)	<b>1.25</b> (0.994-1.54)	<b>1.58</b> (1.25-1.96)	<b>1.85</b> (1.46-2.31)	<b>2.23</b> (1.69-2.90)	<b>2.52</b> (1.87-3.34)	<b>2.81</b> (2.02-3.87)	<b>3.14</b> (2.13-4.42)	<b>3.59</b> (2.34-5.24)	<b>3.96</b> (2.51-5.89)
<b>2-hr</b>	<b>1.36</b> (1.09-1.67)	<b>1.63</b> (1.31-2.00)	<b>2.07</b> (1.66-2.56)	<b>2.44</b> (1.94-3.03)	<b>2.95</b> (2.26-3.82)	<b>3.33</b> (2.49-4.41)	<b>3.73</b> (2.70-5.12)	<b>4.19</b> (2.85-5.86)	<b>4.84</b> (3.16-7.02)	<b>5.38</b> (3.41-7.95)
<b>3-hr</b>	<b>1.57</b> (1.26-1.92)	<b>1.89</b> (1.52-2.31)	<b>2.41</b> (1.93-2.96)	<b>2.84</b> (2.26-3.51)	<b>3.44</b> (2.64-4.44)	<b>3.88</b> (2.91-5.12)	<b>4.35</b> (3.16-5.96)	<b>4.90</b> (3.34-6.83)	<b>5.69</b> (3.71-8.21)	<b>6.34</b> (4.04-9.34)
<b>6-hr</b>	<b>1.98</b> (1.60-2.40)	<b>2.38</b> (1.93-2.90)	<b>3.05</b> (2.46-3.73)	<b>3.61</b> (2.89-4.43)	<b>4.37</b> (3.38-5.61)	<b>4.94</b> (3.73-6.48)	<b>5.55</b> (4.06-7.57)	<b>6.26</b> (4.28-8.67)	<b>7.30</b> (4.78-10.5)	<b>8.18</b> (5.22-12.0)
<b>12-hr</b>	<b>2.43</b> (1.98-2.93)	<b>2.94</b> (2.40-3.55)	<b>3.78</b> (3.07-4.58)	<b>4.47</b> (3.60-5.45)	<b>5.42</b> (4.21-6.92)	<b>6.13</b> (4.66-8.00)	<b>6.89</b> (5.07-9.34)	<b>7.78</b> (5.35-10.7)	<b>9.11</b> (5.99-13.0)	<b>10.2</b> (6.55-14.8)
<b>24-hr</b>	<b>2.84</b> (2.33-3.40)	<b>3.47</b> (2.84-4.16)	<b>4.49</b> (3.67-5.41)	<b>5.35</b> (4.34-6.47)	<b>6.52</b> (5.10-8.28)	<b>7.39</b> (5.66-9.60)	<b>8.33</b> (6.18-11.3)	<b>9.47</b> (6.53-12.9)	<b>11.2</b> (7.38-15.8)	<b>12.7</b> (8.13-18.3)
<b>2-day</b>	<b>3.16</b> (2.61-3.76)	<b>3.92</b> (3.24-4.67)	<b>5.17</b> (4.25-6.18)	<b>6.21</b> (5.07-7.46)	<b>7.63</b> (6.02-9.65)	<b>8.68</b> (6.69-11.2)	<b>9.83</b> (7.36-13.3)	<b>11.3</b> (7.79-15.3)	<b>13.5</b> (8.94-19.0)	<b>15.5</b> (9.98-22.2)
<b>3-day</b>	<b>3.41</b> (2.83-4.05)	<b>4.25</b> (3.52-5.04)	<b>5.62</b> (4.63-6.69)	<b>6.75</b> (5.53-8.08)	<b>8.31</b> (6.58-10.5)	<b>9.45</b> (7.32-12.2)	<b>10.7</b> (8.06-14.5)	<b>12.3</b> (8.53-16.7)	<b>14.8</b> (9.82-20.7)	<b>17.0</b> (11.0-24.3)
<b>4-day</b>	<b>3.66</b> (3.05-4.33)	<b>4.54</b> (3.77-5.38)	<b>5.98</b> (4.95-7.10)	<b>7.17</b> (5.90-8.56)	<b>8.82</b> (6.99-11.1)	<b>10.0</b> (7.78-12.9)	<b>11.3</b> (8.55-15.3)	<b>13.0</b> (9.04-17.6)	<b>15.7</b> (10.4-21.8)	<b>18.0</b> (11.6-25.5)
<b>7-day</b>	<b>4.38</b> (3.66-5.15)	<b>5.33</b> (4.45-6.27)	<b>6.87</b> (5.72-8.11)	<b>8.16</b> (6.74-9.68)	<b>9.92</b> (7.90-12.4)	<b>11.2</b> (8.74-14.3)	<b>12.6</b> (9.54-16.8)	<b>14.4</b> (10.0-19.3)	<b>17.2</b> (11.4-23.7)	<b>19.5</b> (12.6-27.5)
<b>10-day</b>	<b>5.07</b> (4.26-5.94)	<b>6.06</b> (5.08-7.11)	<b>7.67</b> (6.40-9.03)	<b>9.01</b> (7.47-10.7)	<b>10.9</b> (8.66-13.4)	<b>12.2</b> (9.51-15.5)	<b>13.7</b> (10.3-18.1)	<b>15.5</b> (10.8-20.6)	<b>18.2</b> (12.1-25.1)	<b>20.5</b> (13.3-28.8)
<b>20-day</b>	<b>7.15</b> (6.04-8.31)	<b>8.23</b> (6.94-9.58)	<b>10.00</b> (8.40-11.7)	<b>11.5</b> (9.57-13.5)	<b>13.5</b> (10.8-16.5)	<b>15.0</b> (11.7-18.7)	<b>16.6</b> (12.4-21.4)	<b>18.4</b> (12.9-24.3)	<b>20.9</b> (14.0-28.6)	<b>23.0</b> (15.0-32.1)
<b>30-day</b>	<b>8.86</b> (7.52-10.3)	<b>10.0</b> (8.49-11.6)	<b>11.9</b> (10.0-13.8)	<b>13.5</b> (11.3-15.7)	<b>15.6</b> (12.5-18.9)	<b>17.2</b> (13.5-21.3)	<b>18.9</b> (14.2-24.2)	<b>20.7</b> (14.6-27.2)	<b>23.1</b> (15.6-31.5)	<b>25.1</b> (16.3-34.8)
<b>45-day</b>	<b>11.0</b> (9.37-12.7)	<b>12.2</b> (10.4-14.1)	<b>14.2</b> (12.1-16.5)	<b>15.9</b> (13.4-18.5)	<b>18.2</b> (14.7-21.9)	<b>20.0</b> (15.6-24.5)	<b>21.7</b> (16.3-27.5)	<b>23.5</b> (16.7-30.8)	<b>25.9</b> (17.4-35.0)	<b>27.6</b> (18.0-38.2)
<b>60-day</b>	<b>12.8</b> (10.9-14.7)	<b>14.1</b> (12.0-16.2)	<b>16.2</b> (13.8-18.7)	<b>17.9</b> (15.1-20.8)	<b>20.4</b> (16.4-24.4)	<b>22.2</b> (17.4-27.2)	<b>24.1</b> (18.0-30.2)	<b>25.9</b> (18.4-33.7)	<b>28.2</b> (19.0-37.9)	<b>29.8</b> (19.5-41.1)

<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

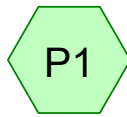
[Back to Top](#)

**PF graphical**

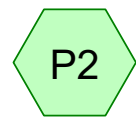




Existing To Williston St



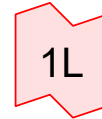
Proposed to Infiltration System



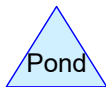
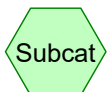
Direct to Off-Site



Infiltration System



Off-Site



**Routing Diagram for Williston Avenue**

Prepared by Cabezas-DeAngelis LLC, Printed 3/9/2023

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

## Williston Avenue

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed  
Type III 24-hr 2-Yr Rainfall=3.47"

Printed 3/9/2023

Page 1

### Summary for Subcatchment EA: Existing To Williston St

Runoff = 2.99 cfs @ 12.07 hrs, Volume= 9,022 cf, Depth> 2.33"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 2-Yr Rainfall=3.47"

Area (sf)	CN	Description
12,890	96	Gravel surface, HSG C
33,627	86	<50% Grass cover, Poor, HSG C
46,517	89	Weighted Average
46,517		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

### Summary for Subcatchment P1: Proposed to Infiltration System

Runoff = 3.18 cfs @ 12.07 hrs, Volume= 9,970 cf, Depth> 2.80"  
Routed to Pond 2P : Infiltration System

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 2-Yr Rainfall=3.47"

Area (sf)	CN	Description
7,415	74	>75% Grass cover, Good, HSG C
13,300	98	Roofs, HSG B
21,950	98	Paved parking, HSG C
42,665	94	Weighted Average
7,415		17.38% Pervious Area
35,250		82.62% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

### Summary for Subcatchment P2: Direct to Off-Site

Runoff = 0.13 cfs @ 12.08 hrs, Volume= 411 cf, Depth> 1.28"  
Routed to Link 1L : Off-Site

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 2-Yr Rainfall=3.47"



**Williston Avenue**

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed  
Type III 24-hr 2-Yr Rainfall=3.47"

Printed 3/9/2023

Page 2

Area (sf)	CN	Description
3,716	74	>75% Grass cover, Good, HSG C
136	98	Paved parking, HSG C
3,852	75	Weighted Average
3,716		96.47% Pervious Area
136		3.53% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					<b>Direct Entry,</b>

**Summary for Pond 2P: Infiltration System**

Inflow Area = 42,665 sf, 82.62% Impervious, Inflow Depth > 2.80" for 2-Yr event  
 Inflow = 3.18 cfs @ 12.07 hrs, Volume= 9,970 cf  
 Outflow = 0.37 cfs @ 12.66 hrs, Volume= 9,965 cf, Atten= 88%, Lag= 35.5 min  
 Discarded = 0.37 cfs @ 12.66 hrs, Volume= 9,965 cf  
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf  
 Routed to Link 1L : Off-Site

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 28.72' @ 12.66 hrs Surf.Area= 2,100 sf Storage= 3,536 cf

Plug-Flow detention time= 76.4 min calculated for 9,965 cf (100% of inflow)  
 Center-of-Mass det. time= 76.1 min ( 859.1 - 783.1 )

Volume	Invert	Avail.Storage	Storage Description
#1	27.00'	4,865 cf	<b>Concrete Galley 4x8x4 x 52</b> Inside #2 Inside= 42.0"W x 43.0"H => 12.47 sf x 7.50'L = 93.6 cf Outside= 52.8"W x 48.0"H => 15.20 sf x 8.00'L = 121.6 cf 52 Chambers in 2 Rows
#2	26.00'	2,090 cf	<b>10.00'W x 210.00'L x 5.50'H Prismatic</b> 11,550 cf Overall - 6,325 cf Embedded = 5,225 cf x 40.0% Voids
		6,955 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	26.00'	<b>4.800 in/hr Exfiltration over Wetted area</b>
#2	Primary	31.30'	<b>12.0" x 264.0" Horiz. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads

**Discarded OutFlow** Max=0.37 cfs @ 12.66 hrs HW=28.72' (Free Discharge)  
 ↑ **1=Exfiltration** (Exfiltration Controls 0.37 cfs)

**Primary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=26.00' (Free Discharge)  
 ↑ **2=Orifice/Grate** ( Controls 0.00 cfs)

## Williston Avenue

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed  
Type III 24-hr 2-Yr Rainfall=3.47"

Printed 3/9/2023

Page 3

### Summary for Link 1L: Off-Site

Inflow Area = 46,517 sf, 76.07% Impervious, Inflow Depth > 0.11" for 2-Yr event  
Inflow = 0.13 cfs @ 12.08 hrs, Volume= 411 cf  
Primary = 0.13 cfs @ 12.08 hrs, Volume= 411 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs



## Williston Avenue

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed

Type III 24-hr 10-Yr Rainfall=5.35"

Printed 3/9/2023

Page 4

### Summary for Subcatchment EA: Existing To Williston St

Runoff = 5.15 cfs @ 12.07 hrs, Volume= 15,911 cf, Depth> 4.10"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-Yr Rainfall=5.35"

Area (sf)	CN	Description
12,890	96	Gravel surface, HSG C
33,627	86	<50% Grass cover, Poor, HSG C
46,517	89	Weighted Average
46,517		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

### Summary for Subcatchment P1: Proposed to Infiltration System

Runoff = 5.12 cfs @ 12.07 hrs, Volume= 16,534 cf, Depth> 4.65"  
Routed to Pond 2P : Infiltration System

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-Yr Rainfall=5.35"

Area (sf)	CN	Description
7,415	74	>75% Grass cover, Good, HSG C
13,300	98	Roofs, HSG B
21,950	98	Paved parking, HSG C
42,665	94	Weighted Average
7,415		17.38% Pervious Area
35,250		82.62% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

### Summary for Subcatchment P2: Direct to Off-Site

Runoff = 0.29 cfs @ 12.08 hrs, Volume= 877 cf, Depth> 2.73"  
Routed to Link 1L : Off-Site

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 10-Yr Rainfall=5.35"

**Williston Avenue**

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed  
Type III 24-hr 10-Yr Rainfall=5.35"

Printed 3/9/2023

Page 5

Area (sf)	CN	Description
3,716	74	>75% Grass cover, Good, HSG C
136	98	Paved parking, HSG C
3,852	75	Weighted Average
3,716		96.47% Pervious Area
136		3.53% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					<b>Direct Entry,</b>

**Summary for Pond 2P: Infiltration System**

Inflow Area = 42,665 sf, 82.62% Impervious, Inflow Depth > 4.65" for 10-Yr event  
 Inflow = 5.12 cfs @ 12.07 hrs, Volume= 16,534 cf  
 Outflow = 0.48 cfs @ 12.86 hrs, Volume= 16,525 cf, Atten= 91%, Lag= 47.1 min  
 Discarded = 0.48 cfs @ 12.86 hrs, Volume= 16,525 cf  
 Primary = 0.00 cfs @ 0.00 hrs, Volume= 0 cf  
 Routed to Link 1L : Off-Site

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 31.11' @ 12.86 hrs Surf.Area= 2,100 sf Storage= 6,624 cf

Plug-Flow detention time= 128.1 min calculated for 16,525 cf (100% of inflow)  
 Center-of-Mass det. time= 127.8 min ( 898.0 - 770.2 )

Volume	Invert	Avail.Storage	Storage Description
#1	27.00'	4,865 cf	<b>Concrete Galley 4x8x4 x 52</b> Inside #2 Inside= 42.0"W x 43.0"H => 12.47 sf x 7.50'L = 93.6 cf Outside= 52.8"W x 48.0"H => 15.20 sf x 8.00'L = 121.6 cf 52 Chambers in 2 Rows
#2	26.00'	2,090 cf	<b>10.00'W x 210.00'L x 5.50'H Prismatic</b> 11,550 cf Overall - 6,325 cf Embedded = 5,225 cf x 40.0% Voids
		6,955 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	26.00'	<b>4.800 in/hr Exfiltration over Wetted area</b>
#2	Primary	31.30'	<b>12.0" x 264.0" Horiz. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads

**Discarded OutFlow** Max=0.48 cfs @ 12.86 hrs HW=31.11' (Free Discharge)  
 ↑ **1=Exfiltration** (Exfiltration Controls 0.48 cfs)

**Primary OutFlow** Max=0.00 cfs @ 0.00 hrs HW=26.00' (Free Discharge)  
 ↑ **2=Orifice/Grate** ( Controls 0.00 cfs)



## Williston Avenue

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed

Type III 24-hr 10-Yr Rainfall=5.35"

Printed 3/9/2023

Page 6

### Summary for Link 1L: Off-Site

Inflow Area = 46,517 sf, 76.07% Impervious, Inflow Depth > 0.23" for 10-Yr event  
Inflow = 0.29 cfs @ 12.08 hrs, Volume= 877 cf  
Primary = 0.29 cfs @ 12.08 hrs, Volume= 877 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs

## Williston Avenue

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed  
Type III 24-hr 25-Yr Rainfall=6.52"

Printed 3/9/2023

Page 7

### Summary for Subcatchment EA: Existing To Williston St

Runoff = 6.49 cfs @ 12.07 hrs, Volume= 20,298 cf, Depth> 5.24"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 25-Yr Rainfall=6.52"

Area (sf)	CN	Description
12,890	96	Gravel surface, HSG C
33,627	86	<50% Grass cover, Poor, HSG C
46,517	89	Weighted Average
46,517		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

### Summary for Subcatchment P1: Proposed to Infiltration System

Runoff = 6.32 cfs @ 12.07 hrs, Volume= 20,650 cf, Depth> 5.81"  
Routed to Pond 2P : Infiltration System

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 25-Yr Rainfall=6.52"

Area (sf)	CN	Description
7,415	74	>75% Grass cover, Good, HSG C
13,300	98	Roofs, HSG B
21,950	98	Paved parking, HSG C
42,665	94	Weighted Average
7,415		17.38% Pervious Area
35,250		82.62% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

### Summary for Subcatchment P2: Direct to Off-Site

Runoff = 0.40 cfs @ 12.07 hrs, Volume= 1,196 cf, Depth> 3.73"  
Routed to Link 1L : Off-Site

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 25-Yr Rainfall=6.52"



**Williston Avenue**

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed  
Type III 24-hr 25-Yr Rainfall=6.52"

Printed 3/9/2023

Page 8

Area (sf)	CN	Description
3,716	74	>75% Grass cover, Good, HSG C
136	98	Paved parking, HSG C
3,852	75	Weighted Average
3,716		96.47% Pervious Area
136		3.53% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					<b>Direct Entry,</b>

**Summary for Pond 2P: Infiltration System**

Inflow Area = 42,665 sf, 82.62% Impervious, Inflow Depth > 5.81" for 25-Yr event  
 Inflow = 6.32 cfs @ 12.07 hrs, Volume= 20,650 cf  
 Outflow = 3.04 cfs @ 12.22 hrs, Volume= 20,639 cf, Atten= 52%, Lag= 9.2 min  
 Discarded = 0.50 cfs @ 12.22 hrs, Volume= 18,627 cf  
 Primary = 2.54 cfs @ 12.22 hrs, Volume= 2,012 cf  
 Routed to Link 1L : Off-Site

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 31.36' @ 12.22 hrs Surf.Area= 2,100 sf Storage= 6,840 cf

Plug-Flow detention time= 119.9 min calculated for 20,639 cf (100% of inflow)  
 Center-of-Mass det. time= 119.5 min ( 884.5 - 765.0 )

Volume	Invert	Avail.Storage	Storage Description
#1	27.00'	4,865 cf	<b>Concrete Galley 4x8x4 x 52</b> Inside #2 Inside= 42.0"W x 43.0"H => 12.47 sf x 7.50'L = 93.6 cf Outside= 52.8"W x 48.0"H => 15.20 sf x 8.00'L = 121.6 cf 52 Chambers in 2 Rows
#2	26.00'	2,090 cf	<b>10.00'W x 210.00'L x 5.50'H Prismatic</b> 11,550 cf Overall - 6,325 cf Embedded = 5,225 cf x 40.0% Voids
		6,955 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	26.00'	<b>4.800 in/hr Exfiltration over Wetted area</b>
#2	Primary	31.30'	<b>12.0" x 264.0" Horiz. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads

**Discarded OutFlow** Max=0.50 cfs @ 12.22 hrs HW=31.36' (Free Discharge)  
 ↑1=Exfiltration (Exfiltration Controls 0.50 cfs)

**Primary OutFlow** Max=2.27 cfs @ 12.22 hrs HW=31.36' (Free Discharge)  
 ↑2=Orifice/Grate (Weir Controls 2.27 cfs @ 0.81 fps)

## Williston Avenue

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed

Type III 24-hr 25-Yr Rainfall=6.52"

Printed 3/9/2023

Page 9

### Summary for Link 1L: Off-Site

Inflow Area = 46,517 sf, 76.07% Impervious, Inflow Depth > 0.83" for 25-Yr event  
Inflow = 2.74 cfs @ 12.22 hrs, Volume= 3,208 cf  
Primary = 2.74 cfs @ 12.22 hrs, Volume= 3,208 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs



## Williston Avenue

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed  
Type III 24-hr 50-Yr Rainfall=7.39"

Printed 3/9/2023

Page 10

### Summary for Subcatchment EA: Existing To Williston St

Runoff = 7.48 cfs @ 12.07 hrs, Volume= 23,587 cf, Depth> 6.08"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 50-Yr Rainfall=7.39"

Area (sf)	CN	Description
12,890	96	Gravel surface, HSG C
33,627	86	<50% Grass cover, Poor, HSG C
46,517	89	Weighted Average
46,517		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

### Summary for Subcatchment P1: Proposed to Infiltration System

Runoff = 7.21 cfs @ 12.07 hrs, Volume= 23,718 cf, Depth> 6.67"  
Routed to Pond 2P : Infiltration System

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 50-Yr Rainfall=7.39"

Area (sf)	CN	Description
7,415	74	>75% Grass cover, Good, HSG C
13,300	98	Roofs, HSG B
21,950	98	Paved parking, HSG C
42,665	94	Weighted Average
7,415		17.38% Pervious Area
35,250		82.62% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

### Summary for Subcatchment P2: Direct to Off-Site

Runoff = 0.48 cfs @ 12.07 hrs, Volume= 1,442 cf, Depth> 4.49"  
Routed to Link 1L : Off-Site

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
Type III 24-hr 50-Yr Rainfall=7.39"

**Williston Avenue**

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed  
Type III 24-hr 50-Yr Rainfall=7.39"

Printed 3/9/2023

Page 11

Area (sf)	CN	Description
3,716	74	>75% Grass cover, Good, HSG C
136	98	Paved parking, HSG C
3,852	75	Weighted Average
3,716		96.47% Pervious Area
136		3.53% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					<b>Direct Entry,</b>

**Summary for Pond 2P: Infiltration System**

Inflow Area = 42,665 sf, 82.62% Impervious, Inflow Depth > 6.67" for 50-Yr event  
 Inflow = 7.21 cfs @ 12.07 hrs, Volume= 23,718 cf  
 Outflow = 6.50 cfs @ 12.13 hrs, Volume= 23,706 cf, Atten= 10%, Lag= 3.7 min  
 Discarded = 0.50 cfs @ 12.13 hrs, Volume= 19,922 cf  
 Primary = 6.00 cfs @ 12.13 hrs, Volume= 3,784 cf  
 Routed to Link 1L : Off-Site

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs  
 Peak Elev= 31.42' @ 12.13 hrs Surf.Area= 2,100 sf Storage= 6,885 cf

Plug-Flow detention time= 113.7 min calculated for 23,706 cf (100% of inflow)  
 Center-of-Mass det. time= 113.3 min ( 875.2 - 761.9 )

Volume	Invert	Avail.Storage	Storage Description
#1	27.00'	4,865 cf	<b>Concrete Galley 4x8x4 x 52</b> Inside #2 Inside= 42.0"W x 43.0"H => 12.47 sf x 7.50'L = 93.6 cf Outside= 52.8"W x 48.0"H => 15.20 sf x 8.00'L = 121.6 cf 52 Chambers in 2 Rows
#2	26.00'	2,090 cf	<b>10.00'W x 210.00'L x 5.50'H Prismatic</b> 11,550 cf Overall - 6,325 cf Embedded = 5,225 cf x 40.0% Voids
		6,955 cf	Total Available Storage

Device	Routing	Invert	Outlet Devices
#1	Discarded	26.00'	<b>4.800 in/hr Exfiltration over Wetted area</b>
#2	Primary	31.30'	<b>12.0" x 264.0" Horiz. Orifice/Grate</b> C= 0.600 Limited to weir flow at low heads

**Discarded OutFlow** Max=0.50 cfs @ 12.13 hrs HW=31.41' (Free Discharge)  
 ↑1=Exfiltration (Exfiltration Controls 0.50 cfs)

**Primary OutFlow** Max=5.39 cfs @ 12.13 hrs HW=31.41' (Free Discharge)  
 ↑2=Orifice/Grate (Weir Controls 5.39 cfs @ 1.08 fps)



## Williston Avenue

Prepared by Cabezas-DeAngelis LLC

HydroCAD® 10.10-7b s/n 10014 © 2022 HydroCAD Software Solutions LLC

Existing Vs. Proposed

Type III 24-hr 50-Yr Rainfall=7.39"

Printed 3/9/2023

Page 12

### Summary for Link 1L: Off-Site

Inflow Area = 46,517 sf, 76.07% Impervious, Inflow Depth > 1.35" for 50-Yr event  
Inflow = 6.38 cfs @ 12.13 hrs, Volume= 5,226 cf  
Primary = 6.38 cfs @ 12.13 hrs, Volume= 5,226 cf, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.01 hrs

## APPENDIX II

### Water Quality Analysis Calculation



Cabezas Deangelis  
78 Elm St  
Bridgeport, CT 06604-4115

SHEET # ..... OF: ..... PAGE # 1 OF: 1

MADE BY: C DeAngelis DATE: 3/10/23

CHKD BY: ..... DATE: \_\_\_/\_\_\_/\_\_\_

REVISED BY: ..... DATE: \_\_\_/\_\_\_/\_\_\_

CHKD BY: ..... DATE: \_\_\_/\_\_\_/\_\_\_

WQV - WILLISTON APARTMENTS

### WQV CALCULATIONS

$$WQV = 1" R \left( \frac{A}{12} \right)$$

$$A = 46,517 \text{ SF}$$

$$R = 0.05 + 0.009 (\% \text{ Imperv.})$$

$$\% \text{ Imperv.} = 76$$

$$R = 0.05 + 0.009 (76) = 0.734$$

$$WQV = 1" (0.734) \left( \frac{46,517}{12} \right) = 2,845 \text{ CF}$$

### STORAGE

PER HYDRO-CAD, THE FOLLOWING STORAGE IS AVAILABLE:

$$52 \text{ } 4 \times 4 \times 8' \text{ LONG GALLEYS} = 4,865 \text{ CF}$$

$$4,865 > 2,845 \text{ [OK]}$$

# COASTAL AREA MANAGEMENT APPLICATION

## ***CAM APPLICATION***

*for*

***New 4-Story, 60-Unit Residential Building &  
Related Site Improvements  
22-96 Williston Street  
Bridgeport, Connecticut 06607***

**Prepared for:**

MADL Coleman Holding Co., LLC  
1732 Reservoir Avenue  
Bridgeport, CT 06606

**Prepared by:**



Christian A. DeAngelis, P.E.

**CABEZAS DeANGELIS LLC**

78 Elm Street  
Bridgeport, CT 06604  
Telephone: (203) 330-8700  
Fax: (203) 330-8701

Project #21-07

March 9, 2023







## Application Form Municipal Coastal Site Plan Review For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions and submit it with the appropriate plans to appropriate **municipal agency**.

### Section I: Applicant Identification

Applicant:	<u>MADL Coleman Holding, LLC</u>	Date:	<u>03/09/2023</u>
Address:	<u>1732 Reservoir Avenue, Bridgeport, CT 06606</u>	Phone:	<u>203-650-2656</u>
Project Address or Location:	<u>22-24, 26-32, 40-46, 54, 62-64, 72, 82, 94-96 WILLISTON STREET</u>		
Interest in Property:	<input checked="" type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____		
List primary contact for correspondence if other than applicant:			
Name:	<u>Russo &amp; Rizio, LLC, c/o Christopher Russo, Attorney</u>		
Address:	<u>10 Sasco Hill Road</u>		
City/Town:	<u>Fairfield</u>	State:	<u>CT</u> Zip Code: <u>06824</u>
Business Phone:	<u>203-528-0590</u>		
e-mail:	<u>chris@russorizio.com</u>		

### Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- N/A  High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Stormwater treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

### Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

Site Plan for Zoning Compliance

N/A  Subdivision or Resubdivision

Special Permit or Special Exception

Variance

N/A  Municipal Project (CGS Section 8-24)

### Part I: Site Information

1. Street Address or Geographical Description: 22 - 96 Williston Street

City or Town: Bridgeport

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)?  YES  NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:  
There is no adjacent water. The closest tidal waters are 450'± from site - Yellow Mill River.

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:  
The site is located within Zone RX-2 (mixed office/retail use). The existing site is vacant and is being used to store vehicles and construction material. Surrounding properties are typically multi-family residential use (NX-2 Zone).

5. Indicate the area of the project site: 46,517 acres or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities

Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.

Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d)  Yes  No



**Part II.A.: Description of Proposed Project or Activity**

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The project involves the development of a new 4-story, 60-unit residential building on an existing vacant parcel of land. A driveway will be constructed on the east and west sides of the site (at Williston Street). The driveways will both be for two-way traffic. A parking lot for 50 vehicles will be constructed behind the building. A storm drainage system will be constructed below the parking lot to infiltrate run-off into the ground. The system will pick up flow from the building, the parking lot and most of the remaining site. There will be an increase in site coverage, however all new impervious surfaces will be directed into the new stormwater system. This property will be developed in keeping with the integrity of the zone and surrounding properties. Construction will have an approximately 12 month duration.

**Part II.B.: Description of Proposed Stormwater Best Management Practices**

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Storm water run-off from the building and the parking areas will be treated with a sub-grade stormwater infiltration system. The stormwater treatment is considered a Stormwater Best Management Practice. Stormwater run-off will also be improved by the planting of new lawn areas which will also aid in the attenuation of storm water run-off. Pre- and post-development stormwater run-off rates and volumes have been computed using the TR-55 method (see Drainage Report dated 3/9/2023). Water quality volume (WQV) has been determined to be 2,845 cf using methods as outlined in CT DEEP Stormwater Quality Manual. The proposed infiltration system can hold 4,865 cf and can be considered "primary treatment" based on the depth to groundwater at the site and the type of soils found via deep test pits. The system will remove at least 80% of the average annual total suspended solids (TSS).

### Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	<b>X</b>	<b>X</b>	<b>X</b>	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				<b>X</b>
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				<b>X</b>
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				<b>X</b>
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				<b>X</b>
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				<b>X</b>
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				<b>X</b>
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				<b>X</b>
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				<b>X</b>
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				<b>X</b>
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				<b>X</b>
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				<b>X</b>
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				<b>X</b>

\* General Coastal Resource policy is applicable to all proposed activities



**Part IV: Consistency with Applicable Coastal Resource Policies and Standards**

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

Complies w/ CGS 22a-92(a)(1) "...by promoting economic growth without significantly disrupting the environment..."

Complies w/ CGS 22a-92(b)(2)(F) "...manage coastal hazard areas to minimize hazards to property..."

Complies w/ CGS 22a-92(c)(2)(B) "...maintain patterns of water circulation in the placement of drainage control structures..."

**Part V: Identification of Applicable Coastal Use and Activity Policies and Standards**

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development\* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses\*\* - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);  
Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

\* General Development policies are applicable to all proposed activities

\*\* Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

## Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration. This project will be limited to the confines of the site and will be completed within approximately 12 months. All disturbed areas will be loamed, seeded and planted upon completion of construction. The proposed building will have new laterals to the existing street utilities.

## Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

*Please complete this section for all projects.*

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		✘
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		✘
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		✘
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		✘
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		✘
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		✘
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		✘
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		✘



**Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses**

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

- Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		✘
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		✘
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		✘

- Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

---

There is no proposed activity that will qualify as a water-dependent use. The project consists of the development of a 60-unit residential building. Although it is located in the Coastal Boundary, this parcel is not immediately adjacent to a water body nor does it propose any water dependent uses.

---



---



---



---



---



---

\*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

**Part VIII: Mitigation of Potential Adverse Impacts**

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

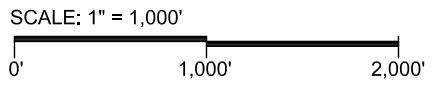
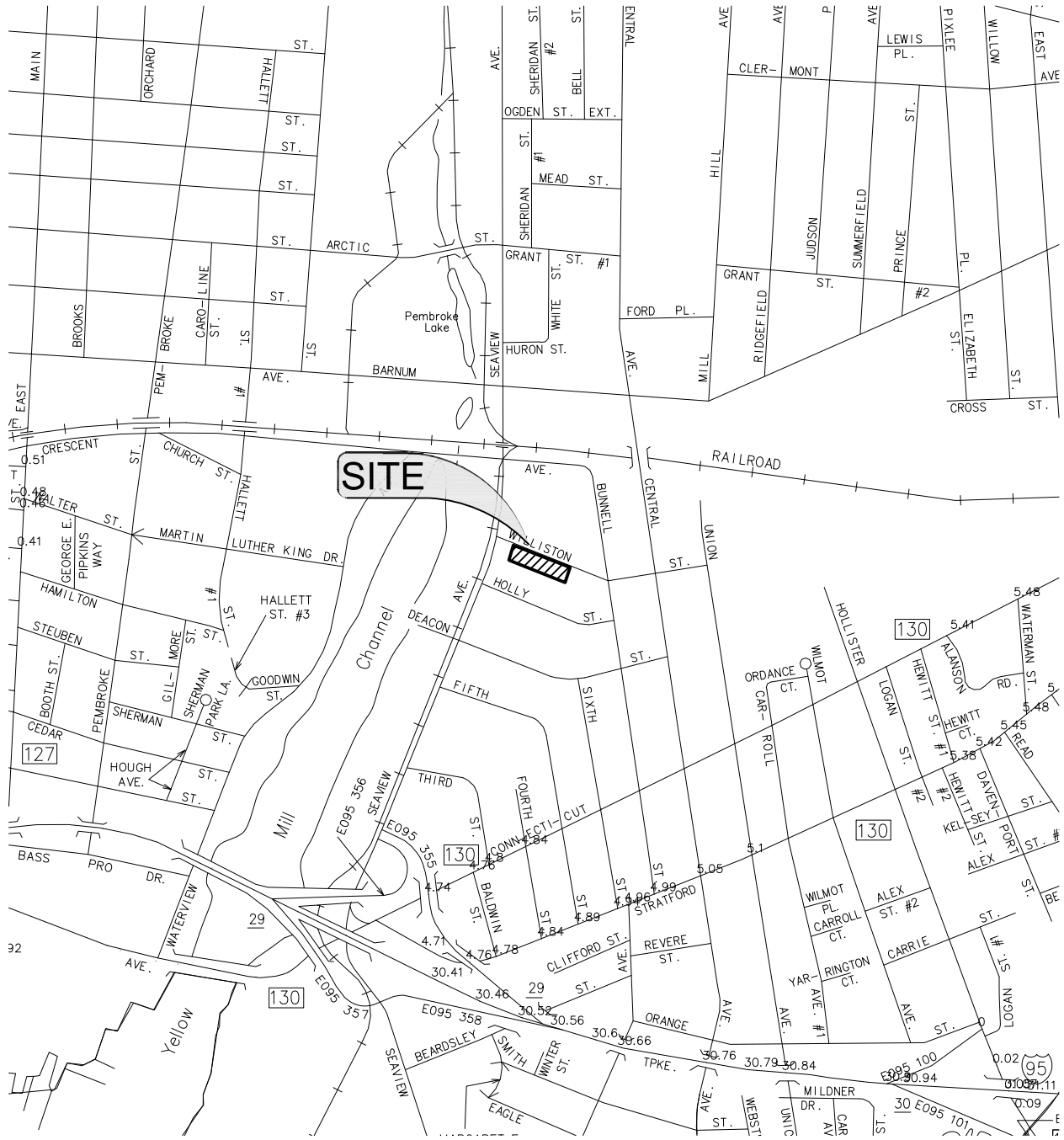
No adverse impacts were determined on adjacent coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration. New lawn areas will also reduce erosion and provide storm water infiltration. The proposed building will have new laterals to the existing street utilities.

**Part IX: Remaining Adverse Impacts**

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources - there will be no remaining adverse impacts resulting from the proposed activity.

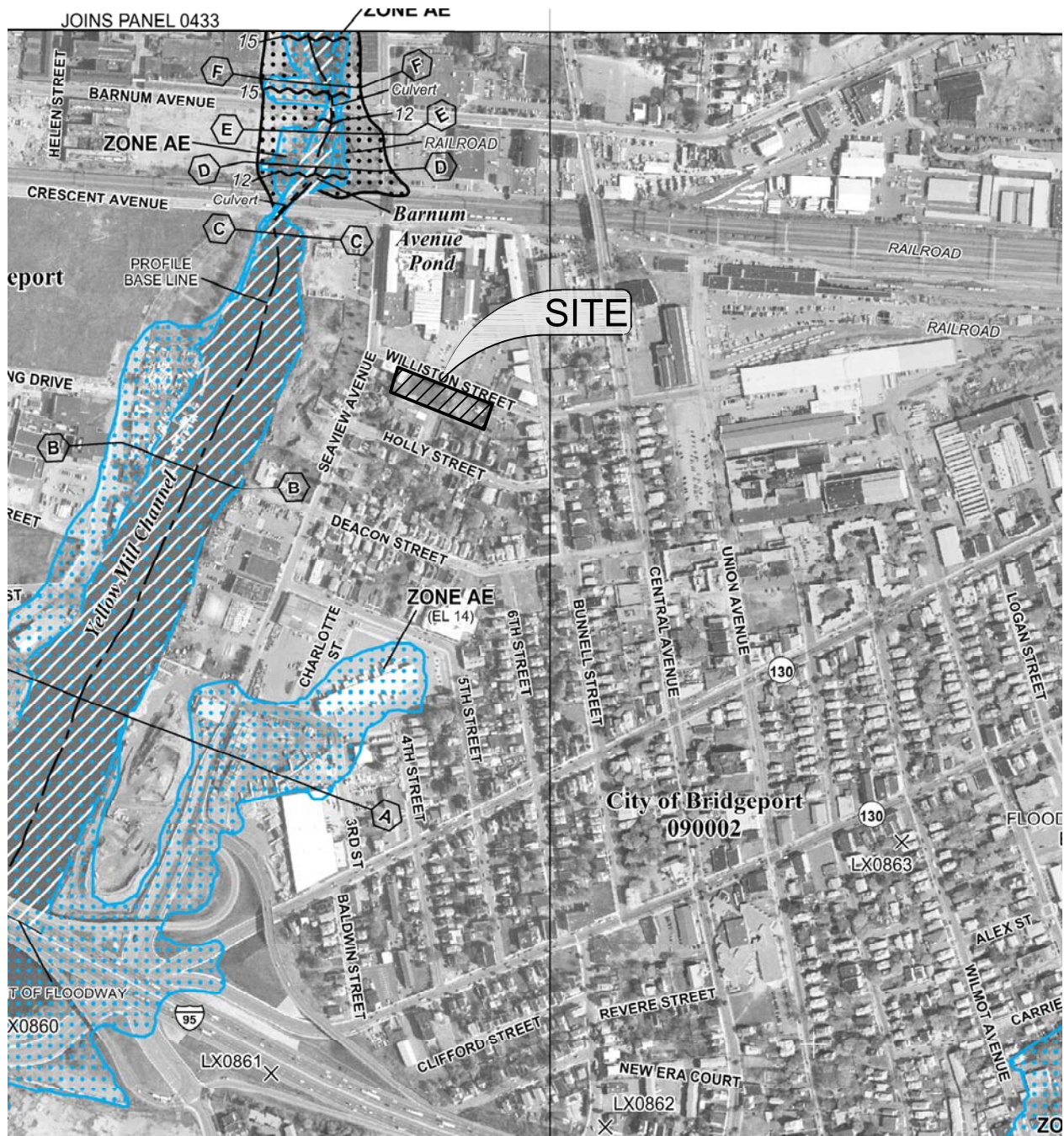




**Cabezas**  
**DeAngelis**  
 ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604  
 P:203 330 8700 • F:203 330 8701

<b>LOCATION MAP</b>	
<b>NEW 4-STORY RESIDENTIAL BUILDING &amp; RELATED SITE IMPROVEMENTS PROJECT</b> 22-96 WILLISTON STREET BRIDGEPORT, CT	
DATE: MARCH 2023	FIGURE A



ZONE X (UNSHADED)  
 MAP NO. 09001C0441G; EFFECTIVE DATE JULY 8, 2013  
 DATUM = NAVD 1988  
 NTS

**FEMA - FIRM MAP**

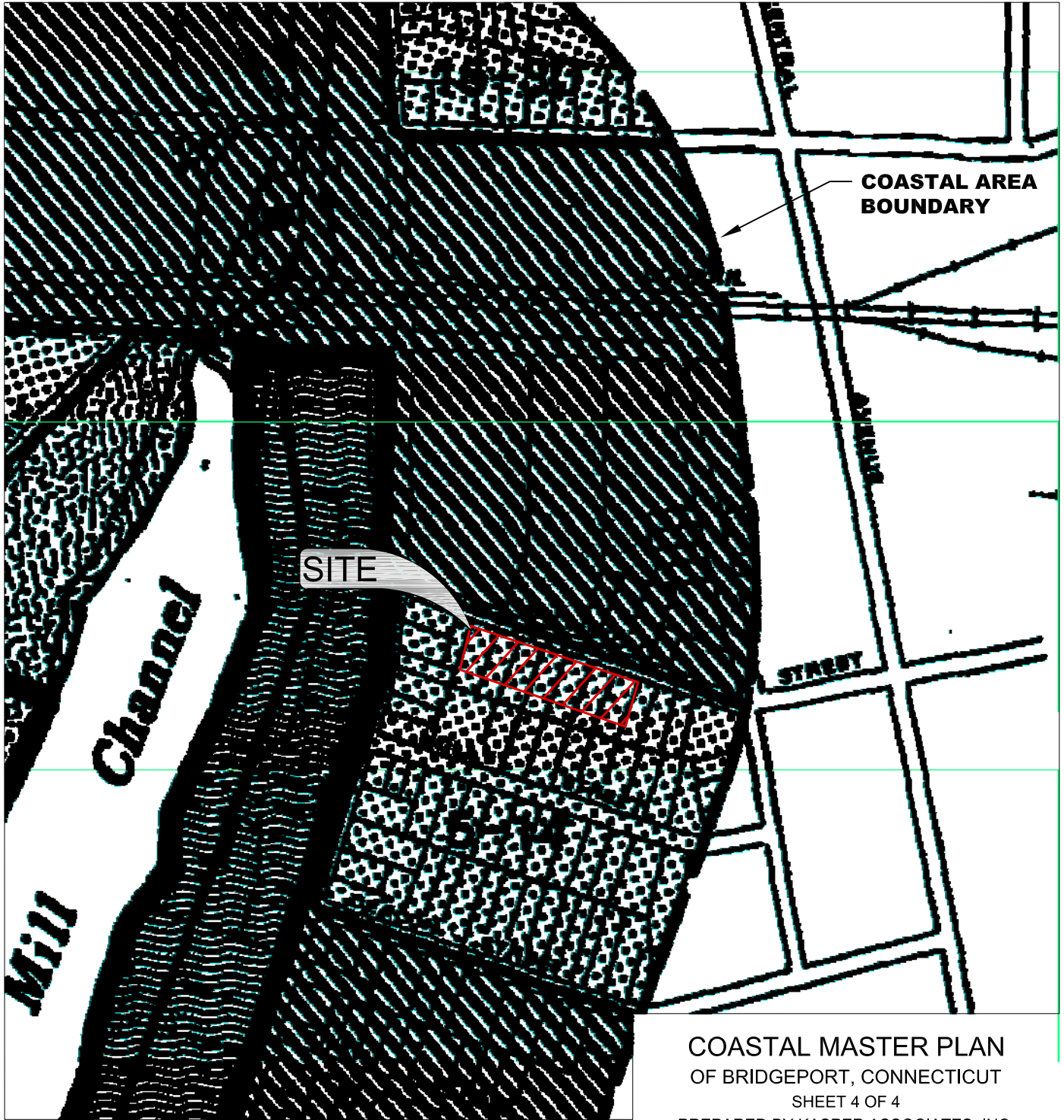
**NEW 4-STORY RESIDENTIAL BUILDING &  
 RELATED SITE IMPROVEMENTS PROJECT  
 22-96 WILLISTON STREET  
 BRIDGEPORT, CT**

DATE: MARCH 2023

FIGURE B







SCALE: NTS

COASTAL MASTER PLAN  
 OF BRIDGEPORT, CONNECTICUT  
 SHEET 4 OF 4  
 PREPARED BY KASPER ASSOCIATES, INC.  
 AUGUST 1982



78 ELM STREET, BRIDGEPORT, CT 06604  
 P: 203 330 8700 • F: 203 330 8701



COASTAL RESOURCE MAP - CITY

NEW 4-STORY RESIDENTIAL BUILDING &  
 RELATED SITE IMPROVEMENTS PROJECT  
 22-96 WILLISTON STREET  
 BRIDGEPORT, CT

DATE: MARCH 2023

FIGURE C



CITY OF BRIDGEPORT

File No. (23-14) JAN 13 '23 PM 3:02

# PLANNING & ZONING COMMISSION APPLICATION

RECVD IN THE BPT. ZONING DEPT. ON 1/13/23

1. NAME OF APPLICANT: Club Cohiba, LLC
2. Is the Applicant's name Trustee of Record? Yes  No   
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 99 Elm Street Bridgeport, CT 06604  
(aka 202 Fairfield Ave) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 916 Lot No. 4A
5. Amendments to Zoning Regulations: (indicate) Article: Not Applicable Section: \_\_\_\_\_  
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): ~~29~~ 21.23 ft / 191.71 ft / 19.21 ft / 190.6 ft  
See Attached Property Description
7. Existing Zone Classification: DX1 - Downtown Core
8. Zone Classification requested: Not Applicable
9. Describe Proposed Development of Property: Tobacco Bar/Retailer.

Approval(s) requested: Tobacco Bar/Retailer

Signature: Allah Bey Date: 12/29/22  
Print Name: Allah Bey

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: \_\_\_\_\_  
Print Name: \_\_\_\_\_

Mailing Address: 99 Elm ST. Bridgeport, CT 06604  
Phone: \_\_\_\_\_ Cell: 203-522-1291 Fax: \_\_\_\_\_  
E-mail Address: Dawud.ClubCohiba@gmail.com or allahbey@gmail.com

\$ 835 Fee received Date: 12/29/22 Clerk: [Signature]  
1/13/23

**THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST**

- Completed & Signed Application Form
- A-2 Site Survey
- Building Floor Plans
- Completed Site / Landscape Plan
- Drainage Plan
- Building Elevations
- Written Statement of Development and Use
- Property Owner's List
- Fee
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

**PROPERTY OWNER'S ENDORSEMENT OF APPLICATION**

202 FAV, LLC Print Owner's Name  
[Signature] Owner's Signature  
12/29/22 Date

\_\_\_\_\_  
 Print Owner's Name  
 \_\_\_\_\_  
 Owner's Signature  
 \_\_\_\_\_  
 Date



CLUB COHIBA, LLC  
99 ELM ST  
BRIDGEPORT, CT 06604

To whom it may concern:

CLUB COHIBA, LLC a licensed tobacco retailer and distributor in the State of Connecticut seeks to open a membership-driven Tobacco Bar/Cigar Club at the above-mentioned location within the downtown area of the City of Bridgeport. We have secured a location and currently have entered into a five-year lease with the owners known as 202 FAV LLC. It is **not** our intent to alter, modify and/or develop the existing property nor modify any zoning regulations or classifications. We will be opening a retail cigar/tobacco store coupled with seating areas for members and customers.

Thank you,

Allah Bey  
Manager/owner  
Club Cohiba  
99 Elm St  
Bridgeport, CT 06604

**SCHEDULE A**

**PROPERTY DESCRIPTION**

All that certain piece or parcel of land, together with the buildings and improvements located therein, situated in the city of Bridgeport, County of Fairfield and State of Connecticut, being more particularly bounded and described as follows:

- NORTHERLY: By Elm Street, 18.45 feet;
- EASTERLY: By land now or formerly of F. William Behrens, by a center line of a party wall, 197.60 feet;
- SOUTHERLY: By Fairfield Avenue, 18.30 feet; and
- WESTERLY: By land now or formerly of Abraham C. Schnee and Samuel M. Schnee, , 194.66 feet.

TOGETHER WITH terms and conditions of a Party Wall Agreement contained in a Warranty Deed dated January 7, 1926 and recorded in Volume 539 at Page 327 of the Bridgeport Land Records.

Said premises are also known as 196 Fairfield Avenue, Bridgeport, CT.

All that certain piece or parcel of land, together with the buildings and improvements located therein, situated in the city of Bridgeport, County of Fairfield and State of Connecticut, being bounded and described as follows:

- NORTHERLY: On Elm Street, 18.45 feet;
- EASTERLY: On land now or formerly of George and Rose Trigas, 191.71 feet;
- SOUTHERLY: On Fairfield Avenue, 19.17 feet; and
- WESTERLY: In part on land now or formerly of Twelve Hundred Broad Street, Inc. and in part on land now or formerly of the Peerless Parking Company, in all, 188.67 feet.

Said premises are also known as 202 Fairfield Avenue, Bridgeport, CT.



All that certain piece or parcel of land, together with the buildings and improvements located therein, situated in the city of Bridgeport, County of Fairfield and State of Connecticut, and being more particularly bounded and described as follows:

NORTHERLY: By Elm Street, 18.46 feet;

EASTERLY: By land now or formerly of Fred McLeod, 194.66 feet;

SOUTHERLY: By Fairfield Avenue, 18.18 feet; and

WESTERLY: By land now or formerly of Henry T. Shelton, 191.70 feet.

TOGETHER WITH terms and conditions of a Party Wall Agreement contained in a Warranty Deed dated January 7, 1926 and recorded in Volume 539 at Page 327 of the Bridgeport Land Records.

Said premises are also known as 200 Fairfield Avenue, Bridgeport, CT.

**99 ELM STREET (aka 202 FAIRFIELD AVENUE)**

**(list of property owners within 100-feet)**

<b>1130 BROAD ST</b> CITY OF BRIDGEPORT PARKS DEPARTMENT 7 QUARRY ROAD TRUMBULL, CT 06611	<b>220 FAIRFIELD AVE</b> FAIRBROAD, LLC C/O LAZ PARKING 15 LEWIS ST HARTFORD, CT 06103	<b>1184-1186 BROAD ST</b> FAIRBROAD, LLC C/O LAZ PARKING 12 LEWIS ST HARTFORD, CT 06103
<b>1200 BROAD ST</b> MUHAMMADS MOSQUE #41, INC 1200 BROAD ST BRIDGEPORT, CT 06604	<b>202 FAIRFIELD AVE</b> 202 FAV, LLC 202 FAIRFIELD AVE BRIDGEPORT, CT 06604	<b>190 FAIRFIELD AVE</b> BULLDOG MANAGEMENT, LLC 190 FAIRFIELD AVE BRIDGEPORT, CT 06604
<b>180 FAIRFIELD AVE</b> CHILD GUIDANCE CENTER OF BPT 180 FAIRFIELD AVE BRIDGEPORT, CT 06604	<b>1208 BROAD STREET</b> BROAD AND GOLDEN, LLC 153 MAIN STREET, UNIT 201 ANSONIA, CT 06401	<b>90-94 ELM ST &amp; 84 ELM ST</b> GOLDENVAAL INVESTMENTS, LLC 371 SKYTOP DR FAIRFIELD, CT 06825
<b>78 ELM STREET</b> 78 ELM STREET, LLC BRIDGEPORT, CT 06604	<b>196-200 FAIRFIELD AVE</b> 202 FAV, LLC 881 LAFAYETTE BLVD RETAIL 2 BRIDGEPORT, CT 06604	



(23-14)



**Secretary of the State of Connecticut**  
**Certificate of Organization**  
Domestic Limited Liability Company

**Filing Details**

Filing Number: 0010126912 Number of Pages: 3 Filed On: 10/06/2021 03:46 PM

**Primary Details**

Name of Limited Liability Company: CLUB COHIBA LLC  
Business ALEI: US-CT.BER:2359192  
Business Email Address: allahbey07@gmail.com  
NAICS Information: Tobacco Stores (453991)

**Business Location**

Principal Office Address: 99 Elm Street, Bridgeport, CT, 06604, United States  
Mailing Address: 99 Elm Street, Bridgeport, CT, 06604, United States

**Appointment of Registered Agent Appointment of Statutory Agent for Service of Process**

Type: Business  
Agent's Name: REGISTERED AGENTS INC.  
Agent's ALEI: US-CT.BER:1031851  
Business Address: 2389 Main ST., STE 100, Glastonbury, CT, 06033, United States  
Mailing Address: 2389 Main ST., STE 100, Glastonbury, CT, 06033, United States

**Agent Appointment Acceptance**

Agent Signature: Bill Havre  
Title: Assistant Secretary  
*This signature has been executed electronically*



**Secretary of the State of Connecticut**  
**Certificate of Organization**  
Domestic Limited Liability Company

**Manager or Member Information**

<i>Name</i>	<i>Title</i>	<i>Business Address</i>	<i>Residence Address</i>
ALLAH BEY	Manager	99 Elm Street, Bridgeport, CT, 06604 United States	1000 Lafayette Blvd, 1100 Bridgeport, CT, 06604 United States
ROBERT SHERWOOD	Manager	99 Elm Street, Bridgeport, CT, 06604 United States	881 Lafayette Blvd, Retail 2 Bridgeport, CT, 06604 United States
Roger McKenzie	Manager	99 Elm Street, Bridgeport, CT, 06604 United States	19 Hinman St, Meriden, CT, 06450 United States
Mark Moodie	Member	99 Elm Street, Bridgeport, CT, 06604 United States	99 Elm Street, Bridgeport, CT, 06604 United States
Christophe r Nanco	Member	99 Elm Street, Bridgeport, CT, 06604 United States	99 Elm Street, Bridgeport, CT, 06604 United States

**Acknowledgement**

I hereby certify and state under penalties of false statement that all the information set forth on this document is true.

I hereby electronically sign this document on behalf of:



**Secretary of the State of Connecticut**  
**Certificate of Organization**  
Domestic Limited Liability Company

Name of Organizer: ALLAH BEY  
Organizer Title: Manager

Filer Name: ZenBusiness Inc.  
Filer Signature: ZenBusiness Inc.  
Execution Date: 10/06/2021  
*This signature has been executed electronically*





**Secretary of the State of Connecticut**  
**Certificate of Organization**

Domestic Limited Liability Company

Name of Organizer: ALLAH BEY  
Organizer Title: Manager

Filer Name: ZenBusiness Inc.  
Filer Signature: ZenBusiness Inc.  
Execution Date: 10/06/2021

*This signature has been executed electronically*

(23-14)



ENGINEERS & SURVEYORS • 78 ELM STREET • BRIDGEPORT, CONNECTICUT 06604

January 3, 2023

Mr. Paul Boucher, Zoning Director  
Bridgeport City Hall  
45 Lyon Terrace, Rm. 210  
Bridgeport, CT 06604

**Re: 202 Fairfield Avenue / 99 Elm Street**

Dear Mr. Boucher:

This letter is to certify that, to the best of my knowledge and belief, there are no schools located within 500' of the subject property. Please see the attached abutter's map for reference.

If you have any questions regarding this letter, please do not hesitate to contact me.

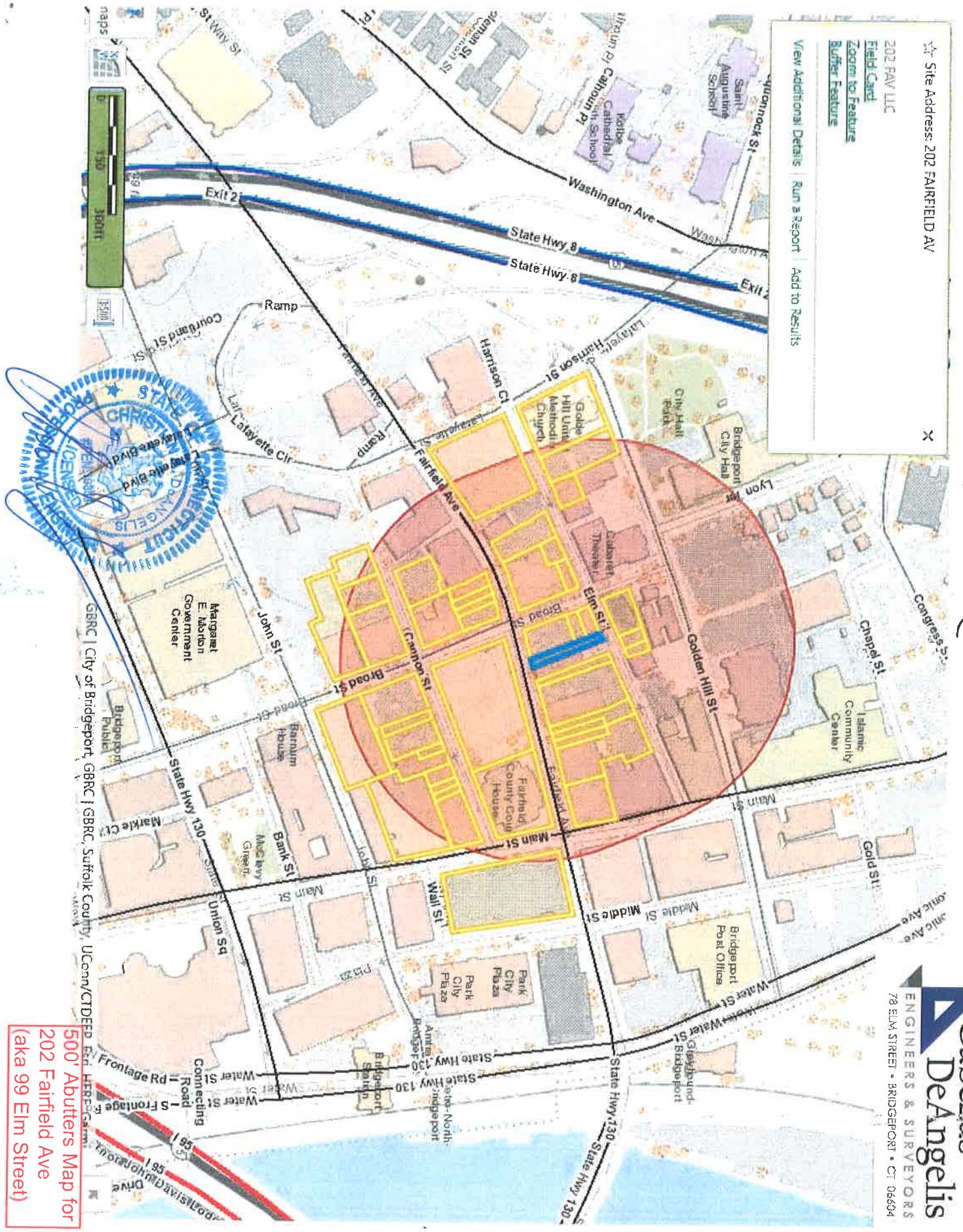
Sincerely,

A handwritten signature in blue ink that reads "Chris DeAngelis". The signature is fluid and cursive, with a long horizontal line extending to the right.

Chris DeAngelis, PE  
CABEZAS-DeANGELIS, LLC

99 Elm Street (aka 202 Fairfield Ave.)

☆ Site Address: 202 FAIRFIELD AV  
 202 FAV LLC  
 Field Card  
 Zoom to Feature  
 Buffer Feature  
 View Additional Details | Run a Report | Add to Results



**Cabezas**  
**DeAngelis**  
 ENGINEERS & SURVEYORS  
 78 ELM STREET • BRIDGEPORT • CT 06604

500' Abutters Map for  
 202 Fairfield Ave  
 (aka 99 Elm Street)

GBRC | City of Bridgeport, GBRC | GBRC, Suffolk County, UConn/CTDEP, End HERP/GAMA





ANTINOZZI ASSOCIATES  
ARCHITECTURE & INTERIORS

COPYRIGHT 2017 BY:  
ANTINOZZI ASSOCIATES, P.C.  
271 Fairfield Avenue  
Bridgeport, Connecticut 06604  
Tel: (203) 377-1300  
Fax: (203) 378-3002

301 Merritt 7  
Norwalk, Connecticut 06851  
Tel: (203) 956-5460 www.antinozzi.com

These documents have been prepared specifically for this project. Reproduction or other use of these documents is prohibited without the approval of the Architect.

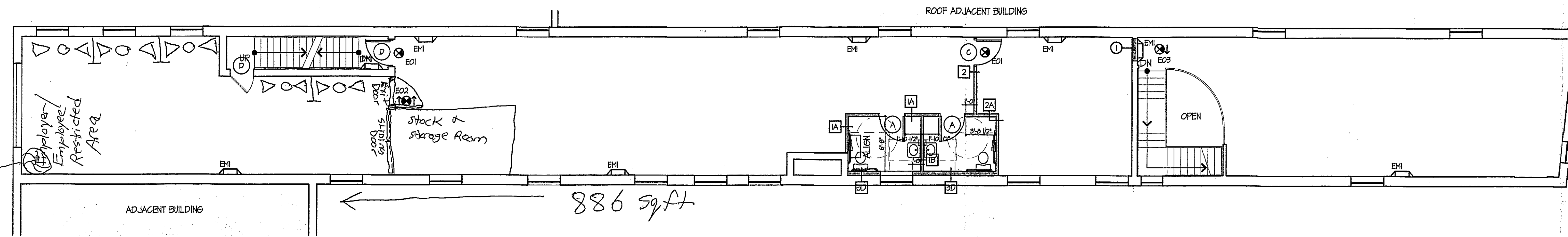
CERTIFICATION:

REVISIONS	DATE	DESCRIPTION
-	04-08-19	ISSUED FOR PERMIT
△	08-01-19	REVISIONS PER BUILDING DEPARTMENT COMMENTS

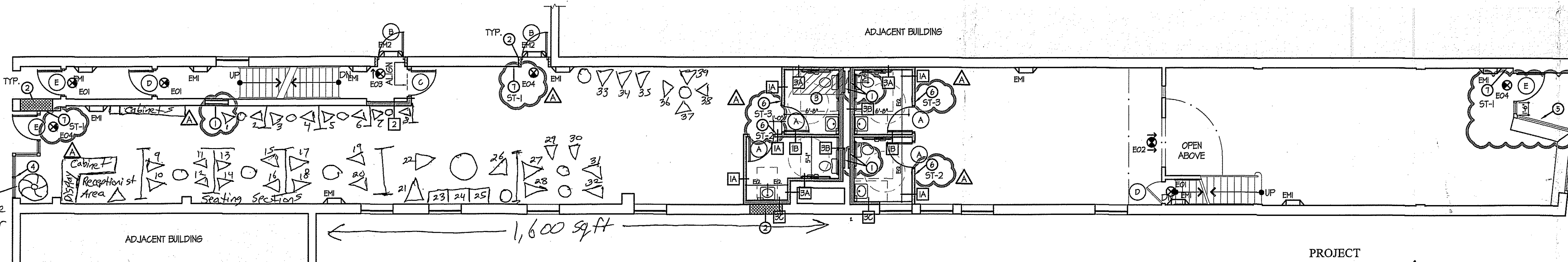
Tables

Chairs

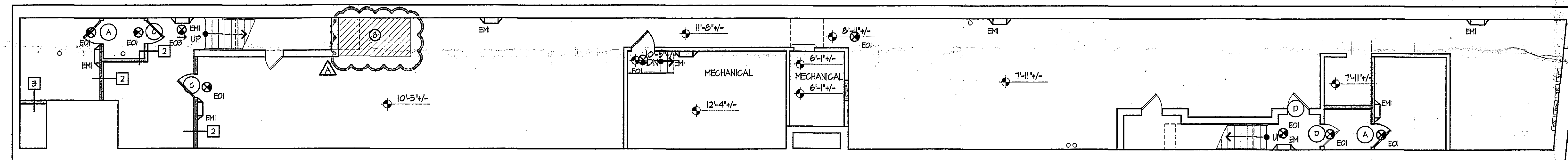
Spiral Staircase Down



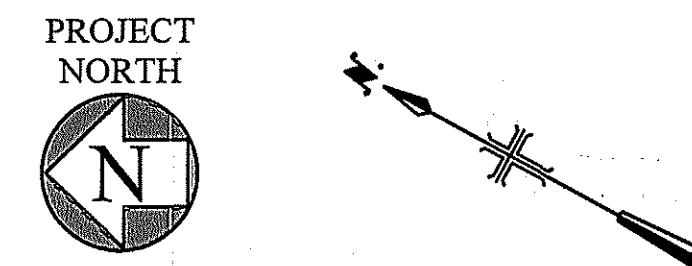
SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



BASEMENT PLAN  
SCALE: 1/8" = 1'-0"



**LIGHTING LEGEND**

EM1	WALL MOUNTED INTERIOR EMERGENCY LIGHT WITH INTEGRATED BATTERY BACK-UP
EM2	WALL MOUNTED EXTERIOR EMERGENCY LIGHT WITH INTEGRATED BATTERY BACK-UP

**EXIT SIGN LEGEND**

EO1	EXIT SIGN WITH INTEGRATED BATTERY BACK-UP
EO2	DOUBLE SIDED EXIT SIGN WITH DIRECTIONAL ARROWS EACH SIDE AND INTEGRATED BATTERY BACK-UP
EO3	EXIT SIGN WITH SINGLE DIRECTIONAL ARROW AND INTEGRATED BATTERY BACK-UP
EO4	EXIT SIGN WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY AND INTEGRATED BATTERY BACK-UP

**LIFE SAFETY GENERAL NOTES**

A. ALL LIFE SAFETY BY LANDLORDS CONTRACTOR.

B. TEMPORARY CONSTRUCTION WALL MOUNTED EMERGENCY LIGHTS QUANTITY AND LOCATIONS TO BE REVIEWED AND APPROVED BY FIRE MARSHAL.

C. EACH EXIST SIGN MUST HAVE THE WORD "EXIT" IN PLAINLY LEGIBLE LETTERS NOT LESS THAN SIX INCHES HIGH, WITH THE PRINCIPAL STROKES OF THE LETTERS IN THE WORD "EXIT" NOT LESS THAN 3/4" WIDE.

**WALL LEGEND**

NOTE:  
ALL METAL STUDS SHALL BE 25 GA. (MIN) GALVANIZED STEEL AT 16" O.C.  
ALL NEW WALLS TYPE "1" UNLESS OTHERWISE NOTED.

---	EXISTING PARTITION WALL.
1	TYPICAL FULL HEIGHT PARTITION - 3 5/8" METAL STUDS WITH (1) LAYER 5/8" GYPSUM BOARD ON EACH SIDE UP TO UNDERSIDE OF SLAB.
1A	FULL HEIGHT IN SOUND ATTENUATION & GREEN BOARD - SAME AS TYPE 1, WITH SOUND ATTENUATION BLANKETS BETWEEN STUDS AND (1) LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD (NET SIDE).
1B	FULL HEIGHT IN SOUND ATTENUATION & GREEN BOARD - SAME AS TYPE 1, WITH SOUND ATTENUATION BLANKETS BETWEEN STUDS AND (1) LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD ON BOTH SIDES.
2	TYPICAL 1 HR RATED PARTITION - 3 5/8" METAL STUDS WITH (1) LAYER 5/8" GYPSUM BOARD ON EACH SIDE UP TO UNDERSIDE OF SLAB. FILL ALL VOIDS AS REQUIRED TO MAINTAIN PARTITION RATING.
2A	1 HR RATED PARTITION IN SOUND ATTENUATION & GREEN BOARD - SAME AS TYPE 2, WITH SOUND ATTENUATION BLANKETS BETWEEN STUDS AND (1) LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD (NET SIDE).
3	TYPICAL FULL HEIGHT FUR-OUT PARTITION - 3 5/8" METAL STUDS WITH (1) LAYER 5/8" GYPSUM BOARD UP TO UNDERSIDE OF SLAB.
3A	FULL HEIGHT FUR-OUT PARTITION IN GREEN BOARD - SAME AS TYPE 3, WITH (1) LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD (NET SIDE).
3B	FULL HEIGHT FUR-OUT PARTITION IN GREEN BOARD - SAME AS TYPE 3, WITH 4" METAL STUD AND (1) LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD (NET SIDE).
3C	FULL HEIGHT FUR-OUT PARTITION IN SOUND ATTENUATION & GREEN BOARD - SAME AS TYPE 3, WITH SOUND ATTENUATION BLANKETS BETWEEN STUDS AND (1) LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD (NET SIDE).
3D	FULL HEIGHT FUR-OUT PARTITION IN SOUND ATTENUATION & GREEN BOARD - SAME AS TYPE 3, WITH 4" MTL. STUD, SOUND ATTENUATION BLANKETS BETWEEN STUDS AND (1) LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD (NET SIDE).

**SHEET NOTES**

SHOWN AS: ○

△ 1 INFILL BLOCK WALL/DOOR OPENING WITH A ONE HOUR RATED SHAFT WALL ASSEMBLY AT EACH SIDE OF OPENING. REFER TO UL # U464

△ 2 INFILL EXTERIOR BLOCK WALL AS REQUIRED.

△ 3 INFILL SLAB AT REMOVED STEPS ARE REQUIRED.

△ 4 PROVIDE NEW 4 1/2" X 1 3/4" INSULATED ALUMINUM FRAME STOREFRONT WITH CLEAR TEMPERED INSULATED GLAZING. PROFILE AND MANUFACTURER TO BE SELECTED BY OWNER. SHOP DRAWINGS TO BE SUBMITTED FOR REVIEW PRIOR TO CONSTRUCTION.

△ 5 NEW MOOD FRAME STOREFRONT AND SILL WITH CLEAR TEMPERED GLAZING TO MATCH EXISTING.

△ 6 PROVIDE ACCESSIBLE BATHROOM SIGNAGE - REFER TO INFO SHEET FOR DETAIL, SIGN DESIGNATION, AND MOUNTING LOCATION.

△ 7 PROVIDE ACCESSIBLE EXIT SIGNAGE - REFER TO INFO SHEET FOR DETAIL, SIGN DESIGNATION, AND MOUNTING LOCATION.

△ 8 PORTION OF CEILING TO RECEIVE ONE HOUR FIRE RATED HORIZONTAL SHAFT WALL GYP. BD. CEILING ASSEMBLY - REFER TO UL # U464

**DOOR SCHEDULE**

NOTE: ALL DOOR HARDWARE TO BE SARGENT 1" LEVER BRUSHED ALUMINUM FINISH, ALL DOORS WITH LOCKSETS SHALL BE KEYPED ALIKE TO MASTER KEY.

A	NEW 3'-0" X 7'-10" PAINT GRADE SOLID CORE WOOD DOOR ON 2" HOLLOW METAL FRAME.
B	NEW 3'-0" X 7'-10" INSULATED HOLLOW METAL DOOR ON 2" HOLLOW METAL FRAME.
C	NEW 3'-0" X 7'-10" FIRE RATED HOLLOW METAL DOOR ON 2" FIRE RATED HOLLOW METAL FRAME.
D	NEW FIRE RATED HOLLOW METAL DOOR ON NEW 2" FIRE RATED HOLLOW METAL FRAME. DOOR & FRAME SIZE TO MATCH EXISTING R.O.
E	NEW 3'-0" X 7'-10" PAINT GRADE INSULATED EXTERIOR DOOR. FRAME PART OF STOREFRONT.

(23-14)

202 FAIRFIELD AVENUE  
BASE BUILDING FIT-OUT  
202 FAIRFIELD AVENUE  
BRIDGEPORT, CONNECTICUT

DRAWING TITLE:  
ALL FLOORS CONSTRUCTION PLANS

SCALE: AS NOTED    DRAWN BY: JI    REVIEWED BY: JI

DRAWING NO. **A-101**

DATE: 8 APRIL 2019    JOB NUMBER: 17009



# CITY OF BRIDGEPORT PLANNING & ZONING COMMISSION

## CHECKLIST FOR PUBLIC HEARING APPLICATIONS

### I. **REQUIRED INFORMATION** (except for **Fee & USB** submit an original & 16 copies of all below)

- Completed & Signed Application & Checklist Form
- Fee
- Written Statement of Development Use
- Completed Site Plan
- Drainage Plan
- Building Floor Plans
- Property Owner's List
- Cert. of Corporation/Org. of First Report
- A-2 Site Survey
- Building Elevations
- Other Evidence/Testimonial Information
- 1 USB MEMORY FLASH DRIVE STICK

**NOTE:** Please provide 1 USB MEMORY FLASH DRIVE Stick:

- The information on the memory flash drive sticks must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labeled** with the property address, applicant name and date of hearing.
- **All plans and paper work that is submitted to the zoning office must be FOLDED (11x17 or smaller) and Collated into 17 separate packets.**

### II. **SUPPLEMENTARY INFORMATION (Optional)**

- Perspective Rendering
- Building and Site Sections
- Eight 8 x10 Color or Black/White Photos of the Current Premises' Condition
- Copies of Zoning Board of Appeals, or Historic District Commission Decisions
- Drainage Report
- Traffic Studies
- Environmental Impact Statement
- Real Estate Studies
- Department of Environmental Protection or Coastal Area Management reports
- Aerial Photographs

### III. **OPTIONAL EXHIBITS (may be presented at the public hearing)** (16 copies not required)

- Color Rendering
- Models
- Material Sample
- OTHER: \_\_\_\_\_

## CITY OF BRIDGEPORT

### PLANNING & ZONING COMMISSION

#### CHECKLIST FOR PUBLIC HEARING APPLICATIONS

The following requirements shall apply to all applications for public hearings before the Bridgeport Planning & Zoning Commission and for all agenda dates on or after December 23, 2011.

The following are required components for any and all applications for a **change of zone; site plan review; motor vehicle; sub-division; special permit; or coastal site plan reviews** applications. Except for the Fee & USB, the Petitioner shall submit **one (1) original and sixteen (16) copies of all materials described below in sections I & II pertinent to the application.** The agenda closing date shall be five (5) weeks prior to the public hearing. No materials submitted by the petitioner after the agenda closing date shall be accepted by the Clerk or by the Commission, unless exempted under Section III below. Failure to provide any of the components listed under Section I below may be deemed by the Commission to be grounds for denial due to incomplete information.

#### **I. REQUIRED INFORMATION**

- A Complete and signed application form. **(The application must be signed by the current property owner)**
- Fee
- A written statement, not to exceed one hundred (100) words, describing all proposed uses.
- The original plus sixteen (16) copies of a site plan prepared, signed and sealed** by an engineer, architect or landscape architect registered and licensed to conduct business in the State of CT. Dated and meeting the following requirements:
  - The site plan must be drawn to a scale of 100 feet or less to the inch.
  - Proposed and existing structures and amenities, including, but not limited to, footprints of foundations, porches, decks, walkways, travel lanes, shall be indicated. Dimensions to property lines from structures and overall building dimensions shall also be shown. The dimensions of parking lot, including isle width and length, and width of parking spaces shall be shown.
  - All applicable (existing and proposed) Zone Development Standards.
  - Existing and proposed grades shall be shown at 2-foot intervals.
  - One or more benchmarks that can be used in the field to verify conditions shall be indicated.



- A drainage plan prepared by a professional engineer, showing all provisions for site runoff; on-site retentions; connections to city services; and any other pertinent information, including City Engineer's requirements.
- Building floor plans (all floors above and below grade) shall be prepared by a licensed architect, showing any and all proposed new construction or additions to existing structures. Additions and alterations shall be clearly delineated from existing work. Minimum scale 1/16" = 1"0.
- A list of names and addresses of all property owners within 100 feet of all property lines of the subject property shall be provided.
- If the petitioner is a corporation a copy of the "Certificate of Corporation" and "Organization and First Report" as filed with the Office of the Secretary of the State of CT must be filed with the application.
- An A-2 survey.
- For applications involving a building(s), the following shall be submitted:
  - Preliminary architectural plans, sections, and/or elevations at 1/4" or 1/8" = 1' showing exterior wall elevations, roof lines, façade materials or other features of proposed buildings or structures.
  - Drawings prepared by a registered architect, landscape architect or professional engineer licensed in the State of CT, each individually sealed and signed by the design professional, (except seals not required on residential projects of less than 5,000 square feet total).
- Any other evidence or testimonial information, which will be presented by the petitioner at a public hearing.

**Note:** All of the above information shall be submitted at the time of filing. Applications with missing information will be deemed incomplete; will not be processed and will be immediately returned to the applicant.

## **II. SUPPLEMENTARY INFORMATION**

- Perspective renderings, either in black and white or in color, reproduced either photographically or by diazo print, showing principal street side view of the proposed development. Minimum size 8"x10" (for photos); Maximum size 30"x42". Color renderings may be presented at the public hearing provided diazo print or photo reproduction has been submitted to the Clerk for distribution before the agenda closing date.
- Building and site section drawings to show relationship of proposed development to existing adjacent streets and buildings.

- Not more than eight (8) 8"x10" color or black and white photographs showing existing site conditions or surrounding area. These may be reproduced xerographically for application filing.
- Copies of any pertinent actions by the Zoning Board of Appeals or Historic District Commission.
- Drainage reports, traffic studies, environmental impact studies and/or real estate studies.
- State Department of Environmental Protection (DEP) or Coastal Area Management (CAM) reports.
- Aerial photographs of subject parcel and surrounding environment.

### **III. OPTIONAL EXHIBITS**

The following items may be presented to the Commission at the time of the public hearing (16 copies not required) without need for filing on or before the agenda closing date:

- Color renderings (see Section II item) provided the Commission has received through the Clerk reduced photographic reproductions, or black and white versions of the renderings.
- Models of proposed building(s).
- Samples of materials and/or colors to be used in the proposed development.


**Note:** Staff reports or departmental correspondence (e.g. City Engineer, W.P.C.A., Fire Marshal, Design Review Coordinator, etc.) shall be received and distributed by the Clerk of the Commission on or before the date of the public hearing. **Whether such reports or correspondence is received before the agenda closing date shall not pose any penalty to the Petitioner and shall be the responsibility of the staff.**



# PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: V & L Properties, LLC
2. Is the Applicant's name Trustee of Record? Yes \_\_\_\_\_ No X  
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 117 Princeton Street, Bridgeport, CT 06605  
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 235 Lot No. 32
5. Amendments to Zoning Regulations: (indicate) Article: \_\_\_\_\_ Section: \_\_\_\_\_  
**(Attach copies of Amendment)**
6. Description of Property (Metes & Bounds): See submitted survey: 50' x 100'
7. Existing Zone Classification: NX1
8. Zone Classification requested: \_\_\_\_\_
9. Describe Proposed Development of Property: Proposed construction of a 2.5 story, four unit dwelling and associated Site Improvements.

Approval(s) requested: Coastal Site Plan Review and Site Plan Review

Signature:  Date: 2/14/2023  
 Print Name: Wilson T. Carroll, Esq.

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature:   
 Print Name: Wilson T. Carroll (Attorney)  
 Mailing Address: c/o Wilson T. Carroll, Cohen and Wolf, P.C., 1115 Broad Street, Bridgeport, CT 06604  
 Phone: 203-368-0211 Cell: 203-337-4123 Fax: 203-337-5513  
 E-mail Address: wcarroll@cohenandwolf.com

\$ \_\_\_\_\_ Fee received Date: \_\_\_\_\_ Clerk: \_\_\_\_\_

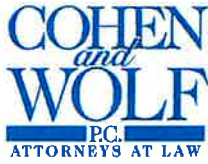
**THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST**

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

**PROPERTY OWNER'S ENDORSEMENT OF APPLICATION**

VAZ Stratford Ave Laundromat, LLC  2/14/2023  
 Print Owner's Name Owner's Signature Date  
 \_\_\_\_\_  
 Print Owner's Name Owner's Signature Date





**WILSON T. CARROLL, ESQ.**

Please Reply To Bridgeport  
Writer's Direct Dial: (203) 337-4123  
E-Mail: wcarroll@cohenandwolf.com

**VIA HAND-DELIVERY**

February 15, 2023

Paul Boucher  
Bridgeport Zoning Department  
45 Lyon Terrace #210  
Bridgeport, CT 06604

**Re: Petition for Site Plan Review and Coastal Site Plan Review – 117 Princeton Street**

Dear Mr. Boucher,

Please accept this Petition to the Bridgeport Planning and Zoning Commission for Site Plan Review and Coastal Site Plan Review on behalf of my client, V & L Properties, LLC, for the property located at 117 Princeton Street in the NX1 Zone. The proposal has already been through concept review.

**Proposed Development and Use**

The Petitioner proposes to construct a single, 2.5 story, four-unit dwelling on the Site with associated Site improvements. The entire Site is located within the coastal boundary with Ash Creek as the nearest coastal resource approximately eight hundred feet (800') away from the Site. Each unit will be served by a dedicated entrance into the building. All proposed construction will be confined to the existing property boundary using perimeter soil and erosion controls as a barrier. The Site is predominantly vacant. Construction is anticipated to be completed within twelve months from commencement, and all construction activity will be overseen by the developer—a company with significant experience managing new-home construction. The property will be developed in harmony with the existing zone— The submitted floorplans and elevations show that the design is consistent with multi-family home design throughout the City and surrounding area. Site Plan Approval is required due to the proposed development of four residential units.

Coastal Site Plan Approval is required due to the property's proximity to Ash Creek, but there will be no impact to coastal resources as a result of the development. Stormwater runoff from the structure will be treated by a sub-grade stormwater infiltration system. Proposed planting of new law areas will also aid in the attenuation of stormwater runoff.

1115 Broad Street  
PO Box 1821  
Bridgeport, CT 06601-1821  
Tel: (203) 368-0211

158 Deer Hill Avenue  
Danbury, CT 06810  
Tel: (203) 792-2771

320 Post Road West  
Westport, CT 06880  
Tel: (203) 222-1034

**Site Plan Review**

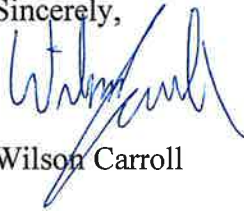
The Petition satisfies the Regulations § 11.7.4(C) standard because the plans as proposed comply with all applicable zoning regulations. The design of the proposed building is in harmony with the neighborhood and the zone in addition to being fully compliant with the Regulations. The Site is also in close proximity to other multi-family residences and is in conformity with the area.

**Coastal Site Plan Review**

The Petition also complies with Regulations § 11.80.7 regarding Coastal Site Plan review. Although the Site is located within the coastal boundary, it is approximately eight hundred feet (800') from Ash Creek, which is the nearest coastal resource. Dozens of buildings and multiple streets and blocks exist between the coastal resource and the Site. The Site and the proposed building have no connection to the coastal resource but for being included within its boundary. There are no natural features associated with the coastal resource on the Site. As stated above, the Petition fully complies with the site plan review standards of the Regulations. The Petition poses no danger or threat to coastal resources and has no potential adverse impacts. The proposed building and Site improvements will all be constructed in accordance with current codes and regulations, including appropriate stormwater drainage systems. Appropriate sediment and erosion controls will be utilized during construction.

For the reasons stated above, we respectfully request approval of the Petition to construct a single four-unit dwelling on the Site with associated Site improvements.

Sincerely,

A handwritten signature in blue ink, appearing to read "Wilson Carroll", is written over a diagonal line that extends from the word "Sincerely," above to the name below.

Wilson Carroll

**APPLICATION FOR REVIEW  
OF COASTAL SITE PLANS**

PREPARED FOR:  
**VAZ STRATFORD AVE LAUNDROMAT, LLC**

**117 PRINCETON STREET  
BRIDGEPORT, CONNECTICUT**

February 3, 2023

Prepared by: Washington Cabezas, Jr., PE, LS  
CT License No. PEL 70210



*Washington Cabezas, Jr.*





## TABLE OF CONTENTS

Project Narrative

CAM Application Form

Figure A – Location Map

Figure B – FEMA Firm Map

Figure C – Coastal Resource Map  
*(Per Coastal Master Plan of Bridgeport, Connecticut  
On file City of Bridgeport Engineering Department)*

Figure D – Zone Map



## PROJECT NARRATIVE

This parcel is located at 117 Princeton Street and is known as Lot 32 in Block 235 and map 11 per City of Bridgeport Assessor records. This parcel is zoned NX1. FEMA FIRM depicts this parcel within Zone X (Un-Shaded) per FEMA Panel 436 of 626, Map Number 09001C436G, Map Revised July 8, 2013. Lot area is 5,000± SF.

The parcel is within a Residential Section of the Ash Creek Coastal Area Management Zone per Coastal Master Plan of Bridgeport, Connecticut (Sheet 2 of 4) found on file in the City of Bridgeport Engineering Department.

This site is vacant with lawn surfaces and bounded by trees on the north and east. The developer is proposing the construction of a zoning compliant, four unit, 2½ story, wood-frame residence. A storm drainage system consisting of a twenty-four deep crushed stone bed has been designed at the front and rear yard areas to contain the run-off from the new roof and impervious areas. Lawn areas will be established which will create green areas to aid in storm water quality.

This property will be developed in keeping with the integrity of this Zone. Construction is anticipated to have a duration of twelve months.



City of Bridgeport  
**Zoning Department**  
**PLANNING AND ECONOMIC DEVELOPMENT**

45 Lyon Terrace • Bridgeport, Connecticut 06604  
Telephone (203) 576-7217  
Fax (203) 576-7213

Application Form  
Municipal Coastal Site Plan Review  
For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions and submit it with the appropriate plans to appropriate **municipal agency**.

**Section I: Applicant Identification**

Applicant: <u>Vaz Statford Ave Laundromat, LLC</u>	Date: <u>02/03/2023</u>
Address: <u>179 William Street, Bridgeport, CT 06608</u>	Phone: <u>203-521-7757</u>
Project Address or Location: <u>117 Princeton Street, Bridgeport, CT</u>	
Interest in Property: <input checked="" type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____	
List primary contact for correspondence if other than applicant:	
Name: <u>Mr. Steven Lage</u>	
Address: <u>2 Corporate Drive</u>	
City/Town: <u>Trumbull</u>	State: <u>CT</u> Zip Code: <u>06611</u>
Business Phone: <u>203-452-3700</u> ; Mobile: <u>203-521-7757</u>	
e-mail: <u>steven.lage@coldwellbankermoves.com</u>	

**Section II: Project Site Plans**

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- N/A  Coastal resources on and contiguous to the site
- N/A  High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Stormwater treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)



### Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- Site Plan for Zoning Compliance
- Subdivision or Resubdivision
- Special Permit or Special Exception
- Variance
- Municipal Project (CGS Section 8-24)

### Part I: Site Information

1. Street Address or Geographical Description: 117 Princeton Street  
Bridgeport, Connecticut

City or Town:

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)?  YES  NO

3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:  
Ash Creek

4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:  
Existing land use for this site was a vacant lot and the proposed use is a residential four unit building.  
Present land use within the vicinity of 117 Princeton Street is a mixture of single family and multi-family dwellings. The proposed four unit use is allowed within this zone by right.

5. Indicate the area of the project site: 5,000± acres or square feet (circle one)

6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

- Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
- Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.
- Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d)  Yes  No

**Part II.A.: Description of Proposed Project or Activity**

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The project consists of the construction of a 2.5 story, four unit dwelling. Each unit will be served by the use of their own dedicated entrance into the building. All construction will be confined to the existing property boundary using perimeter soil and erosion controls as a barrier. Construction is anticipated to be completed within twelve (12) months from commencement. Activity will be overseen by the developer - a company well versed and experienced with the management of new home construction. This property will be developed in keeping with the integrity of this zone. Approvals by the Zoning Planning Commission is required under Coastal Site Plan review.

---

---

---

---

**Part II.B.: Description of Proposed Stormwater Best Management Practices**

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Storm water run-off from the structure will be treated by a sub-grade, stormwater infiltration system. A primary stormwater treatment will be implemented to comply with Stormwater Best Management Practices. Stormwater run-off will also be improved by the planting of new lawn areas which will also aid in the attenuation of storm water run-off. Pre- and post-development stormwater run-off rates and volumes were computed using the TR-55 method. Water quality volume (WQV) was determined using methods as outlined in CT DEEP Stormwater Quality Manual (SWQM). The greater of the two is held for design purposes. This primary treatment method will remove at least 80% of the average annual total suspended solids (TSS) load.

### Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	<b>X</b>	<b>X</b>	<b>X</b>	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				<b>X</b>
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				<b>X</b>
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				<b>X</b>
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				<b>X</b>
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				<b>X</b>
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				<b>X</b>
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				<b>X</b>
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				<b>X</b>
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				<b>X</b>
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				<b>X</b>
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				<b>X</b>
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				<b>X</b>

\* General Coastal Resource policy is applicable to all proposed activities



#### Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

Complies w/ CGS 22a-92(a)(1) "...by promoting economic growth without significantly disrupting the environment..."

Complies w/ CGS 22a-92(b)(2)(F) "...manage coastal hazard areas to minimize hazards to property..."

Complies w/ CGS 22a-92(c)(2)(B) "...maintain patterns of water circulation in the placement of drainage control structures..."

#### Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development\* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses\*\* - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);  
Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

\* General Development policies are applicable to all proposed activities

\*\* Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

## Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on off-site coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration.  
This project will be limited to the confines of the site and will be completed within twelve (12) months. All disturbed areas will be loamed, seeded and planted upon completion of construction. The proposed residence will have new laterals to the existing street utilities.

## Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

*Please complete this section for all projects.*

Identify the adverse impact categories below that apply to the proposed project or activity. The Applicable column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		✘
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		✘
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		✘
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		✘
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		✘
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		✘
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		✘
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		✘

**Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses**

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The **Applicable** column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		✗
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		✗
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		✗

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

---

Not applicable as the parcel is not in the immediate vicinity of the Ash Creek  
and there is no water dependent use applicable to this site. Proposed development will  
consist of a four unit, side-by-side and up and down residence only.

---



---



---



---



---



---



---

\*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.



**Part VIII: Mitigation of Potential Adverse Impacts**

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

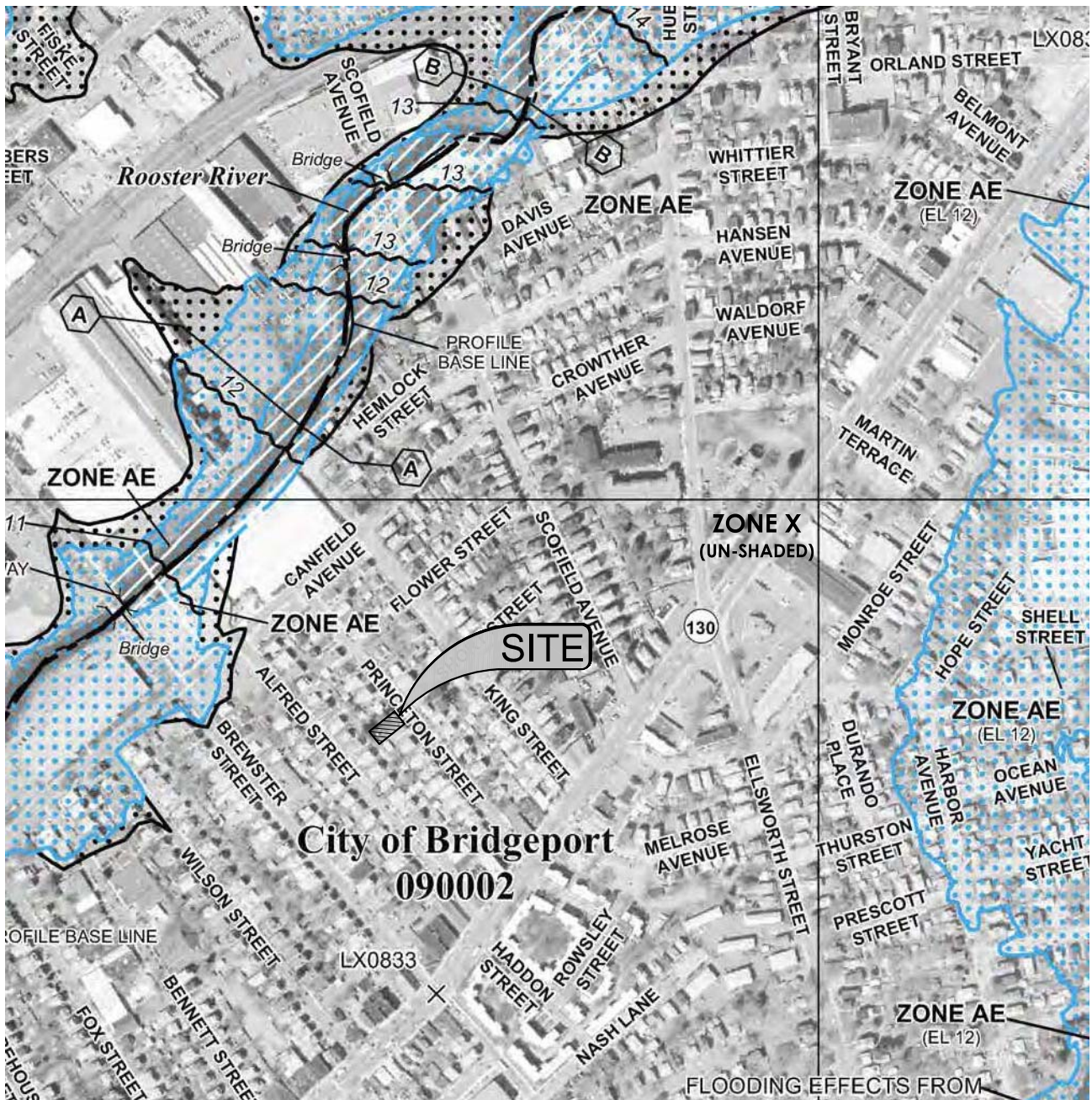
No adverse impacts were determined on adjacent or nearby coastal resources.  
The proposed activity will be constructed with the appropriate soil erosion and control measures and will include the design of a storm drainage system to ensure there will be no adverse impact on the adjoining properties. New lawn areas will also reduce erosion and provide storm water infiltration.

**Part IX: Remaining Adverse Impacts**

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

No adverse impacts resulting from the proposed activity is anticipated and appropriate measures will be utilized and designed as outlined above.





SCALE: 1" = 500'

MAP NUMBER 09001C0436G  
 ZONE X (UN-SHADED)  
 MAP REVISED JULY 8, 2013

## FEMA FIRM MAP

VAZ STRATFORD AVE LAUNDROMAT, LLC  
 117 PRINCETON STREET  
 BRIDGEPORT, CONNECTICUT

DATE: FEBRUARY 2023

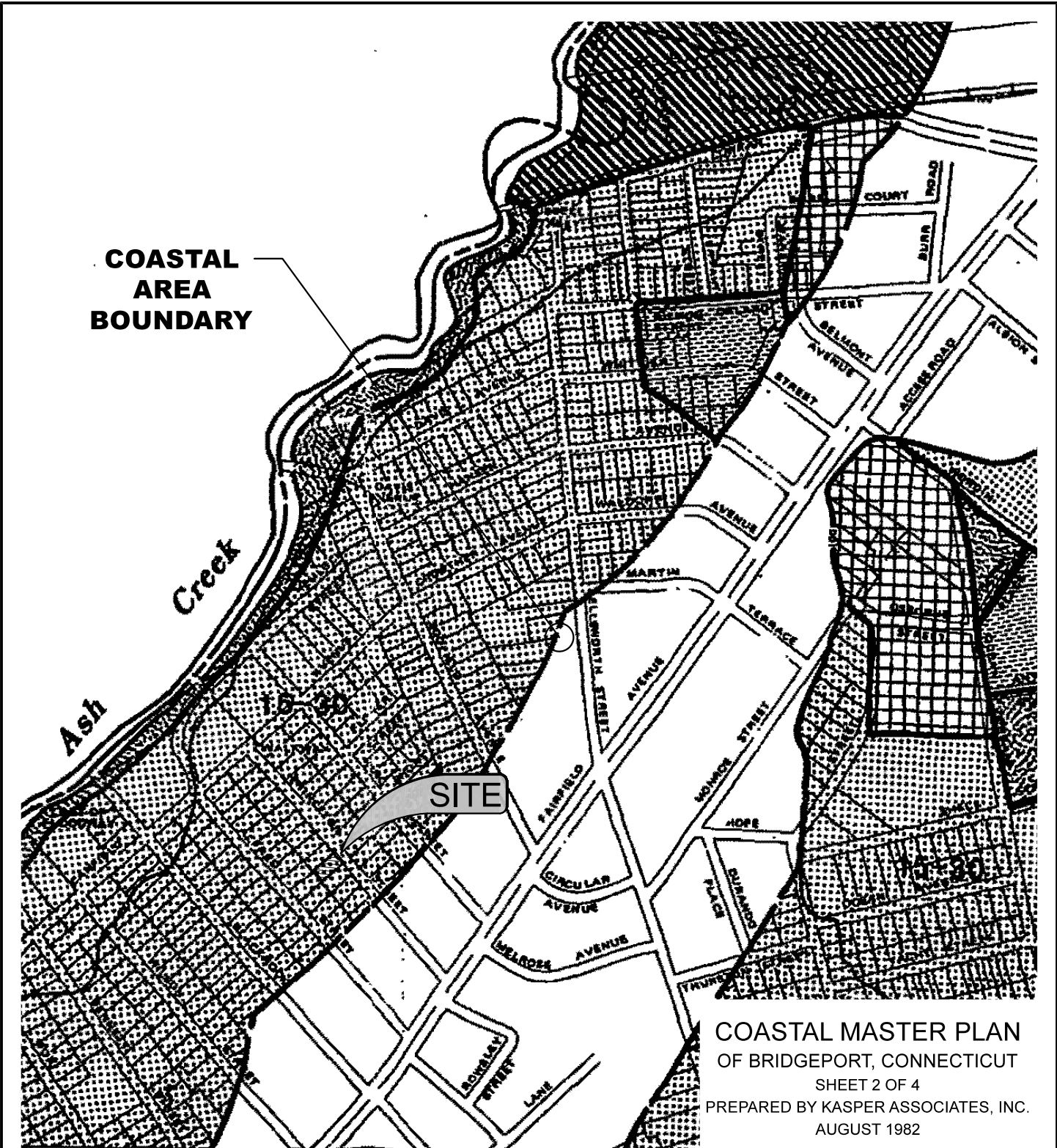
FIGURE B



78 ELM STREET, BRIDGEPORT, CT 06604  
 P: 203 330 8700 • F: 203 330 8701







**COASTAL AREA BOUNDARY**

Ash  
Creek

**SITE**

**COASTAL MASTER PLAN  
OF BRIDGEPORT, CONNECTICUT**

SHEET 2 OF 4

PREPARED BY KASPER ASSOCIATES, INC.  
AUGUST 1982

SCALE: 1" = 500'



78 ELM STREET, BRIDGEPORT, CT 06604  
P: 203 330 8700 • F: 203 330 8701

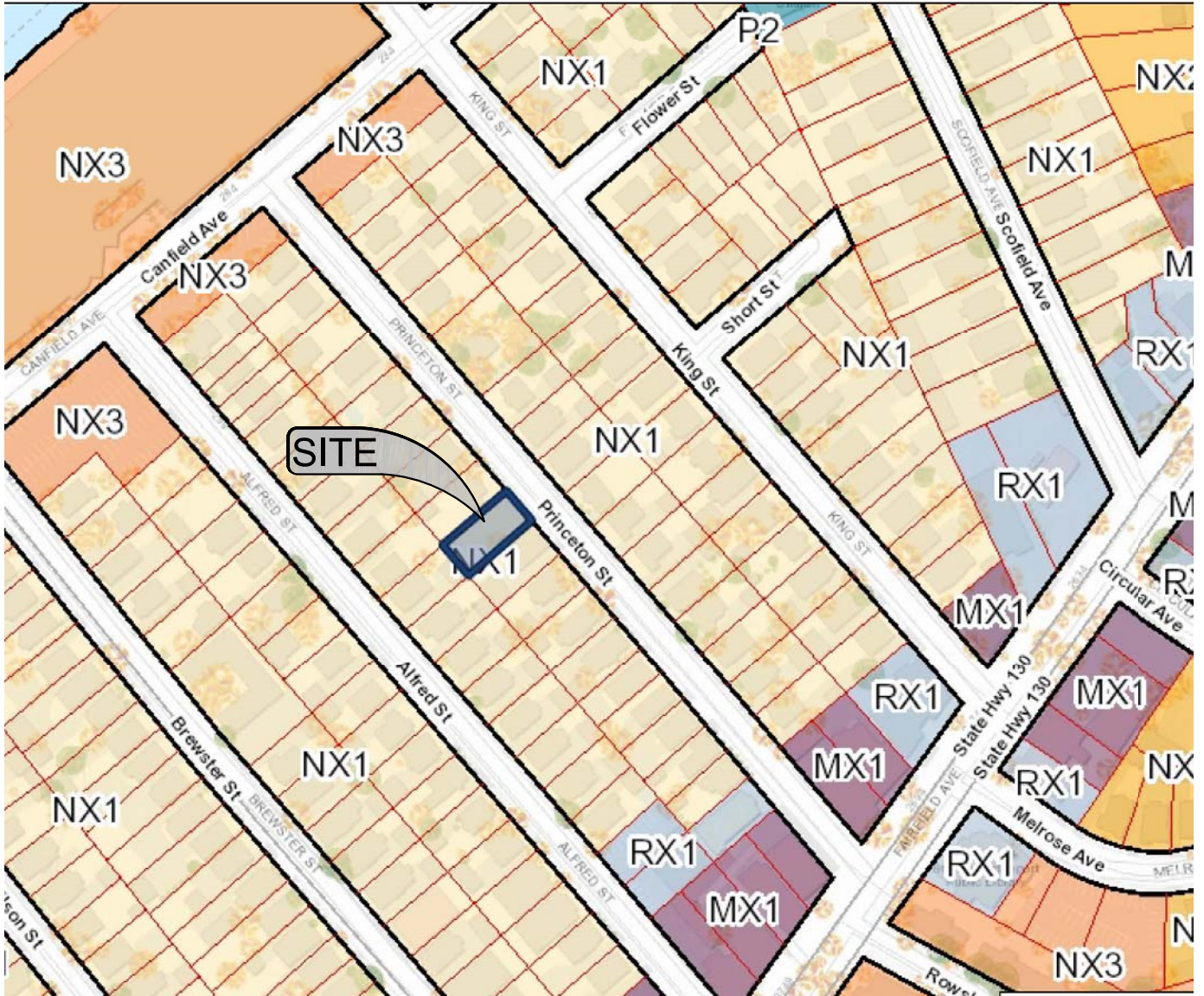


**COASTAL RESOURCE MAP**

**VAZ STRATFORD AVE LAUNDROMAT, LLC**  
117 PRINCETON STREET  
BRIDGEPORT, CONNECTICUT

DATE: FEBRUARY 2023

FIGURE C



SCALE: 1" = 200'



78 ELM STREET, BRIDGEPORT, CT 06604  
P: 203 330 8700 • F: 203 330 8701



<b>ZONE MAP</b>	
VAZ STRATFORD AVE LAUNDROMAT, LLC 117 PRINCETON STREET BRIDGEPORT, CONNECTICUT	
DATE: FEBRUARY 2023	FIGURE D



## **DESIGN REPORT**

# STORMWATER MANAGEMENT SYSTEM

**117 Princeton Street  
Bridgeport, Connecticut**



*Washington Cabezas, Jr.*

Prepared By: \_\_\_\_\_  
**Washington Cabezas, Jr., PEL 70210**

Date: **February 3, 2023**





**GENERAL INFORMATION**

Per the City of Bridgeport Tax Assessor records, **117 Princeton Street** is listed as Map **11** Block **235**, Lot **32** and is a total of **5,000±** square feet in area. The parcel is zoned **NX1** and is presently vacant. The parcel is currently undeveloped with a grade change of approximately three feet pitching in a southerly direction. The surface is mostly lawn with trees on the northerly and easterly perimeter.

The site is not within a FEMA Special Flood Hazard Zone and is designated in an area known as Zone X (Un-shaded) per FEMA FIRM Map Number 09001C0**436G**, Panel Number **436** of 626, Map Revised July 8, 2013.

Sanitary sewer, water, gas and electric services are available on **Princeton Street**. Proposed Improvements include the construction of a 2½ story, four unit residential building. A sub-grade stormwater infiltration system has been designed and located at the front and rear of the structure. Favorable percolation rates were obtained and suitable soils were observed. All remaining yard areas are to be loamed and seeded to establish good grass cover along with landscape plantings. The storm system will accommodate the theoretical storage volume required by the City of Bridgeport Storm Management Manual.

**DESIGN METHODOLOGY**

The stormwater runoff resulting from the existing and proposed conditions was analyzed using a 24-hour, 2-year, 10-year & 25-year frequency, Type III storm event. HydroCAD software was used to run the storm analysis based on the SCS TR-20 method. A 2-year storm frequency for the Bridgeport area has a rainfall of 3.3 inches, a 10-year storm frequency has a rainfall of 5.0 inches, and a 25-year storm frequency has a rainfall of 5.7 inches per ConnDOT Drainage Manual. The minimum time of concentration of ten (10) minutes is used per section 7 of the City of Bridgeport Storm Management Manual. Hydrographs are also included in this report reflecting runoff information for the existing and proposed conditions under the 2, 10, and 25 storm events.

**RESULTS**

**The resultant hydrographs provided the following information for 25 year storm event:**

Total Drainage Area: **3,510 Ft<sup>2</sup>**

Existing Conditions Runoff Volume .....	1,564 Ft <sup>3</sup>
Post Conditions Runoff Volume .....	1,835 Ft <sup>3</sup>
Increase in Runoff.....	271 Ft <sup>3</sup>

**10% Minimum Volume**

Reduction Requirement ..... 156.4 Ft<sup>3</sup>  
*(Based on Existing Conditions during 25-Year Storm Event: 0.10(1,564CF)*

**Total Storage Required..... 427.4 Ft<sup>3</sup>**  
*(271+156.4)*



## PROPOSED SYSTEM

The proposed system consists of two **24"** crushed stone beds. One is located in the front yard and one is in the rear yard. Forty percent of total angular stone volume is utilized as the crushed stone storage capacity. Total anticipated storage capacity is **691.2 Ft<sup>3</sup>**. The calculations for sizing the system are included in this report.

### Pre vs. Post Analysis

From hydrographs of **25-Year** Event:

Post Conditions Volume = 1,835 Ft<sup>3</sup>

Existing Conditions Volume = 1,564 Ft<sup>3</sup>

Runoff Volume Increase= 1,835 Ft<sup>3</sup> – 1,564 Ft<sup>3</sup> = 271 Ft<sup>3</sup>

10% Storm Runoff Volume Reduction: 0.10(1,564 Ft<sup>3</sup>) = 156.4 Ft<sup>3</sup>

Minimum Volume Required by City of Bridgeport: **271 Ft<sup>3</sup> + 156.4 Ft<sup>3</sup> = 427.4 Ft<sup>3</sup>**

### **From the Water Quality Equation:**

WQV= 1" RA/12 and R = 0.05+0.009(% Proposed Impervious)

R = 0.05+0.009(70%) = 0.680

WQV = 1" (0.680) (0.115)/12 = 0.0065 Acre-Ft = **283.1 Ft<sup>3</sup>**

**Minimum Design Storage Required: 427.4 Ft<sup>3</sup>**

### Stormwater Storage Provided

- Front yard: 2.00' x 6' x 48' Crushed Stone Bed = (2.00x6x48)0.4 = 230.4 Ft<sup>3</sup>
  - Rear yard: 2.00' x 12' x 48' Crushed Stone Bed = (2.00x12x48)0.4 = 460.8 Ft<sup>3</sup>
- Total storage provided: 230.4 Ft<sup>3</sup> + 460.8 Ft<sup>3</sup> = 691.2 Ft<sup>3</sup>**

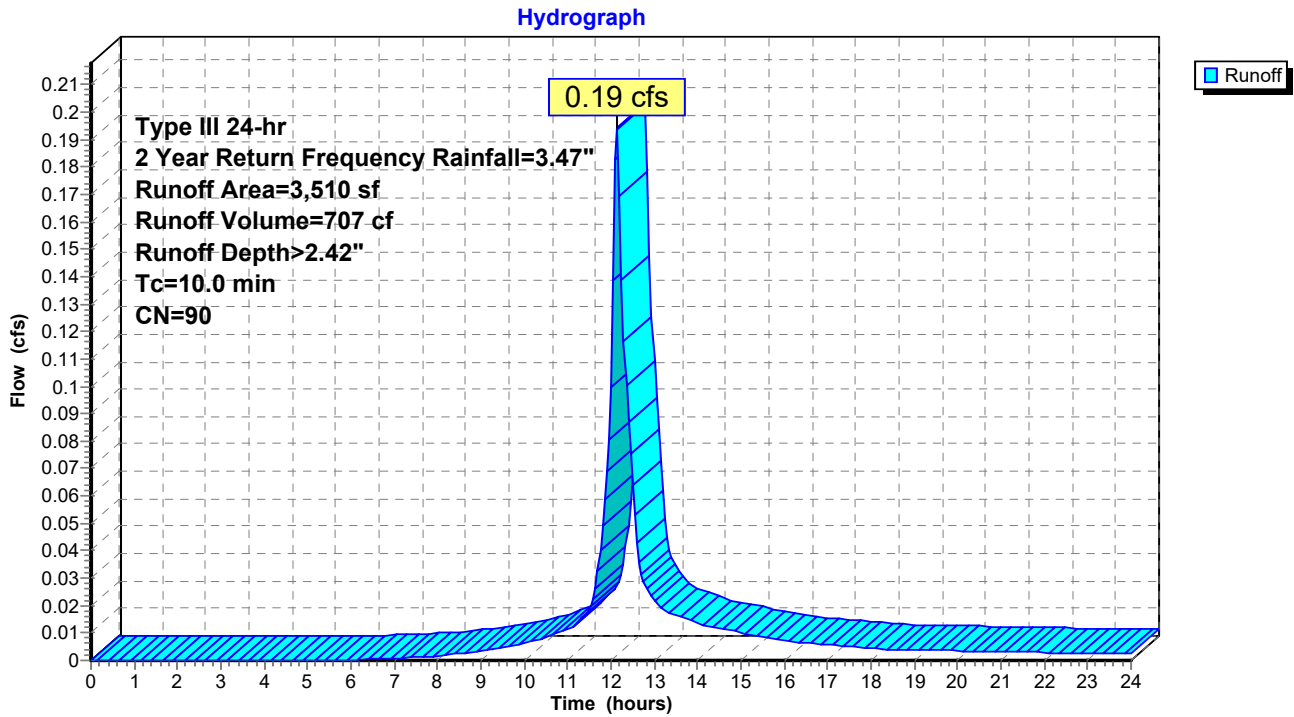
**Minimum Storage Provided = 691.2 Ft<sup>3</sup>**

## Pre Vs. Post Runoff Volumes (Mixed-use Building)

Storm Frequency	Post Conditions (Ft <sup>3</sup> )	Existing Conditions (Ft <sup>3</sup> )	Runoff Increase (Ft <sup>3</sup> )
2	946	707	239
10	1,494	1,231	263
25	1,835	1,564	271

This report was prepared with the free HydroCAD SAMPLER, which is licensed for evaluation and educational use ONLY. For actual design or modeling applications you MUST use a full version of HydroCAD which may be purchased at www.hydrocad.net. Full programs also include complete technical support, training materials, and additional features which are essential for actual design work.

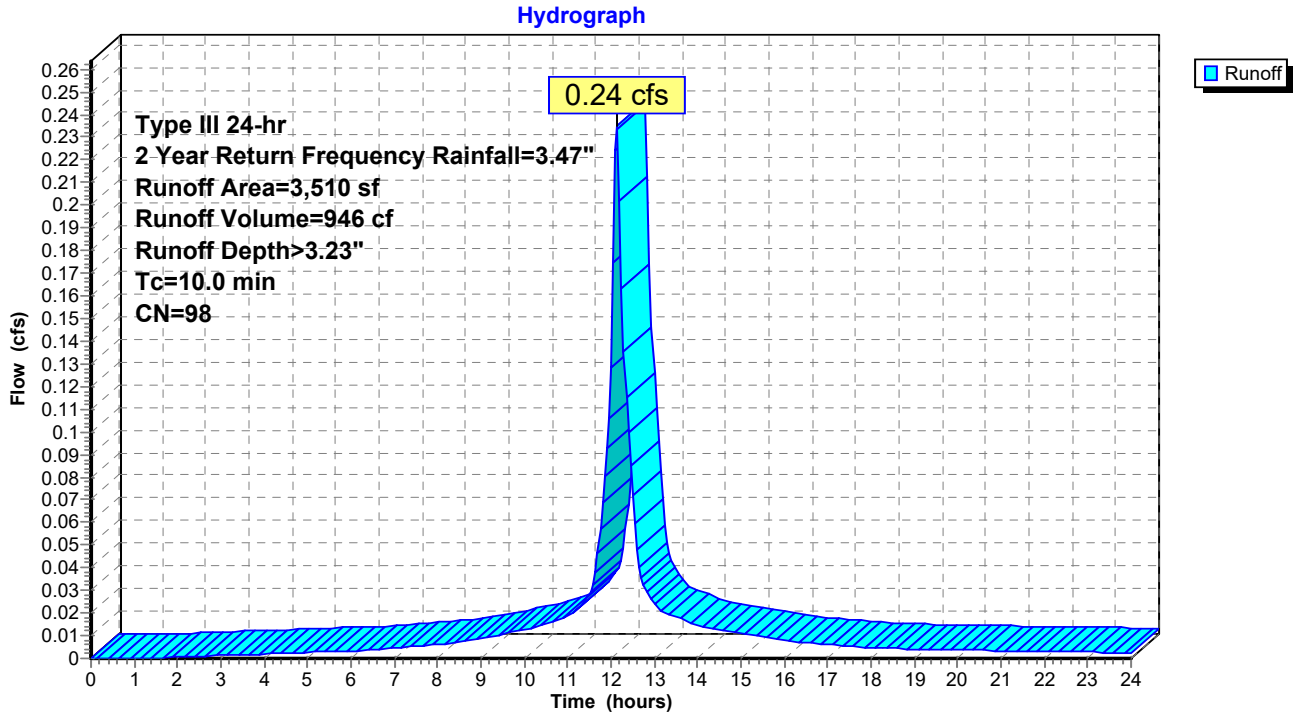
### Subcatchment 1S: Existing Conditions





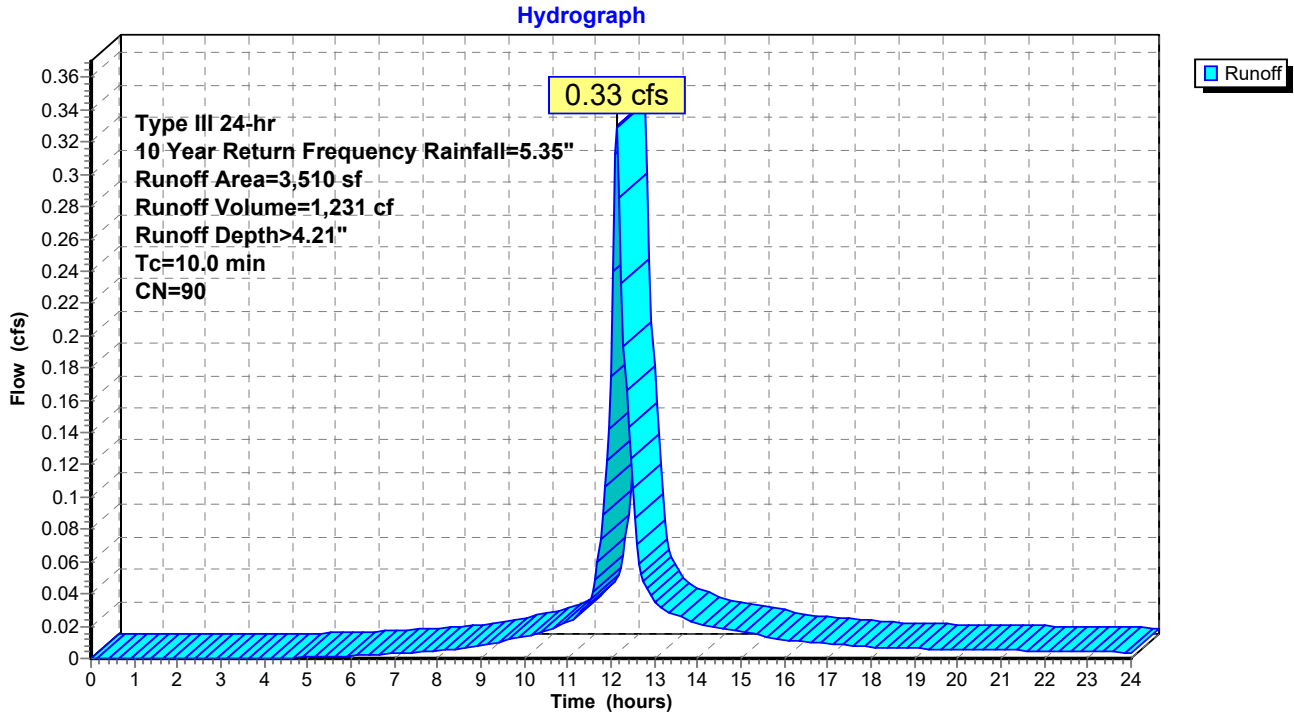
This report was prepared with the free HydroCAD SAMPLER, which is licensed for evaluation and educational use ONLY. For actual design or modeling applications you MUST use a full version of HydroCAD which may be purchased at www.hydrocad.net. Full programs also include complete technical support, training materials, and additional features which are essential for actual design work.

### Subcatchment 2S: Proposed Conditions



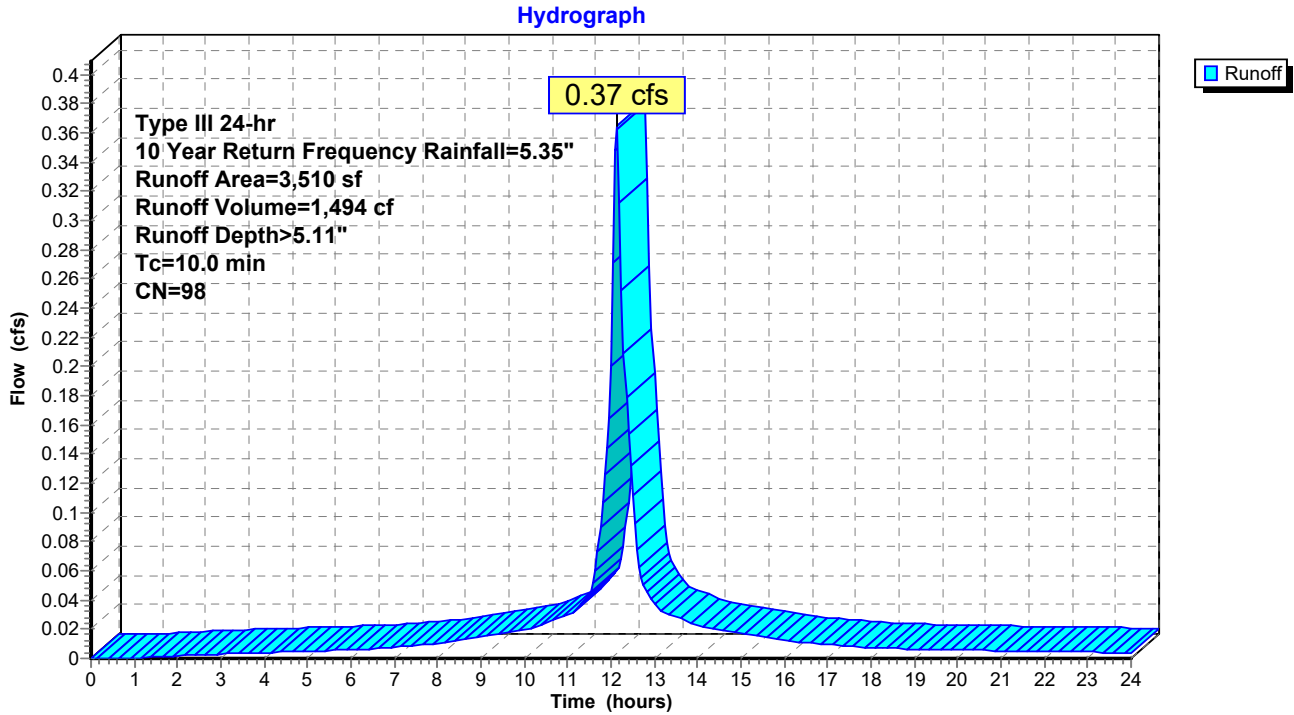
This report was prepared with the free HydroCAD SAMPLER, which is licensed for evaluation and educational use ONLY. For actual design or modeling applications you MUST use a full version of HydroCAD which may be purchased at www.hydrocad.net. Full programs also include complete technical support, training materials, and additional features which are essential for actual design work.

### Subcatchment 1S: Existing Conditions



This report was prepared with the free HydroCAD SAMPLER, which is licensed for evaluation and educational use ONLY. For actual design or modeling applications you MUST use a full version of HydroCAD which may be purchased at www.hydrocad.net. Full programs also include complete technical support, training materials, and additional features which are essential for actual design work.

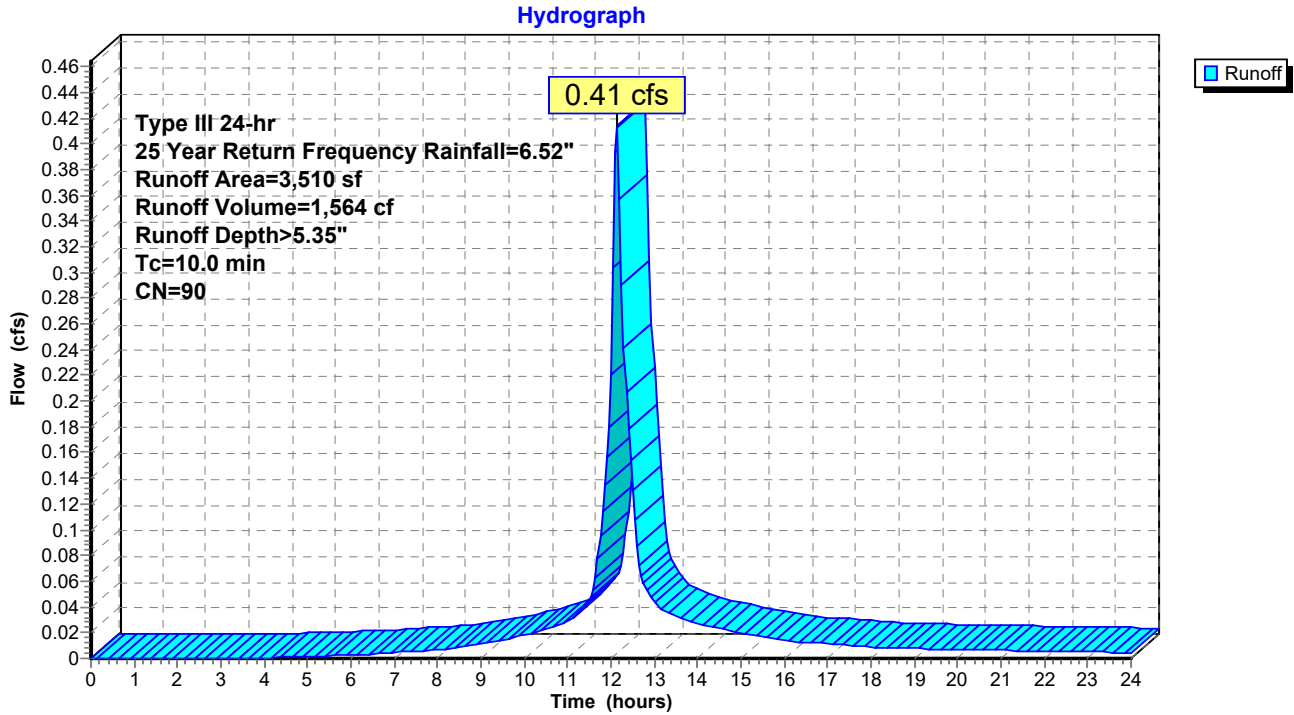
### Subcatchment 2S: Proposed Conditions





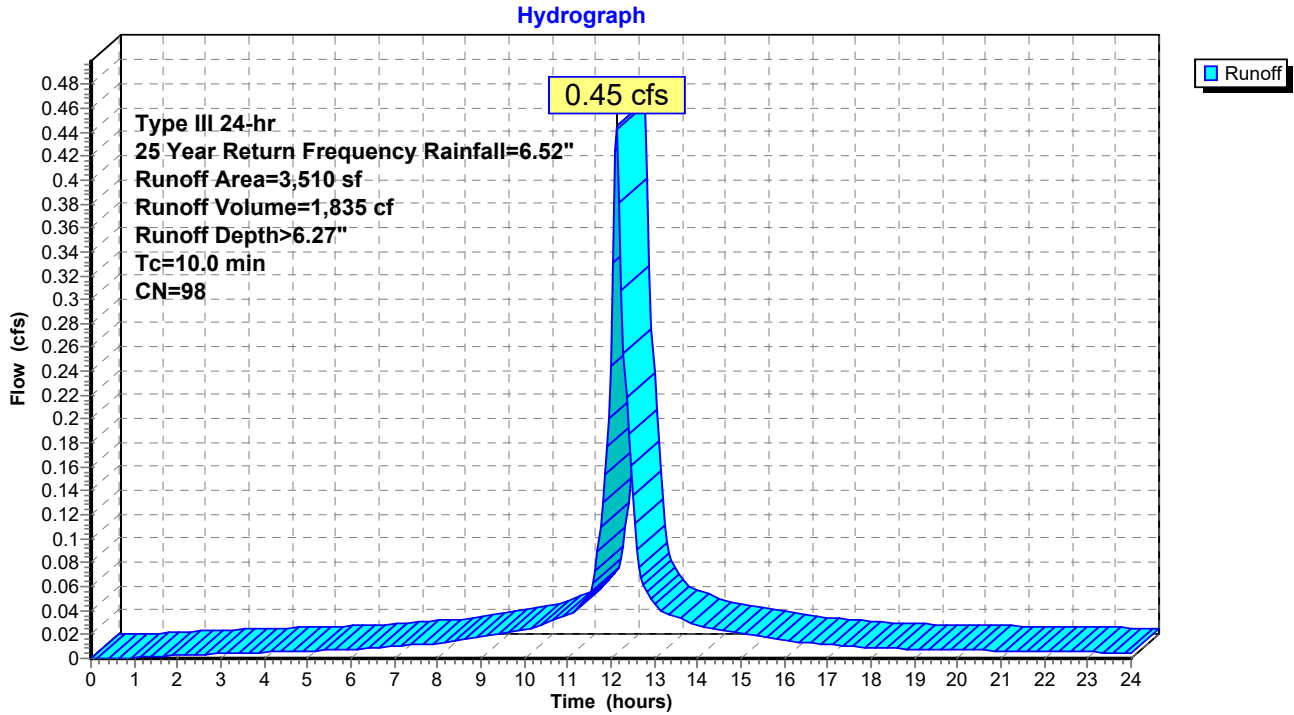
This report was prepared with the free HydroCAD SAMPLER, which is licensed for evaluation and educational use ONLY. For actual design or modeling applications you MUST use a full version of HydroCAD which may be purchased at www.hydrocad.net. Full programs also include complete technical support, training materials, and additional features which are essential for actual design work.

### Subcatchment 1S: Existing Conditions



This report was prepared with the free HydroCAD SAMPLER, which is licensed for evaluation and educational use ONLY. For actual design or modeling applications you MUST use a full version of HydroCAD which may be purchased at www.hydrocad.net. Full programs also include complete technical support, training materials, and additional features which are essential for actual design work.

### Subcatchment 2S: Proposed Conditions



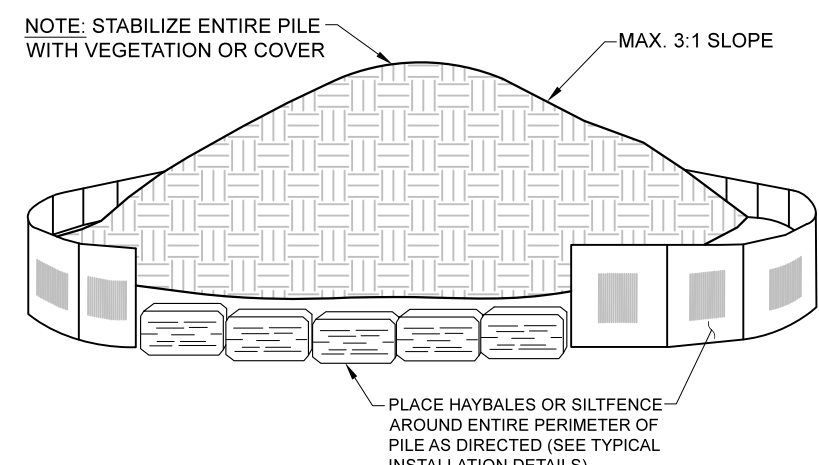
**LIST OF PROPERTY OWNERS WITHIN 100' OF 117 PRINCETON STREET, BRIDGEPORT, CT**

<b>LOCATION</b>	<b>OWNER</b>	<b>CO-OWNER</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
104 ALFRED ST #106	GOUVEIA JUSTIN		104 ALFRED ST	BRIDGEPORT	CT	06605
112 ALFRED ST #114	SAAVEDRA ENRIQUE & JUDY	(SURV OF THEM)	112-114 ALFRED ST	BRIDGEPORT	CT	06605
97 PRINCETON ST	MELLENDEZ EDUARDO DEJESUS TOXQUI		97 PRINCETON ST	BRIDGEPORT	CT	06605
128 ALFRED ST #130	GUEDES ARMINDO		128 ALFRED ST	BRIDGEPORT	CT	06605
105 PRINCETON ST #109	MEROLA PATRICIA A		105-109 PRINCETON ST	BRIDGEPORT	CT	06605
132 ALFRED ST	SANTOS JOSEPH & MELISSA		132 ALFRED ST	BRIDGEPORT	CT	06605
148 ALFRED ST #150	HUBLER WESLEY W & KATHLEEN		498 HOUSATONIC AVENUE	STRATFORD	CT	06615
98 PRINCETON ST #100	LV ASSOCIATES LLC		143 FLORA BLVD	FAIRFIELD	CT	06824
127 PRINCETON ST	SAMUELSON THERESA		127 PRINCETON ST	BRIDGEPORT	CT	06605
108 PRINCETON ST	JONES KENNETH R		108 PRINCETON ST	BRIDGEPORT	CT	06605
135 PRINCETON ST #139	135 PRINCETON ST LLC		268 ROWLAND RD	FAIRFIELD	CT	06824
116 PRINCETON ST #118	STEVENS DAVID J		PO BOX 7082 N/A	WILTON	CT	06897
122 PRINCETON ST #126	STEVENS DAVID		666 COURTLAND AVENUE	BRIDGEPORT	CT	06605
138 PRINCETON ST	ARROY JOSE & JUANA	(SURV OF THEM)	138 PRINCETON ST	BRIDGEPORT	CT	06605



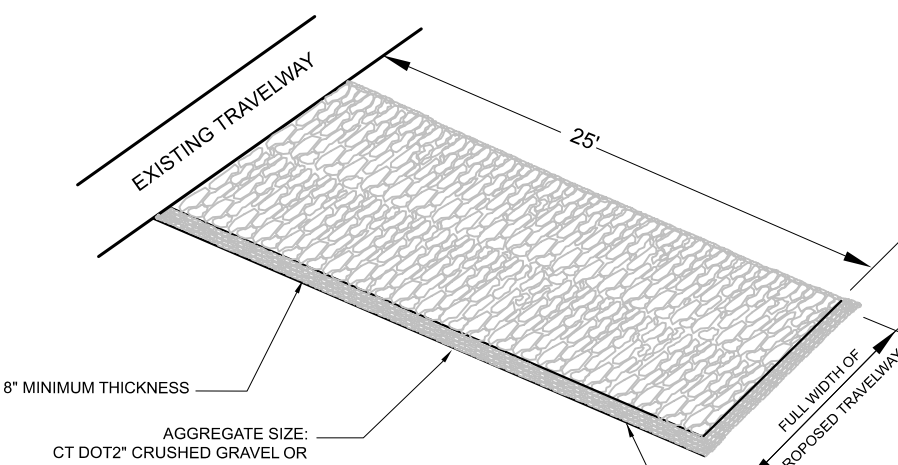
**NOTES**

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1994. IT IS A LIMITED PROPERTY/BOUNDARY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2 AND IS INTENDED FOR MUNICIPAL COMPLIANCE PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEODI03 LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (COR93). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON JANUARY 16, 2015 IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA: STATION: ORANGE, NORTHING 653,555.9292, EASTING 927,267.5499, LATITUDE 41°15'15.87404", LONGITUDE 73°00'52.60263", ELLIPSOID -4,143
- MAP REFERENCES
  - MAP NO. 1 FOR ALFRED GILMAN, SCALE: 1"=40', MAY 25, 1907, PREPARED BY SCOTFIELD & FORD ON FILE IN THE CITY OF BRIDGEPORT CLERK'S OFFICE AS MAP VOLUME 6 PAGE 6.
  - CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICATING BLOCK 234.
- RECORD OWNER: VAZ STRATFORD AVE LAUNDROMAT, LLC VOL. 9460 PG. 106
- ASSESSOR'S REFERENCE: MAP 11 | BLOCK 235 | LOT 32
- PARCEL AREA: 5,000± SQ. FT. OR 0.11± AC.
- PARCEL IS LOCATED WITHIN THE NX1 ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS); PANEL 436 OF 626, COMMUNITY BRIDGEPORT, CITY OF NUMBER 090022 PANEL 0436 SUFFIX G, MAP NUMBER 09010436G, MAP REVISED JULY 8, 2013. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED).
- THE SUBJECT PARCEL IS LOCATED WITHIN THE ASH CREEK COASTAL BOUNDARY-RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT SHEET 2 OF 4, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.
- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DEANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DEANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DEANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

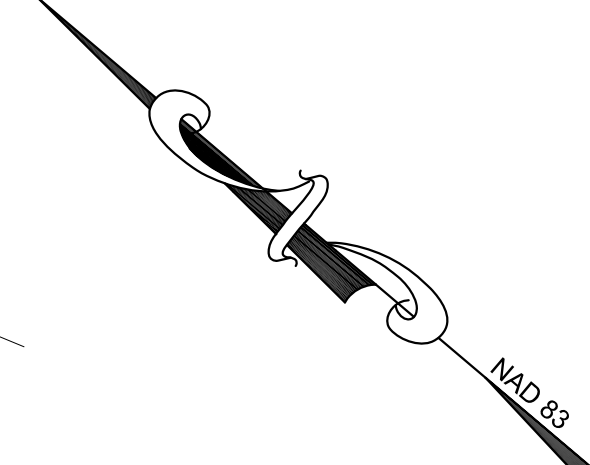


**TEMPORARY SOIL STOCKPILE**  
NTS

INSTALLATION NOTES:  
1. AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE.  
2. THE GROUND SURFACE SHALL SLOPE AWAY FROM THE STOCKPILE.  
3. IF NECESSARY PLACE TARP OR IMPROVISED MATERIAL BENEATH STOCKPILE TO PREVENT MIXING OF SOIL.  
4. COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED.  
5. MAX. SLOPE OF STOCKPILE SHALL BE 3:1 UNLESS OTHERWISE APPROVED.

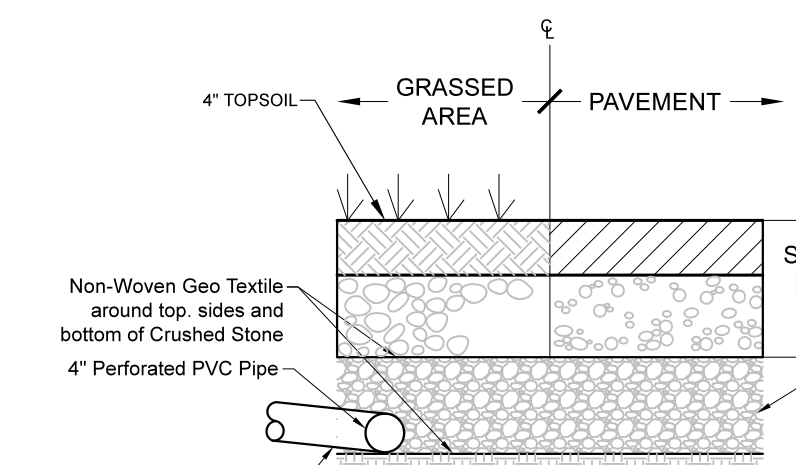


**ANTI-TRACKING PAD**  
NTS

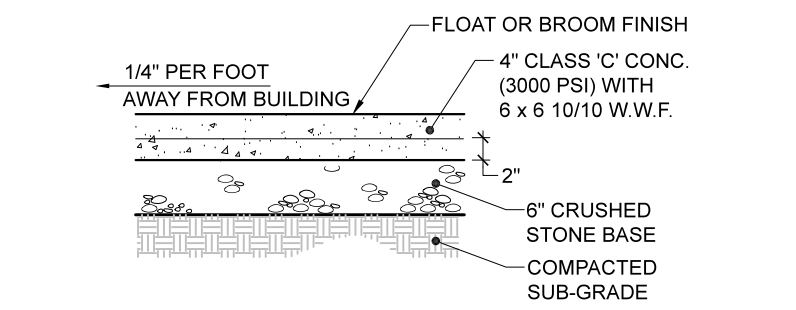


**FILTER FENCE DETAIL**  
(N.T.S.)

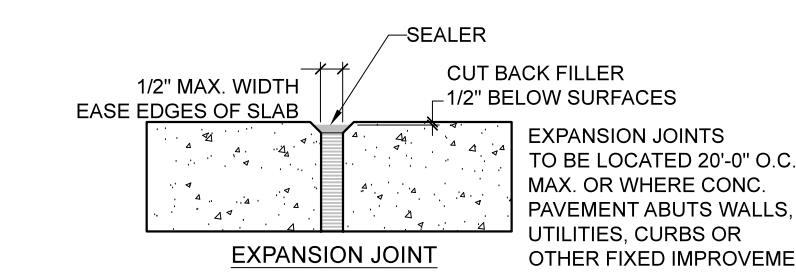
- INSPECT FENCE AFTER EACH RAINFALL AND DAILY DURING PROLONGED RAINFALL. REPAIR WHERE REQUIRED.
- REMOVE SEDIMENT DEPOSITS WHEN THEY REACH 1/8 OF THE BARRIER.



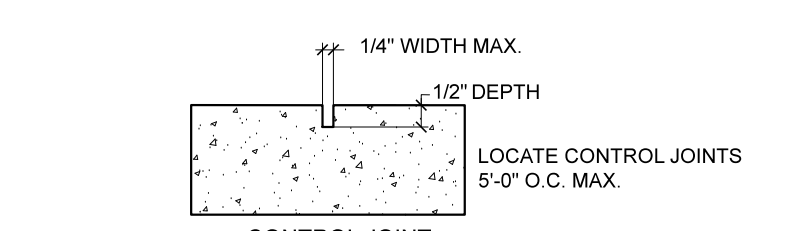
**PAVEMENT AND CRUSHED STONE BED**  
NTS



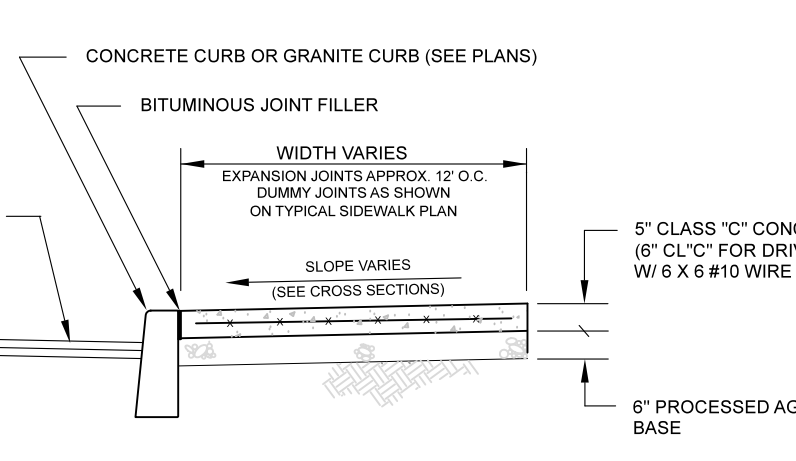
**CONCRETE PAVEMENT**  
NOT TO SCALE



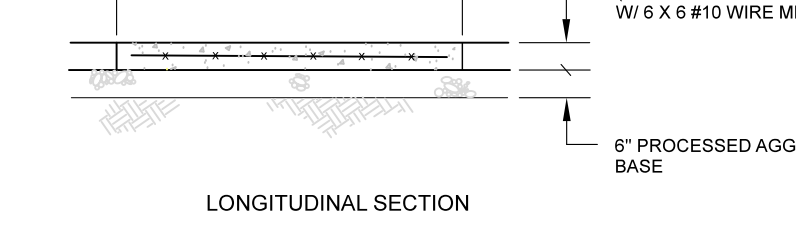
**EXPANSION JOINT**  
NOT TO SCALE



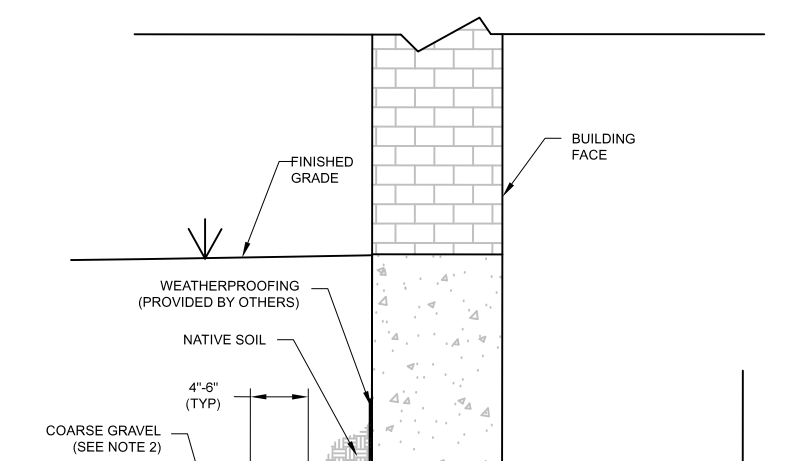
**EXPANSION JOINT**  
NOT TO SCALE



**CONCRETE CURB OR GRANITE CURB** (SEE PLANS)



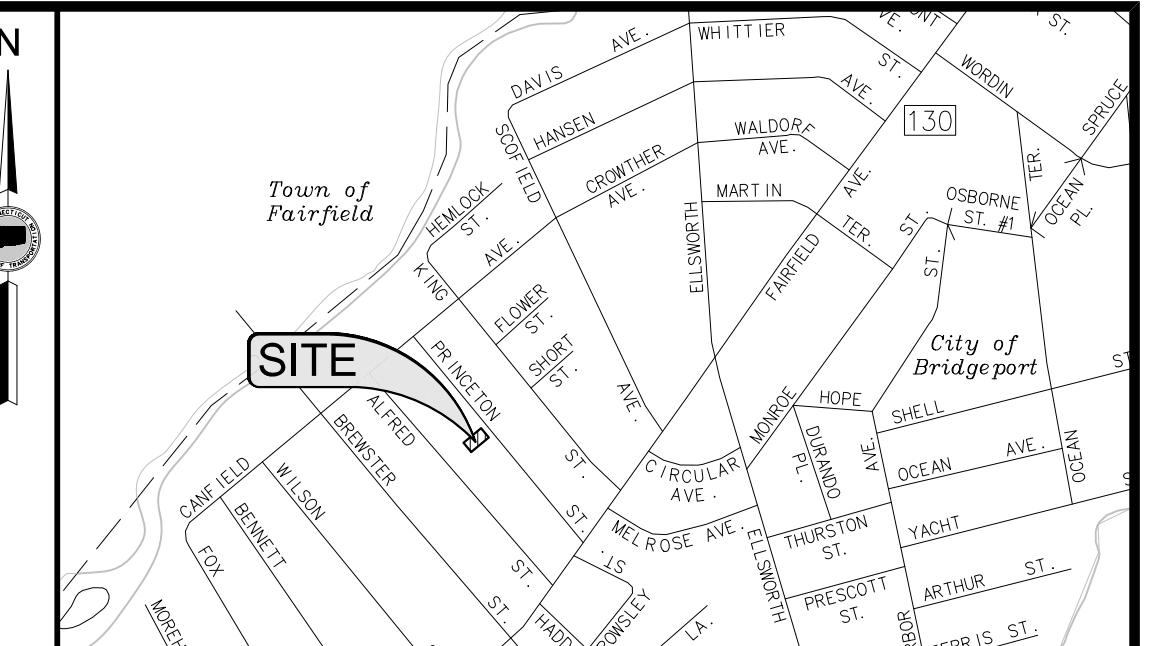
**CONCRETE SIDEWALK**  
SCALE: NTS



**FOUNDATION DRAIN**  
NTS

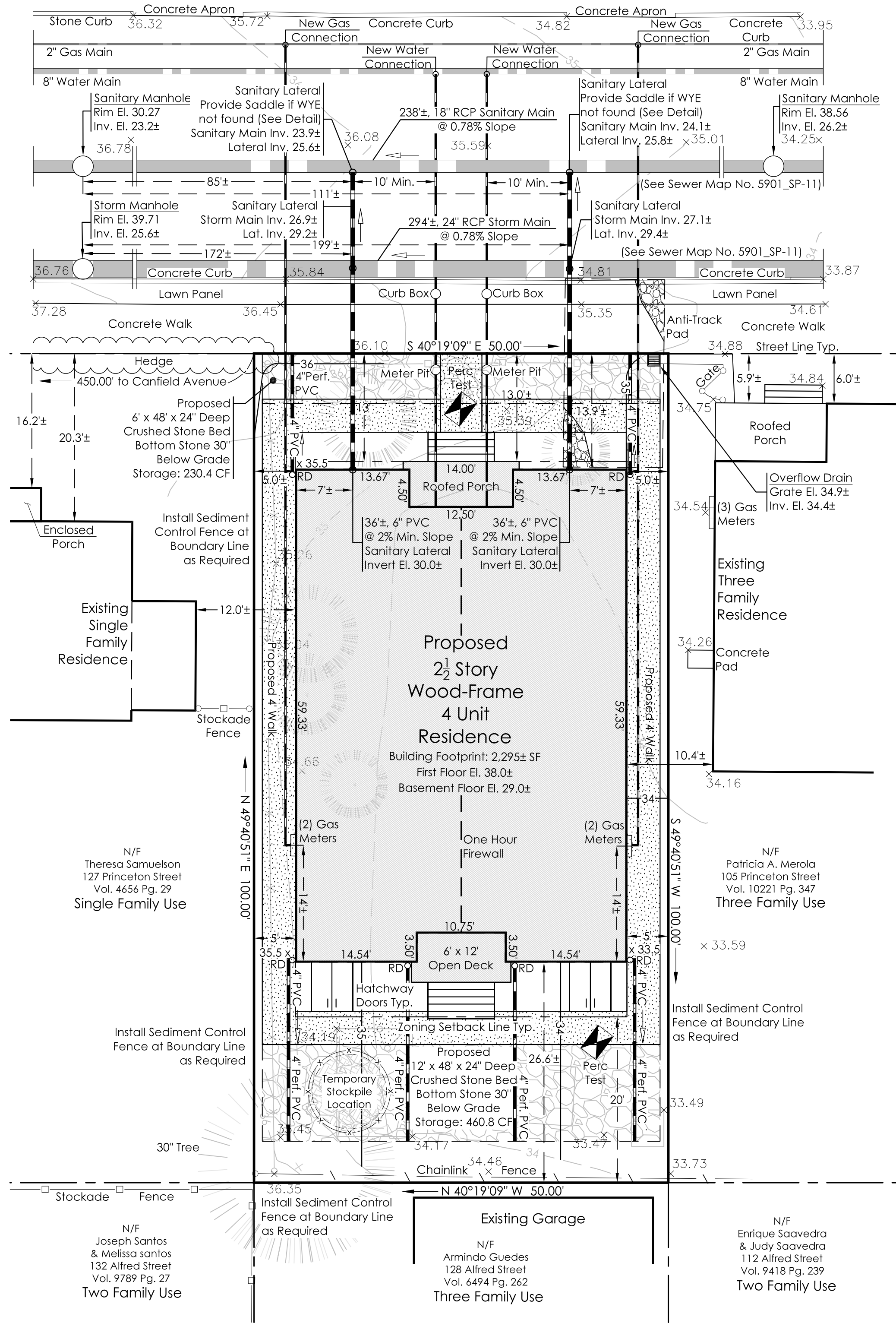
**Percolation Test Results**

Time	Measurement to Water Surface	Drop in Water Level (0.01")	Rate (Min./Inch)	
10:24 AM	0.25			
10:27 AM	0.36	0.11	2.27	
10:30 AM	0.45	0.09	2.78	
10:33 AM	0.54	0.09	2.78	
10:36 AM	0.58	0.04	6.25	
10:39 AM	0.62	0.04	6.25	
10:42 AM	0.68	0.06	4.17	
Overall Percolation Rate (Min/Inch)			3.49	
Minimum Percolation Rate (Min/Inch)			6.25	
Based on minimum percolation rate, a 36" tall system will drain in (Hours):				3.8



**LOCATION MAP**  
SCALE: 1"=800'

**Princeton (50' L.O.) Street**



**SANITARY SEWER NOTES**

- SADDLE TO BE SEALTYPE TYPE 'E' MULTI-RANGE WYE SEWER SADDLE. (TO BE USED IF CONNECTION IS NOT FOUND)
- 6" PVC SEWER CONNECTION TO BE INSTALLED ON CRUSHED STONE BASE. CRUSHED STONE TO EXTEND FROM 6" BELOW PIPE TO 3" ABOVE PIPE. FILTER FABRIC TO BE INSTALLED ON TOP SURFACE OF CRUSHED STONE.
- SERVICE LATERALS TO CROSS SANITARY LINE. VERIFY ELEVATIONS AT CROSSINGS WITH TEST PITS.

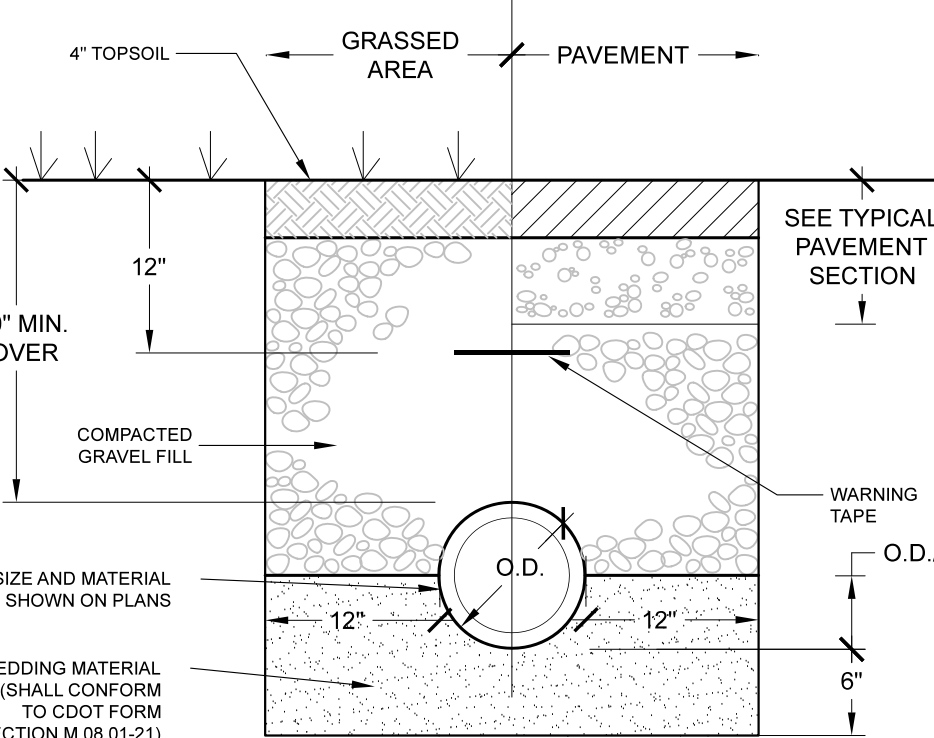
**NOTE**

1. PIPE TO BE BEDDED IN CRUSHED STONE

SEALTYPE TYPE 'E' MULTI-RANGE WYE SEWER SADDLE VARIANTS CONFORM TO THE 48" TRENCH OR SHOE-OLD GRAVITY SEWER MAINS

Manhole materials:

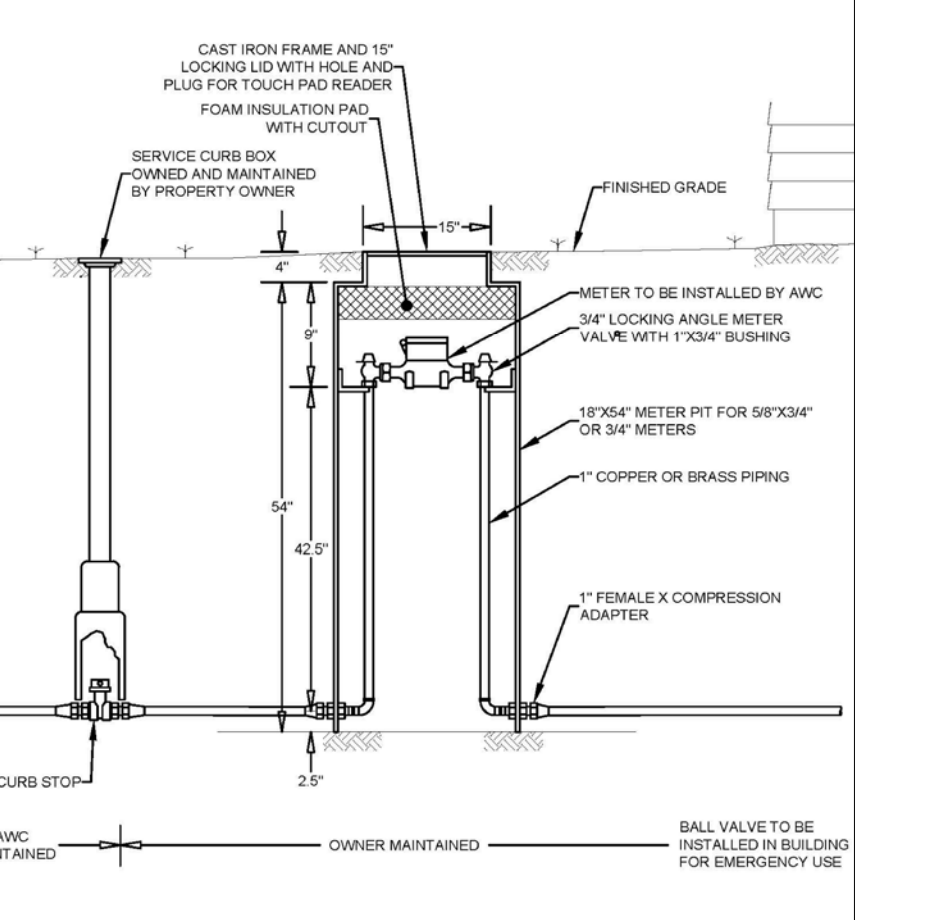
- EH 4" x 6" Galvanized Steel to accept SDR-35
- EG 4" x 6" Solder Wad PVC Hub to accept SDR-35
- EE 4" x 6" Solder Cap Concrete Any Lateral with Proper Friction Coating
- EA 4" x 6" Solder of SDR 35 PVC
- EF 4" x 6" Hub to accept Extra Heavy CI (Conduit Included)
- ESV 4" x 6" Hub to accept Service Weight CI (Conduit Included)
- EAH 4" x 6" Galvanized Hub to accept SDR 41
- EOA 4" x 6" Solder - C90 O.D.
- EOB 4" x 6" Solder - C90 O.D.
- EOC 4" x 6" Solder Wad PVC Hub to accept SDR-35



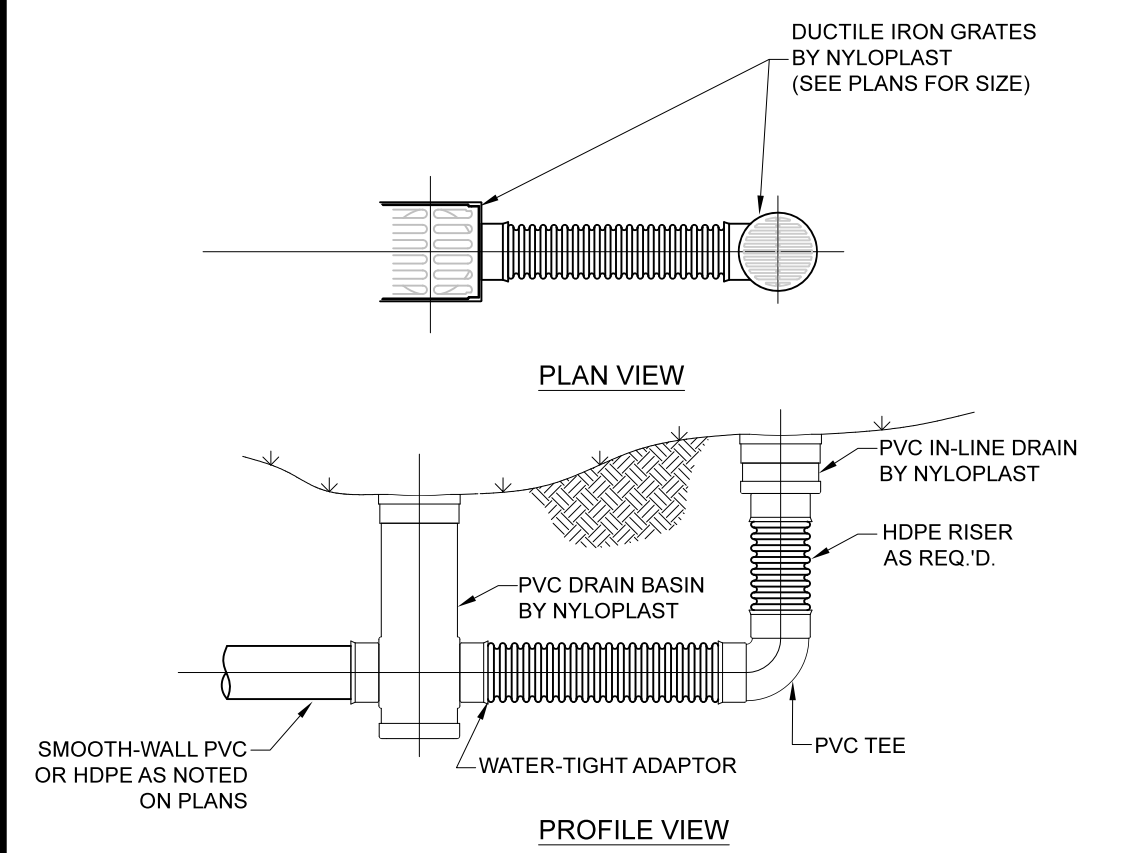
**Typical Trench Section (Sanitary Sewer)**  
NTS

**NOTES:**

- Storm drain pipe shall be P.E. Pipe, type N-12 w/ water tight couplings, by acts or equal.
- Sewer gravity main shall be PVC SH-40, 8 inch diameter.
- Sewer force main shall be C-90 PVC.



**STANDARD METER PIT**  
NTS



**TYPICAL DRAIN BASIN STRUCTURE**  
NOT TO SCALE

**LEGEND**

N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON	MONUMENT	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
FND	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UN	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	UMH	UTILITY MANHOLE
UG	UNDER GROUND	INT.	INTERSECTION
MANHOLE		INV.	INVERT
ELEC.	ELECTRIC	CI	CAST IRON
Ø	UTILITY POLE	V.C.	VITRIFIED CLAY
DVL	DOUBLE YELLOW LINE	ROP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	x 8.65	EXISTING SPOT GRADE
RET	RETAINING	-100-	EXISTING CONTOUR ELEVATION
CH	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FF	FINISHED FLOOR ELEVATION	②	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
Ø	EXISTING CONIFER TREE	Ø	EXISTING DECIDUOUS TREE

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604  
P:203 330 8700 • F:203 330 8701

SCALE: 1"=10'  
FIELD FILE: princeton survey-11-22-2022.rw5  
PROJECT NO. CD1678  
DATE: December 13, 2022  
CAD FILE: 117 Princeton ST\_ILS.dwg  
SHEET 1 OF 1  
REV: CAM REQUIREMENTS 02-03-2023

STATE OF CONNECTICUT  
WASHINGTON CABEZAS, JR.  
No. 70210  
LICENSED LAND SURVEYOR

STATE OF CONNECTICUT  
WASHINGTON CABEZAS, JR.  
No. 70210  
LICENSED PROFESSIONAL ENGINEER

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

WASHINGTON CABEZAS, JR., PEL 70210  
PROFESSIONAL ENGINEER & LAND SURVEYOR

SCALE: 1"=40'

**IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY**

PREPARED FOR  
**VAZ STRATFORD AVE LAUNDROMAT, LLC**

117 PRINCETON STREET  
BRIDGEPORT, CONNECTICUT  
ASSESSOR'S REFERENCE: MAP 11 | BLOCK 235 | LOT 32

SHEET 1 OF 1  
DECEMBER 13, 2022 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1"=10'





**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"

Required Transparency: 18 %  
Provided Dormer: 19.50%  
Provided 2nd Fl: 28.24%  
Provided 1st Fl: 22.21%



**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

Required Transparency: 12 %  
Provided Dormer: 38.46%  
Provided 2nd Fl: 14.23%  
Provided 1st Fl: 16.03%



**LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

Required Transparency: 12 %  
Provided Dormer: 38.46%  
Provided 2nd Fl: 14.23%  
Provided 1st Fl: 16.03%



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"

Required Transparency: 12 %  
Provided Dormer: 19.50%  
Provided 2nd Fl: 21.96%  
Provided 1st Fl: 22.21%

1	2	3	4	5	6
REVISIONS					

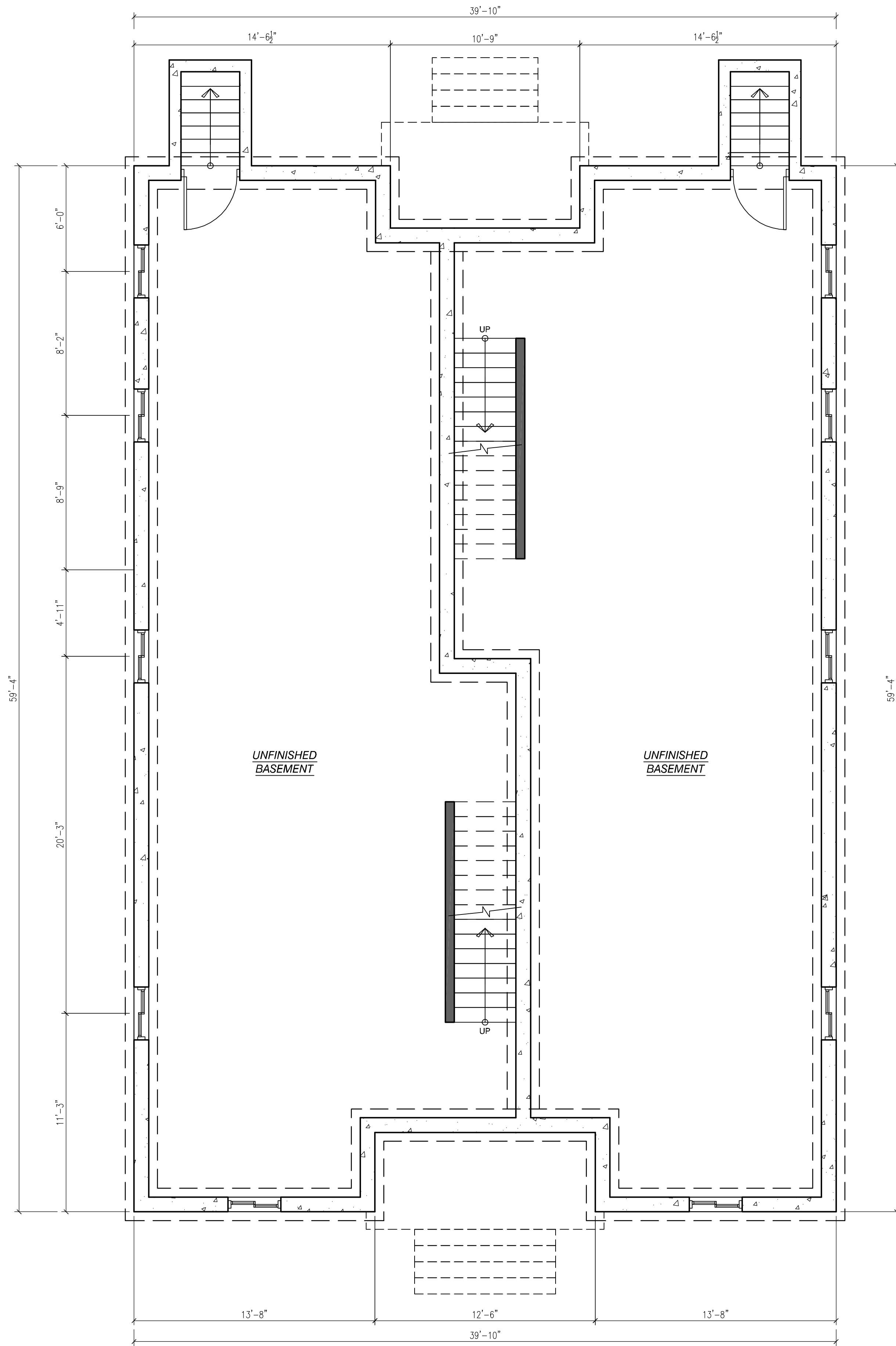
**NEW MULTI-FAMILY HOME PLANS**  
 PREPARED FOR PROPERTY LOCATED AT  
 117 PRINCETON STREET, BRIDGEPORT, CT

ELEVATIONS

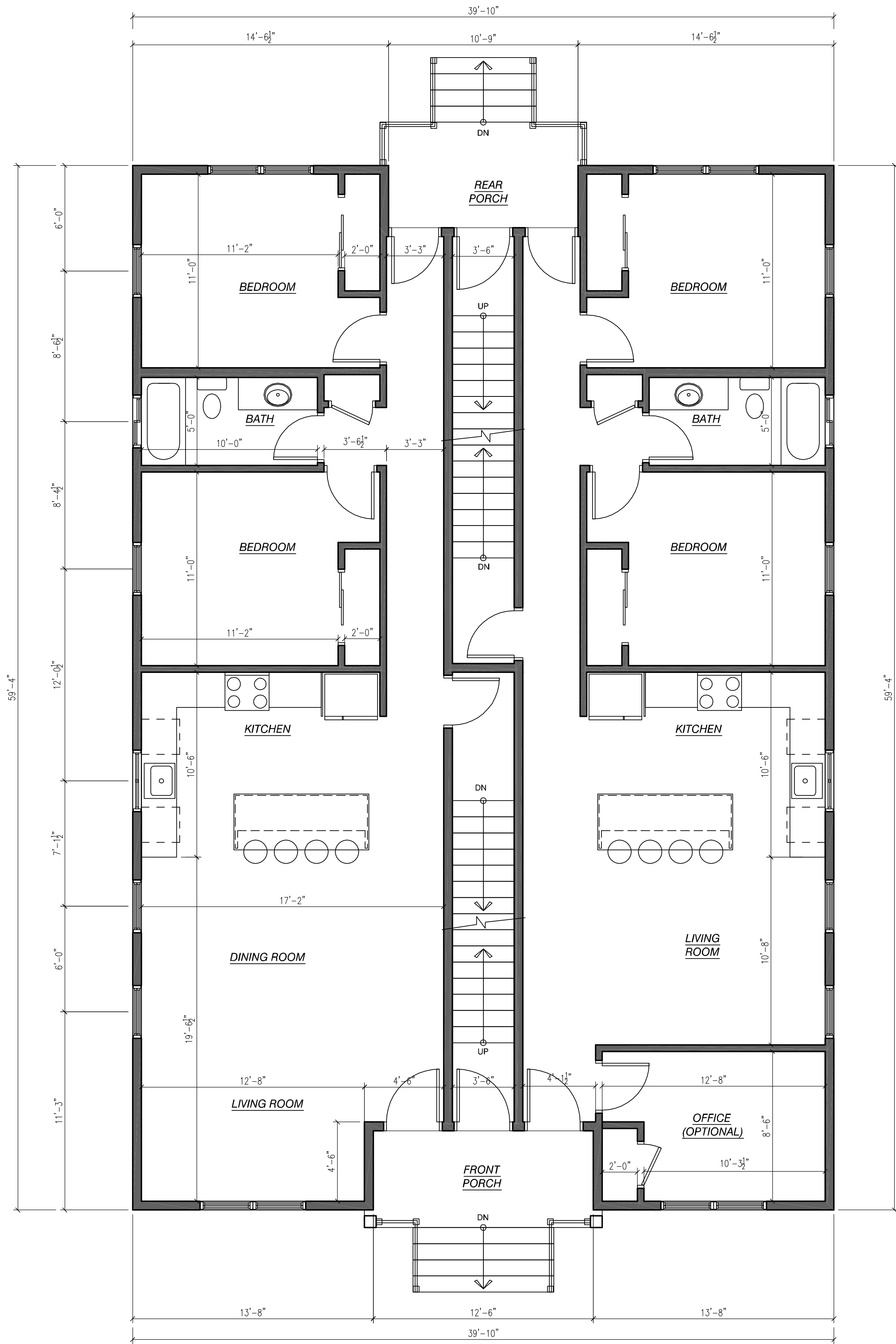
date: 11-05-2022  
 scale: AS NOTED  
 project #: MCR-2022-167  
 drawn: M. REINHEIMER 203-449-6137  
 E-Mail: marcosprimrose@yahoo.com

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

A-3



**BASEMENT PLAN**  
SCALE 1/4" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE 1/4" = 1'-0"  
1ST FLOOR AREA = 2270 SF

REVISIONS					
1	2	3	4	5	6

**NEW MULTI-FAMILY HOME PLANS**  
PREPARED FOR PROPERTY LOCATED AT  
117 PRINCETON STREET, BRIDGEPORT, CT

BASEMENT & 1ST FLOOR PLAN

date: 11-05-2022  
drawn: M. REINHEIMER 203-449-6137  
E-Mail: marcosprimrose@yahoo.com  
scale: AS NOTED  
project #: MCR-2022-167

This drawing is the property of the designer, it has been prepared specifically for the owner of this project at this site and is not to be used for any other purpose, location, or owner without written consent of the designer. Method of construction shown on this drawing should be followed exactly. Any deviation without designer's consent or supervision, the designer will not be held responsible for damages.

**A-1**







CONNECTICUT SECRETARY OF THE STATE

Document Review

30 Trinity Street  
P.O. Box 150470  
Hartford, CT 06115-0470

FILING #0003508054 PG 1 OF 2  
VOL B-01067 PAGE 2505  
FILED 08/04/2007 12:19 PM  
CONNECTICUT SECRETARY OF THE STATE

1. Name of Limited Liability Company:

V & L PROPERTIES, LLC

2. Business ID:

0851314

3. Report due in the month of:

March, 2007

4. This Limited Liability Company is:

DOMESTIC

Fee is:

\$10.00

Business Name:

V & L PROPERTIES, LLC

5. Mailing Address:

Changes:

179 WILLIAM STREET  
BRIDGEPORT, CT 06608

6. Principal Office Address (Domestic Limited Liability Company):

179 WILLIAMS STREET  
BRIDGEPORT, CT 06608

Changes:

179 WILLIAM STREET  
BRIDGEPORT, CT 06608

7. Address Required in State of Formation (Foreign Limited Liability Company):

Changes:

8. Date:

08/04/2007

9. Print Signatory Name:

STEVEN LAGE

Print Capacity:

MEMBER

10. Signature:



Report Officers/Directors

Business ID : 0851314

FILING # 0003508054 PG 2 OF 2  
VOL B-01067 PAGE 2506  
FILED 08/04/2007 12:19 PM  
CONNECTICUT SECRETARY OF THE STATE

1. Full Legal Name:

Title(s):

Residence Addr:

JOSE J. VAZ  
MEMBER  
30 HUNTING ST.  
BRIDGEPORT, CT

Business Addr:

179 WILLIAMS STREET  
BRIDGEPORT, CT 06608

Res Changes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Bus Changes:

2. Full Legal Name:

Title(s):

Residence Addr:

STEVEN LAGE  
MEMBER

Business Addr:

Res Changes:

25 SEPTEMBER LANE  
SHELTON, CT 06484

Bus Changes:

179 WILLIAM STREET  
BRIDGEPORT, CT 06608

3. Full Legal Name:

Title(s):

Residence Addr:

LUIS VAZ  
MEMBER

Business Addr:

Res Changes:

23 SHERMAN AVENUE  
TRUMBULL, CT 06611

Bus Changes:

179 WILLIAM STREET  
BRIDGEPORT, CT 06608

# ARTICLES OF ORGANIZATION

## DOMESTIC LIMITED LIABILITY COMPANY

Office of the Secretary of the State

30 Trinity Street / P.O. Box 150470 / Hartford, CT 06115-0470 / Rev. 10/01/2004

See reverse for instructions

Space

Filing Fee: \$60.00

FILING #0003154804 PG 01 OF 01 VOL B-00885  
FILED 03/02/2006 08:30 AM PAGE 00692  
SECRETARY OF THE STATE  
CONNECTICUT SECRETARY OF THE STATE

Please contact the Department of Revenue Services or your tax advisor for more information on this business.

### 1. NAME OF THE LIMITED LIABILITY COMPANY

V & L Properties, LLC

### 2. NATURE OF BUSINESS TO BE TRANSACTED OR THE PURPOSES TO BE PROMOTED

To improve, Manage, Purchase, Sale, Lease real estate and to do any and all things necessary, convenient, or incidental to that purpose

### 3. PRINCIPAL OFFICE ADDRESS (See instructions for further details.)

179 Williams Street, Bridgeport, Connecticut 06608

### 4. APPOINTMENT OF STATUTORY AGENT FOR SERVICE OF PROCESS

Name of agent

Bill L. Gouveia

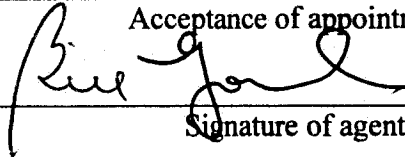
Business address (P.O. Box is not acceptable)

44 Lyon Terrace  
Bridgeport, Connecticut 06604

Residence address (P.O. Box is not acceptable)

45 Gaylor Drive  
Monroe, Connecticut

Acceptance of appointment



Signature of agent

### 5. MANAGEMENT

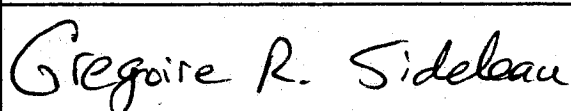
(Place a check mark next to the following statement only if it applies)

The management of the limited liability company shall be vested in one or more managers.

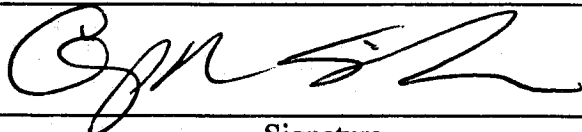
### 6. MANAGER(S) OR MEMBER(S) INFORMATION

Name	Title	Business Address	Residence Address
Jose J. Vaz	member	179 Williams St Bpt CT	- 30 Hunting St, Bpt CT
Luis A. Vaz	"	" "	" "
Steven A. Lage	"	" "	25 September Ln. Shelton CT
Diana Lage	"	" "	" "

### 7. EXECUTION



Print or type name of organizer



Signature

Reference an 8 1/2 x 11 attachment if additional space is required



# CITY OF BRIDGEPORT PLANNING & ZONING COMMISSION

## CHECKLIST FOR PUBLIC HEARING APPLICATIONS

### I. **REQUIRED INFORMATION** (except for **Fee & USB** submit an original & 16 copies of all below)

- Completed & Signed Application & Checklist Form
- Fee
- Written Statement of Development Use
- Completed Site Plan
- Drainage Plan
- Building Floor Plans
- Property Owner's List
- Cert. of Corporation/Org. of First Report
- A-2 Site Survey
- Building Elevations
- Other Evidence/Testimonial Information
- 1 USB MEMORY FLASH DRIVE STICK

**NOTE:** Please provide 1 USB MEMORY FLASH DRIVE Stick:

- The information on the memory flash drive sticks must include the application, site plans, and all other hard copy information (landscaping, floor elevations, etc) that will be submitted. It also **must be labeled** with the property address, applicant name and date of hearing.
- **All plans and paper work that is submitted to the zoning office must be FOLDED (11x17 or smaller) and Collated into 17 separate packets.**

### II. **SUPPLEMENTARY INFORMATION (Optional)**

- Perspective Rendering
- Building and Site Sections
- Eight 8 x10 Color or Black/White Photos of the Current Premises' Condition
- Copies of Zoning Board of Appeals, or Historic District Commission Decisions
- Drainage Report
- Traffic Studies
- Environmental Impact Statement
- Real Estate Studies
- Department of Environmental Protection or Coastal Area Management reports
- Aerial Photographs

### III. **OPTIONAL EXHIBITS (may be presented at the public hearing)** (16 copies not required)

- Color Rendering
- Models
- Material Sample
- OTHER: \_\_\_\_\_



**CITY OF BRIDGEPORT**

**PLANNING & ZONING COMMISSION**

**CHECKLIST FOR PUBLIC HEARING APPLICATIONS**

The following requirements shall apply to all applications for public hearings before the Bridgeport Planning & Zoning Commission and for all agenda dates on or after December 23, 2011.

The following are required components for any and all applications for a **change of zone; site plan review; motor vehicle; sub-division; special permit; or coastal site plan reviews** applications. Except for the Fee & USB, the Petitioner shall submit **one (1) original and sixteen (16) copies of all materials described below in sections I & II pertinent to the application.** The agenda closing date shall be five (5) weeks prior to the public hearing. No materials submitted by the petitioner after the agenda closing date shall be accepted by the Clerk or by the Commission, unless exempted under Section III below. Failure to provide any of the components listed under Section I below may be deemed by the Commission to be grounds for denial due to incomplete information.

**I. REQUIRED INFORMATION**

- A Complete and signed application form. **(The application must be signed by the current property owner)**
  
- Fee
  
- A written statement, not to exceed one hundred (100) words, describing all proposed uses.
  
- The original plus sixteen (16) copies of a site plan prepared, signed and sealed** by an engineer, architect or landscape architect registered and licensed to conduct business in the State of CT. Dated and meeting the following requirements:
  - The site plan must be drawn to a scale of 100 feet or less to the inch.
  
  - Proposed and existing structures and amenities, including, but not limited to, footprints of foundations, porches, decks, walkways, travel lanes, shall be indicated. Dimensions to property lines from structures and overall building dimensions shall also be shown. The dimensions of parking lot, including isle width and length, and width of parking spaces shall be shown.
  
  - All applicable (existing and proposed) Zone Development Standards.
  
  - Existing and proposed grades shall be shown at 2-foot intervals.
  
  - One or more benchmarks that can be used in the field to verify conditions shall be indicated.

- A drainage plan prepared by a professional engineer, showing all provisions for site runoff; on-site retentions; connections to city services; and any other pertinent information, including City Engineer's requirements.
- Building floor plans (all floors above and below grade) shall be prepared by a licensed architect, showing any and all proposed new construction or additions to existing structures. Additions and alterations shall be clearly delineated from existing work. Minimum scale 1/16" = 1"0.
- A list of names and addresses of all property owners within 100 feet of all property lines of the subject property shall be provided.
- If the petitioner is a corporation a copy of the "Certificate of Corporation" and "Organization and First Report" as filed with the Office of the Secretary of the State of CT must be filed with the application.
- An A-2 survey.
- For applications involving a building(s), the following shall be submitted:
  - Preliminary architectural plans, sections, and/or elevations at 1/4" or 1/8" = 1' showing exterior wall elevations, roof lines, façade materials or other features of proposed buildings or structures.
  - Drawings prepared by a registered architect, landscape architect or professional engineer licensed in the State of CT, each individually sealed and signed by the design professional, (except seals not required on residential projects of less than 5,000 square feet total).
- Any other evidence or testimonial information, which will be presented by the petitioner at a public hearing.

**Note:** All of the above information shall be submitted at the time of filing. Applications with missing information will be deemed incomplete; will not be processed and will be immediately returned to the applicant.

## **II. SUPPLEMENTARY INFORMATION**

- Perspective renderings, either in black and white or in color, reproduced either photographically or by diazo print, showing principal street side view of the proposed development. Minimum size 8"x10" (for photos); Maximum size 30"x42". Color renderings may be presented at the public hearing provided diazo print or photo reproduction has been submitted to the Clerk for distribution before the agenda closing date.
- Building and site section drawings to show relationship of proposed development to existing adjacent streets and buildings.

- Not more than eight (8) 8"x10" color or black and white photographs showing existing site conditions or surrounding area. These may be reproduced xerographically for application filing.
- Copies of any pertinent actions by the Zoning Board of Appeals or Historic District Commission.
- Drainage reports, traffic studies, environmental impact studies and/or real estate studies.
- State Department of Environmental Protection (DEP) or Coastal Area Management (CAM) reports.
- Aerial photographs of subject parcel and surrounding environment.

### III. OPTIONAL EXHIBITS

The following items may be presented to the Commission at the time of the public hearing (16 copies not required) without need for filing on or before the agenda closing date:

- Color renderings (see Section II item) provided the Commission has received through the Clerk reduced photographic reproductions, or black and white versions of the renderings.
- Models of proposed building(s).
- Samples of materials and/or colors to be used in the proposed development.

**Note:** Staff reports or departmental correspondence (e.g. City Engineer, W.P.C.A., Fire Marshal, Design Review Coordinator, etc.) shall be received and distributed by the Clerk of the Commission on or before the date of the public hearing. **Whether such reports or correspondence is received before the agenda closing date shall not pose any penalty to the Petitioner and shall be the responsibility of the staff.**





# PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: \_\_\_\_\_

2. Is the Applicant's name Trustee of Record? Yes \_\_\_\_\_ No \_\_\_\_\_.

If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.

3. Address of Property: \_\_\_\_\_

(number) (street) (state) (zip code)

4. Assessor's Map Information: Block No. \_\_\_\_\_ Lot No. \_\_\_\_\_

5. Amendments to Zoning Regulations: (indicate) Article: \_\_\_\_\_ Section: \_\_\_\_\_

**(Attach copies of Amendment)**

6. Description of Property (Metes & Bounds): \_\_\_\_\_

7. Existing Zone Classification: \_\_\_\_\_

8. Zone Classification requested: \_\_\_\_\_

9. Describe Proposed Development of Property: \_\_\_\_\_

Approval(s) requested: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Cell: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

\$ \_\_\_\_\_ Fee received Date: \_\_\_\_\_ Clerk: \_\_\_\_\_

**THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST**

- Completed & Signed Application Form
- A-2 Site Survey
- Building Floor Plans
- Completed Site / Landscape Plan
- Drainage Plan
- Building Elevations
- Written Statement of Development and Use
- Property Owner's List
- Fee
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

**PROPERTY OWNER'S ENDORSEMENT OF APPLICATION**

\_\_\_\_\_  
Print Owner's Name Owner's Signature Date

\_\_\_\_\_  
Print Owner's Name Owner's Signature Date

**CITY OF BRIDGEPORT PLANNING AND ZONING COMMISSION**

**Written Narrative/Statement of Use**

**206-222 HUNTINGTON TURNPIKE**

**YTD ENTERPRISES, LLC**

Managing Member: Derrick McLaughlin Project Manager: Joseph Iannelli

The Owner/Applicant YTD Enterprises, LLC proposes to develop 206-222 Huntington Turnpike into 51 Apartment Units. These apartments will be attractive, modest, studio and one-bedroom units designed and intended to fill an existing need, including housing for seniors, homeless, veterans and disabled tenants.

In order to achieve this goal, a zone change from N2 to NX4 would be necessary. With a change to NX4, the development is designed to be conforming. To allow the Commission to see the Owner's vision, we have included a Site Plan, Area Site Plan, Building and Street Elevations.

This Property is ideal for this use. It is located on a bus line and includes neighborhood amenities, including a grocery store within walking distance. Nearby properties are improved with multifamily developments. The property at 120 Huntington Turnpike, just two parcels away, is currently zoned NX4 and is improved with a large apartment building. The immediately adjacent parcel is zoned NX2 permitting small apartment buildings. With a zone change to NX4 the proposed development would be conforming.

The change of zone will not adversely affect the comprehensive plan of development. The site can easily and safely accommodate the proposed development without creating any negative impacts to the area.

**206 Huntington Turnpike Metes and Bounds Description:**

All that certain piece or parcel of land and buildings in the City of Bridgeport, County of Fairfield, and State of Connecticut, bounded and described as follows:

- NORTHERLY: by land of Edward Leo and Helen Ruth Barnes, by a line at right angles to Huntington Turnpike, starting at a point 36.75 feet south of the State Highway Monument, and extending easterly, 150 feet;
- EASTERLY: by land of United States of America, by a line parallel to Huntington Turnpike, 75 feet;
- SOUTHERLY: by land of Verna M. Muller, by a line a[t] right angles to Huntington Turnpike and parallel to and 75 feet south of the northerly boundary above described, 150 feet;
- WESTERLY: By Huntington Turnpike, 75 feet.

The monument referred to is located 1113 feet, more or less, south of Evers Lane as measured along the easterly line of Huntington Turnpike.

**222 Huntington Turnpike Metes and Bounds Description:**

All that certain piece or parcel of land, situated in the City of Bridgeport, County of Fairfield and State of Connecticut, and more particularly bounded and described as follows, to wit:

- NORTHWESTERLY: By Huntington Turnpike, 75 feet;
- NORTHEASTERLY: By land of United States of America, 150 feet;
- SOUTHEASTERLY: By land of United States of America, 75 feet;
- SOUTHWESTERLY: By land of Thomas and Katherine Paterno, 150 feet.



**206 & 222 Huntington Turnpike Metes and Bounds Zone Change Description:**

**206 & 222 Huntington Turnpike** – Petition of YTD Enterprises, LLC – Seeking a zone change from N2 zone to NX4 zone beginning at a point (**222 Huntington Turnpike**) along the Southerly line of Huntington Turnpike, said point being the intersection of Huntington Turnpike and land of n/f United States of America, said point being S 214° 3' 20" W of the intersection of Huntington Turnpike and Knoll Place; Thence S 135° 2' 9" E a distance of 150' along land of n/f United States of America; Thence S 219° 3' 23" W a distance of 150' along land of n/f United States of America; Thence N 309° 5' 5.4" W a distance of 150' along n/f Verna M. Muller, Thence N 37° 0' 22.2" E a distance of 150' along the Southerly line of Huntington Turnpike to the point and place of beginning.

## 206 & 222 Huntington Turnpike – 100-foot abutters

STREET ADDRESS	OWNER NAME	CO-OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP
170 HUNTINGTON TP	CARPEL CARMOUSTE F & MARGALIE E		170 HUNTINGTON TPKE	BRIDGEPORT	CT	06610
10 KNOLL PL #12	RIVERA SOLIA		10 KNOLL PL	BRIDGEPORT	CT	06610
165 HUNTINGTON TP	786 HUNGTINTON TURNPIKE LLC		165 HUNTINGTON TP	BRIDGEPORT	CT	06610-1463
208 PRISCILLA ST #210	ARROYO ISRAEL SR		208 PRISCILLA ST	BRIDGEPORT	CT	06610
38 KNOLL PL #40	POWELL TAIESHA		38 KNOLL PLACE	BRIDGEPORT	CT	06610
191 HUNTINGTON TP	MARIN MARK E	RUTH G V VILLA	191 HUNTINGTON TP	BRIDGEPORT	CT	06610-1463
209 HUNTINGTON TP	SINDHUSEKA RUSHNEE & ONGARJ	(SURVIVOR OF THEM)	209 HUNTINGTON TPK	BRIDGEPORT	CT	06610
236 HUNTINGTON TP	CABREJA SALVADOR E		236 HUNTINGTON TPK	BRIDGEPORT	CT	06610
185 HUNTINGTON TP	NUTERANGELO THOMAS JR		185 HUNTINGTON TPK	BRIDGEPORT	CT	06610
245 HUNTINGTON TP	BEARDSLEY PARK CONGREGATION OF JEHOVAH'S	C/O SERGE DESENCLOS	P.O. BOX 55555	BRIDGEPORT	CT	06610

SECRETARY OF THE STATE OF CONNECTICUT

Annual Report

165 CAPITOL AVENUE  
P.O. BOX 150470  
HARTFORD, CT 06115-0470

FILING #0006896241 PG 1 OF 3  
VOL A-00487 PAGE 1363  
FILED 05/01/2020 10:06 AM  
SECRETARY OF THE STATE OF CONNECTICUT

- 1. Name of Limited Liability Company: YTD ENTERPRISES, LLC
- 2. Business ID: 1310053
- 3. Report due in the month of: March, 2020
- 4. NAICS Code: NONE  
Changes: 531390 (Other Activities Related to Real Estate)
- 5. This Limited Liability Company is: DOMESTIC  
Fee is: \$20.00  
Business Name: YTD ENTERPRISES, LLC
- 6. Mailing Address: 6 W. RIVER ST  
#26  
MILFORD,CT 06460 USA  
Changes: \_\_\_\_\_  
\_\_\_\_\_
- 7. Principal Office Address: 6 W. RIVER ST  
#26  
MILFORD,CT 06460 USA  
Changes: \_\_\_\_\_  
\_\_\_\_\_
- 8. Address Required in State of Formation (Foreign Limited Liability Company):  
Changes: \_\_\_\_\_  
\_\_\_\_\_



9. Agent Information

Agent Type: INDIVIDUAL  
Agent Name: DERRICK MCLAUGHLIN  
Agent's Business Address: 6 W. RIVER ST  
#26  
MILFORD,CT 06460 USA  
Agent's Residence Address: 6 W. RIVER ST  
#26  
MILFORD,CT 06460 USA  
Agent's Mailing Address: 6 W. RIVER ST  
#26  
MILFORD,CT 06460 USA

Agent's Business Address Changes: \_\_\_\_\_  
\_\_\_\_\_

Agent's Residence Address Changes: \_\_\_\_\_  
\_\_\_\_\_

Agent's Mailing Address Changes: \_\_\_\_\_  
\_\_\_\_\_

Name of person accepting appointment: \_\_\_\_\_  
Title: \_\_\_\_\_

Signature Accepting Appointment: \_\_\_\_\_

(if agent is a business also print name and title of person signing)

10. Date: 05/01/2020

11. Email Address: ytdentllc@gmail.com

12. I hereby certify and state, under penalties of false statement, that all of the information set forth on this annual report is true. I hereby electronically sign this report.

Print Capacity: OWNER

13. Signature of Authorizer: DERRICK MCLAUGHLIN

1. Full Legal Name:

DERRICK MCLAUGHLIN

Title(s):

MANAGING MEMBER

Residence Addr:

6 W. RIVER ST

#26

MILFORD,CT 06460 USA

Business Addr:

6 W. RIVER ST

#26

MILFORD,CT 06460 USA

Res Changes:

---

---

Bus Changes:

---

---



# SECRETARY OF THE STATE OF CONNECTICUT

## CERTIFICATE OF ORGANIZATION LIMITED LIABILITY COMPANY - DOMESTIC

### FILING PARTY (CONFIRMATION WILL BE SENT TO THIS ADDRESS)

**Name:** YTD ENTERPRISES, LLC  
**Mailing Address:** 6 W. RIVER ST  
 #26  
**City:** MILFORD  
**State:** CT **Zip:** 06460  
**Country:** USA

FILING #0006562221 PG 1 OF 2  
 VOL E-00029 PAGE 1976  
 FILED ON 05/20/2019 08:01 PM  
 SECRETARY OF THE STATE OF CONNECTICUT

### 1. NAME OF LIMITED LIABILITY COMPANY - **REQUIRED:** (MUST INCLUDE BUSINESS DESIGNATION I.E. LLC, L.L.C., ETC.)

YTD ENTERPRISES, LLC

### 2. LLC'S PRINCIPAL OFFICE ADDRESS - **REQUIRED:** (NO P.O. BOX) PROVIDE FULL ADDRESS.

**Street:** 6 W. RIVER ST  
 #26  
**City:** MILFORD  
**State:** CT **Zip:** 06460  
**Country:** USA

### 3. MAILING ADDRESS, **REQUIRED** - PROVIDE FULL ADDRESS. (P.O. BOX IS ACCEPTABLE)

**Street:** 6 W. RIVER ST  
 #26  
**City:** MILFORD  
**State:** CT **Zip:** 06460  
**Country:** USA

### 4. APPOINTMENT OF REGISTERED AGENT - **REQUIRED:** (COMPLETE A OR B NOT BOTH)

#### A. IF AGENT IS AN INDIVIDUAL.

**PRINT OR TYPE FULL LEGAL NAME:**

DERRICK MCLAUGHLIN

#### CT BUSINESS ADDRESS

(P.O. BOX NOT ACCEPTABLE) IF NONE, MUST STATE "NONE"

**Street:** 6 W. RIVER ST  
 #26  
**City:** MILFORD  
**State:** CT **Zip:** 06460  
**Country:** USA

#### CONNECTICUT RESIDENCE ADDRESS (REQUIRED)

(P.O. BOX NOT ACCEPTABLE)

**Street:** 6 W. RIVER ST  
 #26  
**City:** MILFORD  
**State:** CT **Zip:** 06460  
**Country:** USA

### CONNECTICUT MAILING ADDRESS (REQUIRED) (P.O. BOX ACCEPTABLE)

**Street:** 6 W. RIVER ST  
 #26  
**City:** MILFORD  
**State:** CT **Zip:** 06460  
**Country:** USA



**SIGNATURE ACCEPTING APPOINTMENT:** [This document has been executed and filed electronically]

DERRICK MCLAUGHLIN

**B. IF AGENT IS A BUSINESS:**

**PRINT OR TYPE NAME OF BUSINESS AS IT APPEARS ON OUR RECORDS:**

**CT BUSINESS ADDRESS** (P.O. BOX NOT ACCEPTABLE)

**Street:** NONE

**City:**

**State:**

**Zip:**

**Country:**

**CT MAILING ADDRESS** (P.O. BOX ACCEPTABLE)

**Street:** NONE

**City:**

**State:**

**Zip:**

**Country:**

**SIGNATURE ACCEPTING APPOINTMENT ON BEHALF OF AGENT:** [This document has been executed and filed electronically]

**PRINT NAME & TITLE OF PERSON SIGNING:**

**5. MANAGER OR MEMBER INFORMATION - REQUIRED:** (MUST LIST ATLEAST ONE MANAGER OR MEMBER OF THE LLC.)

**NAME / TITLE :** DERRICK MCLAUGHLIN / MANAGING MEMBER

**BUSINESS ADDRESS**

**Street:** 6 W. RIVER ST

#26

**City:** MILFORD

**State:** CT

**Zip:** 06460

**Country:** USA

**RESIDENCE ADDRESS**

**Street:** 6 W. RIVER ST

#26

**City:** MILFORD

**State:** CT

**Zip:** 06460

**Country:** USA

**6. ENTITY EMAIL ADDRESS-REQUIRED:** (IF NONE, MUST STATE "NONE.")

YARYMC@YAHOO.COM

**7. EXECUTION - REQUIRED:** (SUBJECT TO PENALTY OF FALSE STATEMENT) [This document has been executed and filed electronically]

**Date: (MM/DD/YYYY)** 05/20/2019

**NAME OF ORGANIZER**  
(print/type)

DERRICK MCLAUGHLIN

**SIGNATURE**  
(required)

DERRICK MCLAUGHLIN



**NOTES**

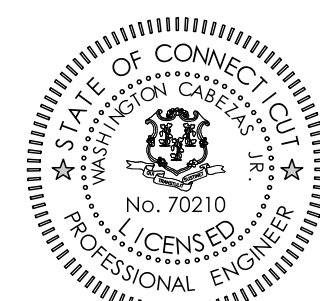
- THIS CONCEPTUAL PLAN INTENDED FOR SITE PLANNING PURPOSES ONLY.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN HEREON BASED ON EXISTING CONDITIONS SURVEY AND TOPOGRAPHIC SURVEY PREPARED FOR YTD ENTERPRISES, LLC, 206 & 222 HUNTINGTON TURNPIKE, BRIDGEPORT, CONNECTICUT, SCALE: 1"=10', DATED JUNE 7, 2021 AND PREPARED BY CABEZAS DeANGELIS, LLC.
- PARCEL INFORMATION:  
206 HUNTINGTON TURNPIKE  
A. ASSESSOR'S REFERENCE: MAP 76, BLOCK 2860, LOT 5  
B. PARCEL AREA: 11,446± SQ. FT. OR 0.263± AC.  
C. RECORD OWNER: YTD ENTERPRISES LLC, VOL. 10262, PG. 3  
222 HUNTINGTON TURNPIKE  
A. ASSESSOR'S REFERENCE: MAP 76, BLOCK 2860, LOT 6  
B. PARCEL AREA: 11,042± SQ. FT. OR 0.253± AC.  
C. RECORD OWNER: YTD ENTERPRISES LLC, VOL. 10262, PG. 6
- PARCELS ARE LOCATED WITHIN THE 'N2' ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 433 OF 626. COMMUNITY BRIDGEPORT, CITY OF, NUMBER 090002 PANEL 0433 SUFFIX G, MAP NUMBER 09001C0433G, MAP REVISED JULY 8, 2013. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED).
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

**LEGEND**

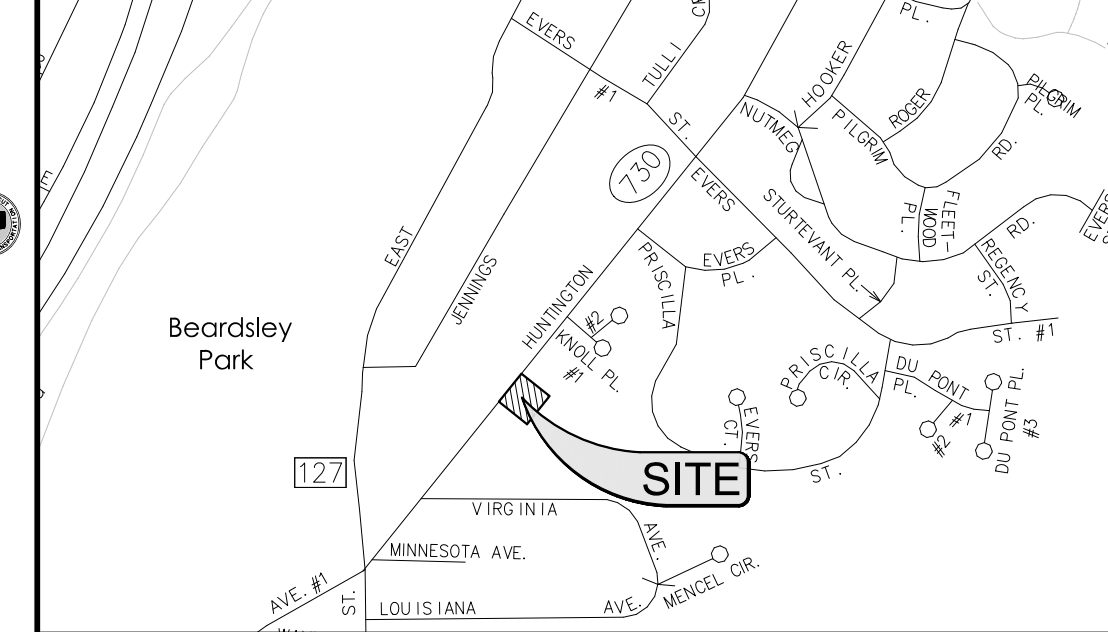
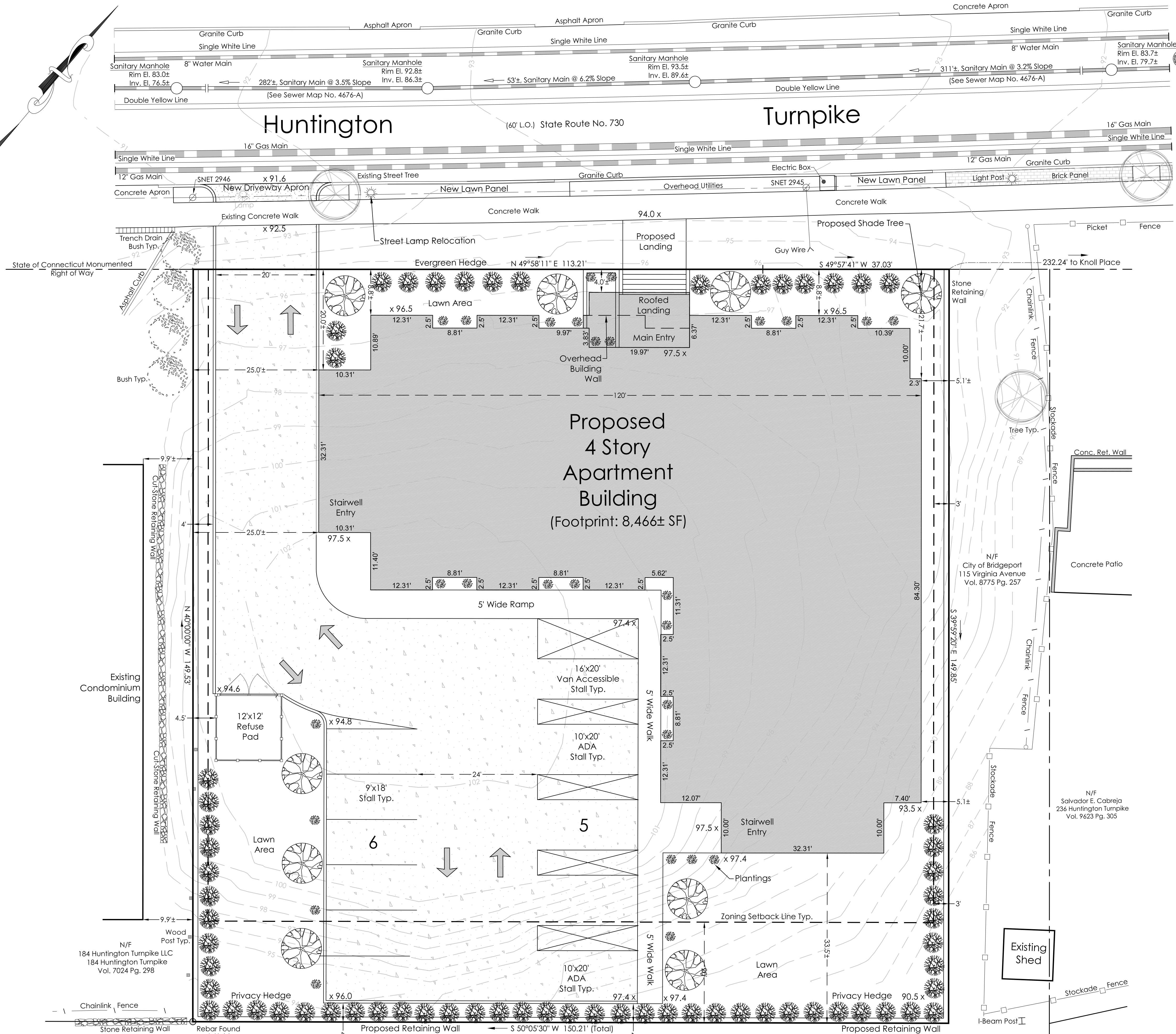
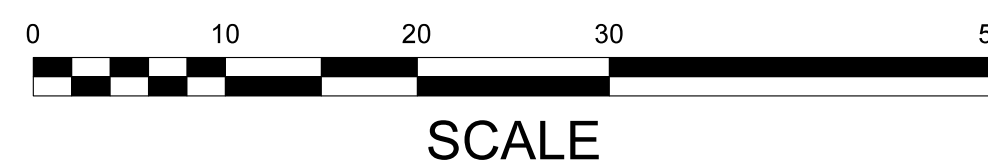
- N/F NOW OR FORMERLY
- MON. MONUMENT
- I.P. IRON PIPE
- FND. FOUND
- S.F. SQUARE FEET
- CONC. CONCRETE
- BIT. BITUMINOUS
- OHU OVERHEAD UTILITIES
- UG UNDER GROUND
- MH MANHOLE
- ELEC. ELECTRIC
- Ø UTILITY POLE
- DYL DOUBLE YELLOW LINE
- SWL SINGLE WHITE LINE
- BWL BROKEN WHITE LINE
- EOP EDGE OF PAVEMENT
- RET. RETAINING
- CLF CHAIN LINK FENCE
- FFE FINISHED FLOOR ELEVATION
- C.O. CLEANOUT
- LP LIGHT POST
- CB CATCH BASIN
- WM WATER METER
- WV WATER VALVE
- GV GAS VALVE
- RET. RETAINING
- SNET SOUTHERN NEW ENGLAND TELEPHONE
- UI UNITED ILLUMINATING COMPANY
- TMH TELEPHONE MANHOLE
- INT. INTERSECTION
- INV. INVERT
- C.I. CAST IRON
- V.C. VITRIFIED CLAY
- RCP REINFORCED CONCRETE PIPE
- RD ROOF DRAIN
- MW MONITOR WELL
- x 8±5 EXISTING SPOT GRADE
- 10± EXISTING CONTOUR ELEVATION
- L LAYOUT OF STREET WIDTH
- (2) PARKING SPACES
- HDPE HIGH DENSITY POLYETHYLENE
- PVC POLYVINYL CHLORIDE
- ⊗ EXISTING DECIDUOUS TREE
- ⊙ EXISTING CONIFER TREE

**Cabezas DeAngelis**  
ENGINEERS & SURVEYORS  
78 ELM STREET, BRIDGEPORT, CT 06604  
P:203 330 8700 • F:203 330 8701

SCALE: 1" = 10'  
FIELD FILE: huntington\_survey.rw5  
PROJECT NO. CD1504  
DATE: December 8, 2022  
CAD FILE: 206-222 Huntington CONCEPT.dwg  
SHEET 1 OF 1  
REV:



TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON  
*Washington Cabezas, Jr.*  
WASHINGTON CABEZAS, JR. PEL 70210



**LOCATION MAP**  
SCALE: 1" = 800'

NX4 ZONE DEVELOPMENT STANDARDS		
"GENERAL BUILDING TYPE"		
<b>3.50.4. BUILDING LOCATION</b> SEE FIGURE 3.50-A	REQUIRED	PROPOSED
MULTIPLE PRINCIPLE BUILDINGS	ALLOWED	N/A
1) LOT WIDTH PER PRINCIPLE BUILDING	-	150± FT
2) PRIMARY STREETWALL (SEE 3.50.10 FOR COURTYARD ALLOWANCE AND DOUBLE FRONTAGE LOTS)	80% MIN.	80%
3) PRIMARY STREET BUILD-TO-ZONE (SEE 3.50.10 MINIMUM STREETSCAPE AREA AND ALLOWED PLAZA EXCEPTION TO BUILD-TO-ZONE)	0 FT. MIN. 25 FT. MAX.	8.8± FT. MIN. 21.7± FT. MAX.
4) STOOP, BAY ENCROACHMENT	-	N/A
5) NON-PRIMARY STREET BUILD-TO-ZONE	0 FT. MIN. 25 FT. MAX.	N/A
6) SIDE SETBACK BUILDING	3 FT. MIN.	5 FT. MIN.
SPACE BETWEEN ADJACENT BUILDINGS	12 FT. MIN.	34.9± FT.
7) REAR SETBACK (SEE 3.50.10 FOR TREATMENT ADJACENT TO N ZONES)	20 FT. MIN.	33.5± FT.
8) SITE COVERAGE (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	85% MAX	77%
<b>3.50.5. PARKING &amp; ACCESSORY STRUCTURES</b> SEE FIGURE 3.50-C		
1) PARKING & DRIVEWAY ACCESS (SEE 8.0 PARKING)	NON-PRIMARY: IF NO NON-PRIMARY STREET, PRIMARY STREET MAX 22 FT. WIDTH AT SIDEWALK. MAX. 1 DRIVEWAY ACCESS POINT PER BUILDING	20 FT. WIDTH 1 DRIVEWAY ACCESS
2) ATTACHED GARAGE SETBACK (ALLOWED GARAGE DOOR LOCATION) (SEE 8.50.11 FOR GARAGE DOOR DESIGN REGULATIONS)	20 FT. MIN. BEHIND PRIMARY FACADE IN REAR OF BUILDING REAR, INTERIOR SIDE AND SIDE FACADES	N/A
3) SURFACE PARKING LOCATION (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	REAR YARD, LIMITED SIDE YARD	REAR YARD
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPAL BUILDING	N/A
SIDE & REAR SETBACK	3 FT. MIN.	4± FT.
4) ACCESSORY STRUCTURE LOCATION (SEE 3.170 ACCESSORY STRUCTURES)	REAR YARD	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPAL BUILDING	N/A
SIDE & REAR SETBACK	3 FT. MIN.	N/A
<b>3.50.6. HEIGHT</b> SEE FIGURE 3.50-D		
HEIGHT (SEE 3.50.10 FOR STEP-BACK REGULATIONS; SEE 14.20.10 FOR HEIGHT; SEE REGULATIONS ON HIGH RISES IN 8.70.)	2 STORIES MIN. 5.5 STORIES MAX.	4 STORIES
ADDITIONAL HIGH-RISE OR STEPPED-BACK HEIGHT	NX4: 7 ADDITIONAL STORIES ALLOWED STEPPED BACK FROM LOWER 5.5 STORIES PER 3.50.10.C	N/A
GROUND STORY HEIGHT	10 FT. MIN. - 18 FT. MAX.	10 FT.
ALL OTHER STORIES HEIGHT	10 FT. MIN. - 14 FT. MAX.	10 FT.
<b>3.50.7. ROOFS</b> SEE FIGURE 3.60-D		
ROOF TYPES (SEE 6.20 FOR ROOF TYPES AND TOWER REGULATIONS)	FLAT, PARAPET	FLAT
TOWER	ALLOWED	N/A
<b>3.50.8. ALLOWED USES</b> SEE ARTICLE 4.0 FOR USE DEFINITIONS, SPECIFIC USE LIMITATIONS, AND OTHER USE-RELATED REGULATIONS		
RESIDENTIAL		
NUMBER OF PRINCIPAL UNITS	3 MINIMUM	51
NUMBER OF ACCESSORY UNITS	-	N/A
HOUSEHOLD LIVING	ALLOWED	PROVIDED

**CONCEPTUAL SITE PLAN**

PREPARED FOR  
**YTD ENTERPRISES LLC**  
206 & 222 HUNTINGTON TURNPIKE  
BRIDGEPORT, CONNECTICUT  
ASSESSOR'S REFERENCE: MAP 76 | BLOCK 2860 | LOT 5 & 6



# 206-222 Huntington Apartments

206-222 Huntington Turnpike, Bridgeport, 06610

## SHEET LIST

Sheet List	
Sheet Number	Sheet Name
INFORMATION	
G100	Cover Sheet
G101	Renderings
CIVIL	
SP1	Conceptual Site Plan
ARCHITECTURAL	
A101	Basement Plan
A102	Ground Floor
A103	Second Floor
A104	Roof Plan
A201	Exterior Elevations
A202	Exterior Elevations
A301	Sections
Grand total: 10	

### PROJECT STATUS:

**Regulatory Approval**

### SCOPE OF WORK:

CONSTRUCT NEW MULTI-FAMILY BUILDING FULLY SPRINKLED PROJECT INCLUDES SITE WORK, GENERAL CONSTRUCTION, MECHANICAL. ELECTRICAL PLUMBING AND FIRE PROTECTION WORK

### PROJECT DATA

FOR AREA / SQFT REFER TO DRAWINGS A101 & A102

### PROJECT TEAM:

#### Architect

Wiles+Architects, LLC  
257 Naugatuck Avenue,  
Milford, CT 06460  
ph | 203-366-6003

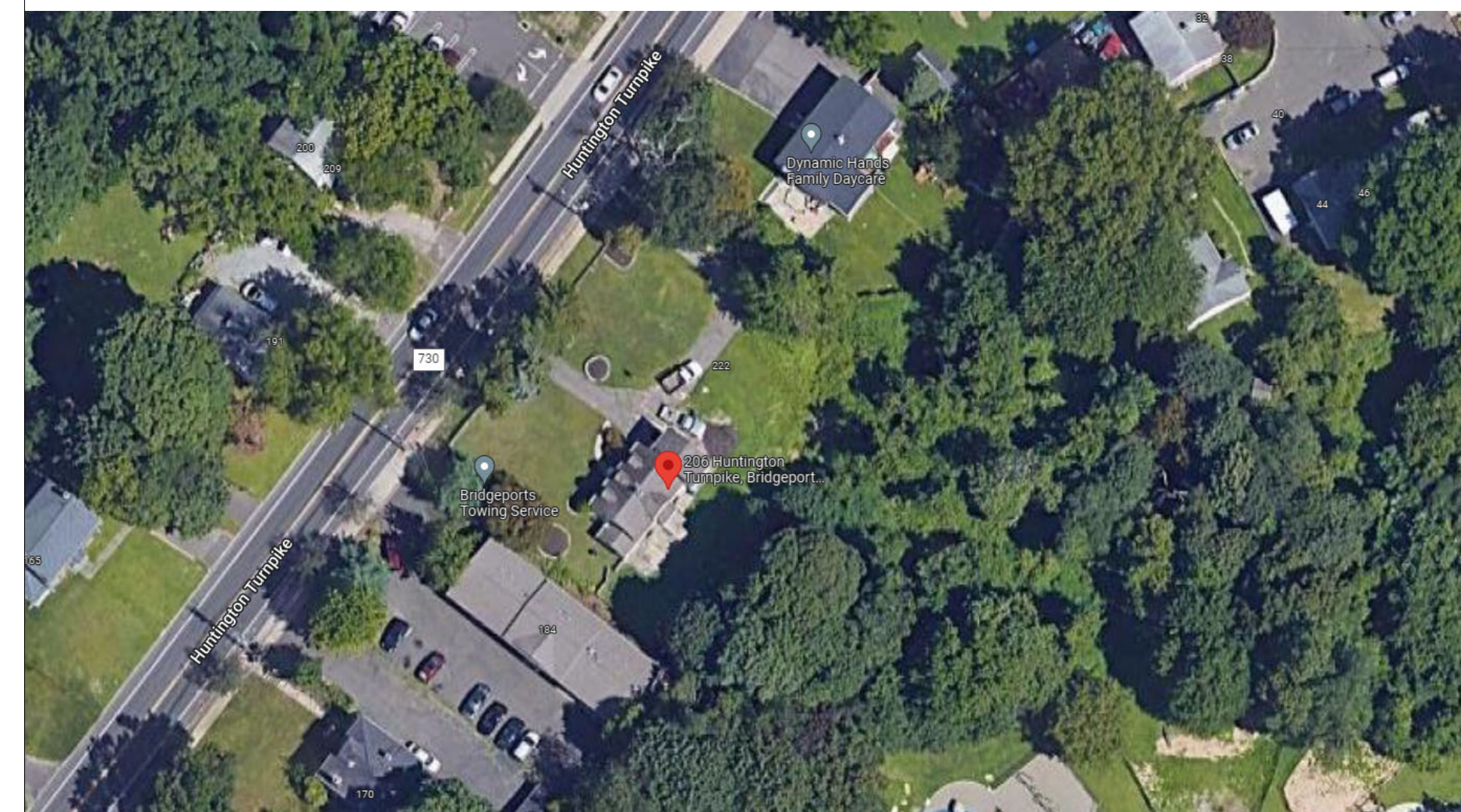
#### Owner

YTD Enterprises LLC  
6 West River Street - Unit 26  
Milford, CT 06460

#### Site

Cabezas DeAngelis  
LLC Engineers &  
Surveyors  
78 Elm Street  
Bridgeport, CT 06604  
ph | 203-330-8700

### VICINITY MAP:



DECEMBER 07, 2022





**ATTENTION:**  
 Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

**206-222 Huntington Apartments**

206-222 Huntington Turnpike, Bridgeport, 06610

Professional Seal:


 Wiles + Architects, LLC  
 257 Naugatuck Ave  
 Milford, CT 06460  
 ph: 203.368.6003  
 f: 203.368.3357  
 www.wilesarch.com

No.	Description	Date

**Renderings**

Project number	22-
Date	December 07, 2022
Drawn by	Author
Checked by	Checker
	Designer

**G101**

Scale

PRINTED: 12/7/2022 5:00:52 PM



**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

206-222 Huntington Apartments

206-222 Huntington Turnpike, Bridgeport, 06610

Professional Seal:

**wiles** Architects  
Wiles + Architects, LLC  
257 Naugatuck Ave  
Milford, CT 06460  
ph: 203.366.6003  
f: 203.583.3357  
www.wilesarch.com

No.	Description	Date

Basement Plan

Project number	22-
Date	December 07, 2022
Drawn by	Author
Checked by	Checker
	Designer

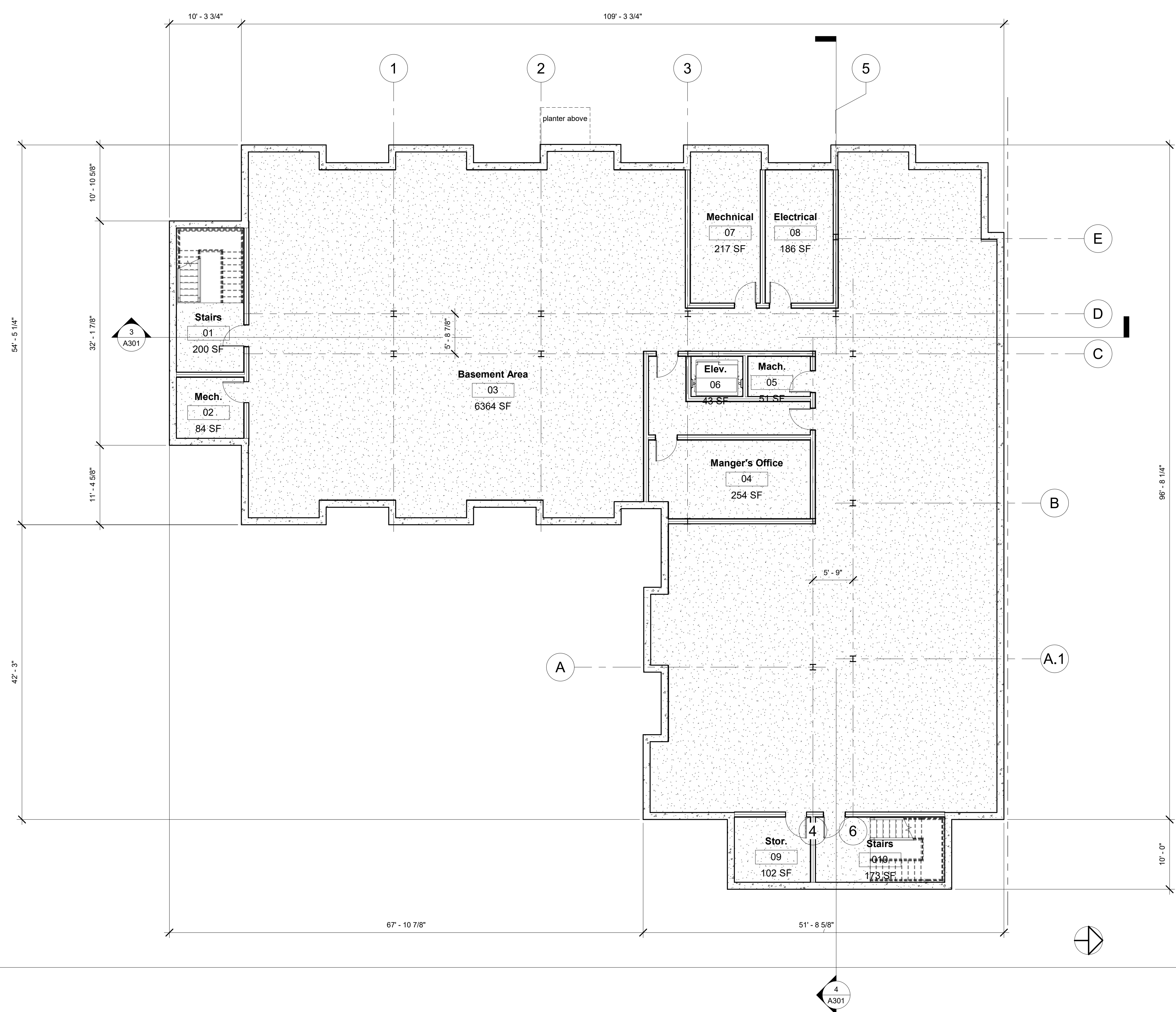
**A101**

Scale 1/8" = 1'-0"

PRINTED: 12/7/2022 4:59:39 PM

Wiles+Architects 2018 copyright

C:\Users\Justin\Documents\study NX4\_Justin\JKSS.rvt



1 Basement  
1/8" = 1'-0"

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

206-222 Huntington Apartments

206-222 Huntington Turnpike, Bridgeport, 06610

Professional Seal:

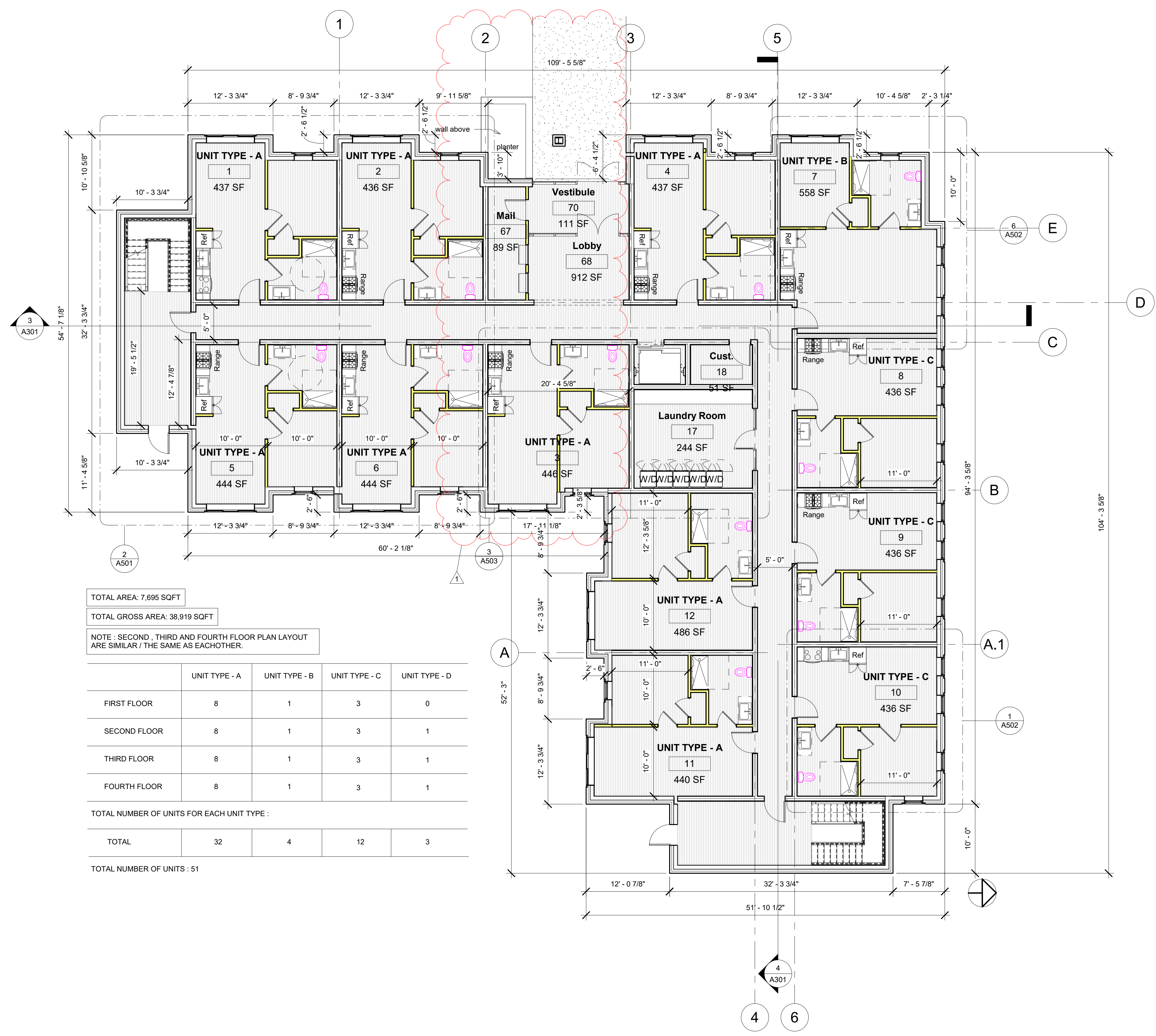


No.	Description	Date
1	Revision 1	Date 1

Ground Floor	
Project number	22-
Date	December 07, 2022
Drawn by	Author
Checked by	Checker
	Designer

**A102**

Scale 1/8" = 1'-0"



TOTAL AREA: 7,695 SQFT  
TOTAL GROSS AREA: 38,919 SQFT

NOTE: SECOND, THIRD AND FOURTH FLOOR PLAN LAYOUT ARE SIMILAR / THE SAME AS EACHOTHER.

	UNIT TYPE - A	UNIT TYPE - B	UNIT TYPE - C	UNIT TYPE - D
FIRST FLOOR	8	1	3	0
SECOND FLOOR	8	1	3	1
THIRD FLOOR	8	1	3	1
FOURTH FLOOR	8	1	3	1
TOTAL NUMBER OF UNITS FOR EACH UNIT TYPE :				
TOTAL	32	4	12	3
TOTAL NUMBER OF UNITS : 51				

1 Level 1  
1/8" = 1'-0"

PRINTED: 12/7/2022 4:59:47 PM

Wiles+Architects 2018 copyright

C:\Users\Justin\Documents\study\_NX4\_Justin\JKSS.rvt



**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

206-222 Huntington Apartments

206-222 Huntington Turnpike, Bridgeport, 06610

Professional Seal:



No.	Description	Date

Second Floor

Project number	22-
Date	December 07, 2022
Drawn by	Author
Checked by	Checker
	Designer

**A103**

Scale 1/8" = 1'-0"



TOTAL AREA: 7,806 SQFT  
TOTAL GROSS AREA: 38,919 SQFT

NOTE: SECOND, THIRD AND FOURTH FLOOR PLAN LAYOUT ARE SIMILAR / THE SAME AS EACHOTHER.

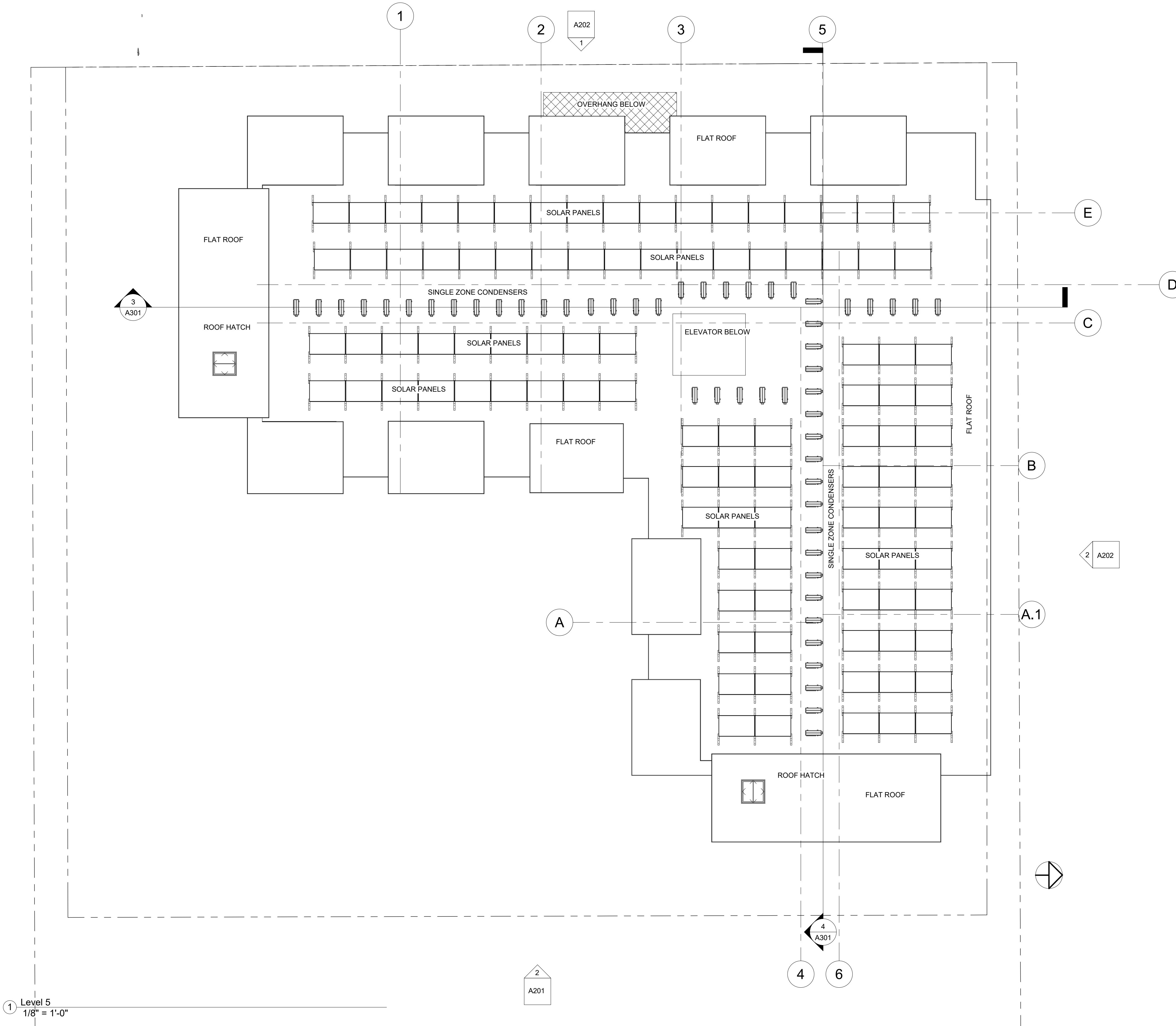
	UNIT TYPE - A	UNIT TYPE - B	UNIT TYPE - C	UNIT TYPE - D
FIRST FLOOR	8	1	3	0
SECOND FLOOR	8	1	3	1
THIRD FLOOR	8	1	3	1
FOURTH FLOOR	8	1	3	1
TOTAL NUMBER OF UNITS FOR EACH UNIT TYPE :				
TOTAL	32	4	12	3
TOTAL NUMBER OF UNITS : 51				

Level 2  
1/8" = 1'-0"

PRINTED: 12/7/2022 5:04:23 PM

Wiles+Architects 2018 copyright

C:\Users\Justin\Documents\study NX4\_Justin\JKSS.rvt



1 Level 5  
1/8" = 1'-0"

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

206-222 Huntington Apartments

206-222 Huntington Turnpike, Bridgeport, 06610

Professional Seal:

**wiles** Architects  
 Wiles + Architects, LLC  
 257 Naugatuck Ave  
 Milford, CT 06460  
 ph: 203.366.6003  
 f: 203.583.3357  
 www.wilesarch.com

No.	Description	Date

Roof Plan

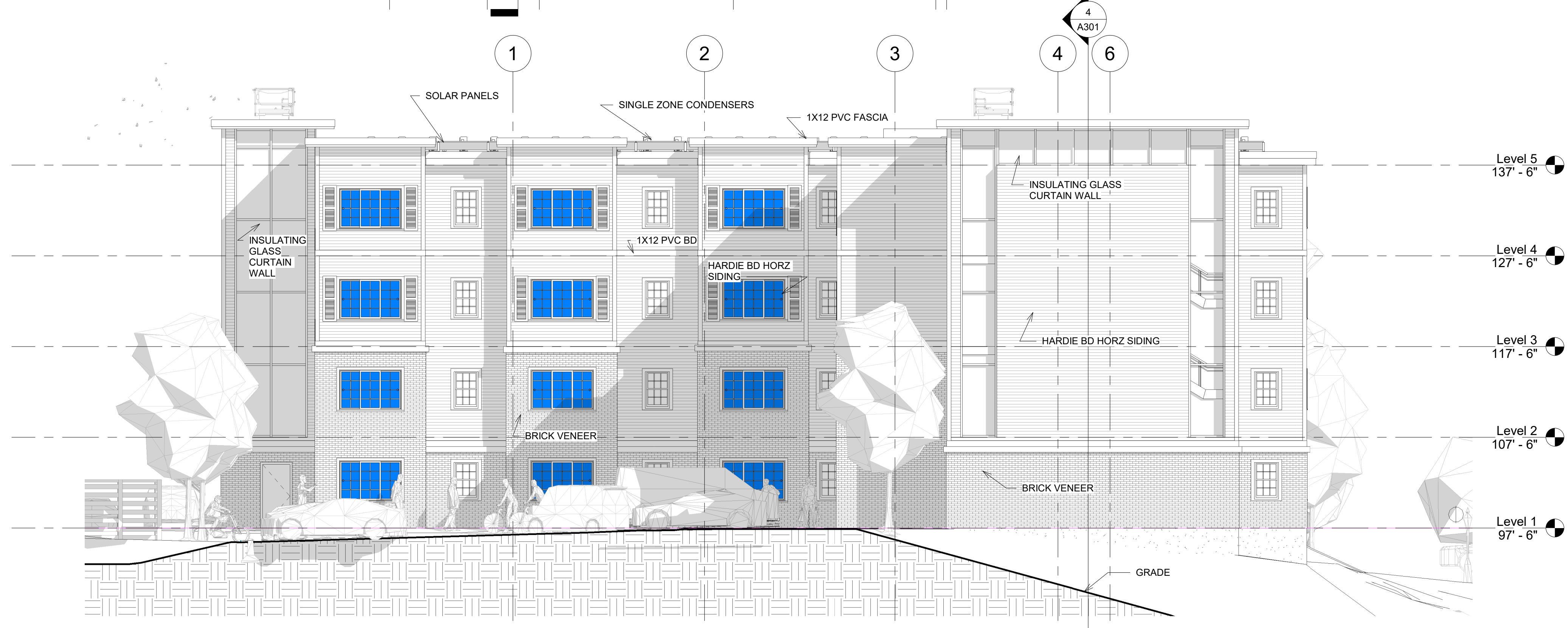
Project number	22-
Date	December 07, 2022
Drawn by	Author
Checked by	Checker
	Designer

**A104**  
 Scale 1/8" = 1'-0"





① East  
1/8" = 1'-0"



② North  
1/8" = 1'-0"

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

206-222 Huntington Apartments

206-222 Huntington Turnpike, Bridgeport, 06610

Professional Seal:

**wiles** Architects  
Wiles + Architects, LLC  
257 Naugatuck Ave  
Milford, CT 06460  
ph: 203.366.6003  
f: 203.583.3357  
www.wilesarch.com

No.	Description	Date

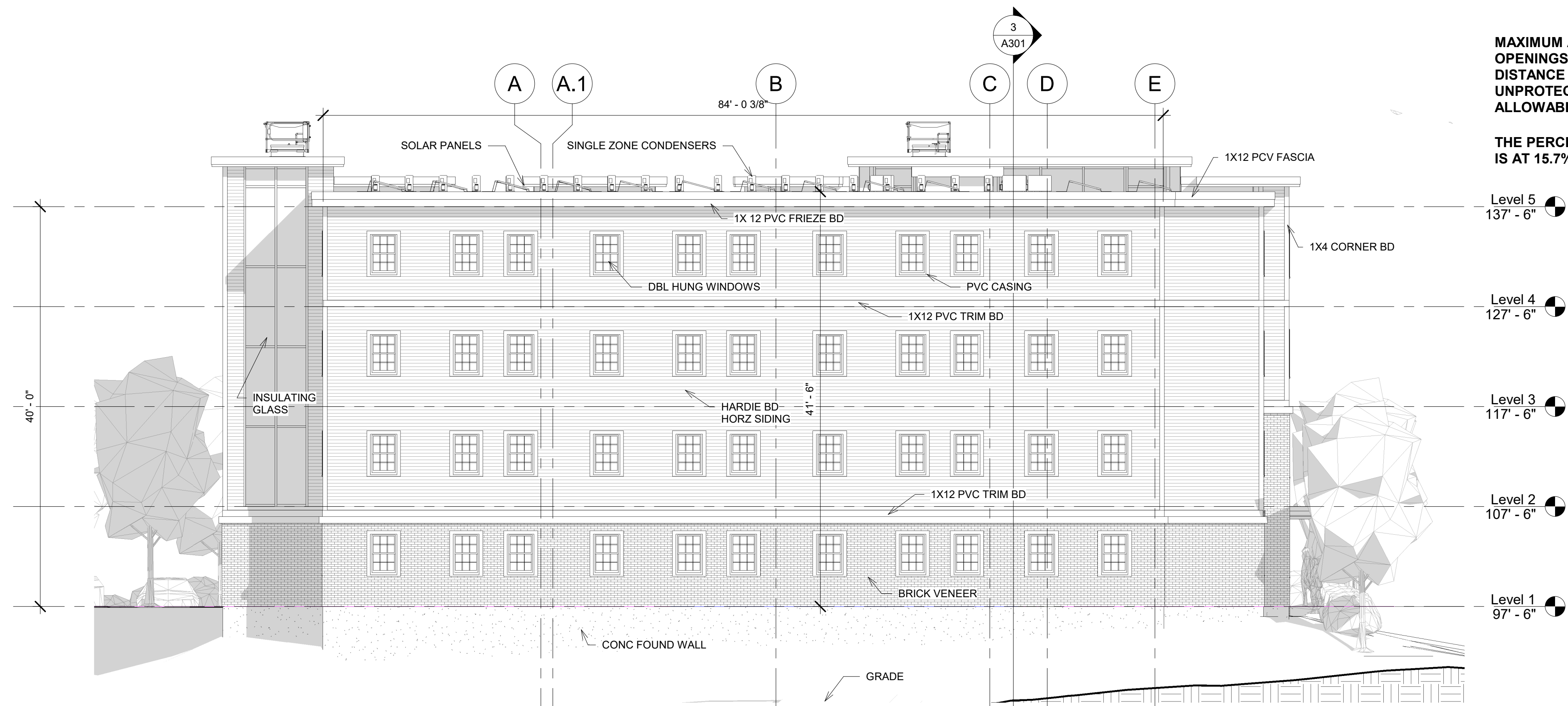
Exterior Elevations

Project number	22-
Date	December 07, 2022
Drawn by	Author
Checked by	Checker
	Designer

**A201**

Scale 1/8" = 1'-0"





② North  
1/8" = 1'-0"

**MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON THE FIRE SEPARATION DISTANCE ( 5 TO LESS THAN 10 ) FOR UNPROTECTED, SPRINKLED BLDG. OUR ALLOWABLE AREA IS 25%.**

**THE PERCENTAGE OF OUR EXTERIOR OPENING IS AT 15.7% FOR THIS EXTERIOR ELEVATION**

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

206-222 Huntington Apartments

206-222 Huntington Turnpike, Bridgeport, 06610

Professional Seal:

**wiles** Architects  
Wiles + Architects, LLC  
257 Naugatuck Ave  
Milford, CT 06460  
ph: 203.366.6003  
f: 203.583.3357  
www.wilesarch.com

No.	Description	Date
1	Revision 1	Date 1

Exterior Elevations

Project number	22-
Date	December 07, 2022
Drawn by	Author
Checked by	Checker
	Designer

**A202**

Scale 1/8" = 1'-0"



① West  
1/8" = 1'-0"

Level 5  
137' - 6"

Level 4  
127' - 6"

Level 3  
117' - 6"

Level 2  
107' - 6"

Level 1  
97' - 6"

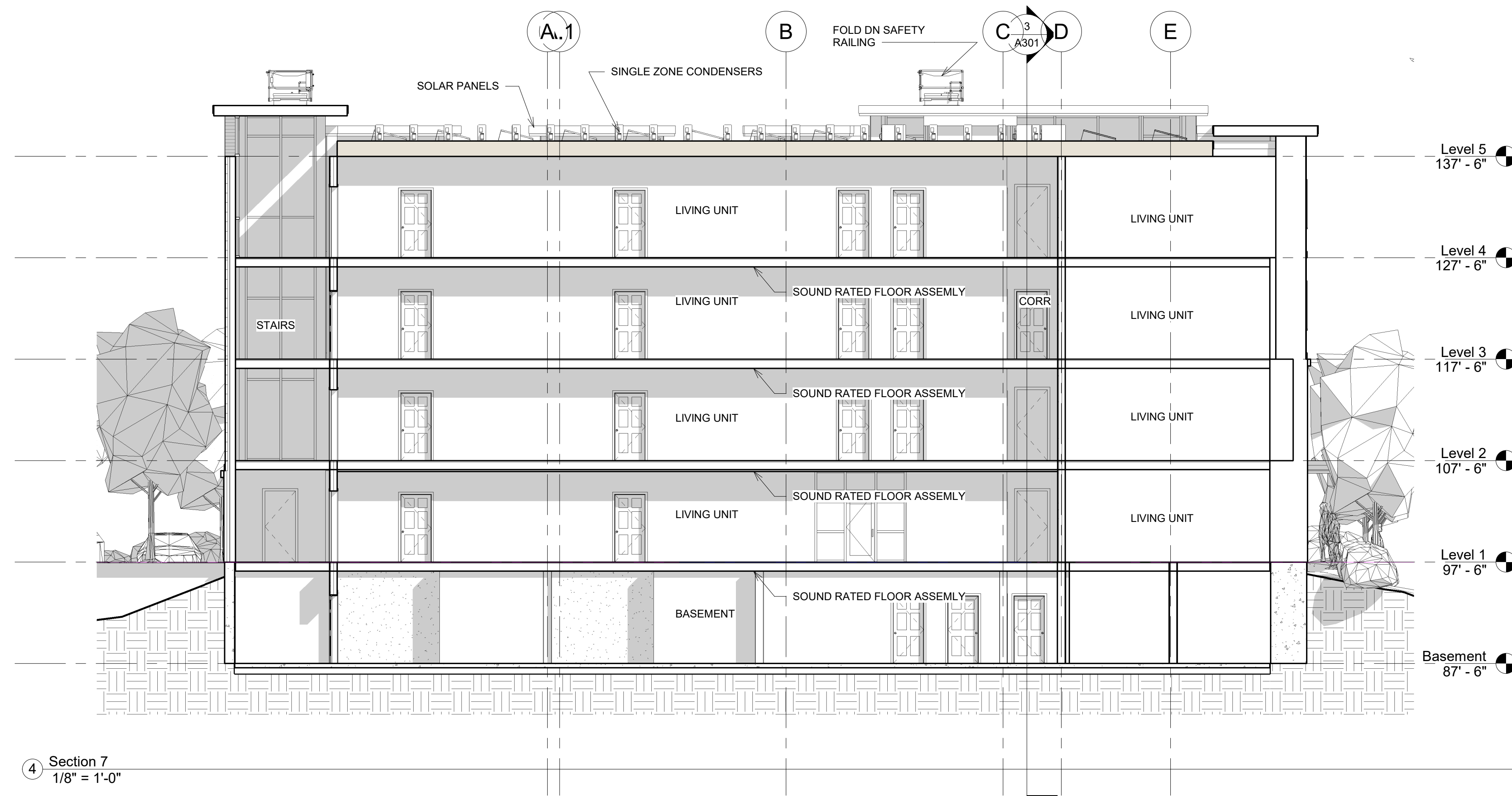
Basement  
87' - 6"

**STREET FACADE AREA 4,422 sf**  
**TOTAL WINDOW AREA 995 sf**  
**PERCENTAGE OF WINDOWS 22.5 %**

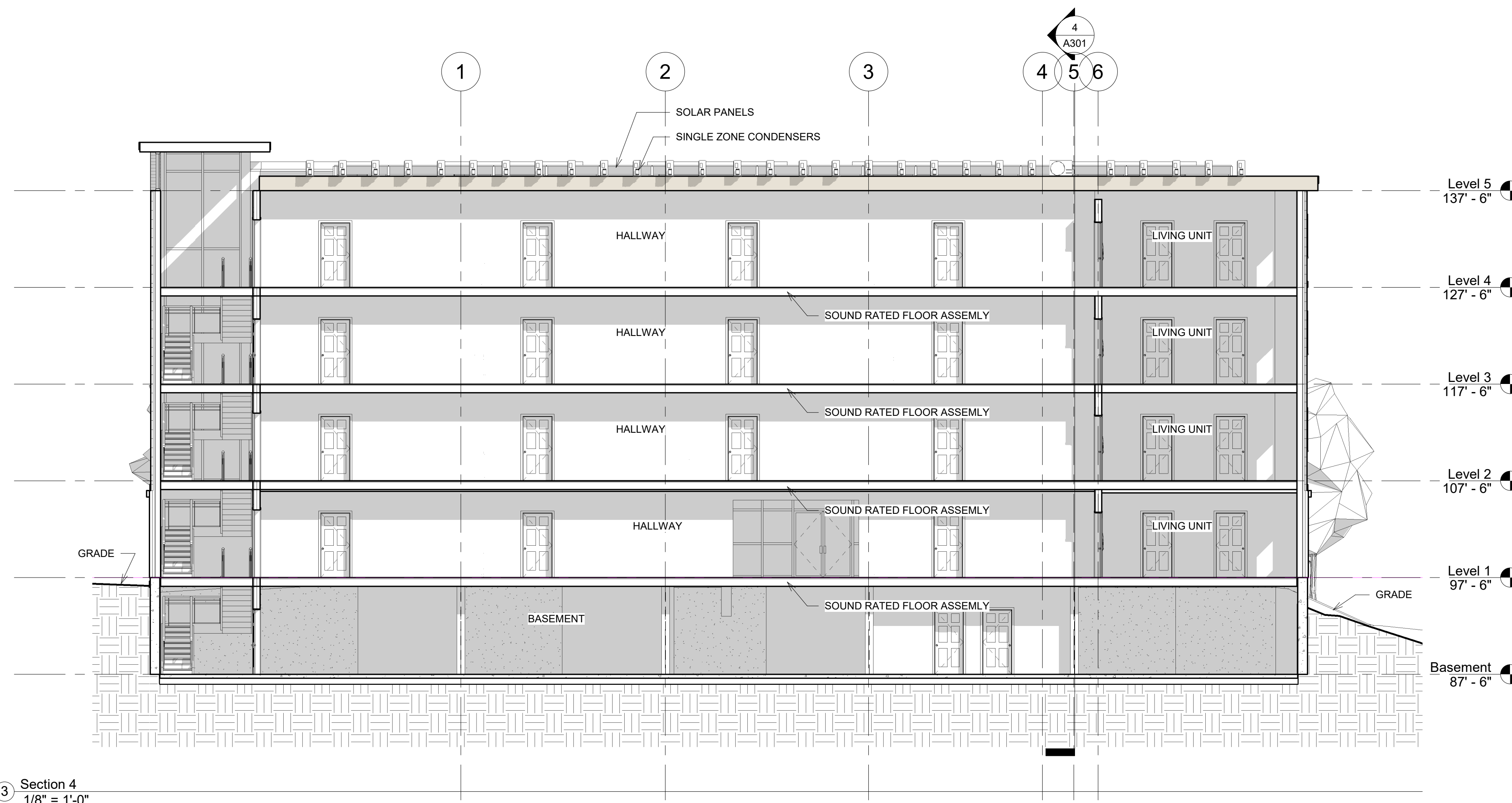
PRINTED: 12/7/2022 5:00:36 PM

Wiles+Architects 2018 copyright

C:\Users\Justin\Documents\study NX4\_Justin\JKSS.rvt



④ Section 7  
1/8" = 1'-0"



③ Section 4  
1/8" = 1'-0"

**ATTENTION:**  
Do not scale these drawings. Under no circumstance should these drawings be scaled for lengths, areas, distances or for any other purposes to determine quantities. If dimensions are in question, the contractor shall be responsible for obtaining clarification. Wiles Architects is not responsible for inconsistencies in scale due to printing, plotting and/or digital reproduction.

Drawings, specifications and other documents, prepared by Wiles Architects and Wiles Architects' consultants are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. Wiles Architects and their Consultants shall be deemed the authors and owners of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the Owner or General Contractor for future additions, alterations to this Project or for other projects, without the prior written agreement of the Design Professional. Any unauthorized use of the Instruments of Service shall be at the Owner's or General Contractor's sole risk and without liability to Wiles Architects and/or their consultants.

206-222 Huntington  
Apartments

206-222 Huntington  
Turnpike, Bridgeport,  
06610

Professional Seal:

**wiles**  
Architects

Wiles + Architects, LLC  
257 Naugatuck Ave  
Milford, CT 06460  
ph: 203.366.6003  
f: 203.583.3357  
www.wilesarch.com

No.	Description	Date

Sections

Project number	22-
Date	December 07, 2022
Drawn by	Author
Checked by	Checker
	Designer

**A301**

Scale 1/8" = 1'-0"

PRINTED: 12/7/2022 5:00:48 PM



## 206 & 222 Huntington Turnpike – 100-Foot Abutters - Amended

STREET ADDRESS	OWNER NAME	CO-OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP
170 HUNTINGTON TP	CARPEL CARMOUSTE F & MARGALIE E		170 HUNTINGTON TPKE	BRIDGEPORT	CT	06610
10 KNOLL PL #10	RIVERA SOLIA		10 KNOLL PL	BRIDGEPORT	CT	06610
10 KNOLL PL #12	RIVERA SOLIA		10 KNOLL PL	BRIDGEPORT	CT	06610
165 HUNTINGTON TP	786 HUNTINGTON TURNPIKE LLC		165 HUNTINGTON TP	BRIDGEPORT	CT	06610-1463
208 PRISCILLA ST #208	ARROYO ISRAEL SR		208 PRISCILLA ST	BRIDGEPORT	CT	06610
208 PRISCILLA ST #210	ARROYO ISRAEL SR		208 PRISCILLA ST	BRIDGEPORT	CT	06610
38 KNOLL PL #38	POWELL TAIESHA		38 KNOLL PLACE	BRIDGEPORT	CT	06610
38 KNOLL PL #40	POWELL TAIESHA		38 KNOLL PLACE	BRIDGEPORT	CT	06610
191 HUNTINGTON TP	MARIN MARK E	RUTH G V VILLA	191 HUNTINGTON TP	BRIDGEPORT	CT	06610-1463
209 HUNTINGTON TP	SINDHUSEKA RUSHNEE & ONGARJ	(SURVIVOR OF THEM)	209 HUNTINGTON TPK	BRIDGEPORT	CT	06610
236 HUNTINGTON TP	CABREJA SALVADOR E		236 HUNTINGTON TPK	BRIDGEPORT	CT	06610
185 HUNTINGTON TP	NUTERANGELO THOMAS JR		185 HUNTINGTON TPK	BRIDGEPORT	CT	06610
245 HUNTINGTON TP	BEARDSLEY PARK CONGREGATION OF JEHOVAH'S	C/O SERGE DESENCLOS	P.O. BOX 55555	BRIDGEPORT	CT	06610
184 HUNTINGTON TP #01	BOATENG FREDA		184 HUNTINGTON TP #01	BRIDGEPORT	CT	06610
184 HUNTINGTON TP #02	GONZALEZ BARBARA Y		184 HUNTINGTON TP #02	BRIDGEPORT	CT	06610-1475
184 HUNTINGTON TP #03	SWEENEY FAITH		184 HUNTINGTON TURNPIKE UNIT 3	BRIDGEPORT	CT	06606
184 HUNTINGTON TP #03	SWEENEY FAITH		184 HUNTINGTON TURNPIKE UNIT 3	BRIDGEPORT	CT	06610
184 HUNTINGTON TP #04	GONZALEZ BARBARA IVETTE		114 INTERVALE ROAD	BRIDGEPORT	CT	06610
184 HUNTINGTON TP #05	GONZALEZ BARBARA		114 INTERVALE ROAD	BRIDGEPORT	CT	06610
184 HUNTINGTON TP #06	GONZALEZ BARBARA Y		184 HUNTINGTON TP06	BRIDGEPORT	CT	06610
30 KNOLL PL #30	MALAVE JOHN		30 KNOLL PL	BRIDGEPORT	CT	06610
30 KNOLL PL #32	MALAVE JOHN		30 KNOLL PL	BRIDGEPORT	CT	06610
115 VIRGINIA AV	BRIDGEPORT CITY OF		45 LYON TERRACE	BRIDGEPORT	CT	06604





# PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** MARIE HENRY

2. Is the Applicant's name Trustee of Record? Yes \_\_\_\_\_ No X

If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.

3. Address of Property: 855 THORME STREET, CT 06606  
(number) (street) (state) (zip code)

4. Assessor's Map Information: Block No. \_\_\_\_\_ Lot No. \_\_\_\_\_

5. Amendments to Zoning Regulations: (indicate) Article: Article 4.0 Section: 3.100.9. ALLOWED USES.

**(Attach copies of Amendment)**

6. Description of Property (Metes & Bounds): SINGLE FAMILY DWELLING.

7. Existing Zone Classification: N2, ZONE CLASIFICATION,

8. Zone Classification requested: N2, ZONE WITH SPECIAL PERMIT FOR 2FAMILY DWELLING CONVERSION.

9. Describe Proposed Development of Property: EXISTING DWELLING WITH CONVERSION OF THE EXISTING GARAGE INTO AN ADDITIONAL 2-STORY UNIT & 10' REAR ADDITION. (3BEDROOMS/1BATH).

Approval(s) requested: SPECIAL PERMIT AS A 2-FAMILY.

WITH EXISTING 1-FAM. DWELLING, REAR ADDITIONIN R2-ZONE.

**Signature:** \_\_\_\_\_ **Date:** 02/20/2023

**Print Name:** THOMPSON ANTHONY / OWNER

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** \_\_\_\_\_

**Print Name:** MARIE HENRY / AGENT

Mailing Address: 558 CLINTON AVE. BRIDGEPORT CT 06605

Phone: (203) 589-6465 Cell: (203) 589-6465 Fax: \_\_\_\_\_

**E-mail Address:** CONSULTHAJEN@GMAIL.COM

\$ \_\_\_\_\_ Fee received **Date:** \_\_\_\_\_ **Clerk:** \_\_\_\_\_

**THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST**

- |  |   |  |
|--|---|--|
| <input checked="" type="checkbox"/> Completed & Signed Application Form                                | <input type="checkbox"/> A-2 Site Survey                  | <input checked="" type="checkbox"/> Building Floor Plans |
| <input checked="" type="checkbox"/> Completed Site / Landscape Plan                                    | <input type="checkbox"/> Drainage Plan                    | <input checked="" type="checkbox"/> Building Elevations  |
| <input checked="" type="checkbox"/> Written Statement of Development and Use                           | <input checked="" type="checkbox"/> Property Owner's List | <input checked="" type="checkbox"/> Fee                  |
| <input type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) |   |  |

**PROPERTY OWNER'S ENDORSEMENT OF APPLICATION**

THOMPSON ANTHONY 02/20/2023  
Print Owner's Name Owner's Signature Date

\_\_\_\_\_  
Print Owner's Name Owner's Signature Date

December 9th. 2022

Applicant: Marie C Henry / Agent.

558-Clinton Ave. Bridgeport CT 06606

Email: [Consulthajen@gmail.com](mailto:Consulthajen@gmail.com)

(203) 589-6465

### **Written Narrative / Statement of Use**

City of Bridgeport

Design Review Coordinator.

Jackson Strong

Conceptual Review

RE: P&Z Special Permit @ 2-Family Dwelling Application

**855 THORME ST. Bridgeport CT 06606**

The owner is seeking to build a new construction of 2-Family units located:

**855 THORME ST. Bridgeport CT 06606**

As a double House type A in NX1 Zone. In reference to Design Review to retain the standard/character design of the neighborhood. (attached are the existing styles/pictures of the houses on the said street of **855 THORME ST. Bridgeport CT 06606**.)

Kind Regards.

*Marie C Henry* . Agent

WRITTEN STATEMENT OF DEVELOPMENT USE.

Planning & Zoning Commission.

RE: 855-Thorne St., Bridgeport CT 06606.

Existing: 1-Family Dwelling - N2 Zone.

RE: Proposed to convert an existing 1-Family Dwelling into a 2-family Dwelling.  
Special Permit, N2 Zone.

To whom it may concern,

THOMPSON ANTHONY, (Owner) 64 ELMWOOD PL. BRIDGEPORT, CT. 06605  
MARIE HENRY, (Agent) 558-CLINTON AVE. BRIDGEPORT, CT., 06605

I/we would like to request a conversion of an existing 1-Family Dwelling into a 2-family Dwelling.  
that includes the neighborhood design standard (855-Thorne St., Bridgeport CT 06606)  
Addition 8' @ Rear / conversion of an existing attached garage to a second 2-Stories Unit.  
This development is zone-compliant for a two-family dwelling with all the requirements. It will  
beautify, enhance and protect the neighborhood character as well as its value.

Kind Regards

Marie Henry / Agent \_\_\_\_\_,

Date: 02/20/2023

THOMPSON ANTHONY / Owner \_\_\_\_\_,

Date: 02/20/2023



SASBAS LLC  
PO BOX 577

BENEVIDES OCTAVIO & MARIA F  
190 STRATFIELD PL

PRUSZKO RAFAL & PAPPAS ANDREW  
78 STANLEY ROAD

STUDENT JASON  
200 STRATFIELD PL

ZIMMERMAN MAXWELL D & GARY A  
210 STRATFIELD PL

LISBOA CHRISTOPHER  
875 THORME STREET

FORMATO PATRICIA B  
183 NORTHFIELD ST

THOMPSON ANTHONY  
64 ELMWOOD PL

LASKOSKI LEONARD & YOLANDE  
845 THORME ST

RAMIREZ HECTOR & MADELINE  
835 THORME ST

MARTINS JOAQUIN D & ANNAMARIA  
825 THORME ST

GALVEZ RIGOBERTO  
1438 MADISON AVENUE

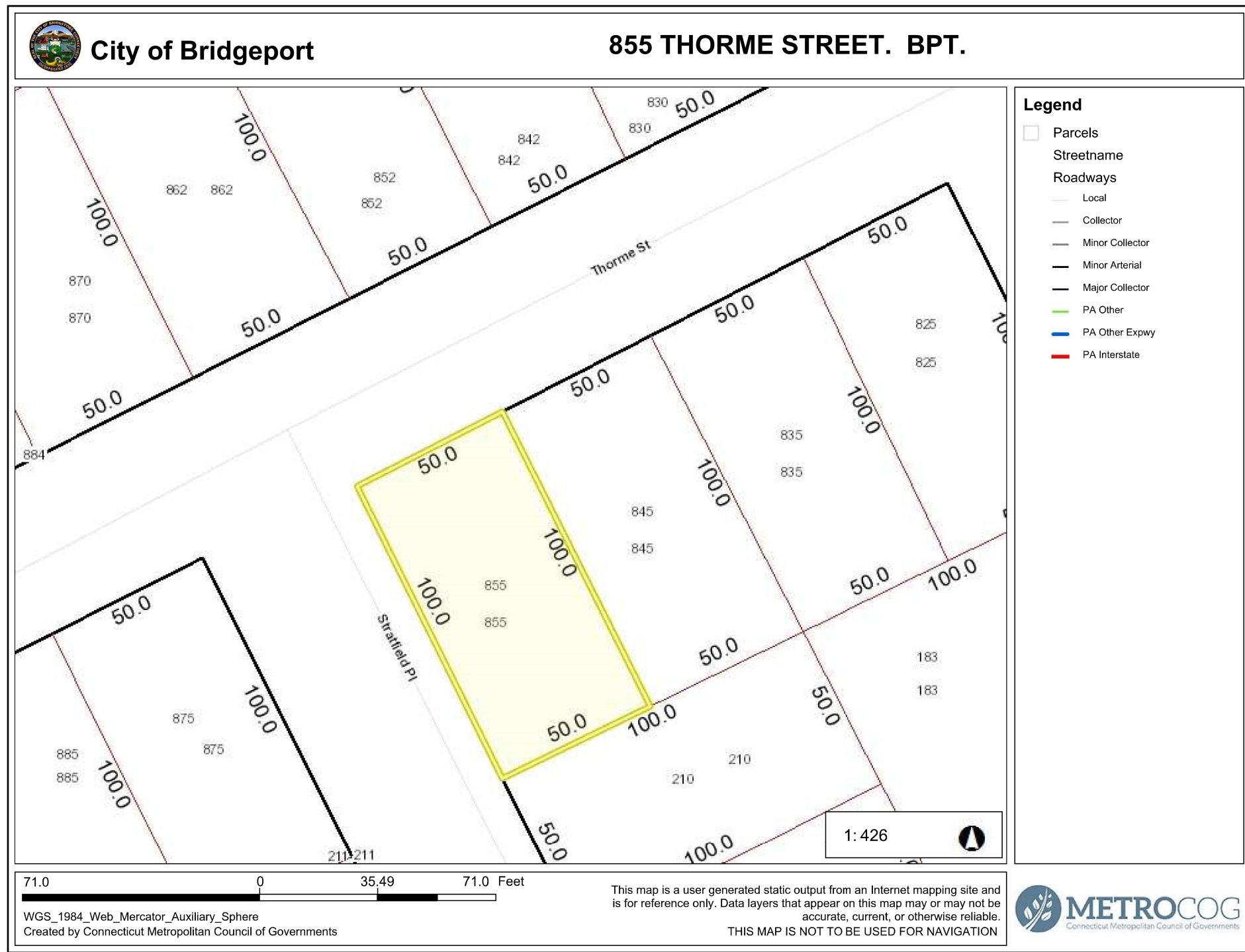
LADELA SAVERIO & CHRISTINE I  
870 THORME ST

DEMETRIUS DENEKQUA  
862 THORME ST

CATALAN GOKEZ JOSE  
852 THORME ST

MARIANI V (EST OF) & JOHN  
226 THOMPSON ST

SINGH-ELLIS AVA MARIA  
830 THORME ST



**855 THORME ST. BRIDGEPORT CT 06605**  
 N2 Mid-Century Neighborhood Zone - Neighborhood: Mid-Century.

ZONES	N2	EXISTING	PROPOSED:
<b>3.100.4. BUILDING LOCATION</b>			
Multiple Principal Buildings			
1 Lot Width per Principal Building	45 ft. min.	50 ft.	EXISTING
2 Lot size	No min.	50' X 100'	EXISTING
3 Primary Streetwall	No max. for 1-unit; 50 ft. max. for 2-unit	50 ft.	EXISTING
4 Porch, Steps, Bay Encroachment	8 ft. max.; porch or bay width of 16 ft. max	EXISTING	EXISTING
5 Non-Primary Street Setback	12 ft. min.	EXISTING	EXISTING
6 Space between Adjacent Buildings	6 ft. min.; min. 15 ft. total both sides 15 ft. min.	EXISTING	EXISTING
7 Rear Setback	20 ft. min.		
8 Site Coverage	65% max.		See 14.20.7 for measuring site coverage.

3.80.6. HEIGHT.	N2	EXISTING	PROPOSED:
Height	1 story min. 2 stories max.	EXISTING	EXISTING
Story Height	8 ft. min. 9 ft. max.	EXISTING	EXISTING
Height to Eaves	16 ft. max.	EXISTING	EXISTING

3.80.7. ROOFS.	N2	EXISTING	PROPOSED:
Roof Types	Pitched	EXISTING	EXISTING
Tower	Not allowed		

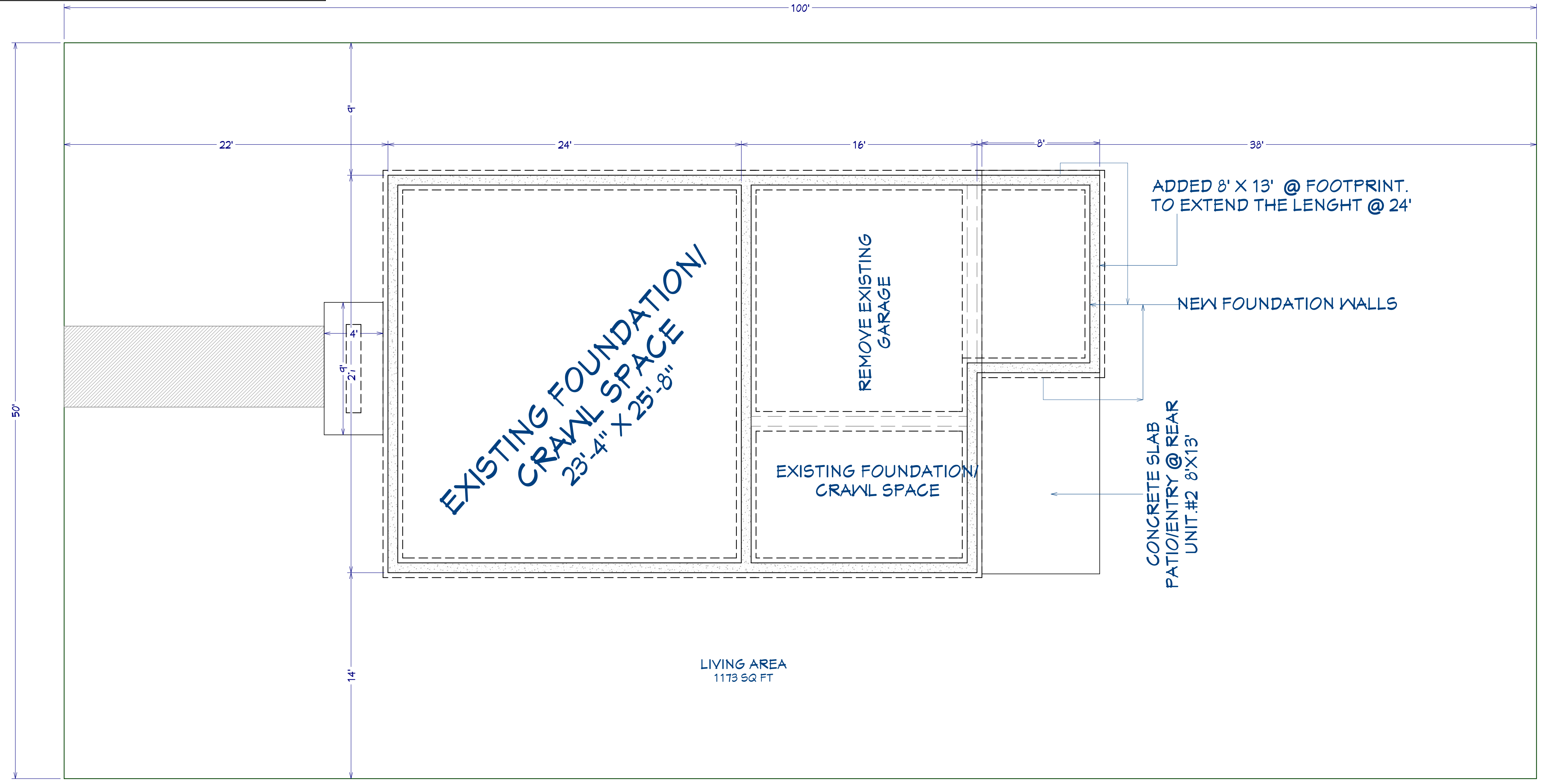
  

3.100.9. ALLOWED USES	N2	EXISTING	PROPOSED:
<b>RESIDENTIAL</b>			
Number of Principal Units	1 in House, 2 with Special Permit		
Number of Accessory Apartments	1 in Backyard Cottage with Special Permit	1-Units	2-Units. (SPECIAL PERMIT)
Household Living			
Group Living			

3.80.8. FACADES.	N2	EXISTING	PROPOSED:
Transparency Primary Facades	20% min.	EXISTING	34%
Non-Primary Facades	10% min	EXISTING	20%

**855 THORME ST. BRIDGEPORT.:  
 PLOT PLAN.**



REVISION TABLE	
NUMBER	DATE

855 THORME ST. BPT.  
 CONN.  
 CONVERSION FROM  
 1 TO 2-FAM. DWELLING.

PREPARED FOR:  
 THOMPSON ANTHONY  
 64 ELMWOOD PL.  
 BRIDGEPORT CT 06605

DRAWINGS PROVIDED BY:  
**JENHAR ASSOCIATES, llc**  
 475-Neutoun TPKE Redding, CT 06896  
 Jenhar.associates@gmail.com  
 Tel.: (203) 294-6465

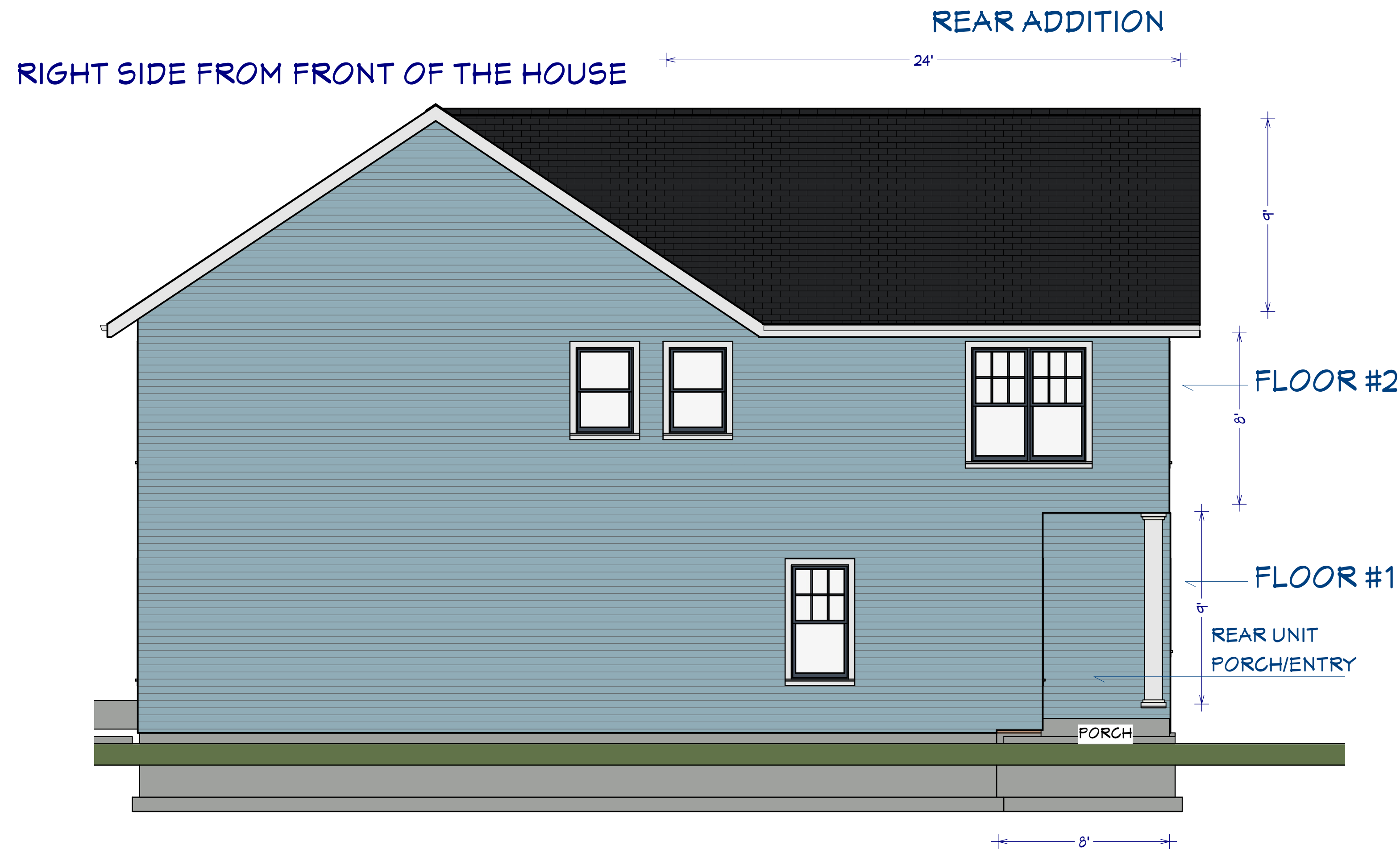
DATE:

2/20/2023

SCALE:

SHEET:

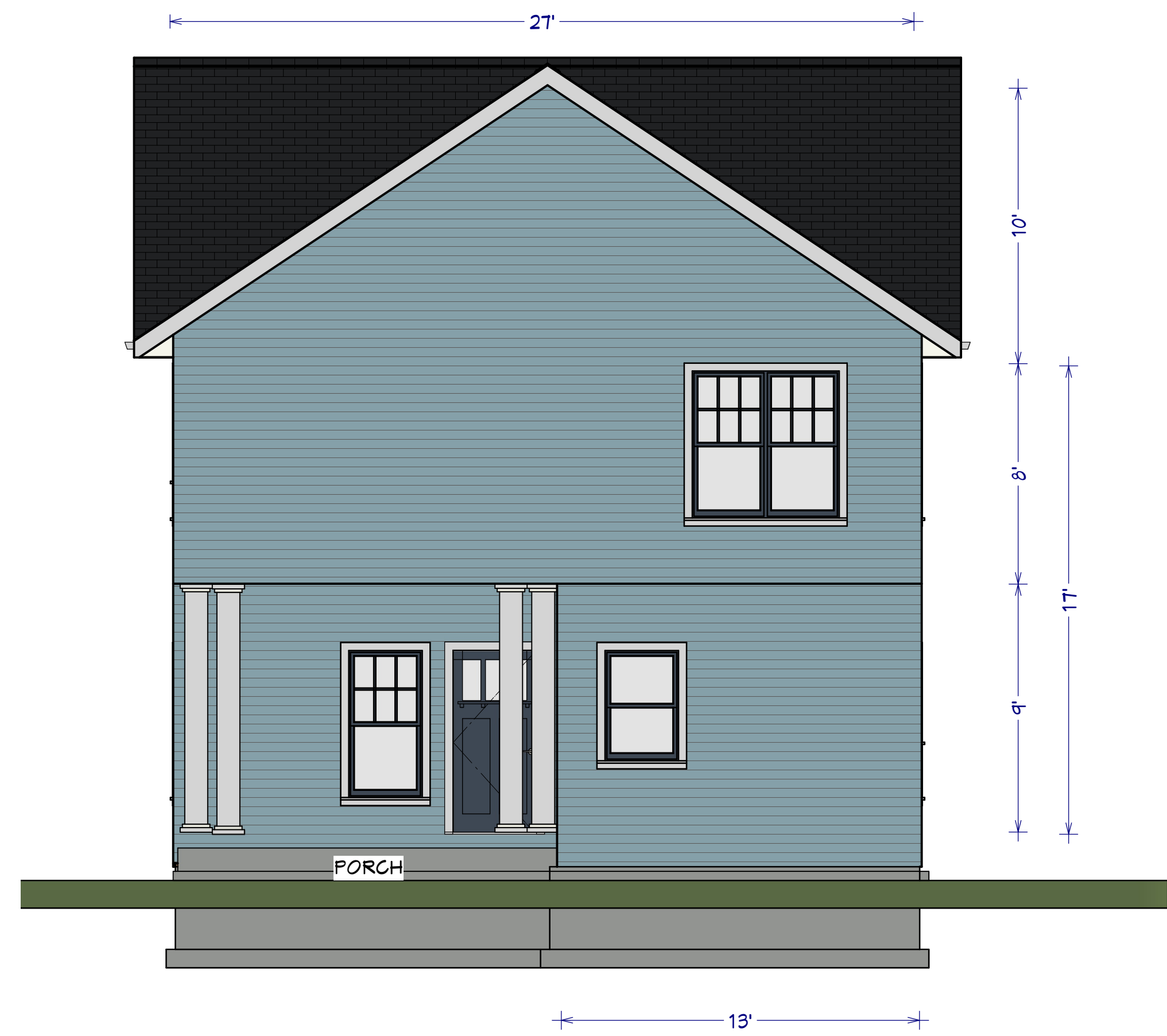
A-1



**REAR @ HOUSE  
ENTRY TO THE REAR UNIT #2.**



**REAR @ HOUSE  
ENTRY TO THE REAR UNIT #2.**



REVISION TABLE	
NUMBER	DATE

855 THORME ST. BPT.  
CONN.  
CONVERSION FROM  
1 TO 2-FAM. DWELLING.

PREPARED FOR:  
THOMPSON ANTHONY  
64 ELMWOOD PL.  
BRIDGEPORT CT 06605

DRAWINGS PROVIDED BY:  
**JENHAR ASSOCIATES, LLC**  
475-Neutoun TPKE Redding, CT 06896  
jenhar.associates@gmail.com  
Tel.: (203) 264-6465

DATE:

2/20/2023

SCALE:

SHEET:

A-2



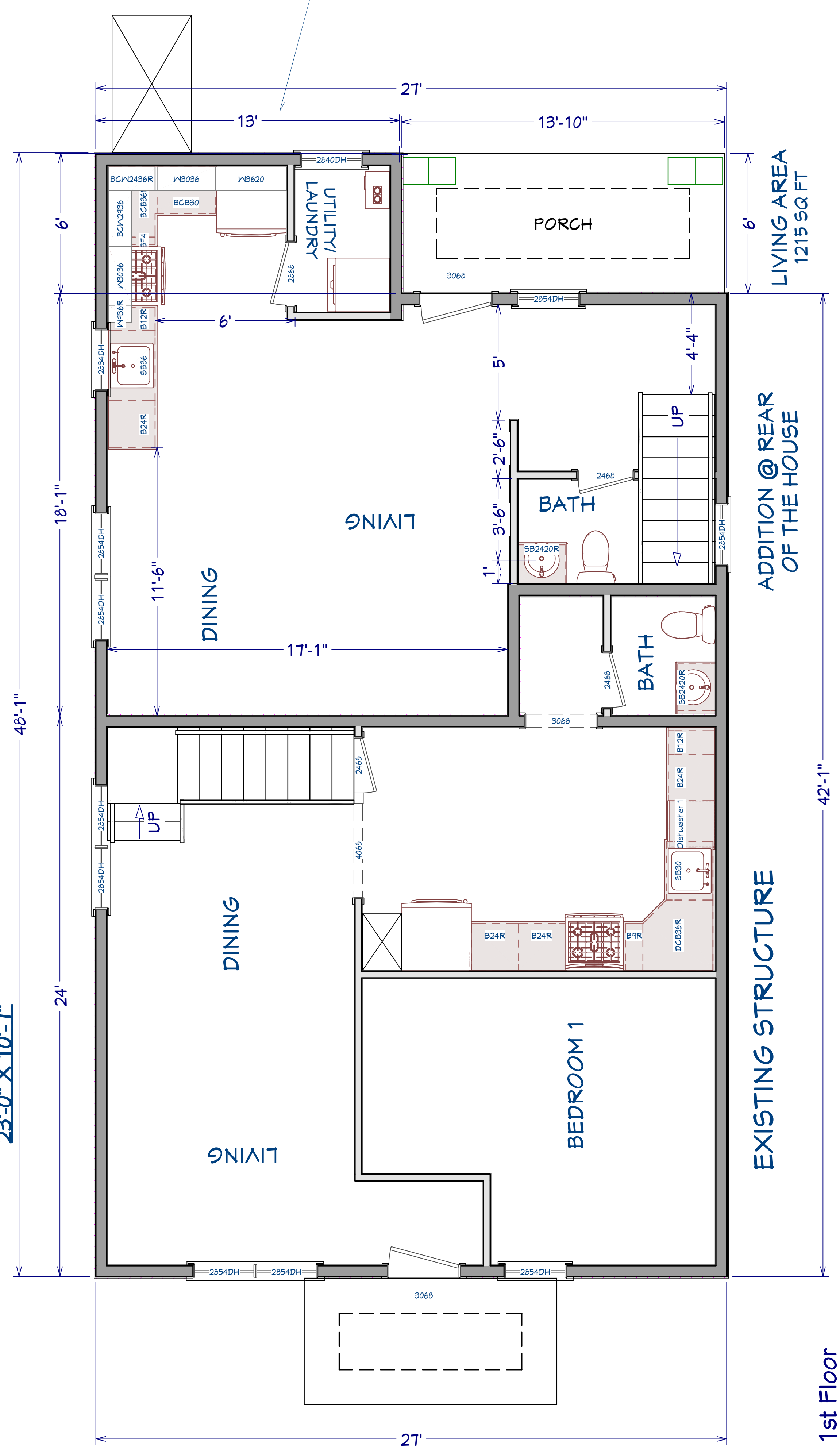
855 Thorne St. Bridgeport CT 06606

Existing Status as: Single family dwelling to be converted as a 2-Fam. dwelling.  
Retain the same footprint and add 2nd. @rear on top of the existing garage.

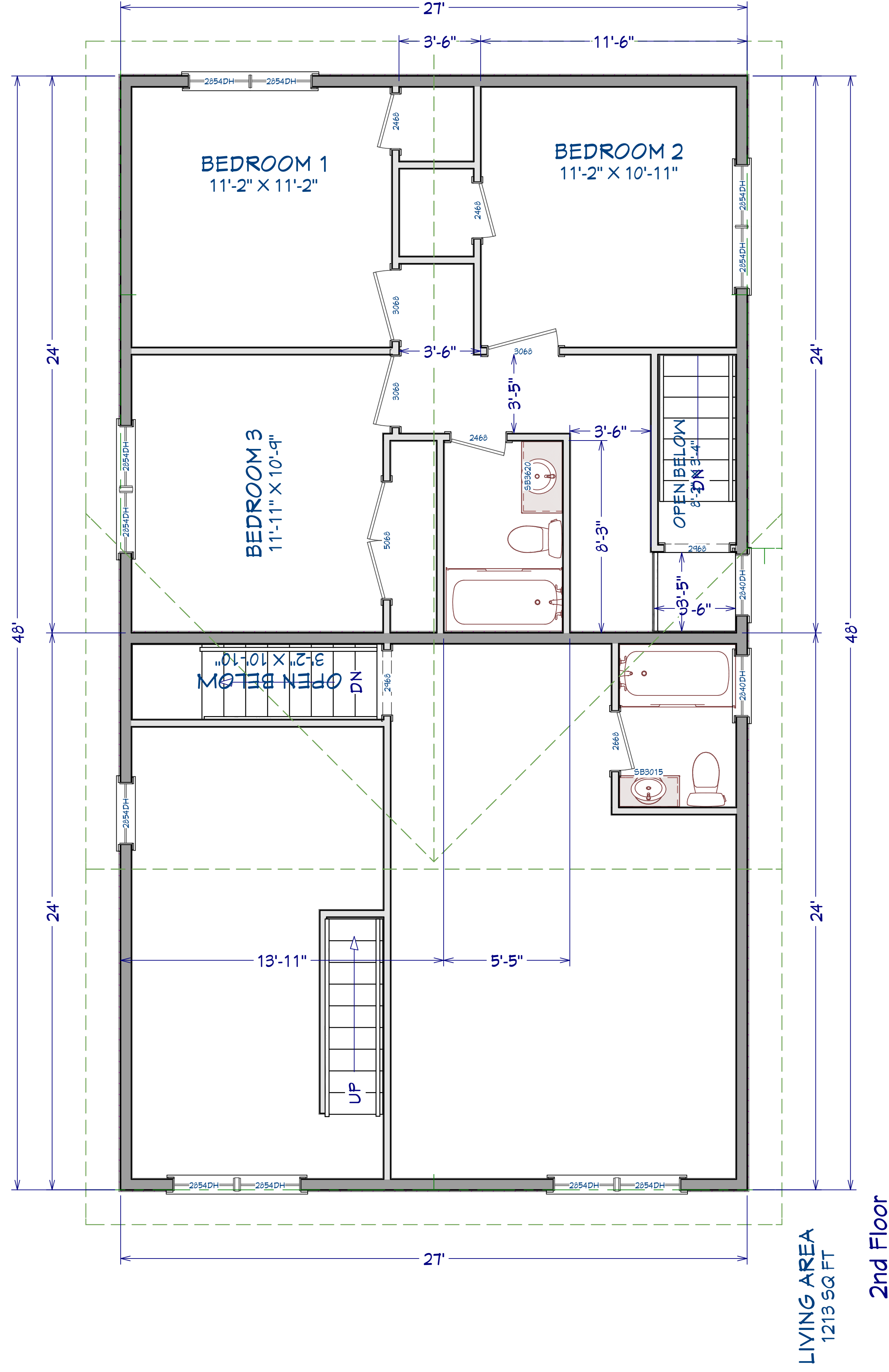
Foundation of the rear @Garage will be upgraded to be in compliance to the proposed structure.

**EXISTING 3BEDRM/2BAS UNIT-A**  
23'-0" X 10'-7"

**PROPOSED: 3BEDRM/2BAS UNIT-A**



Existing garage & exit/common area to be converted as din/kit/living with a Slab deck @ exit/Access to the rear unit.



DRAWINGS PROVIDED BY:  
**JENHAR ASSOCIATES, LLC**  
475-Neutoun TPKE, Redding, CT 06896  
jenhar.associates@gmail.com  
Tel.: (203) 264-6465

DATE:  
2/20/2023

SCALE:

SHEET:

A-3

PREPARED FOR:  
THOMPSON ANTHONY  
64 ELMWOOD PL.  
BRIDGEPORT CT 06605

855 THORNE ST. B.P.T.  
CONN.  
CONVERSION FROM  
1 TO 2-FAM. DWELLING.

NUMBER	DATE	REVISION BY	DESCRIPTION





**855 Thorme St**

3 years ago · [See more dates](#) >

**Be the first to add a photo**

Help people discover new places.



**210 Stratfield Pl**

2 years ago · [See more dates](#) >

**Be the first to add a photo**

Help people discover new places.



**210 Stratfield Pl**

2 years ago · [See more dates](#) >

**Be the first to add a photo**

Help people discover new places.



**855 Thorme St**

3 years ago · [See more dates](#) >

**Be the first to add a photo**

Help people discover new places.



**862 Thorme St**

7 years ago · [See more dates](#) >

**Be the first to add a photo**

Help people discover new places.



**870 Thorme St**

3 years ago

**Be the first to add a photo**

Help people discover new places.



**862 Thorme St**

7 years ago · [See more dates](#) >

**Be the first to add a photo**

Help people discover new places.



DATE:

2/20/2023

SCALE:

SHEET:

A-4

DRAWINGS PROVIDED BY:  
**JENHAR ASSOCIATES, llc**  
 475-Neutoun TPKE Redding, CT 06896  
 Jenhar.associates@gmail.com  
 Tel.: (203) 264-6465

PREPARED FOR:  
 THOMPSON ANTHONY  
 64 ELMWOOD PL.  
 BRIDGEPORT CT 06605

855 THORME ST. BPT.  
 CONN.  
 CONVERSION FROM  
 1 TO 2-FAM. DWELLING.

REVISION TABLE			
NUMBER	DATE	REVISION BY	DESCRIPTION





CITY OF BRIDGEPORT

File No. \_\_\_\_\_

PLANNING & ZONING COMMISSION APPLICATION

- 1. NAME OF APPLICANT: 1797 Main Street LLC
2. Is the Applicant's name Trustee of Record? Yes No X
3. Address of Property: 1797 Main Street & 36 Frank Street, Bridgeport, CT 06606
4. Assessor's Map Information: Block No. 41/1021 Lot No. 8/A
5. Amendments to Zoning Regulations: (indicate) Article: Section:
6. Description of Property (Metes & Bounds): 170' x 61.32' x 94.0' x 30.23' x 50.0' x 111.82' x 32.12' x 29.8' x 94.98'
7. Existing Zone Classification: 1797 Main St (MX2) & 36 Frank St (NX2)
8. Zone Classification requested: Proposed zone change of 36 Frank St from NX2 to MX2
9. Describe Proposed Development of Property: Zone change for property formerly known as 36 Frank Street to match zone of 1797 Main Street now that properties have been merged.

Approval(s) requested: Zone change

Signature: Date: 12/29/2022
Print Name:

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: Print Name:

Mailing Address: 10 Sasco Hill Rd, Fairfield, CT 06824
Phone: 203-528-0590 Cell: 203-528-0590 Fax:
E-mail Address: chris@russorizio.com

\$ Fee received Date: Clerk:

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form A-2 Site Survey Building Floor Plans
Completed Site / Landscape Plan Drainage Plan Building Elevations
Written Statement of Development and Use Property Owner's List Fee
Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

1797 Main Street LLC 12/29/2022
Print Owner's Name Owner's Signature Date
Print Owner's Name Owner's Signature Date



Sa S. Broder\*  
roder@russorizio.com  
lin B. Connor  
lin@russorizio.com  
William J. Fitzpatrick, III  
fitzpatrick@russorizio.com  
David K. Kurata  
kurata@russorizio.com  
Anton H. Lesser+  
anton@russorizio.com  
Therine M. Macol  
therine@russorizio.com  
Storia L. Miller\*  
storia@russorizio.com  
Anthony J. Novella\*  
novella@russorizio.com



10 Sasco Hill Road  
Fairfield, CT 06824  
Tel 203-254-7579 or 203-255-9928 Fax 203-576-6626

5 Brook St., Suite 2B  
Darien, CT 06820  
Tel 203-309-5500

299 Broadway, Suite 708  
New York, NY 10007  
Tel 646-357-3527

110 Merchants Row, Suite 3  
Rutland, VT 05702  
Tel 802-251-6556

www.russorizio.com

Leah M. Par  
Leah@russorizio.com  
William M. Petrocci  
WPetro@russorizio.com  
Raymond Rizi  
Ray@russorizio.com  
Christopher B. Rus  
Chris@russorizio.com  
Robert D. Russ  
Rob@russorizio.com  
John J. Ryan  
John@russorizio.com  
Jane Ford She  
Jane@russorizio.com  
Vanessa R. Wamb  
Vanessa@russorizio.com

\* Also Admitted in VT  
\* Also Admitted in NY  
+ Of Counsel

December 30, 2022

Paul Boucher  
Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604  
**HAND-DELIVERED**

**Re: Zone Change – 1797 Main Street and 36 Frank Street**

Dear Mr. Boucher:

Please accept, on behalf of my client, 1797 Main Street, LLC (the “Petitioner”), the following narrative and enclosed application materials as part of an application for a zone change for the property formerly known as 36 Frank Street, which has now been merged with 1797 Main Street (together, the “Site”) from the NX2 Zone to the MX2 Zone.

### Narrative

The Petitioner requests a zone change under Section 11.40 of the Zoning Code of the City of Bridgeport (the “Regulations”) for the Site to the proposed MX2 Zone. The Site is located at two (2) corners – the corner of Main Street and Frank Street as well as Frank Street and Hurd Avenue. This Site is currently vacant. The Site abuts the VIP car wash and is located along the retail corridor of Main Street on both sides of the street. It is in close proximity to the Route 8/25 Connector and one of its exit ramps.

The abutting properties to the Site, which have frontage on both Main Street and Hurd Avenue are single-zoned properties with the MX Zones extending to both frontages. 36 Frank Street used to be a separate property from 1797 Main Street. The Petitioner owned 1797 Main Street and subsequently purchased 36 Frank Street. Since the current Regulations and Zoning Map were approved, 1797 Main Street has been located in the MX2 Zone. 36 Frank Street had yet to be merged with 1797 Main Street and was located in the NX2 Zone. 1797 Main Street and 36 Frank Street have since been merged into a single property as 1797

Main Street, but they remain split-zoned. A property with frontage on Main Street does not contain the NX2 Zone, except for the Site. The Petitioner proposes to change the Site into a single-zoned property, which is a goal of the Plan of Conservation and Development (“POCD”), in the MX2 Zone. Under Sec. 2.10.2.D of the Regulations, the MX2 Zone is “intended for the mixed-use, regional scale nodes within the city, where residents and visitors may access multiple uses by walking and automobile.” This perfectly characterizes the Site, and particularly, the property formerly known as 36 Frank Street. The Site stands in a mix of residential a commercial industrial uses. The Site is surrounded by the VIP Car Wash, Four-family dwellings, a large church, an industrial garage workshop, a restaurant, a construction company and other retail storefronts. The NX2 Zone is intended for neighborhoods, which are strictly residential. The surrounding neighborhood to the Site is anything but strictly residential. The MX2 Zone allows for the Site to be developed to enhance a main retail corridor along Main Street. Its design guidelines will promote development close to Main Street to promote a pedestrian environment. The partial change of zone to the Site, so it will be uniformly MX2, will help achieve that goal. However, the MX2 Zone will also preserve the residential component that is characteristic of the surrounding neighborhood. It will allow mixed-use development just as the surrounding neighborhood is a mix of uses.

The Petition satisfies the review and approval criteria for a zoning map amendment under Section 11.40.7 of the Regulations. The Petition is in conformity with the comprehensive plan as the Petition appropriately designates the Site within a single zone. As stated above, a portion of the Site is already located in the MX2 Zone and the Site abuts the MX2 Zone as well. Other properties that span from Main Street to Hurd Avenue are located in one of the MX Zones. Under Sec. 1.20.3 of the Regulations, a single parcel may not be classified into 2 or more base zones. Therefore, the existing zoning of the Site would not be permitted under the Regulations if the Site was in existence in its current form when the Regulations were approved. The NX2 Zone would not be the appropriate zone for the entire Site. The NX2 Zone is not located on Main Street in this area and it would remove retail from Main Street. On the contrary, the MX2 Zone does extend from Main Street to Hurd Avenue. On other single properties with frontages on Main Street and a rear secondary street, the MX2 Zone also extends to both frontages. With its proximity to the Route 8/25 Connector, the Site is located at a regional mixed-use node with tremendous access for both pedestrians and vehicles. This characteristic perfectly aligns with the intent of the MX2 Zone. The Petition is in conformity with the comprehensive plan and meets a changed condition of the Site when the properties were combined into the Site.

For the reasons stated above, the Petitioner respectfully requests approval of a zone change of a portion of the Site formerly known as 36 Frank Street from the NX2 Zone to the MX2 Zone, so the entire Site will be located within the MX2 Zone.

Sincerely,



Christopher Russo

# 1797 MAIN STREET LLC ACTIVE

1837 MAIN STREET, BRIDGEPORT, CT, 06604, United States

## BUSINESS DETAILS ▼

### Business Details ▲

#### General Information —

**Business Name**

1797 MAIN STREET LLC

**Business status**

ACTIVE

**Citizenship/place of formation**

Domestic/Connecticut

**Business address**

1837 MAIN STREET, BRIDGEPORT, CT, 06604, United States

**Annual report due**

3/31/2023

**NAICS code**

All Other Consumer Goods Rental (532289)

**Business ALEI**

1254277

**Date formed**

10/24/2017

**Business type**

LLC

**Mailing address**

1837 MAIN STREET, BRIDGEPORT, CT, 06604, United States

**Last report filed**

2022

**NAICS sub code**

532289

#### Principal Details —

**Principal Name**

VALDEMIRO SANTOS

**Principal Title**

MEMBER

**Principal Business address**

1797 MAIN STREET, BRIDGEPORT, CT, 06604, United States



**Principal Residence address**  
1797 MAIN STREET, BRIDGEPORT, CT, 06604, United States

**Principal Name**  
REGINA SANTOS

**Principal Title**  
MEMBER

**Principal Business address**  
1797 MAIN STREET, BRIDGEPORT, CT, 06604, United States

**Principal Residence address**  
1797 MAIN STREET, BRIDGEPORT, CT, 06604, United States

### Agent details

**Agent name**  
VALDEMIRO SANTOS

**Agent Business address**  
1797 MAIN STREET, BRIDGEPORT, CT, 06604, United States

**Agent Mailing address**  
1797 MAIN STREET, BRIDGEPORT, CT, 06604, United States

**Agent Residence addresss**  
1797 MAIN STREET , BRIDGEPORT, CT, 06604, United States

### Filing History



**Business Formation - Certificate of Organization**

**0005957970**

**Filing date:** 10/24/2017

**Filing time:**

**Volume Type**  
B

**Volume**  
2414

**Start page**  
672

**Pages**  
2

**Date generated**  
10/24/2017

**LIST OF PROPERTIES WITHIN 100' OF 1797 MAIN ST AND 36 FRANK ST**

<b>LOCATION</b>	<b>OWNER'S NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP CODE</b>
61 FRANK ST #63	MT. AERY BAPTIST CHURCH INC	73 FRANK ST	BRIDGEPORT	CT	06604
55 FRANK ST #57	LEARY RAYMOND	213 BUNNELL ST	BRIDGEPORT	CT	06607
45 FRANK ST	DIAZ JOSEPH G	45 FRANK ST	BRIDGEPORT	CT	06604
33 FRANK ST	AMARES LLC	33 FRANK ST	BRIDGEPORT	CT	06604
1765 MAIN ST	1751 MAIN STREET LLC	1751 MAIN ST	BRIDGEPORT	CT	06604
1771 MAIN ST	1771 MAIN STREET LLC	1771 MAIN ST	BRIDGEPORT	CT	06606
72 FRANK ST #76	ROBLANC INC	4635 MADISON AVENUE	TRUMBULL	CT	06611
1802 MAIN ST #1806	1812 MAIN STREET LLC	1802 MAIN ST #1806	BRIDGEPORT	CT	06604
1797 MAIN ST	1797 MAIN STREET LLC	1797 MAIN ST	BRIDGEPORT	CT	06606
1812 MAIN ST #1822	1812 MAIN LLC	238 GRIFFIN AVENUE	BRIDGEPORT	CT	06604
1839 MAIN ST	JROD LLC	1839 MAIN ST	BRIDGEPORT	CT	06604
1824 MAIN ST #1836	COLUMBUS PLACE ASSOCIATES LLC	122 ROBERTON CROSSING	FAIRFIELD	CT	06825
1840 MAIN ST	COLUMBUS PLACE ASSOCIATES	122 ROBERTON CROSSING	FAIRFIELD	CT	06825
1849 MAIN ST #1857	1849 MAIN STREET LLC	1650 BUSHWICK AVENUE	BROOKLYN	NY	11207
37 HURD AV	LUSITANIA LLC	50 HURD AVENUE	BRIDGEPORT	CT	06604
84 FRANK ST #86	CABELEIRA DOMINGOS	86 FRANK ST	BRIDGEPORT	CT	06604
73 FRANK ST	MT. AERY BAPTIST CHURCH INC	73 FRANK ST	BRIDGEPORT	CT	06604

**MX2 Zone Development Standards**

**Storefront Building Type**

3.20.4. BUILDING SITING SEE FIGURE 3.20-B	REQUIRED	NEW LOT 'A'	NEW LOT 'B'	NEW LOT 'C'
1) LOT WIDTH	N/A	100.8± FT.	114± FT. PRIMARY	157± FT. PRIMARY
2) PRIMARY STREETWALL	75% MINIMUM; (SEE COURTYARDS, OUTDOOR DINING, AND SEATING ALLOWANCES PER 3.20.10.A; MINIMUM STREETScape AREA REQUIRED PER 3.20.10.B. THROUGH LOTS ADDRESSED PER 3.20.10.B. SEE 14.20.6 FOR MEASURING)	49%	0%	0%
3) PRIMARY STREET BUILD-TO-ZONE	<b>0 FT. MINIMUM, 15 FT. MAXIMUM;</b> (SEE COURTYARDS, OUTDOOR DINING, AND SEATING ALLOWANCES PER 3.20.10.A; MINIMUM STREETScape AREA REQUIRED PER 3.20.10.B. THROUGH LOTS ADDRESSED PER 3.20.10.B. SEE 14.20.6 FOR MEASURING)	4.2± FT.	70.7± FT.	VACANT
4) NON-PRIMARY STREET BUILD-TO-ZONE	<b>0 FT. MINIMUM, 15 FT. MAXIMUM;</b> (SEE COURTYARDS, OUTDOOR DINING, AND SEATING ALLOWANCES PER 3.20.10.A; MINIMUM STREETScape AREA REQUIRED PER 3.20.10.B. THROUGH LOTS ADDRESSED PER 3.20.10.B. SEE 14.20.6 FOR MEASURING)	N/A	41.3± FT.	VACANT
5) SIDE SETBACK	<b>0 FT. MINIMUM, 5 FT. MINIMUM</b> (ADJACENT TO OTHER BUILDING TYPES)	0.3± FT.	2.6± FT.	VACANT
6) REAR SETBACK	<b>15 FT. MAXIMUM ADJACENT TO 'N' ZONES</b> (BUFFER REQUIRED ADJACENT TO 'N' ZONES PER 3.20.10.2)	36.1± FT.	THROUGH-LOT	VACANT
7) SITE COVERAGE	95% MAXIMUM (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	100%	92%	VACANT

**3.20.5. PARKING AND ACCESSORY STRUCTURES**  
SEE FIGURE 3.20-C

1) PARKING AND DRIVEWAY ACCESS	NON-PRIMARY STREET: IF NO NON-PRIMARY STREET, PRIMARY: MAX. 22 FT. WIDTH AT SIDEWALK WITHOUT MEDIAN; MAX. 1 ACCESS DRIVE (SEE 8.0 FOR PARKING)	1 ACCESS DRIVE 25± FT WIDTH	3 ACCESS DRIVES 14± (HURD AVE) 27± FT (MAIN ST) 30± FT (MAIN ST)	2 ACCESS DRIVES 20± FT (MAIN ST) 25± FT (MAIN ST)
2) ATTACHED GARAGE SETBACK	30 FT MIN. BEHIND PRIMARY FACADE ABOVE ANY BASEMENT (SEE 6.50.11 FOR GARAGE DOOR DESIGN REGULATIONS)	N/A	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	REAR, SIDE, NON-PRIMARY STREET FACADE (SEE 6.50.11 FOR GARAGE DOOR DESIGN REGULATIONS)	N/A	N/A	N/A
3) SURFACE PARKING LOCATION	REAR YARD, LIMITED SIDE YARD (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	N/A	N/A	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	N/A	N/A	N/A
SIDE AND REAR SETBACK	3 FT. MINIMUM (SEE 14.20.9 FOR ALLOWED LIMITED SIDE YARD PARKING LAYOUT)	N/A	N/A	N/A
4) ACCESSORY STRUCTURE LOCATION	REAR YARD (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A	N/A
STREET SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A	N/A
SIDE AND REAR SETBACK	5 FT. MINIMUM; 15 FT. MINIMUM ADJACENT TO 'N' ZONES (SEE 3.170 FOR ACCESSORY STRUCTURES)	N/A	N/A	N/A
ALLOWED ACCESSORY STRUCTURES	(SEE 3.170 FOR ACCESSORY STRUCTURES AND 4.70 FOR ACCESSORY USES)			
OUTBUILDINGS AND GARAGES	ALLOWED	N/A	N/A	N/A
OUTBUILDINGS AND GARAGES (HEIGHT)	ONE STORY MAX. OR, WHERE PRINCIPAL BUILDINGS ARE 2 OR MORE STORIES, 1.5 STORIES, CALCULATED BASED UPON THE FLOOR-TO-FLOOR HEIGHTS USED ON THE PRINCIPAL BUILDING.	N/A	N/A	N/A /A</td
OUTBUILDINGS AND GARAGES (FLOOR AREA)	THE MAXIMUM FLOOR AREA IS 50% OF THE PRINCIPAL BUILDING FOOTPRINT	N/A	N/A	N/A
DRIVE-THROUGH FACILITIES	ALLOWED	N/A	COMPLIES	N/A
FUEL PUMPS	ALLOWED	N/A	N/A	N/A

**3.20.6. HEIGHT**  
SEE FIGURE 3.20-D

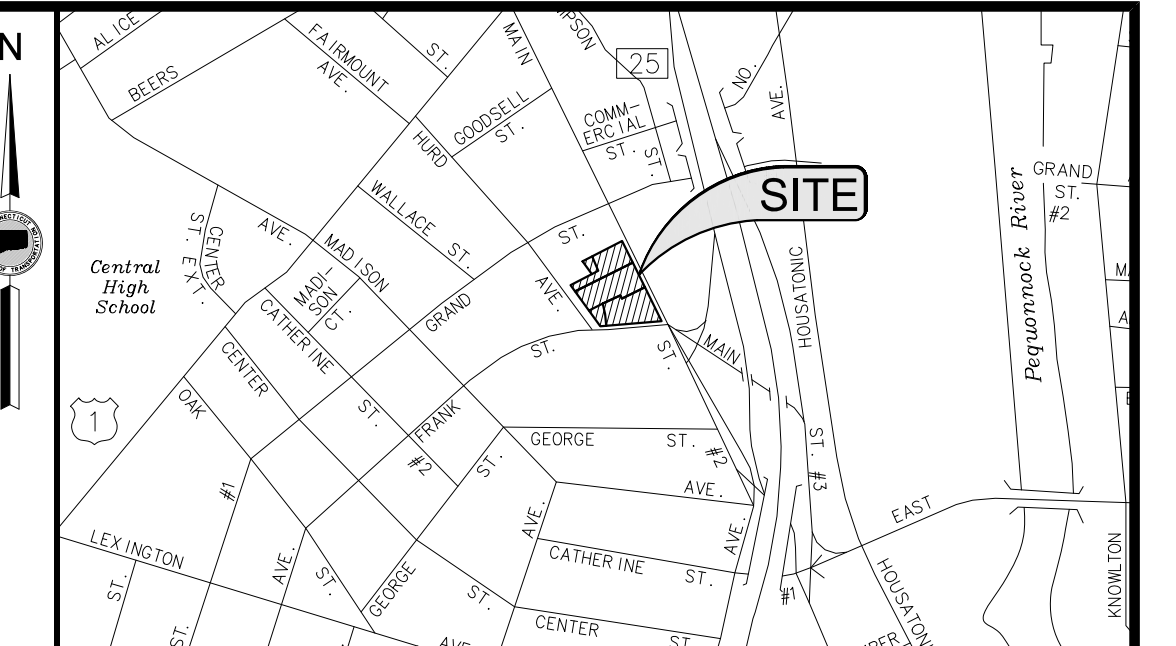
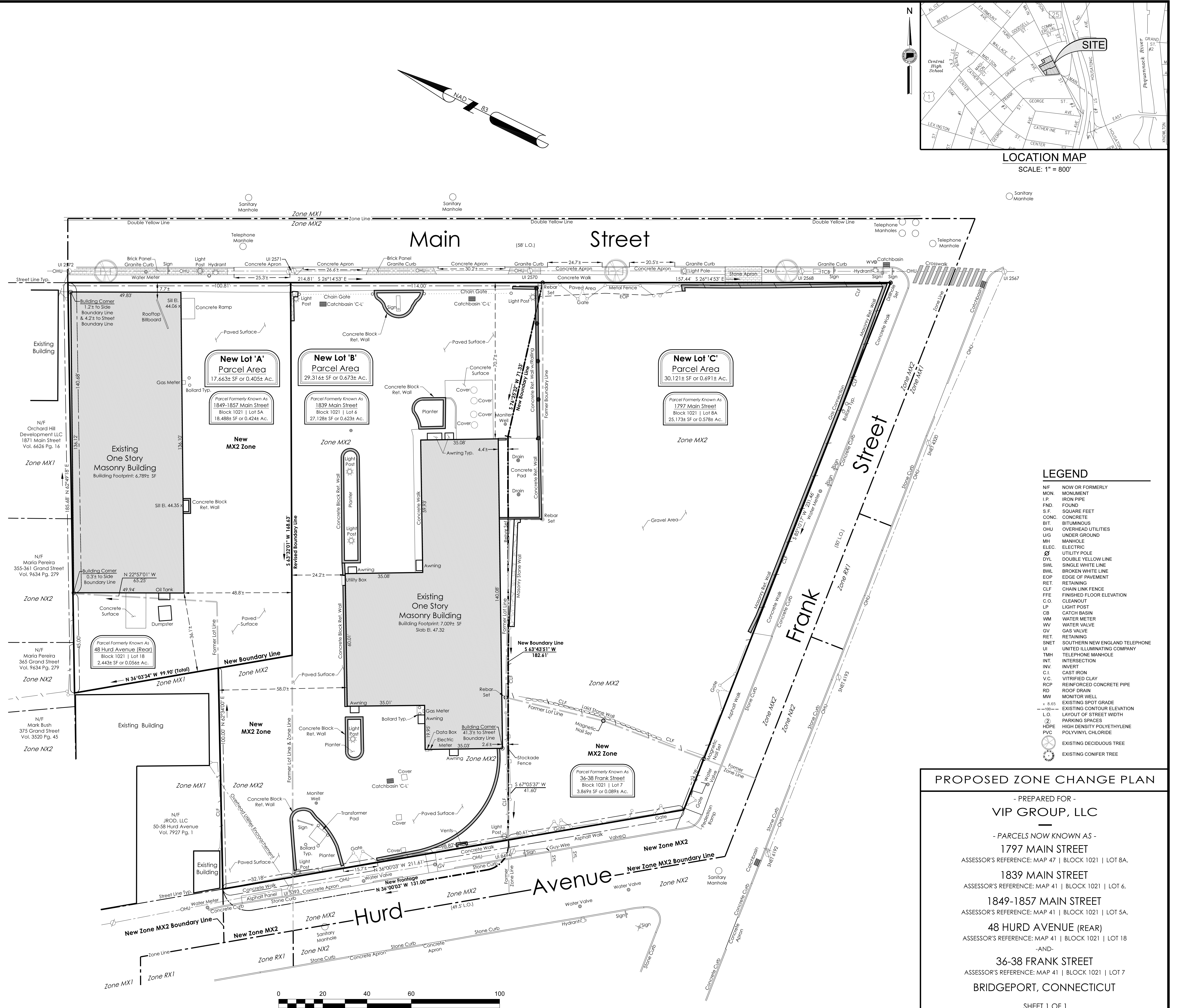
1) HEIGHT	2 STORY MINIMUM; 3 STORIES MAXIMUM	1 STORY	1 STORY	N/A
2) ADDITIONAL HIGH-RISE OR STEPPED-BACK HEIGHT	2 STORIES ADDITIONAL STORIES ALONG MAJOR CORRIDORS	N/A	N/A	N/A
3) GROUND STORY HEIGHT	12 FT. MINIMUM; 14 FT. MAXIMUM	11± FT.	11± FT.	N/A
	14 FT. MINIMUM HEIGHT FOR SINGLE-STORY BUILDING WITH 6 FT. MAXIMUM HEIGHT PARAPET	11± FT.	11± FT.	N/A
4) UPPER STORY HEIGHT	9 FT. MINIMUM; 14 FT MAXIMUM	N/A	N/A	N/A

**3.20.7. ROOFS**  
SEE FIGURE 3.20-E

1) ROOF TYPES	FLAT, PARAPET (SEE 6.20 FOR ROOF TYPES AND TOWER REGULATIONS)	FLAT	FLAT	N/A
2) TOWER	ALLOWED	N/A	N/A	N/A

**3.20.9. ALLOWED USES**  
SEE ARTICLE 4.0 FOR USE DEFINITIONS, SPECIFIC USE LIMITATIONS, AND OTHER USE-RELATED REGULATIONS

RESIDENTIAL	ALLOWED	N/A	N/A	N/A
NUMBER OF PRINCIPLE UNITS	ALLOWED	N/A	N/A	N/A
NUMBER OF ACCESSORY UNITS	NOT ALLOWED	N/A	N/A	N/A
HOUSEHOLD LIVING	ALLOWED	N/A	N/A	N/A
COMMERCIAL				
RETAIL AND ENTERTAINMENT 4.40.2.A RETAIL SALES	ALLOWED	N/A	CONVENIENCE STORE	N/A
LIGHT VEHICLE SALES AND SERVICE 3.170.2.D.4 CAR WASH FACILITY	REQUIRES CERTIFICATE OF LOCATION APPROVAL	ACCESSORY CAR WASH FACILITY	CAR WASH FACILITY	N/A



**LEGEND**

NF	NOW OR FORMERLY
MON	MONUMENT
IP	IRON PIPE
FND	FOUND
S.F.	SQUARE FEET
CONC.	CONCRETE
BITUM.	BITUMINOUS
O.U.	UNDER UTILITIES
UG	UNDER GROUND
MH	MANHOLE
ELEC.	ELECTRIC
UTILITY	UTILITY POLE
DYL	DOUBLE YELLOW LINE
S.W.L.	SINGLE WHITE LINE
B.W.L.	BROKEN WHITE LINE
EOP	EDGE OF PAVEMENT
RET.	RETAINING
CLF	CHAIN LINE FENCE
FFE	FINISHED FLOOR ELEVATION
C.O.	CLEANOUT
LP	LIGHT POST
CB	CATCH BASIN
WM	WATER METER
GV	GAS VALVE
RET.	RETAINING
SNET	SOUTHERN NEW ENGLAND TELEPHONE
UI	UNITED ILLUMINATING COMPANY
TMH	TELEPHONE MANHOLE
INT	INTERSECTION
INV	INVERT
CI	CAST IRON
V.C.	VITRIFIED CLAY
RCP	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
MW	MONITOR WELL
± 8.65	EXISTING SPOT GRADE
-100-	EXISTING CONTOUR ELEVATION
L.O.	LAYOUT OF STREET WIDTH
②	PARKING SPACES
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE
⊙	EXISTING DECIDUOUS TREE
⊙	EXISTING CONIFER TREE

**PROPOSED ZONE CHANGE PLAN**

- PREPARED FOR -  
**VIP GROUP, LLC**

- PARCELS NOW KNOWN AS -  
**1797 MAIN STREET**  
ASSESSOR'S REFERENCE: MAP 47 | BLOCK 1021 | LOT 8A.

**1839 MAIN STREET**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 6.

**1849-1857 MAIN STREET**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 5A.

**48 HURD AVENUE (REAR)**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 18

-AND-  
**36-38 FRANK STREET**  
ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1021 | LOT 7

**BRIDGEPORT, CONNECTICUT**

SHEET 1 OF 1

DECEMBER 5, 2022 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1"=20'





**PLANNING & ZONING COMMISSION  
APPLICATION**

1. NAME OF APPLICANT: SIMCOVE LLC

2. Is the Applicant's name Trustee of Record? Yes \_\_\_\_\_ No **XX** DEC 29 '22 PM 2:22

If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.

3. Address of Property: 2600 Madison Avenue Bridgeport Ct  
(number) (street) (state) (zip code)

4. Assessor's Map Information: Block No. 64 Lot No. 2387/6/A

5. Amendments to Zoning Regulations: (indicate) Article: \_\_\_\_\_ Section: \_\_\_\_\_

**(Attach copies of Amendment)**

6. Description of Property (Metes & Bounds): Northerly: by Vincellest st 246.72 ft, Easterly: by land now or formerly of ameridge condo 601.88 ft, Southerly: by Glendale Ave 642.03 ft, Westerly: by Madison ave 806.42 ft, Northwesterly: by the intersection of Madison Ave and Vincellest st. 40.04 ft

7. Existing Zone Classification: MX2

8. Zone Classification requested: \_\_\_\_\_

9. Describe Proposed Development of Property: Change of use to Self Storage

Approval(s) requested: Special Permit

Signature: Hugh Scott Date: 12-27-2022  
Print Name Hugh Scott

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: \_\_\_\_\_  
Print Name: \_\_\_\_\_

Mailing Address: 12 Bradley Street Branford Ct 06405  
Phone: \_\_\_\_\_ Cell: 203-981-0123 Fax: \_\_\_\_\_  
E-mail Address: hugh@covefunds.com

\$ \_\_\_\_\_ Fee received Date: \_\_\_\_\_ Clerk: \_\_\_\_\_

**THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST**

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

**PROPERTY OWNER'S ENDORSEMENT OF APPLICATION**

<u>Hugh Scott</u> Print Owner's Name	<u>Hugh Scott</u> Owner's Signature	<u>December 28, 2022</u> Date
_____ Print Owner's Name	_____ Owner's Signature	_____ Date

## 2600 Madison Avenue Property Overview.

SimCove proposes to redevelop the former Stop and Shop property into a state-of-the-art self-storage facility. Bridgeport has a dramatic shortage of self-storage space and there are very few, if any, sites in the city that are zoned for such use and are of sufficient size and location. Demand for self-storage is typically about 6 to 10 square feet per capita. Currently, Bridgeport has about 2 square feet per capita which has resulted in shortages of space and dramatic rental rate spikes in the peak summer periods. Self-storage is also a critical resource for small businesses. Typically, 25% of the space is used by small businesses. It accomplishes incremental growth for them by providing a location to conveniently store supplies, records, and inventory without having to relocate their core business location.

The building will receive new clapboard siding, windows, pavement, fencing and gates, security systems, mechanical systems and compliant signage.

The proposed facility would provide a modern class A climate controlled and highly secure storage option, particularly for those residing in the Northwest section of the city where there are no existing facilities. The closest facility is nearly three miles away which is a long distance by urban self-storage standards.

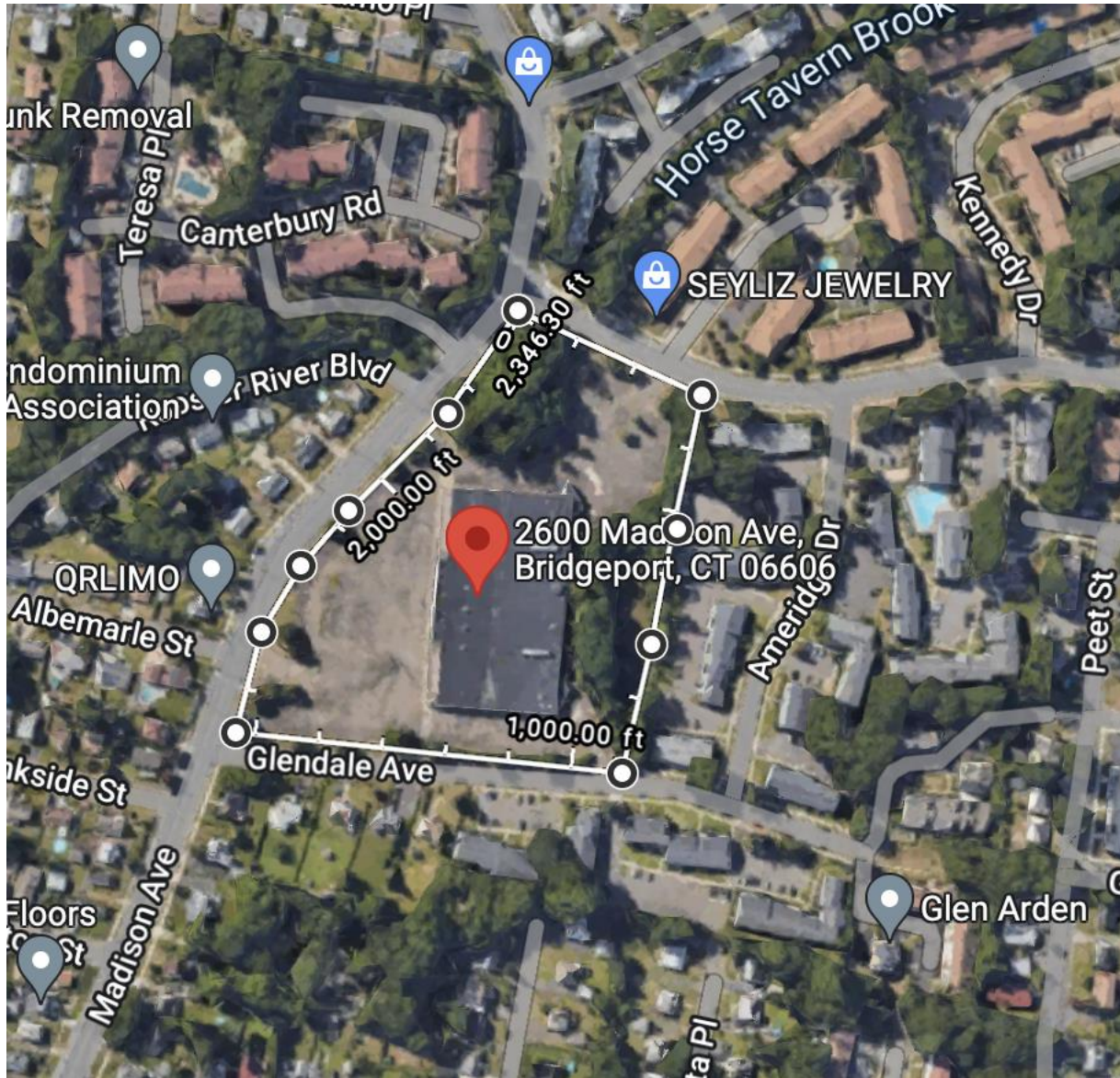
The property is currently zoned MX2 which allows for self-storage subject to a special permit.

The building will feature a drive-in area that will allow customers to load and unload inside the building and out of the weather. It will also have at least 50 parking spaces that will be available to be rented to help satisfy local parking needs. We have completed a traffic study and it indicates that, unlike almost any other development type, it would have minimal traffic impact to the neighborhood. The site will provide ingress and egress from Madison Avenue and Vincelle Street.

This project provides a needed and viable use option for a long-neglected property in the city. Self-storage just like many other services is a needed service in the community and it is important that it is in a convenient and safe and secure location. It will substantially add to the tax base and require very little city services. It will have no impact on schools, minimal impact on water and sewer, and very little impact on other city services.

SIMCOVE LLC  
HUGH SCOTT  
12 BRADLEY STREET BRANFORD CT 06405  
203-981-0123

# Aerial Photo of Property





# Photographs of Surrounding Properties







Parcel_ID	LOCATION	SLH_OWN_NA	SLH_CO_OWN	SLH_OWN_AD	SLH_CITY	SLH_STT	SLH_ZIP
2347-11	2535 MADISON AV	MARTINS LOUIS & SANDRA		2535 MADISON AVE	BRIDGEPORT	CT	06606
2347-12							
2385-25	2530 MADISON AV	SANTOS JOAO		2530 MADISON AVE	BRIDGEPORT	CT	06604
2385-24	683 GLENDALE AV	SADOWNICK MARINA ET AL		683 GLENDALE AVE	BRIDGEPORT	CT	06606
2347-14A	2565 MADISON AV	HARALSON VICTOR & NEISHA	LESTRADE-HARALSON	2565 MADISON AVENUE	BRIDGEPORT	CT	06606
2385-23	667 GLENDALE AV	BAO LUIS E & ROSA		667 GLENDALE AV	BRIDGEPORT	CT	06606
2385-22	655 GLENDALE AV	BRENHA HEITOR ET AL		23 FAWN CIR	TRUMBULL	CT	06611
2385-21	635 GLENDALE AV	HARRIS DAVE COLIN		635 GLENDALE AVENUE	BRIDGEPORT	CT	06606
2346-14A	2585 MADISON AV	SANTACRUZ MIGUEL ET AL		2585 MADISON AV	BRIDGEPORT	CT	06606
2346-15A	2601 MADISON AV	VALLEJO OLGA A		2601 MADISON AVENUE	BRIDGEPORT	CT	06606
2346-18	2615 MADISON AV	BRADFORD WILLIE J & DEBORAH A	BRADFORD (SURVIVOR)	2615 MADISON AVE	BRIDGEPORT	CT	06606
2346-19	2629 MADISON AV	FELIZ ENRIQUE ET AL		2629 MADISON AV	BRIDGEPORT	CT	06606
2346-3	81 ROOSTER RIVER BLV	COLLINS SEAN		81 ROOSTER RIVER BLV	BRIDGEPORT	CT	06606
2387-5A	591 VINCELLETTE ST	BRADY EDMUND D		591 VINCELLETTE ST	BRIDGEPORT	CT	06606
2387-5A	593 GLENDALE AV	GABRIEL THOMAS		1297 PARK AVE	BRIDGEPORT	CT	06604
2387-5A	595 GLENDALE AV	KMZ PROPERTIES LLC		13 ANITA AVE	TRUMBULL	CT	06611
2387-5A	601 GLENDALE AV	FIGUEROA ARMANDO		601 GLENDALE AV	BRIDGEPORT	CT	06606-6014
2387-5A	613 GLENDALE AV	VITALE PATRICK J JR & MARCELINE		29 POINT BEACH ROAD	MILFORD	CT	06460
2387-5A	617 GLENDALE AV	HALL JOHN WILLIAM		617 GLENDALE AVENUE	BRIDGEPORT	CT	06606
2387-5A	621 GLENDALE AV #G	EP PROPERTIES LLC		65 HEDGEHOG ROAD	TRUMBULL	CT	06611
2387-5A	605 AMERIDGE DR	ANDERSON TIMOTHY		605 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	107 MARCONI AV	SKOPIC SABAHUDIN		1335 WEST 7TH ST A C4	BROOKLYN	NY	11204
2387-5A	115 MARCONI AV	FERNANDEZ NELSON & ROXANA L SALAZAR		115 MARCONI AVENUE #5	BRIDGEPORT	CT	06606
2387-5A	117 MARCONI AV	TURKEY POINT PROPERTIES	LLC	P O BOX 472	LAWRENCE	NY	11559
2387-5A	121 MARCONI AV	WIRTZ HILLARY		121 MARCONI AVENUE	BRIDGEPORT	CT	06606
2387-5A	131 MARCONI AV	JONAS ALVIRA & HUBERT L HARLEY (LU)	LAGUERRE MARSHA V (I	131 MARCONI AVENUE	BRIDGEPORT	CT	06606
2387-5A	141 MARCONI AV	HULSE BRIAN ET AL		141 MARCONI AVE	BRIDGEPORT	CT	06606
2387-5A	145 MARCONI AV	KISH LOUIS J		145 MARCONI AVE	BRIDGEPORT	CT	06606
2387-5A	151 MARCONI AV	VIERA ANGEL LUIS & LUCIANA	VIERA	151 MARCONI AVE	BRIDGEPORT	CT	06606
2387-5A	85 MARCONI AV	KHATRI DHANESH ET AL	(SURV OF THEM)	85 MARCONI AV	BRIDGEPORT	CT	06606
2387-5A	95 MARCONI AV	WEIL HOWARD J		108 MAY STREET	FAIRFIELD	CT	06825
2387-5A	515 GLENDALE AV	LAX LAWRENCE AND LINDA		515 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	517 GLENDALE AV	BRENNAN RICHARD M & ANN M		517 GLENDALE AV	BRIDGEPORT	CT	06606-6002
2387-5A	519 GLENDALE AV	BAKER JULIE		519 GLENDALE AV	BRIDGEPORT	CT	06606-6002
2387-5A	523 GLENDALE AV	HERNANDEZ PEDRO ET AL		523 GLENDALE AV	BRIDGEPORT	CT	06606
2387-5A	533 GLENDALE AV	YUREKLI ZIYA & GIZEM		533 GLENDALE AV	BRIDGEPORT	CT	06606-6006
2387-5A	547 GLENDALE AV	CAREY MICHAEL F JR & SUZANNE		547 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	557 GLENDALE AV	HAYAJNEH WAIL ET AL		557 GLENDALE AV	BRIDGEPORT	CT	06606
2387-5A	559 GLENDALE AV	NELSON KIMAREO		559 GLENDALE AVE #G	BRIDGEPORT	CT	06606
2387-5A	561 VINCELLETTE ST	GOMES EDE RIGEL	CLAUDIA E GOMES-MAT(	561 VINCELLETTE ST	BRIDGEPORT	CT	06606-2256
2387-5A	563 VINCELLETTE ST	MCCARTHY JOHN J & GANS ELIZABETH M	(SURV OF THEM)	563 VINCELLETTE ST	BRIDGEPORT	CT	06606
2387-5A	569 GLENDALE AV	JOHNSON CRAIG B		569 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	575 GLENDALE AV	GLENDALE PROPERTIES LLC		260 ARROWHEAD PL	STRATFORD	CT	06614
2387-5A	579 VINCELLETTE ST	DIAZ-PELEAZ BIRMAN		1003 GRAND STREET	BRIDGEPORT	CT	06604
2387-5A	585 GLENDALE AV	HAMMONS KEVIN J		585 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	603 GLENDALE AV	OSBORNE JASON		603 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	605 GLENDALE AV	ROJAS MARCO		605 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	607 GLENDALE AV	WESTSTAR TREND LLCV		11437 EAST TERRA DRIVE	SCOTTSDALE	AZ	85259
2387-5A	5 AMERIDGE DR	ROCHA SANDY		5 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	6 AMERIDGE DR	SANTANA ELIEZETT		6 AMERIDGE DR	BRIDGEPORT	CT	06606-6027
2387-5A	7 AMERIDGE DR	BALA MIHOZA		7 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	10 AMERIDGE DR	OSCARITO LLC	C/O GABRIELA PAVON	350 GODFREY ROAD	FAIRFIELD	CT	06825
2387-5A	20 AMERIDGE DR	DEJESUS JOSEFINA A ET AL		20 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	32 AMERIDGE DR	FARQUHARSON LINCOLN		32 AMERIDGE DR UNIT 32	BRIDGEPORT	CT	06606
2387-5A	38 AMERIDGE DR	VERILLI DONNA (EST OF)	CARRIE ANN VERILLI-OLI	38 AMERIDGE DR	BRIDGEPORT	CT	06606-6031
2387-5A	39 AMERIDGE DR	ORDONEZ CHRISTIAN F		39 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	46 AMERIDGE DR	MIRSKY MARION D		46 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	47 AMERIDGE DR	PERRIN DEREK M & EDITH		47 AMERIDGE DR	BRIDGEPORT	CT	06606-6035
2387-5A	51 AMERIDGE DR	EATON WANDA	LEETE R EATON-WHITE	51 AMERIDGE DR	BRIDGEPORT	CT	06606-6036
2387-5A	53 AMERIDGE DR	53 AMERIDGE DRIVE LLC		165 E VILLAGE ROAD	SHELTON	CT	06484
2387-5A	55 AMERIDGE DR	BIGLETTI PAMELA		55 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	57 AMERIDGE DR	ROMANOVA EMMA		236 MELODY LANE	FAIRFIELD	CT	06824
2387-5A	59 AMERIDGE DR	FORMATO IRENE		59 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	61 AMERIDGE DR	SCINTO JOHN		61 AMERIDGE DR	BRIDGEPORT	CT	06606-6037
2387-5A	63 AMERIDGE DR	TURKEY POINT PROPERTIES	LLC	49 SEALY DR	LAWRENCE	NY	11559
2387-5A	69 AMERIDGE DR	HUBINA EDWARD R & CAROL A		69 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	73 AMERIDGE DR	AVILA CECILIA		73 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	79 AMERIDGE DR	MALIN SINDY		79 AMERIDGE RD	BRIDGEPORT	CT	06606
2387-5A	81 AMERIDGE DR	INSERRA GAIL		ONE ELIOT PLACE	FAIRFIELD	CT	06824
2387-5A	87 AMERIDGE DR	HOAG ALISON S		87 AMERIDGE DR	BRIDGEPORT	CT	06606-6040
2387-5A	93 AMERIDGE DR	NATIONSTAR MORTGAGE LLC		8950 CYPRESS WATERS BI	COPPELL	TX	75019
2387-5A	95 AMERIDGE DR	RIVERA NELSON		95 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	2-109 AMERIDGE DR #H	AMERIDGE CONDO MAIN			BRIDGEPORT	CT	
2387-5A	609 GLENDALE AV	RANDALL MILES		609G GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	615 GLENDALE AV	COVELLO JOHN	ATTN JIM STOBLE	1583 POST RD	FAIRFIELD	CT	06824
2387-5A	623 GLENDALE AV	VICENCIO JAIME		15 CANDLEWOOD RD	TRUMBULL	CT	06611
2387-5A	625 GLENDALE AV	GALLAGHER TIMOTHY A		625 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	2 AMERIDGE DR	MARLOWE BRANDON M		2 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	22 AMERIDGE DR	HUBBARD CHRISTINE		22 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	24 AMERIDGE DR	ALATORTSEV MIKHAIL V		24 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	26 AMERIDGE DR	CHAWICHE NESSRIN		26 AMERIDGE DR	BRIDGEPORT	CT	06606-6030
2387-5A	30 AMERIDGE DR	JUCHA MICHAEL S		30 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	31 AMERIDGE DR	HASFAL JOSEPHINE		31 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	33 AMERIDGE DR	SINATRA CHRISTINA		33 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	34 AMERIDGE DR	CHRISTENSEN ERIC N & MARE	(SURV OF THEM)	34 AMERIDGE DRIVE	BRIDGEPORT	CT	06606



2387-5A	35 AMERIDGE DR	BOONE ENAE	35 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	43 AMERIDGE DR	JACBSON MICHELE A	100 MAGNOLIA ST	BRIDGEPORT	CT	06606
2387-5A	67 AMERIDGE DR	MORAIS CARLOS A	67 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	71 AMERIDGE DR	DUBE AMY	71 AMERIDGE DRIVE UNIT	BRIDGEPORT	CT	06606
2387-5A	85 AMERIDGE DR	GILMORE JASON R	85 AMERIDGE DR	BRIDGEPORT	CT	06606-6040
2387-5A	99 AMERIDGE DR	PEREZ IRENE M	99 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	103 AMERIDGE DR	SMRIGA CARMELLA	603 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	123 MARCONI AV	BROWN PAUL M JR	123 MARCONI AVENUE	BRIDGEPORT	CT	06606
2387-5A	125 MARCONI AV	ADAES CARLOS A	125 MARCONI AVE	BRIDGEPORT	CT	06606
2387-5A	133 MARCONI AV	COX OPAL L	133 MARCONI AV	BRIDGEPORT	CT	06606-6024
2387-5A	135 MARCONI AV	WESTSTAR TREND LLC	11437 EAST TERRA DRIVE	SCOTTSDALE	AZ	85259
2387-5A	147 MARCONI AV	THACH HIEU	147 MARCONI AVE	BRIDGEPORT	CT	06606
2387-5A	149 MARCONI AV	MISIK MARTIN & MARTINA	149 MARCONI AVE	BRIDGEPORT	CT	06606
2387-5A	87 MARCONI AV	FISHER KARLINE	87 MARCONI AVE	BRIDGEPORT	CT	06606
2387-5A	93 MARCONI AV	WILLIAMS BRUCE	93 MARCONI AVE UNIT 93	BRIDGEPORT	CT	06604
2387-5A	97 MARCONI AV	ZIKO ARTAN	113 BUDDINGTON RD	SHELTON	CT	06484
2387-5A	525 GLENDALE AV	BRITO ARTURO JR	525 GLENDALE AV	BRIDGEPORT	CT	06606-6045
2387-5A	529 GLENDALE AV	SMITH BEVERLY L	529 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	539 GLENDALE AV	APPLE CLAUDETTE B	539 GLENDALE AV	BRIDGEPORT	CT	06606-6007
2387-5A	549 GLENDALE AV	TORRES OLGA	549 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	549 VINCELLETTE ST	WEIL HOWARD J	108 MAY STREET	FAIRFIELD	CT	06825
2387-5A	553 GLENDALE AV	LUBY RONDA	180 QUEEN ST	BRIDGEPORT	CT	06606
2387-5A	557 VINCELLETTE ST	STEWART GREGORY	557 VINCELLETTE ST	BRIDGEPORT	CT	06606
2387-5A	565 GLENDALE AV	ORLOWSKI MARIA TERESA	565 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	567 GLENDALE AV	SILVA MELISA	567 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	571 GLENDALE AV	GORE MARK S	571 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	579 GLENDALE AV	SEC OF HOUSING & URBAN DEV	C/O MICHAELSON CONN 4400 WILL ROGERS PARKV	OKLAHOMA CI	OK	73108
2387-5A	581 GLENDALE AV	CAAL-AGUSTIN OSCAR	581 GLENDALE AV	BRIDGEPORT	CT	06606
2387-5A	587 VINCELLETTE ST	LEE CHARLENE A & RANDY (SURV OF THEM)	587 VINCELLETTE ST UNIT	BRIDGEPORT	CT	06606
2387-5A	593 VINCELLETTE ST	SAADH PROPERTIES INC	13 CHIPPING LA	NORWALK	CT	06854
2387-5A	595 VINCELLETTE ST	PENIASTEKOVA PETRA	595 VINCELLETTE STREET	BRIDGEPORT	CT	06606
2387-5A	599 GLENDALE AV	LATIFI GERTA & FATON	248 CHURCH HILL RD	TRUMBULL	CT	06611
2387-5A	8 AMERIDGE DR	VALENTINE THOMAS M & NICOLE	8 AMERIDGE DR UNITE 8	BRIDGEPORT	CT	06606-6027
2387-5A	9 AMERIDGE DR	ALABRE MARIE R	9 AMERIDGE DR	BRIDGEPORT	CT	06606-6000
2387-5A	109 AMERIDGE DR	SILVA EDIR	109 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	109 MARCONI AV	LEMONS VALDEMIR C & ANDREA	109 MARCONI AV	BRIDGEPORT	CT	06606-6023
2387-5A	127 MARCONI AV	JOHNSON DONNA J	127 MARCONI AVE	BRIDGEPORT	CT	06604
2387-5A	153 MARCONI AV	BOTTA CHRISTINA	43 GARDEN DR	FAIRFIELD	CT	06825
2387-5A	521 GLENDALE AV	BURNES NIKOLE D	521 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	531 GLENDALE AV	MOKTAN DENISHA	531 GLENDALE AV	BRIDGEPORT	CT	06606-6006
2387-5A	537 GLENDALE AV	BURDICK KEITH P	537 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	545-G GLENDALE AV	COSTA RONALD & SHERRY	30 HURD AVE	MONROE	CT	06468
2387-5A	547 VINCELLETTE ST	SILVA RICKY B	547 VINCELLETTE ST	BRIDGEPORT	CT	06606-2255
2387-5A	551 GLENDALE AV	MOHAN ABILASH	77 MALER AVENUE	SHELTON	CT	06484
2387-5A	551 VINCELLETTE ST	SANTELLA RICHARD A & SALLY E	15 RENCHY STREET	FAIRFIELD	CT	06824
2387-5A	559 VINCELLETTE ST	SLATKY KIMBERLY A	559 VINCELLETTE ST	BRIDGEPORT	CT	06606
2387-5A	563 GLENDALE AV	LATIFI GERTA & FATON	248 CHURCH HILL RD	TRUMBULL	CT	06611
2387-5A	583 VINCELLETTE ST	EDGETT SABINE C	443 CHURCH HILL RD	FAIRFIELD	CT	06825
2387-5A	587 GLENDALE AV	BRITTO MARYANN	25 HICKORY ST	TRUMBULL	CT	06611
2387-5A	597 GLENDALE AV	SNOWBALL KHARI	597 GLENDALE AV	BRIDGEPORT	CT	06606-6014
2387-5A	611 GLENDALE AV	RANNEY LAURA G	48 RIVERVIEW DR	BRIDGEPORT	CT	06606
2387-5A	619 GLENDALE AV	SPIGAROLO EYVLENE H	619 GLENDALE AVE	BRIDGEPORT	CT	06606
2387-5A	4 AMERIDGE DR	ROMA TERRI I	4 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	11 AMERIDGE DR	GOMES JORGE M & MARIA G	11 AMERIDGE DR	BRIDGEPORT	CT	06606-6000
2387-5A	16 AMERIDGE DR	16 AMERIDGE DRIVE LLC	16 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	18 AMERIDGE DR	ROBERTSON NANCY E	18 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	25 AMERIDGE DR	MOITOSO MARIA C & EDWARD M	25 AMERIDGE DR	BRIDGEPORT	CT	06606-6033
2387-5A	27 AMERIDGE DR	AMERIDGE DRIVE LLC	165 E VILLAGE ROAD	SHELTON	CT	06484
2387-5A	77 AMERIDGE DR	ELLIS LOUIS F	1200 COMMONWEALTH #21	BOSTON	MA	02134
2387-5A	83 AMERIDGE DR	NEALON BEVIN K	83 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	89 AMERIDGE DR	BURGO NICOLE E & LINDA L	89 AMERIDGE DR	BRIDGEPORT	CT	06606-6040
2387-5A	105 MARCONI AV	SCHIEBE DONNA M (EST OF)	43 ADAMS RD	FAIRFIELD	CT	06824
2387-5A	12 AMERIDGE DR	DUBRASKI JENNIFER	12 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	13 AMERIDGE DR	CRUZ CHRYSSTIE & MIRIAM L	13 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	14 AMERIDGE DR	MENDES DONNA	14 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	28 AMERIDGE DR	ZAK SCOTT	28 AMERIDGE DR	BRIDGEPORT	CT	06606-6030
2387-5A	29 AMERIDGE DR	KENNEY MICHAEL A	55 PLUMTREE LANE	TRUMBULL	CT	06611
2387-5A	36 AMERIDGE DR	DOUPONA LAUREN	36 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	37 AMERIDGE DR	SACHS LAURA	37 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	40 AMERIDGE DR	REISSINGER FERNANDO & AMANDA S	40 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	41 AMERIDGE DR	VASSELL MILLICENT	41 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	42 AMERIDGE DR	PORTO LUISA G	42 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	44 AMERIDGE DR	COLANGELO JANET	44 AMERIDGE DR	BRIDGEPORT	CT	06606-6038
2387-5A	45 AMERIDGE DR	SLATTERY DANIEL	21 STONEHENGE LA	MONROE	CT	06468
2387-5A	65 AMERIDGE DR	MOORE PRESTON	82 CEDAR RD	WILTON	CT	06897
2387-5A	75 AMERIDGE DR	PICCOLELLO JENNY	75 AMERIDGE DRIVE	BRIDGEPORT	CT	06606
2387-5A	97 AMERIDGE DR	GARRITY JOANN P	97 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	101 AMERIDGE DR	MIELE DOLORES M	101 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	101 MARCONI AV	BALA MILOZA	101 MARCONI AVE	BRIDGEPORT	CT	06606-6022
2387-5A	103 MARCONI AV	SAN ANGELO ANTHONY P	605 JUNIPER CT	OXFORD	CT	06418
2387-5A	107 AMERIDGE DR	ARCERI LOUIS J & LINDA M	107 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	111 MARCONI AV	GOINGS CAROLYN	111 MARCONI AVE	BRIDGEPORT	CT	06606
2387-5A	113 MARCONI AV	POLAWSKI JANUSZ & ANNA	113 MARCONI AVE	BRIDGEPORT	CT	06606
2387-5A	119 MARCONI AV	POREMSKA ANN MARIE	119 MARCONI AVE	BRIDGEPORT	CT	06606-6024
2387-5A	129 MARCONI AV	BAPTISTA ADALBERTO	4685 MADISON AVENUE	TRUMBULL	CT	06611
2387-5A	137 MARCONI AV	MIRSKY SHELLEY J	137 MARCONI AVENUE	BRIDGEPORT	CT	06606

2387-5A	139 MARCONI AV	MINITER TRACEY		139 MARCONI AVENUE	BRIDGEPORT CT	06606
2387-5A	89 MARCONI AV	FREITAS SAMUEL		89 MARCONI AVENUE	BRIDGEPORT CT	06606
2387-5A	91 MARCONI AV	CHINTALAPUDI PRASAD & JAYASHRI		91 MARCON AVE	BRIDGEPORT CT	06606
2387-5A	99 MARCONI AV	FRISCIA FAMILY TRUST		175 CLINTON AVE	NEW ROCHELL NY	10801
2387-5A	527 GLENDALE AV	DEMKIW-ORMAN KATHERINE		527 GLENDALE AVENUE	BRIDGEPORT CT	06606
2387-5A	535 GLENDALE AV	SENTEIO MARIA E		535 GLENDALE AVE	BRIDGEPORT CT	06606
2387-5A	541 GLENDALE AV	QUINTON KATHLEEN D		541 GLENDALE AVE	BRIDGEPORT CT	06606
2387-5A	543 GLENDALE AV	OCKOVITZ JOHN		543 GLENDALE AVENUE	BRIDGEPORT CT	06606
2387-5A	545 VINCELLETTE ST	SANTELLA RICHARD A & SALLY E		15 RENCHY ST	FAIRFIELD CT	06824
2387-5A	555 GLENDALE AV	GILFORD CORNELIUS		555 GLENDALE AVENUE	BRIDGEPORT CT	06606
2387-5A	561 GLENDALE AV	KOCHERSPERGER PETER C		38 JAMESTOWN ROAD	EASTON CT	06612
2387-5A	573 GLENDALE AV	JOHNSON D JR & G JOHNSON	GLORIA HAYNES	573 GLENDALE AV	BRIDGEPORT CT	06606-6011
2387-5A	577 GLENDALE AV	MOHAN ABILASH	NITI CHAUDHRY	77 MALER AVE	SHELTON CT	06484
2387-5A	581 VINCELLETTE ST	EVARTS RYAN E		581 VINCELLETTE ST	BRIDGEPORT CT	06606
2387-5A	583 GLENDALE AV	RUIZ LAURA CRISTINA Q		583 GLENDALE AV	BRIDGEPORT CT	06606-6012
2387-5A	585 VINCELLETTE ST	RUIZ MAXIMO F T &	ESTHER V TELLO	585 VINCELLETTE ST	BRIDGEPORT CT	06606-2257
2387-5A	589 GLENDALE AV	VEGH ALEXANDRA		589G GLENDALE AVENUE	BRIDGEPORT CT	06606
2387-5A	589 VINCELLETTE ST	KOEING CAROL		589 VINCELLETTE	BRIDGEPORT CT	06606
2387-5A	591 GLENDALE AV	SWEET JOSHUA & DORA E		591 GLENDALE AV	BRIDGEPORT CT	06606-6013
2346-20	2641 MADISON AV	ORTIZ HILARY D A & VALERIA		2641 MADISON AV	BRIDGEPORT CT	06606-2632
2346-2	61 ROOSTER RIVER BV	RAFAEL MARIA T		61 ROOSTER RIVER BV	BRIDGEPORT CT	06606-2624
2346-21	2655 MADISON AV	FRETES NUBIA ALIDA SILVA		2655 MADISON AV	BRIDGEPORT CT	06606
2346-22	2665 MADISON AV	PIPA NUNO ET AL		2665 MADISON AVENUE	BRIDGEPORT CT	06606
2387-6A	2600 MADISON AV	SIMCOVE LLC		12 BRADLEY ST	BRANFORD CT	06405
2510-16B	12 CANTERBURY RD	GAGLIARDI RALPH W ET AL		12 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	12-A CANTERBURY RD	HABERSHAM KIMIA		12-A CANTERBURY RD	BRIDGEPORT CT	06606-2650
2510-16B	14 CANTERBURY RD	BUCKLEY MEREDITH		14 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	17 CANTERBURY RD	FAY SUSAN		17 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	18 CANTERBURY RD	DELIBERO JACQUELINE (LU)	ET AL (RO)	70 DEER RUN DR	TRUMBULL CT	06611
2510-16B	2 CANTERBURY RD	TZIKAS CHRISTINA		2 CANTERBURY RD	BRIDGEPORT CT	06606-2645
2510-16B	6 CANTERBURY RD	GIOVAGNOLI BRIANNE		6 CANTERBURY RD	BRIDGEPORT CT	06606-2650
2510-16B	7 CANTERBURY RD	HARRICK ANTHONY L &	SUZANNE E ANDERSON	7 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	8 CANTERBURY RD	OSINSKA MARENZA		30 TERESA PL	BRIDGEPORT CT	06606
2510-16B	10 CANTERBURY RD	MEYER KELLI ANN		10 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	33 TERESA PL	PIRES ANA		47 CLOVER HILL RD	TRUMBULL CT	06611
2510-16B	40 TERESA PL	ARMSTRONG GERALDINE		40 TERESA PL	BRIDGEPORT CT	06606
2510-16B	32 TERESA PL	NASTU MICHAEL N		32 TERESA PL	BRIDGEPORT CT	06606
2510-16B	18 TERESA PL	OLIGINO VICTORIA M		18 TERESA PLACE	BRIDGEPORT CT	06606
2510-16B	16 TERESA PL	DACOSTA JAIME		16 TERESA PLACE	BRIDGEPORT CT	06606
2510-16B	4 TERESA PL	FERNANDES ERICA R		4 TERESA PL	BRIDGEPORT CT	06606
2510-16B	8 TERESA PL	MINNIE LLC		22 PLUMB ROAD	BRIDGEPORT CT	06611
2510-16B	48 CANTERBURY RD	PICARAZZI DOMINICK		6 STATION HILL	TRUMBULL CT	06611
2510-16B	32 CANTERBURY RD	BARREIRA ELISEU		32 CANTERBURY RD	BRIDGEPORT CT	06610
2510-16B	34 CANTERBURY RD	LORUSSO THERESA L		34 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	35 CANTERBURY RD	DASILVA DILAMAR & OLGA		35 CANTERBURY RD	BRIDGEPORT CT	06606-2653
2510-16B	36 CANTERBURY RD	SEDELNIK JEANNE M & GARY		14 STONEWALL LANE	TRUMBULL CT	06611
2510-16B	2 ROXBURY LN	SIKORSKI DOLORES		2 ROXBURY LN	BRIDGEPORT CT	06606-2646
2510-16B	6 ROXBURY LN	PIRES MICHAEL		31 MIMOSA LN	SHELTON CT	06484
2510-16B	12 ROXBURY LN	ZOGOPOULOS KONSTANTINOS ET AL		12 ROXBURY LN	BRIDGEPORT CT	06606
2510-16B	14 ROXBURY LN	LARA CESAR T & IAN C		14 ROXBURY LN	BRIDGEPORT CT	06606-2646
2510-16B	19 ROXBURY LN	POREMPA MICHELINA		19 ROXBURY LN	BRIDGEPORT CT	06606
2510-16B	25 ROXBURY LN	WRAGA MARY M ET AL		25 ROXBURY ROAD	BRIDGEPORT CT	06606
2510-16B	26 ROXBURY LN	TREGLIA SUSAN A		26 ROXBURY LN	BRIDGEPORT CT	06606
2510-16B	27 ROXBURY LN	NIESTEMSKI HENRY		27 ROXBURY LN	BRIDGEPORT CT	06606
2510-16B	29 ROXBURY LN	REUSE RICARDO		29 ROXBURY LN	BRIDGEPORT CT	06606
2510-16B	16 CANTERBURY RD	MORALES, GLORIA		16 CANTERBURY ROAD	BRIDGEPORT CT	06606
2510-16B	4 CANTERBURY RD	ZDRODOWSKI MIECZYSLAW		4 CANTEBURY RD	BRIDGEPORT CT	06606
2510-16B	34 TERESA PL	SILVA GILSON		34 TERESA PLACE	BRIDGEPORT CT	06606
2510-16B	38 TERESA PL	MARSHALL BARRY L		38 TERESA PL UNIT 24	BRIDGEPORT CT	06606
2510-16B	1-52 CANTERBURY LN	FOXLEDGE CONDO MAIN				
2510-16B	11 CANTERBURY RD	HODZIC GORDANA		11 CANTERBURY RD	BRIDGEPORT CT	06606-2649
2510-16B	1 CANTERBURY RD	GHEUCA NICOLETA C		1 CANTERBURY ROAD	BRIDGEPORT CT	06606
2510-16B	5 CANTERBURY RD	GALLUCCI MARILYN		5 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	35 TERESA PL	SPYROU JOHN E ET AL		374 ELM STREET	MONROE CT	06468
2510-16B	36 TERESA PL	VAZQUEZ NELSON		158 VINCELLETTE STREET	BRIDGEPORT CT	06606
2510-16B	37 TERESA PL	FERNOUS GUY & SHANNON		37 TERESA PL	BRIDGEPORT CT	06606
2510-16B	27 TERESA PL	MATEI RADU		27 TERESA PLACE	BRIDGEPORT CT	06606
2510-16B	29 TERESA PL	NEALON JAMES P		29 TERESA PL	BRIDGEPORT CT	06606
2510-16B	23 TERESA PL	PROTTER H JUDITH		23 TERESA PL	BRIDGEPORT CT	06606
2510-16B	10 TERESA PL	SOTIR ROBERT		10 TERESA PL	BRIDGEPORT CT	06606-2642
2510-16B	12 TERESA PL	SALATA JOSEPH A III		12 TERESA PL	BRIDGEPORT CT	06606-2642
2510-16B	1 TERESA PL	SEVRANI ARTA		1 TERESA PLACE	BRIDGEPORT CT	06606
2510-16B	3 TERESA PL	DUNNE KATHERINE A		3 TERESA PL	BRIDGEPORT CT	06606
2510-16B	5 TERESA PL	DONNELLY ANN MARIE		5 TERESA PL #55	BRIDGEPORT CT	06606
2510-16B	7 TERESA PL	GAGE KIMBERLY ANN		7 TERESA PL #57	BRIDGEPORT CT	06606
2510-16B	45 CANTERBURY RD	YACOVELLI JOHN II		45 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	46 CANTERBURY RD	JOHNS KINBERLY		46 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	49 CANTERBURY RD	HOBSON DAVID		49 CANTERBURY ROAD UN	BRIDGEPORT CT	06606
2510-16B	40 CANTERBURY RD	GOLOVA GALYNA		40 CANTERBURY RD	BRIDGEPORT CT	06606
2510-16B	41 CANTERBURY RD	VARGAS JENNIFER		41 CANTERBURY RD	BRIDGEPORT CT	06606-2653
2510-16B	42 CANTERBURY RD	LAU ROBLES EDWIN J		105 CATHERINE ST	BRIDGEPORT CT	06606
2510-16B	43 CANTERBURY RD	KURTI ARBEN		43 CANTERBURY RD	BRIDGEPORT CT	06606-2655
2510-16B	44 CANTERBURY RD	HABIGHORST ARTHUR IV		44 CANTERBURY ROAD	BRIDGEPORT CT	06606
2510-16B	28 CANTERBURY RD	WEBBER DRENAE SIDONE		28 CANTERBURY RD	BRIDGEPORT CT	06606-2652
2510-16B	33 CANTERBURY RD	O'REILLY JOHN G (AKA JOHN G O'REILLY SR)		33 CANTERBURY ROAD	BRIDGEPORT CT	06606
2510-16B	19 CANTERBURY RD	YURUKOVA KREMENA		19 CANTERBURY RD	BRIDGEPORT CT	06606-2651

2510-16B	3 ROXBURY LN	3 ROXBURY LANE LLC		637 BUCKINGHAM AVENUE MILFORD	CT	06460
2510-16B	10 ROXBURY LN	MENJIVAR SALVADOR		10 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	21 ROXBURY LN	STURDIVANT YULIANA J		21 ROXBURY LANE UNIT 11	BRIDGEPORT	CT 06606
2510-16B	22 ROXBURY LN	BERLINGO RALPH A III & LUCIA A	(SURV OF THEM)	22 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	24 ROXBURY LN	BRANCH EARLA M		24 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	30 ROXBURY LN	MARRERO-GRABOWSKI CATHERINE		30 ROXBURY LN	BRIDGEPORT	CT 06606-2659
2510-16B	31 ROXBURY LN	GIDDEANS REUBEN		31 ROXBURY LN	BRIDGEPORT	CT 06606-2658
2510-16B	15 CANTERBURY RD	LUPARIELLO ANITA L		15 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	3 CANTERBURY RD	JOSSSELYN WAYNE C		3 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	9 CANTERBURY RD	CARDOSO APARECIDA ELEUSA		9 CANTERBURY ROAD	BRIDGEPORT	CT 06606
2510-16B	39 TERESA PL	LAROCCO ANTHONY (LU)	KRISTEN, MATTHEW & J	39 TERESA PL	BRIDGEPORT	CT 06606
2510-16B	19 TERESA PL	VAAGEN CATHARINA	CUEVAS JIMMY	19 TERESA PL	BRIDGEPORT	CT 06606-2644
2510-16B	9 TERESA PL	DIVENCENZO RITA (LU) ET AL	(SURV OF THEM)	9 TERESA PL	BRIDGEPORT	CT 06606
2510-16B	11 TERESA PL	BAPTISTA JOHN JR		P.O. BOX 5554	BRIDGEPORT	CT 06610
2510-16B	13 TERESA PL	JOHNSON, NASTAJA M		13 TERESA PLACE	BRIDGEPORT	CT 06615
2510-16B	14 TERESA PL	KERESTURY DEBRA JOY		14 TERESA PL UNIT 14	BRIDGEPORT	CT 06606
2510-16B	15 TERESA PL	ROMANOVA EMMA		236 MELODY LANE	FAIRFIELD	CT 06824
2510-16B	2 TERESA PL	DEVILLEGAS VERONICA		2 TERESA PLACE	BRIDGEPORT	CT 06606
2510-16B	50 CANTERBURY RD	PERTESIS ANTHONY	(SURVIVOR OF HIM)	15 RIVERSIDE LANE	EASTON	CT 06612
2510-16B	51 CANTERBURY RD	YANCY ELIZABETH		51 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	52 CANTERBURY RD	FOXLEDGE CONDO ASSOC INC		1010 HOPE STREET 2ND FL	STAMFORD	CT 06907
2510-16B	37 CANTERBURY RD	37 CANTERBURY ASSOCIATES LLC		136 MEADOWVIEW DR	TRUMBULL	CT 06611
2510-16B	38 CANTERBURY RD	MARTINS JOHNNY MACIEL	MACIEL LILIANE	38 CANTERBURY RD	BRIDGEPORT	CT 06606-2654
2510-16B	21 CANTERBURY RD	RICHARDSON OSHAIN L		21 CANTERBURY RD	BRIDGEPORT	CT 06606-2651
2510-16B	8 ROXBURY LN	CORRALES JORGE A ZULUAGA ET AL		84-12 105TH STREET	RICHMOND HILNY	11418
2510-16B	9 ROXBURY LN	COBA JOSHUA		9 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	17 ROXBURY LN	FLANIGAN VIRGINIA		17 ROXBURY LN	BRIDGEPORT	CT 06606-2658
2510-16B	20 ROXBURY LN	WRAGA MARY M & (ETAL)		20 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	25 TERESA PL	APPELLOF ELAINE S ET AL		100 WAKEMAN LANE	SOUTHPORT	CT 06890
2510-16B	26 TERESA PL	WILSON KAREN M		26 TERESA PL	BRIDGEPORT	CT 06606-2647
2510-16B	28 TERESA PL	PENA FELIX A		28 TERESA PL	BRIDGEPORT	CT 06606-2647
2510-16B	30 TERESA PL	ZURAWSKI JANUSZ ETAL		30 TERESA PL	BRIDGEPORT	CT 06606
2510-16B	31 TERESA PL	DIAS LUCIA		31 TERESA PL	BRIDGEPORT	CT 06606-2636
2510-16B	17 TERESA PL	GUNZY BRUCE		17 TERESA PLACE	BRIDGEPORT	CT 06606
2510-16B	20 TERESA PL	BOHORQUEZ LUIS & WANDA		39 KING STREET	NORWALK	CT 06851
2510-16B	21 TERESA PL	WENDROW BEATRICE & NANCY		21 TERESA PL	BRIDGEPORT	CT 06606
2510-16B	22 TERESA PL	RABBITT LINDA (LU)	TANYA L RABBITT (RO)	22 TERESA PL	BRIDGEPORT	CT 06606-2647
2510-16B	24 TERESA PL	BATISTA VICTOR		24 TERESA PL	BRIDGEPORT	CT 06606
2510-16B	6 TERESA PL	KOZLOSKI RICHARD		6 TERESA PL	BRIDGEPORT	CT 06606
2510-16B	47 CANTERBURY RD	SCHLEIN ALLEN		107 CURTIS TER	FAIRFIELD	CT 06432
2510-16B	39 CANTERBURY RD	MATOS CLAUDIA		39 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	27 CANTERBURY RD	CHOW MELBY		27 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	29 CANTERBURY RD	COOPER WALTER A & MARIA C		29 CANTERBURY RD	BRIDGEPORT	CT 06606-2651
2510-16B	30 CANTERBURY RD	HODGEMAN HEATHER		30 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	31 CANTERBURY RD	AFONSO NILCIA		31 CANTERBURY RD	BRIDGEPORT	CT 06606-2653
2510-16B	20 CANTERBURY RD	ALLEN ROBERT J		20 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	22 CANTERBURY RD	SICON KATIE		22 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	23 CANTERBURY RD	MOUSSAVIAN MANSOUR		927 PARK AVE	BRIDGEPORT	CT 06604
2510-16B	24 CANTERBURY RD	STULTZ HOWARD		24 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	25 CANTERBURY RD	AMIOT JANET G		25 CANTERBURY RD	BRIDGEPORT	CT 06606
2510-16B	26 CANTERBURY RD	KUSHMAN SCOTT		26 CANTERBURY RD	BRIDGEPORT	CT 06606-2652
2510-16B	1 ROXBURY LN	PECORARO LINDA & JOSEPH		1 ROXBURY LN	BRIDGEPORT	CT 06606-2657
2510-16B	4 ROXBURY LN	ALHAFNI BASHAR		4 ROXBURY LN	BRIDGEPORT	CT 06606-2646
2510-16B	5 ROXBURY LN	RECORD KRISTEN A		5 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	7 ROXBURY LN	MAFFINI ALEXANDRE T		7 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	11 ROXBURY LN	BOYD WILLIAM L & PATRICIA		11 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	13 ROXBURY LN	SCHOENKNECHT MARY		13 ROXBURY LANE	BRIDGEPORT	CT 06606
2510-16B	15 ROXBURY LN	CONVERTITO JOSEPH & NANCY		15 ROXBURY LN	BRIDGEPORT	CT 06606-2657
2510-16B	16 ROXBURY LN	FOX ZACHARY ET AL	(SURVIVOR OF THEM)	263 OAKLAWN AVENUE	STAMFORD	CT 06905
2510-16B	18 ROXBURY LN	OSELLO ANTONIO V & NAIR C		35 GLENARDEN RD	TRUMBULL	CT 06611
2510-16B	23 ROXBURY LN	SPEAREN CHARLENE S		23 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	28 ROXBURY LN	BUSTER DEBRAH & HARRY	(SURV OF THEM)	28 ROXBURY LN	BRIDGEPORT	CT 06606
2510-16B	32 ROXBURY LN	MALOLLARI ARTUR & DENIS		32 ROXBURY LN	BRIDGEPORT	CT 06606-2659
2510-64A	7 DERAMO PL	KHATRI BHARAT & ARUN		7 DERAMO PLACE	BRIDGEPORT	CT 06606
2387-5A	591 VINCELLETTE ST	BRADY EDMUND D		591 VINCELLETTE ST	BRIDGEPORT	CT 06606
2387-5A	593 GLENDALE AV	GABRIEL THOMAS		1297 PARK AVE	BRIDGEPORT	CT 06604
2387-5A	595 GLENDALE AV	KMZ PROPERTIES LLC		13 ANITA AVE	TRUMBULL	CT 06611
2387-5A	601 GLENDALE AV	FIGUEROA ARMANDO		601 GLENDALE AV	BRIDGEPORT	CT 06606-6014
2387-5A	613 GLENDALE AV	VITALE PATRICK J JR & MARCELINE		29 POINT BEACH ROAD	MILFORD	CT 06460
2387-5A	617 GLENDALE AV	HALL JOHN WILLIAM		617 GLENDALE AVENUE	BRIDGEPORT	CT 06606
2387-5A	621 GLENDALE AV #G	EP PROPERTIES LLC		65 HEDGEHOG ROAD	TRUMBULL	CT 06611
2387-5A	605 AMERIDGE DR	ANDERSON TIMOTHY		605 AMERIDGE DRIVE	BRIDGEPORT	CT 06606
2387-5A	107 MARCONI AV	SKOPIC SABAHUDIN		1335 WEST 7TH ST A C4	BROOKLYN	NY 11204
2387-5A	115 MARCONI AV	FERNANDEZ NELSON & ROXANA L SALAZAR		115 MARCONI AVENUE #5	BRIDGEPORT	CT 06606
2387-5A	117 MARCONI AV	TURKEY POINT PROPERTIES	LLC	P O BOX 472	LAWRENCE	NY 11559
2387-5A	121 MARCONI AV	WIRTZ HILLARY		121 MARCONI AVENUE	BRIDGEPORT	CT 06606
2387-5A	131 MARCONI AV	JONAS ALVIRA & HUBERT L HARLEY (LU)	LAGUERRE MARSHA V (I	131 MARCONI AVENUE	BRIDGEPORT	CT 06606
2387-5A	141 MARCONI AV	HULSE BRIAN ET AL		141 MARCONI AVE	BRIDGEPORT	CT 06606
2387-5A	145 MARCONI AV	KISH LOUIS J		145 MARCONI AVE	BRIDGEPORT	CT 06606
2387-5A	151 MARCONI AV	VIERA ANGEL LUIS & LUCIANA	VIERA	151 MARCONI AVE	BRIDGEPORT	CT 06606
2387-5A	85 MARCONI AV	KHATRI DHANESH ET AL	(SURV OF THEM)	85 MARCONI AV	BRIDGEPORT	CT 06606
2387-5A	95 MARCONI AV	WEIL HOWARD J		108 MAY STREET	FAIRFIELD	CT 06825
2387-5A	515 GLENDALE AV	LAX LAWRENCE AND LINDA		515 GLENDALE AVE	BRIDGEPORT	CT 06606
2387-5A	517 GLENDALE AV	BRENNAN RICHARD M & ANN M		517 GLENDALE AV	BRIDGEPORT	CT 06606-6002
2387-5A	519 GLENDALE AV	BAKER JULIE		519 GLENDALE AV	BRIDGEPORT	CT 06606-6002
2387-5A	523 GLENDALE AV	HERNANDEZ PEDRO ET AL		523 GLENDALE AV	BRIDGEPORT	CT 06606



2387-5A	533 GLENDALE AV	YUREKLI ZIYA & GIZEM	533 GLENDALE AV	BRIDGEPORT	CT	06606-6006	
2387-5A	547 GLENDALE AV	CAREY MICHAEL F JR & SUZANNE	547 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	557 GLENDALE AV	HAYAJNEH WAIL ET AL	557 GLENDALE AV	BRIDGEPORT	CT	06606	
2387-5A	559 GLENDALE AV	NELSON KIMAREO	559 GLENDALE AVE #G	BRIDGEPORT	CT	06606	
2387-5A	561 VINCELLETTE ST	GOMES EDE RIGEL	561 VINCELLETTE ST	BRIDGEPORT	CT	06606-2256	
2387-5A	563 VINCELLETTE ST	MCCARTHY JOHN J & GANS ELIZABETH M	(SURV OF THEM)	563 VINCELLETTE ST	BRIDGEPORT	CT	06606
2387-5A	569 GLENDALE AV	JOHNSON CRAIG B	569 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	575 GLENDALE AV	GLENDALE PROPERTIES LLC	260 ARROWHEAD PL	STRATFORD	CT	06614	
2387-5A	579 VINCELLETTE ST	DIAZ-PELEAZ BIRMAN	1003 GRAND STREET	BRIDGEPORT	CT	06604	
2387-5A	585 GLENDALE AV	HAMMONS KEVIN J	585 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	603 GLENDALE AV	OSBORNE JASON	603 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	605 GLENDALE AV	ROJAS MARCO	605 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	607 GLENDALE AV	WESTSTAR TREND LLCV	11437 EAST TERRA DRIVE	SCOTTSDALE	AZ	85259	
2387-5A	5 AMERIDGE DR	ROCHA SANDY	5 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	6 AMERIDGE DR	SANTANA ELIEZETT	6 AMERIDGE DR	BRIDGEPORT	CT	06606-6027	
2387-5A	7 AMERIDGE DR	BALA MIMOZA	7 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	10 AMERIDGE DR	OSCARITO LLC	C/O GABRIELA PAVON	350 GODFREY ROAD	FAIRFIELD	CT	06825
2387-5A	20 AMERIDGE DR	DEJESUS JOSEFINA A ET AL	20 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	32 AMERIDGE DR	FARQUHARSON LINCOLN	32 AMERIDGE DR UNIT 32	BRIDGEPORT	CT	06606	
2387-5A	38 AMERIDGE DR	VERILLI DONNA (EST OF)	CARRIE ANN VERILLI-OLI	38 AMERIDGE DR	BRIDGEPORT	CT	06606-6031
2387-5A	39 AMERIDGE DR	ORDONEZ CHRISTIAN F	39 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	46 AMERIDGE DR	MIRSKY MARION D	46 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	47 AMERIDGE DR	PERRIN DEREK M & EDITH	47 AMERIDGE DR	BRIDGEPORT	CT	06606-6035	
2387-5A	51 AMERIDGE DR	EATON WANDA	LEEET R EATON-WHITE	51 AMERIDGE DR	BRIDGEPORT	CT	06606-6036
2387-5A	53 AMERIDGE DR	53 AMERIDGE DRIVE LLC	165 E VILLAGE ROAD	SHELTON	CT	06484	
2387-5A	55 AMERIDGE DR	BIGLETTI PAMELA	55 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	57 AMERIDGE DR	ROMANOVA EMMA	236 MELODY LANE	FAIRFIELD	CT	06824	
2387-5A	59 AMERIDGE DR	FORMATO IRENE	59 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	61 AMERIDGE DR	SCINTO JOHN	61 AMERIDGE DR	BRIDGEPORT	CT	06606-6037	
2387-5A	63 AMERIDGE DR	TURKEY POINT PROPERTIES	LLC	49 SEALY DR	LAWRENCE	NY	11559
2387-5A	69 AMERIDGE DR	HUBINA EDWARD R & CAROL A	69 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	73 AMERIDGE DR	AVILA CECILIA	73 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	79 AMERIDGE DR	MALIN SINDY	79 AMERIDGE RD	BRIDGEPORT	CT	06606	
2387-5A	81 AMERIDGE DR	INSERRA GAIL	ONE ELIOT PLACE	FAIRFIELD	CT	06824	
2387-5A	87 AMERIDGE DR	HOAG ALISON S	87 AMERIDGE DR	BRIDGEPORT	CT	06606-6040	
2387-5A	93 AMERIDGE DR	NATIONSTAR MORTGAGE LLC	8950 CYPRESS WATERS BI	COPPELL	TX	75019	
2387-5A	95 AMERIDGE DR	RIVERA NELSON	95 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	2-109 AMERIDGE DR #1	AMERIDGE CONDO MAIN	609G GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	609 GLENDALE AV	RANDALL MILES	ATTN JIM STOBLE	1583 POST RD	FAIRFIELD	CT	06824
2387-5A	615 GLENDALE AV	COVELLO JOHN	15 CANDLEWOOD RD	TRUMBULL	CT	06611	
2387-5A	623 GLENDALE AV	VICENIO JAIME	625 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	625 GLENDALE AV	GALLAGHER TIMOTHY A	2 AMERIDGE DRIVE	BRIDGEPORT	CT	06606	
2387-5A	2 AMERIDGE DR	MARLOWE BRANDON M	22 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	22 AMERIDGE DR	HUBBARD CHRISTINE	24 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	24 AMERIDGE DR	ALATORTSEV MIKHAIL V	26 AMERIDGE DR	BRIDGEPORT	CT	06606-6030	
2387-5A	26 AMERIDGE DR	CHAWICHE NESSRIN	30 AMERIDGE DRIVE	BRIDGEPORT	CT	06606	
2387-5A	30 AMERIDGE DR	JUCHA MICHAEL S	31 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	31 AMERIDGE DR	HASFAL JOSEPHINE	33 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	33 AMERIDGE DR	SINATRA CHRISTINA	34 AMERIDGE DRIVE	BRIDGEPORT	CT	06606	
2387-5A	34 AMERIDGE DR	CHRISTENSEN ERIC N & MARE	(SURV OF THEM)	35 AMERIDGE DR	BRIDGEPORT	CT	06606
2387-5A	35 AMERIDGE DR	BOONE ENAE	100 MAGNOLIA ST	BRIDGEPORT	CT	06606	
2387-5A	43 AMERIDGE DR	JACBSON MICHELE A	67 AMERIDGE DRIVE	BRIDGEPORT	CT	06606	
2387-5A	67 AMERIDGE DR	MORAIS CARLOS A	71 AMERIDGE DRIVE UNIT	BRIDGEPORT	CT	06606	
2387-5A	71 AMERIDGE DR	DUBE AMY	85 AMERIDGE DR	BRIDGEPORT	CT	06606-6040	
2387-5A	85 AMERIDGE DR	GILMORE JASON R	99 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	99 AMERIDGE DR	PEREZ IRENE M	603 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	103 AMERIDGE DR	SMRIGA CARMELLA	123 MARCONI AVENUE	BRIDGEPORT	CT	06606	
2387-5A	123 MARCONI AV	BROWN PAUL M JR	125 MARCONI AVE	BRIDGEPORT	CT	06606	
2387-5A	125 MARCONI AV	ADAES CARLOS A	133 MARCONI AV	BRIDGEPORT	CT	06606-6024	
2387-5A	133 MARCONI AV	COX OPAL L	11437 EAST TERRA DRIVE	SCOTTSDALE	AZ	85259	
2387-5A	135 MARCONI AV	WESTSTAR TREND LLC	147 MARCONI AVE	BRIDGEPORT	CT	06606	
2387-5A	147 MARCONI AV	THACH HIEU	149 MARCONI AVE	BRIDGEPORT	CT	06606	
2387-5A	149 MARCONI AV	MISIK MARTIN & MARTINA	87 MARCONI AVE	BRIDGEPORT	CT	06606	
2387-5A	87 MARCONI AV	FISHER KARLINE	93 MARCONI AVE UNIT 93	BRIDGEPORT	CT	06604	
2387-5A	93 MARCONI AV	WILLIAMS BRUCE	113 BUDDINGTON RD	SHELTON	CT	06484	
2387-5A	97 MARCONI AV	ZIKO ARTAN	525 GLENDALE AV	BRIDGEPORT	CT	06606-6045	
2387-5A	525 GLENDALE AV	BRITO ARTURO JR	529 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	529 GLENDALE AV	SMITH BEVERLY L	539 GLENDALE AV	BRIDGEPORT	CT	06606-6007	
2387-5A	539 GLENDALE AV	APPLE CLAUDETTE B	549 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	549 GLENDALE AV	TORRES OLGA	108 MAY STREET	FAIRFIELD	CT	06825	
2387-5A	549 VINCELLETTE ST	WEIL HOWARD J	180 QUEEN ST	BRIDGEPORT	CT	06606	
2387-5A	553 GLENDALE AV	LUBY RONDA	557 VINCELLETTE ST	BRIDGEPORT	CT	06606	
2387-5A	557 VINCELLETTE ST	STEWART GREGORY	565 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	565 GLENDALE AV	ORLOWSKI MARIA TERESA	567 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	567 GLENDALE AV	SILVA MELISA	571 GLENDALE AVE	BRIDGEPORT	CT	06606	
2387-5A	571 GLENDALE AV	GORE MARK S	C/O MICHAELSON CONN	4400 WILL ROGERS PARKV	OKLAHOMA CI	OK	73108
2387-5A	579 GLENDALE AV	SEC OF HOUSING & URBAN DEV	581 GLENDALE AV	BRIDGEPORT	CT	06606	
2387-5A	581 GLENDALE AV	CAAL-AGUSTIN OSCAR	587 VINCELLETTE ST UNIT	BRIDGEPORT	CT	06606	
2387-5A	587 VINCELLETTE ST	LEE CHARLENE A & RANDY (SURV OF THEM)	13 CHIPPING LA	NORWALK	CT	06854	
2387-5A	593 VINCELLETTE ST	SAADH PROPERTIES INC	595 VINCELLETTE STREET	BRIDGEPORT	CT	06606	
2387-5A	595 VINCELLETTE ST	PENIASTEKOVA PETRA	248 CHURCH HILL RD	TRUMBULL	CT	06611	
2387-5A	599 GLENDALE AV	LATIFI GERTA & FATON	8 AMERIDGE DR UNITE 8	BRIDGEPORT	CT	06606-6027	
2387-5A	8 AMERIDGE DR	VALENTINE THOMAS M & NICOLE	9 AMERIDGE DR	BRIDGEPORT	CT	06606-6000	
2387-5A	9 AMERIDGE DR	ALABRE MARIE R	109 AMERIDGE DR	BRIDGEPORT	CT	06606	
2387-5A	109 AMERIDGE DR	SILVA EDIR	109 MARCONI AV	BRIDGEPORT	CT	06606-6023	
2387-5A	109 MARCONI AV	LEMONS VALDEMIR C & ANDREA					

2387-5A	127 MARCONI AV	JOHNSON DONNA J		127 MARCONI AVE	BRIDGEPORT CT	06604
2387-5A	153 MARCONI AV	BOTTA CHRISTINA		43 GARDEN DR	FAIRFIELD CT	06825
2387-5A	521 GLENDALE AV	BURNES NIKOLE D		521 GLENDALE AVE	BRIDGEPORT CT	06606
2387-5A	531 GLENDALE AV	MOKTAN DENISHA		531 GLENDALE AV	BRIDGEPORT CT	06606-6006
2387-5A	537 GLENDALE AV	BURDICK KEITH P		537 GLENDALE AVE	BRIDGEPORT CT	06606
2387-5A	545-G GLENDALE AV	COSTA RONALD & SHERRY	(SURV OF THEM)	30 HURD AVE	MONROE CT	06468
2387-5A	547 VINCELLETTE ST	SILVA RICKY B		547 VINCELLETTE ST	BRIDGEPORT CT	06606-2255
2387-5A	551 GLENDALE AV	MOHAN ABILASH		77 MALER AVENUE	SHELTON CT	06484
2387-5A	551 VINCELLETTE ST	SANTELLA RICHARD A & SALLY E		15 RENCHY STREET	FAIRFIELD CT	06824
2387-5A	559 VINCELLETTE ST	SLATKY KIMBERLY A		559 VINCELLETTE ST	BRIDGEPORT CT	06606
2387-5A	563 GLENDALE AV	LATIFI GERTA & FATON	(SURV OF THEM)	248 CHURCH HILL RD	TRUMBULL CT	06611
2387-5A	583 VINCELLETTE ST	EDGETT SABINE C		443 CHURCH HILL RD	FAIRFIELD CT	06825
2387-5A	587 GLENDALE AV	BRITTO MARYANN		25 HICKORY ST	TRUMBULL CT	06611
2387-5A	597 GLENDALE AV	SNOWBALL KHARI		597 GLENDALE AV	BRIDGEPORT CT	06606-6014
2387-5A	611 GLENDALE AV	RANNEY LAURA G		48 RIVERVIEW DR	BRIDGEPORT CT	06606
2387-5A	619 GLENDALE AV	SPIGAROLO EYVLENE H		619 GLENDALE AVE	BRIDGEPORT CT	06606
2387-5A	4 AMERIDGE DR	ROMA TERRI I		4 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	11 AMERIDGE DR	GOMES JORGE M & MARIA G		11 AMERIDGE DR	BRIDGEPORT CT	06606-6000
2387-5A	16 AMERIDGE DR	16 AMERIDGE DRIVE LLC		16 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	18 AMERIDGE DR	ROBERTSON NANCY E		18 AMERIDGE DRIVE	BRIDGEPORT CT	06606
2387-5A	25 AMERIDGE DR	MOITOSO MARIA C & EDWARD M		25 AMERIDGE DR	BRIDGEPORT CT	06606-6033
2387-5A	27 AMERIDGE DR	27 AMERIDGE DRIVE LLC		165 E VILLAGE ROAD	SHELTON CT	06484
2387-5A	77 AMERIDGE DR	ELLIS LOUIS F		1200 COMMONWEALTH #21	BOSTON MA	02134
2387-5A	83 AMERIDGE DR	NEALON BEVIN K		83 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	89 AMERIDGE DR	BURGO NICOLE E & LINDA L		89 AMERIDGE DR	BRIDGEPORT CT	06606-6040
2387-5A	105 MARCONI AV	SCHIEBE DONNA M (EST OF)	ERIC SCHIEBE (EXEC)	43 ADAMS RD	FAIRFIELD CT	06824
2387-5A	12 AMERIDGE DR	DUBRASKI JENNIFER		12 AMERIDGE DRIVE	BRIDGEPORT CT	06606
2387-5A	13 AMERIDGE DR	CRUZ CHRYSITIE & MIRIAM L		13 AMERIDGE DRIVE	BRIDGEPORT CT	06606
2387-5A	14 AMERIDGE DR	MENDES DONNA		14 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	28 AMERIDGE DR	ZAK SCOTT		28 AMERIDGE DR	BRIDGEPORT CT	06606-6030
2387-5A	29 AMERIDGE DR	KENNEY MICHAEL A		55 PLUMTREE LANE	TRUMBULL CT	06611
2387-5A	36 AMERIDGE DR	DOUPONA LAUREN		36 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	37 AMERIDGE DR	SACHS LAURA		37 AMERIDGE DRIVE	BRIDGEPORT CT	06606
2387-5A	40 AMERIDGE DR	REISSINGER FERNANDO & AMANDA S		40 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	41 AMERIDGE DR	VASSELL MILLICENT		41 AMERIDGE DRIVE	BRIDGEPORT CT	06606
2387-5A	42 AMERIDGE DR	PORTO LUISA G		42 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	44 AMERIDGE DR	COLANGELO JANET		44 AMERIDGE DR	BRIDGEPORT CT	06606-6038
2387-5A	45 AMERIDGE DR	SLATTERY DANIEL		21 STONEHENGE LA	MONROE CT	06468
2387-5A	65 AMERIDGE DR	MOORE PRESTON		82 CEDAR RD	WILTON CT	06897
2387-5A	75 AMERIDGE DR	PICCOLELLO JENNY		75 AMERIDGE DRIVE	BRIDGEPORT CT	06606
2387-5A	97 AMERIDGE DR	GARRITY JOANN P		97 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	101 AMERIDGE DR	MIELE DOLORES M		101 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	101 MARCONI AV	BALA MIMOZA		101 MARCONI AVE	BRIDGEPORT CT	06606-6022
2387-5A	103 MARCONI AV	SAN ANGELO ANTHONY P	GINA M VOLPACCHIO TR	605 JUNIPER CT	OXFORD CT	06418
2387-5A	107 AMERIDGE DR	ARCIERI LOUIS J & LINDA M		107 AMERIDGE DR	BRIDGEPORT CT	06606
2387-5A	111 MARCONI AV	GOINGS CAROLYN		111 MARCONI AVE	BRIDGEPORT CT	06606
2387-5A	113 MARCONI AV	POLAWSKI JANUSZ & ANNA	POLAWSKI (SURV OF TH	113 MARCONI AVE	BRIDGEPORT CT	06606
2387-5A	119 MARCONI AV	POREMBIA ANN MARIE		119 MARCONI AV	BRIDGEPORT CT	06606-6024
2387-5A	129 MARCONI AV	BAPTISTA ADALBERTO		4685 MADISON AVENUE	TRUMBULL CT	06611
2387-5A	137 MARCONI AV	MIRSKY SHELLEY J		137 MARCONI AVENUE	BRIDGEPORT CT	06606
2387-5A	139 MARCONI AV	MINITER TRACEY		139 MARCONI AVENUE	BRIDGEPORT CT	06606
2387-5A	89 MARCONI AV	FREITAS SAMUEL		89 MARCONI AVENUE	BRIDGEPORT CT	06606
2387-5A	91 MARCONI AV	CHINTALAPUDI PRASAD & JAYASHRI		91 MARCON AVE	BRIDGEPORT CT	06606
2387-5A	99 MARCONI AV	FRISCIA FAMILY TRUST		175 CLINTON AVE	NEW ROCHELLE NY	10801
2387-5A	527 GLENDALE AV	DEMKIW-ORMAN KATHERINE		527 GLENDALE AVENUE	BRIDGEPORT CT	06606
2387-5A	535 GLENDALE AV	SENTEIO MARIA E		535 GLENDALE AVE	BRIDGEPORT CT	06606
2387-5A	541 GLENDALE AV	QUINTON KATHLEEN D		541 GLENDALE AVE	BRIDGEPORT CT	06606
2387-5A	543 GLENDALE AV	OCKOVITZ JOHN		543 GLENDALE AVENUE	BRIDGEPORT CT	06606
2387-5A	545 VINCELLETTE ST	SANTELLA RICHARD A & SALLY E		15 RENCHY ST	FAIRFIELD CT	06824
2387-5A	555 GLENDALE AV	GILFORD CORNELIUS		555 GLENDALE AVENUE	BRIDGEPORT CT	06606
2387-5A	561 GLENDALE AV	KOCHERSPERGER PETER C		38 JAMESTOWN ROAD	EASTON CT	06612
2387-5A	573 GLENDALE AV	JOHNSON D JR & G JOHNSON	GLORIA HAYNES	573 GLENDALE AV	BRIDGEPORT CT	06606-6011
2387-5A	577 GLENDALE AV	MOHAN ABILASH	NITI CHAUDHRY	77 MALER AVE	SHELTON CT	06484
2387-5A	581 VINCELLETTE ST	EVARTS RYAN E		581 VINCELLETTE ST	BRIDGEPORT CT	06606
2387-5A	583 GLENDALE AV	RUIZ LAURA CRISTINA Q		583 GLENDALE AV	BRIDGEPORT CT	06606-6012
2387-5A	585 VINCELLETTE ST	RUIZ MAXIMO F T &	ESTHER V TELLO	585 VINCELLETTE ST	BRIDGEPORT CT	06606-2257
2387-5A	589 GLENDALE AV	VEGH ALEXANDRA		589G GLENDALE AVENUE	BRIDGEPORT CT	06606
2387-5A	589 VINCELLETTE ST	KOEING CAROL		589 VINCELLETTE	BRIDGEPORT CT	06606
2387-5A	591 GLENDALE AV	SWEET JOSHUA & DORA E		591 GLENDALE AV	BRIDGEPORT CT	06606-6013
2511-12A	3 RIVERVIEW DR	FERRARESE RALPH R SR		3 RIVERVIEW DRIVE	BRIDGEPORT CT	06606
2511-12A	5 RIVERVIEW DR	BROWN SCOTT		15 TULIP DRIVE	SEYMOUR CT	06483
2511-12A	9 RIVERVIEW DR	BURROUGHS RONALD L & TERESA	LATORRE (SURV OF TH	9 RIVERVIEW DR	BRIDGEPORT CT	06606
2511-12A	11 RIVERVIEW DR	BROWN BRIAN ET AL	(SURV OF THEM)	11 RIVERVIEW DR	BRIDGEPORT CT	06606
2511-12A	13 RIVERVIEW DR	GONCALVES CHARLES A JR LYNN		13 RIVERVIEW DR	BRIDGEPORT CT	06606
2511-12A	17 RIVERVIEW DR	COOK THEODORE JR & DONALD COOK		48 ROWAYTON WOODS DR	NORWALK CT	06854
2511-12A	22 RIVERVIEW DR	BRAUDE-MAGI JEANNE ET AL		64 ELIZABETH CIR	SANDY HOOK CT	06482
2511-12A	2 RIVERVIEW DR	LIRIANO GRACE		2 RIVERVIEW DRIVE	BRIDGEPORT CT	06606
2511-12A	12 RIVERVIEW DR	DUPEE BRANDON & LINDSAY		12 RIVERVIEW DR	BRIDGEPORT CT	06606
2511-12A	15 RIVERVIEW DR	VITE ROSEANN & NEREIDA		15 RIVERVIEW DR	BRIDGEPORT CT	06606
2511-12A	16 RIVERVIEW DR	PUA CHAYLEN		16 RIVERVIEW DR	BRIDGEPORT CT	06606
2511-12A	27 RIVERVIEW DR	JACOBS ALEXANDER		27 RIVERVIEW DR	BRIDGEPORT CT	06606-5936
2511-12A	28 RIVERVIEW DR	QUEEN MARGARET A		28 RIVERVIEW DR	BRIDGEPORT CT	06606
2511-12A	29 RIVERVIEW DR	AGUDO MARIA E		29 RIVERVIEW	BRIDGEPORT CT	06606
2511-12A	44 RIVERVIEW DR	PETRINO ELIZABETH		44 RIVERVIEW DR	BRIDGEPORT CT	06604
2511-12A	45 RIVERVIEW DR	ONEILL ELIZABETH V		45 RIVERVIEW DR	BRIDGEPORT CT	06606
2511-12A	50 RIVERVIEW DR	WILLIAMS KEVIN		50 RIVERVIEW DR	BRIDGEPORT CT	06606

2511-12A	52 RIVERVIEW DR	FORTUNA JOHN J & JACQULYN		52 RIVERVIEW DR	BRIDGEPORT	CT	06606-5930
2511-12A	54 RIVERVIEW DR	SALZMAN BEVERLY		54 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	58 RIVERVIEW DR	CHIACU SAM & MARY CHIACU		58 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	59 RIVERVIEW DR	WESSLER SARAH		59 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	63 RIVERVIEW DR	BONDAN MARINELA		63 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	64 RIVERVIEW DR	GOMEZ, IVAN	TELLO, GISELLE	64 RIVERVIEW DRIVE	BRIDGEPORT	CT	06610
2511-12A	65 RIVERVIEW DR	TORRES MIOSOTIS		65 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	2-73 RIVERVIEW DR #N	RIVERVIEW CONDO MAIN			BRIDGEPORT	CT	
2511-12A	55 RIVERVIEW DR	DEVOL SUSAN MENDEL		55 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	60 RIVERVIEW DR	CALDAROLA MICHELE		60 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	67 RIVERVIEW DR	SEAGREN DELORES N		351 TOLL HOUSE LANE	FAIRFIELD	CT	06825
2511-12A	73 RIVERVIEW DR	DAVITT MARIANA Z		73 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	24 RIVERVIEW DR	OWENS JACQUELINE		2625 22ND AVE NE	ISSAQUAH	WA	98029-3674
2511-12A	25 RIVERVIEW DR	FARIAS DANIEL		87 GEDULDIG ST	BRIDGEPORT	CT	06606
2511-12A	30 RIVERVIEW DR	ALICEA MIGUEL		30 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	31 RIVERVIEW DR	ROBINSON BETSY		31 RIVERVIEW DR	BRIDGEPORT	CT	06606-5936
2511-12A	32 RIVERVIEW DR	AGOSTO JUAN ANTONIO		214 WILLIAMS ST	BRIDGEPORT	CT	06608
2511-12A	38 RIVERVIEW DR	GLUCK PEARL & ARMIN		38 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	39 RIVERVIEW DR	MUSANTE PAMELA ANN		39 RIVERVIEW DR #39	BRIDGEPORT	CT	06606
2511-12A	40 RIVERVIEW DR	ALLEN CYNTHIA		40 RIVERVIEW DR	BRIDGEPORT	CT	06606-5929
2511-12A	43 RIVERVIEW DR	SILVESTROS ASHLEY T		43 RIVERVIEW DR	BRIDGEPORT	CT	06606-5938
2511-12A	6 RIVERVIEW DR	PARK ARIANNA K		6 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	14 RIVERVIEW DR	GULYAS MARYKATE		14 RIVERVIEW DR UNIT 14	BRIDGEPORT	CT	06604
2511-12A	19 RIVERVIEW DR	GIANNINI LUCILLE C		19 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	26 RIVERVIEW DR	BRIGANTE JOSEPH		26 RIVERVIEW DR	BRIDGEPORT	CT	06601
2511-12A	33 RIVERVIEW DR	ZAMMARIETH ANTOINE		33 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	35 RIVERVIEW DR	LUO XIAO YU		35 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	36 RIVERVIEW DR	VOLPE GEORGE & ANA M VOLPE		36 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	42 RIVERVIEW DR	KINNEY LYNDA		42 RIVERVIEW CR	BRIDGEPORT	CT	06606
2511-12A	46 RIVERVIEW DR	SOSA LYDIA & MIGUEL		46 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	47 RIVERVIEW DR	POWELL AMOY	ANDRIY ALEKSEYEV	47 RIVERVIEW DR	BRIDGEPORT	CT	06606-5938
2511-12A	48 RIVERVIEW DR	SCALI SAMANTHA		48 RIVERVIEW DR	BRIDGEPORT	CT	06606-5930
2511-12A	51 RIVERVIEW DR	MARKS-PAIGE ROSEMARIE	(SURV OF THEM)	51 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	53 RIVERVIEW DR	GUERRERA DANIEL & JOHN		53 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	66 RIVERVIEW DR	GREEN VERONICA ET AL		66 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	68 RIVERVIEW DR	RIVERVIEW 68 LLC		9 DAVID DR	SHELTON	CT	06484
2511-12A	69 RIVERVIEW DR	WILSON ALBAN		420 EAST 55TH STREET	NEW YORK	NY	10022
2511-12A	71 RIVERVIEW DR	AKROUCH YOUNES		71 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	4 RIVERVIEW DR	MILLER LINDA J		934 WOLF HILL RD	CHESHIRE	CT	06410
2511-12A	7 RIVERVIEW DR	WASHINGTON BENITA M		7 RIVERVIEW DR	BRIDGEPORT	CT	06606-5933
2511-12A	8 RIVERVIEW DR	RIVERVIEW CONDOMINIUM ASSOC		8 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	10 RIVERVIEW DR	LANCIA MARISA C		555 LINCOLN AVENUE	BRIDGEPORT	CT	06606
2511-12A	18 RIVERVIEW DR	LAUGHLIN PAMELA		18 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	20 RIVERVIEW DR	PIRES JOSEPH		20 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	21 RIVERVIEW DR	AGIUS MICHAEL R		484 CURTIS AVENUE	STRATFORD	CT	06615
2511-12A	23 RIVERVIEW DR	DANIEL MARY		23 RIVERVIEW DR	BRIDGEPORT	CT	06605
2511-12A	34 RIVERVIEW DR	PERRY LARRY & EHI RENEE	(SURVIVOR OF THEM)	34 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	37 RIVERVIEW DR	SICLARI STEPHANIE	(SURVIVOR OF HER)	37 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	41 RIVERVIEW DR	D'ANDREA GARY A		41 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	49 RIVERVIEW DR	DE OLIVEIRA BERGSON R		49 RIVERVIEW DRIVE	BRIDGEPORT	CT	06606
2511-12A	56 RIVERVIEW DR	BRUNETTO DONALD & MARY ANN		34 HIGH RIDGE ROAD	TRUMBULL	CT	06611
2511-12A	57 RIVERVIEW DR	YAFFA S PORAT		57 RIVERVIEW DR	BRIDGEPORT	CT	06606
2511-12A	61 RIVERVIEW DR	SICILIANO CHRISTOPHER		1 KENNEDY AVE	DANBURY	CT	06810
2511-12A	62 RIVERVIEW DR	MCCLAIN TIERRA C		62 RIVERVIEW DR	BRIDGEPORT	CT	06606-5932
999999							
999999							





# Secretary of the State of Connecticut Annual Report

## Filing Details

Filing Number: 0010338102      Report Year: 03/31/2022  
Filing Fee: \$80.00      Due Date:  
Filed On: 2/2/2022 4:05:23 PM

## Primary Details

Business Type: Domestic  
Legal Structure: LLC  
Business Name: SimCove1 LLC  
Business ALEI: US-CT.BER:2322674

	<i>Existing Information</i>	<i>Updated Information</i>
Business Email Address:	hugh@covefunds.com	No update
NAICS Information:	Miscellaneous Financial Investment Activities (523999)	No update

## Business Location

	<i>Existing Information</i>	<i>Updated Information</i>
Principal Office Address:	12 Bradley St Branford, CT 06405-3515 United States	No update
Mailing Address:	12 Bradley St Branford, CT 06405-3515 United States	No update

## Agent Information

Type: Individual  
Agent's Name: Hugh Scott



# Secretary of the State of Connecticut Annual Report

	<i>Existing Addresses</i>	<i>Updated Addresses</i>
Business Address:	12 Bradley St Branford, CT 06405-3515 United States	No update
Residence Address:	12 Bradley St Branford, CT 06405-3515 United States	No update
Mailing Address:	12 Bradley St Branford, CT 06405-3515 United States	No update

## Acknowledgement

I hereby certify and state under penalties of false statement that all the information set forth on this document is true.

I hereby electronically sign this document on behalf of:

Name of Authorizer: Sim Lev Holdings LLC

Filer Name: Sim Levenhartz

Filer Signature: Sim Levenhartz

Execution Date: 02/02/2022

*This signature has been executed electronically*



# Secretary of the State of Connecticut

## Certificate of Organization

Domestic Limited Liability Company

### Filing Details

Filing Number: 0010099401 Number of Pages: 2 Filed On: 08/10/2021 11:03 AM

### Primary Details

Name of Limited Liability Company: SimCove1 LLC  
Business ALEI: US-CT.BER:2322674  
Business Email Address: hugh@covefunds.com  
NAICS Information: Miscellaneous Financial Investment Activities (523999)

### Business Location

Principal Office Address: 12 Bradley St, Branford, CT, 06405-3515, United States  
Mailing Address: 12 Bradley St, Branford, CT, 06405-3515, United States

### Appointment of Registered Agent

Type: Individual  
Agent's Name: Hugh Scott  
Business Address: 12 Bradley St, Branford, CT, 06405-3515, United States  
Residence Address: 12 Bradley St, Branford, CT, 06405-3515, United States  
Mailing Address: 12 Bradley St, Branford, CT, 06405-3515, United States

### Agent Appointment Acceptance

Agent Signature: Hugh Scott  
*This signature has been executed electronically*





# Secretary of the State of Connecticut

## Certificate of Organization

Domestic Limited Liability Company

### Manager or Member Information

<i>Name</i>	<i>Title</i>	<i>Business Address</i>	<i>Residence Address</i>
SIM LEV HOLDINGS, LLC	Member	33 DIXWELL AVENUE SUITE 321, NEW HAVEN, CT, 06511 United States	N/A
COVE HOLDINGS LLC	Member	12 BRADLEY STREET, BRANFORD, CT, 06405 United States	N/A

### Acknowledgement

I hereby certify and state under penalties of false statement that all the information set forth on this document is true.

I hereby electronically sign this document on behalf of:

Name of Organizer: Hugh Scott  
Organizer Title: Member

Filer Name: Hugh Scott  
Filer Signature: Hugh Scott  
Execution Date: 08/10/2021  
*This signature has been executed electronically*



**LEGAL DESCRIPTON**

All that certain real property situated in Bridgeport, Connecticut being shown on a certain map entitled, "Perimeter & Easement Map of Property in Bridgeport, CT. Prepared For: 2500 SS Limited Partnership" dated April 21, 1997, prepared by Fuller & Co., Inc., which map was filed in the Bridgeport Town Clerk's Office on June 5, 1997 and being more particularly bounded and described as follows:

Northerly: By Vincelle Street, 246.72 feet;  
 Easterly: By land now or formerly of Ameridge Condominium, 601.68 feet;  
 Southerly: By Glendale Avenue, 642.03 feet;  
 Westerly: By Madison Avenue, 806.42 feet;  
 Northwesterly: By the intersection of Madison Avenue and Vincelle Street, 40.04 feet.

Reference may also be made to Map 52-284 on file in the Bridgeport Town Clerk's Office.

**PARKING SPACES:**

REGULAR SPACES	= 320
HANDICAP SPACES	= 12
TOTAL SPACES	= 332

**EARTH MOVING NOTE:**

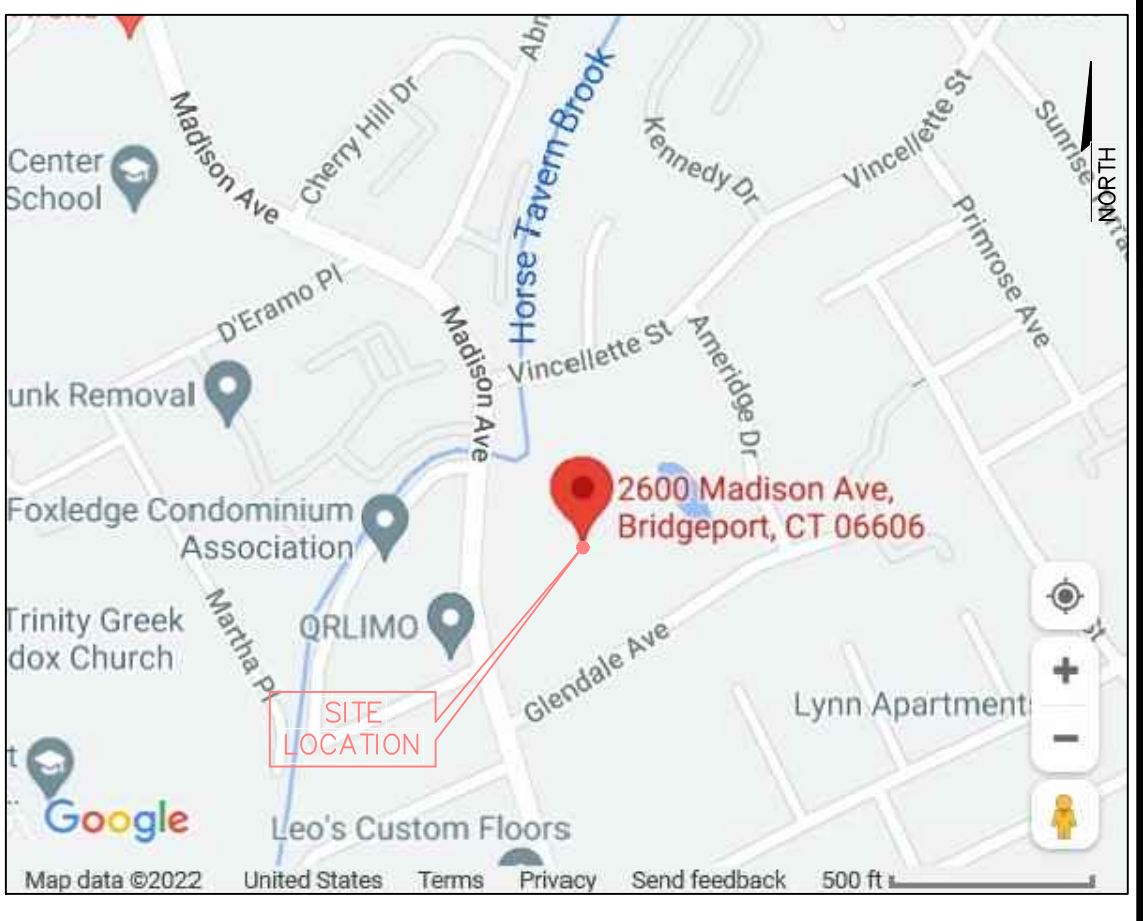
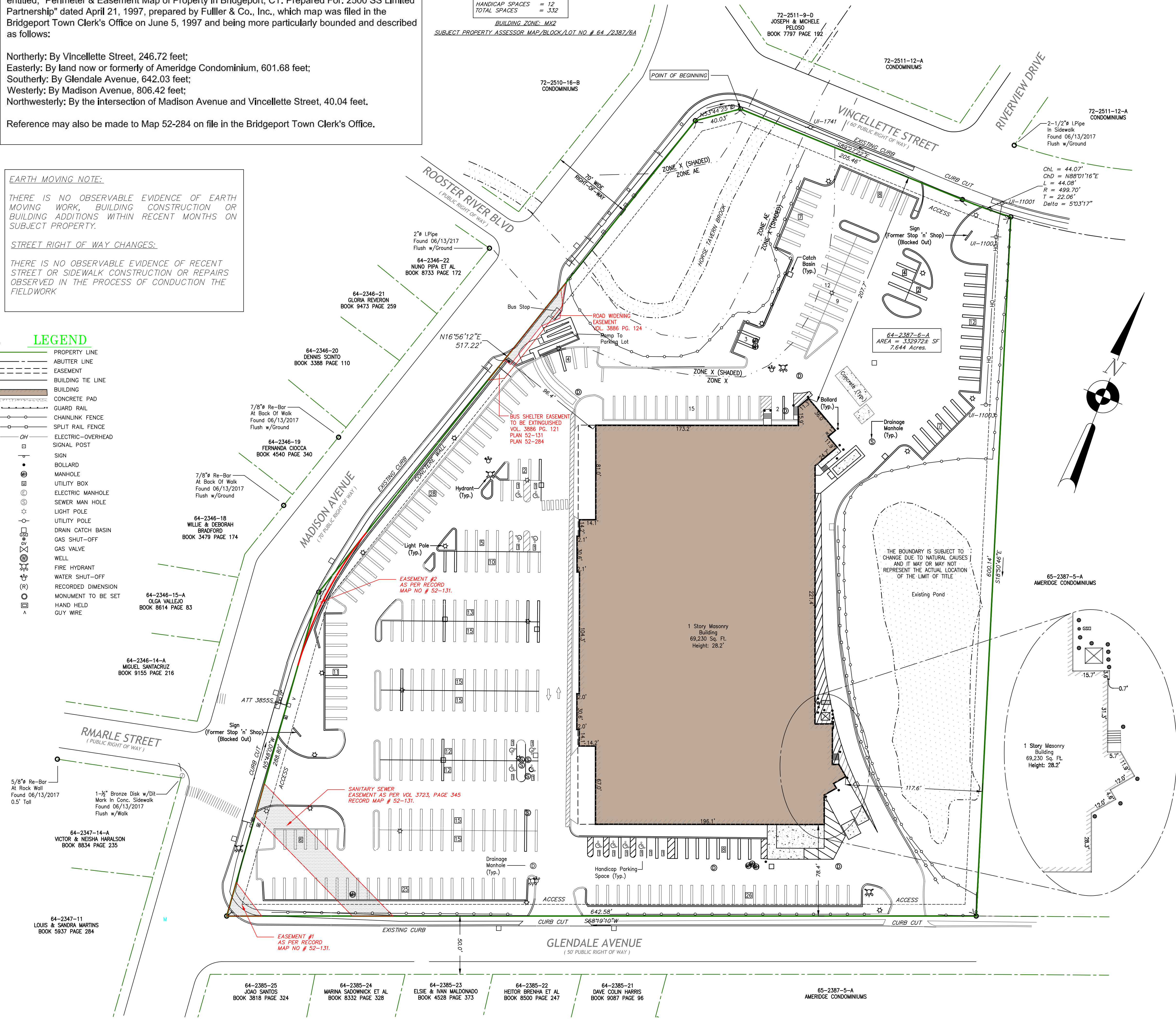
THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS ON SUBJECT PROPERTY.

**STREET RIGHT OF WAY CHANGES:**

THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTION THE FIELDWORK

**LEGEND**

- PROPERTY LINE
- - - ABUTTER LINE
- - - EASEMENT
- - - BUILDING TIE LINE
- ▭ BUILDING
- ▭ CONCRETE PAD
- CHAINLINK FENCE
- SPLIT RAIL FENCE
- OH ELECTRIC-OVERHEAD
- SIGNAL POST
- SIGN
- ⊙ BOLLARD
- ⊙ MANHOLE
- ⊙ UTILITY BOX
- ⊙ ELECTRIC MANHOLE
- ⊙ SEWER MAN HOLE
- ⊙ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ DRAIN CATCH BASIN
- ⊙ GAS SHUT-OFF
- ⊙ GAS VALVE
- ⊙ WELL
- ⊙ FIRE HYDRANT
- ⊙ WATER SHUT-OFF
- (R) RECORDED DIMENSION
- ⊙ MONUMENT TO BE SET
- ⊙ HAND HELD
- ⊙ GUY WIRE



**SURVEY NOTES NOT TO SCALE**

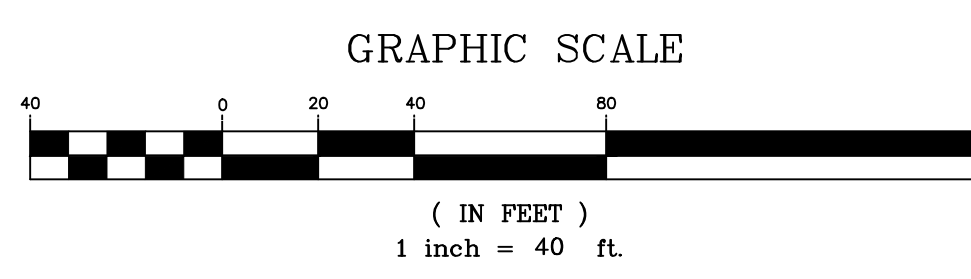
- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Improvement Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted herein have been compiled, in part, from record mappings supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- FOR FLOOD ZONE # PART OF THE PROPERTY IS IN FLOOD ZONE AE EL. 153.0' AS PER THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 03010C0428F, MAP REVISED 06-18-2010.

**MAP REFERENCES**

- ALTA/NSPS LAND TITLE SURVEY PREPARED FOR BRIDGEPORT STOP AND SHOP II, 2500 MADISON AVENUE, BRIDGEPORT, CT-06606, PREPARED BY HOLDEN ENGINEERING & SURVEYING INC., BEDFORD, NH, CERTIFIED BY DAVID J. LITTLE LICENSED LAND SURVEYOR NO # 13303, CONNECTICUT, PROJECT NO # 01-17040648-01N.
- RECORD MAP NO # 52-131.

**PROPERTY SUBJECT TO:**

- PROPERTY SUBJECT TO AN EASEMENT IN THE FAVOR OF THE CITY OF BRIDGEPORT DATED APRIL 30, 1997 AND RECORDED IN VOLUME 3723 AT PAGE 341 OF THE BRIDGEPORT LAND RECORDS REFER TO RELEASE OF EASEMENT DATED MARCH 17, 1998 AND RECORDED IN VOLUME 3886 AT PAGE 121, WHICH RELEASES AS PORTION OF THE EASEMENT AREAS DOES AFFECT THE SUBJECT PROPERTY SHOWN ON PLAN.
- PROPERTY SUBJECT TO A SANITARY SEWER EASEMENT IN THE FAVOR OF THE CITY OF BRIDGEPORT DATED APRIL 30, 1997 AND RECORDED IN VOLUME 3723 AT PAGE 345 OF THE BRIDGEPORT LAND RECORDS. DOES AFFECT THE SUBJECT PROPERTY- SHOWN ON PLAN.
- PROPERTY SUBJECT TO AN EASEMENT IN THE FAVOR OF THE CITY OF BRIDGEPORT DATED MARCH 24, 1998 AND RECORDED IN VOLUME 3886 AT PAGE 124 OF THE BRIDGEPORT LAND RECORDS. DOES AFFECT THE SUBJECT PROPERTY- SHOWN ON PLAN.
- PROPERTY SUBJECT TO AN EASEMENT IN THE FAVOR OF THE CITY OF BRIDGEPORT FOR ROADWAY PURPOSES AS PER RECORD MAP NO # 52-131. DOES AFFECT THE SUBJECT PROPERTY- SHOWN ON PLAN AS EASEMENT 1.
- PROPERTY SUBJECT TO AN EASEMENT IN THE FAVOR OF THE CITY OF BRIDGEPORT FOR ROADWAY PURPOSES AS PER RECORD MAP NO # 52-131. DOES AFFECT THE SUBJECT PROPERTY- SHOWN ON PLAN AS EASEMENT 2.



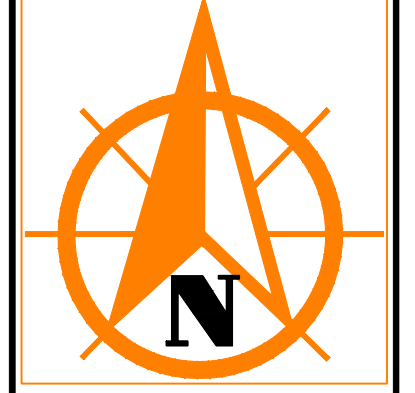
**CERTIFICATION OF SURVEYOR**  
 NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

TO SIMCOVE1 LLC  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(a), 7(b)(1), 8, 9, 13, 16 & 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 15, 2022. DATE OF PLAT OR MAP OCTOBER 24, 2022.

PREPARED FOR  
 SIMCOVE1 LLC  
 2600 MADISON AVENUE,  
 BRIDGEPORT, CT

OWNER  
 SIMCOVE1 LLC  
 2600 MADISON AVENUE,  
 BRIDGEPORT, CT

NO.	DATE	DESCRIPTION	REVISIONS



**CT LAND SURVEYING, LLC**

SBE | MBE CERTIFIED  
 LAND SURVEYING / LAND PLANNING

CT LAND SURVEYING, LLC  
 58 OLD TAVERN ROAD  
 ORANGE, CT 06477  
 P: (203) 903-1193  
 Email: ctland2005@gmail.com

ALTA/NSPS LAND TITLE SURVEY  
 PREPARED FOR  
 SIMCOVE1 LLC  
 2600 MADISON AVENUE,  
 BRIDGEPORT, CONNECTICUT

DRAFTED: CAD  
 APPROVED: J.S.  
 SCALE: 1" = 40'  
 PROJECT NO.: 220905  
 DATE: 10/18/2022  
 CAD FILE: 220905

TITLE:  
 ALTA/NSPS  
 TITLE SURVEY

SHEET NUMBER:  
**EX-1 OF 1**





# Inland Wetlands and Watercourses Agency

City of Bridgeport  
45 Lyon Terrace, Room 210  
Bridgeport, CT 06604  
Tel: (203) 576-7217 Fax: (203) 576-7213

## Application for a Permit to Conduct Regulated Activities

### 1. Project Information:

- a. Name of Applicant: Sacred Heart University, Inc.  
Applicant's Interest in Property: Owner:  Lessee:  Agent:  Other: Owner  
Business Address: 5151 Park Ave., Fairfield, CT 06825  
Phone Number: 203-528-0590 Fax Number: 203-255-6618
- b. Name of Property Owner (If Not Applicant): \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone Number: \_\_\_\_\_

### 2. Existing Conditions:

- a. Project Title: 4000 Park Ave Addition Total Site Acreage: 379,406 SF  
Project Address: 4000 Park Avenue  
Block No.: 2510 Lot No.: 5/A Present Use of Property: Civic, Campus
- b. Total Onsite Wetland Acreage: 1,505 SF Total Onsite Watercourse Length: Approx 300'

### 3. Proposed Conditions:

- a. The proposed activity will affect (Please check where appropriate):  
Wetland:  Watercourse/Open Water:  Setback:  Other: \_\_\_\_\_
- b. Wetland Acreage Affected: 0 SF Watercourse Length Affected: 0 SF
- c. Description of the project in relationship to regulated areas for which authorization is requested (include closest distance proposed activity is from regulated areas):  
The Applicant proposes to construct an attached parking garage on the south side of the existing building  
and an attached building addition to the north of the existing building,  
which will utilize an existing stormwater management area to the rear of  
the Site, which is located within the upland review area.





4. **Notice Requirements:**

- a. A list of the names and mailing addresses of abutting property owners requiring notification of this application as per the Inland Wetlands and Watercourses Regulations, Section 7.5.h.
- b. The applicant shall certify whether any portion of the property is located within five-hundred (500) feet of the boundary of an adjoining municipality, Section 7.7.a and Section 8.3.

5. **General Conditions:**

The undersigned applicant understands that this application is to be considered complete when all information and documents required by the Agency have been submitted. The Agency may request additional information to properly evaluate the proposed activities pursuant to the regulations. The undersigned warrants the truth of all statements contained herein and in all supporting document according to the best of his/her knowledge. The applicant further understands that any violation of any provision of a permit may result in orders to cease and desist from any and all work at the site. The undersigned applicant hereby consents to desist from any and all work at the site. The undersigned applicant hereby consents to necessary and proper inspections of the subject property by authorized agents of the Agency.

 _____ Signature of Applicant	Sacred Heart University, Inc. _____ Printed Name & Title	12/30/22 _____ Date
 _____ Signature of Owner	Sacred Heart University, Inc. _____ Printed Name	12/30/22 _____ Date

.....

Application Checklist  
(For Agency Use Only)  
(Section 7.5)

Application Number: _____	Fee Paid: _____
List of Abutting Property Owners: _____	Site Plans/Applications: _____
Applicant Statement: _____	Inspection Authorization Letter: _____
CT DEEP Reporting Form: _____	

Lisa S. Broder\*  
LBroder@russorizio.com  
Colin B. Connor  
Colin@russorizio.com  
Robert G. Golger  
Bob@russorizio.com  
David K. Kurata  
DKurata@russorizio.com  
Stanton H. Lesser+  
Stanton@russorizio.com  
Katherine M. Macol  
Kathy@russorizio.com  
Victoria L. Miller\*  
Victoria@russorizio.com  
Anthony J. Novella\*  
Anovella@russorizio.com



10 Sasco Hill Road, Fairfield, CT 06824  
Tel 203-254-7579 or 203-255-9928  
Fax 203-576-6626  
5 Brook St., Suite 2B, Darien, CT 06820  
Tel 203-309-5500  
www.russorizio.com

Leah M. Parisi  
Leah@russorizio.com  
William M. Petroccio\*  
WPetro@russorizio.com  
Raymond Rizio\*  
Ray@russorizio.com  
Christopher B. Russo  
Chris@russorizio.com  
Robert D. Russo\*  
Rob@russorizio.com  
John J. Ryan+  
John@russorizio.com  
Jane Ford Shaw  
Jane@russorizio.com  
Vanessa R. Wambolt  
Vanessa@russorizio.com

\* Also Admitted in NY  
\* Also Admitted in VT  
+ Of Counsel

December 30, 2022

Paul Boucher  
Acting Zoning Administrator  
Zoning Department  
45 Lyon Terrace  
Bridgeport, CT 06604

**Re: Application for Inland Wetlands – 4000 Park Avenue**

Dear Mr. Boucher:

Please accept this Application to the Bridgeport Inland Wetlands and Watercourses Agency for an application for a permit to conduct regulated activities on behalf of my client, Sacred Heart University, Inc., for the property located at 4000 Park Avenue (the “Site”) in the RX2 Zone.

**Proposed Development & Use**

The Applicant proposes to construct an attached parking garage to the existing building and a 60,000 SF addition to support the existing educational building at the Site under the “Civic, Campus” use. The Site currently contains an existing building that hosts the Applicant’s Center for Healthcare Education. The Site’s proximity to the Applicant’s main campus, St. Vincent’s Hospital and the new Yale New Haven Medical Center at 5520 Park Avenue make it an ideal location for this focused specialty. The Site has frontage on Park Avenue slightly north of Rooster River Boulevard and contains approximately 9.73 acres. The existing building on the Site contains slightly over 120,000 SF in living floor area. Wetlands and watercourses are mainly located off-Site to the rear of the Site. However, in several locations in proximity to the rear property line, wetlands and watercourses are located on the Site. The regulated area also covers the rear of the Site. The existing building and structures are almost all located outside the regulated area. However, there is an existing stormwater management area located at the rear of the Site.

The Site has an extremely unique topography. Park Avenue rises in elevation heading northbound. However, at the southwestern corner of the Site, there is a dramatic rock outcropping that significantly raises the elevation at this corner. The extreme height increase does not taper off until the existing parking area, which is over 100' setback from the street property line. The Applicant proposes a 60,000 SF addition and expansion of the pre-existing, non-conforming "Civic, Campus" use at the Site for the Center for Healthcare Education. The addition will be located on the northern side of the existing building and set back at a similar distance as the existing building. It will consist of classrooms, nursing and health profession simulations spaces and offices. The addition is built in conformity of the Regulations. It will be Three (3) stories and located on the portion of the Site that is visible from Park Avenue.

The Applicant also proposes an attached garage to the existing building to accommodate the additional square footage from the expansion of the Center. The proposed attached garage will be located on the southern end of the existing building. The southern portion of the Site faces more challenges from the topography. As stated above, the existing building is setback a significant distance from the street property line due to the rock outcropping. This condition also sets back the location for the attached garage.

The rear of the Site behind the proposed garage is the location of the stormwater management area. A sanitary sewer easement is located at the rear of the Site for its entire length. An existing wetlands area and watercourse is located at the rear of the Site. It comes onto the Site and then off-Site in several locations, but the upland review area covers the area around the entire length of the rear property line. The Applicant proposes the drainage for these improvements into an already existing stormwater management area. No portion of the proposed buildings will be located in the upland review area.

For the above stated reasons, the proposed improvements will have no impact on the wetlands and we respectfully request approval of the application for a permit to conduct regulated activities on the Site.

Sincerely,



Christopher Russo



**4000 Park Av**

<b>LOCATION</b>	<b>Owner</b>	<b>Address</b>	<b>City</b>	<b>State</b>	<b>Zip</b>
3900 PARK AV	LEVY PARK AVENUE ASSOCIATES	75 JOHN ST	BRIDGEPORT	CT	06604
181 ROOSTER RIVER BV	ANDERSON ARMANDO S & MAGDELENA	181 MARTHA PL	BRIDGEPORT	CT	06606
1 MARTHA PL	MORALES CARLOS A & MAXIMA A	1 MARTHA PL	BRIDGEPORT	CT	06606
5 MARTHA PL	MUSANTE JANINE L	5 MARTHA PLACE	BRIDGEPORT	CT	06606
15 MARTHA PL	PEREIRA TIAGO ET AL	15 MARTHA PLACE	BRIDGEPORT	CT	06606
29 MARTHA PL	DITIRRO JULIA (LU) ET AL	29 MARTHA PL	BRIDGEPORT	CT	06606
45 MARTHA PL	DASILVA AMANDIO	45 MARTHA PL	BRIDGEPORT	CT	06606
63 MARTHA PL	DARCANGELO MAFALDA	63 MARTHA PL	BRIDGEPORT	CT	06606
77 MARTHA PL	CALDERAS ROBERTO & JANET	77 MARTHA PL	BRIDGEPORT	CT	06604
91 MARTHA PL	MARINI MARIA	91 MARTHA PL	BRIDGEPORT	CT	06606
4070 PARK AV	HOLY TRINITY GREEK ORTHODOX	4070 PARK AVE	BRIDGEPORT	CT	06604
4000 PARK AV	SACRED HEART UNIVERSITY INC	5151 PARK AVENUE	FAIRFIELD	CT	06825



## STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM

Pursuant to section 22a-39(m) of the General Statutes of Connecticut and section 22a-39-14 of the Regulations of Connecticut State Agencies, inland wetlands agencies must complete the Statewide Inland Wetlands & Watercourses Activity Reporting Form for **each** action taken by such agency.

This form may be made part of a municipality's inland wetlands application package. If the municipality chooses to do this, it is recommended that a copy of the Town and Quadrangle Index of Connecticut and a copy of the municipality's subregional drainage basin map be included in the package.

Please remember, the inland wetlands agency is responsible for ensuring that the information provided is **accurate** and that it reflects the **final** action of the agency. Incomplete or incomprehensible forms will be mailed back to the agency. Instructions for completing the form are located on the following pages.

The inland wetlands agency shall mail completed forms for actions taken during a calendar month no later than the 15<sup>th</sup> day of the following month to the Department of Energy and Environmental Protection (DEEP). Do **not** mail this cover page or the instruction pages. Please mail **only the completed** reporting form to:

DEEP Land & Water Resources Division  
Inland Wetlands Management Program  
79 Elm Street, 3<sup>rd</sup> Floor  
Hartford, CT 06106

Questions may be directed to the DEEP's Inland Wetlands Management Program at (860) 424-3019.

# **INSTRUCTIONS FOR COMPLETING THE STATEWIDE INLAND WETLANDS & WATERCOURSES ACTIVITY REPORTING FORM**

Use a separate form to report EACH action taken by the Agency. Complete this electronic fill-in form as described below. If completing by hand please print and use the pdf version. Do NOT submit a reporting form for withdrawn actions.

## **PART I: Must Be Completed By The Inland Wetlands Agency**

1. Choose the year and month the Inland Wetlands Agency took the action being reported. If multiple actions were taken regarding the same project or activity then multiple forms need to be completed.
2. Choose ONE code letter to describe the final action or decision taken by the Inland Wetlands Agency. Do NOT submit a reporting form for withdrawn actions. Do NOT enter multiple code letters (for example, if the same project or activity had both a permit issued and enforcement action, submit two forms for the two separate actions).
  - A = A Permit Granted by the Inland Wetlands Agency (not including map amendments, see code D below)
  - B = Any Permit Denied by the Inland Wetlands Agency
  - C = A Permit Renewed or Amended by the Inland Wetlands Agency
  - D = A Map Amendment to the Official Town Wetlands Map - or -  
An Approved/Permitted Wetland or Watercourse Boundary Amendment to a Project Site Map
  - E = An Enforcement Action: Permit Revocation, Citation, Notice of Violation, Order, Court Injunction, or Court Fines
  - F = A Jurisdictional Ruling by the Inland Wetlands Agency (activities "permitted as of right" or activities considered non-regulated)
  - G = An Agent Approval pursuant to CGS 22a-42a(c)(2)
  - H = An Appeal of Agent Approval Pursuant to 22a-42a(c)(2)
3. Check "yes" if a public hearing was held in regards to the action taken; otherwise check "no".
4. Enter the name of the Inland Wetlands Agency official verifying that the information provided on this form is accurate and that it reflects the FINAL action of the agency.

**PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant** - If Part II is completed by the applicant, the applicant MUST return the form to the Inland Wetlands Agency. The Inland Wetlands Agency MUST ensure that the information provided is accurate and that it reflects the FINAL action of the Agency.

5. Enter the name of the municipality for which the Inland Wetlands Agency has jurisdiction and in which the action/project/activity is occurring.

Check "yes" if the action/project/activity crosses municipal boundaries and enter the name(s) of the other municipality(ies) where indicated. Check "no" if it does not cross municipal boundaries.

6. Enter the USGS Quad Map name or number (1 through 115) as found on the CT Town and Quadrangle Index Map (the directory to all USGS Quad Maps) that contains the location of the action/project/activity. USGS Quad Map information is available at: <https://portal.ct.gov/-/media/deep/gis/resources/IndexNamedQuadTownpdf.pdf>

ALSO enter the four-digit identification number of the corresponding Subregional Drainage Basin in which the action/project/activity is located. If located in more than one subregional drainage basin, enter the number of the basin in which the majority of the action/project/activity is located. Town subregional drainage basin maps can be found at UConn CLEAR's website: [http://clear.uconn.edu/data/map\\_set/index.htm](http://clear.uconn.edu/data/map_set/index.htm) (no roads depicted) or at CTECO: [http://www.cteco.uconn.edu/map\\_catalog.asp](http://www.cteco.uconn.edu/map_catalog.asp) (depicts roads, choose town and a natural drainage basin map).

7. Enter the name of the individual applying for, petitioning, or receiving the action.
8. Enter the name and address or location of the action/project/activity. Check if the action/project/activity is TEMPORARY or PERMANENT in nature. Also provide a brief DESCRIPTION of the action/project/activity. It is always best to provide as much information as possible (for example, don't state "forestry," provide details such as "20 acre forest harvest, permit required for stream crossing.")



9. Carefully review the list below and enter ONLY ONE code letter which best characterizes the action/project/activity. All state agency projects must code "N."

- |   |   |
|---|---|
| A = Residential Improvement by Homeowner                  | I = Storm Water / Flood Control   |
| B = New Residential Development for Single Family Units   | J = Erosion / Sedimentation Control   |
| C = New Residential Development for Multi-Family / Condos | K = Recreation / Boating / Navigation   |
| D = Commercial / Industrial Uses                          | L = Routine Maintenance   |
| E = Municipal Project                                     | M = Map Amendment   |
| F = Utility Company Project                               | N = State Agency Project  |
| G = Agriculture, Forestry or Conservation                 | P = Other (this code includes the approval of concept, subdivision or similar plans with no-on-the-ground work) |
| H = Wetland Restoration, Enhancement, Creation            |   |

10. Enter between one and four code numbers to best characterize the action/project/activity being reported. Enter "NA" if this form is being completed for the action of map amendment. You MUST provide code 12 if the activity is located in an established upland review area. You MUST provide code 14 if the activity is located beyond the established upland review area or no established upland review area exists.

- |   |  |
|---|--|
| 1 = Filling   | 8 = Underground Utilities Only (no other activities)             |
| 2 = Excavation  | 9 = Roadway / Driveway Construction (including related culverts) |
| 3 = Land Clearing / Grubbing (no other activity)            | 10 = Drainage Improvements                                       |
| 4 = Stream Channelization                                   | 11 = Pond, Lake Dredging / Dam Construction                      |
| 5 = Stream Stabilization (includes lakeshore stabilization) | 12 = Activity in an Established Upland Review Area               |
| 6 = Stream Clearance (removal of debris only)               | 14 = Activity in Upland  |
| 7 = Culverting (not for roadways)                           |  |

**Examples:** Jurisdictional ruling allowing construction of a parking lot in an upland where the municipality does not have an established upland review area must use code 14, other possible codes are 2 and 10. Permitted construction of a free standing garage (residential improvement by homeowner) partially in an established upland review area with the remainder in the upland must use code 12 and 14, other possible codes are 1 and 2.

11. Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. For PERMANENT alterations, enter in acres the area of wetland soils or watercourses altered. Include areas that are permanently altered, or are proposed to be, for all agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. For those activities that involve filling or dredging of lakes, ponds or similar open water bodies enter the acres filled or dredged under "open water body." For those activities that involve directly altering a linear reach of a brook, river, lakeshore or similar linear watercourse, enter the total linear feet altered under "stream." Remember, these figures represent only the acreage altered, not the total acreage of wetlands or watercourses on the site. You MUST provide all information in ACRES (or linear feet as indicated) including those areas less than one acre. To convert from square feet to acres, divide square feet by the number 43,560. If this report is being completed for an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
12. Enter in acres the area of upland altered as a result of an ACTIVITY REGULATED BY the inland wetlands agency, or as a result of an AGENT APPROVAL pursuant to CGS section 22a-42a(c)(2). Leave blank for TEMPORARY alterations but please indicate action/project/activity is temporary under question #8 on the form. Include areas that are permanently altered, or proposed to be permanently altered, for all agent approvals, agency permits, denials, amendments, renewals, jurisdictional rulings, and enforcement actions. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. If this report is being completed for an agent approval or an agency jurisdictional ruling and detailed information is not available, provide an estimate. Enter zero if there is no alteration.
13. Enter the acres that are, or are proposed to be, restored, enhanced or created for all agency permits, denials, amendments, renewals, jurisdictional rulings and enforcement actions. NOTE restored or enhanced applies to previously existing wetlands or watercourses. Created applies to a non-wetland or non-watercourse area which is converted into wetlands or watercourses. For created - question #10 must provide 12 and/or 14 as an answer, and question #12 must also be answered. You MUST provide all information in ACRES including those areas less than one acre. See directions above (#11) for conversion factor. Enter zero if there is no restoration, enhancement or creation.

**PART III: To Be Completed By The DEEP** - Please leave this area blank. Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.



## Statewide Inland Wetlands & Watercourses Activity Reporting Form

Please complete and mail this form in accordance with the instructions.  
If completing by hand - please print and use the [pdf version](#).  
Incomplete or incomprehensible forms will be mailed back to the municipal inland wetlands agency.

### PART I: Must Be Completed By The Inland Wetlands Agency

- DATE ACTION WAS TAKEN: year: [Click Here for Year](#) month: [Click Here for Month](#)
- CHOOSE ACTION TAKEN (see instructions for code): [Click Here to Choose a Code](#)
- WAS A PUBLIC HEARING HELD (check one)? yes  no
- NAME OF AGENCY OFFICIAL VERIFYING AND COMPLETING THIS FORM:  
(type name) \_\_\_\_\_ (signature) \_\_\_\_\_

### PART II: To Be Completed By The Inland Wetlands Agency Or The Applicant

- TOWN IN WHICH THE ACTIVITY IS OCCURRING (type name): [Bridgeport](#)  
does this project cross municipal boundaries (check one)? yes  no   
if yes, list the other town(s) in which the activity is occurring (type name(s)): \_\_\_\_\_, \_\_\_\_\_
- LOCATION (click on hyperlinks for information): USGS quad map name: [Bridgeport](#) or quad number: [109](#)  
subregional drainage basin number: [7106](#)
- NAME OF APPLICANT, VIOLATOR OR PETITIONER (type name): [Sacred Heart University, Inc.](#)
- NAME & ADDRESS OF ACTIVITY / PROJECT SITE (type information): [4000 Park Avenue](#)  
briefly describe the action/project/activity (check and type information): temporary  permanent  description: [Proposed construction of an attached parking garage and building addition to existing education building](#)
- ACTIVITY PURPOSE CODE (see instructions for code): [P](#)
- ACTIVITY TYPE CODE(S) (see instructions for codes): [8](#), [9](#), [10](#), [12](#)
- WETLAND / WATERCOURSE AREA ALTERED (see instructions for explanation, type acres or linear feet as indicated):  
wetlands: [0.00](#) acres open water body: \_\_\_\_\_ acres stream: \_\_\_\_\_ linear feet
- UPLAND AREA ALTERED (type acres as indicated): [0.00](#) acres
- AREA OF WETLANDS / WATERCOURSES RESTORED, ENHANCED OR CREATED (type acres as indicated): [0](#) acres

DATE RECEIVED:

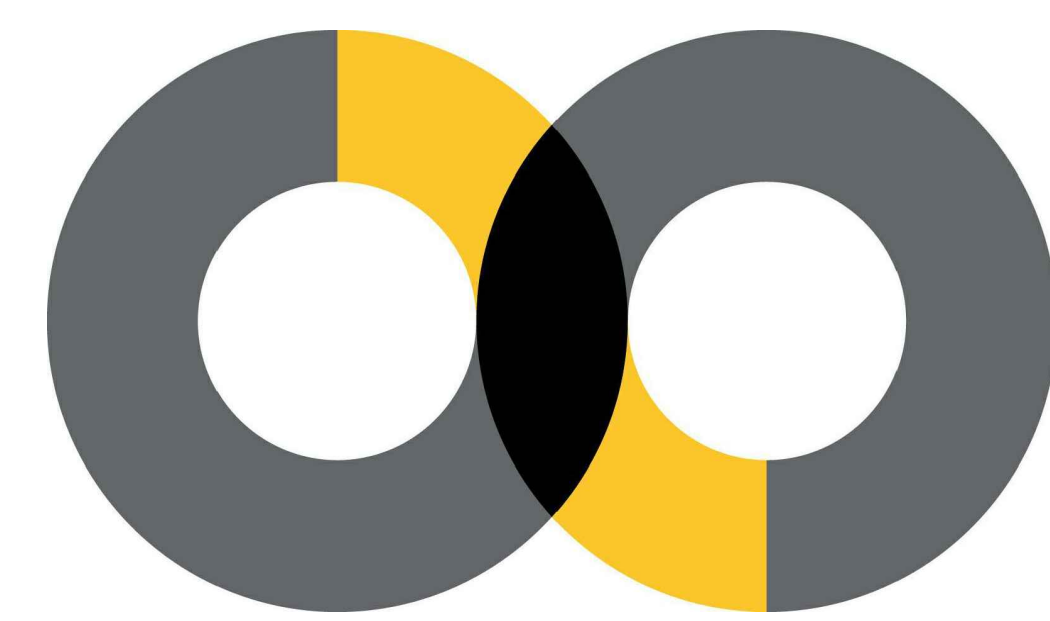
### PART III: To Be Completed By The DEEP

DATE RETURNED TO DEEP:

FORM COMPLETED: YES NO

FORM CORRECTED / COMPLETED: YES NO





# SLAM



## SACRED HEART UNIVERSITY

### ADDITIONS AND RENOVATIONS TO CENTER FOR HEALTHCARE EDUCATION

4030 Park Avenue  
Bridgeport, CT 06066

**LIST OF SUBMITTAL DRAWINGS:**

SURVEY

PROPERTY AND TOPOGRAPHIC SURVEY

LANDSCAPE ARCHITECTURAL

- L001 - GENERAL INFORMATION
- L101 - SITE DEMOLITION AND PREPARATION PLAN
- L201 - SITE LAYOUT
- L202 - SITE MATERIALS
- L301 - SITE GRADING
- L401 - SITE PLANTING
- L402 - PLANTING DETAILS
- L501 - SITE DETAILS

CIVIL

- C100 - SITE UTILITY PLAN
- C101 - SITE UTILITY DEMOLITION PLAN
- C200 - STORMWATER POLLUTION CONTROL PLAN
- C201 - STORMWATER POLLUTION CONTROL SPECIFICATIONS AND DETAILS
- C300 - SITE UTILITY DETAILS
- C301 - SITE UTILITY DETAILS

ARCHITECTURAL

- A000 - OVERALL LEVEL 1 - EXISTING AND NEW
- A100 - BASEMENT FLOOR PLAN
- A101 - FIRST FLOOR PLAN
- A102 - SECOND FLOOR PLAN
- A103 - THIRD FLOOR PLAN
- A300 - BUILDING ELEVATIONS
- A301 - PARKING GARAGE BUILDING ELEVATIONS

GARAGE PLANS

- S-101 - GROUND TIER PLAN
- S-102 - SECOND TIER PLAN
- S-103 - THIRD TIER PLAN
- S-104 - TOP TIER PLAN

Owner:

**Sacred Heart University**  
5151 Park Avenue  
Fairfield, CT 06825

LANDSCAPE ARCHITECT/ARCHITECT:

**The S/L/A/M Collaborative**  
80 Glastonbury Boulevard  
Glastonbury, CT 06033

ARCHITECT:

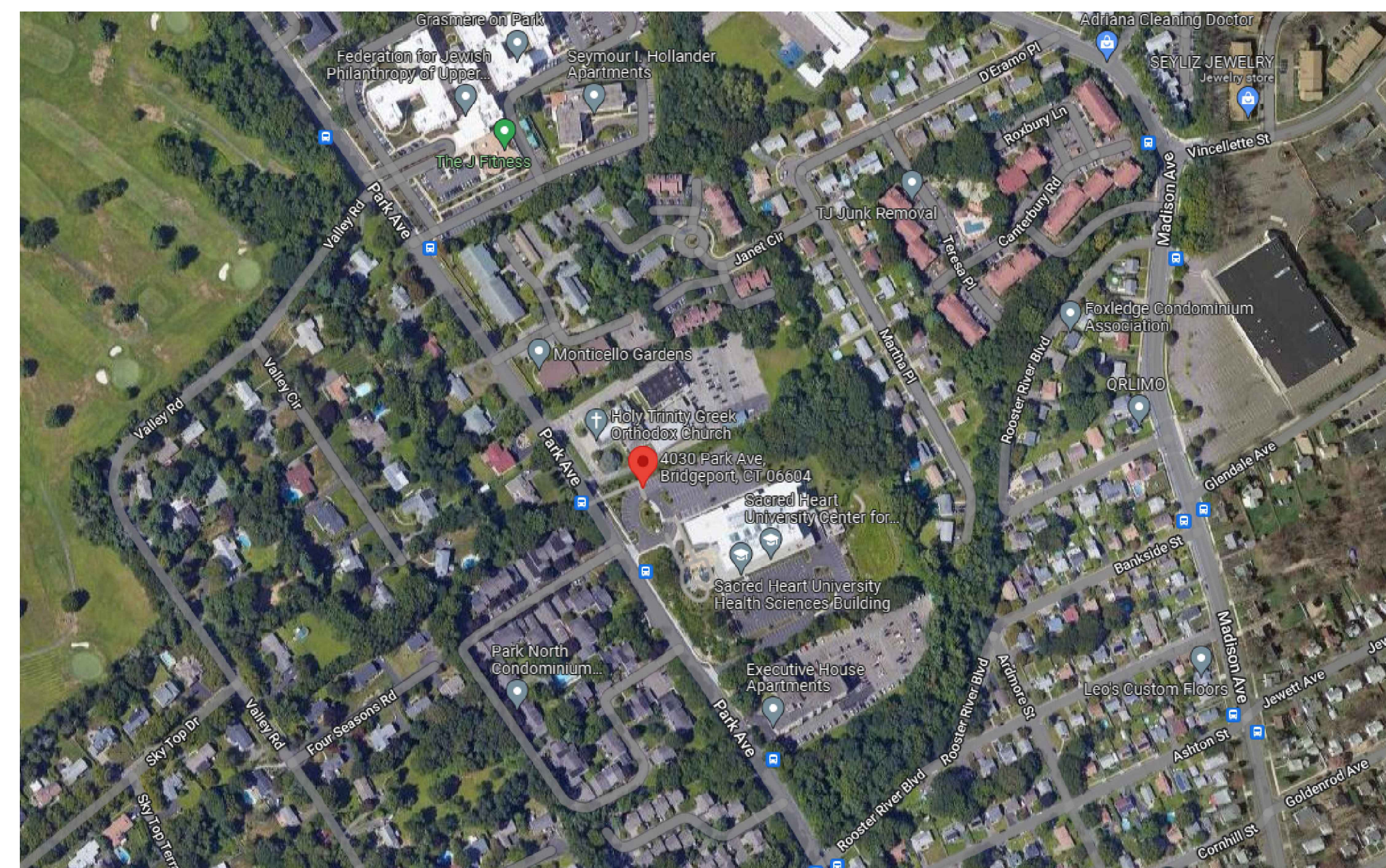
**WALKER CONSULTANTS**  
49th West 80th St, 3rd Floor  
New York, NY 10018

CIVIL ENGINEER:

**SLR International Corporation**  
99 Realty Drive  
Cheshire, CT 06410

Land Surveyor:

**Rose Tiso & Co LLC**  
35 Brentwood Avenue, #3  
Fairfield, CT 06825



Binding:

Issued for:

Date:

Proj No. :

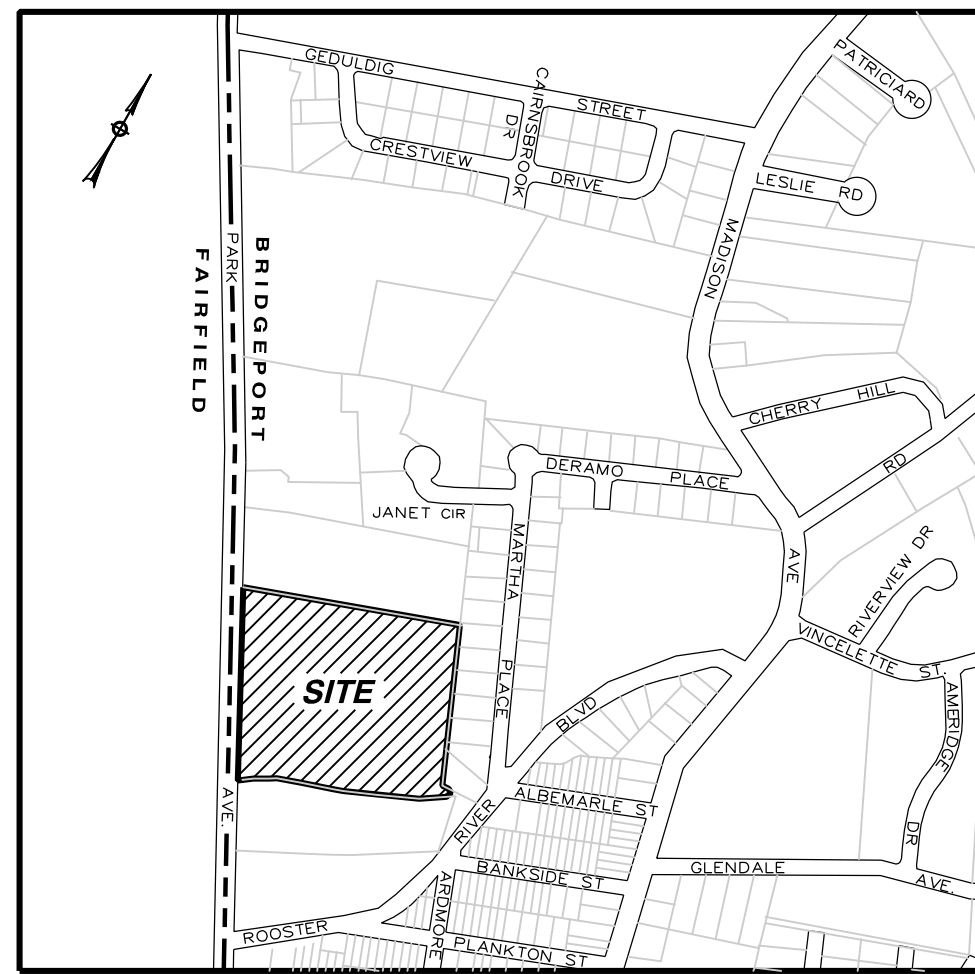
VOLUME 1

Planning & Zoning

12/29/2022

00000.00





VICINITY MAP  
SCALE: 1"=600'

**MAP REFERENCES:**

- "PLAN OF SURVEY, 4030 PARK AVENUE, BRIDGEPORT, CT., PREPARED FOR 4000 PARK AVE., LLC." MAP DATED DEC. 17, 1998 AND MAY 22, 2007, SCALE 1"=40', BY FULLER & CO., INC. AND FULLER ENGINEERING & LAND SURVEYING, LLC. BRIDGEPORT TOWN CLERK MAP VOL. 54, PG. 85.
- "MAP OF PROPERTY AT THE EXECUTIVE HOUSE APARTMENTS - 3900 PARK AVENUE - BRIDGEPORT, CONN., PREPARED FOR HAROLD J. LEVY ET AL BRIDGEPORT, CONN." MAP DATED MAY 21, 1969 BY LEO LEONARD, SURVEYOR. BRIDGEPORT TOWN CLERK MAP VOL. 49, PG. 82.
- "MAP OF PROPERTY PREPARED OF GOLDFREY, LEVY, GLADSTONE, & SCHWARTZ, BRIDGEPORT, CONN." MAP DATED MAY 21, 1969 BY LEO LEONARD, SURVEYOR. BRIDGEPORT TOWN CLERK MAP VOL. 35, PG. 24.
- "MAP No. 10, ORIENT HEIGHTS, BRIDGEPORT, CONN., FOR ROSE D'ERAMO, DATED OCT. 10, 1966, SCALE 1"=40', BY J. & D. KASPER & ASSOC. BRIDGEPORT TOWN CLERK MAP VOL. 33, PG. 13.
- "MAP OF SURVEY OF PROPERTY IN BRIDGEPORT, CONN., PREPARED FOR ALRITE REALTY CORP." MAP DATED JAN. 10, 1963, SCALE 1"=30' BY FULLER & CO., INC. BRIDGEPORT TOWN CLERK MAP VOL. 28, PG. 14.
- "MAP OF SURVEY OF PROPERTY IN BRIDGEPORT, CONN. FOR JAMES MONDO." MAP DATED OCT. 28, 1954, SCALE 1"=10', BY FULLER & CO., INC. BRIDGEPORT TOWN CLERK MAP VOL. 19, PG. 2.
- "MAP OF PROPERTY PREPARED FOR HAROLD LEVY & ALFRED GOLDFREY, BRIDGEPORT, CONN." ON FILE IN THE BRIDGEPORT TOWN CLERK'S OFFICE.
- "ROOSTER RIVER BOULEVARD." CITY ENGINEERING DEPT. MAP #6734-A.
- "FLOOD INSURANCE RATE MAP, FAIRFIELD COUNTY, PANEL 42B OF 626, MAP No. 09001C042B", EFFECTIVE DATE JUNE 18, 2010 BY F.E.M.A.
- PARTIAL SITE AS-BUILT, SACRED HEART UNIVERSITY, COLLEGE OF HEALTH PROFESSIONS, 4000 PARK AVENUE, BRIDGEPORT, CONNECTICUT, DATED 04-18-17, SCALE 1"= 30', BY THE BOGGIOVANNI GROUP, INC.

**NOTES:**

1. THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20, "THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT", ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPT. 26, 1996. THE TYPE OF SURVEY IS A PROPERTY & TOPOGRAPHIC SURVEY. IT IS A RESURVEY OF MAP REF. NO. 10, CONFORMING TO CLASS A-2 AND CLASS T-2 ACCURACY STANDARDS. CONTOURS IN UNDEVELOPED AREAS ARE BASED ON AERIAL TOPOGRAPHIC METHODS.

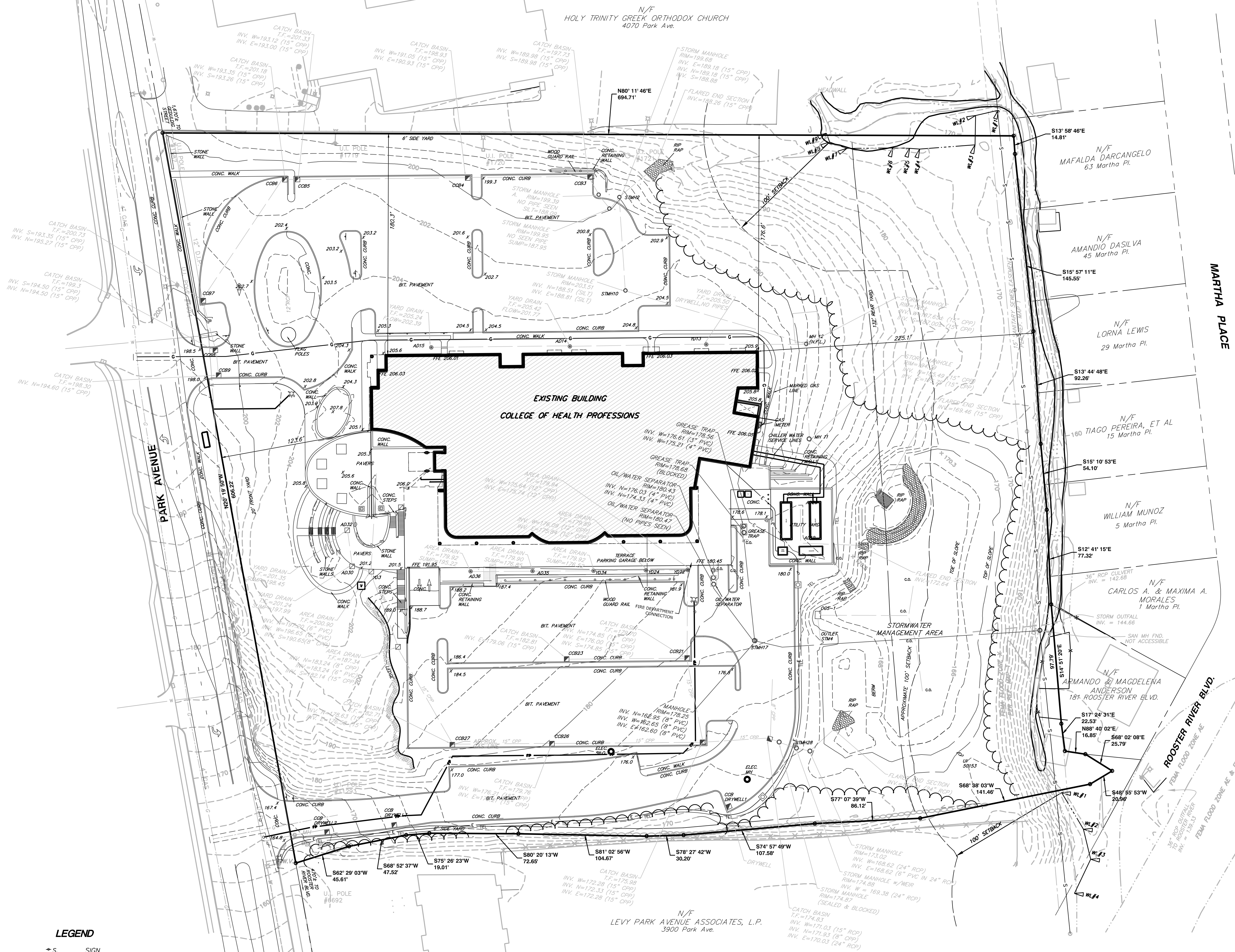
- ADDITIONAL PROPERTY CORNER MARKERS NOT SET.
- PROPERTY SUBJECT TO RESTRICTIONS AND CONDITIONS SET FORTH IN VOL. 1350 PAGE 9.
- PROPERTY SUBJECT TO A SPECIAL PERMIT RECORDED IN VOL. 1586 PAGE 298.
- PROPERTY SUBJECT TO A SPECIAL EXCEPTION RECORDED IN VOL. 1548 PAGE 173.
- ELEVATIONS ARE REFERENCED TO THE CITY OF BRIDGEPORT DATUM.

**LEGEND**

- + S. SIGN
- BOLLARD
- ☆ LIGHT POLE
- UTILITY POLE
- G.V. GAS VALVE
- W.V. WATER VALVE
- HYD. HYDRANT
- CATCH BASIN
- MH MAN HOLE
- E.O.P. EDGE OF PAVEMENT
- N/F NOW OR FORMERLY
- G - UNDERGROUND GAS LINE
- E - UNDERGROUND ELECTRIC LINE
- T - UNDERGROUND TELEPHONE LINE
- W - EXIST. WATER LINE
- S - EXIST. SAN. SEWER LINE
- SS - EXIST. STORM SEWER LINE

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PHILIP L. TISO, L.S. CONN. LIC. No. 12324  
NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS THIS MAP BEARS THE SIGNATURE AND THE EMBOSSED SEAL OF THE ABOVE NAMED LAND SURVEYOR.



AREA = 378,428 S.F.  
= 8.6875 ACRES

REVISIONS		
NO.	DESCRIPTION	DATE

**PROPERTY & TOPOGRAPHIC SURVEY**  
  
OF PROPERTY LOCATED AT  
**4000 PARK AVENUE**  
**BRIDGEPORT, CONNECTICUT**  
  
PREPARED FOR  
**SACRED HEART UNIVERSITY**

**ROSE & TISO & CO. L.L.C.**  
ARCHITECTS/SURVEYORS/ENGINEERS  
www.roseandtiso.com  
25 BENTWOOD AVENUE, FAIRFIELD, CT 06424  
TEL: (203) 252-2222 FAX: (203) 252-4044

DATE: DEC. 19, 2022  
SCALE: 1" = 40'  
DRAWN BY: P.G.  
CHECKED BY: P.L.T.  
SHEET 1 OF 1  
DWG: 2736-M2ParkAve Bpt  
FILE: S:\2736





1

2

3

4

5



**KEY PLAN**  
1" = 100'



**GENERAL SITE NOTES:**

- BOUNDARY AND TOPOGRAPHIC DATA HAS OBTAINED FROM SURVEY PREPARED BY ROSE 180 & CO., LLC. LANDSCAPE ARCHITECT MAKES NO WARRANTY FOR INFORMATION SHOWN AS EXISTING. CONTRACTOR SHALL VERIFY CONDITIONS IN FIELD AND THEIR RELATIONSHIP TO NEW CONSTRUCTION. DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO COMMENCING RELATED WORK.
- PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR SHALL NOTIFY CALL BEFORE YOU DIG (PHONE NUMBER 811) FOR FIELD LOCATING AND CLEAR MARKING OF SUBSURFACE UTILITIES PRIOR TO ANY EXCAVATION.
- CONTRACTOR SHALL ESTABLISH AND/OR MAINTAIN AT LEAST ONE (1) BENCHMARK ON SITE FOR VERTICAL AND HORIZONTAL REFERENCE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF BRIDGEPORT. ALL LOCAL, STATE AND FEDERAL REQUIREMENTS SHALL BE ADHERED TO IN THE PERFORMANCE OF THIS WORK.
- THE CONSTRUCTION LIMITS ARE AS DEFINED IN THE SPECIFICATIONS AND AS SHOWN IN THE DRAWINGS. DRAWINGS INDICATE MINIMUM LIMITS OF DEMOLITION/PAVEMENT REMOVAL REQUIRED FOR CONSTRUCTION OF NEW IMPROVEMENTS. WORK SHALL NOT EXCEED CONTRACT LIMIT LINES UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE OWNER'S REPRESENTATIVE.

**SITE PREPARATION NOTES:**

- COORDINATE WORK ON THIS SHEET WITH ALL DRAWINGS PERTAINING TO SITE. WORK IN THE CONTRACT DOCUMENT SET. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIM OR HERSELF FAMILIAR WITH THE FULL SET OF DOCUMENTS FOR ALL SITE RELATED ITEMS.
- PRIOR TO ANY DEMOLITION ACTIVITY THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES. SEE SHEET C02 FOR EROSION CONTROL PLANS & NOTES.
- CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE AND THE GENERAL CONTRACTOR REGARDING STAGING AREAS, CONSTRUCTION FENCING LIMITS AND GATES, AND CONSTRUCTION TRAFFIC & PARKING.
- LIMITS OF EXISTING PAVEMENTS AND CURBS TO REMAIN SHALL BE NEATLY SAWCUT TO PROVIDE FOR A NEAT, CLEAN JOINT OR FINISHED EDGE.
- REMOVAL OF SITE IMPROVEMENTS SHALL INCLUDE ALL SURFACE AND SUBSURFACE IMPROVEMENTS RELATED TO THE ITEMS DESIGNATED FOR REMOVAL EXCEPT WHERE INDICATED OTHERWISE. REMOVAL OF TREES AND SHRUBS INCLUDES CLEARING AND GRUBBING OF STUMPS.
- DEBRIS FROM DEMOLITION SHALL BE REMOVED FROM SITE AND DISPOSED OF PROPERLY BY CONTRACTOR.
- UTILITIES DESIGNATED TO BE ABANDONED SHALL BE DONE SO IN A SAFE AND LEGAL MANNER. COORDINATE WITH THE APPROPRIATE UTILITY AUTHORITIES AND THE OWNER'S REPRESENTATIVE.
- ITEMS NOTED TO BE REMOVED AND SAVED FOR OWNER SHALL BE STORED ON SITE AND PROTECTED BY CONTRACTOR FOR RECOVERY BY OWNER. ITEMS NOTED TO BE RELOCATED SHALL BE REMOVED, STORED AND PROTECTED FROM DAMAGE UNTIL RE-INSTALLATION. STORED ITEMS DAMAGED BY CONTRACTOR SHALL BE REPLACED TO MATCH BY CONTRACTOR.
- ALL SAW CUTS SHALL BE STRAIGHT AND CLEAN.

**SITE LAYOUT NOTES:**

- COORDINATE WORK ON THIS SHEET WITH ALL DRAWINGS PERTAINING TO SITE. WORK IN THE CONTRACT DOCUMENT SET. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIM OR HERSELF FAMILIAR WITH THE FULL SET OF DOCUMENTS FOR ALL SITE RELATED ITEMS.
- LOCATION AND ALIGNMENT OF SITE IMPROVEMENTS SUCH AS FENCES, ETC. SHALL BE STAKED IN FIELD BY CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT OR CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION OF ANY AND ALL SUCH IMPROVEMENTS.
- DIMENSIONS ARE TO THE NEAREST FOOT UNLESS OTHERWISE NOTED. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. ALL PROPOSED RADII ARE 9' RADIUS UNLESS OTHERWISE NOTED. DIMENSIONS ARE TO THE FACE OF CURB OR WALLS AND TO CENTERLINES OF PAVEMENT MARKINGS, DOORS AND LIGHT POLES EXCEPT WHERE OTHERWISE INDICATED ON THIS PLAN.
- ALL PAVEMENT CUTS IN CONCRETE ARE TO THE NEAREST JOINT - CONCRETE WALK PAVEMENT LIMITS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL INSTALL NEW WALK TO MATCH EXISTING TO THE GREATEST EXTENT POSSIBLE.

**SITE GRADING NOTES:**

- COORDINATE WORK ON THIS SHEET WITH ALL DRAWINGS PERTAINING TO SITE. WORK IN THE CONTRACT DOCUMENT SET. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIM OR HERSELF FAMILIAR WITH THE FULL SET OF DOCUMENTS FOR ALL SITE RELATED ITEMS.
- BLEND PROPOSED GRADES INTO EXISTING GRADES SMOOTHLY AND NEATLY. ALL SAWCUTS SHALL BE STRAIGHT AND CLEAN.
- DISTURBED AREAS NOT INDICATED TO RECEIVE PAVEMENT OR OTHER TREATMENT SHALL BE SEEDED LAWN.
- SEE SITE PLANTING PLANS FOR EXTENT AND REQUIRED DEPTH AND WIDTH OF CONTINUOUS PLANTING BEDS.
- PRIOR TO FINAL ACCEPTANCE THE CONTRACTOR SHALL PUMP ALL ON-SITE DRAINAGE STRUCTURE SLUMPS OF SILT AND DEBRIS.
- ALL ACCESSIBLE ROUTES SHOWN ON PLAN SHALL BE A MAXIMUM OF 1:12 (AT RAMPS) OR 1:20 (ALL OTHER AREAS) IN THE DIRECTION OF TRAVEL WITH A MAXIMUM OF 1:50 CROSS SLOPE.

**GENERAL SITE LEGEND**

- CONTRACT LIMIT LINE
- - - - - PROPERTY LINE
- - - - - SAWCUT LINE
- CURB
- ☐ CATCH BASIN
- YARD DRAIN
- DRAIN INLET
- BOLLARD
- ⊕ LIGHT STANDARDS (SEE SITE ELECTRICAL PLANS)
- ⊙ DECORATIVE LIGHT STANDARD
- ⊙ LIGHT BOLLARD
- ⊙ EMERGENCY PHONE (BLUE LIGHT)
- ▭ BENCH
- ▽ SIGN

**GENERAL SITE ABBREVIATIONS**

- BT. BITUMINOUS
- CLF CHAIN LINK FENCE
- CLL CONTRACT LIMIT LINE
- CONC. CONCRETE
- N/C. NOT IN CONTRACT

**SITE LAYOUT ABBREVIATIONS**

- CL CENTERLINE
- DM. DIAMETER
- EJ EXPANSION JOINT
- EQ. EQUAL
- MAX. MAXIMUM
- MIN. MINIMUM
- R. RADIUS
- (TP) TYPICAL CONDITION

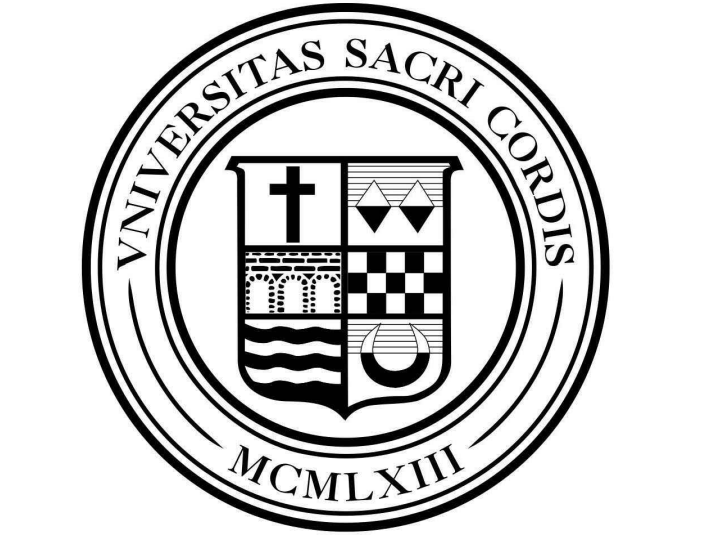
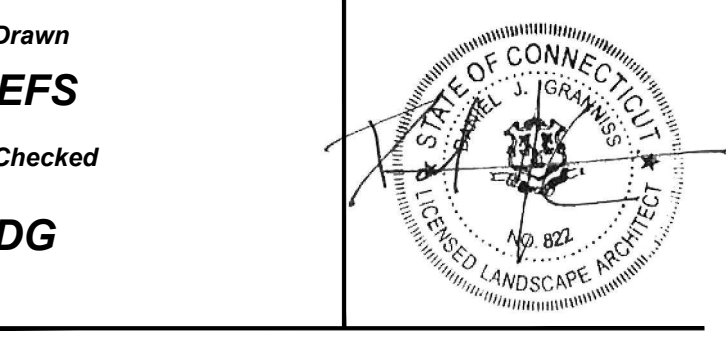
**SITE GRADING ABBREVIATIONS**

- BC BOTTOM OF CURB
- BFE BASEMENT FLOOR ELEVATION
- BS BOTTOM OF STAR
- SW BOTTOM OF WALL
- CS CATCH BASIN
- DI DRAIN INLET
- EL ELEVATION
- FFE FINISH FLOOR ELEVATION
- FLUSH FLUSH CONDITION
- HP HIGH POINT
- LP LOW POINT
- MES MATCH EXISTING GRADE
- TC TOP OF CURB
- TF TOP OF FRAME
- TRC TRANSITION CURB
- TS TOP OF STAIR
- TW TOP OF WALL
- YD YARD DRAIN



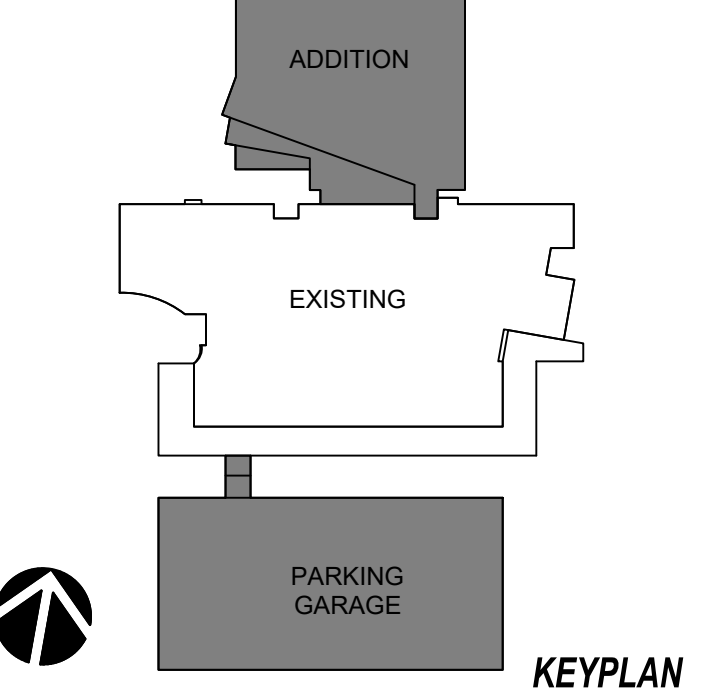
80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

www.slamcoll.com



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

**GENERAL SITE INFORMATION**

Date: 12/29/2022  
Scale: AS SHOWN  
Proj. Number: 21271.00  
Drawing Number: L001

CHARACTERISTICS	REQUIREMENT	EXISTING	PROPOSED
TOTAL PARCEL ACREAGE	-	379,406 SF	379,406 SF
ZONE:	RX2 - CIVIC BUILDING	RX2	RX2
<b>ZONING SETBACKS:</b>			
PRIMARY STREET SETBACK:	10'-0"	149'-0"	103'-0"
NON PRIMARY STREET SETBACK	5' MIN.	-	-
SIDE SETBACK:	5' MIN.	220', 179'	28'-11"
REAR SETBACK:	10' MIN.	225'-6"	225'-6"
SPACE BETWEEN BUILDINGS	12' MIN.	12'+	12'+
MAXIMUM LOT COVERAGE:	90% (341,466 SF)	47% (179,200 SF)	53% (180,100 SF)
MINIMUM LOT WIDTH:	50' MIN.	606'-0"	606'-0"
MAXIMUM BUILDING HEIGHT:	3 STY MAX.	5 STY	5 STY
GROUND STORY HEIGHT	10' MIN. 24' MAX.	17'-0"	17'-0"
ALL OTHER STORY HEIGHT	9' MIN. 14' MAX.	14'	14'
ROOF TYPE	FLAT, PARAPET, PITCHED	FLAT	FLAT
ATTACHED GARAGE SETBACK	20' MIN. BEHIND PRIMARY FACADE	-	17'-2" IN FRONT OF PRIMARY BUILDING FACADE (VARIANCE REQUIRED)
PARKING AND DRIVEWAY ACCESS	1 PER 300 FEET OF STREET FRONTAGE	1	1



A  
B  
C  
D  
E

SITE PREPARATION LEGEND

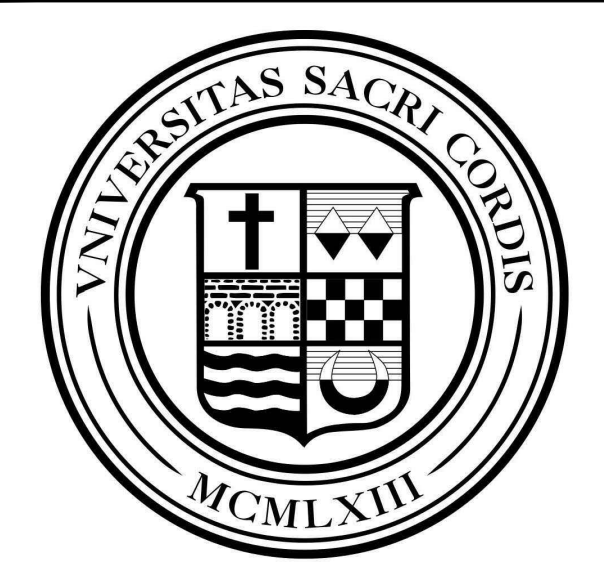
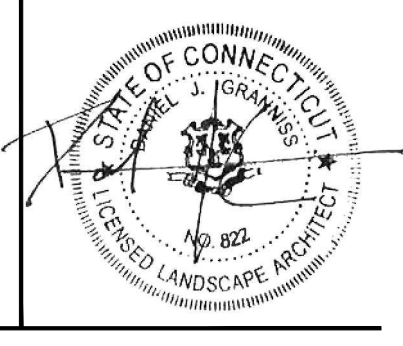
- CURB TO BE REMOVED
- BIT PAVEMENT TO BE REMOVED
- CONC. PAVEMENT TO BE REMOVED
- EXPOSED ROCK TO BE REMOVED
- SITE ELEMENT TO BE REMOVED
- VEHICULAR LIGHT FIXTURE TO BE RELOCATED
- PEDESTRIAN LIGHT FIXTURE TO BE RELOCATED
- FENCEWALL TO BE REMOVED
- TREE TO BE REMOVED
- TREE PROTECTION
- TREE TO BE TRANSPLANTED



80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

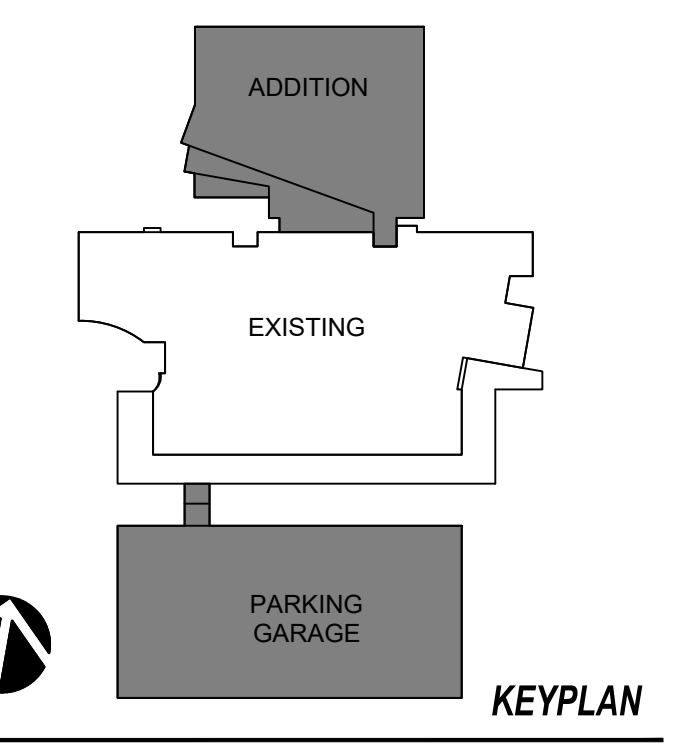
www.slamcoll.com

Drawn  
EFS  
Checked  
DG



# SACRED HEART UNIVERSITY Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

## SITE DEMOLITION AND PREPARATION

Date: 12/29/2022  
Scale: 1" = 30'  
Proj. Number: 21271.00  
Drawing Number: L101

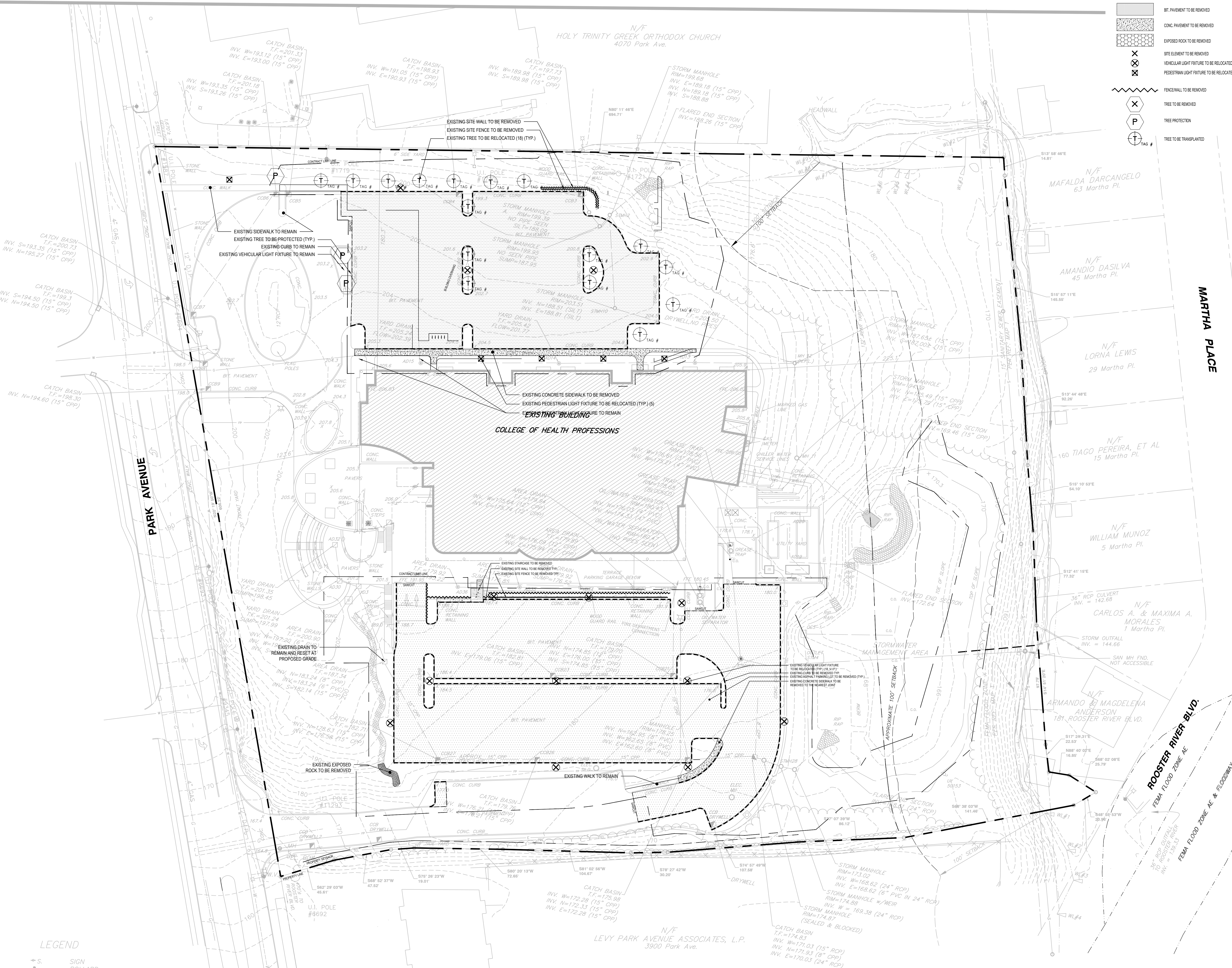
LEGEND

- S. SIGN
- BOLLARD
- LIGHT POLE
- UTILITY POLE
- G.V. GAS VALVE
- W.V. WATER VALVE

DL 1350 PAGE 9.  
SE 29B.  
PAGE 173.

NO.	DESCRIPTION	DATE

PROPERTY & TOPOGRAPHIC SURVEY





A  
B  
C  
D  
E

SITE LAYOUT LEGEND

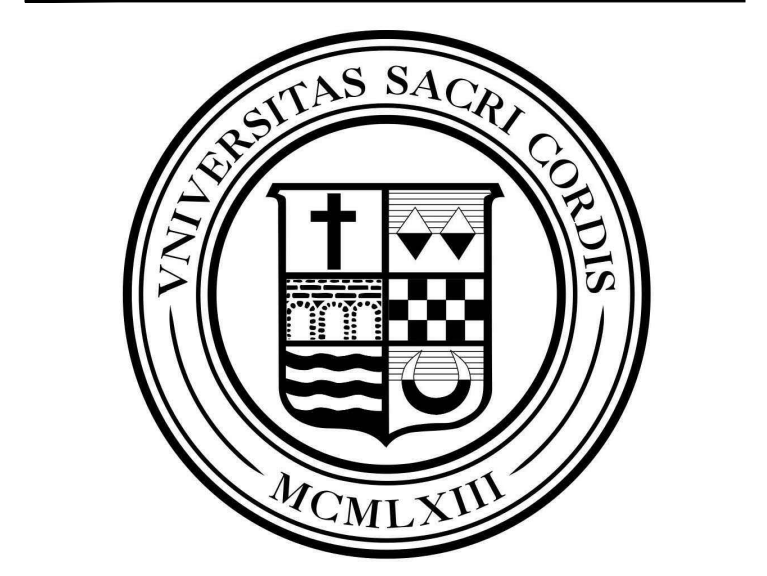
- PAINTED TRAFFIC ARROWS
- PAINTED HANDICAP SYMBOL
- PARKING SPACE QUANTITY
- INTEGRAL CONCRETE CURB
- EXPANSION JOINT AT EXISTING SIDEWALK



80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

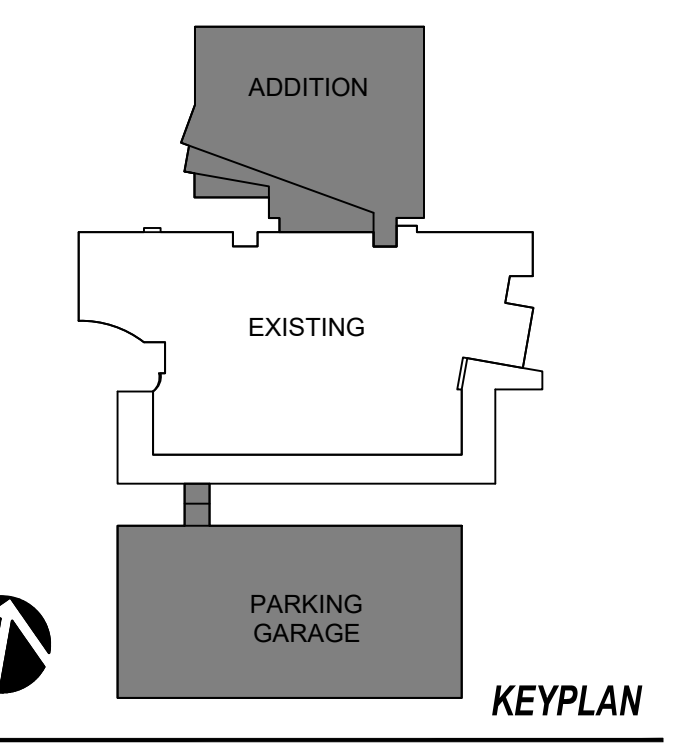
www.slamcoll.com

Drawn  
**EFS**  
Checked  
**DG**



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

SITE LAYOUT

Date: 12/29/2022  
Scale: 1" = 30'  
Drawing Number: **L201**  
21271.00

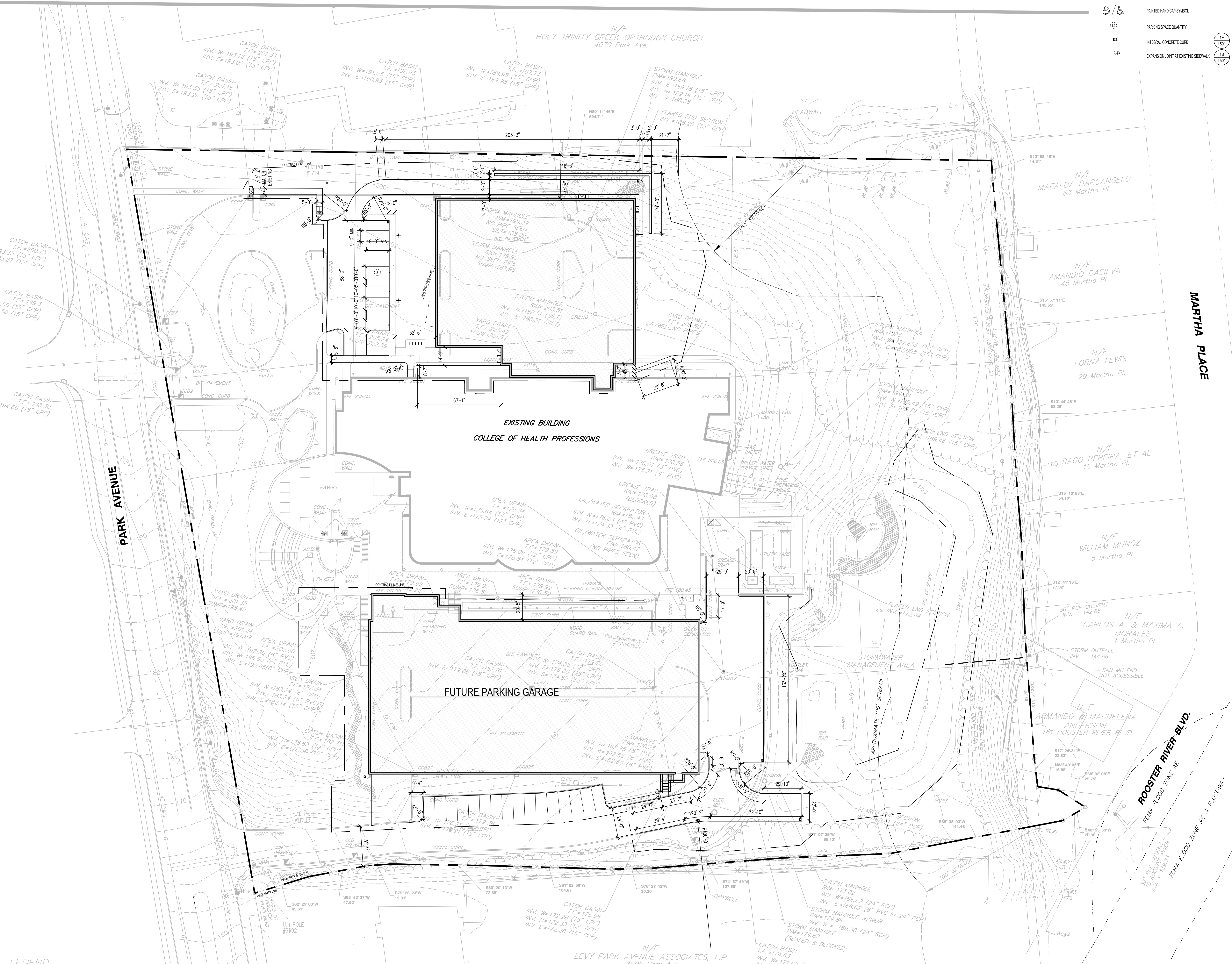
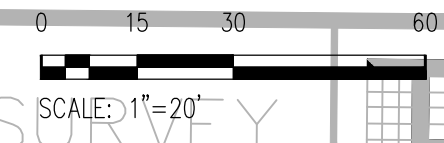
LEGEND

- SIGN
- BOLLARD
- LIGHT POLE
- UTILITY POLE
- GAS VALVE
- WATER VALVE

OL 1350 PAGE 9,  
E 298,  
PAGE 173.

NO.	DESCRIPTION	DATE

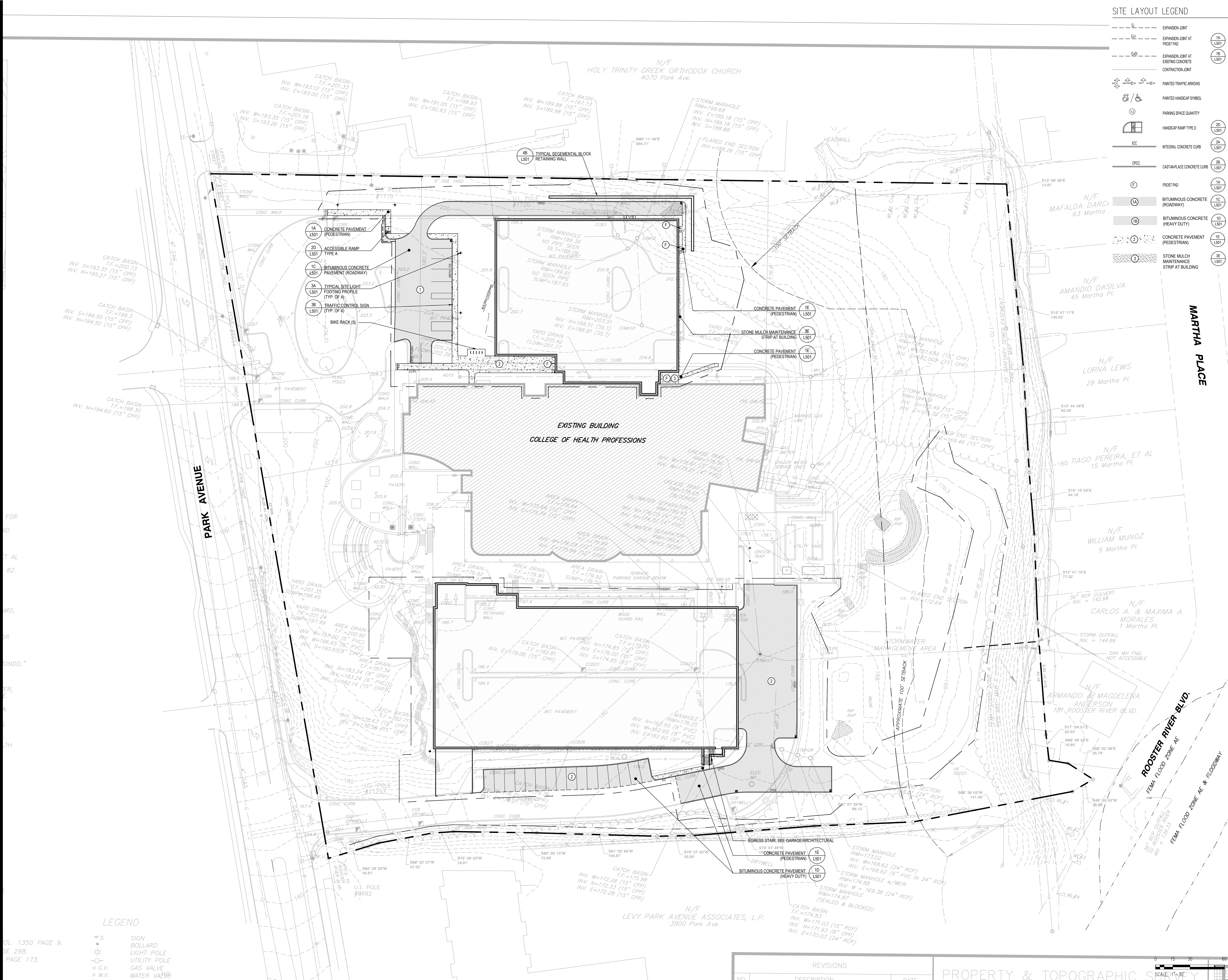
PROPERTY & TOPOGRAPHIC SURVEY



© 2013 The S/L/A/M Collaborative, Inc. P:\Projects\Proj21271\40-Drawings\02-Drawings\40-CAD\Sheet\2016\_SiteLayout.dwg December 27, 2022 - 5:08 PM



A  
B  
C  
D  
E



**SITE LAYOUT LEGEND**

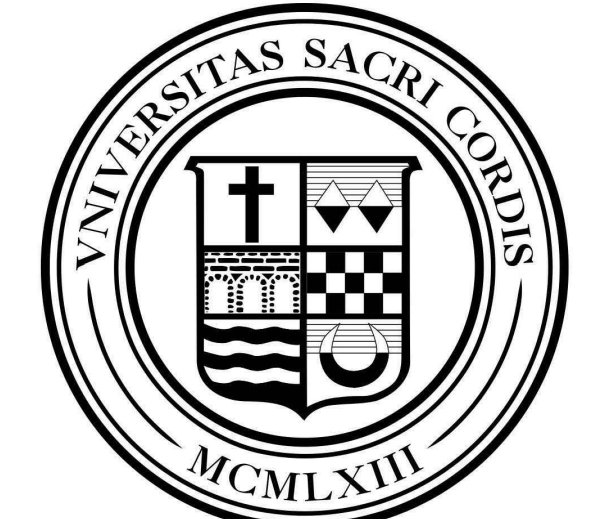
---	EXPANSION JOINT	(1A)	CONCRETE PAVEMENT (PEDESTRIAN)
---	EXPANSION JOINT AT FROST PAD	(1B)	ACCESSIBLE RAMP (L501)
---	EXPANSION JOINT AT EXISTING CONCRETE	(1C)	BITUMINOUS CONCRETE PAVEMENT (ROADWAY)
---	CONTRACTION JOINT	(1D)	BITUMINOUS CONCRETE (HEAVY DUTY)
---	CONTRACTION JOINT	(1E)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1F)	STONE MULCH MAINTENANCE STRIP AT BUILDING
---	CONTRACTION JOINT	(1G)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1H)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1I)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1J)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1K)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1L)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1M)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1N)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1O)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1P)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1Q)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1R)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1S)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1T)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1U)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1V)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1W)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1X)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1Y)	CONCRETE PAVEMENT (PEDESTRIAN)
---	CONTRACTION JOINT	(1Z)	CONCRETE PAVEMENT (PEDESTRIAN)



80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

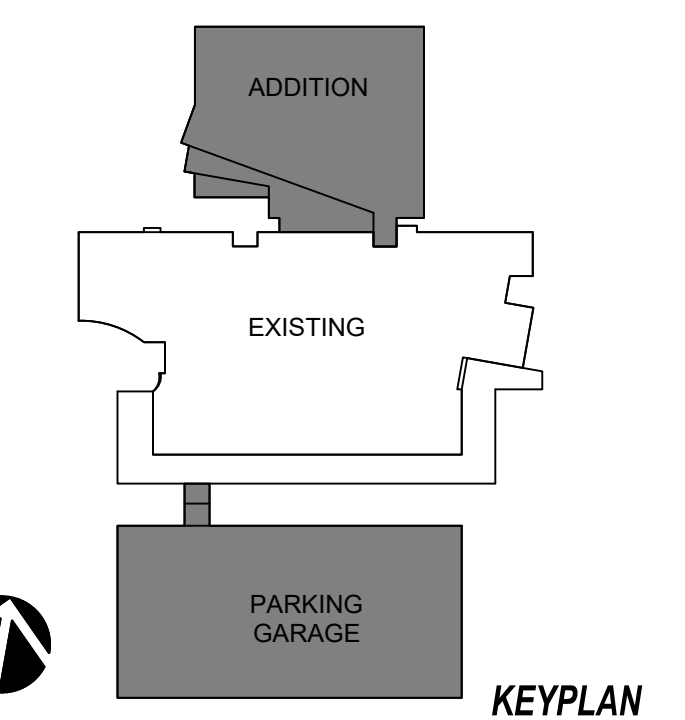
www.slamcoll.com

Drawn: EFS  
Checked: CVR



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

**SITE MATERIALS**

Date: 12/29/2022  
Scale: 1" = 30'  
Drawing Number: L202  
21271.00

**LEGEND**

+	SIGN
○	BOLLARD
×	LIGHT POLE
—	UTILITY POLE
○	G.V. GAS VALVE
○	W.V. WATER VALVE

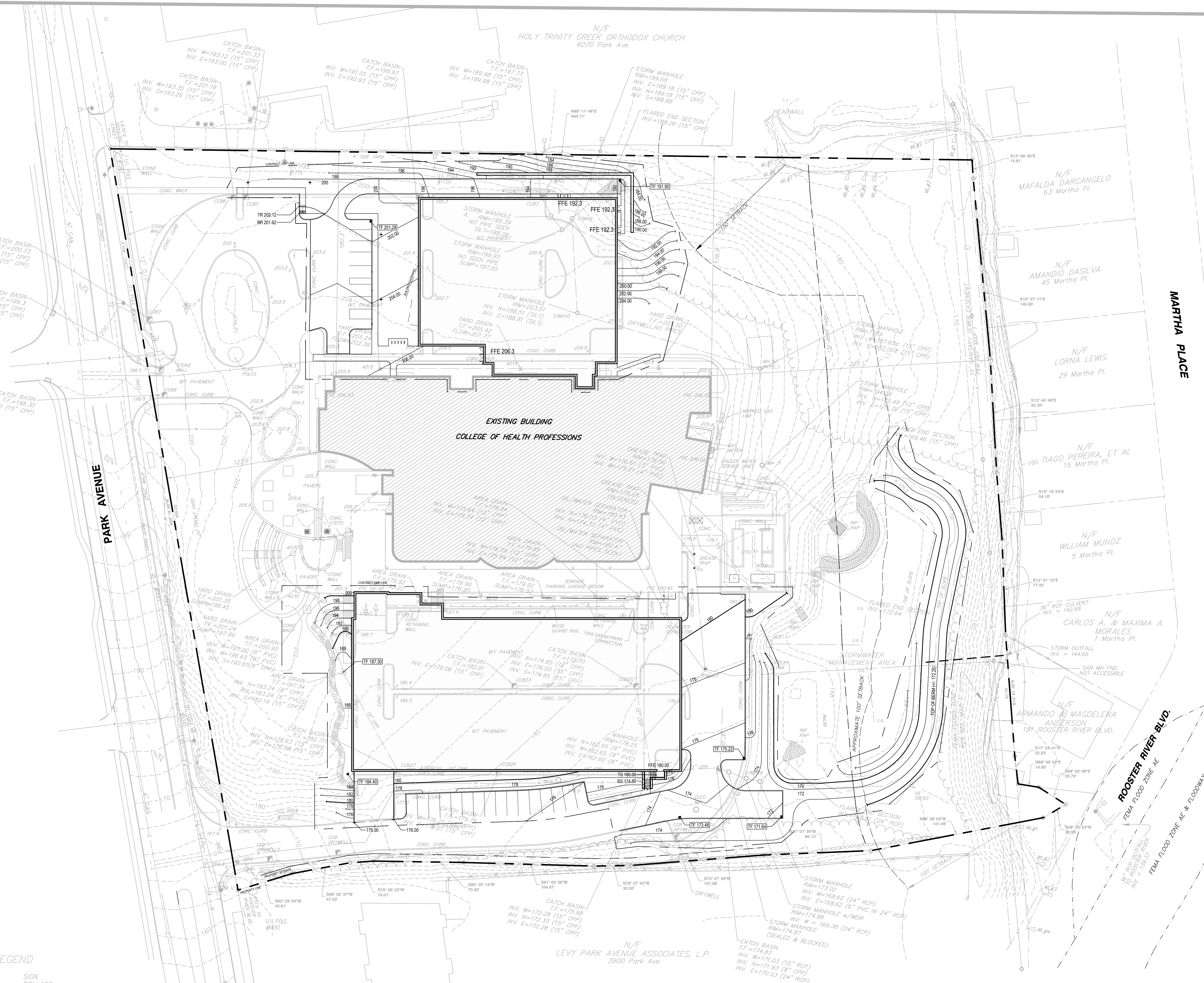
DL 1350 PAGE 9.  
SE 29B.  
PAGE 173.

PROGRESS PRINT  
NOT FOR CONSTRUCTION

P:\Projects\Prog2\1227140-Documentation\Drawings\4030-CAD\Sheet\205\_SiteMaterials.dwg December 27, 2022 - 5:13 PM



A  
B  
C  
D  
E

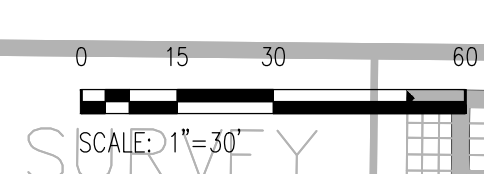


- LEGEND**
- S. SIGN
  - BOLLARD
  - LIGHT POLE
  - UTILITY POLE
  - G.V. GAS VALVE
  - W.V. WATER VALVE

OL 1350 PAGE 9.  
E 298.  
PAGE 173.

NO.	DESCRIPTION	DATE

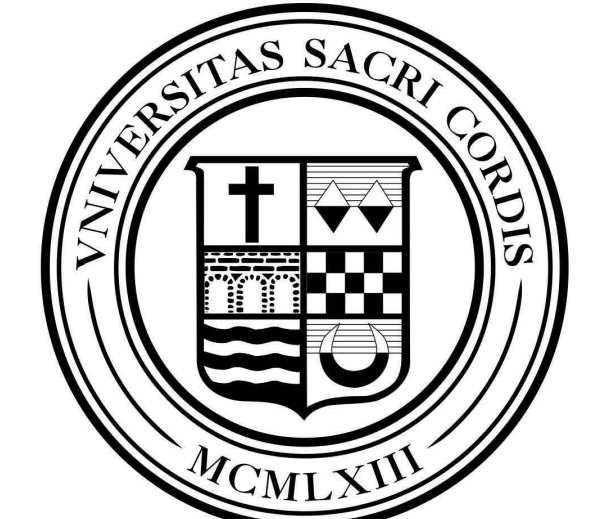
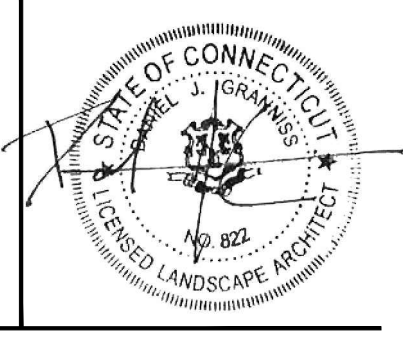
PROPERTY & TOPOGRAPHIC SURVEY



80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

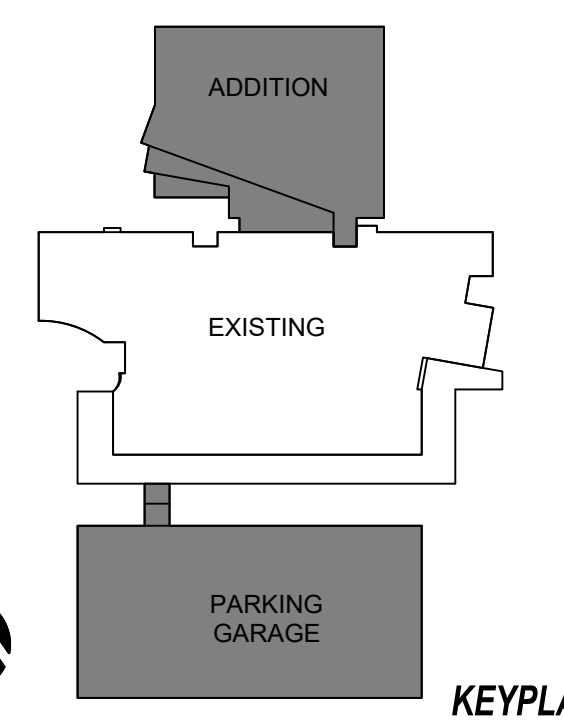
www.slamcoll.com

Drawn	EFS
Checked	DG



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



KEYPLAN

Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

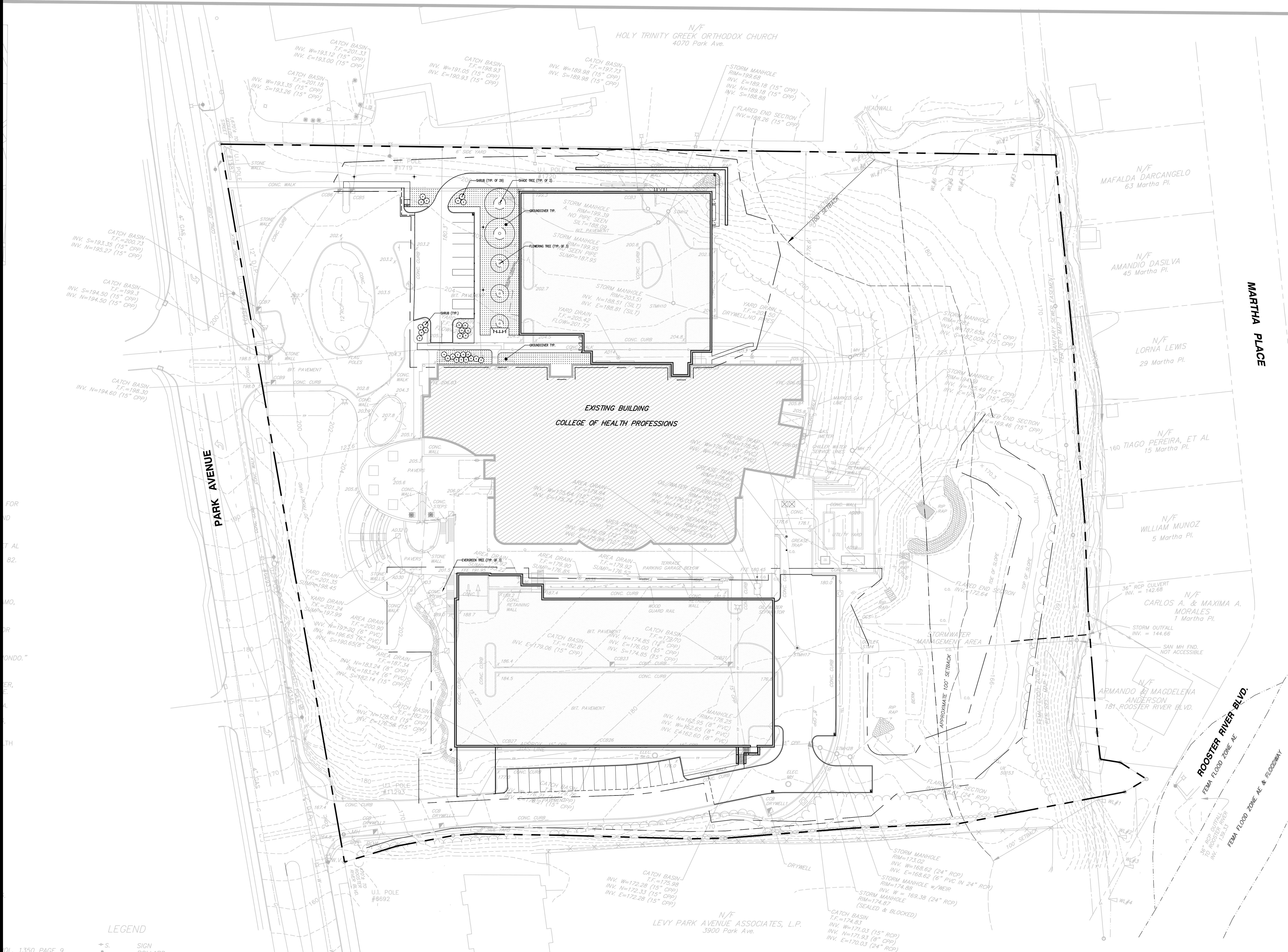
**SITE GRADING**

Date	12/29/2022	Drawing Number	L301
Scale	1" = 30'	Proj. Number	21271.00

PROGRESS PRINT  
NOT FOR CONSTRUCTION



A  
B  
C  
D  
E



**LEGEND**

• S.	SIGN
• BOLLARD	BOLLARD
• LIGHT POLE	LIGHT POLE
• UTILITY POLE	UTILITY POLE
• G.V.	GAS VALVE
• W.V.	WATER VALVE

OL. 1350 PAGE 9.  
 RE 298.  
 PAGE 173.

**REVISIONS**

NO.	DESCRIPTION	DATE

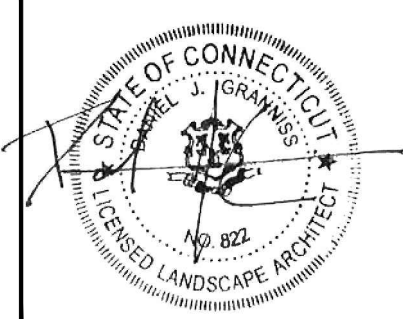
PROPERTY & TOPOGRAPHIC SURVEY



80 Glastonbury Boulevard  
 Glastonbury, CT 06033-4410  
 Phone: 860 657.8077

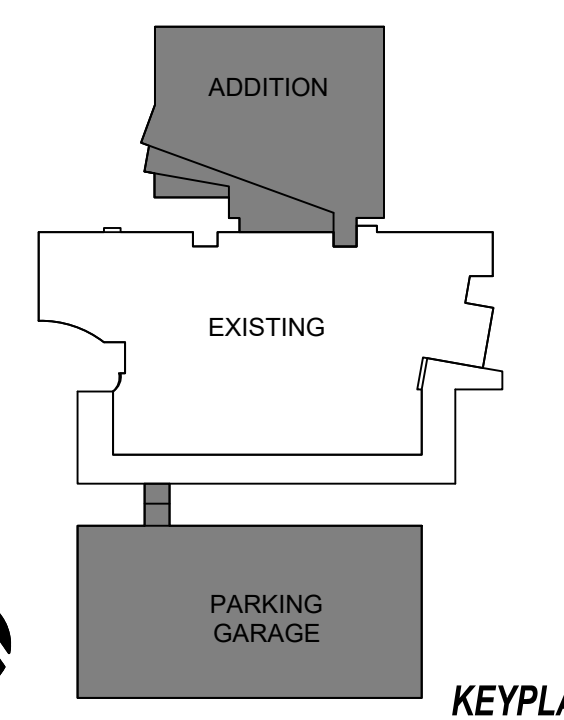
www.slamcoll.com

Drawn	EFS
Checked	CVR



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
 Bridgeport, CT 06606



Number Date Issued For

1	12/29/2022	ISSUED FOR PLANNING AND ZONING
---	------------	--------------------------------

**SITE PLANTING**

Date: 12/29/2022  
 Scale: 1" = 30'  
 Plot Number: 21271.00

**L401**

PROGRESS PRINT  
 NOT FOR CONSTRUCTION



A

B

C

D

E

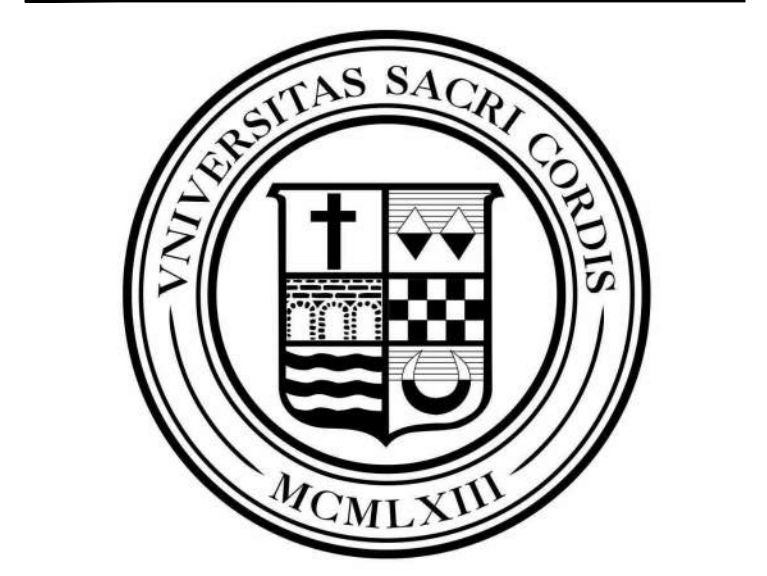
PLANT SCHEDULE						
DECIDUOUS SHADE TREES	BOTANICAL NAME	COMMON NAME	ROOT	CAL.	SIZE	REMARKS
	LILYUS AMERICANA 'PRINCETON'	PRINCETON ELM	B&B	4 - 4 1/2"		SINGLE TRUNK EVEN BRANCHING, GOOD COLOR, SPECIMEN QUALITY, MATCHED SPECIMEN WHEN NOTED
	ACER RUBRUM 'BOWHALL'	BOWHALL MAPLE	B&B	3 - 3 1/2"		SINGLE, STRAIGHT TRUNK; SPECIMEN QUALITY
	QINQO BLOBA 'FASTIGIATA'	FASTIGIATE MADEIRA TREE	B&B	3 - 3 1/2"		SINGLE, STRAIGHT TRUNK; SPECIMEN QUALITY
	QUERCUS PALUSTRIS	PIN OAK	B&B	3 - 3 1/2"		SINGLE, STRAIGHT TRUNK; SPECIMEN QUALITY
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	ROOT	CAL.	SIZE	REMARKS
	ABIES FRASER	FRASER FIR	B&B	7-8'	HT	SINGLE TRUNK EVEN BRANCHING, GOOD COLOR, SPECIMEN QUALITY, MATCHED SPECIMEN WHEN NOTED
	ABIES CONCOLOR	WHITE FIR	B&B	7-8'	HT	SINGLE TRUNK EVEN BRANCHING, GOOD COLOR, SPECIMEN QUALITY, MATCHED SPECIMEN WHEN NOTED
	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES SPRUCE	B&B	7-8'	HT	SINGLE TRUNK EVEN BRANCHING, GOOD COLOR, SPECIMEN QUALITY, MATCHED SPECIMEN WHEN NOTED
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	ROOT	CAL.	SIZE	REMARKS
	ACER PALMATUM	JAPANESE MAPLE	B&B	2 - 2 1/2"	10-12' HT	SINGLE TRUNK EVEN BRANCHING, GOOD COLOR, SPECIMEN QUALITY, MATCHED SPECIMEN WHEN NOTED
	CORNUS KOUSA	KOUSA DOGWOOD	B&B	2 - 2 1/2"	10-12' HT	SINGLE TRUNK EVEN BRANCHING, GOOD COLOR, SPECIMEN QUALITY, MATCHED SPECIMEN WHEN NOTED
	PRUNUS 'FIRST BLUSH'	FIRST BLUSH FLOWERING CHERRY	B&B	2 - 2 1/2"	10-12' HT	SINGLE TRUNK EVEN BRANCHING, GOOD COLOR, SPECIMEN QUALITY, MATCHED SPECIMEN WHEN NOTED
SHRUBS	BOTANICAL NAME	COMMON NAME	ROOT	SPACING	REMARKS	
	AZALEA X DOUBLE SHOT SALMON	DOUBLE SHOT SALMON AZALEA	3 GAL	3' O.C.	WELL-ROOTED, DENSE FOLIAGE; HEALTHY; STEMS, GOOD COLOR	
	AZALEA X 'GRARD'S PLEASANT WHITE'	GRARD'S PLEASANT WHITE AZALEA	3 GAL	3' O.C.	WELL-ROOTED, DENSE FOLIAGE; HEALTHY; STEMS, GOOD COLOR	
	AZALEA X 'GRARD'S ORMOND'	GRARD'S ORMOND AZALEA	3 GAL	3' O.C.	WELL-ROOTED, DENSE FOLIAGE; HEALTHY; STEMS, GOOD COLOR	
	CORNUS SERICEA 'VELVET'	DIWHY RED-OSIER DOGWOOD	3 GAL	3' O.C.	WELL-ROOTED, DENSE FOLIAGE; HEALTHY; STEMS, GOOD COLOR	
	ILEX CLABRA 'SHAMROCK'	INBERRY 'SHAMROCK'	3 GAL	3' O.C.	WELL-ROOTED, DENSE FOLIAGE; HEALTHY; STEMS, GOOD COLOR	
	VACCINIUM ANGSTIFOLIUM	LOW BUSH BLUEBERRY	3 GAL	3' O.C.	WELL-ROOTED, DENSE FOLIAGE; HEALTHY; STEMS, GOOD COLOR	
GROUNDCOVER	BOTANICAL NAME	COMMON NAME	ROOT	SPACING	REMARKS	



80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

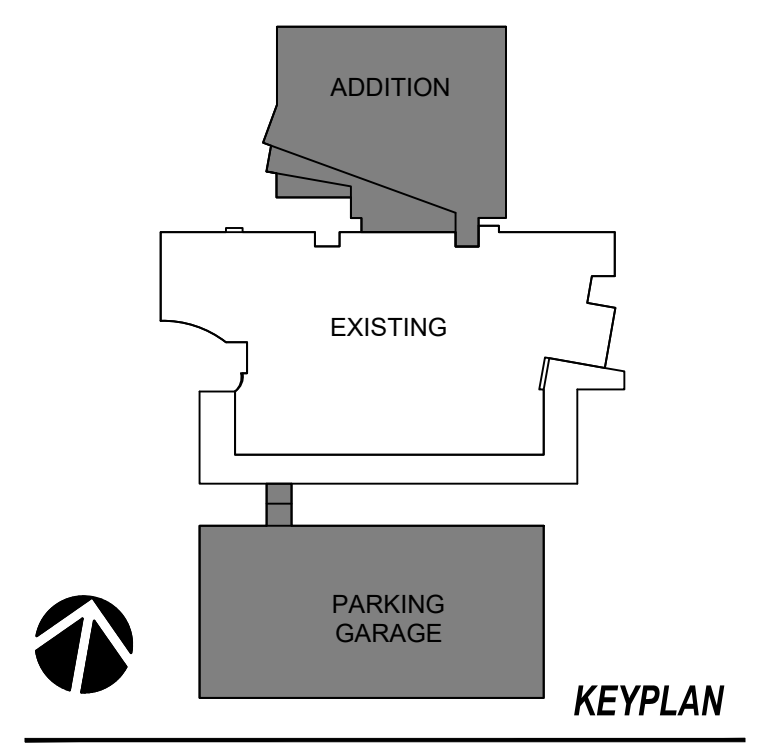
www.slamcoll.com

Drawn  
EFS  
Checked  
CVR



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606

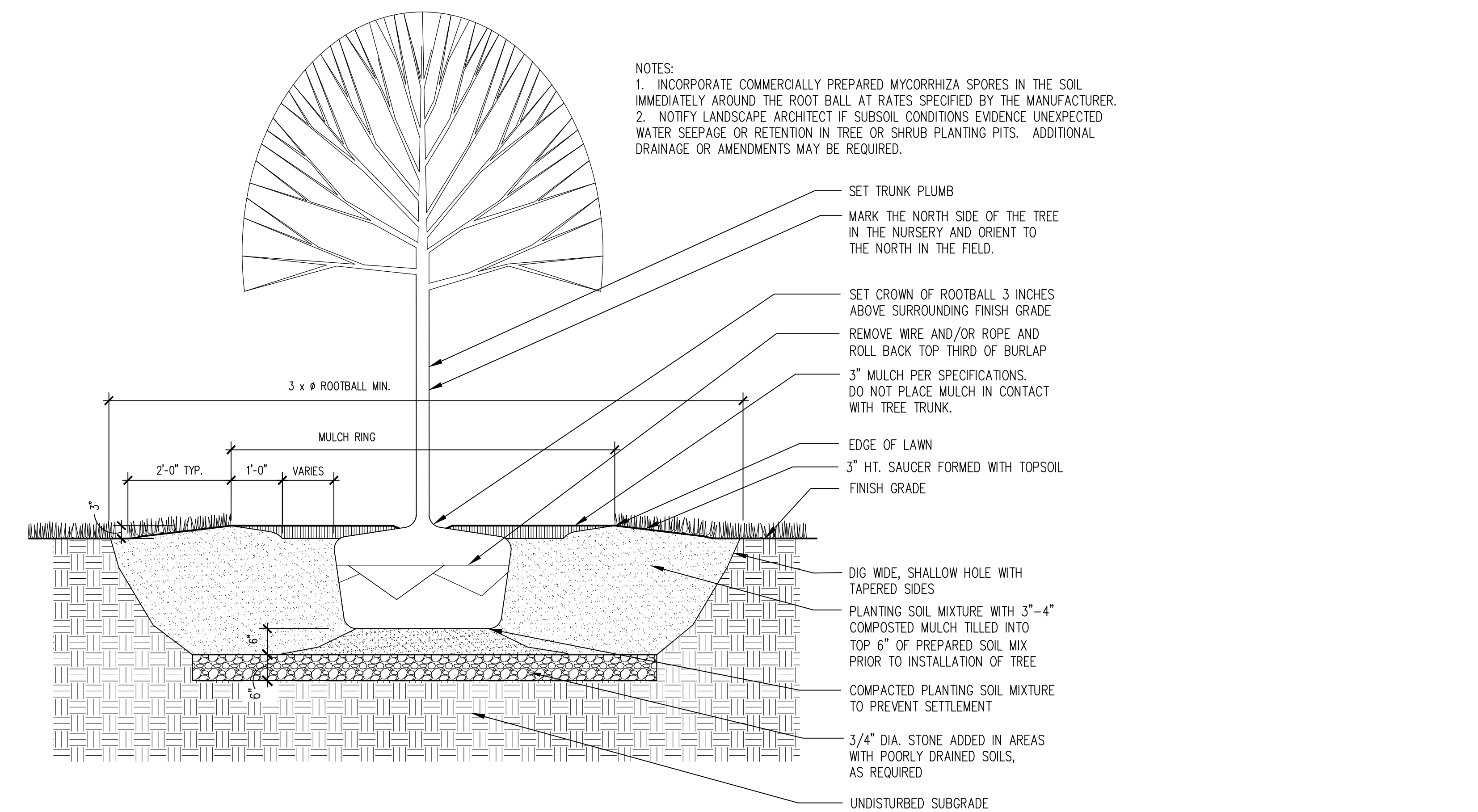


Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

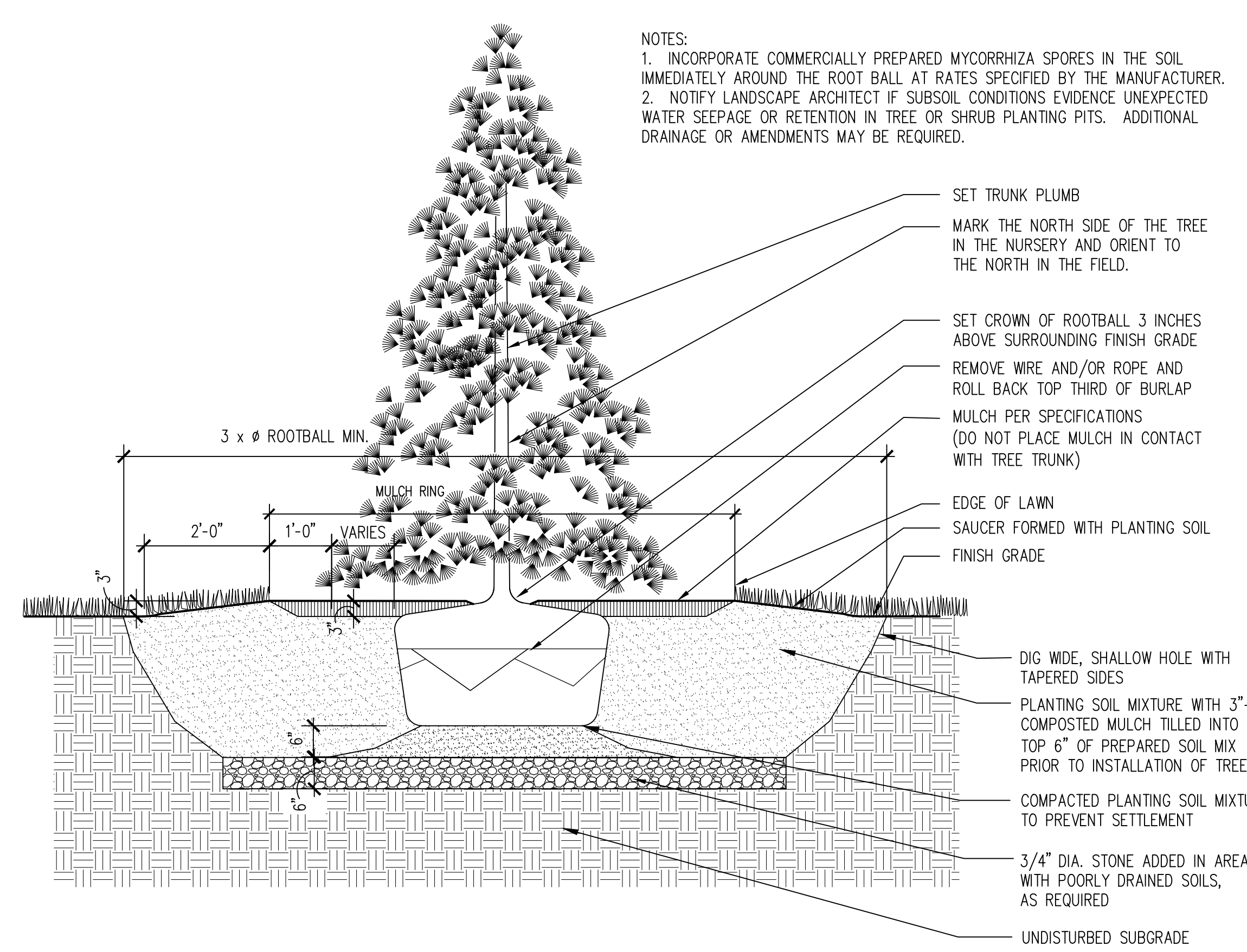
**PLANTING DETAILS**

Date: 12/29/2022  
Scale: 1" = 30'  
Proj. Number: 21271.00

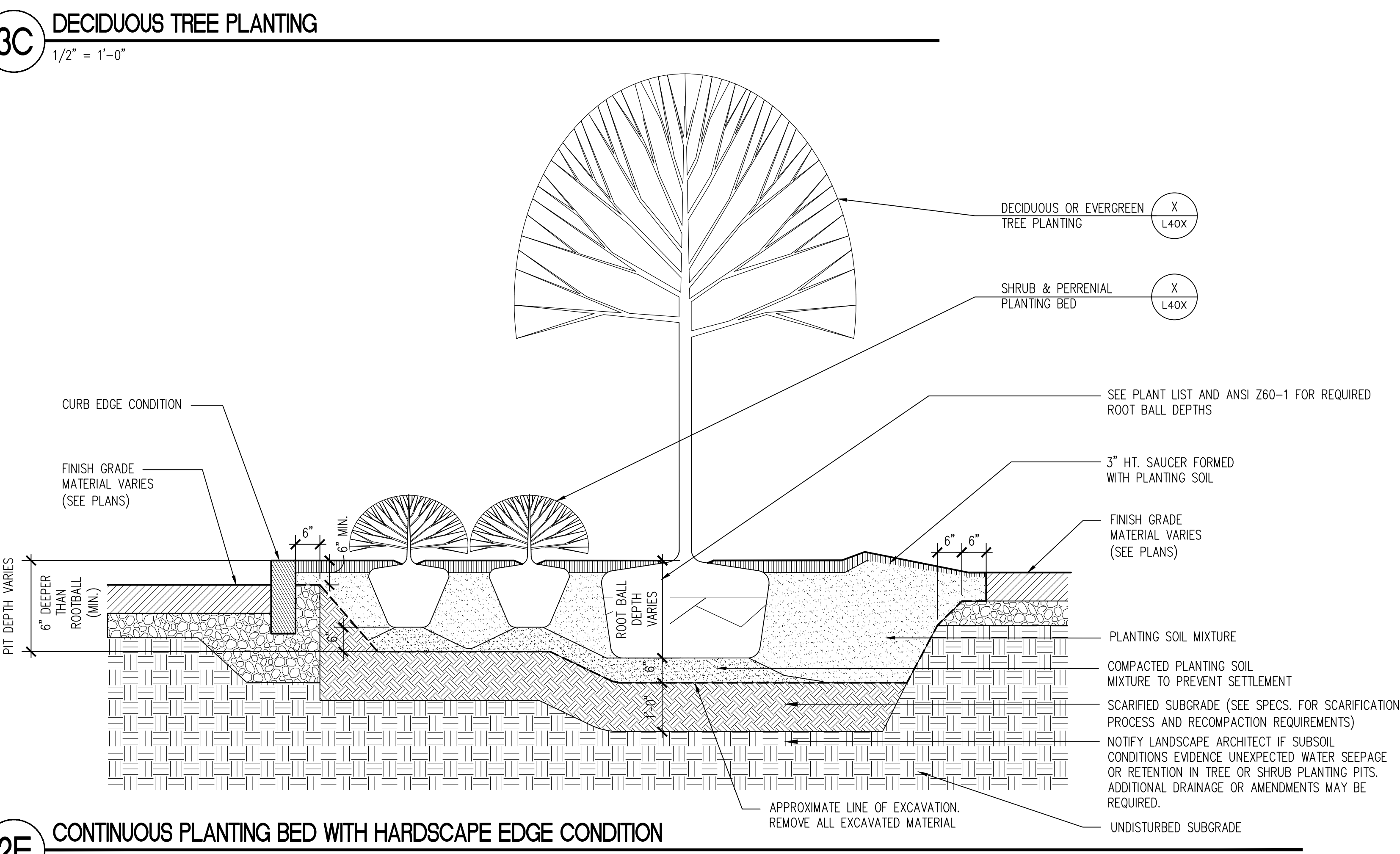
**L402**



**4B SHRUB PLANTING BED**  
N.T.S.

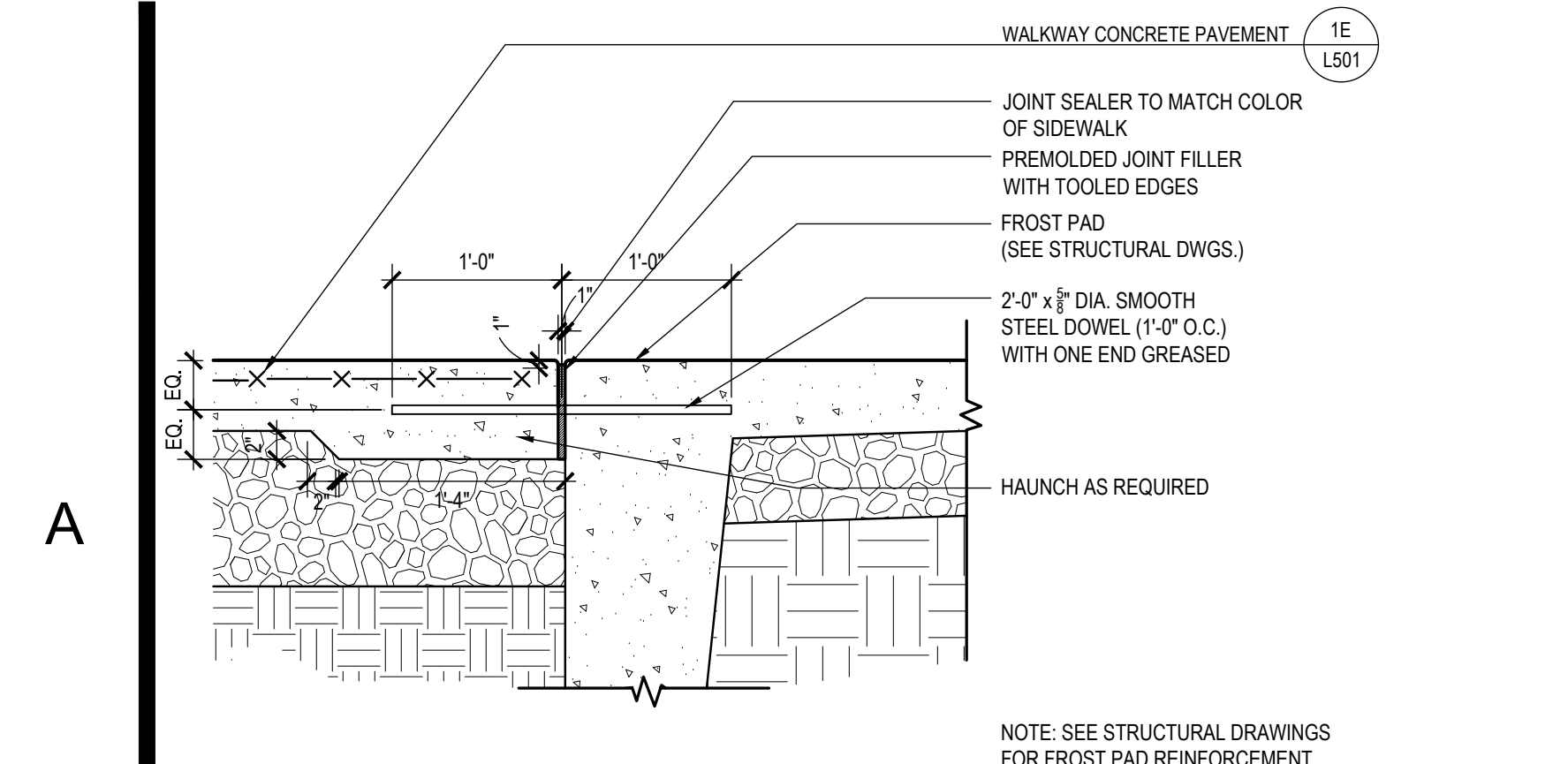


**4C EVERGREEN TREE PLANTING**  
NOT TO SCALE



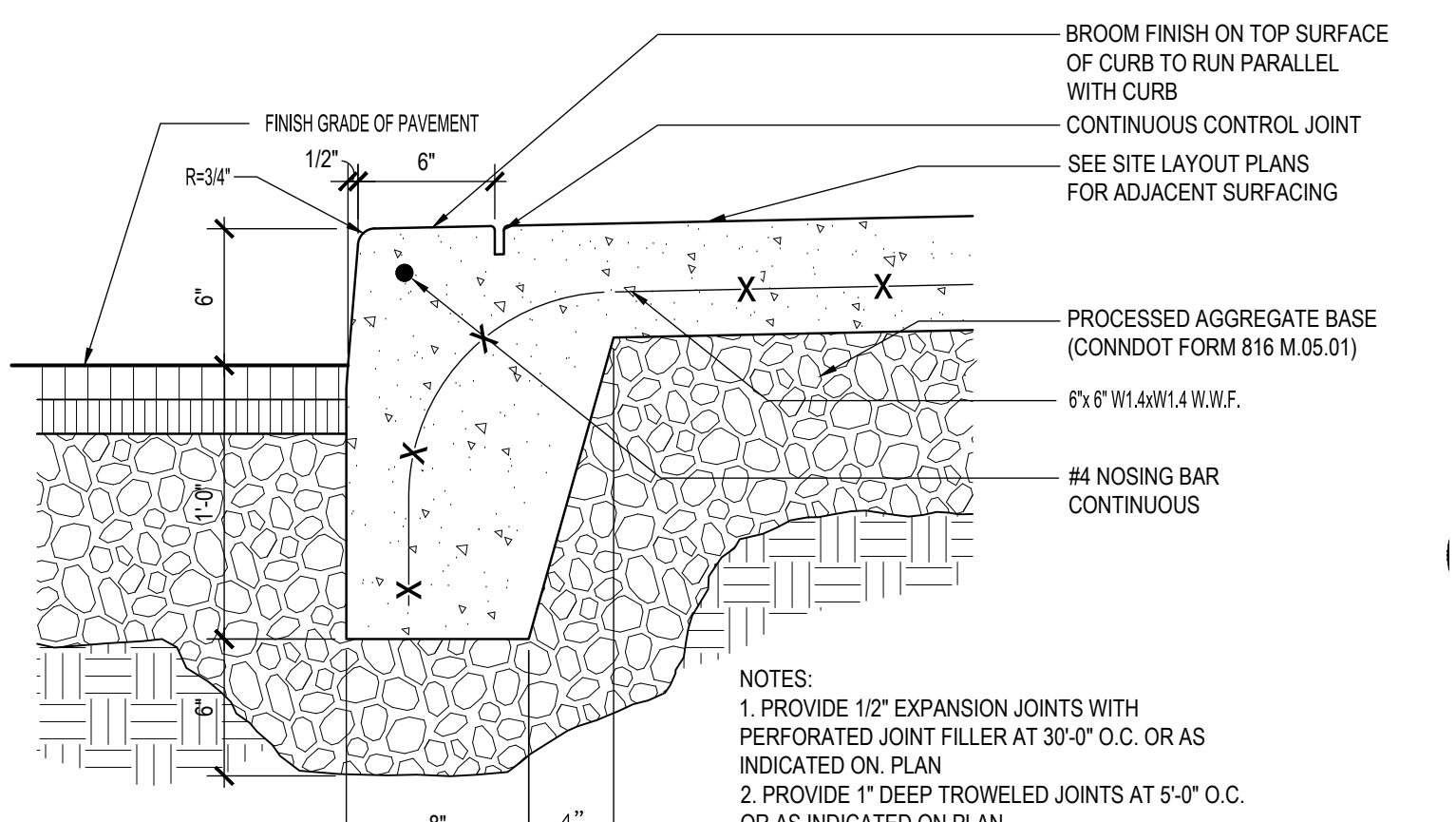


1



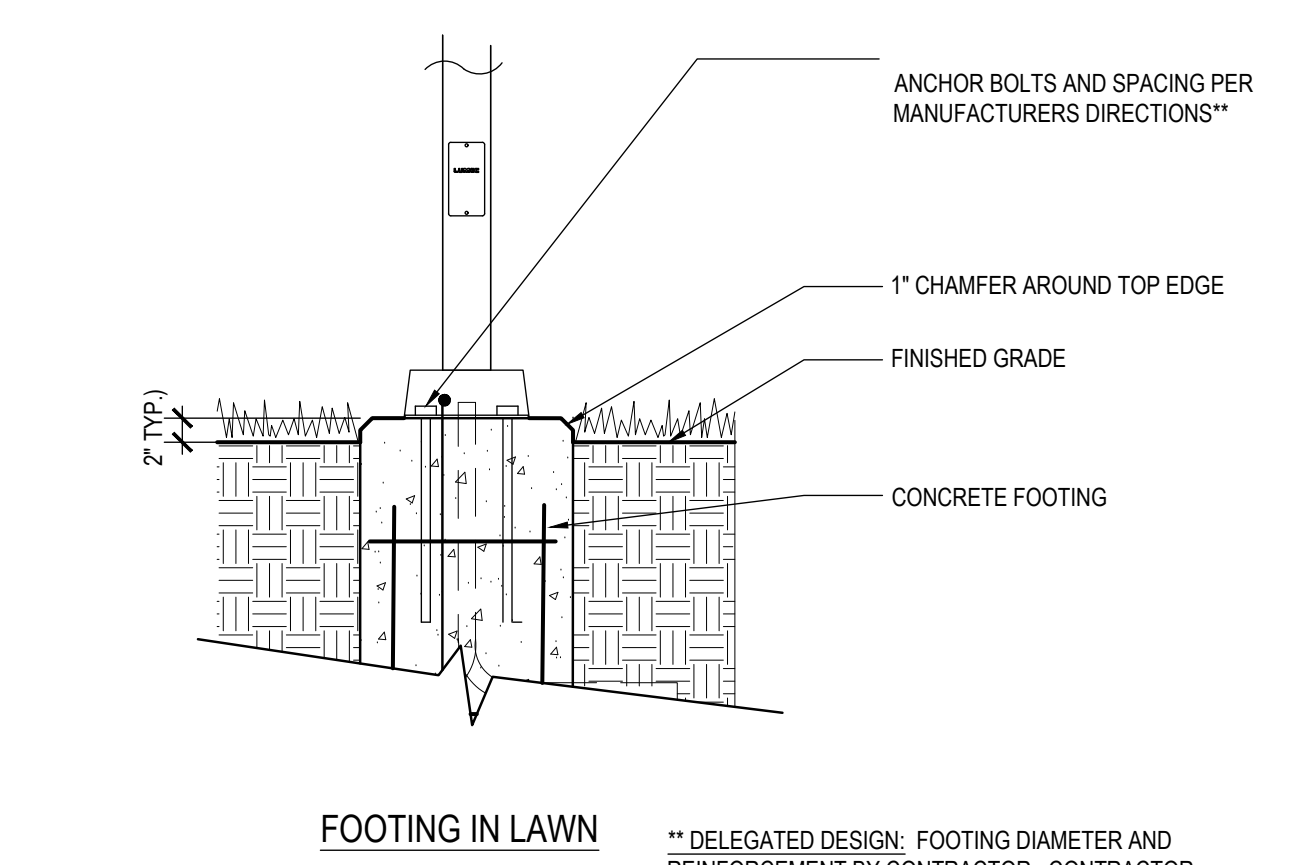
1A FROST PAD AT CONCRETE WALK (EJ-1)

2



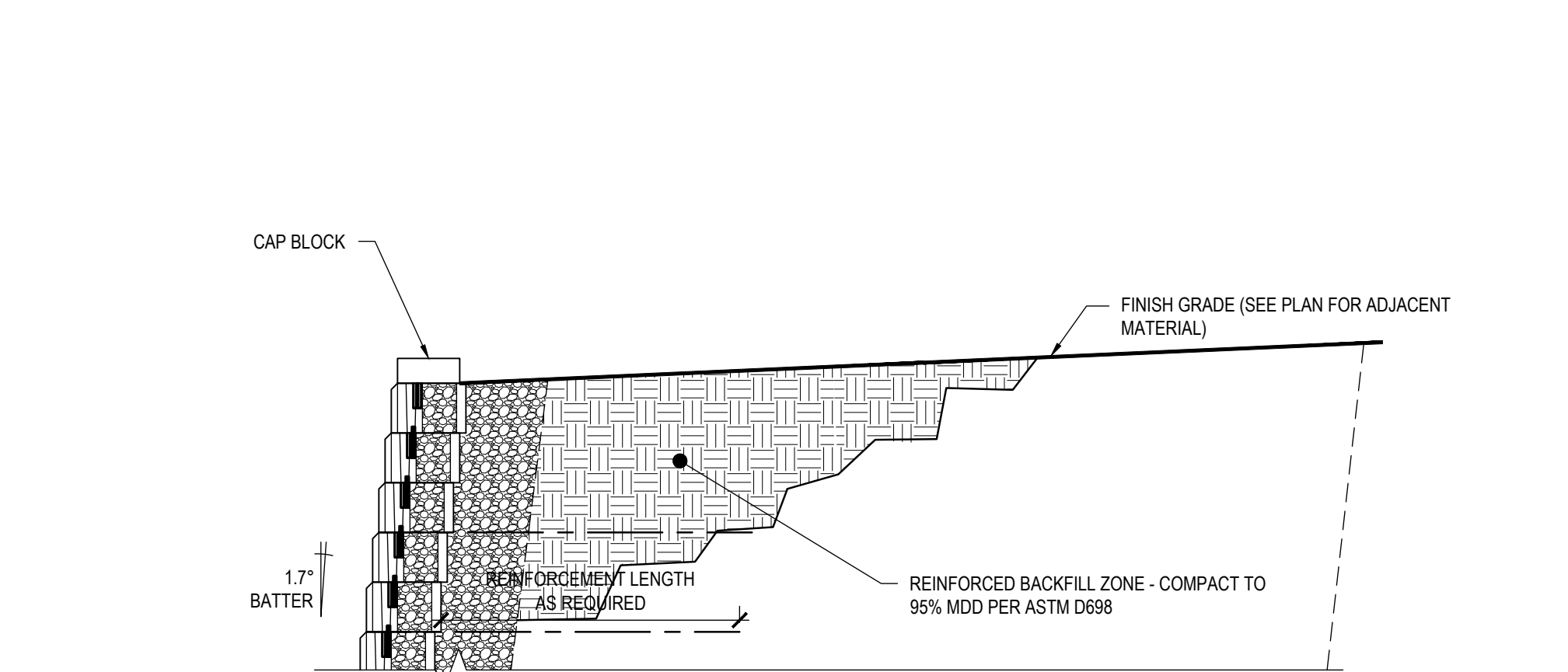
2A INTEGRAL CONCRETE CURB (ICC)

3



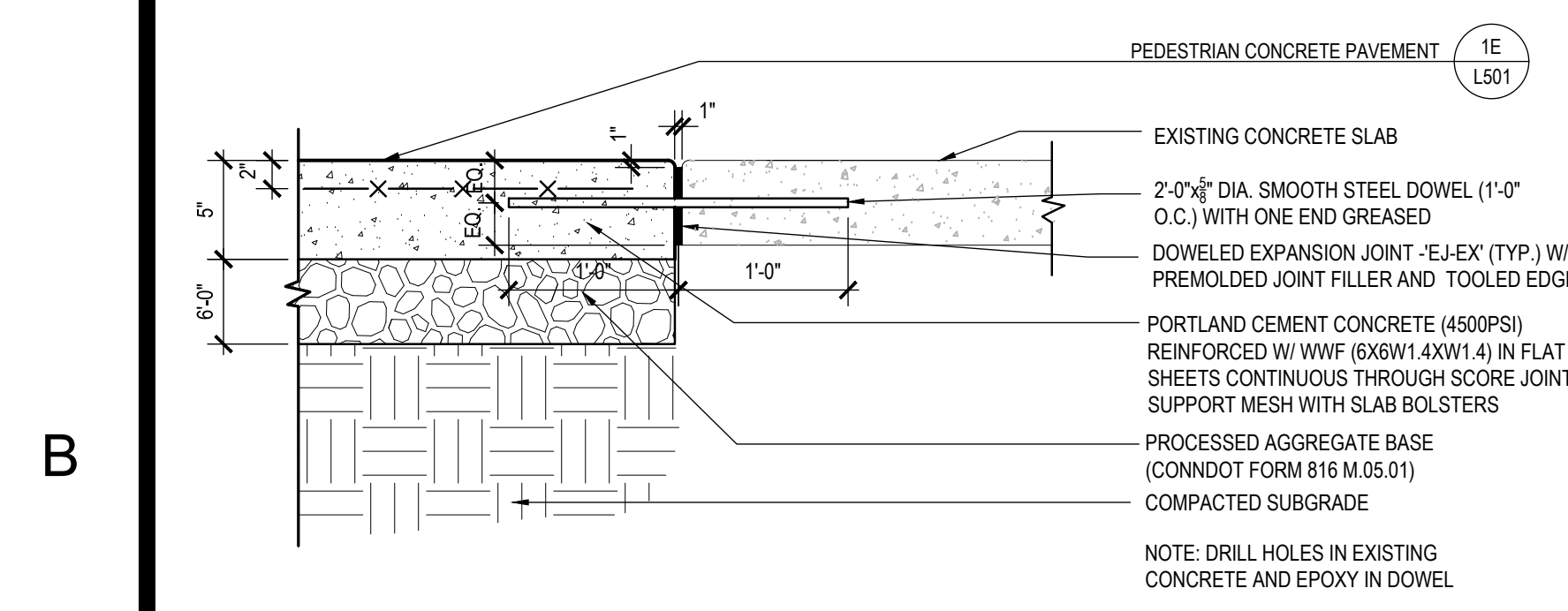
3A TYPICAL SITE LIGHT POLE FOOTING PROFILE

4

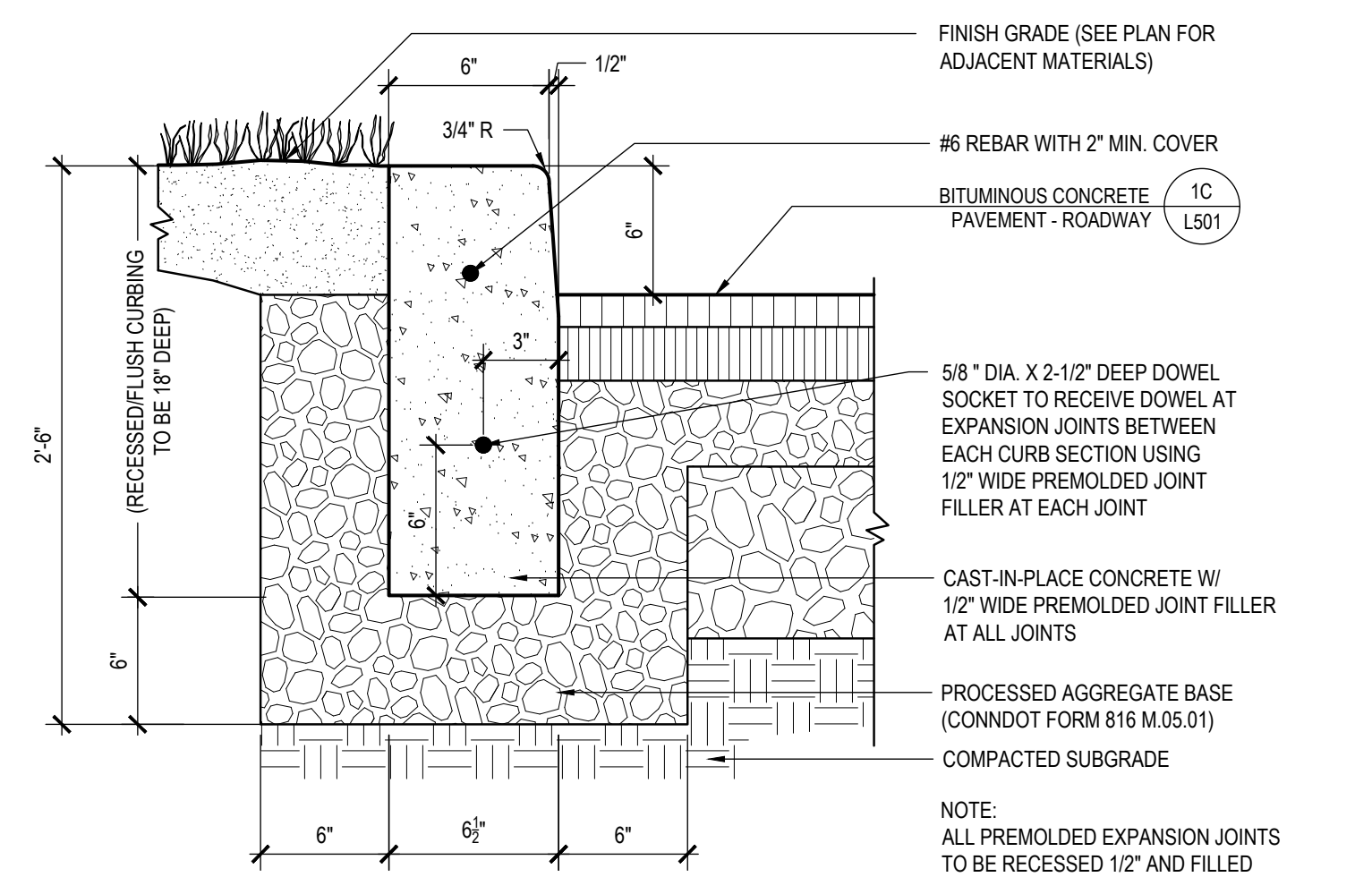


4B TYPICAL SEGMENTAL BLOCK RETAINING WALL

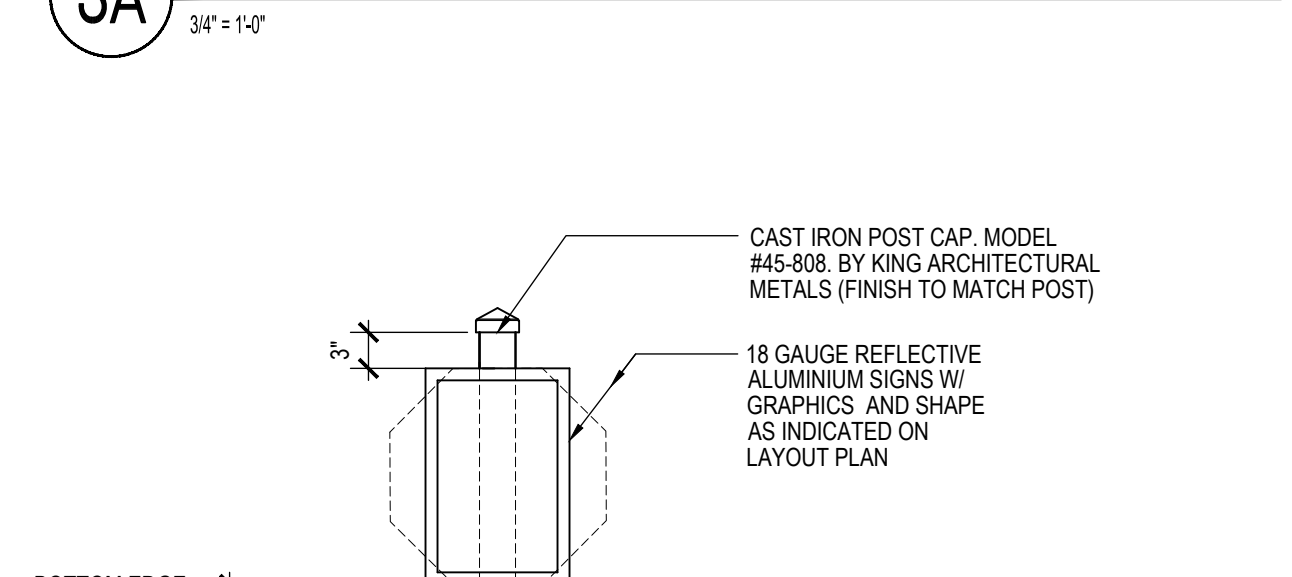
5



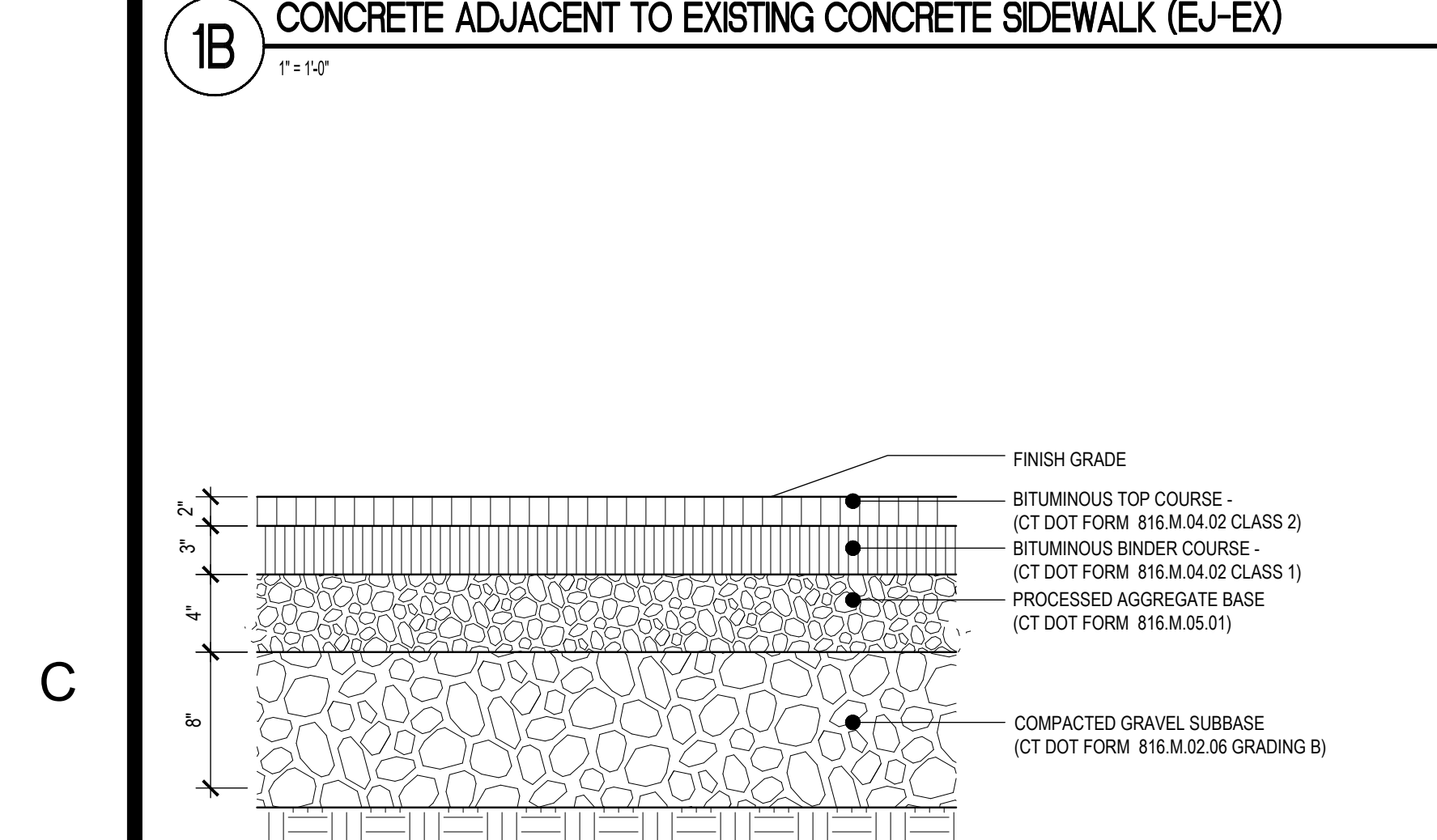
1B CONCRETE ADJACENT TO EXISTING CONCRETE SIDEWALK (EJ-EX)



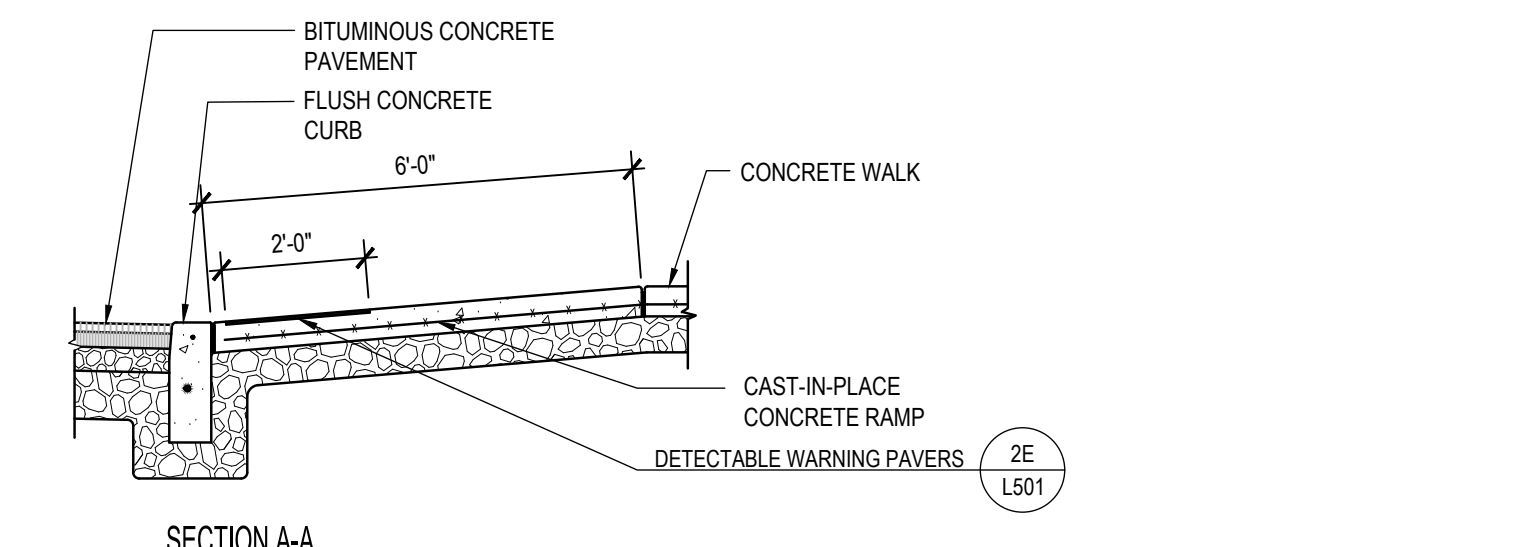
2B CAST-IN-PLACE CONCRETE CURB (CPCC)



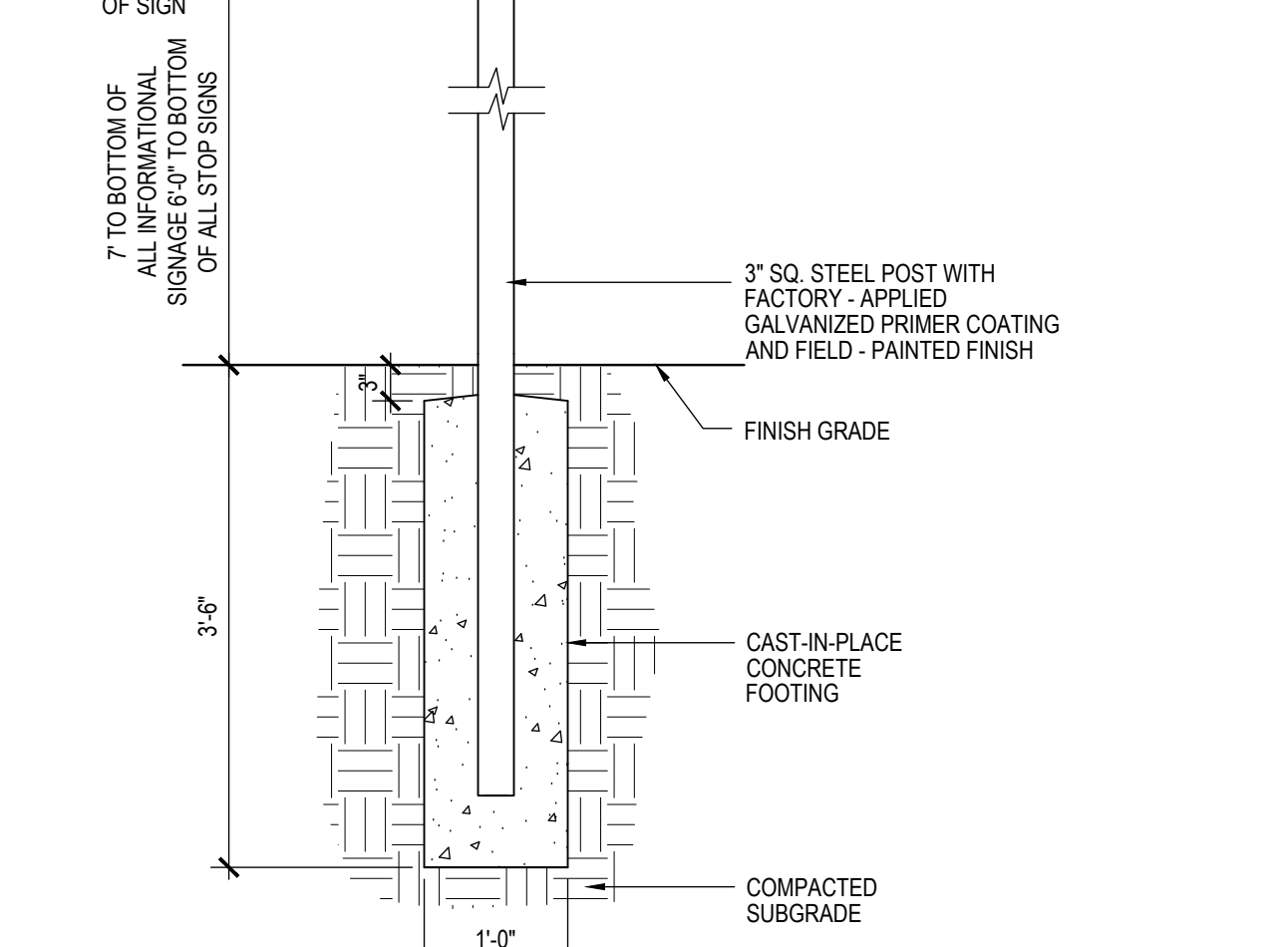
2C TRAFFIC CONTROL SIGN



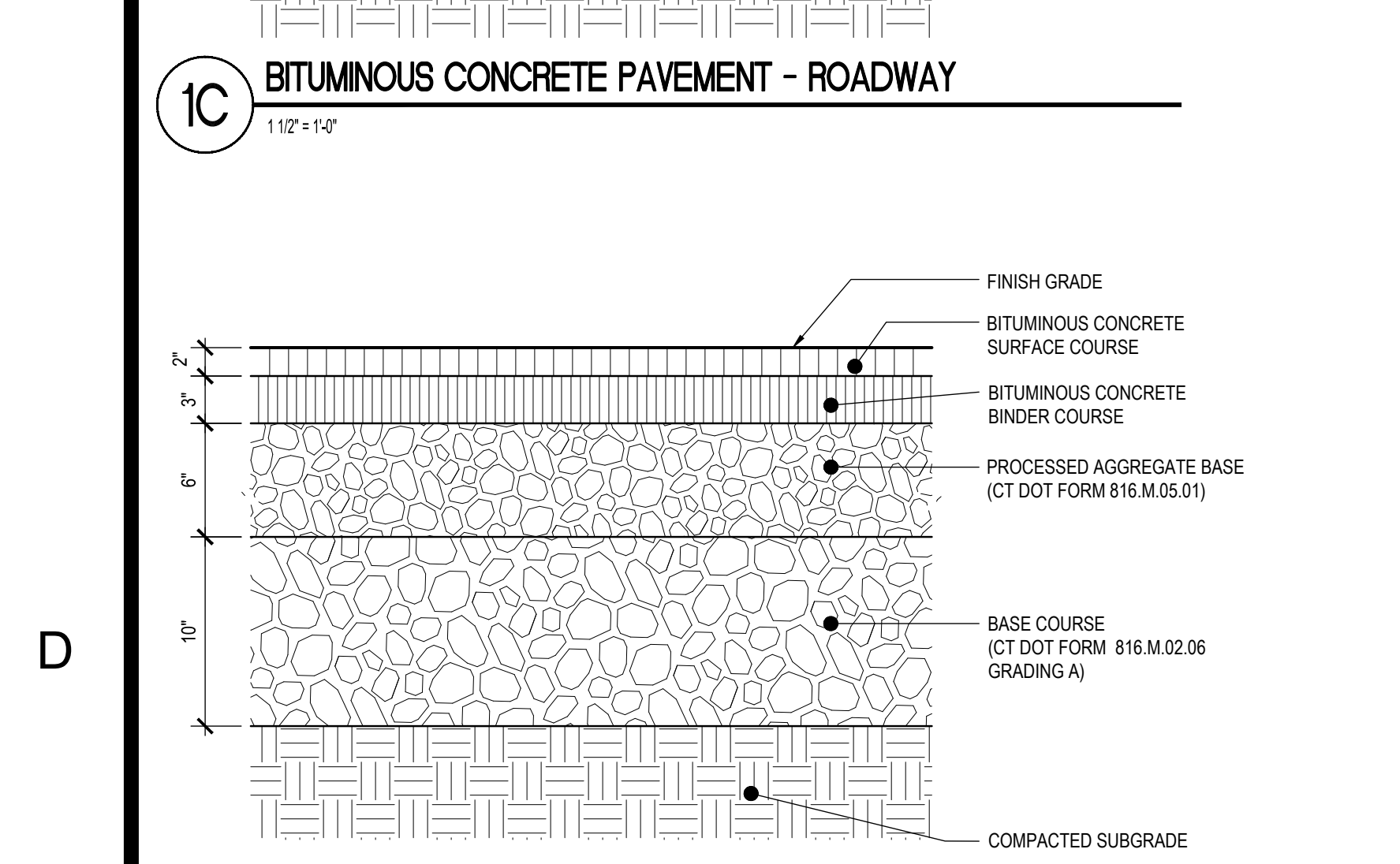
1C BITUMINOUS CONCRETE PAVEMENT - ROADWAY



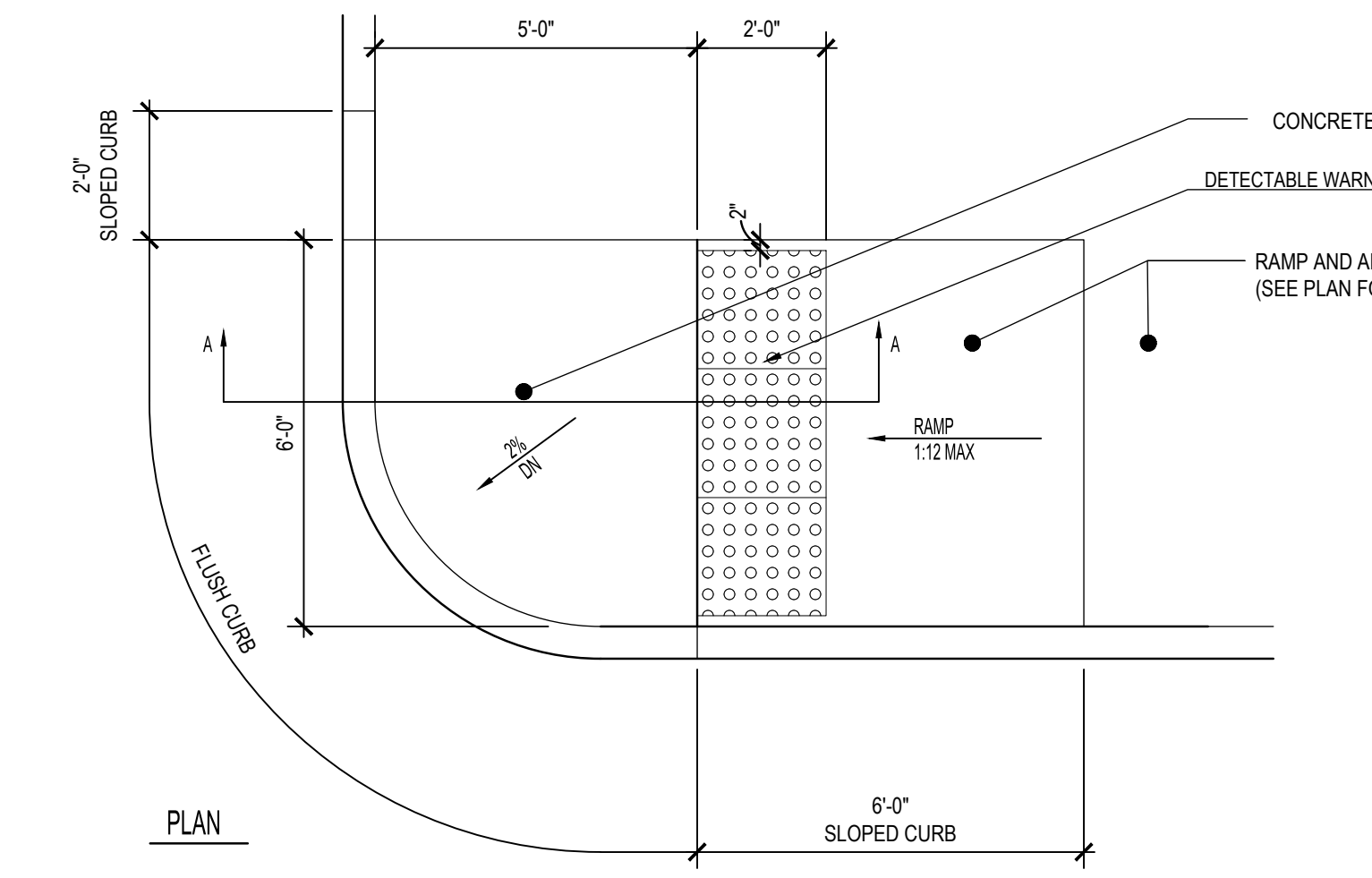
2D ACCESSIBLE CURB RAMP - TYPE A



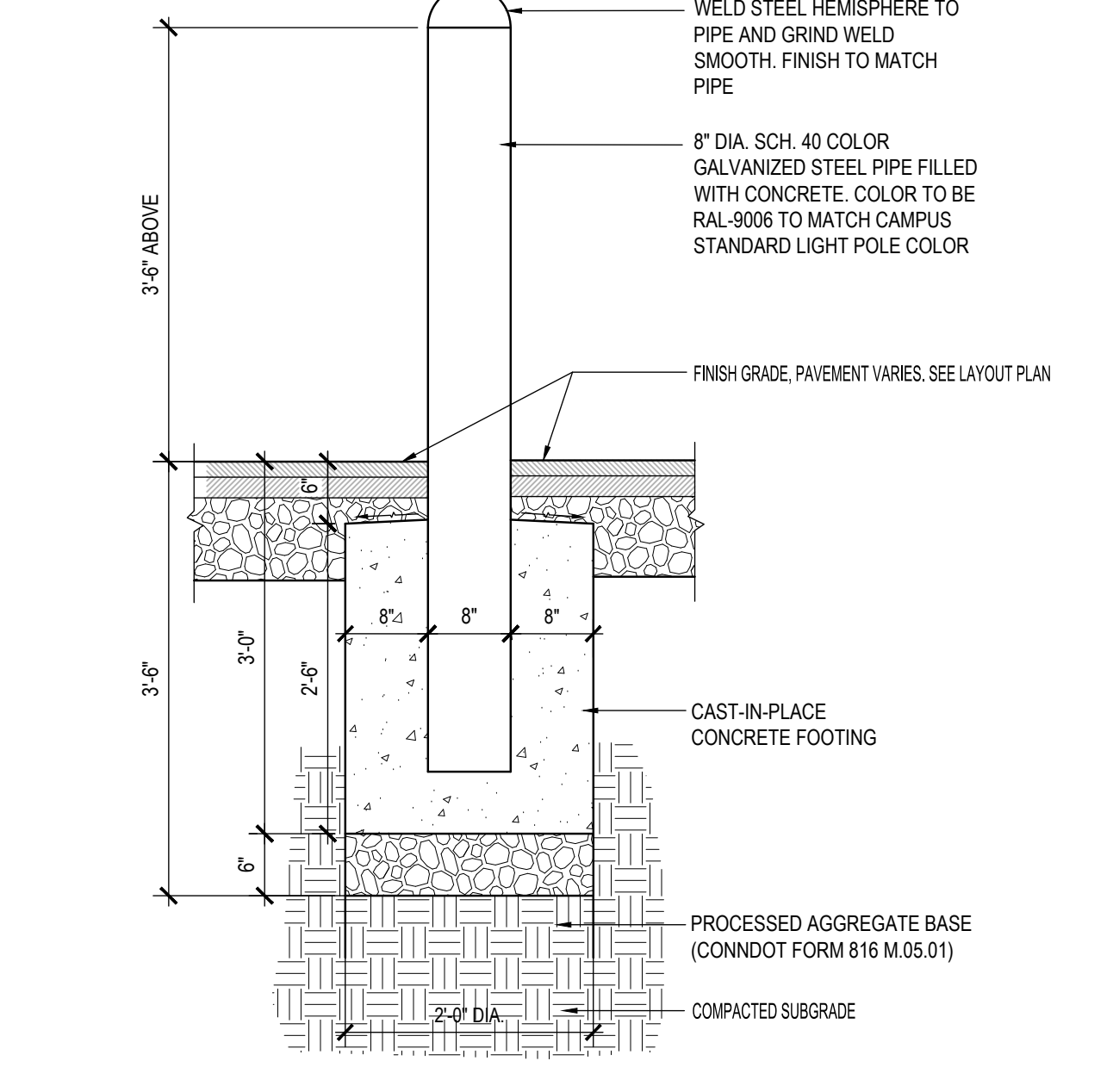
3D STEEL PIPE BOLLARD - CONCRETE FILLED



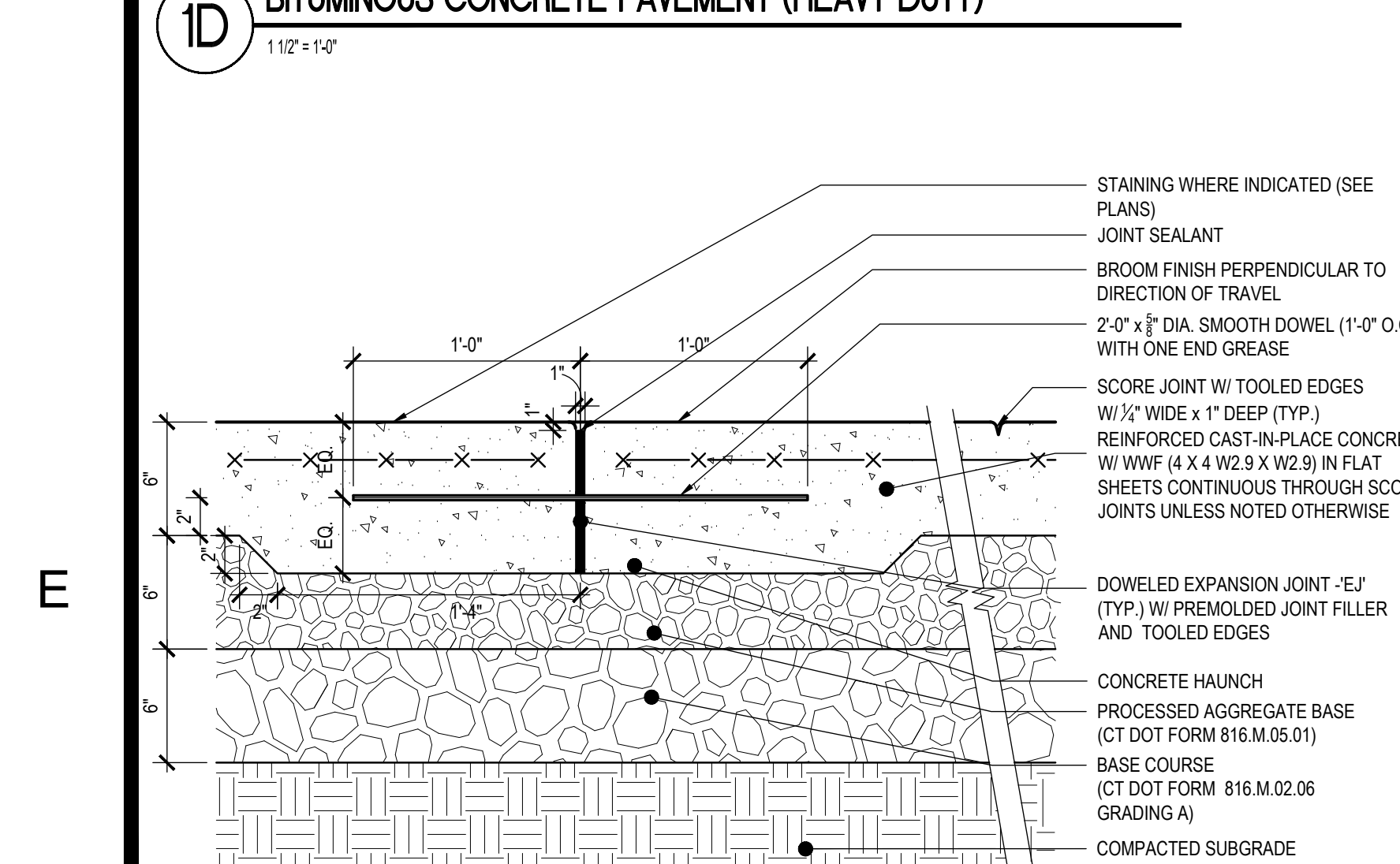
1D BITUMINOUS CONCRETE PAVEMENT (HEAVY DUTY)



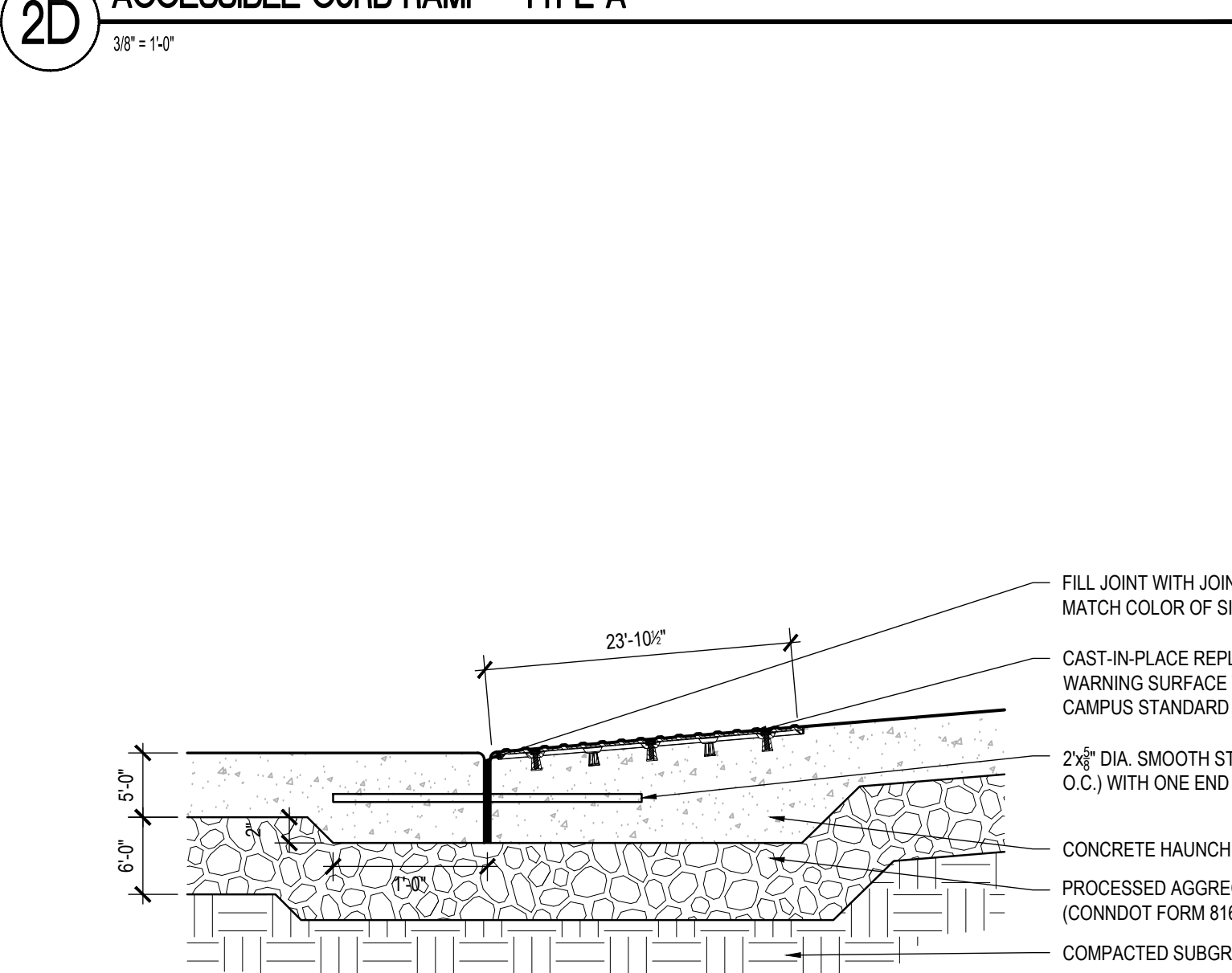
2E ADA CAST-IN-PLACE REPLACEABLE TACTILE WARNING SURFACE TILE



3E STONE MULCH MAINTENANCE STRIP AT BUILDING



1E CONCRETE PAVEMENT (PEDESTRIAN)



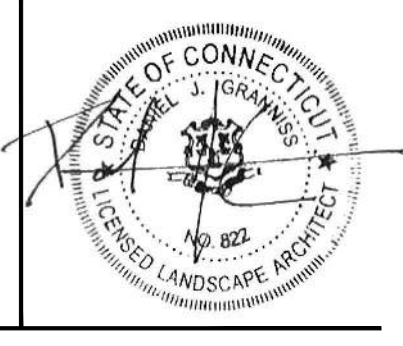
2F CONCRETE HAUNCH



80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

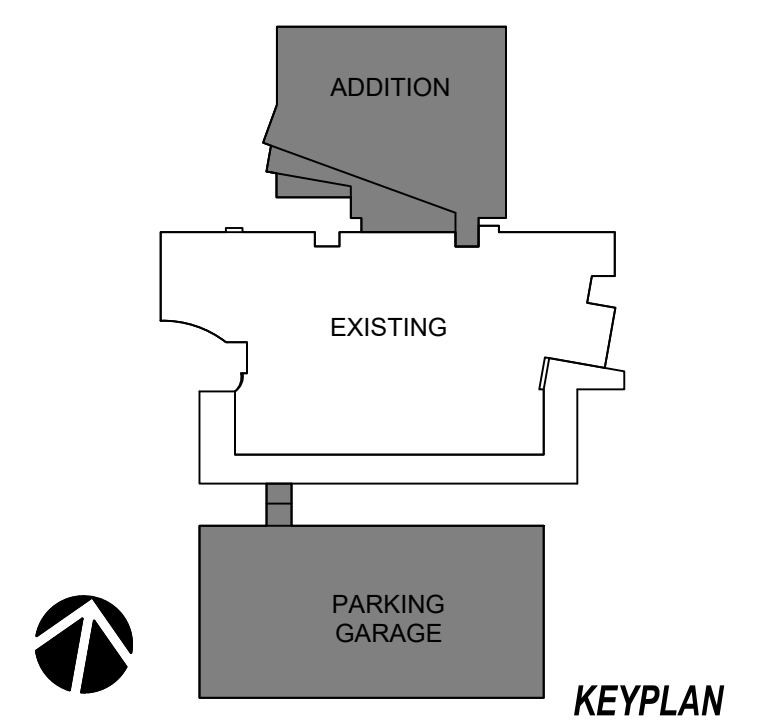
www.slamcoll.com

Drawn  
EFS  
Checked  
DG



SACRED HEART UNIVERSITY  
Additions and Renovations to  
CENTER FOR HEALTHCARE  
EDUCATION

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

SITE  
DETAILS

Date  
12/29/2022  
Scale  
AS SHOWN  
Drawing Number  
L501  
Project Number  
21271.00

© 2013 The S/L/A/M Collaborative, Inc. P:\Projects\Prog\21271\40-Drawings\02-Drawings\40-CAD\Steel\L501-Details.dwg December 27, 2022 - 4:32 PM





**GENERAL NOTES**

- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON A COMPILATION OF THE MAPS PREPARED BY ROSE TISO & CO., LLC.
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE, AND WHERE SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CONFIRMED PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG": 1-800-922-4455. ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- SLR INTERNATIONAL, INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- ALL STORM DRAIN PIPE SHALL BE SMOOTH LINED HIGH DENSITY POLYETHYLENE PIPE (HDPE) UNLESS OTHERWISE INDICATED.
- ALL GRAVITY SANITARY SEWER PIPE SHALL BE SDR-35 PVC UNLESS OTHERWISE INDICATED.
- ALL WATER PIPE TO BE DUCTILE IRON PIPE CLASS 54 UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE CITY OF BRIDGEPORT AND AQUARIUM WATER COMPANY REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, FORM 818 AND ADDENDUMS.
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS. ANY CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS USED DURING CONSTRUCTION SHOULD BE STORED IN A SEPARATE CONTAINER AND REMOVED TO A LOCKED INDOOR AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- SYMBOL DELINEATES TEST PITS TO BE PERFORMED BY THE CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER OF FINDINGS.
- CONTRACTOR SHALL REPAIR IN HARDSHIP BEING DISTURBED BY CONSTRUCTION TO MATCH EXISTING CONDITIONS.
- CONTRACTOR SHALL CLEAN EXISTING CATCH BASINS AND STORM DRAINAGE PIPES AFTER CONSTRUCTION WITHIN PROJECT LIMITS.
- HOODED OUTLETS TO BE INSTALLED ON ALL CATCH BASINS.

EXISTING	PROPOSED	LEGEND
Symbol	Symbol	SITE LIGHT
Symbol	Symbol	HYDRANT
Symbol	Symbol	WATER VALVE
Symbol	Symbol	CATCH BASIN
Symbol	Symbol	YARD/AREA DRAIN
Symbol	Symbol	STORM/SANITARY MANHOLE
Symbol	Symbol	SANITARY SEWER
Symbol	Symbol	STORM DRAIN
Symbol	Symbol	WATER MAIN
Symbol	Symbol	DOMESTIC WATER
Symbol	Symbol	FIRE PROTECTION
Symbol	Symbol	GAS MAIN
Symbol	Symbol	ELECTRIC LINE
Symbol	Symbol	TELEPHONE
Symbol	Symbol	ROOF COLLECTOR PIPE
Symbol	Symbol	TEST PIT
Symbol	Symbol	UTILITY POLE



80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

www.slamcoll.com



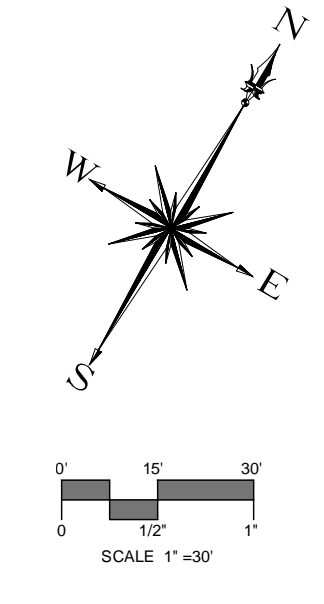
**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**  
4030 Park Avenue  
Bridgeport, CT 06606

**PROGRESS PRINT**  
**NOT FOR CONSTRUCTION**

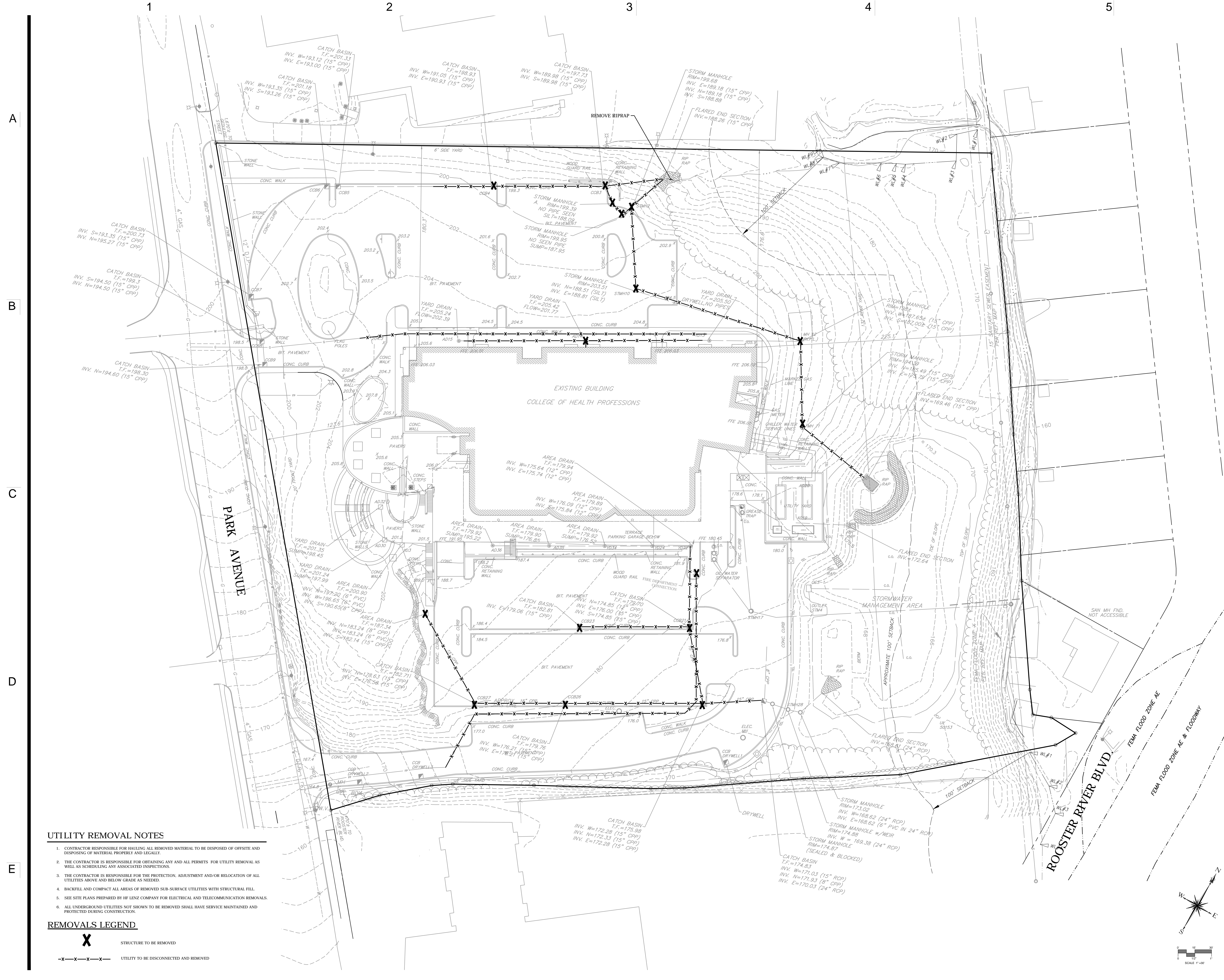
Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

**SITE UTILITY PLAN**

Date: 12/29/2022  
Scale: 1" = 30'  
Drawing Number: C100  
21271.00



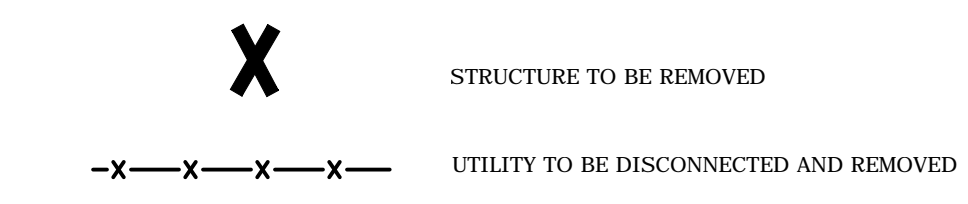




**UTILITY REMOVAL NOTES**

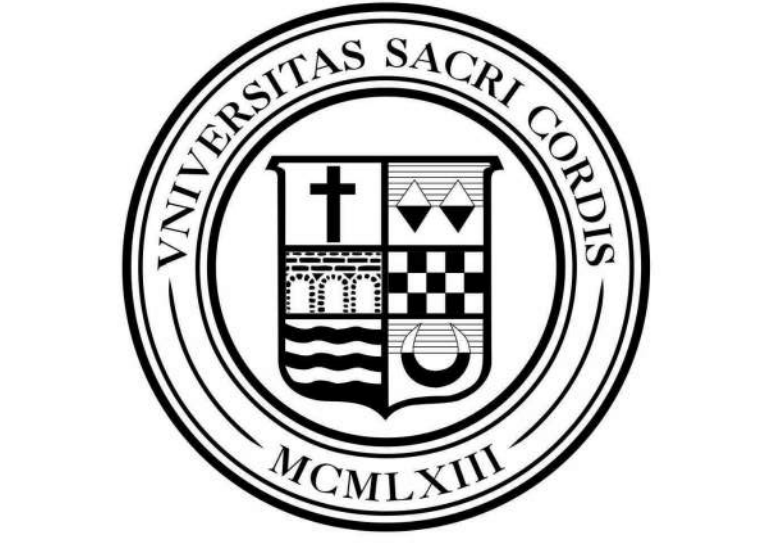
1. CONTRACTOR RESPONSIBLE FOR HAULING ALL REMOVED MATERIAL TO BE DISPOSED OF OFFSITE AND DISPOSING OF MATERIAL PROPERLY AND LEGALLY.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS FOR UTILITY REMOVAL AS WELL AS SCHEDULING ANY ASSOCIATED INSPECTIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION, ADJUSTMENT AND/OR RELOCATION OF ALL UTILITIES ABOVE AND BELOW GRADE AS NEEDED.
4. BACKFILL AND COMPACT ALL AREAS OF REMOVED SUB-SURFACE UTILITIES WITH STRUCTURAL FILL.
5. SEE SITE PLANS PREPARED BY HF LENZ COMPANY FOR ELECTRICAL AND TELECOMMUNICATION REMOVALS.
6. ALL UNDERGROUND UTILITIES NOT SHOWN TO BE REMOVED SHALL HAVE SERVICE MAINTAINED AND PROTECTED DURING CONSTRUCTION.

**REMOVALS LEGEND**



80 Glastonbury Boulevard  
 Glastonbury, CT 06033-4410  
 Phone: 860 657.8077

www.slamcoll.com



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**  
 4030 Park Avenue  
 Bridgeport, CT 06606

**PROGRESS PRINT**  
**NOT FOR CONSTRUCTION**

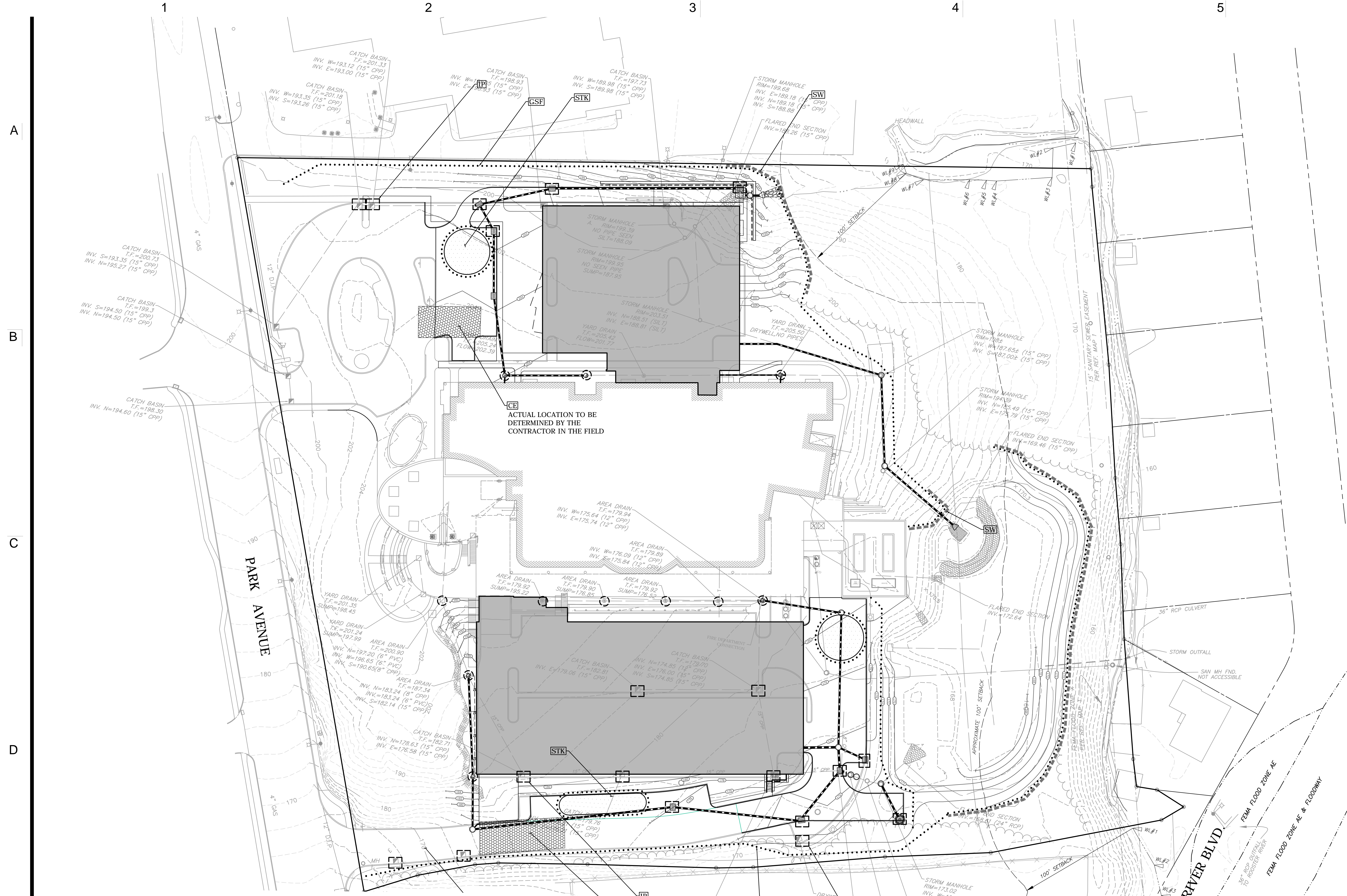
Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

**SITE UTILITY DEMOLITION PLAN**

Date: 12/29/2022  
 Scale: 1" = 30'  
 Proj. Number: 21271.00  
 Drawing Number: C101

© 2013 The S/L/A/M Collaborative, Inc. W:\CAD\egm\15882-0090-DE\CAD\CHE\Removals.dwg December 27, 2022 8:40 PM



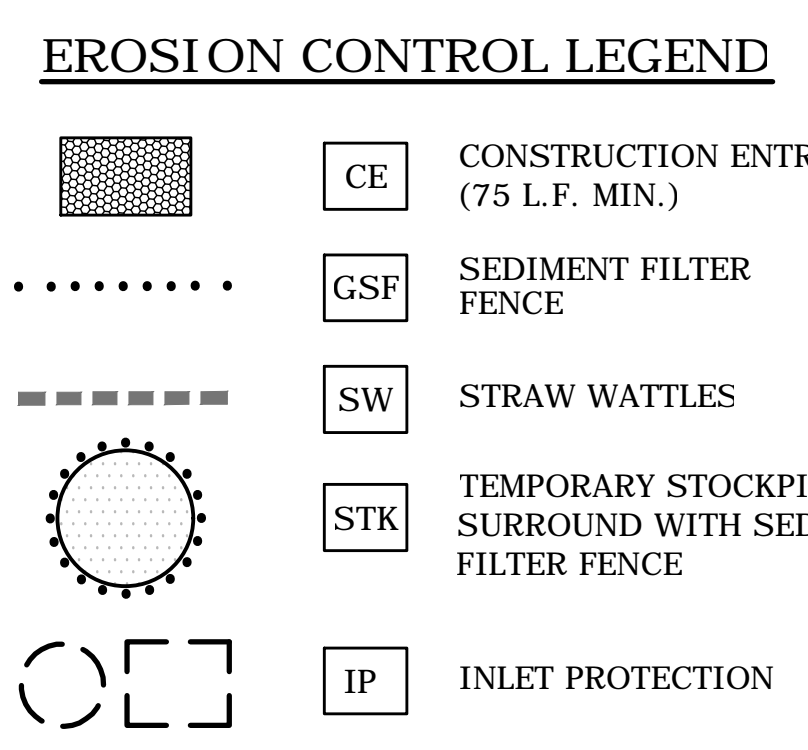


**SOIL EROSION AND SEDIMENT CONTROL NARRATIVE**  
 SEDIMENT AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT - 2002, CITY OF BRIDGEPORT STANDARDS, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.

**1. PURPOSE AND DESCRIPTION OF PROJECT**  
 A.) THE CONSTRUCTION OF BUILDING ADDITION AND PARKING GARAGE  
 B.) DISTURBED AREA: ± 3.2 ACRES

**2. IDENTIFICATION OF EROSION AND SEDIMENT CONTROL CONCERNS**  
 A.) CUTS AND FILLS ASSOCIATED WITH CONSTRUCTION  
 B.) PROTECTION OF EXISTING STORM DRAINAGE SYSTEM  
 C.) PROTECTION OF OFF-SITE WATERCOURSE.

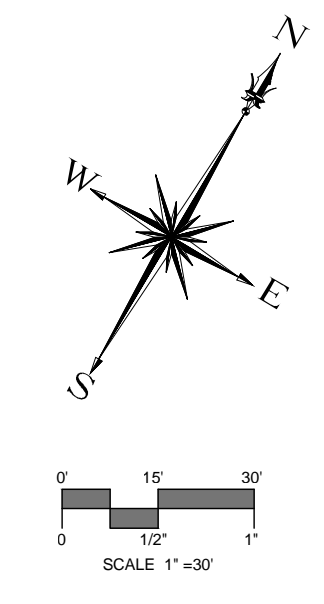
**3. IDENTIFICATION OF OTHER POSSIBLE PERMITS**  
 CITY PLANNING AND ZONING PERMITS ARE REQUIRED FOR THIS PROJECT.



**PROGRESS PRINT**  
**NOT FOR CONSTRUCTION**

Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING

**STORMWATER POLLUTION CONTROL PLAN**

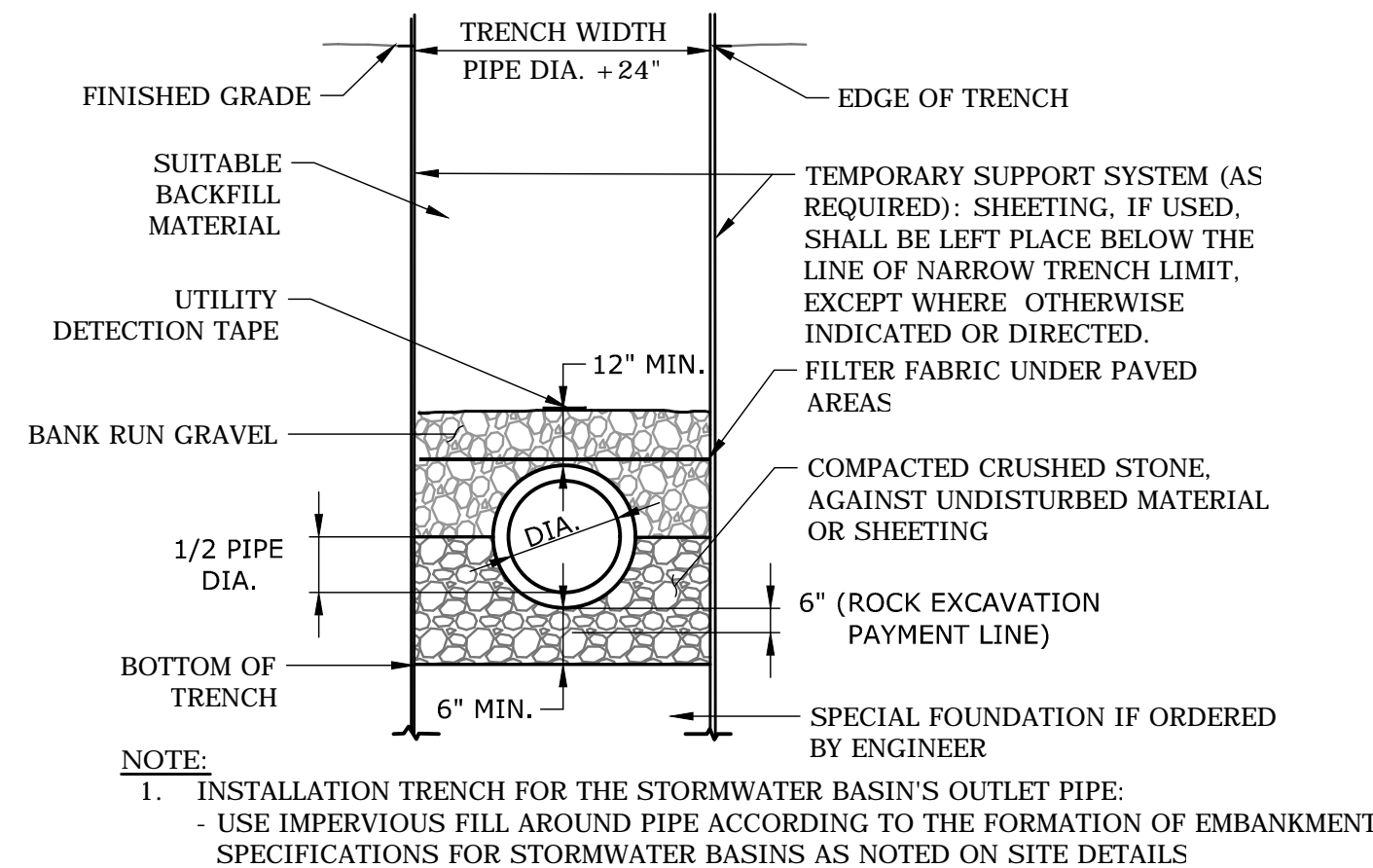


© 2013 The S/L/A/M Collaborative, Inc. W:\CAD\design\12882-0000-DE\CAD\CHE\SLR.dwg December 27, 2022 - 5:41 PM

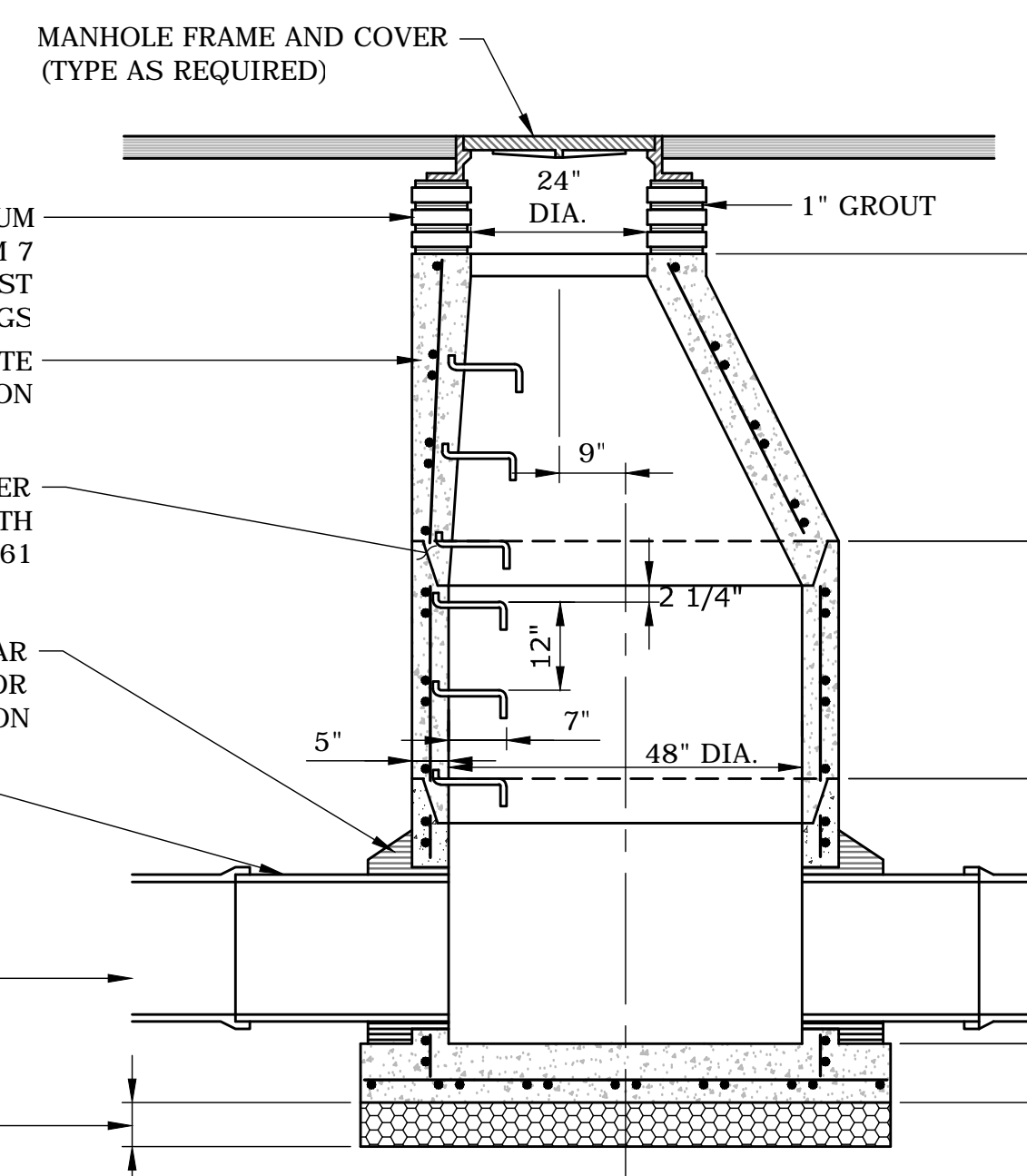




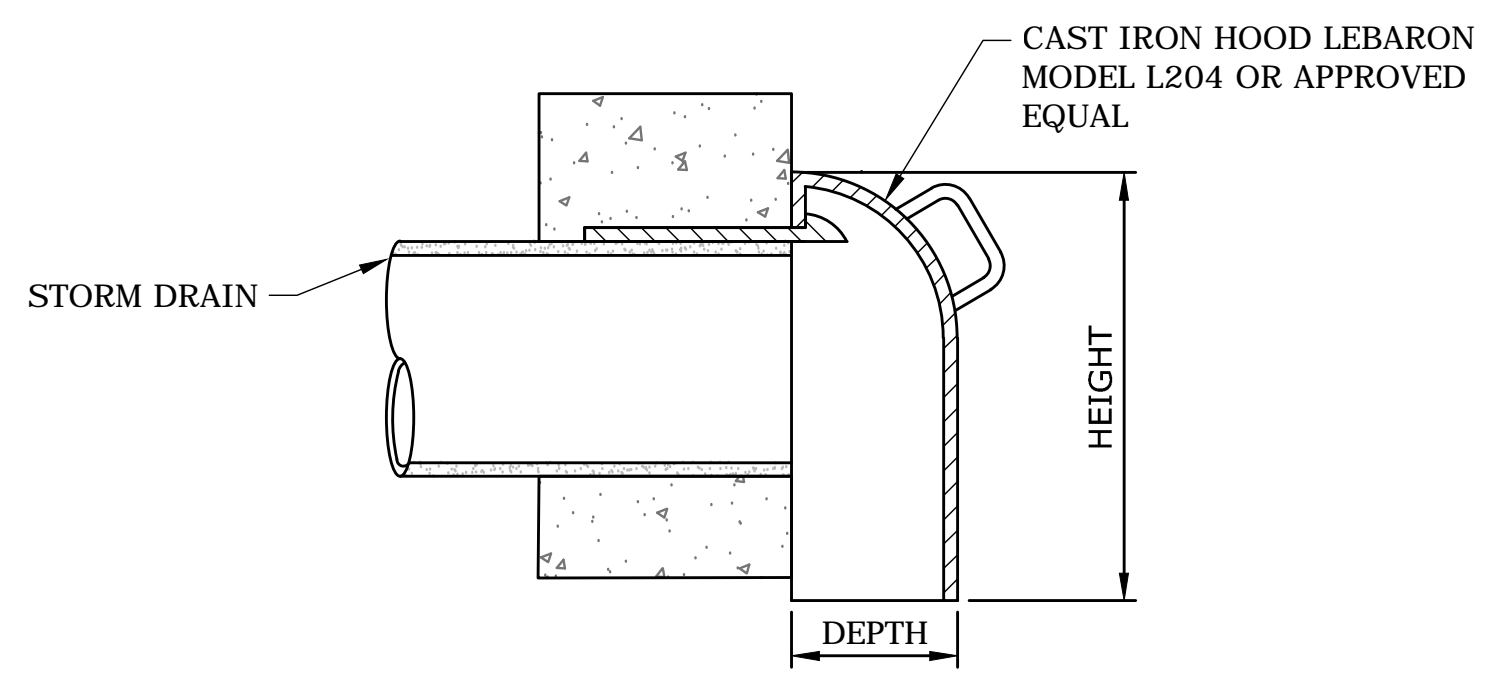




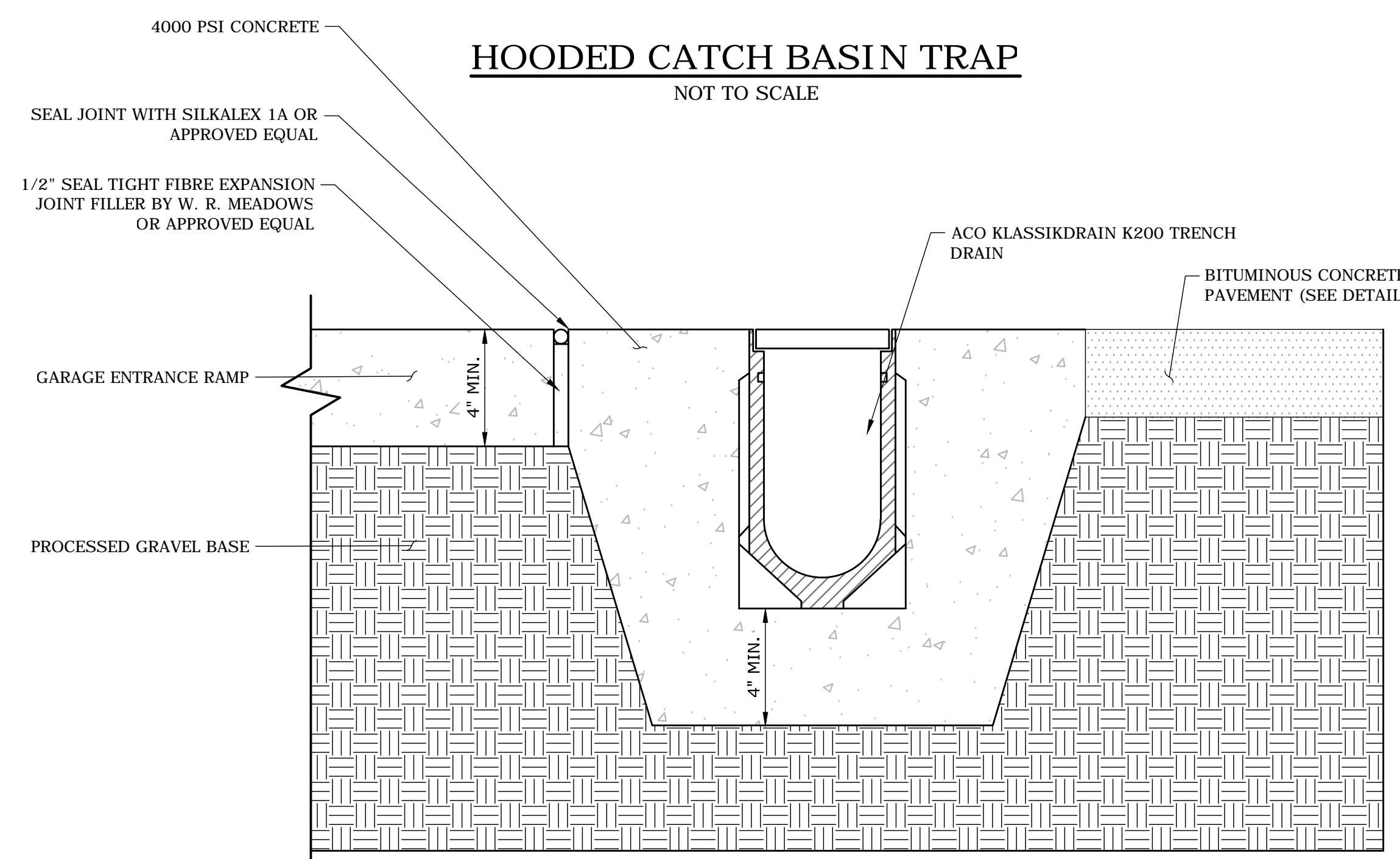
**TYPICAL TRENCH SECTION STORM DRAIN AND CULVERTS**  
NOT TO SCALE



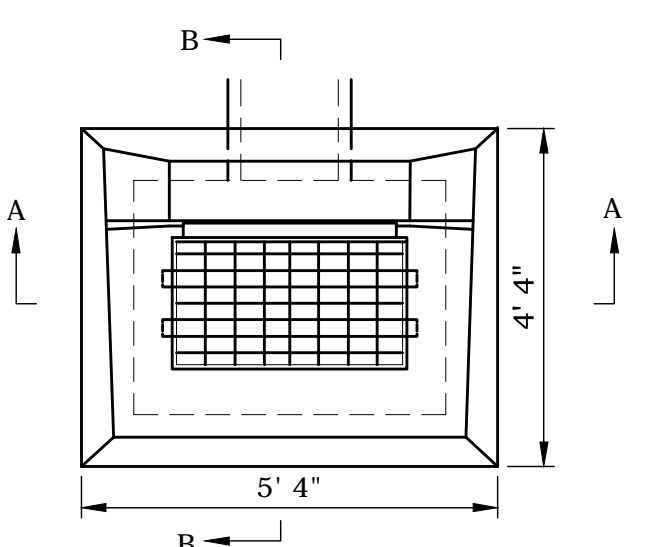
**PRECAST CONCRETE STORM DRAINAGE MANHOLE**  
NOT TO SCALE



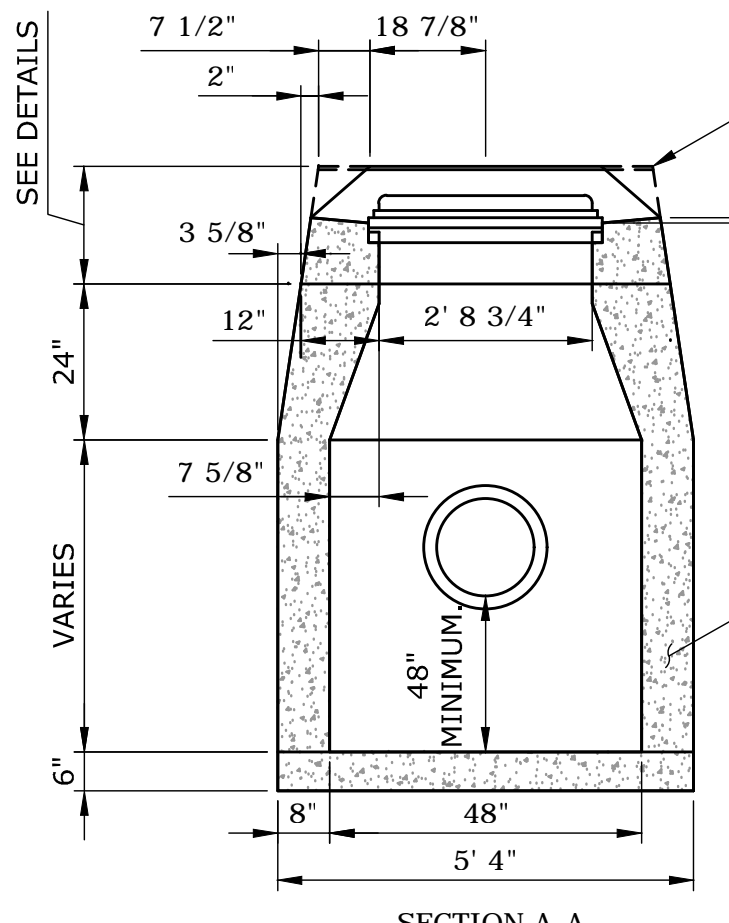
**HOODED CATCH BASIN TRAP**  
NOT TO SCALE



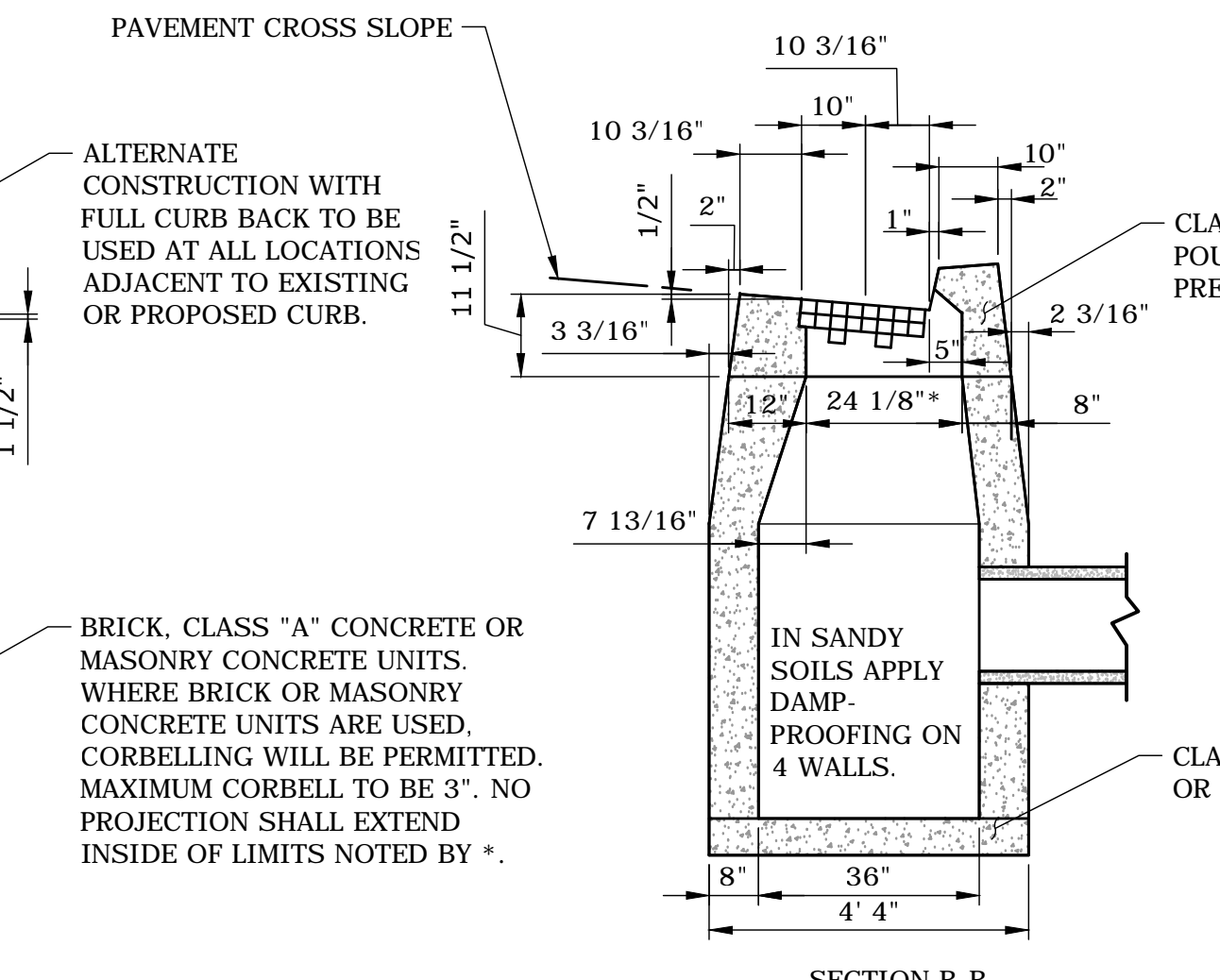
**TRENCH DRAIN**  
NOT TO SCALE



**PAVEMENT CROSS SLOPE**



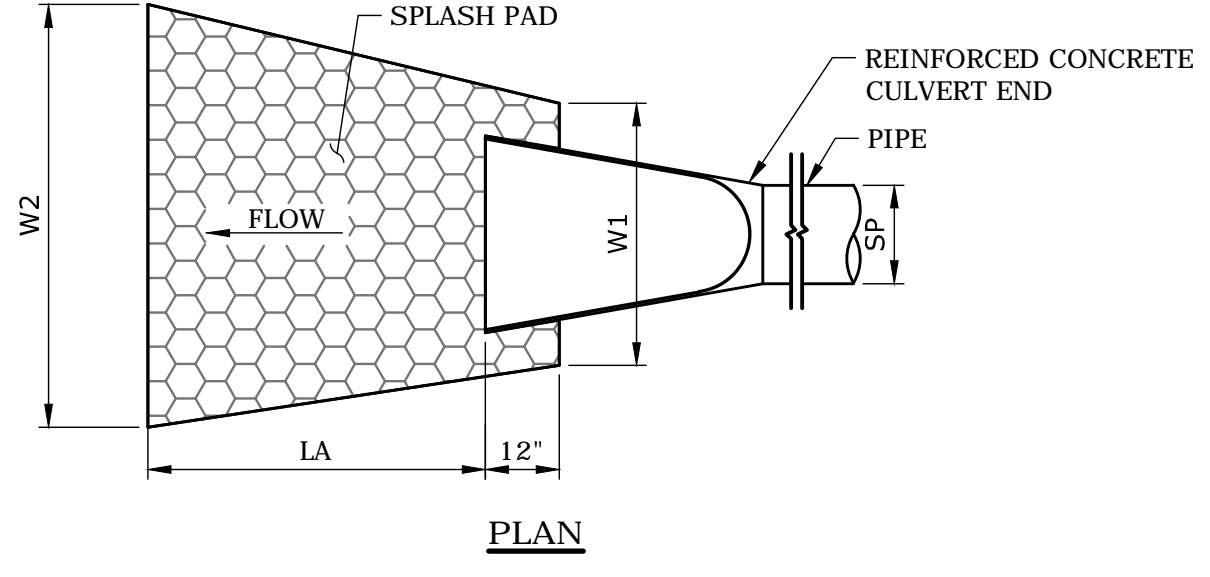
**SECTION A-A**



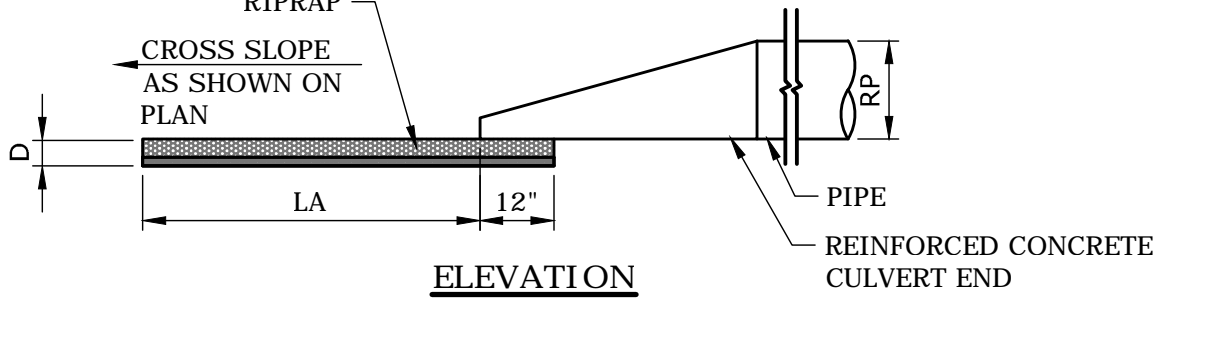
**SECTION B-B**

- NOTES:**
1. WHEN CATCH BASIN IS SET IN CONCRETE PAVEMENT, THE 1/2" SLOPE ON THE TOP SURFACE SHALL BE CHANGED TO MATCH ADJOINING PAVEMENT.
  2. WHERE PRECAST CONCRETE UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.

**TYPE "C" CATCH BASIN**  
NOT TO SCALE



**PLAN**

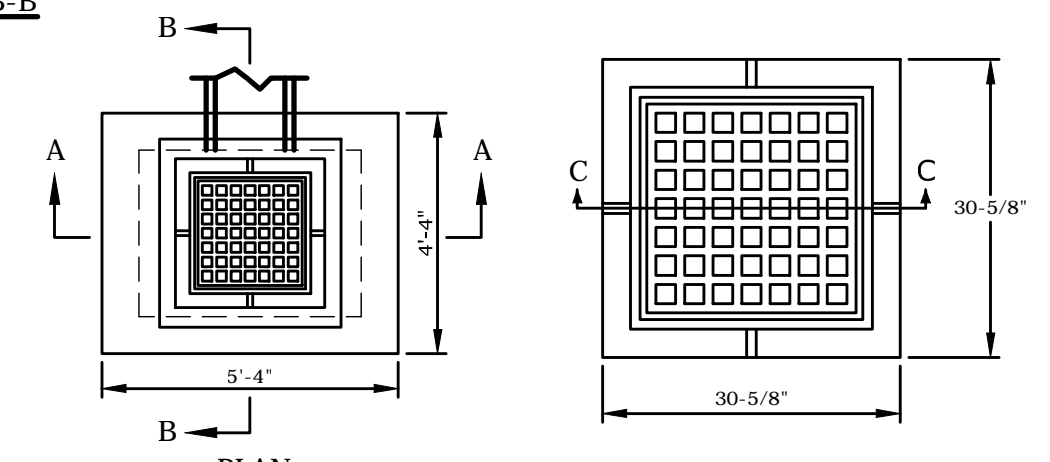


**ELEVATION**

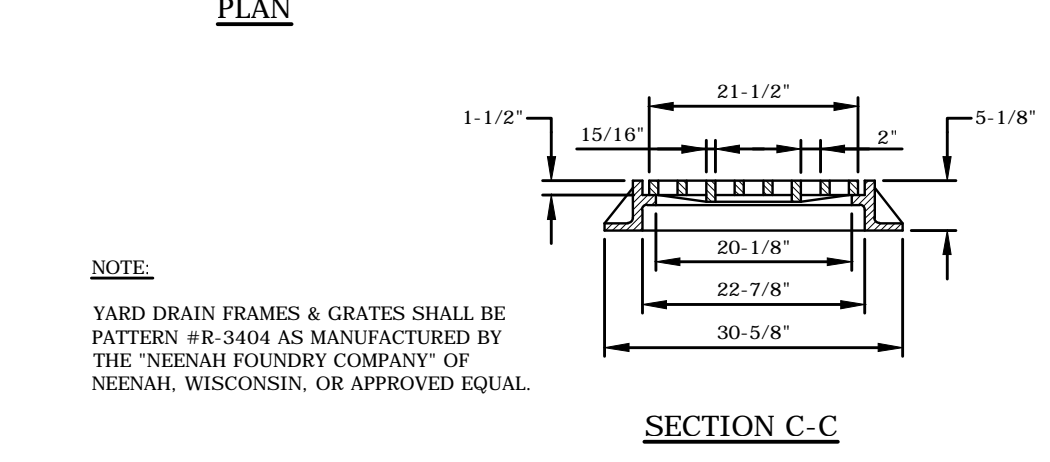
**FLARED END WITH RIP RAP SPLASH PAD**  
NOT TO SCALE

**FORMATION OF EMBANKMENTS FOR STORMWATER BASINS**

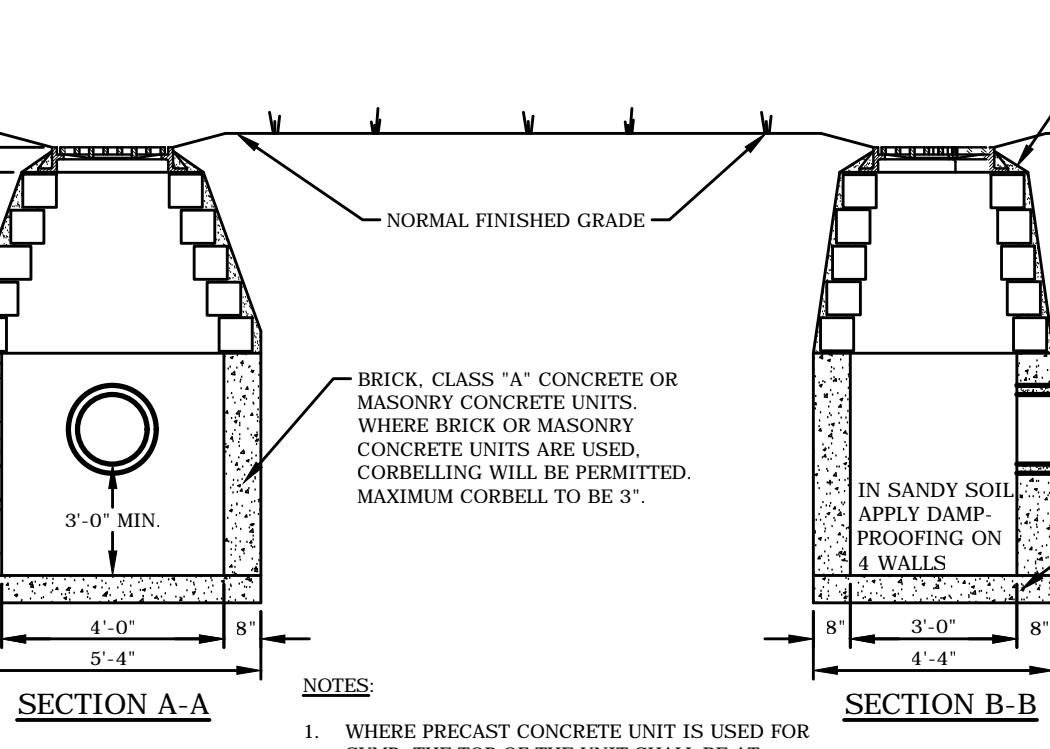
- 1. MATERIALS**  
ALL FILL MATERIALS SHALL BE OBTAINED FROM REQUIRED EXCAVATIONS OR DESIGNATED BORROW AREAS. FILL MATERIAL SHALL CONTAIN NO FROZEN MATERIAL, SOD, BRUSH, ROOTS, OR OTHER ORGANIC MATERIAL. EARTH EMBANKMENTS SHALL CONTAIN NO STONES OR ROCK PARTICLES OVER THREE INCHES IN DIAMETER.  
THE MATERIAL USED IN THE CENTER PORTION OF THE EMBANKMENT SHALL BE THE MOST IMPERVIOUS MATERIAL OBTAINED FROM THE BORROW AREAS IF REQUIRED, THE MORE PERVIOUS MATERIALS SHALL BE USED IN THE OUTER PORTION OF THE EMBANKMENT AS SHOWN ON THE PLANS.
- 2. EMBANKMENT FOUNDATION PREPARATION**  
AREAS WHERE EMBANKMENTS ARE TO BE FORMED SHALL BE CLEARED AND GRUBBED OF ALL TOPSOIL AND OTHER ORGANIC MATERIALS TO A DEPTH OF AT LEAST 24 INCHES. UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS, FOUNDATION AREAS SHALL BE SCARIFIED TO A DEPTH OF THREE INCHES PRIOR TO PLACEMENT OF FILL MATERIAL.
- 3. PLACEMENT**  
NO FILL SHALL BE PLACED UNTIL THE FOUNDATION PREPARATION AND EXCAVATIONS IN THE FOUNDATION HAVE BEEN COMPLETED. NO FILL SHALL BE PLACED ON A FROZEN SURFACE NOR SHALL FROZEN MATERIAL BE INCORPORATED.
- 4. MOISTURE CONTROL**  
THE MOISTURE CONTENT OF MATERIALS IN THE EMBANKMENT SHALL BE CONTROLLED TO MEET THE REQUIREMENTS OF SECTION 5, "COMPACTION OF EMBANKMENT". WHEN NECESSARY, MOISTURE SHALL BE ADDED BY USE OF APPROVED SPRINKLING EQUIPMENT. WATER SHALL BE ADDED UNIFORMLY AND EACH LAYER SHALL BE THOROUGHLY DISSED OR HARROWED TO PROVIDE PROPER MIXING. ANY LAYER FOUND TOO WET FOR PROPER COMPACTION SHALL BE ALLOWED TO DRY BEFORE ROLLING. PLACING OR ROLLING OF MATERIAL ON EARTH FILLS WILL NOT BE PERMITTED DURING OR IMMEDIATELY AFTER RAINFALLS WHICH INCREASE THE MOISTURE CONTENT BEYOND THE LIMIT OF SATISFACTORY COMPACTION. THE EARTH FILL SHALL BE BROUGHT UP UNIFORMLY AND ITS TOP SHALL BE KEPT GRADED AND SLOPED SO THAT A MINIMUM OF RAINWATER WILL BE RETAINED THEREON. COMPACTED EARTH FILL DAMAGED BY WASHING SHALL BE ACCEPTABLY REPLACED BY THE CONTRACTOR.
- 5. COMPACTION**  
**A. EMBANKMENT**  
EMBANKMENT MATERIAL SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR DENSITY AT NEAR OPTIMUM MOISTURE CONTENT AND BY THE CONSTRUCTION EQUIPMENT SPECIFIED HEREIN. THE COMPACTION EQUIPMENT SHALL TRAVERSE THE ENTIRE SURFACE OF EACH LAYER OF FILL MATERIAL. APPROVED TAMPING ROLLERS SHALL BE USED FOR COMPACTING ALL PARTS OF THE EMBANKMENTS WHICH THEY CAN EFFECTIVELY REACH. THE CONTRACTOR SHALL DEMONSTRATE THE EFFECTIVENESS OF THE ROLLER BY ACTUAL SOIL COMPACTION RESULTS OF THE SOIL TO BE USED IN THE EMBANKMENT WITH LABORATORY WORK PERFORMED BY AN APPROVED SOIL TESTING LABORATORY.  
**B. BACKFILL AT OUTLET CONDUIT**  
BACKFILL SHALL BE COMPACTED BY HAND TAMPING WITH MECHANICAL TAMPERS. HEAVY EQUIPMENT SHALL NOT BE OPERATED WITHIN TWO FEET OF ANY STRUCTURE. EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE OUTLET CONDUITS UNTIL THERE IS 24 INCHES OF FILL OVER THE PIPE CONDUITS.
- 6. FINISHING EMBANKMENTS**  
THE EMBANKMENTS SHALL BE CONSTRUCTED TO THE ELEVATIONS, LINES, GRADES AND CROSS-SECTIONS AS SHOWN ON THE DRAWINGS. THE EMBANKMENTS SHALL BE MAINTAINED IN A MANNER SATISFACTORY TO THE ENGINEER AND SURFACES SHALL BE COMPACT AND ACCURATELY GRADED BEFORE TOPSOIL IS PLACED ON THEM. THE CONTRACTOR SHALL CHECK THE EMBANKMENT SLOPES WITH STRING LINES TO INSURE THAT THEY CONFORM TO THE SLOPES GIVEN ON THE PLANS AND ARE UNIFORM FOR THE ENTIRE LENGTH OF THE SLOPE.
- 7. CONTROL OF WATER**  
THE PROJECT SITE IS SUBJECT TO HIGH WATER TABLE. THE CONTRACTOR SHALL USE TEMPORARY PIPES OR PUMPS TO ASSURE PLACEMENT OF SELECT FILL IN DRY CONDITIONS.



**TYPE "C-L" CATCH BASIN**  
NOT TO SCALE



**SECTION C-C**



**SECTION A-A**

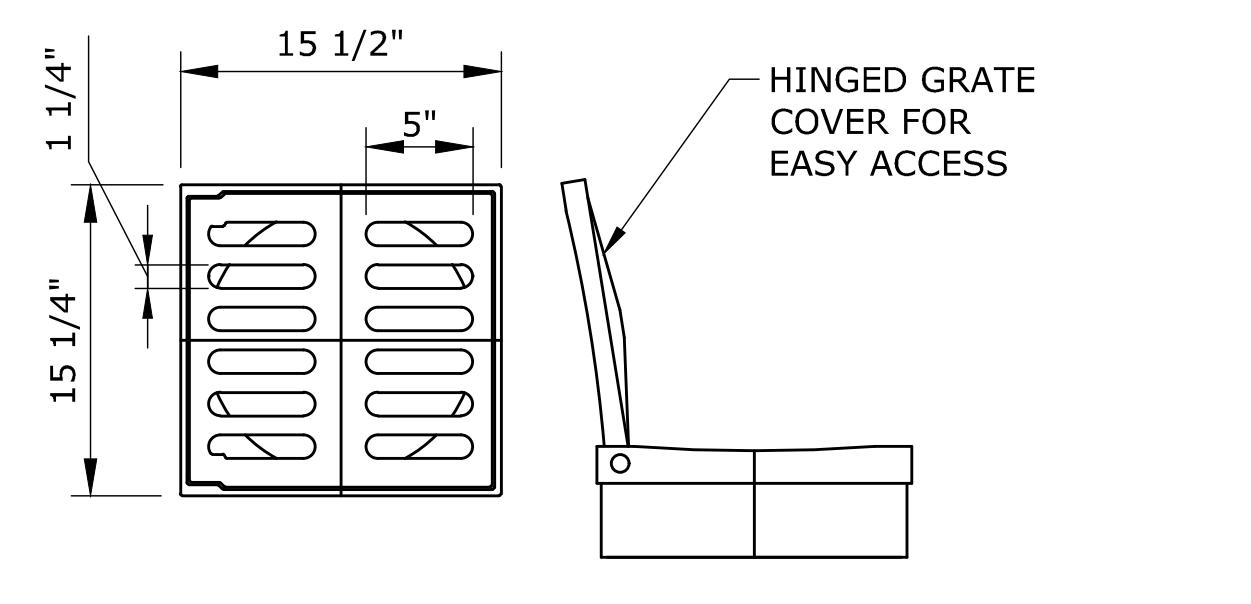
**SECTION B-B**

- NOTES:**
1. WHERE PRECAST CONCRETE UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.

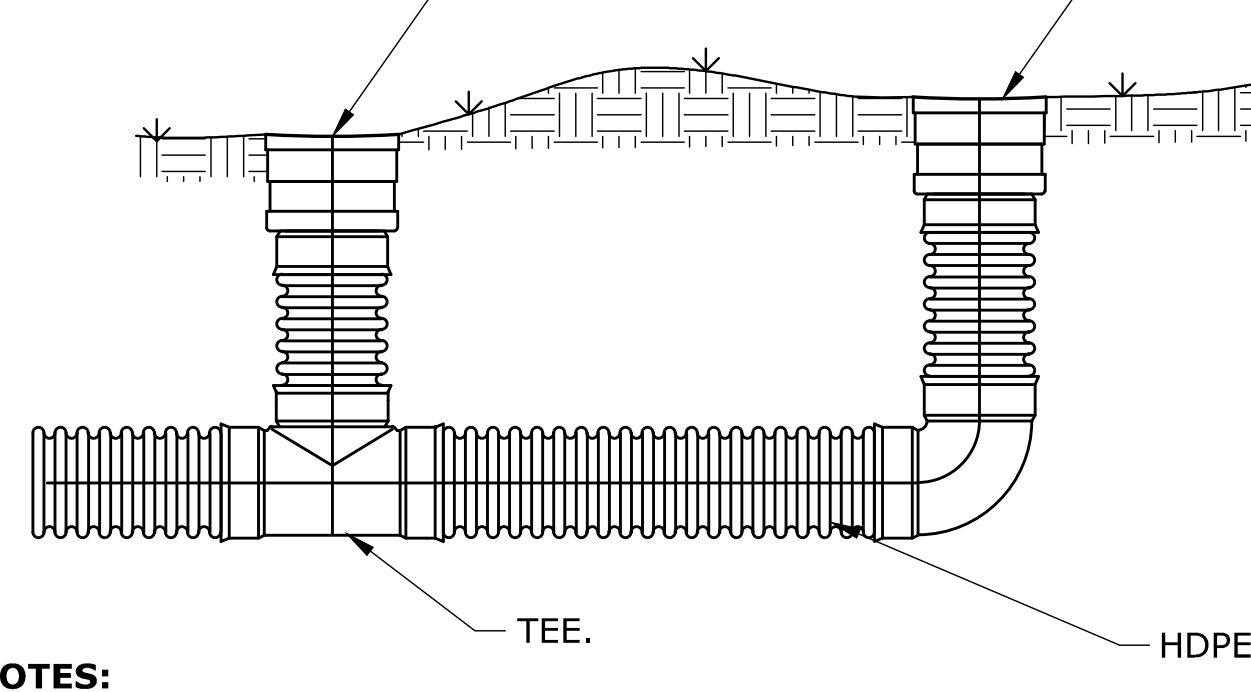
**YARD DRAIN**  
NOT TO SCALE

- NOTES:**
1. WHERE PRECAST CONCRETE UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.

**TYPE "C-L" CATCH BASIN**  
NOT TO SCALE



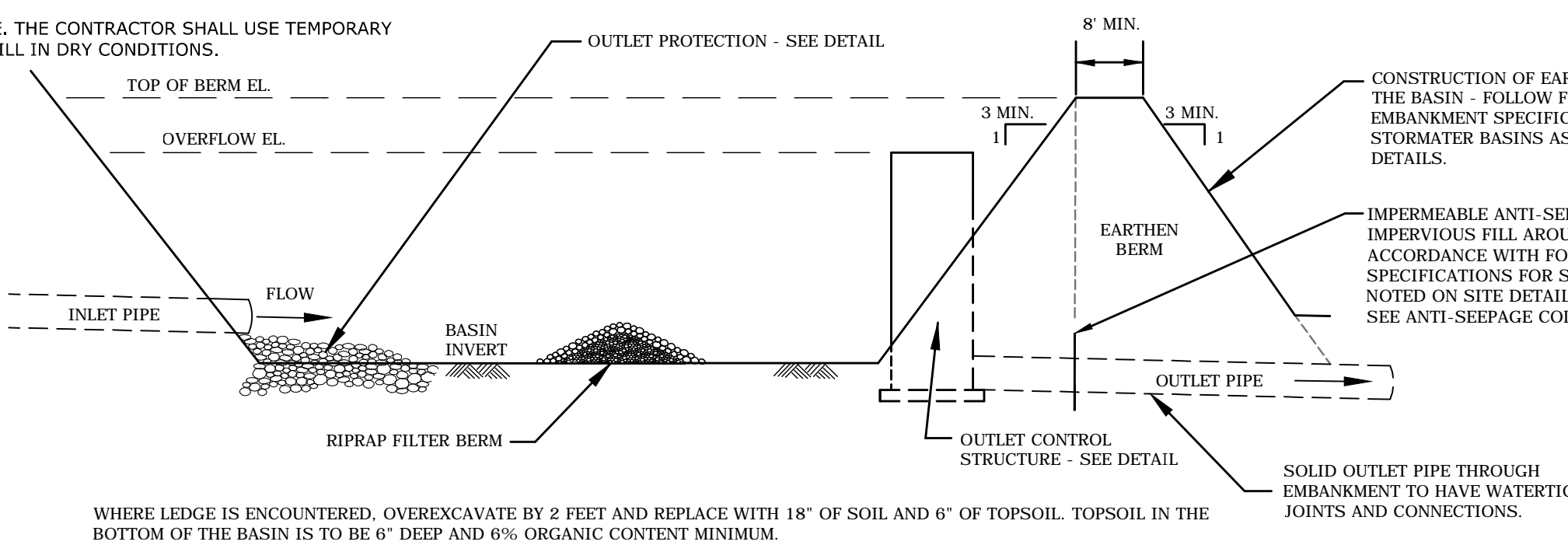
**SECTION A-A** and **SECTION B-B**



**AREA DRAIN AND GRATE**  
NOT TO SCALE

- NOTES:**
1. ALL AREA DRAIN GRATES SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED ON PLANS.
    - 1.1. 15" CAST IRON GRATE DRAIN AREA = 92.55SQ. INCH GRATE HAS H-20 (HEAVY TRAFFIC) DOT RATING.
    - 1.2. MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B.
    - 1.3. CASTINGS ARE FURNISHED WITH A BLACK PAINT.
    - 1.4. INLINE DRAIN TO BE NYLOPLAST INC OR APPROVED EQUAL.

**AREA DRAIN AND GRATE**  
NOT TO SCALE



**TYPICAL DETENTION BASIN**  
NOT TO SCALE

Number	Date	Issued For
1	12/29/2022	ISSUED FOR PLANNING AND ZONING







1

2

3

4

5

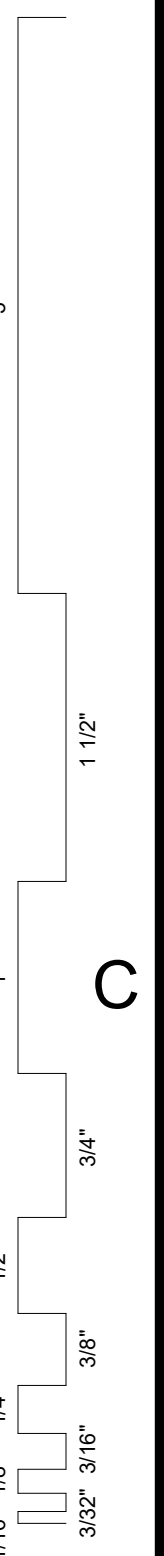
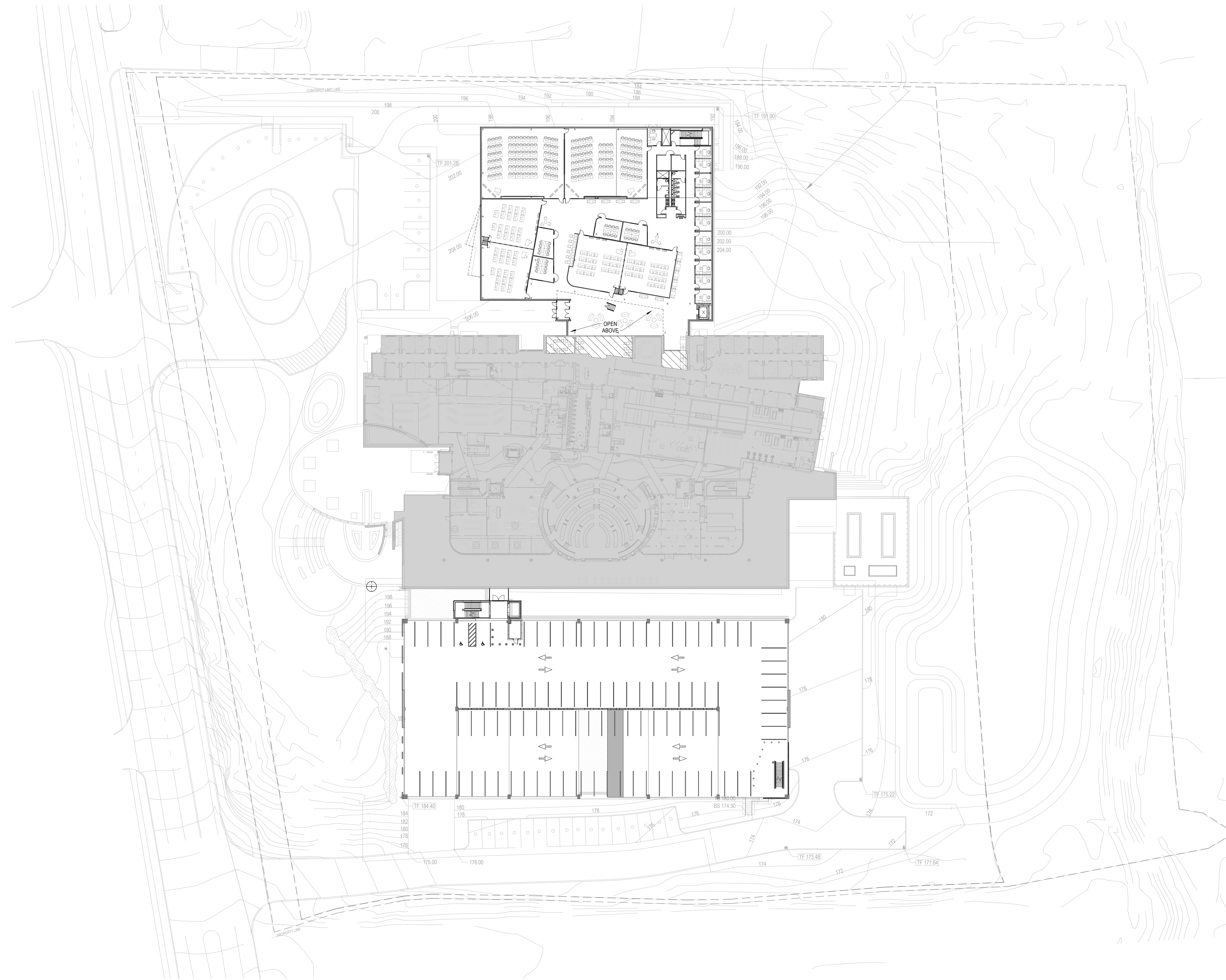
A

B

C

D

E



**2E** OVERALL LEVEL 1 PLAN - EXISTING AND NEW - WITH SITE OVERLAY  
1" = 30'-0"



80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

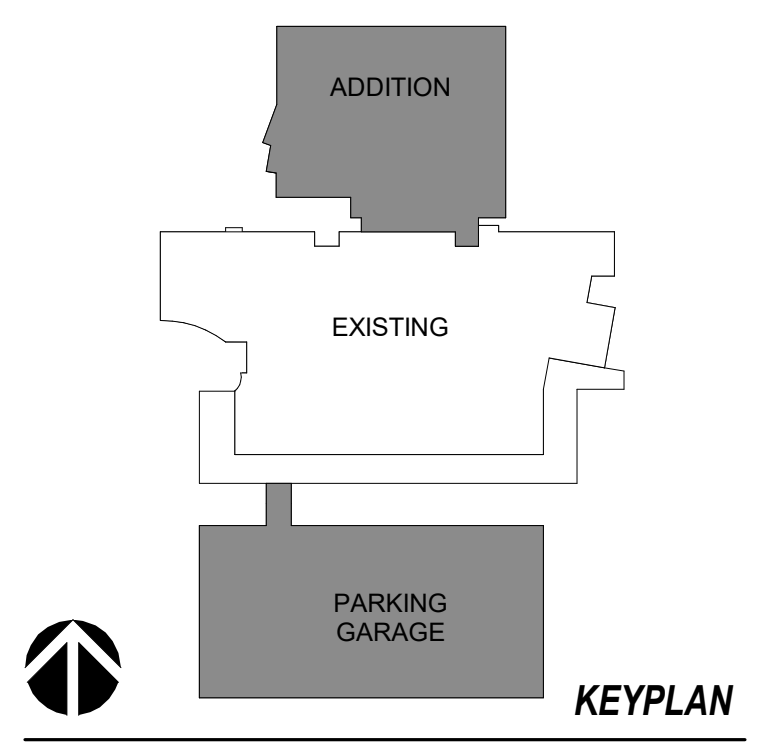
www.slamcoll.com

Drawn <b>SSM</b>	
Checked <b>TKH</b>	



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

**PROGRESS PRINT NOT FOR CONSTRUCTION**

**OVERALL LEVEL 1 - EXISTING AND NEW**

Date 12/29/2022	Drawing Number <b>A000</b>
Scale 1" = 30'-0"	
Proj. Number 21271.00	

© 2022 The SLAM Collaborative, Inc. Autocad Docs/21271.00 - SRU College of Nursing - CHE Expansion\_R22.rvt



1

2

3

4

5

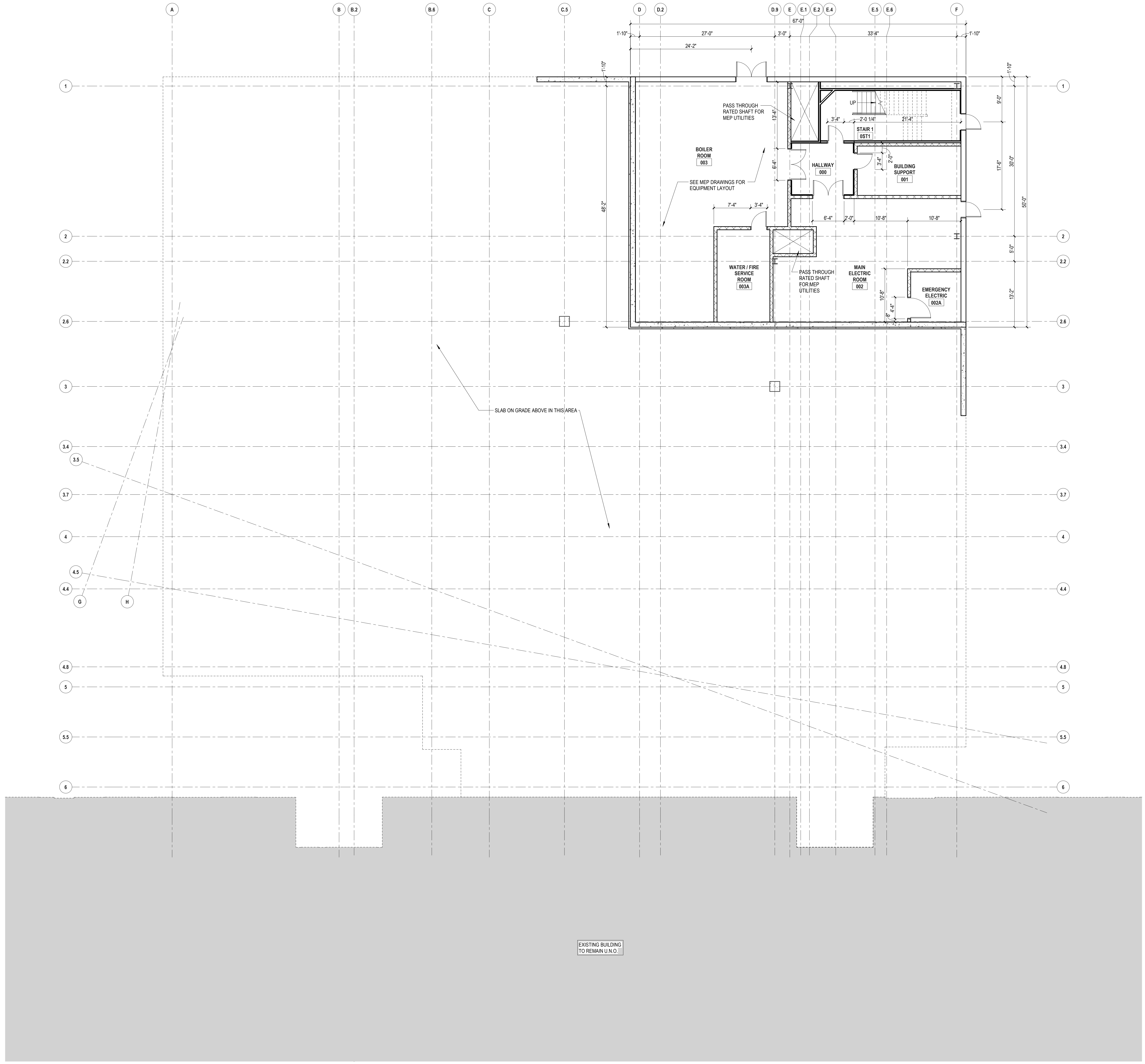
A

B

C

D

E



FLOOR PLAN GRAPHIC LEGEND

- NEW WALL CONSTRUCTION
- NEW MASONRY CONSTRUCTION
- EXISTING WALL CONSTRUCTION TO REMAIN
- FLOOR EXPANSION JOINT COVER. PROVIDE WALL EXPANSION JOINT COVER AT BOTH FACES OF EACH WALL INTERSECTED BY THE FLOOR EXPANSION JOINT COVER.
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET
- FEL FIRE EXTINGUISHER LOCKER UNIT
- FEB FIRE EXTINGUISHER / FIRE BLANKET CABINET
- FVC FIRE VALVE CABINET
- EP ELECTRICAL PANEL
- ACCESSIBLE CLEAR FLOOR SPACE
- CR CARD READER
- PP AUTOMATIC DOOR OPERATOR PUSH PLATE
- HO HOLD OPEN
- MHO MAGNETIC HOLD OPEN
- ES EMERGENCY SHOWER
- EW EYE WASH
- EWC ELECTRIC WATER COOLER
- DF DRINKING FOUNTAIN
- AED DEFIBRILLATOR
- FLOOR DRAIN
- INTERACTIVE WHITEBOARD
- FPD FLAT PANEL DISPLAY
- MPS MANUAL PROJECTION SCREEN
- PPS POWERED PROJECTION SCREEN
- MB\_ MARKER BOARD (NUMBER IS LENGTH IN FEET)
- TB\_ TACK BOARD (NUMBER IS LENGTH IN FEET)
- 12' x 18' x 72" - 4 TIER WARDROBE LOCKER - TYPE "A"
- 18' x 15' x 36" - 2 TIER WARDROBE LOCKER - TYPE "B"
- 15' x 15' x 72" - 1 TIER WARDROBE LOCKER - TYPE "C"

FLOOR PLAN GENERAL NOTES

1. REFER TO GENERAL INFORMATION SHEET FOR LIST OF TYPICAL ABBREVIATIONS AND TYPICAL ARCHITECTURAL GRAPHIC LEGENDS AND SYMBOLS.
2. REFER TO TYPICAL PARTITION TYPES AND DETAILS. ALL PARTITIONS SHALL BE TYPE 2 U.O.N. ALL MASONRY PARTITIONS SHALL BE TYPE M6 U.O.N.
3. REFER TO CODE INFORMATION AND FIRE SAFETY PLAN DRAWINGS FOR LOCATIONS OF FIRE-RESISTANCE RATED PARTITIONS AND NON-FIRE-RESISTANCE RATED SMOKE PARTITIONS.
4. ALIGN PARTITIONS WITH COLUMN OR MULLION CENTERLINE, UNLESS OTHERWISE NOTED.
5. DIMENSIONS ARE FROM FACE OF WALL TO FACE OF WALL, (I.E. FACE OF GYPSUM BOARD OR MASONRY) OR FROM FACE OF EXISTING CONDITION OR FROM COLUMN CENTERLINE, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLEAR" SHALL BE FROM FINISH FACE TO FINISH FACE, (W. FACE OF CERAMIC TILE TO FACE OF CERAMIC TILE). VERIFY ALL EXISTING DIMENSIONS IN THE FIELD.
6. ALL MASONRY DIMENSIONS, INDICATED "M.O.", ARE NOMINAL DIMENSIONS, UNLESS OTHERWISE NOTED. ACTUAL MASONRY OPENING DIMENSION = NOMINAL MASONRY OPENING DIMENSION + ONE MORTAR JOINT (I.E. 4'-0" M.O. = 4'-0" + ONE STANDARD MORTAR JOINT WIDTH FOR ACTUAL OPENING DIMENSION). CONTRACTOR TO COORDINATE THIS ACTUAL DIMENSION BETWEEN TRADES.
7. REFER TO PLAN ENLARGEMENTS FOR ADDITIONAL DIMENSIONS.
8. REFER TO DOOR AND FRAME DETAILS FOR ADDITIONAL INFORMATION. PROVIDE MINIMUM 4-INCH CLEARANCE FROM FACE OF DOOR JAMB TO FACE OF ADJACENT WALL, UNLESS OTHERWISE NOTED.
9. REFER TO TYPICAL MOUNTING LOCATIONS AND HEIGHTS FOR TOILET ACCESSORIES, EQUIPMENT, WALL SPECIALTY DESIGNATIONS, VISUAL DISPLAY BOARDS, ETC.; TYPICAL TOILET ROOM ELEVATIONS AND TOILET ACCESSORY SCHEDULE.
10. PROVIDE FIRE-TREATED WOOD BLOCKING OR MINIMUM 0.012-INCH THICK STEEL FLAT STRAP AND BACKING PLATE AT, BUT NOT LIMITED TO, THE FOLLOWING LOCATIONS: TOILET ACCESSORIES, CASEWORK, MILLWORK, DOOR WALL BUMPERS, AND ALL OTHER WALL MOUNTED EQUIPMENT OR DEVICES.
11. ALL EXISTING PARTITIONS INDICATED ON THE FIRE SAFETY PLANS TO BE SMOKE PARTITIONS, SMOKE BARRIERS, OR FIRE-RATED PARTITIONS THAT DO NOT CURRENTLY EXTEND TO UNDERSIDE OF FLOOR SLAB SHALL BE MODIFIED TO EXTEND TO SLAB AND SHALL COMPLY WITH DETAILS SHOWN FOR NEW PARTITIONS. ALL PENETRATIONS OR VOIDS SHALL BE SEALED SMOKE-TIGHT AND/OR BE FIRE-STOPPED AS REQUIRED.
12. REFER TO THE EQUIPMENT PLANS FOR VISUAL DISPLAY BOARD, RESIDENTIAL APPLIANCE, FIXED AUDITORIUM SEATING, PROJECTION SCREEN AND TOILET ACCESSORY LOCATIONS. REFER TO THE EQUIPMENT PLANS FOR EQUIPMENT LOCATIONS AND SCHEDULE.
13. REFER TO THE FINISH PLANS FOR FLOOR PATTERNS.
14. FLOOR PATCH AND FLOOR LEVELING: REPAIR EXISTING TOPPING SLAB AND CONCRETE FLOOR AT DEMOLITION OF WALLS AND AT ALL OTHER LOCATIONS AS REQUIRED. REFER TO DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
15. PATCHING TO MATCH EXISTING:
  - A) PROVIDE ALL OPENINGS REQUIRED FOR ALL TRADES AND PATCH TO MATCH EXISTING. AT EXISTING CONSTRUCTION ALTERED OR DISTURBED BY THE INSTALLATION, RELOCATION, OR REMOVAL OF HEATING, VENTILATING, AIR CONDITIONING, PLUMBING AND/OR ELECTRICAL EQUIPMENT AND DEVICES.
  - B) PATCH TO MATCH EXISTING (PTME). ALL AREAS ADJACENT TO, OR DISTURBED BY, NEW CONSTRUCTION OR EXISTING CONSTRUCTION TO BE REMOVED. PATCH TO MATCH INCLUDES FINISH MATERIAL (PAINT OR VVC OR CERAMIC TILE, ETC.) TO MATCH EXISTING.
  - C) PATCH ALL DEFECTS IN, AND FINISH TO MATCH EXISTING. ALL AREAS WHICH ARE TO RECEIVE NEW MATERIALS, FINISHES AND ITEMS CALLED FOR IN THE CONTRACT DOCUMENTS. PREPARE ALL EXISTING SURFACES TO RECEIVE NEW FINISHES AS REQUIRED.



80 Glastonbury Boulevard  
 Glastonbury, CT 06033-4410  
 Phone: 860 657.8077

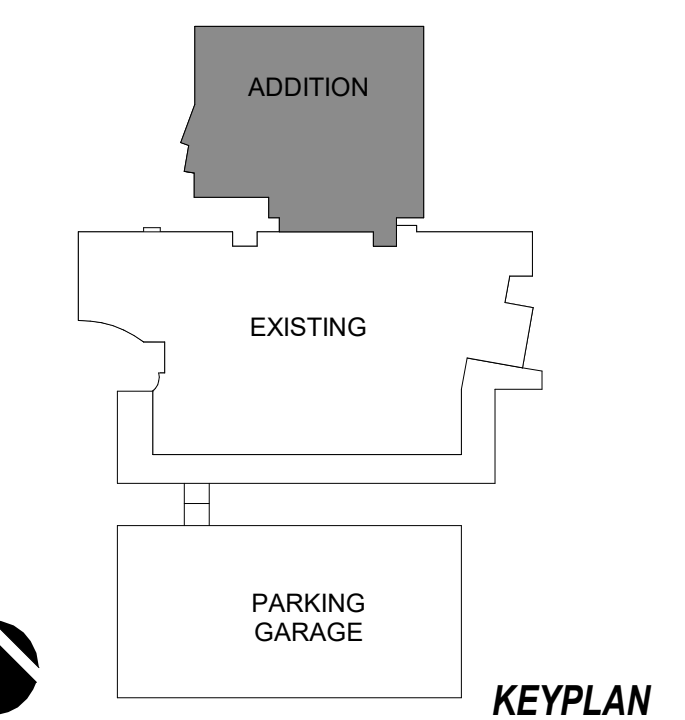
www.slamcoll.com

Drawn	SSM/AA
Checked	SSM



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
 Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

BASEMENT FLOOR PLAN

Date: 12/29/2022  
 Scale: 1/8" = 1'-0"  
 Proj. Number: 21271.00  
 Drawing Number: **A100**

**1E** BASEMENT FLOOR PLAN  
 1/8" = 1'-0"

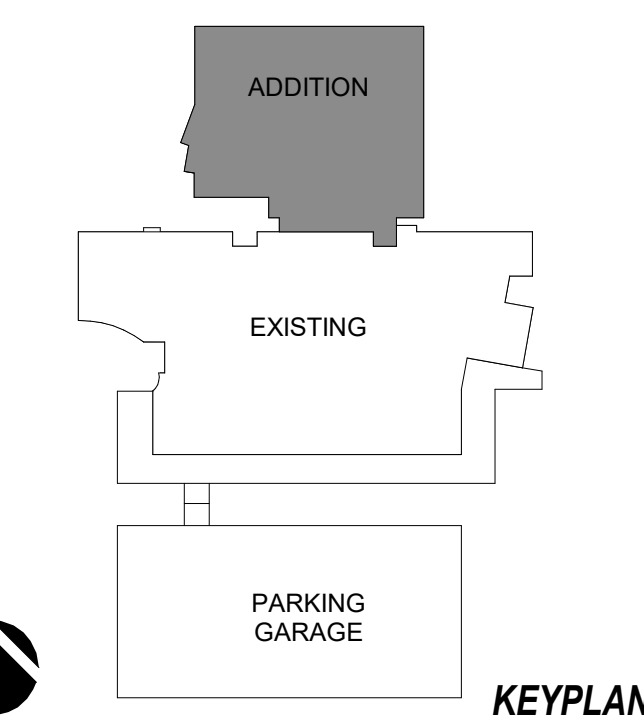
Autodesk Docs/21271.00 - SRU College of Nursing - CHE Expansion\_RZZ.rvt 12/27/2022 2:14:46 PM

Drawn	SSM/KP/AA
Checked	SSM



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

**FIRST FLOOR PLAN**

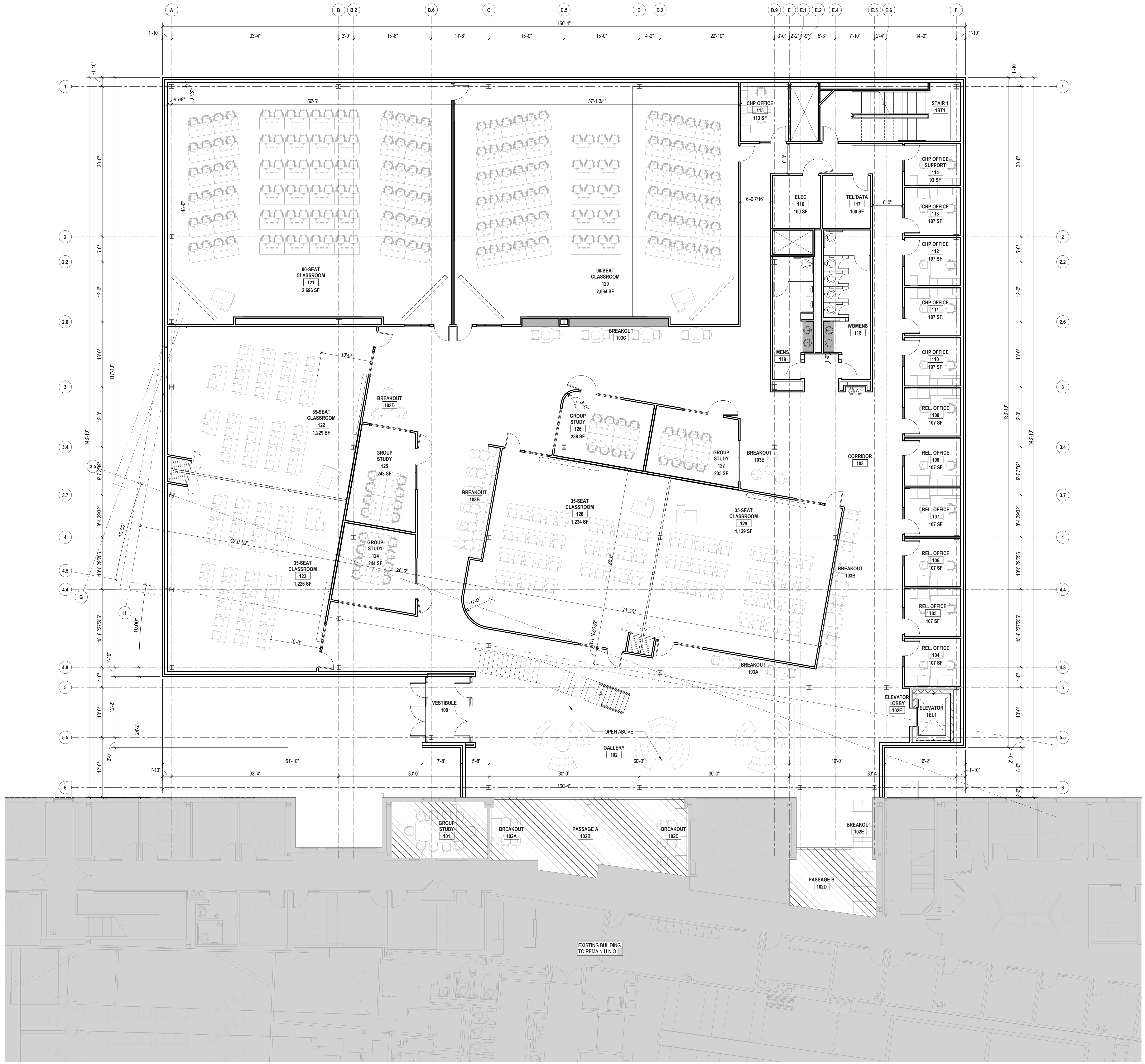
Date	12/29/2022	Drawing Number	A101
Scale	1/8" = 1'-0"		
Proj. Number	21271.00		

**FLOOR PLAN GRAPHIC LEGEND**

- NEW WALL CONSTRUCTION
- NEW MASONRY CONSTRUCTION
- EXISTING WALL CONSTRUCTION TO REMAIN
- FLOOR EXPANSION JOINT COVER. PROVIDE WALL EXPANSION JOINT COVER AT BOTH FACES OF EACH WALL INTERSECTED BY THE FLOOR EXPANSION JOINT COVER.
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET
- FEL FIRE EXTINGUISHER LOCKER UNIT
- FEB FIRE EXTINGUISHER / FIRE BLANKET CABINET
- FVC FIRE VALVE CABINET
- EP ELECTRICAL PANEL
- ACCESSIBLE CLEAR FLOOR SPACE
- CR CARD READER
- PP AUTOMATIC DOOR OPERATOR PUSH PLATE
- HO HOLD OPEN
- MHO MAGNETIC HOLD OPEN
- ES EMERGENCY SHOWER
- EW EYE WASH
- EWC ELECTRIC WATER COOLER
- DF DRINKING FOUNTAIN
- AED DEFIBRILLATOR
- @ FLOOR DRAIN
- IWB INTERACTIVE WHITEBOARD
- FPD FLAT PANEL DISPLAY
- MPS MANUAL PROJECTION SCREEN
- PPS POWERED PROJECTION SCREEN
- MB MARKER BOARD (NUMBER IS LENGTH IN FEET)
- TB TACK BOARD (NUMBER IS LENGTH IN FEET)
- 12' x 18' x 72" - 4 TIER WARDROBE LOCKER - TYPE "A"
- 18' x 15' x 36" - 2 TIER WARDROBE LOCKER - TYPE "B"
- 15' x 15' x 72" - 1 TIER WARDROBE LOCKER - TYPE "C"

**FLOOR PLAN GENERAL NOTES**

1. REFER TO GENERAL INFORMATION SHEET FOR LIST OF TYPICAL ABBREVIATIONS AND TYPICAL ARCHITECTURAL GRAPHIC LEGENDS AND SYMBOLS.
2. REFER TO TYPICAL PARTITION TYPES AND DETAILS. ALL PARTITIONS SHALL BE TYPE M8 U.O.N. ALL MASONRY PARTITIONS SHALL BE TYPE M8 U.O.N.
3. REFER TO CODE INFORMATION AND FIRE SAFETY PLAN DRAWINGS FOR LOCATIONS OF FIRE-RESISTANCE RATED PARTITIONS AND NON-FIRE-RESISTANCE RATED SMOKE PARTITIONS.
4. ALIGN PARTITIONS WITH COLUMN OR MULLION CENTERLINE, UNLESS OTHERWISE NOTED.
5. DIMENSIONS ARE FROM FACE OF WALL TO FACE OF WALL (I.E. FACE OF GYPSUM BOARD OR MASONRY) OR FROM FACE OF EXISTING CONDITION OR FROM COLUMN CENTERLINE, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLEAR" SHALL BE FROM FINISH FACE TO FINISH FACE, (i.e. FACE OF CERAMIC TILE TO FACE OF CERAMIC TILE). VERIFY ALL EXISTING DIMENSIONS IN THE FIELD.
6. ALL MASONRY DIMENSIONS, INDICATED "M.O.", ARE NOMINAL DIMENSIONS, UNLESS OTHERWISE NOTED. ACTUAL MASONRY OPENING DIMENSION = NOMINAL MASONRY OPENING DIMENSION + ONE MORTAR JOINT (I.E. 4'-0" M.O. = 4'-0" + ONE STANDARD MORTAR JOINT WIDTH FOR ACTUAL OPENING DIMENSION). CONTRACTOR TO COORDINATE THIS ACTUAL DIMENSION BETWEEN TRADES.
7. REFER TO PLAN ENLARGEMENTS FOR ADDITIONAL DIMENSIONS.
8. REFER TO DOOR AND FRAME DETAILS FOR ADDITIONAL INFORMATION. PROVIDE MINIMUM 4-INCH CLEARANCE FROM FACE OF DOOR JAMB TO FACE OF ADJACENT WALL, UNLESS OTHERWISE NOTED.
9. REFER TO TYPICAL MOUNTING LOCATIONS AND HEIGHTS FOR TOILET ACCESSORIES, EQUIPMENT, WALL SPECIALTY DESIGNATIONS, VISUAL DISPLAY BOARDS, ETC.; TYPICAL TOILET ROOM ELEVATIONS AND TOILET ACCESSORY SCHEDULE.
10. PROVIDE FIRE-TREATED WOOD BLOCKING OR MINIMUM 0.0312-INCH THICK STEEL PLATE STRAP AND BACKING PLATE AT, BUT NOT LIMITED TO, THE FOLLOWING LOCATIONS: TOILET ACCESSORIES, CASEWORK, MILLWORK, DOOR WALL BUMPERS, AND ALL OTHER WALL MOUNTED EQUIPMENT OR DEVICES.
11. ALL EXISTING PARTITIONS INDICATED ON THE FIRE SAFETY PLANS TO BE SMOKE PARTITIONS, SMOKE BARRIERS, OR FIRE-RATED PARTITIONS THAT DO NOT CURRENTLY EXTEND TO UNDERSIDE OF FLOOR SLAB SHALL BE MODIFIED TO EXTEND TO SLAB AND SHALL COMPLY WITH DETAILS SHOWN FOR NEW PARTITIONS. ALL PENETRATIONS OR VOIDS SHALL BE SEALED SMOKE-TIGHT AND/OR BE FIRE-STOPPED AS REQUIRED.
12. REFER TO THE EQUIPMENT PLANS FOR VISUAL DISPLAY BOARD, RESIDENTIAL APPLIANCE, FIXED AUDITORIUM SEATING, PROJECTION SCREEN AND TOILET ACCESSORY LOCATIONS. REFER TO THE EQUIPMENT PLANS FOR EQUIPMENT LOCATIONS AND SCHEDULE.
13. REFER TO THE FINISH PLANS FOR FLOOR PATTERNS.
14. FLOOR PATCH AND FLOOR LEVELING: REPAIR EXISTING TOPPING SLAB AND CONCRETE FLOOR AT DEMOLITION OF WALLS AND AT ALL OTHER LOCATIONS AS REQUIRED. REFER TO DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
15. PATCHING TO MATCH EXISTING:
  - A) PROVIDE ALL OPENINGS REQUIRED FOR ALL TRADES AND PATCH TO MATCH EXISTING, AT EXISTING CONSTRUCTION ALTERED OR DISTURBED BY THE INSTALLATION, RELOCATION, OR REMOVAL OF HEATING, VENTILATING, AIR CONDITIONING, PLUMBING AND/OR ELECTRICAL EQUIPMENT AND DEVICES.
  - B) PATCH TO MATCH EXISTING (PTME), ALL AREAS ADJACENT TO, OR DISTURBED BY, NEW CONSTRUCTION OR EXISTING CONSTRUCTION TO BE REMOVED. PATCH TO MATCH INCLUDES FINISH MATERIAL (PAINT OR VVC OR CERAMIC TILE, ETC.) TO MATCH EXISTING.
  - C) PATCH ALL DEFECTS IN, AND FINISH TO MATCH EXISTING, ALL AREAS WHICH ARE TO RECEIVE NEW MATERIALS, FINISHES AND ITEMS CALLED FOR IN THE CONTRACT DOCUMENTS. PREPARE ALL EXISTING SURFACES TO RECEIVE NEW FINISHES AS REQUIRED.



**1E** FIRST FLOOR PLAN  
1/8" = 1'-0"

© 2022 The S/L/A/M Collaborative, Inc. AutoDesk Docs/21271.00 - SRU College of Nursing - CHE Expansion\_R22.rvt 12/27/2022 2:16:41 PM



1

2

3

4

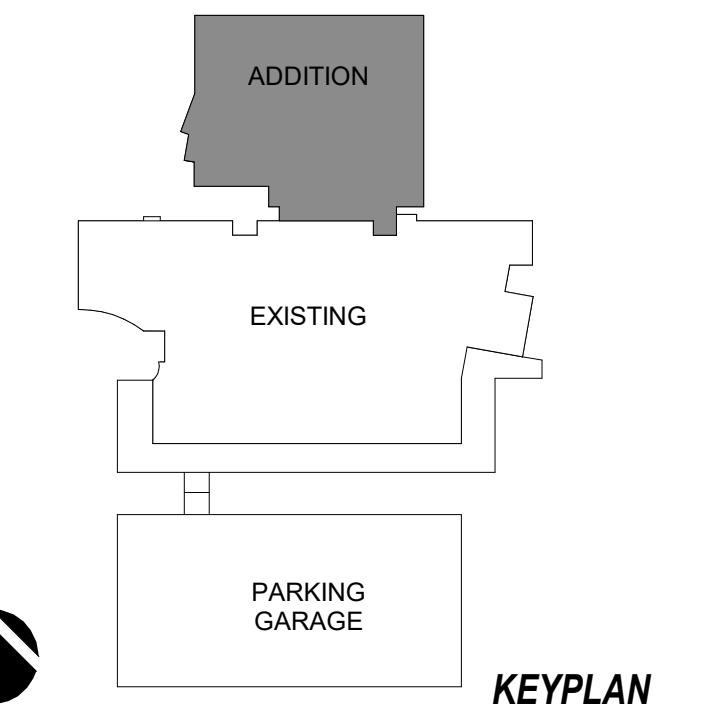
5

Drawn	SSM/AA
Checked	SSM



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



KEYPLAN

Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

**SECOND FLOOR PLAN**

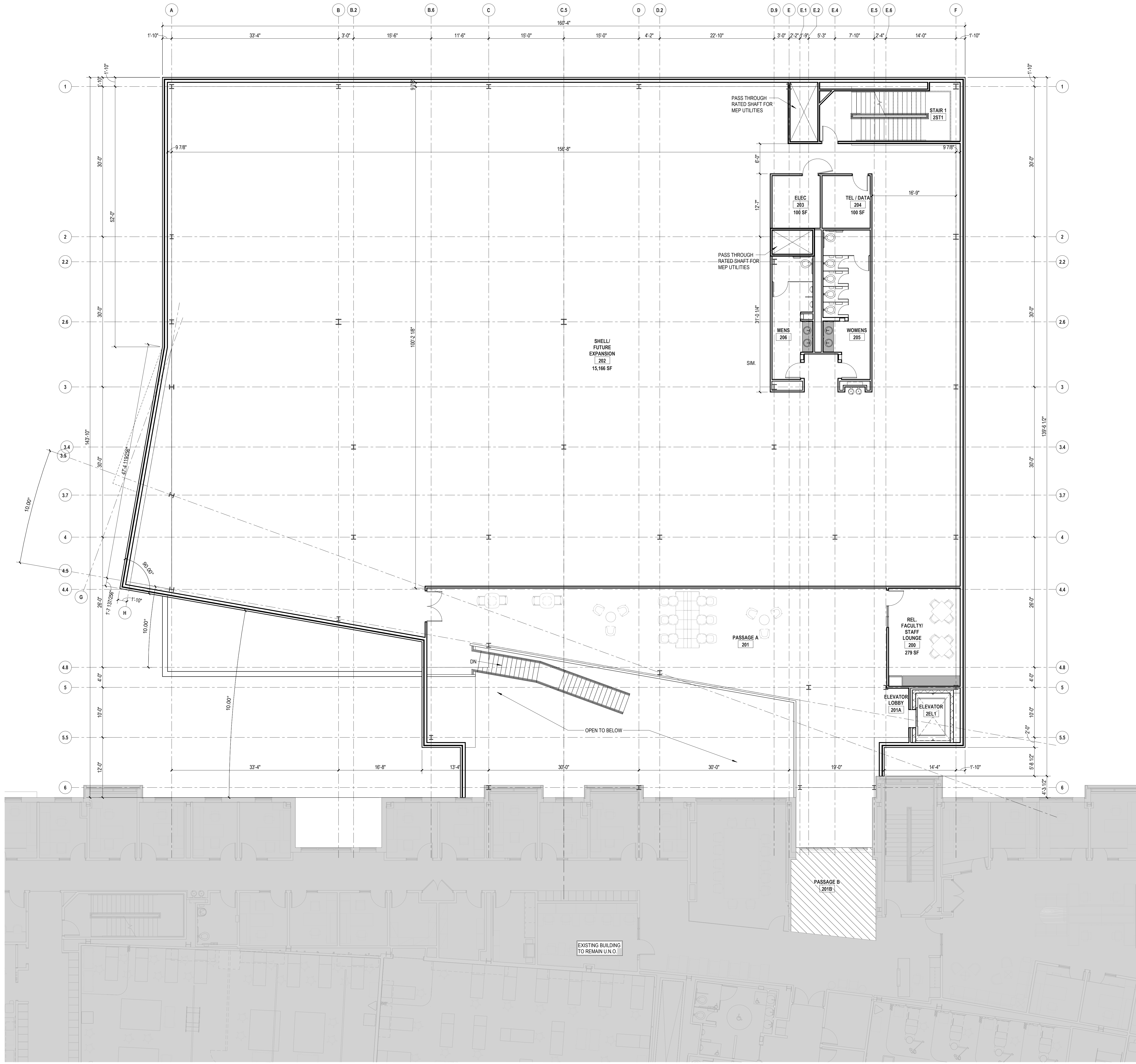
Date	12/29/2022	Drawing Number	A102
Scale	1/8" = 1'-0"		
Proj. Number	21271.00		

**FLOOR PLAN GRAPHIC LEGEND**

- NEW WALL CONSTRUCTION
- NEW MASONRY CONSTRUCTION
- EXISTING WALL CONSTRUCTION TO REMAIN
- FLOOR EXPANSION JOINT COVER. PROVIDE WALL EXPANSION JOINT COVER AT BOTH FACES OF EACH WALL INTERSECTED BY THE FLOOR EXPANSION JOINT COVER.
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET
- FEL FIRE EXTINGUISHER LOCKER UNIT
- FEB FIRE EXTINGUISHER / FIRE BLANKET CABINET
- FVC FIRE VALVE CABINET
- EP ELECTRICAL PANEL
- ACCESSIBLE CLEAR FLOOR SPACE
- CR CARD READER
- PP AUTOMATIC DOOR OPERATOR PUSH PLATE
- HO HOLD OPEN
- MHO MAGNETIC HOLD OPEN
- ES EMERGENCY SHOWER
- EW EYE WASH
- EWC ELECTRIC WATER COOLER
- DF DRINKING FOUNTAIN
- AED DEFIBRILLATOR
- FLOOR DRAIN
- IWB INTERACTIVE WHITEBOARD
- FPD FLAT PANEL DISPLAY
- MPS MANUAL PROJECTION SCREEN
- PPS POWERED PROJECTION SCREEN
- MB\_ MARKER BOARD (NUMBER IS LENGTH IN FEET)
- TB\_ TACK BOARD (NUMBER IS LENGTH IN FEET)
- 12" x 18" x 72" - 4 TIER WARDROBE LOCKER - TYPE "A"
- 18" x 15" x 36" - 2 TIER WARDROBE LOCKER - TYPE "B"
- 15" x 15" x 72" - 1 TIER WARDROBE LOCKER - TYPE "C"

**FLOOR PLAN GENERAL NOTES**

1. REFER TO GENERAL INFORMATION SHEET FOR LIST OF TYPICAL ABBREVIATIONS AND TYPICAL ARCHITECTURAL GRAPHIC LEGENDS AND SYMBOLS.
2. REFER TO TYPICAL PARTITION TYPES AND DETAILS. ALL PARTITIONS SHALL BE TYPE 2 U.O.N. ALL MASONRY PARTITIONS SHALL BE TYPE M8 U.O.N.
3. REFER TO CODE INFORMATION AND FIRE SAFETY PLAN DRAWINGS FOR LOCATIONS OF FIRE-RESISTANCE RATED PARTITIONS AND NON-FIRE-RESISTANCE RATED SMOKE PARTITIONS.
4. ALIGN PARTITIONS WITH COLUMN OR MULLION CENTERLINE, UNLESS OTHERWISE NOTED.
5. DIMENSIONS ARE FROM FACE OF WALL TO FACE OF WALL. (I.E. FACE OF GYPSUM BOARD OR MASONRY) OR FROM FACE OF EXISTING CONDITION OR FROM COLUMN CENTERLINE, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLEAR" SHALL BE FROM FINISH FACE TO FINISH FACE, (i.e. FACE OF CERAMIC TILE TO FACE OF CERAMIC TILE). VERIFY ALL EXISTING DIMENSIONS IN THE FIELD.
6. ALL MASONRY DIMENSIONS, INDICATED "M.O.", ARE NOMINAL DIMENSIONS, UNLESS OTHERWISE NOTED. ACTUAL MASONRY OPENING DIMENSION = NOMINAL MASONRY OPENING DIMENSION + ONE MORTAR JOINT (I.E. 4'-0" M.O. = 4'-0" + ONE STANDARD MORTAR JOINT WIDTH FOR ACTUAL OPENING DIMENSION). CONTRACTOR TO COORDINATE THIS ACTUAL DIMENSION BETWEEN TRADES.
7. REFER TO PLAN ENLARGEMENTS FOR ADDITIONAL DIMENSIONS.
8. REFER TO DOOR AND FRAME DETAILS FOR ADDITIONAL INFORMATION. PROVIDE MINIMUM 4-INCH CLEARANCE FROM FACE OF DOOR JAMB TO FACE OF ADJACENT WALL, UNLESS OTHERWISE NOTED.
9. REFER TO TYPICAL MOUNTING LOCATIONS AND HEIGHTS FOR TOILET ACCESSORIES, EQUIPMENT, WALL SPECIALTY DESIGNATIONS, VISUAL DISPLAY BOARDS, ETC.: TYPICAL TOILET ROOM ELEVATIONS AND TOILET ACCESSORY SCHEDULE.
10. PROVIDE FIRE-TREATED WOOD BLOCKING OR MINIMUM 0.0931-INCH THICK STEEL FLAT STRAP AND BACKING PLATE AT, BUT NOT LIMITED TO, THE FOLLOWING LOCATIONS: TOILET ACCESSORIES, CASEWORK, MILLWORK, DOOR WALL BUMPERS, AND ALL OTHER WALL MOUNTED EQUIPMENT OR DEVICES.
11. ALL EXISTING PARTITIONS INDICATED ON THE FIRE SAFETY PLANS TO BE SMOKE PARTITIONS, SMOKE BARRIERS, OR FIRE-RATED PARTITIONS THAT DO NOT CURRENTLY EXTEND TO UNDERSIDE OF FLOOR SLAB SHALL BE MODIFIED TO EXTEND TO SLAB AND SHALL COMPLY WITH DETAILS SHOWN FOR NEW PARTITIONS. ALL PENETRATIONS OR VOIDS SHALL BE SEALED SMOKE-TIGHT AND/OR BE FIRE-STOPPED AS REQUIRED.
12. REFER TO THE EQUIPMENT PLANS FOR VISUAL DISPLAY BOARD, RESIDENTIAL APPLIANCE, FIRED AUDITORIUM SEATING, PROJECTION SCREEN AND TOILET ACCESSORY LOCATIONS. REFER TO THE EQUIPMENT PLANS FOR EQUIPMENT LOCATIONS AND SCHEDULE.
13. REFER TO THE FINISH PLANS FOR FLOOR PATTERNS.
14. FLOOR PATCH AND FLOOR LEVELING: REPAIR EXISTING TOPPING SLAB AND CONCRETE FLOOR AT DEMOLITION OF WALLS AND AT ALL OTHER LOCATIONS AS REQUIRED. REFER TO DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
15. PATCHING TO MATCH EXISTING:
  - A) PROVIDE ALL OPENINGS REQUIRED FOR ALL TRADES AND PATCH TO MATCH EXISTING. AT EXISTING CONSTRUCTION ALTERED OR DISTURBED BY THE INSTALLATION, RELOCATION, OR REMOVAL OF HEATING, VENTILATING, AIR CONDITIONING, PLUMBING AND/OR ELECTRICAL EQUIPMENT AND DEVICES.
  - B) PATCH TO MATCH EXISTING (PTME). ALL AREAS ADJACENT TO, OR DISTURBED BY, NEW CONSTRUCTION OR EXISTING CONSTRUCTION TO BE REMOVED. PATCH TO MATCH INCLUDES FINISH MATERIAL (PAINT OR VWC OR CERAMIC TILE, ETC.) TO MATCH EXISTING.
  - C) PATCH ALL DEFECTS IN, AND FINISH TO MATCH EXISTING, ALL AREAS WHICH ARE TO RECEIVE NEW MATERIALS, FINISHES AND ITEMS CALLED FOR IN THE CONTRACT DOCUMENTS. PREPARE ALL EXISTING SURFACES TO RECEIVE NEW FINISHES AS REQUIRED.



**1E SECOND FLOOR PLAN**  
1/8" = 1'-0"

© 2022 The S/L/A/M Collaborative, Inc. AutoDesk Docs/21271.00 - SRH College of Nursing - CHE Expansion\_RZZ.rvt

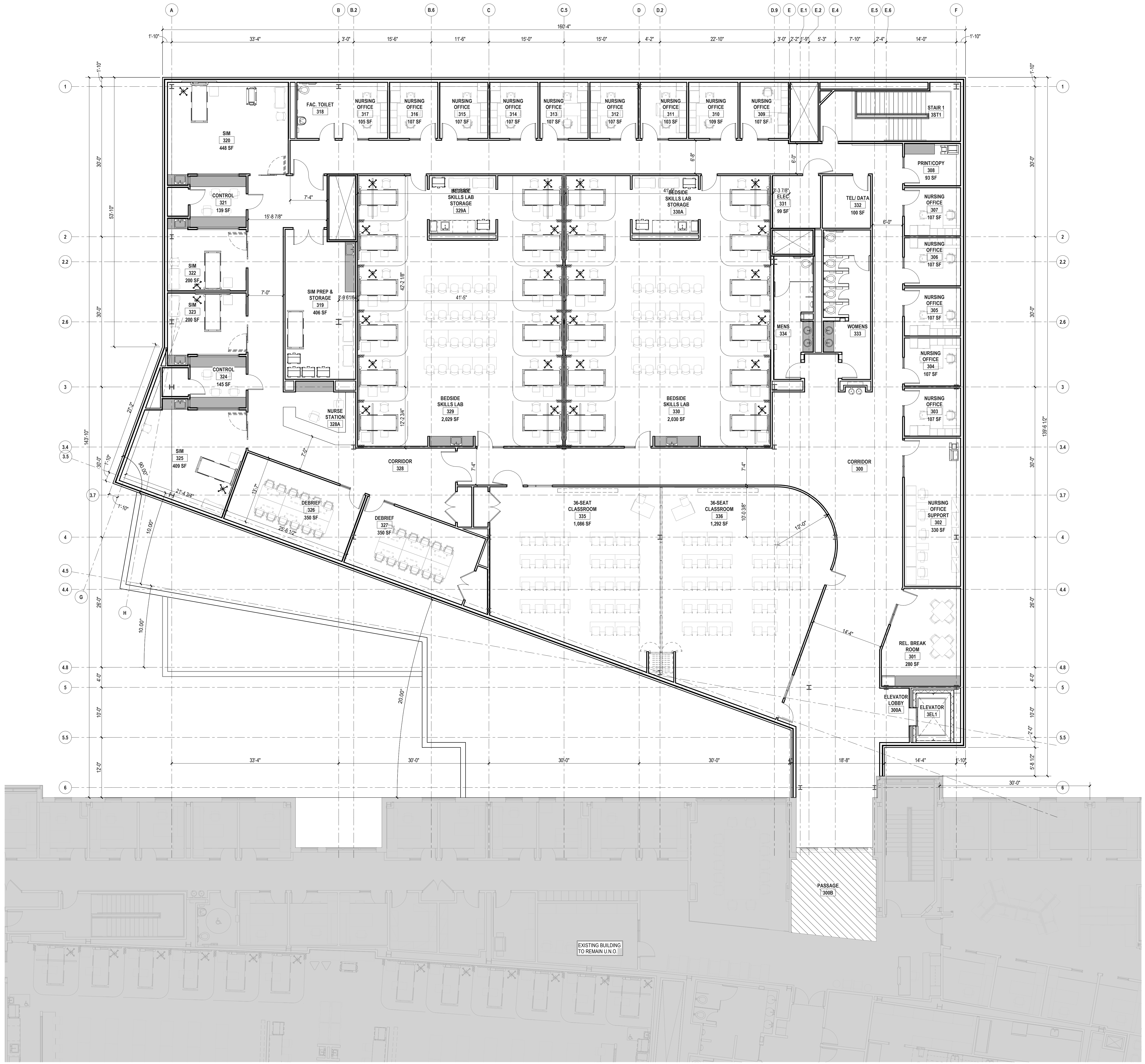
A

B

C

D

E



FLOOR PLAN GRAPHIC LEGEND

- NEW WALL CONSTRUCTION
- NEW MASONRY CONSTRUCTION
- EXISTING WALL CONSTRUCTION TO REMAIN
- FLOOR EXPANSION JOINT COVER: PROVIDE WALL EXPANSION JOINT COVER AT BOTH FACES OF EACH WALL INTERSECTED BY THE FLOOR EXPANSION JOINT COVER
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET
- FEL FIRE EXTINGUISHER LOCKER UNIT
- FEB FIRE EXTINGUISHER / FIRE BLANKET CABINET
- FVC FIRE VALVE CABINET
- EP ELECTRICAL PANEL
- ACCESSIBLE CLEAR FLOOR SPACE
- CR CARD READER
- PP AUTOMATIC DOOR OPERATOR PUSH PLATE
- HO HOLD OPEN
- MHO MAGNETIC HOLD OPEN
- ES EMERGENCY SHOWER
- EW EYE WASH
- EWC ELECTRIC WATER COOLER
- DF DRINKING FOUNTAIN
- AED DEFIBRILLATOR
- FD FLOOR DRAIN
- IWB INTERACTIVE WHITEBOARD
- FPD FLAT PANEL DISPLAY
- MPS MANUAL PROJECTION SCREEN
- PPS POWERED PROJECTION SCREEN
- MB MARKER BOARD (NUMBER IS LENGTH IN FEET)
- TB TACK BOARD (NUMBER IS LENGTH IN FEET)
- 12' x 18' x 72" - 4 TIER WARDROBE LOCKER - TYPE "A"
- 18' x 15' x 36" - 2 TIER WARDROBE LOCKER - TYPE "B"
- 15' x 15' x 72" - 1 TIER WARDROBE LOCKER - TYPE "C"

FLOOR PLAN GENERAL NOTES

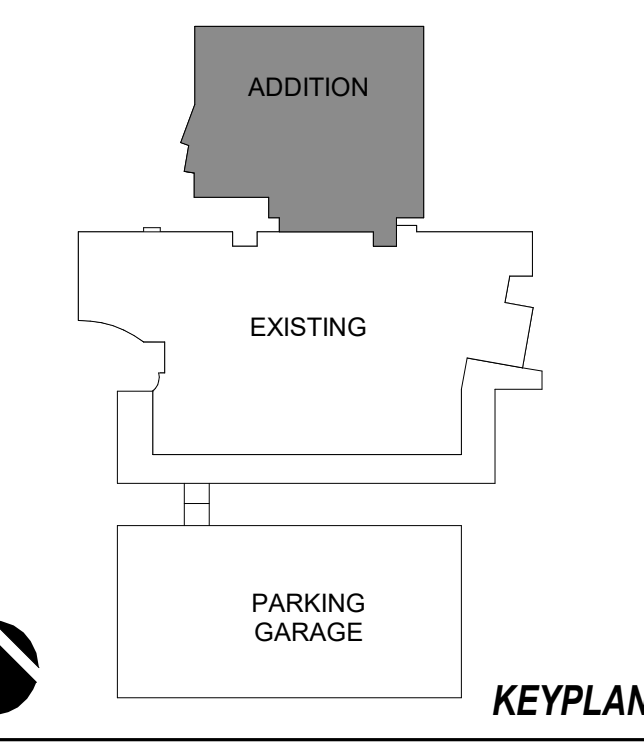
1. REFER TO GENERAL INFORMATION SHEET FOR LIST OF TYPICAL ABBREVIATIONS AND TYPICAL ARCHITECTURAL GRAPHIC LEGENDS AND SYMBOLS.
2. REFER TO TYPICAL PARTITION TYPES AND DETAILS. ALL PARTITIONS SHALL BE TYPE 2 U.O.N. ALL MASONRY PARTITIONS SHALL BE TYPE M3 U.O.N.
3. REFER TO CODE INFORMATION AND FIRE SAFETY PLAN DRAWINGS FOR LOCATIONS OF FIRE-RESISTANCE RATED PARTITIONS AND NON-FIRE-RESISTANCE RATED SMOKE PARTITIONS.
4. ALIGN PARTITIONS WITH COLUMN OR MULLION CENTERLINE, UNLESS OTHERWISE NOTED.
5. DIMENSIONS ARE FROM FACE OF WALL TO FACE OF WALL, (I.E. FACE OF GYPSUM BOARD OR MASONRY) OR FROM FACE OF EXISTING CONDITION OR FROM COLUMN CENTERLINE, UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLEAR" SHALL BE FROM FINISH FACE TO FINISH FACE, (E. FACE OF CERAMIC TILE TO FACE OF CERAMIC TILE). VERIFY ALL EXISTING DIMENSIONS IN THE FIELD.
6. ALL MASONRY DIMENSIONS, INDICATED "M.O.", ARE NOMINAL DIMENSIONS, UNLESS OTHERWISE NOTED. ACTUAL MASONRY OPENING DIMENSION = NOMINAL MASONRY OPENING DIMENSION + ONE MORTAR JOINT (I.E. 4'-0" M.O. = 4'-0" + ONE STANDARD MORTAR JOINT WIDTH FOR ACTUAL OPENING DIMENSION). CONTRACTOR TO COORDINATE THIS ACTUAL DIMENSION BETWEEN TRADES.
7. REFER TO PLAN ENLARGEMENTS FOR ADDITIONAL DIMENSIONS.
8. REFER TO DOOR AND FRAME DETAILS FOR ADDITIONAL INFORMATION. PROVIDE MINIMUM 4-INCH CLEARANCE FROM FACE OF DOOR JAMB TO FACE OF ADJACENT WALL, UNLESS OTHERWISE NOTED.
9. REFER TO TYPICAL MOUNTING LOCATIONS AND HEIGHTS FOR TOILET ACCESSORIES, EQUIPMENT, WALL SPECIALTY DESIGNATIONS, VISUAL DISPLAY BOARDS, ETC.; TYPICAL TOILET ROOM ELEVATIONS AND TOILET ACCESSORY SCHEDULE.
10. PROVIDE FIRE-TREATED WOOD BLOCKING OR MINIMUM 0.0312-INCH THICK STEEL FLAT STRAP AND BACKING PLATE AT, BUT NOT LIMITED TO, THE FOLLOWING LOCATIONS: TOILET ACCESSORIES, CASEWORK, MILLWORK, DOOR WALL BUMPERS, AND ALL OTHER WALL MOUNTED EQUIPMENT OR DEVICES.
11. ALL EXISTING PARTITIONS INDICATED ON THE FIRE SAFETY PLANS TO BE SMOKE PARTITIONS, SMOKE BARRIERS, OR FIRE-RATED PARTITIONS THAT DO NOT CURRENTLY EXTEND TO UNDERSIDE OF FLOOR SLAB SHALL BE MODIFIED TO EXTEND TO SLAB AND SHALL COMPLY WITH DETAILS SHOWN FOR NEW PARTITIONS. ALL PENETRATIONS OR VOIDS SHALL BE SEALED SMOKE-TIGHT AND/OR BE FIRE-STOPPED AS REQUIRED.
12. REFER TO THE EQUIPMENT PLANS FOR VISUAL DISPLAY BOARD, RESIDENTIAL APPLIANCE, FIXED AUDITORIUM SEATING, PROJECTION SCREEN AND TOILET ACCESSORY LOCATIONS. REFER TO THE EQUIPMENT PLANS FOR EQUIPMENT LOCATIONS AND SCHEDULE.
13. REFER TO THE FINISH PLANS FOR FLOOR PATTERNS.
14. FLOOR PATCH AND FLOOR LEVELING: REPAIR EXISTING TOPPING SLAB AND CONCRETE FLOOR AT DEMOLITION OF WALLS AND AT ALL OTHER LOCATIONS AS REQUIRED. REFER TO DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
15. PATCHING TO MATCH EXISTING:
  - A) PROVIDE ALL OPENINGS REQUIRED FOR ALL TRADES AND PATCH TO MATCH EXISTING, AT EXISTING CONSTRUCTION ALTERED OR DISTURBED BY THE INSTALLATION, RELOCATION, OR REMOVAL OF HEATING, VENTILATING, AIR CONDITIONING, PLUMBING AND/OR ELECTRICAL EQUIPMENT AND DEVICES.
  - B) PATCH TO MATCH EXISTING (PTMC), ALL AREAS ADJACENT TO, OR DISTURBED BY, NEW CONSTRUCTION OR EXISTING CONSTRUCTION TO BE REMOVED. PATCH TO MATCH INCLUDES FINISH MATERIAL (PAINT OR VVC OR CERAMIC TILE, ETC.) TO MATCH EXISTING.
  - C) PATCH ALL DEFECTS IN, AND FINISH TO MATCH EXISTING, ALL AREAS WHICH ARE TO RECEIVE NEW MATERIALS, FINISHES AND ITEMS CALLED FOR IN THE CONTRACT DOCUMENTS. PREPARE ALL EXISTING SURFACES TO RECEIVE NEW FINISHES AS REQUIRED.

Drawn	SSM/KP/AA/MM
Checked	SSM



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

**THIRD FLOOR PLAN**



1

2

3

4

5



1B WEST ELEVATION - OVERALL BUILDING  
1/16" = 1'-0"

A

B



1C EAST ELEVATION - OVERALL BUILDING  
1/16" = 1'-0"

C

D



2D NORTH ELEVATION - OVERALL BUILDING  
1/16" = 1'-0"

E



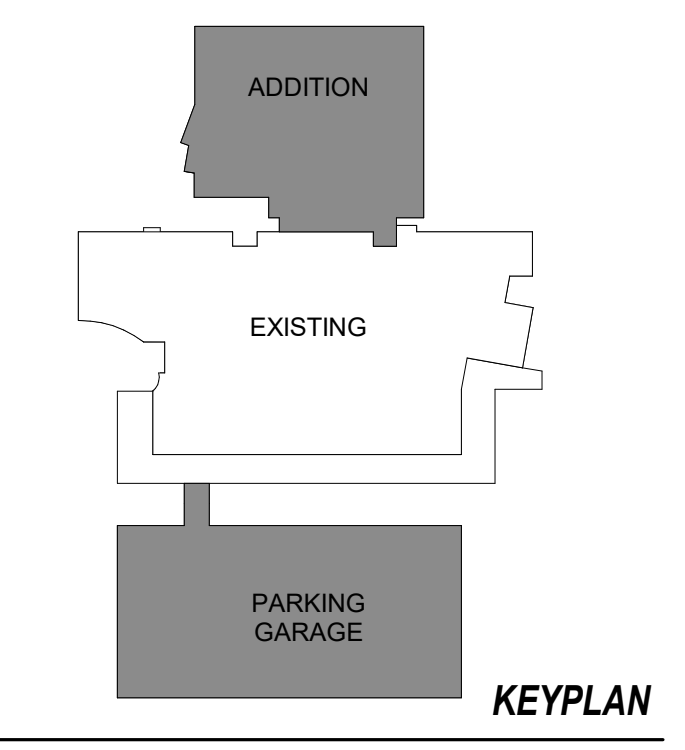
2E SOUTH ELEVATION - OVERALL BUILDING  
1/16" = 1'-0"

Drawn <b>AA</b>	
Checked <b>TKH</b>	



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

**BUILDING ELEVATIONS**

Date <b>12/29/2022</b>	Drawing Number <b>A300</b>
Scale <b>1/16" = 1'-0"</b>	
Proj. Number <b>21271.00</b>	

Autodesk Docs://21271.00 - SRH College of Nursing - CHE Expansion - R22.rvt © 2022 The S/L/A/M Collaborative, Inc. 12/27/2022 2:18:06 PM



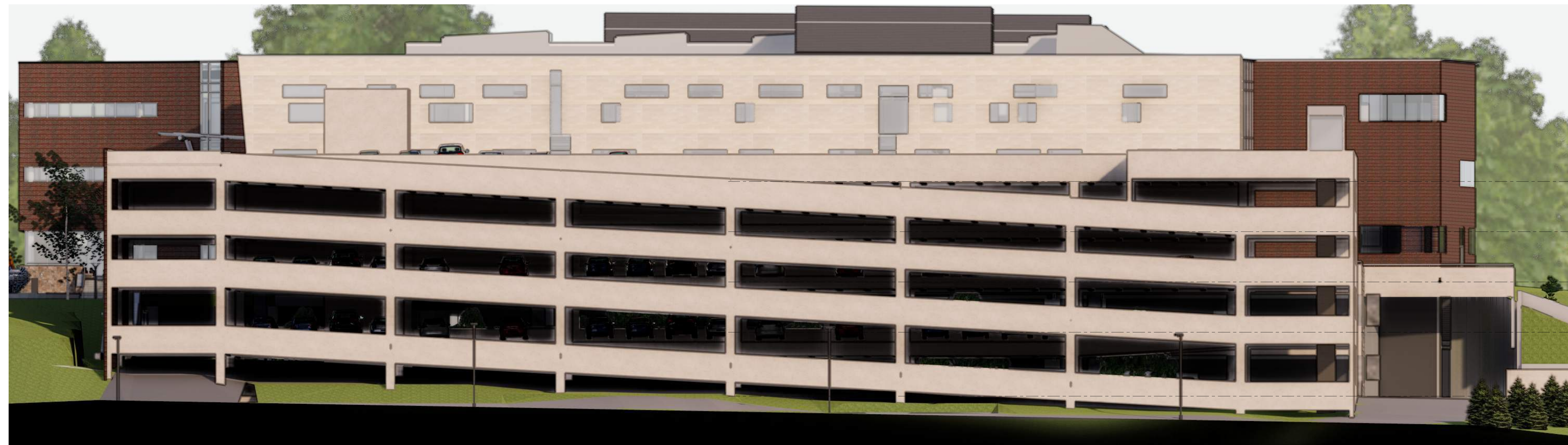
1

2

3

4

5



**1B** SOUTH ELEVATION - PARKING GARAGE  
3/32" = 1'-0"



**2D** WEST ELEVATION - PARKING GARAGE  
3/32" = 1'-0"



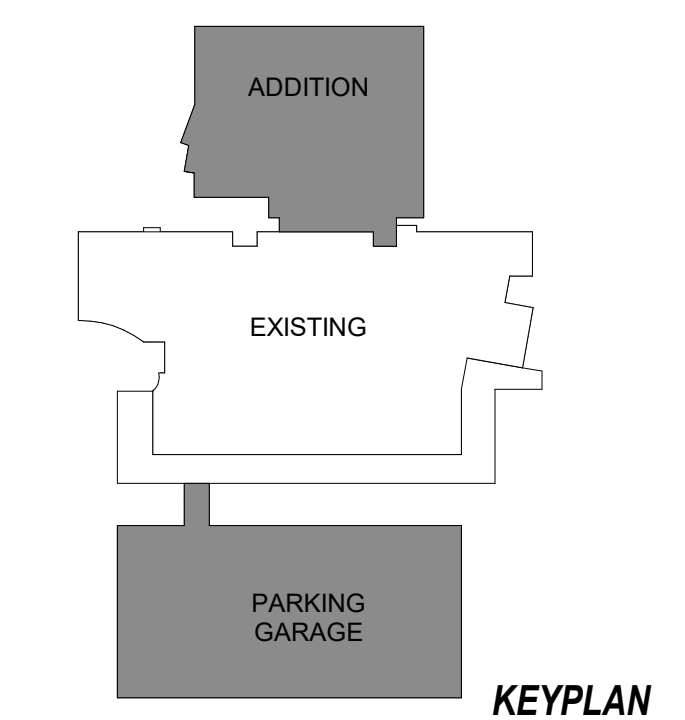
**2E** EAST ELEVATION - PARKING GARAGE  
3/32" = 1'-0"

Drawn	AA
Checked	TKH



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

**PARKING GARAGE BUILDING ELEVATIONS**

Date	12/29/2022	Drawing Number	<b>A301</b>
Scale	3/32" = 1'-0"		
Proj. Number	21271.00		

**PROGRESS PRINT NOT FOR CONSTRUCTION**

Autodesk Docs/21271.00 - SRU College of Nursing - CHE Expansion\_R22.rvt 12/27/2022 2:18:06 PM



1

2

3

4

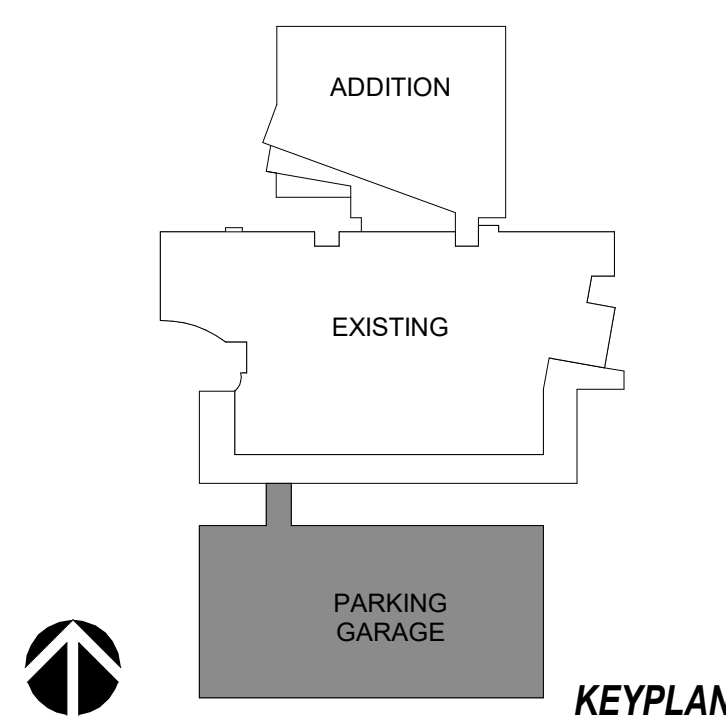
5

Drawn  
**E. Badalian**  
Checked  
**S. Ashley**



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



KEYPLAN

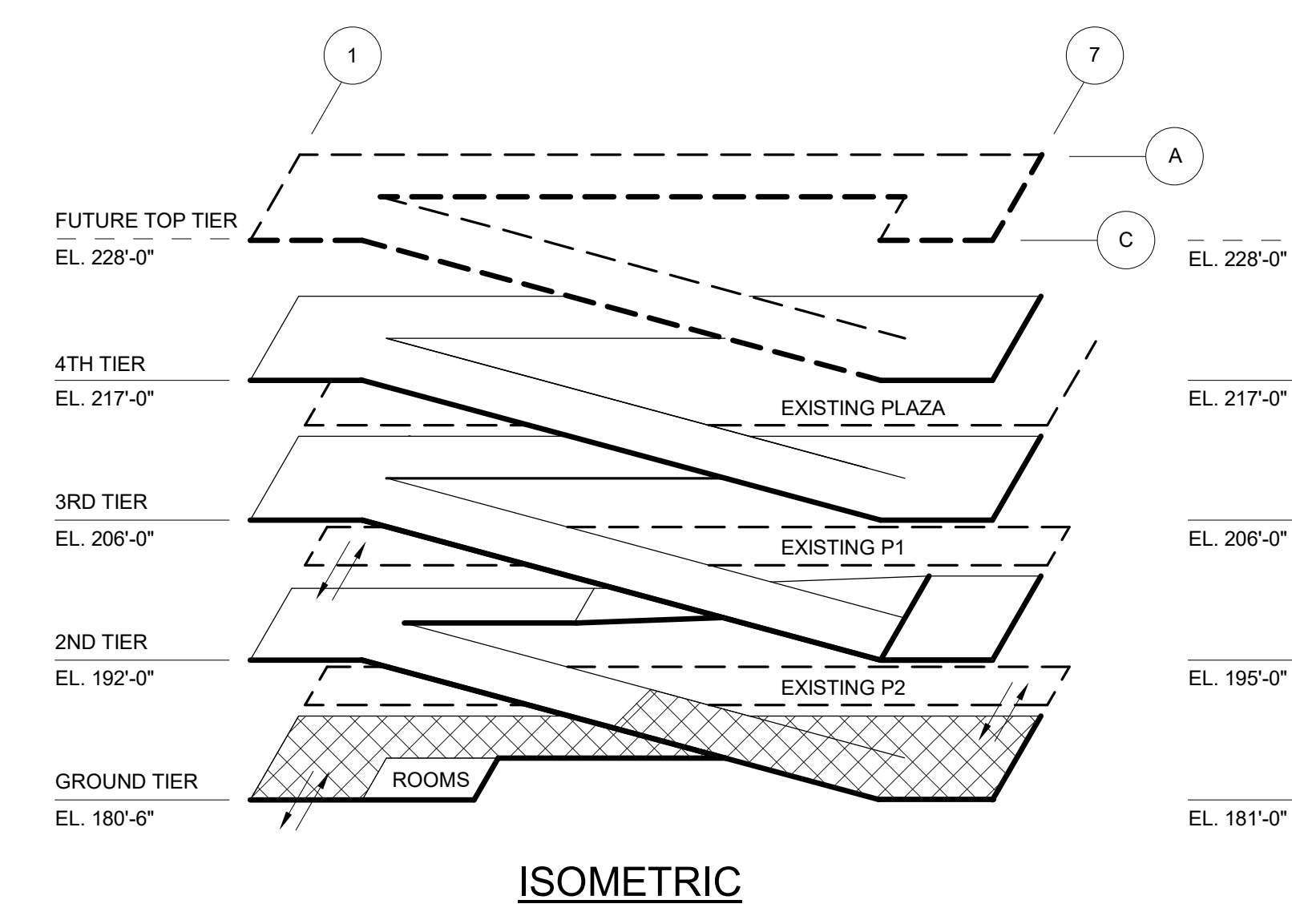
Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

**GROUND TIER PLAN**

Date: **12/22/2022**  
Scale: **3/32" = 1'-0"**  
Proj. Number: **18-002104.00**  
Drawing Number: **S-101**

**SLAB-ON-GROUND NOTES:**

1. CONCRETE INTERIOR SLAB ON GROUND SHALL BE 5" THICK AND REINFORCED WITH #3 @ 18" OC EW, PLACED 2" CLEAR FROM TOP OF SLAB. SLAB SHALL BE PLACED ON A MINIMUM 12" THICK LAYER OF 3/4" CRUSHED STONE PLACED ON A GEOTEXTILE FILTER FABRIC. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
2. PROVIDE 1/2" JOINT FILLER AT GRADE SLAB AROUND COLUMNS, TYPICAL.
3. USE STRAIGHT LINE INTERPOLATION FOR FLOOR ELEVATION BETWEEN THOSE INDICATED.
4. PROVIDE CONSTRUCTION OR CONTROL JOINTS IN CIP WALLS PER DETAILS ON S-501 TO MATCH JOINT IN SLAB ON GROUND.
5. PROVIDE CORNER REINFORCEMENT FOR CIP WALLS, FOOTING AND GRADE BEAMS PER DETAILS ON S-501.



ISOMETRIC

PRECAST COLUMN SCHEDULE			
TYPE	LENGTH	WIDTH	REMARKS
C1	3'-0"	2'-0"	
C2	3'-0"	3'-0"	
C3	1'-6"	1'-3"	TREE COLUMN

- CIP
- CIP (PLAN CUT)
- PRECAST CONCRETE
- CMU
- CIP WASH / TOPPING
- CIP POUR STRIP
- TRAFFIC TOPPING

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THERE IS A MINIMUM OF 8'-4" HEADROOM BETWEEN ALL DRIVING SURFACES AND OVERHEAD BEAMS PRIOR TO PLACING CONCRETE.

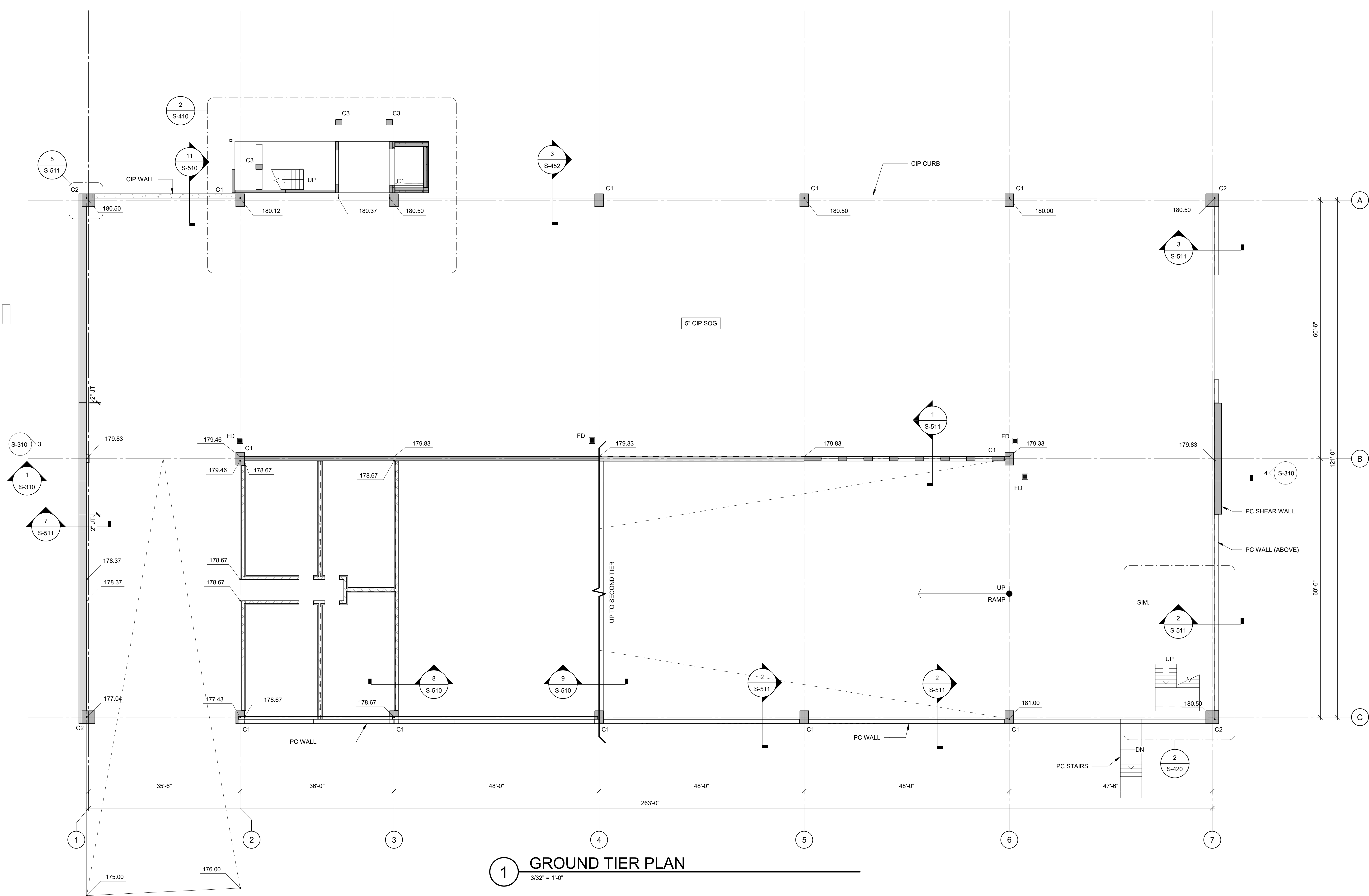
A

B

C

D

E



**1** GROUND TIER PLAN  
3/32" = 1'-0"

Autodesk Docs/21271.00 - SRU College of Nursing - CHE Expansion/18-002104.00.SRU\_Pkg\_Struct\_B22.rvt 12/22/2022, 12:32:11 PM



1

2

3

4

5

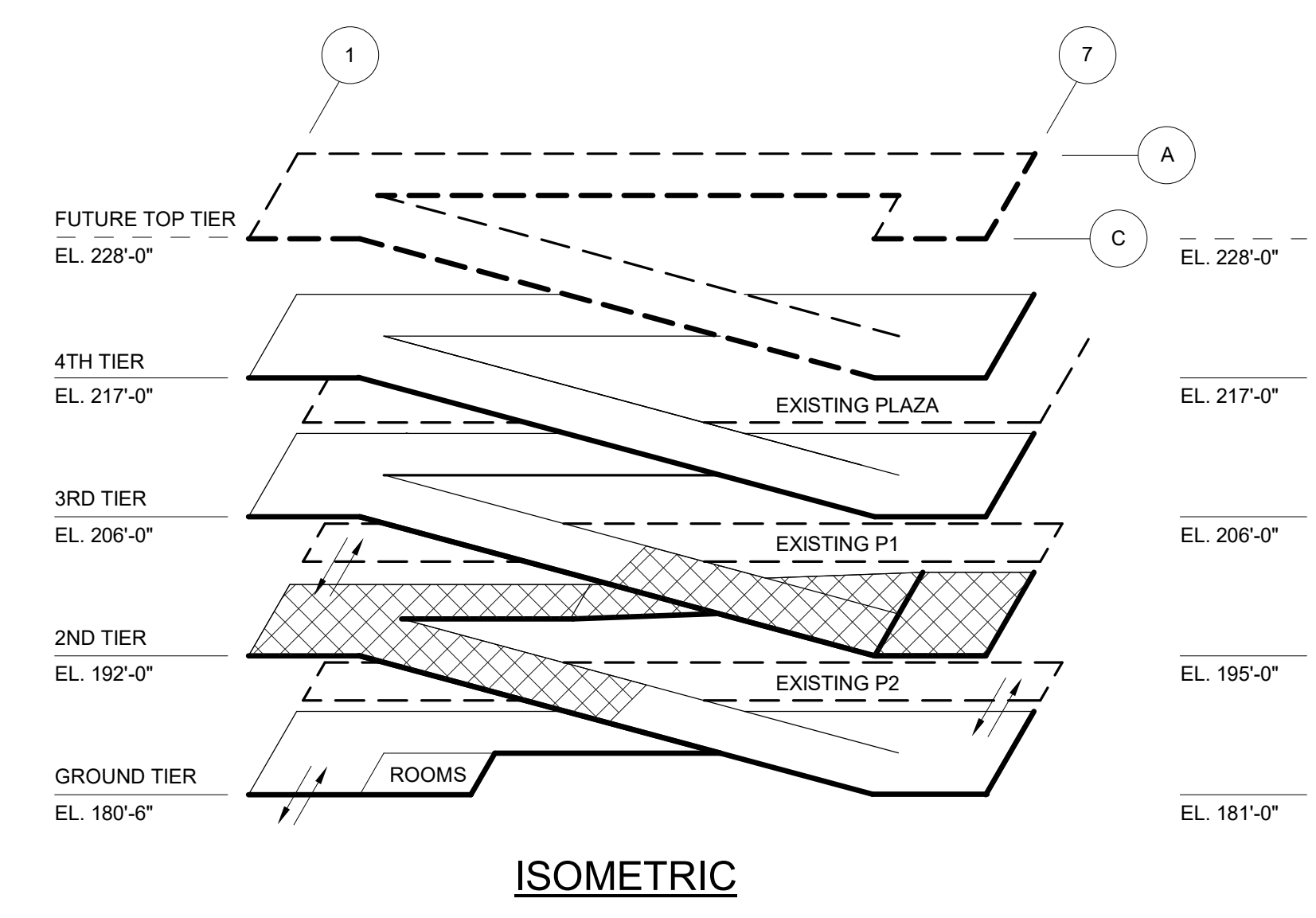
A

B

C

D

E



**REFERENCES:**  
 1. SEE S-103 FOR TYPICAL SHEET NOTES AND THE LOCATION OF TYPICAL DETAIL REFERENCE (U.N.O.)

**SLAM**  
 The S/L/A/M Collaborative

80 Glastonbury Boulevard  
 Glastonbury, CT 06033-4410  
 Phone: 860 657.8077

www.slamcoll.com

Drawn  
**E. Badalian**

Checked  
**S. Ashley**

**WALKER CONSULTANTS**

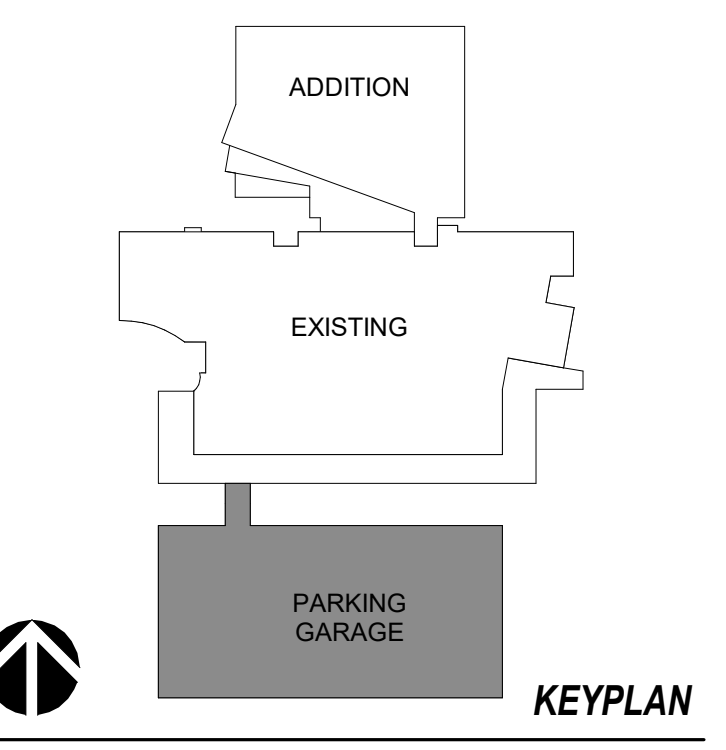
49 West 38th St, 9th Floor  
 New York, NY 10018  
 212.288.2501 Ph  
 www.walkerconsultants.com



**SACRED HEART UNIVERSITY**

**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
 Bridgeport, CT 06606

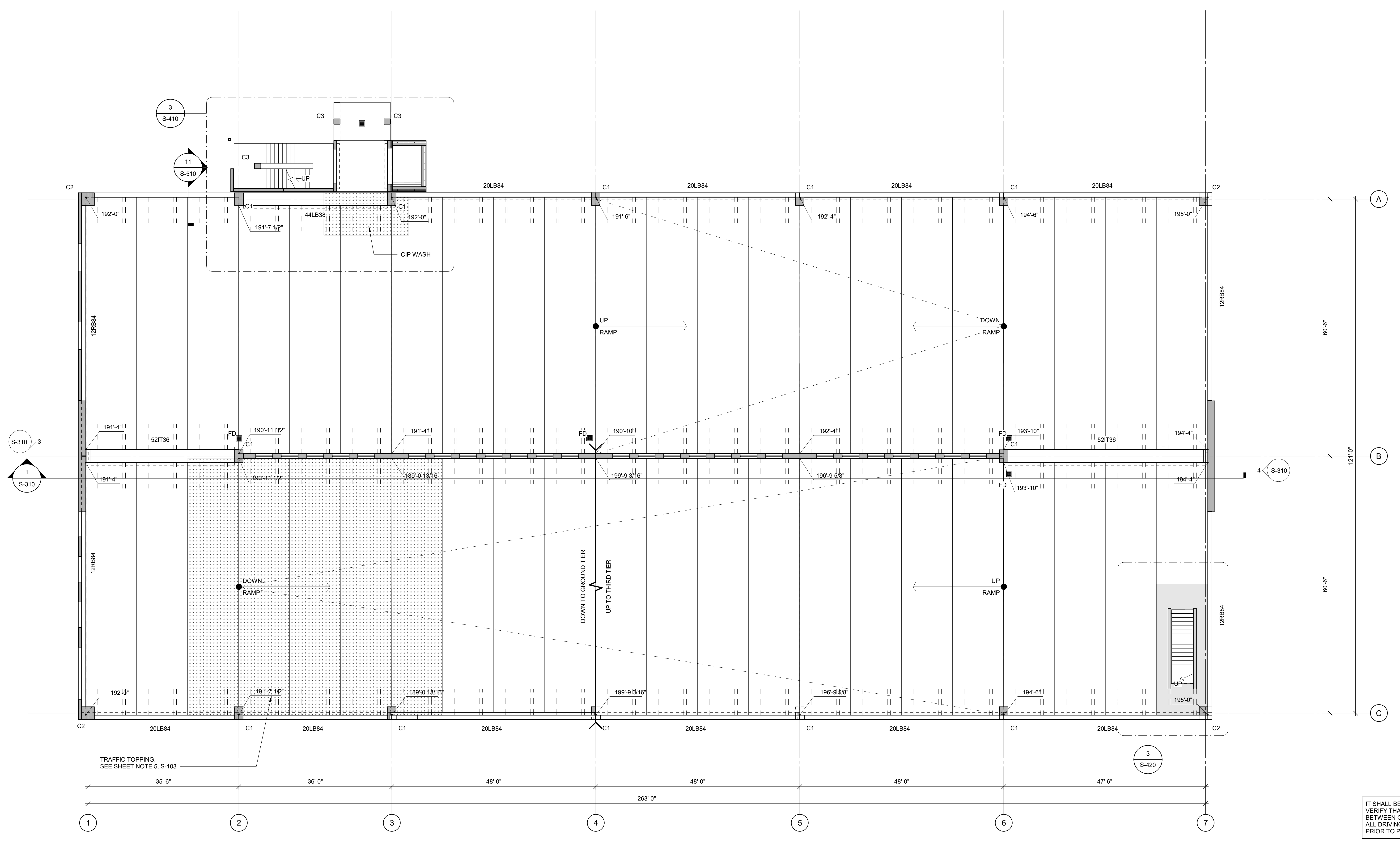


Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

**SECOND TIER PLAN**

Date: **12/22/2022**  
 Scale: **3/32" = 1'-0"**  
 Proj. Number: **18-002104.00**

Drawing Number: **S-102**



- CIP
- CIP (PLAN CUT)
- PRECAST CONCRETE
- CMU
- CIP WASH / TOPPING
- CIP POUR STRIP
- TRAFFIC TOPPING

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THERE IS A MINIMUM OF 8'-4" HEADROOM BETWEEN GRID 1 AND 4; 7'-2" HEADROOM BEYOND. ALL DRIVING SURFACES AND OVERHEAD BEAMS PRIOR TO PLACING CONCRETE.

**PROGRESS PRINT NOT FOR CONSTRUCTION**

Autodesk Docs/20221221.00 - SRH College of Nursing - CHE Expansion/18-002104.00\_SHU\_Pkg-Struct\_B22.rvt 12/22/2022 12:32:13 PM



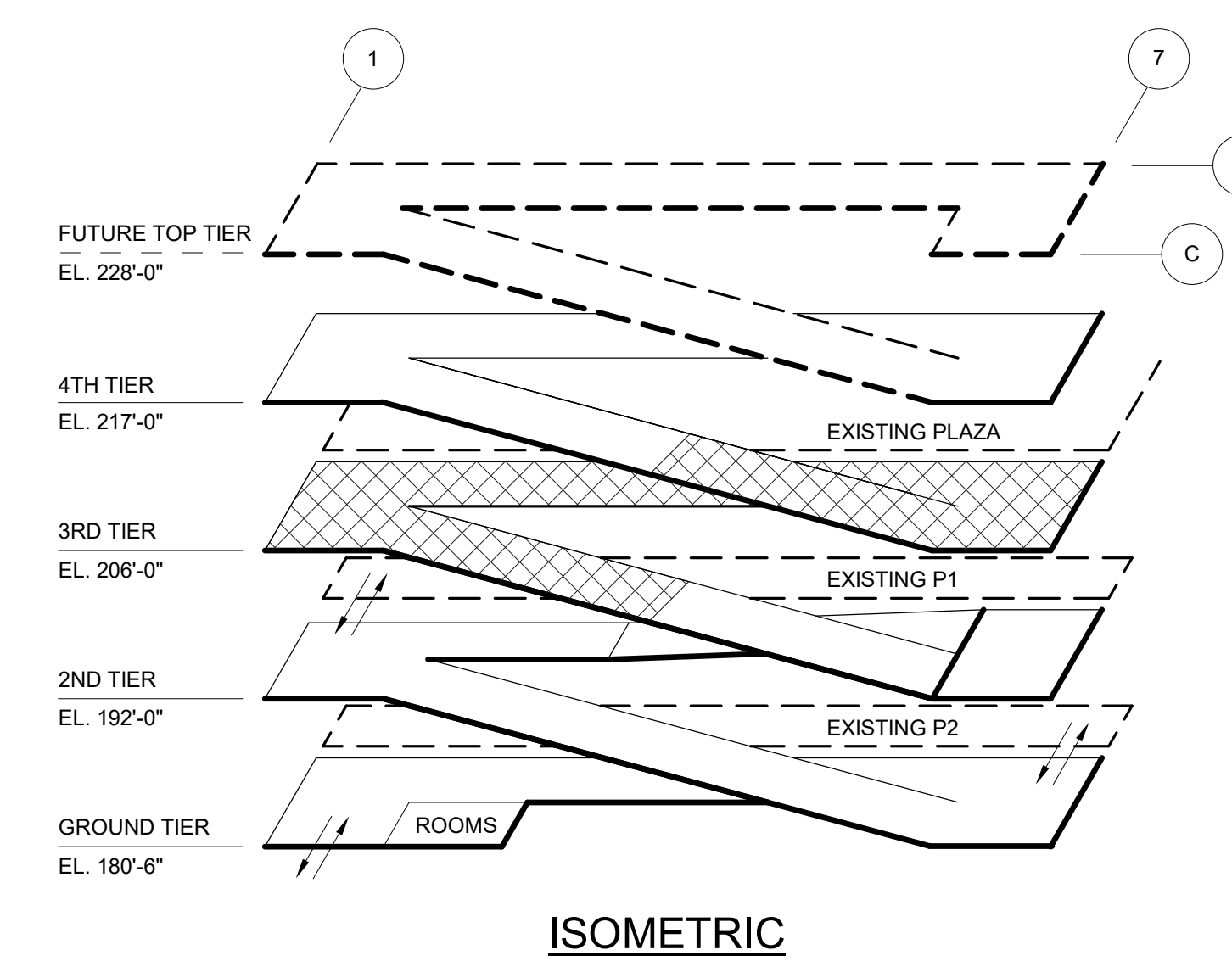
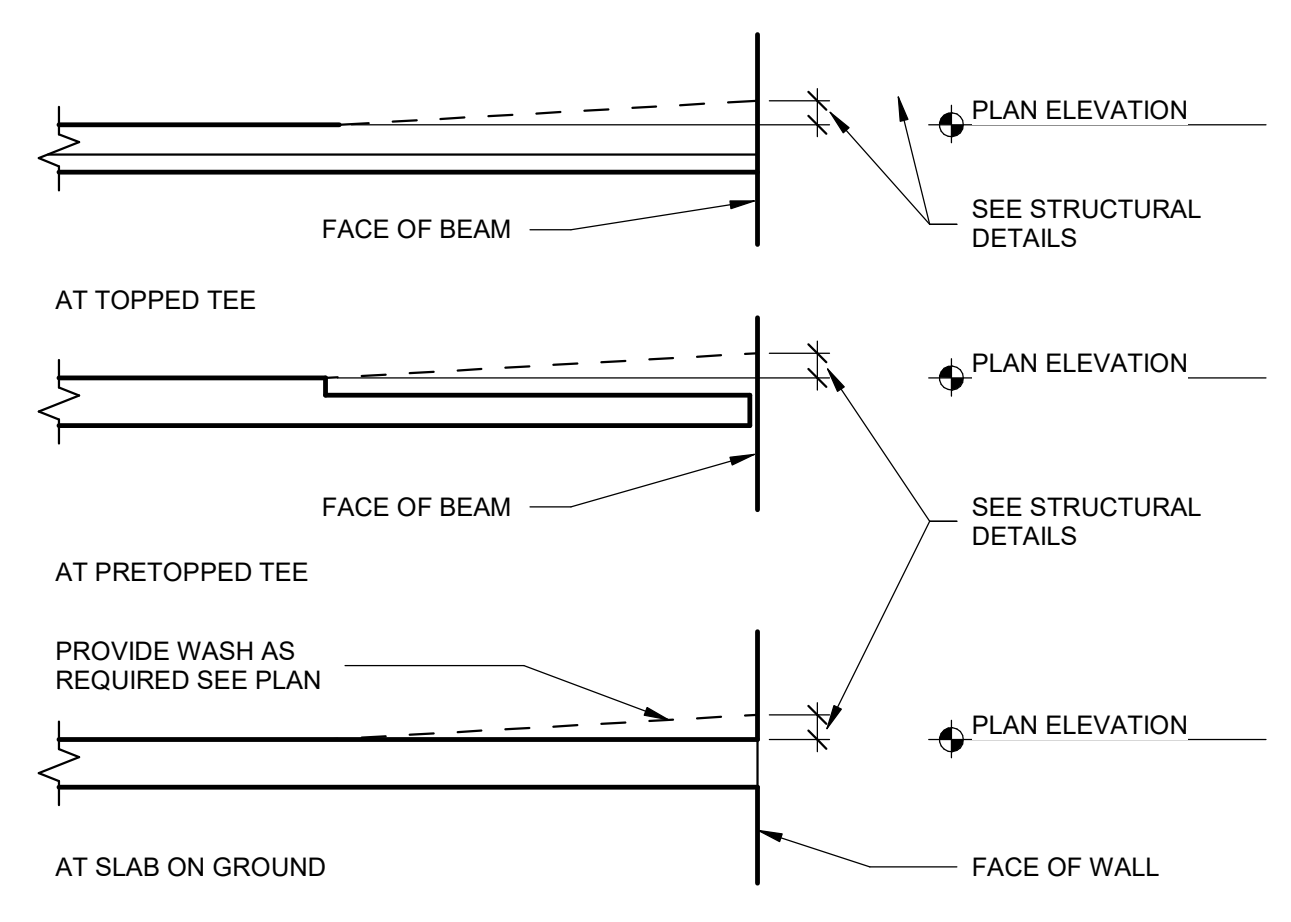
1

2

3

4

5



- REFERENCES:**
- 1. GENERAL NOTES S-001
  - 2. TYPICAL DETAILS S-560
  - 3. PRECAST COLUMN SCHEDULE S-101
  - 4. PRECAST STRUCTURAL WALL ELEVATIONS S-310
  - 5. ENLARGE PLANS S-400 SERIES
  - 6. PRECAST BEAM DETAILS, SCHEDULE & NOTES S-530
  - 7. PRECAST TEE DETAILS & NOTES S-531
- NOTES:**
1. USE STRAIGHT LINE INTERPOLATION FOR FLOOR ELEVATION BETWEEN THOSE INDICATED.
  2. PROVIDE TOOLED AND SEALED CONTROL COVER ALL PRECAST JOINTS, UNO.
  3. ELEVATIONS SHOWN ARE REFERENCED ELEVATIONS. SEE ISOMETRIC FOR DATUM ELEVATIONS. ELEVATIONS DO NOT INCLUDE WASH HEIGHT, SEE 2/S-103.
  4. DETAIL CUTS AND INFORMATION SHOWN HERE ARE TYPICAL FOR SUPPORTED LEVELS, UNLESS NOTED.
  5. APPLY TRAFFIC TOPPING ON FLOOR AND 4" VERTICALLY ON THE PIC SPANDREL OR WALL (WHERE APPLIES). EXTEND TRAFFIC TOPPING 1'-0" BEYOND THE EDGE OF ROOM BELOW. PRECAST SUPPLIER TO COORDINATE TEE FINISH WITH TRAFFIC TOPPING SUPPLIER. CAULKING CONTRACTOR TO FILL PRECAST TEE TO TEE JOINTS FLUSH WITH CONCRETE UNDER THE TRAFFIC TOPPING.
  6. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE LOCATIONS AND INFORMATION.
  7. THE COLUMN GRID LAYOUT IS BASED UPON 12'-0" WIDE DOUBLE TEES. PRECASTERS OPTION TO USE 15'-0" AND 16'-0" DOUBLE TEES WHERE FEASIBLE. SEE SHEET S-565 FOR CONDUIT/PIPE RISER GUARD DETAILS.
  9. NOMINAL FLAT LANDING AT TOP OF WASH TO MATCH STAIR LOBBY ELEVATION. SLOPE AWAY FROM EXPANSION JOINT.

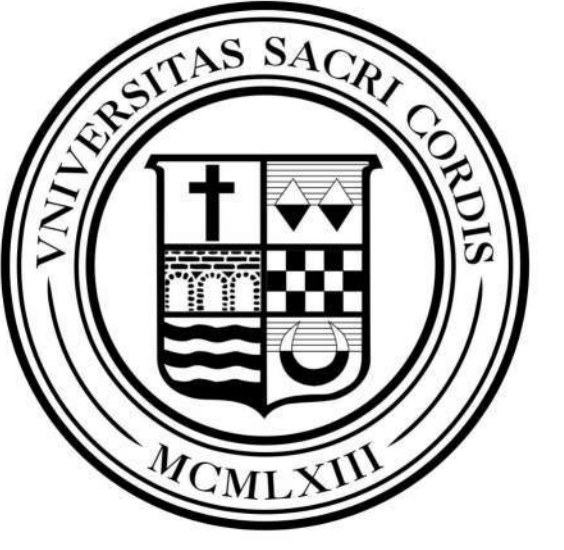
**SLAM**  
The S/L/A/M Collaborative

80 Glastonbury Boulevard  
Glastonbury, CT 06033-4410  
Phone: 860 657.8077

www.slamcoll.com

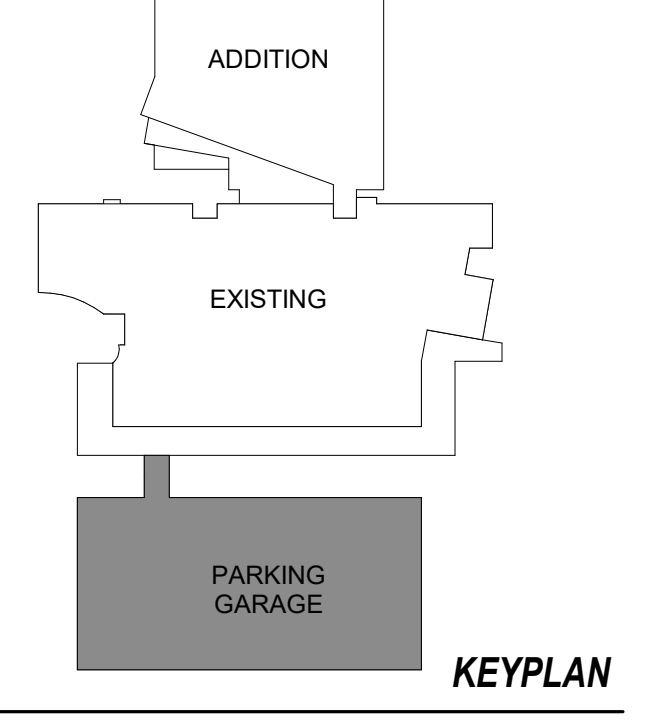
Drawn: **E. Badalian**  
Checked: **S. Ashley**

**WALKER CONSULTANTS**  
49 West 38th St, 9th Floor  
New York, NY 10018  
212.288.2501 Ph  
www.walkerconsultants.com



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

**PROGRESS PRINT NOT FOR CONSTRUCTION**

**THIRD TIER PLAN**

Date: **12/22/2022**  
Scale: **As indicated**  
Proj. Number: **18-002104.00**  
Drawing Number: **S-103**

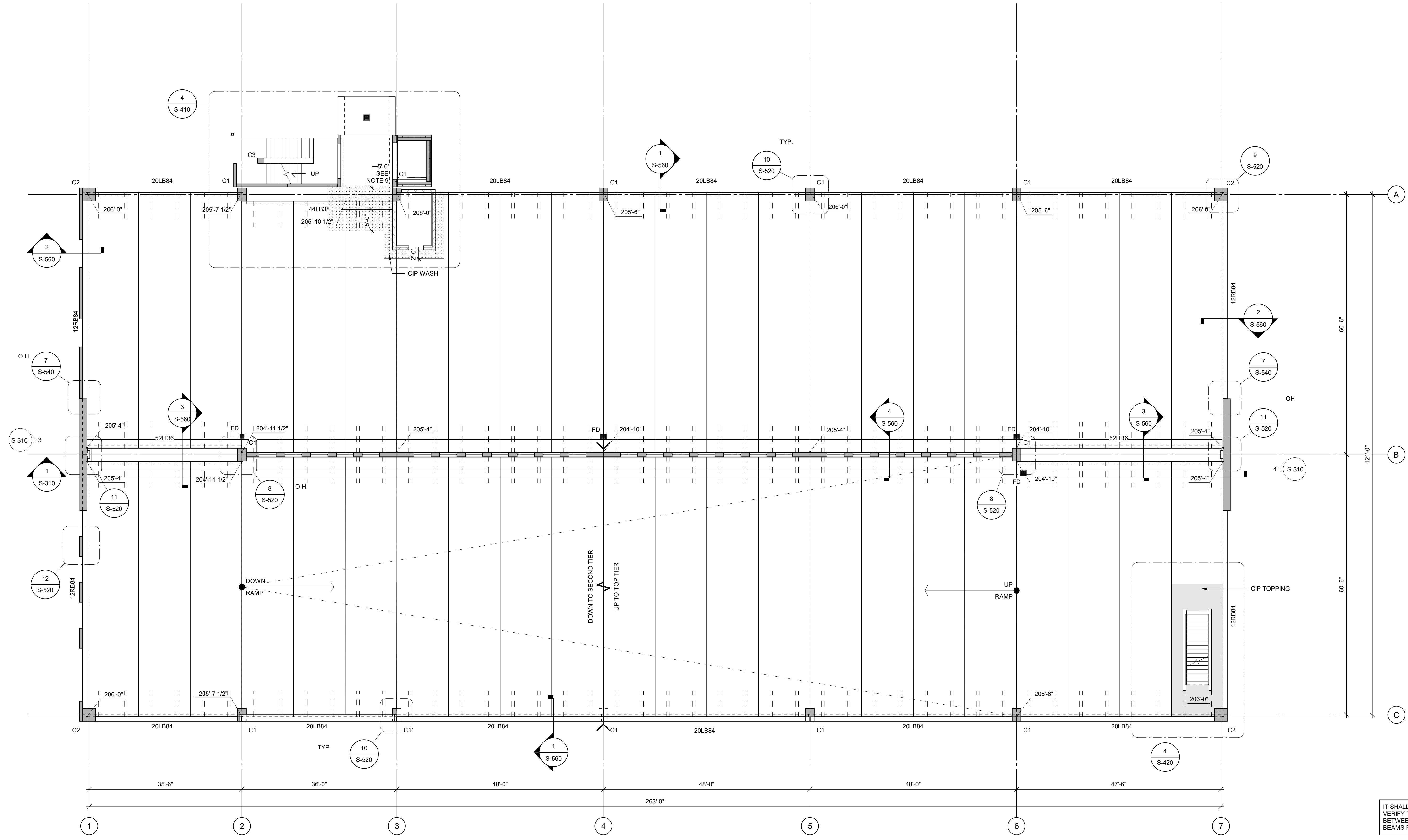
A

B

C

D

E



IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THERE IS A MINIMUM OF 7'-2" HEADROOM BETWEEN ALL DRIVING SURFACES AND OVERHEAD BEAMS PRIOR TO PLACING CONCRETE.

**1 THIRD TIER PLAN**  
3/32" = 1'-0"

Autodesk Docs/2021271.00 - SRU College of Nursing - CHE Expansion/18-002104.00.SHU\_Pkg-Struct\_022.rvt 12/22/2022 12:32:15 PM



1

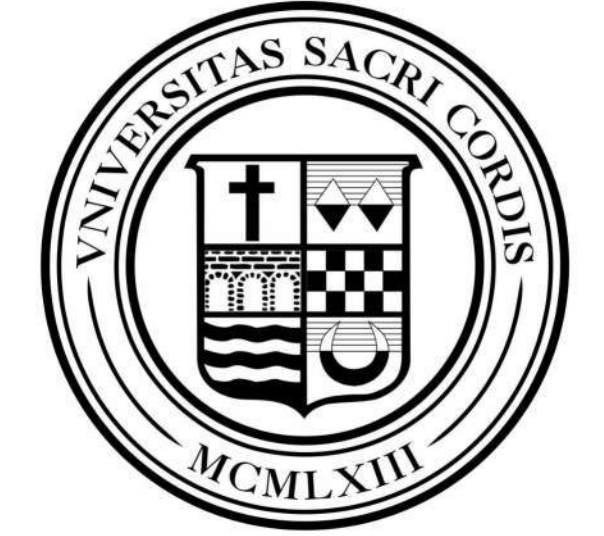
2

3

4

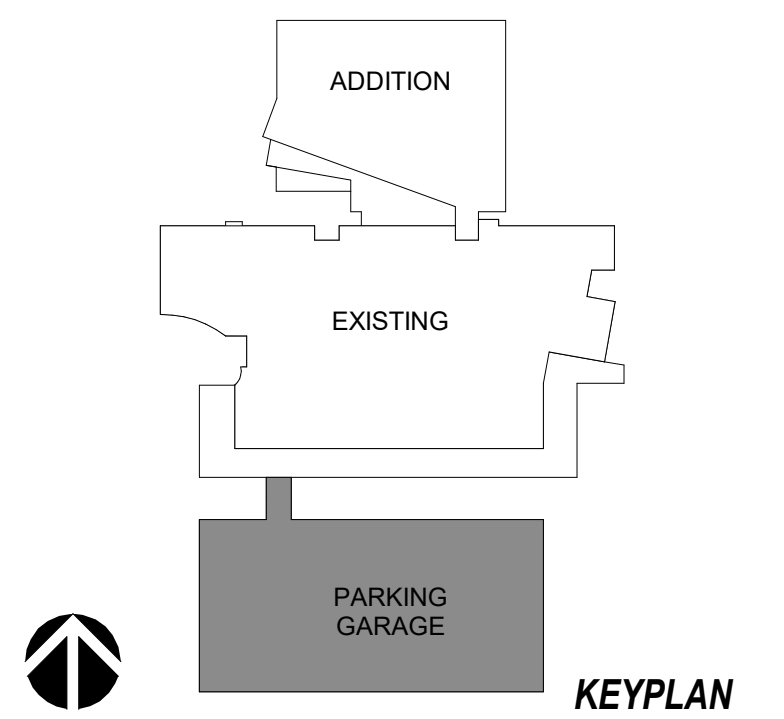
5

Drawn  
**E. Badalian**  
Checked  
**S. Ashley**



**SACRED HEART UNIVERSITY**  
**Additions and Renovations to CENTER FOR HEALTHCARE EDUCATION**

4030 Park Avenue  
Bridgeport, CT 06606



Number	Date	Issued For
1	12/29/2022	PLANNING AND ZONING

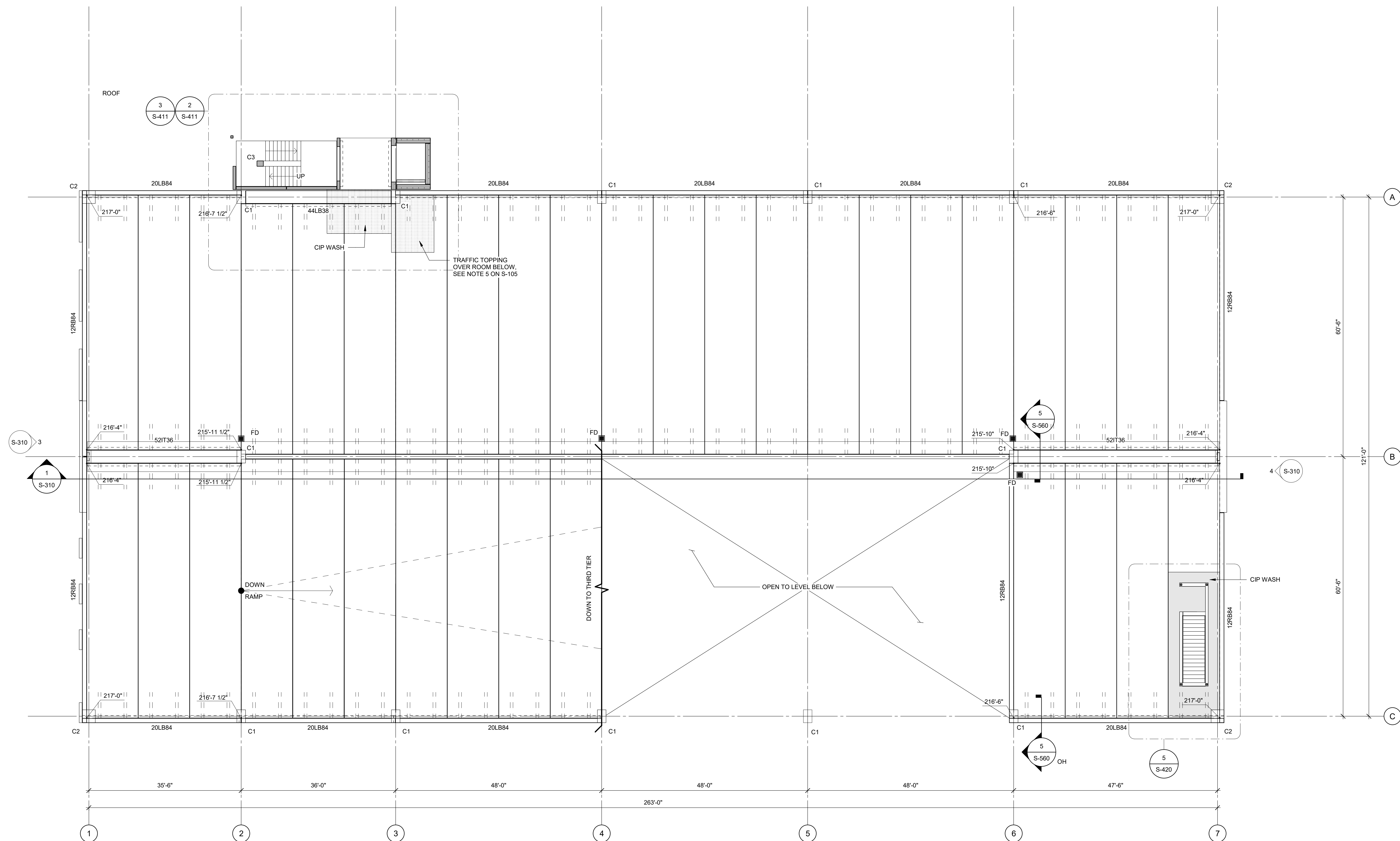
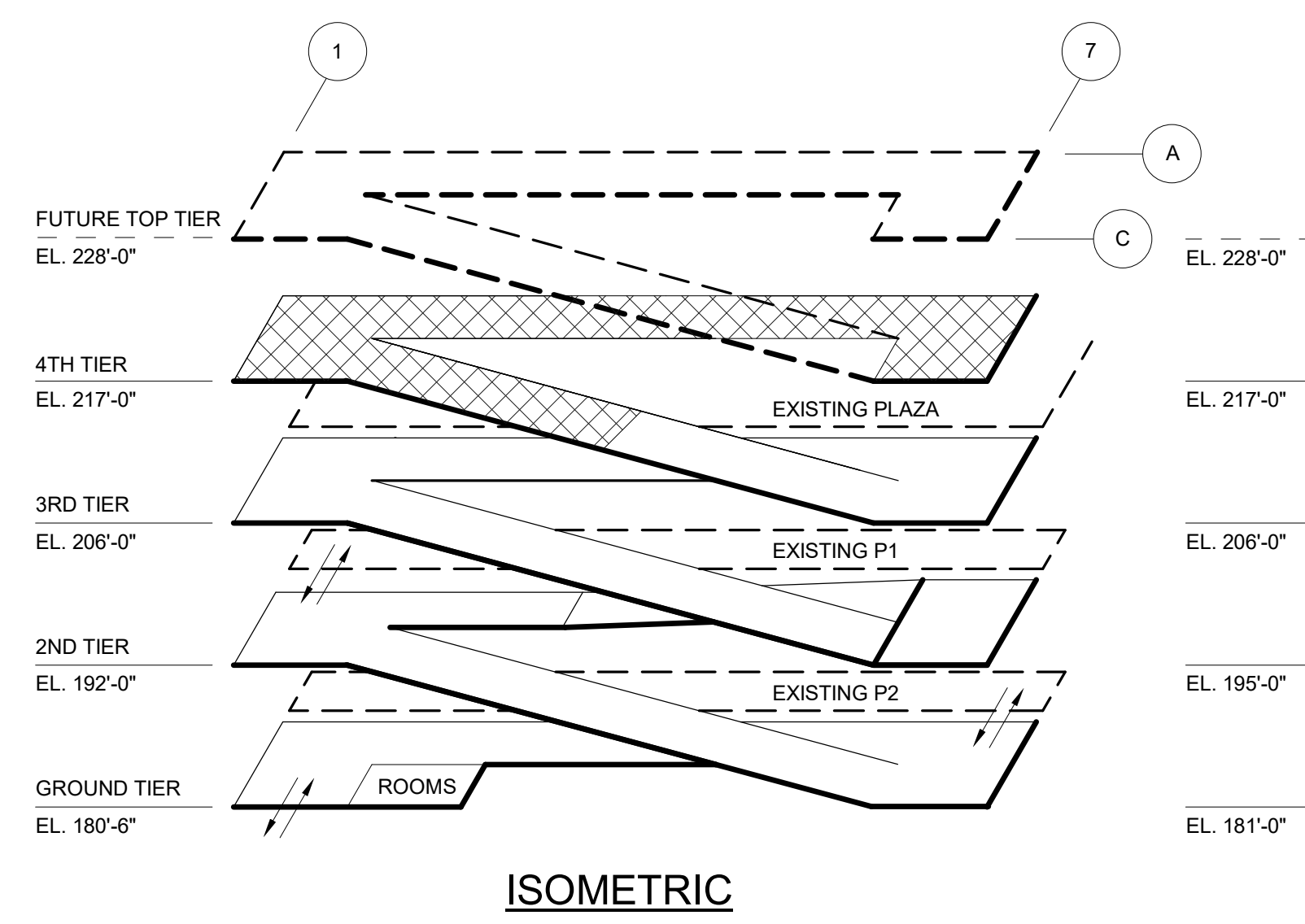
**PROGRESS PRINT NOT FOR CONSTRUCTION**

**TOP TIER PLAN**

Date: 12/22/2022  
Scale: 3/32" = 1'-0"  
Proj. Number: 18-002104.00  
Drawing Number: **S-104**

**PRECAST FRAMING NOTES:**

1. SEE S-103 FOR TYPICAL SHEET NOTES AND THE LOCATION OF TYPICAL DETAIL REFERENCES (U.N.O.)



- CIP
- CIP (PLAN CUT)
- PRECAST CONCRETE
- CMU
- CIP WASH / TOPPING
- CIP POUR STRIP
- TRAFFIC TOPPING

**1 FOURTH TIER PLAN**  
3/32" = 1'-0"

Autodesk Docs/21/271.00 - SHU College of Nursing - CHE Expansion/18-002104.00\_SHU\_Pkg-Struct\_B22.rvt 12/22/2022 12:32:16 PM