CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION
APPLICATION

1. **NAME OF APPLICANT:** Benji Wag & Woof LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X .
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 105 Island Brook Ave, CT, 06606
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. _____ Lot No. _____
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section: N/A
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 50' x 200' on Island Brook Ave
7. Existing Zone Classification: I-LI
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Dog Daycare and Boarding services franchise - Camp Bow Wow

Approval(s) requested: Special Permit Request

Signature: _____ **Date:** July 1, 2021

Print Name: Kinsuk Shah

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____

Print Name: _____

Mailing Address: 53 Treadwell Lane, Weston, CT 06883

Phone: NA Cell: 908-821-8055 Fax: NA

E-mail Address: kinsuk.shah@campbowwow.com

$ _____ Fee received **Date:** _____ **Clerk:** _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- ☐ Completed & Signed Application Form
- ☐ Completed Site / Landscape Plan
- ☐ Written Statement of Development and Use
- ☐ Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- ☐ A-2 Site Survey
- ☐ Drainage Plan
- ☐ Property Owner's List
- ☐ Building Floor Plans
- ☐ Building Elevations
- ☐ Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Print Owner's Name	Owner's Signature	Date
Wade Enterprises LLC	_____	7/1/2021
_____	_____	_____

Rev. 6/18/2016

Benji Wag & Woof LLC
dba Camp Bow Wow Bridgeport

53 Treadwell Lane
Weston, CT 06883
908-821-8055

Zoning Administrator
Zoning Department Bridgeport
45 Lyon Terrace
Bridgeport, CT 06604

Re: Application for special use permit for 105 Island Brook Ave. ("site")

Dear Sir/Madam,

Please accept this letter as written statement in support of our application for special use permit at the site listed above for use as a Camp Bow Wow franchise location, which offers Dog Boarding, Daycare, Grooming and Services facility.

The site has frontage along Island Brook Avenue and is located in a very industrial area surrounded by industrial use facilities, including auto repair shops, industrial machine shops and stone/marble workshops. The use would create minimal to no disturbance to the neighboring properties, additionally there are no residential properties near the site.

We propose to transition the site from an industrial use facility to a pet services facility that houses a Camp Bow Wow franchise location offering dog boarding, daycare and related services. The site provides an ideal location with the space requirements for outdoors and indoors spaces to house a dog boarding and daycare facility. The retail zoning places an undue burden as there are limited standalone retail buildings in the retail zone. Additionally, multi-unit retail buildings may pose stress on neighboring retail business from the activities involved in a dog boarding and daycare service facility.

The proposal would involve demising the existing property with the main bay/warehouse being converted to dog boarding and fenced yards, including outdoor area behind the existing building. The rear of the building provides sufficient outdoor space for our requirements. Lastly, the Bridgeport animal control facility is located almost directly behind the site at 236 Evergreen Street.

We have been working to identify a site within the Bridgeport location, as currently there are no dog daycare or boarding services available to Bridgeport residents. We have faced extreme hardships in meeting the current retail zoning requirements for a viable business, with the size/space needed to operate the same within retail zoning.

Given the above reasons and hardships, we request a special use permit for the facility at the site to enable opening a Camp Bow Wow facility, a nationwide franchise for dog boarding/daycare services facility.

Addressing Special Permit Standards:

a. The site plan would make no changes to the existing property boundaries and in support of establishing neighborhoods, would bring a new commercial business that would provide a valuable service to Bridgeport and surrounding communities.
b. Special Permit use will have no impairment to future development, no new buildings or site modifications to impair use
c. No changes to existing building height and bulk
d. Property will have adequate fencing, and safety features to ensure adjacent properties are not impacted negatively
e. No environmental impact to the Long Island Sound, all property drainage will meet current standards and guidelines.
f. No residential district adjacent to property.
g. Outdoor signage will be placed on existing building elevation and no new signs will be created on the roof
h. The proposed improvements to building will seek to create additional property value by adding a retail front and improve overall curb appeal of the property.
i. Special permit use will not create any disruption that is out of the norm for other businesses in the area, noise level and additional visibility will look to improve visibility for surrounding businesses.
j. All new signage on premises shall meet identified standards and requirements.

Lastly, to address employee parking and onsite parking, there is additional business parking specific for employee use being allocated 1 block or 300 ft. away at 169 Island Brook ave, as part of the lease agreement for the building. Identified in Section 40 of the lease, also copied below.

"40. Parking: Landlord will provide parking for approximately 15 cars in an open lot located at 169 Island Brook Ave on the next block from the demised premises for Tenant's sole use."

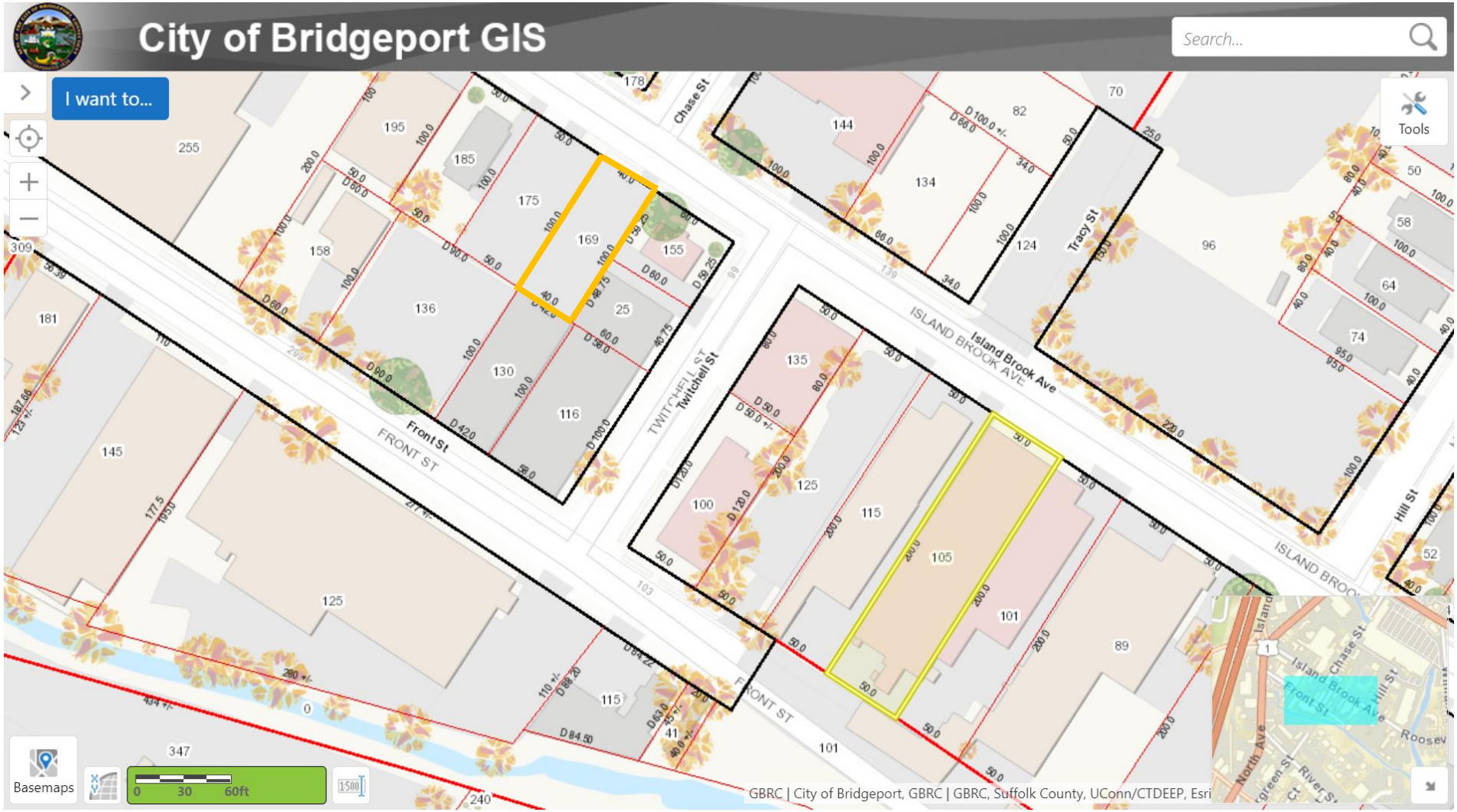
Thank you for your consideration on the matter.

Regards,

Kinsuk Shah & Gunjan Shah
Owners, Benji Wag & Woof LLC, dba Camp Bow Wow Bridgeport

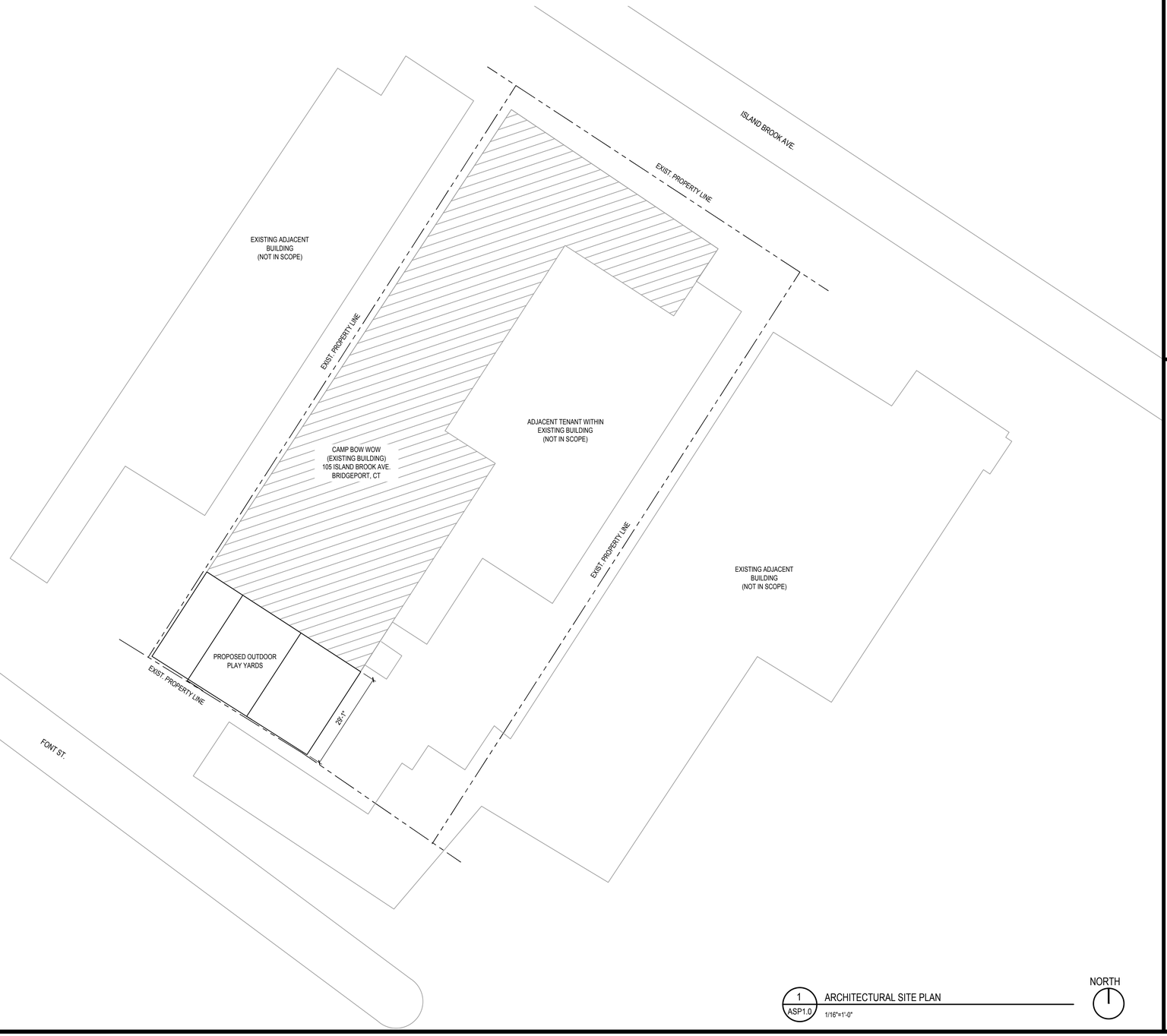
Neighboring Property owners within 100 ft of 105 Island Brook Ave, Bridgeport, CT

Address	Owner	Owner Address
124 Island Brook Ave	Regional Industrial Waste Disposal	469 Brooklawn Ave, Fairfield, CT 06825
89 Island Brook Ave	LCJA LLC	100 Walnut Ave, Shelton, CT 06484
96 Island Brook Ave	MAIN-FAIR LLC	155 Burr St, Fairfield, CT 06824
101 Island Brook Ave	Wade Enterprises LLC	25 Island Brook Ave, Bridgeport, CT 06606
115 Island Brook Ave	HALAPIN SONIA	115 Island Brook Ave, Bridgeport, CT 06606
125 Island Brook Ave	FC & RC LLC	572 Lawlor Terrace, Stratford, CT 06614
41 Front St	FC & RC LLC	572 Lawlor Terrace, Stratford, CT 06614



- 169 Island Brook Ave, Parking Location for

- 105 Island Brook Ave, Site Location



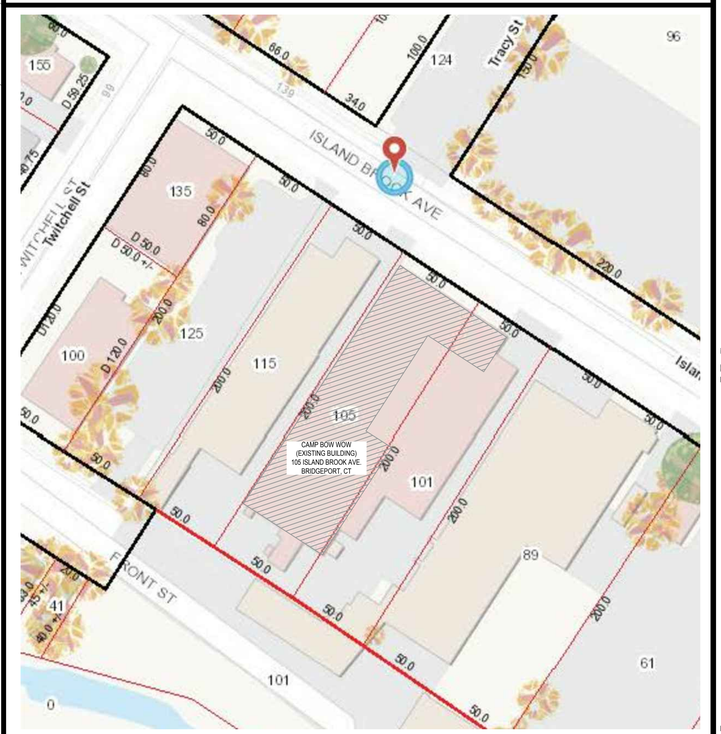
1 ASP1.0 ARCHITECTURAL SITE PLAN
1/16"=1'-0"

NORTH

ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES
TABLE 4-A

DEVELOPMENT STANDARDS	I-L REQUIRED	I-L (EXIST. / PROPOSED)
LOT		
LOT AREA, MINIMUM	N/A	N/A
FRONTAGE, MINIMUM	25 FT.	EXIST. TO REMAIN
FLOOR AREA RATIO, MAXIMUM	N/A	N/A
PRINCIPAL BUILDING SIZE, MAXIMUM	N/A	N/A
PRINCIPAL BUILDING SETBACK		
FRONT LOT LINE, MINIMUM FROM	N/A	N/A
STREET LOT LINE, MINIMUM FROM	15 FT	EXIST. TO REMAIN
MAXIMUM SETBACK	N/A	N/A
SIDE LOT LINE, MINIMUM FROM	N/A	N/A
REAR LOT LINE, MINIMUM FROM	N/A	N/A
NOT TO EXCEED	N/A	N/A
MINIMUM SETBACK FROM:		
OTHER HEAVY INDUSTRIAL USE	10 FT.	EXIST. TO REMAIN
OTHER USE	0	EXIST. TO REMAIN
FROM LOT LINE ABUTTING AN R ZONED LOT	15 FT.	EXIST. TO REMAIN
SIDE	N/A	N/A
REAR	N/A	N/A
FROM LOT LINE ABUTTING AN MU, OR I ZONED LOT	0	EXIST. TO REMAIN
CORNER LOT YARDS	NOTE 2	EXIST. NOTE 2
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A
ACCESSORY STRUCTURE SETBACK		
SETBACKS	NOTE 9	NOTE 9
COVERAGE		
BUILDING COVERAGE, MAXIMUM	85%	EXIST. TO REMAIN
SITE COVERAGE, MAXIMUM	85%	EXIST. TO REMAIN
LANDSCAPED AREA		
MINIMUM	15%	EXIST. TO REMAIN
IN SETBACKS ABUTTING AN R ZONED LOT, MINIMUM	10 FT. DEEP AT L-4	N/A
HEIGHT		
PRINCIPAL BUILDING	75 FT.	EXIST. TO REMAIN
MAXIMUM FOR PRINCIPAL BUILDING	NOTE 5	NOTE 5
PROJECTS AND FEATURES		
ACCESSORY STRUCTURE		
HEIGHT, MAXIMUM	NOTE 7	NOTE 7
FLOOR AREA, GROSS MAXIMUM	NOTE 8	NOTE 8
PUBLIC ACCESS EASEMENT	NOTE 10	NOTE 10

NOTES:
2. ON A CORNER LOT IN ANY ZONE, THERE SHALL BE TWO FRONT YARDS AND TWO SIDE YARDS
5. SEE SECTION 4-4 HEIGHT
7. ANY ACCESSORY STRUCTURE WITH A FLAT OR ROUNDED ROOF SHALL BE NO HIGHER THAN TWELVE (12) FEET AND ANY ACCESSORY STRUCTURE WITH A PITCHED ROOF SHALL BE NO HIGHER THAN FIFTEEN (15) FEET, MEASURED FROM THE AVERAGE LEVEL OF THE GROUND ALONG ALL WALLS OF THE STRUCTURE. IN I-H AND I-L ZONES, THE MAXIMUM HEIGHTS FOR ANY ACCESSORY STRUCTURES SHALL NOT EXCEED ONE-THIRD (1/3) OF THE MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES IN THAT ZONE.
8. SEE SECTION 4-9, ACCESSORY STRUCTURES
9. SETBACKS FOR ACCESSORY STRUCTURES SHALL BE THE SAME SETBACKS FOR PRINCIPAL STRUCTURES
10. A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON AMY NON-RESIDENTIAL PROPERTY ABUTTIGN A WATERWAY. IN SUCH A CASE, A DEDICATED OPEN SPACE SHALL BE ESTABLISHED FROM THE TOP OF THE EMBANKMENT ANF OR TWENTY (20) FEET INLAND.



2 ASP1.0 VICINITY MAP
N.T.S.

NORTH

RICHARD PASZKIET
ARCHITECT

1 SOUTH 280 SUMMIT AVE, STE D
OAKBROOK TERRACE, IL 60181
630.932.2336

SEAL:

THIS DOCUMENT IS NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.

NO DATE REMARKS
REVISIONS

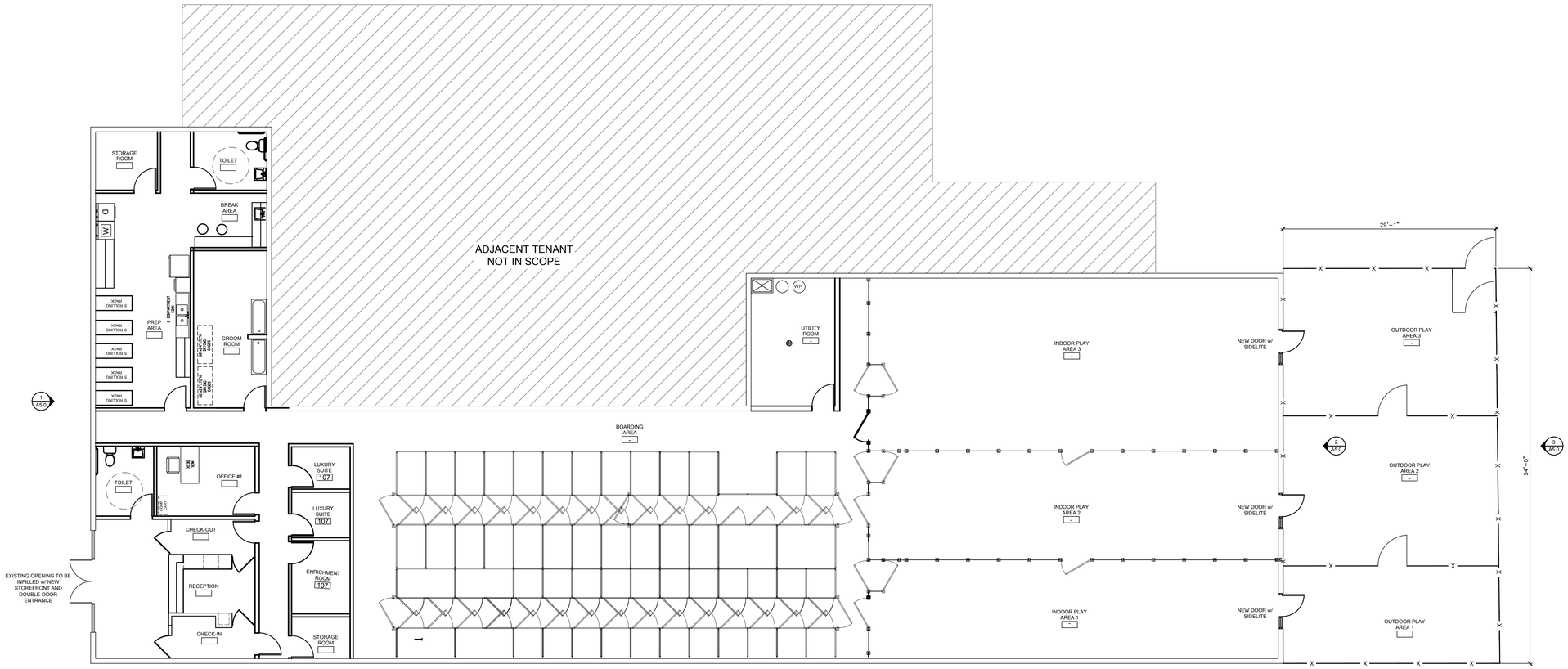
CAMP BOW WOW

105 ISLAND BROOK AVE.
BRIDGEPORT, CT.

PROJECT NO: 2021.0731
DATE: 7/1/2021

ASP1.0
ARCHITECTURAL SITE PLAN

CHECKED: JS DRAWN: TN



1 PRE-1 FLOOR PLAN

3/16" = 1'-0"

NORTH

RICHARD PASZKIET
ARCHITECT

1 SOUTH 280 SUMMIT AVE, STE D
OAKBROOK TERRACE, IL 60181
630.932.2336

SEAL:

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NO DATE REMARKS

REVISIONS

CAMP BOW WOW

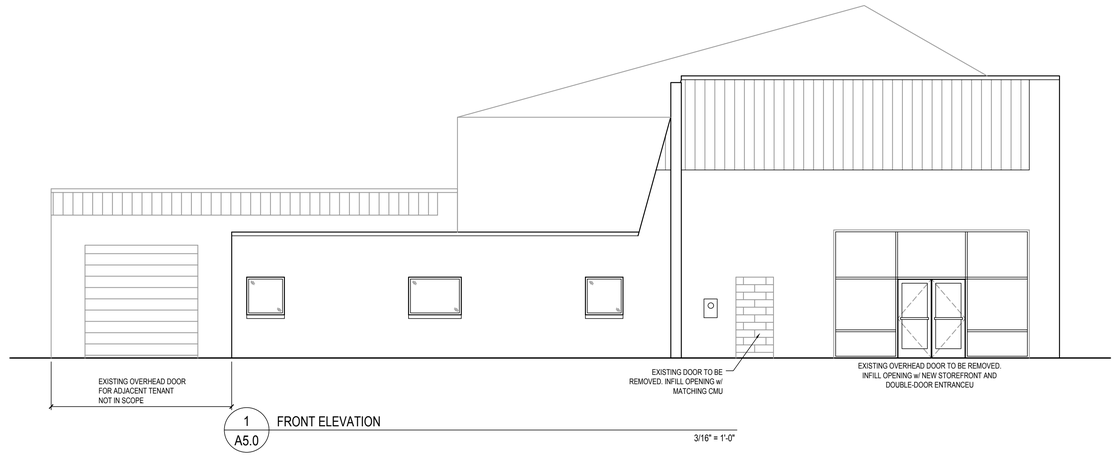
105 ISLAND BROOK AVE.
BRIDGEPORT, CT.

PROJECT NO: 2021.0731
DATE: 7/1/2021

PRE-1

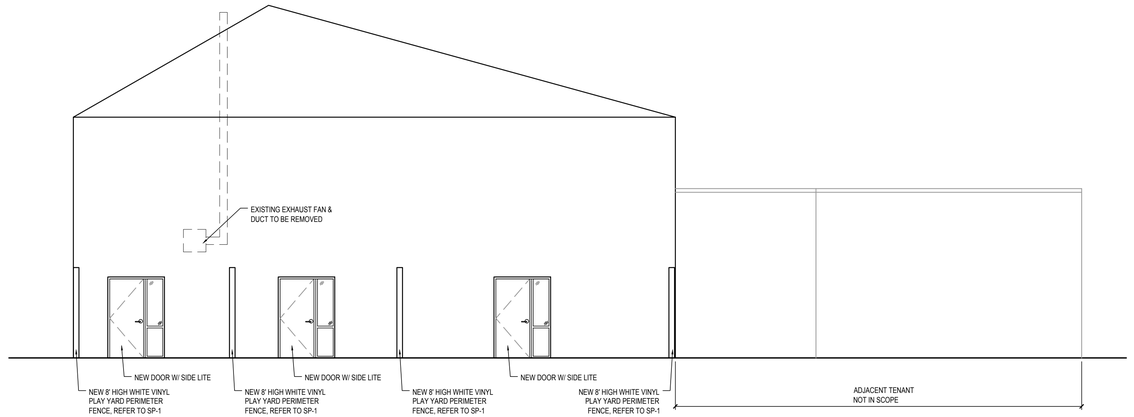
PRELIMINARY PLAN

CHECKED: DRAWN:



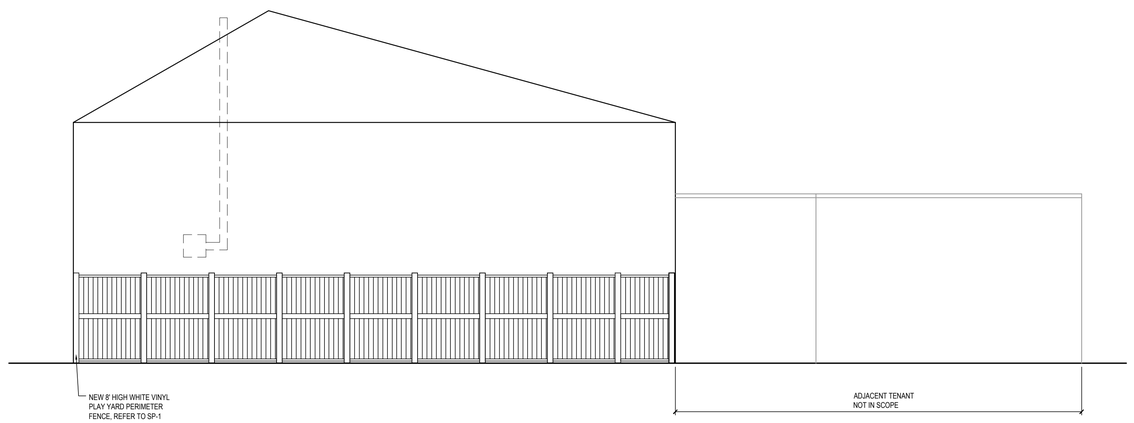
1 A5.0 FRONT ELEVATION

3/16" = 1'-0"



2 A5.0 REAR ELEVATION - INSIDE PLAY YARDS

3/16" = 1'-0"



3 A5.0 REAR ELEVATION - OUTSIDE PLAY YARDS

3/16" = 1'-0"

RICHARD PASZKIET
ARCHITECT

1 SOUTH 280 SUMMIT AVE, STE D
OAKBROOK TERRACE, IL 60181
630.932.2336

SEAL:

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NO DATE REMARKS

REVISIONS

CAMP BOW WOW

105 ISLAND BROOK AVE.
BRIDGEPORT, CT.

PROJECT NO: 2021.0731
DATE: 7/1/2021

A5.0

EXTERIOR ELEVATIONS

CHECKED: JS DRAWN: TN

Application Review for Coastal Site Plans

105 Island Brook Avenue.

Table of Contents

Submitted by:

Benji Wag & Woof LLC dba Camp Bow Wow Bridgeport.

Contact:
Kinsuk Shah
53 Treadwell Lane,
Weston, CT 06883
908-821-8055
Kinsuk.shah@campbowwow.com

Pro ect Narrati e

The site located at 105 Island Brook Ave is Zoned I-LI and located in FEMA zone AE. The total site consists of a 7000 sq. ft constructed building and an additional 1500 sq.ft of outdoor space towards the rear of the building.

The parcel is within the Coastal Area Boundary per the Bridgeport zoning map and requires a coastal review to be conducted due to a change of use application.

The site has historically been a manufacturing and industrial use facility and is surrounded by various automotive works, metalworks and similar industrial businesses. We propose to convert the site to a national franchise Camp Bow Wow, dog daycare, boarding and services facility. The proposed project plans to maintain the existing building footprint as well as outdoor space, with additional drainage and development of the outdoor area to control for any exposure or waste generated from dog urine or fecal matter. The outdoor spaces will be covered with crushed stone, sand, gravel and overlayed with artificial turf. Further they will be drained directly into the existing building sewage and any runoff will be captured within the drainage system to limit exposure to any coastal area.

The property is being developed to best fit the business and suitable for this business to minimize disturbance to retail or residential neighbors. The use is in line with other similar operations that exist nationally and have been sited in similar Light Industrial zones.

Thank you for your consideration of this application.

CITY OF BRIDGEPORT

Application Form

unicipal Coastal Site Plan Re iew

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I Applicant Identification

Applicant: Benji Wag & Woof LLC dba Camp Bow Wow Date: July 7, 2021

Address: 53 Treadwell Lane, Weston, CT Phone: 908-821-8055

Project Address or Location: 105 Island Brook Ave, Bridgeport

Interest in Property: Γ fee simple Γ option **X lessee** Γ easement

Γ other (specify)_____

List primary contact for correspondence if other than applicant:

Name: Applicant

Address:_____

City/Town:_____ State: _____ Zip

Code:_____

Business Phone:_____

e-mail: Kinsuk.shah@campbowwow.com

Section II Pro ect Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

X Project location

X Existing and proposed conditions, including buildings and grading

Γ Coastal resources on and contiguous to the site **- Not Applica le**

Γ High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only) **- Not Applica le**

X Soil erosion and sediment controls

X Stormwater treatment practices

Γ Ownership and type of use on adjacent properties

X Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III ritten Pro ect Infor ation

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

Γ Site Plan for Zoning Compliance

Γ Subdivision or Resubdivision

X **Special Per it** or Special Exception

Γ Variance

Γ Municipal Project (CGS Section 8-24)

Part I Site Infor ation

1. Street Address or Geographical Description: 105 Island Brook Ave

   City or Town: Bridgeport
2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? Γ YES **NO**
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
   Not Applicable
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:
   The property is a rectangular parcel with an existing 7000 sq.ft building housed on it and approximately 1500 sq. ft of open air space behind the building. The building resides in I-LI zoning and its surrounding buildings have been used for various industrial uses including but not limited to metalworking, auto body shops, steel manufacturing facility
5. Indicate the area of the project site: 8500 (7000 indoors + 1500 outdoors) **s uare feet**
6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):
   - Γ Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities – **Not Applica le**
   - Γ Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application. **– Not Applica le**
   - Γ Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review. **– Not Applica le**
7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) ☐ Yes ☒ No

Part II.A. escription of Proposed Pro ect or Acti ity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The existing site houses a 7000 sq.ft building that has been used as a manufacturing facility historically. The proposed project seeks to convert building usage from manufacturing and light industrial to dog boarding, daycare and services facility. There will be no new buildings constructed and existing square footage and size of building will be utilized for the daycare, boarding and services facility. Additionally, the open area behind the building of approximately 1500 sq.ft has historically been used for a detached paint booth and storage of various parts and materials. The project will plan to convert this for outdoor yards with contained drainage and artificial turf covering. The artificial turf will be placed above conditioned ground using sand, gravel and other means to prevent other appropriate drainage systems to capture any runoff from cleaning of the site to be placed into the existing sewer and drainage within the building.

Part II.B. escription of Proposed Stor water Best anage ent Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

The facility will continue to maintain its existing building and square footage and no new stormwater treatment facilities will be required as it is an existing building and no additional development is being done on site to increase storm water runoff. For the outdoor spaces the water runoff will be collected and drained into existing sewer lines to eliminate any exposure from animal fecal or urine matter into stormwater drains.

Part III Identification of Applica le Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Ad acent	Off-site ut within the influence of pro ect	Not Applica le
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)				
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				

* General Coastal Resource policy is applicable to all proposed activities

Part I Consistency with Applica le Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

No resources identified. Section Not applicable.

Part Identification of Applica le Coastal Use and Acti ity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

: General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)

9 Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A); Definition CGS Section 22a-93(16)

9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)

9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)

9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)

9 Boating - CGS Section 22a-92(b)(1)(G)

9 Fisheries - CGS Section 22a-92(c)(1)(I)

9 Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)

9 Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)

9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)

9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)

9 Solid Waste - CGS Section 22a-92(a)(2)

9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)

9 Cultural Resources - CGS Section 22a-92(b)(1)(J)

9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part I Consistency ith Applica le Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **or pro ects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No coastal resources within influence of project.

Part II.A. Identification of Potential Ad erse I pacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Aapplicable≅ column **ust** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		

Part II.B. Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The "applicable" column must be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.)*:

No water-dependent use proposed. Not applicable.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part III itigation of Potential Ad erse I pacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

No Coastal resources within influence of project, no mitigation required. Not applicable.

Part I Re aining Ad erse I pacts

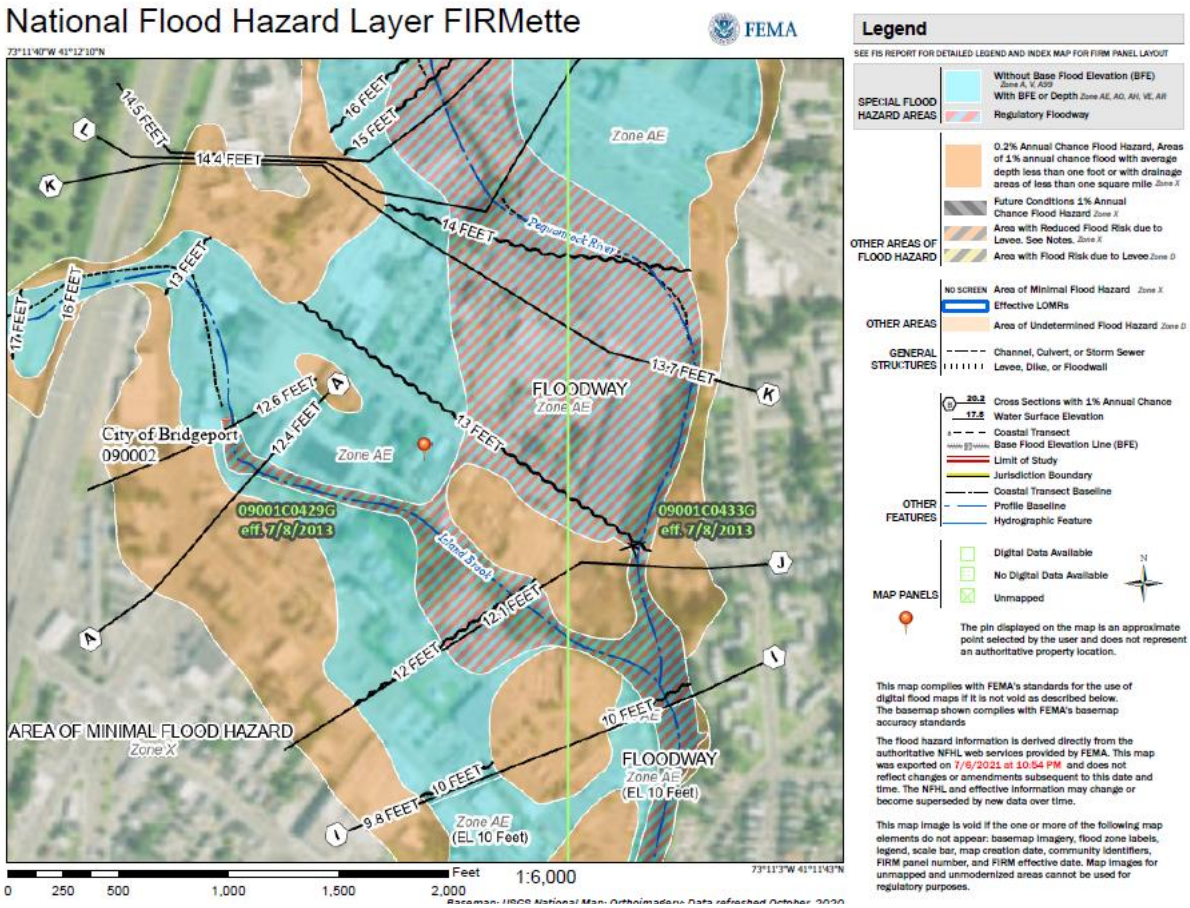
Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

No remaining adverse impacts from proposed activity, Not applicable.

Attachment # 1.

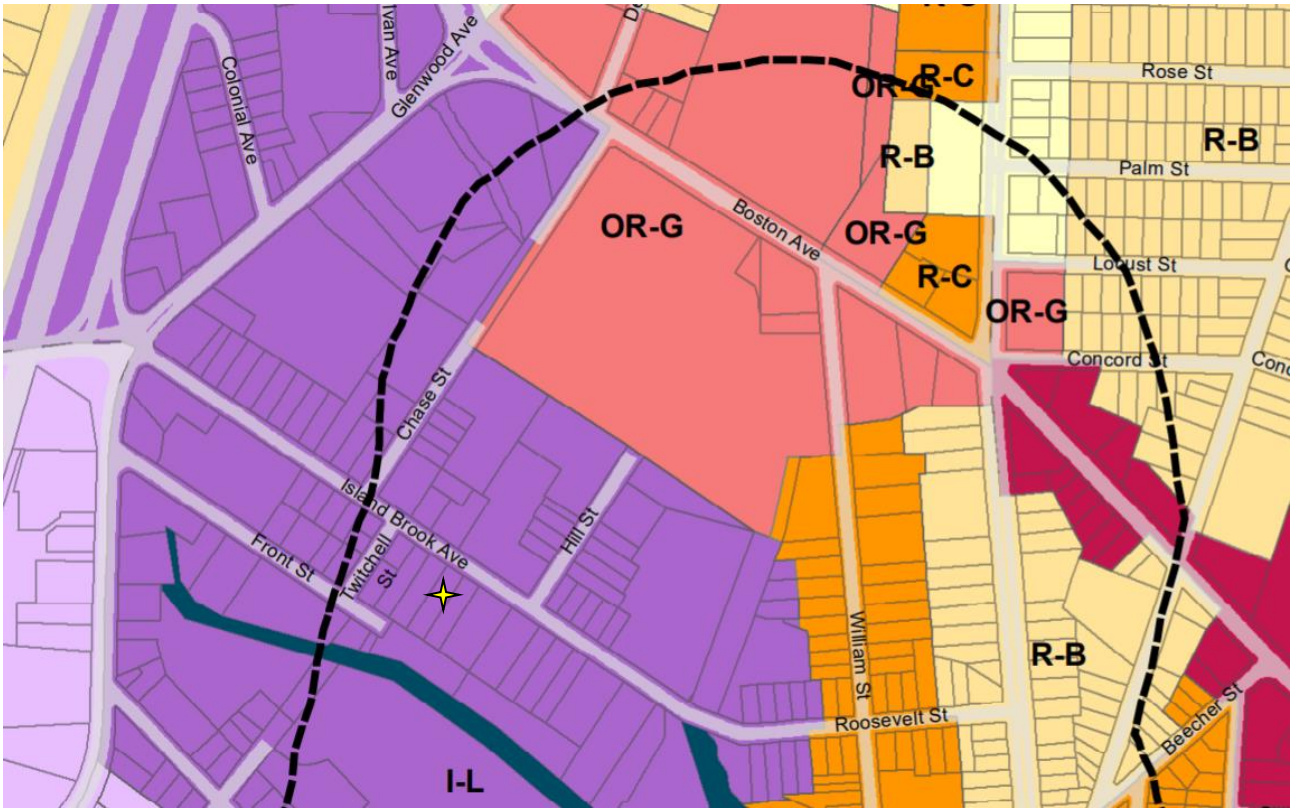
Site location.

Attachment # 2. FEMA FIRM Map



Map Pin – 105 Island Brook Ave.

Attachment # 3 Bridgeport Zoning Map



✦ - 105 Island Brook Ave.

CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** 141 N AVE LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X.
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 141 North Avenue and 196, 218, 226 & 234 Island Brook Avenue
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 60/1535 Lot No. 4/B
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section: _____
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 193.98' x 128.33' x 87.40' x 283.13' x 214.02' x 50.00' x 250.00' x 50.00' x 150.00' x 50.00' x 150.00' x 150.00' x 150.00' x 120.90' x 62.00' x 131.96'
7. Existing Zone Classification: I-L
8. Zone Classification requested: I-L
9. Describe Proposed Development of Property: Convert interior of Two (2) existing rear buildings to self-service storage facility use with existing two-story front office building to remain

   Approval(s) requested: Special Permit and Site Plan Review

Signature: _____ **Date**: 06/29/2021

Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____

Print Name: _____

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824

Phone: 203-528-0590 Cell: 203-520-4603 Fax: _____

E-mail Address: Chris@russorizio.com

$ _____ Fee received **Date**: _____ **Clerk**: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- ■ Completed & Signed Application Form
- ■ A-2 Site Survey
- ■ Building Floor Plans
- ■ Completed Site / Landscape Plan
- ■ Drainage Plan
- □ Building Elevations
- ■ Written Statement of Development and Use
- ■ Property Owner's List
- ■ Fee
- ■ Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

141 N AVE LLC		06/29/2021
Print Owner's Name	Owner's Signature	Date
Print Owner's Name	Owner's Signature	Date

Rev. 6/18/2016

Russo & Rizio, LLC
ATTORNEYS AT LAW

Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

June 28, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace, Room 210
Bridgeport, CT 06604

Re: Application for Special Permit and Site Plan Review – 141 North Avenue and 196, 218, 226 & 234 Island Brook Avenue (the "Site")

Dear Mr. Buckley:

Please accept this letter on behalf of our client for an application for Special Permit and Site Plan Review to convert the interior of the Two (2) existing industrial buildings located in the rear of the Site into a self-service storage facility use with the existing two-story office building near North Avenue to remain.

Narrative

The Site is located in the I-L Zone with frontages on both North Avenue and Island Brook Avenue. It is located in the middle of an industrial zone. Housing trends have substantially changed in the past two decades as residents downsize and the number of residential apartments rise. This housing trend has created a significant demand for extra storage space to accommodate personal belongings. The result has been a robust market for self-service storage facilities which cater to individuals and families as a retail storage option.

To cater more to individuals and families, self-service storage facilities have been located near main retail corridors. Here are some examples:

- E-Z Access Self Storage along Route 162 in Milford
- Extra Space Storage on Route 1 in Orange
- CubeSmart facility on Lordship Boulevard in Stratford
- U-Haul Storage facilities on Boston Avenue and Fairfield Avenue in Bridgeport
- Westy Self Storage and Public Storage on Kings Highway in Fairfield
- Westy Self Storage and CubeSmart on Route 7 in Wilton

10 Sasco Hill Road
Fairfield, CT 06824
Tel 203-255-9928
Fax 203-255-6618

The Site will easily accommodate the conversion of use to a self-storage facility and is a great reuse of these Two (2) existing buildings at the rear of the Site. The main building is a large two-story building sits at the rear of the Site from the North Avenue frontage behind Two (2) other existing buildings. The building marked as a "one-story metal building" will also contain a self-storage use. The building nearest the North Avenue frontage and marked as a "two-story office building" will remain as an office use and will be intended for future redevelopment as a retail/commercial use consistent with the uses along that corridor.

The Site can be accessed from both North Avenue and Island Brook Avenue. The parking area off Island Brook Avenue includes Four (4) garage bay doors for loading/unloading into the large building. Island Brook Avenue is a very industrial street and the perfect location for this type of activity. One of the great benefits of self-service storage facilities is that the use requires very little off-street parking and, therefore, they adapt well on properties with large existing buildings. Once a patron delivers their goods into storage, the patron rarely returns to the facility until final removal of the goods. With Four (4) loading bays and multiple parking areas on the Site, the Site can easily accommodate this use with regards to off-street parking.

Within the rear buildings, the interior will contain a number of storage units of different sizes, which can be altered by collapsing unit walls. The range of sizes will be catered towards individual retail customers. In addition, the main building will contain a small accessory retail sales area where customers can purchase items associated with packing and storage as seen in many existing self-storage facilities.

The Petition satisfies the Special Permit standards of Sec. 14-4-4 of the Regulations. The proposed use is permitted in the I-L Zone. It will not impair the future development of the surrounding area as it is a conversion of use for an existing large industrial building with a use that has low parking and traffic demands. There is no proposed increase in building footprint or floor area associated with the Petition. The Site is surrounded completely by the I-L Zone and, therefore, its use is compatible with the surrounding neighborhood. It will not impact any residential neighborhood. Finally, the use will actually improve surrounding property values by installing a new, invigorated use within a large existing building.

In addition, the Site has a long history for storage and warehousing uses, In 1954, the Site was first approved for storage. Additions were made to the existing buildings on the Site in 1985 for additional storage. So, the Site has been utilized for storage for decades. The Site had previously been approved for more intense uses, including a used car dealership and motor vehicle repair facility. The proposed self-storage facility will be well contained within the two existing buildings at the rear. No loading and offloading will be visible from North Avenue, the corridor where most traffic is located, as the rear buildings are located directly behind the front office building and a fence secures that area.

The City is in desperate need of new self-storage units. The Commission has reviewed multiple self-storage facility applications within the past year in office-retail zones with much contention. This Site is perfectly located in the heart of the I-L Zone where self-storage facilities are permitted under a special permit. For the above-stated reasons, the Petitioner respectfully requests approval of this application for Special Permit and Site Plan Review.

Thank you for your assistance in this matter.

Sincerely,

Ray Rizio

PROPERTY OWNERS WITHIN 100' OF 141 NORTH AVE AND 196, 218, 226 & 234 ISLAND BROOK AVE

PROPERTY ADDRESS	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
141 NORTH AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
218 ISLAND BROOK AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
75 CHASE ST	DEL VENTO ARLENE A	385 STEPNEY RD	EASTON	CT	06612
234 ISLAND BROOK AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
66 NORTH AV	SYLVAN AVENUE ASSOCIATES	60 NORTH AVE	BRIDGEPORT	CT	06606
248 ISLAND BROOK AV	DSCW LLC TRUSTEE OF THE 246-248 ISLAND BROOK TRUST	30 ISLAND BROOK AVE	BRIDGEPORT	CT	06602
118 NORTH AV	SAMUEL M RIZZITELLI, JR, TRUSTEE	26 PRINDLE AVE	DERBY	CT	06418
90 NORTH AV	SAMUEL M RIZZITELLI, JR, TRUSTEE	26 PRINDLE AVE	DERBY	CT	06418
125 CHASE ST	125 CHASE STREET LLC	385 STEPNEY RD	EASTON	CT	06612
164 NORTH AV	BATRA ARVINDER	80 SALEM RD	TRUMBULL	CT	06611
83 NORTH AV	DELVENTO ROBERT ET AL	83 NORTH AVE	BRIDGEPORT	CT	06606
161 NORTH AV	SPETSARIS ANTONIOS & KONSTANTINOS	91 STRAWBERRY HILL, APT 1030	STAMFORD	CT	06902
12 CHASE ST	DEL VENTO ARLENE A	385 STEPNEY RD	EASTON	CT	06612
140 NORTH AV #154	140 NORTH AVENUE REALTY LLC	9 JACKSON ST	HIGHLAND MILLS	NY	10930
186 ISLAND BROOK AV	BORGES ENTERPRISES LLC	12 JARVIS ST	NORWALK	CT	06851
193 NORTH AV	HESS RETAIL STORES LLC C/O PROPERTY TAX DEPARTMENT	539 SOUTH MAIN ST	FINDLAY	OH	45840
274 ISLAND BROOK AV #276	VOIGHT LLC	264 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
264 ISLAND BROOK AV	VOIGHT LLC	264 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
94 NORTH AV #96	92-94 NORTH AVENUE LLC	750 DANIELS FARM ROAD	TRUMBULL	CT	06611
61 NORTH AV	61 NORTH AVENUE LLC	43 NORTH AVE	BRIDGEPORT	CT	06606
256 ISLAND BROOK AV	256 ISLAND BROOK AVENUE LLC C/O DAVID SHAPIRO	480 OLD OAKS RD	FAIRFIELD	CT	06825
226 ISLAND BROOK AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
196 ISLAND BROOK AV	141 N AVE LLC	1862 EAST MAIN ST	BRIDGEPORT	CT	06610
206 ISLAND BROOK AV	ISLAND BROOK LLC	81-52 LITTLE NECK PKWY	FLORAL PARK	NY	11004
178 ISLAND BROOK AV	PARKER ENOCH	178 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
175 ISLAND BROOK AV	CGM REALTY LLC	195 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
185 ISLAND BROOK AV	NUNEZ FRANCISCO	185 ISLAND BROOK AVE	BRIDGEPORT	CT	06606
195 ISLAND BROOK AV	CGM REALTY LLC	195 ISLAND BROOK AVE	BRIDGEPORT	CT	06606

211 ISLAND BROOK AV	255 ISLAND BROOK LLC C/O PETER DINARDO ENTERPRISES	323 NORTH AVE	BRIDGEPORT	CT	06606
233 NORTH AC	PROSPECT REALTY DEVELOPMENT LLC	PO BOX 295	BOGOTA	NJ	07603

Business Inquiry

Business Details

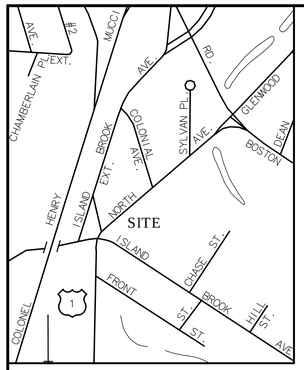
Business Name:	**141 N AVE LLC**	Citizenship/State Inc:	**Domestic/CT**
Business ID:	**1361061**	Last Report Filed Year:	**2021**
Business Address:	**1862 EAST MAIN, BRIDGEPORT, CT, 06610, USA**	Business Type:	**Domestic Limited Liability Company**
Mailing Address:	**4775 COLLINS AVENUE, SUITE 2504, MIAMI BEACH, FL, 33140, USA**	Business Status:	**Active**
Date Inc/Registration:	**Sep 29, 2020**		
Annual Report Due Date:	**03/31/2022**		
NAICS Code:	**Real Estate and Rental and Leasing (53)**	NAICS Sub Code:	**Lessors of Other Real Estate Property (531190)**

Principals Details

Name/Title	Business Address	Residence Address
ROJA LLC MANAGER	4775 COLLINS AVE UNIT 2504, MIAMI BEACH, FL, 33140	NONE

Agent Summary

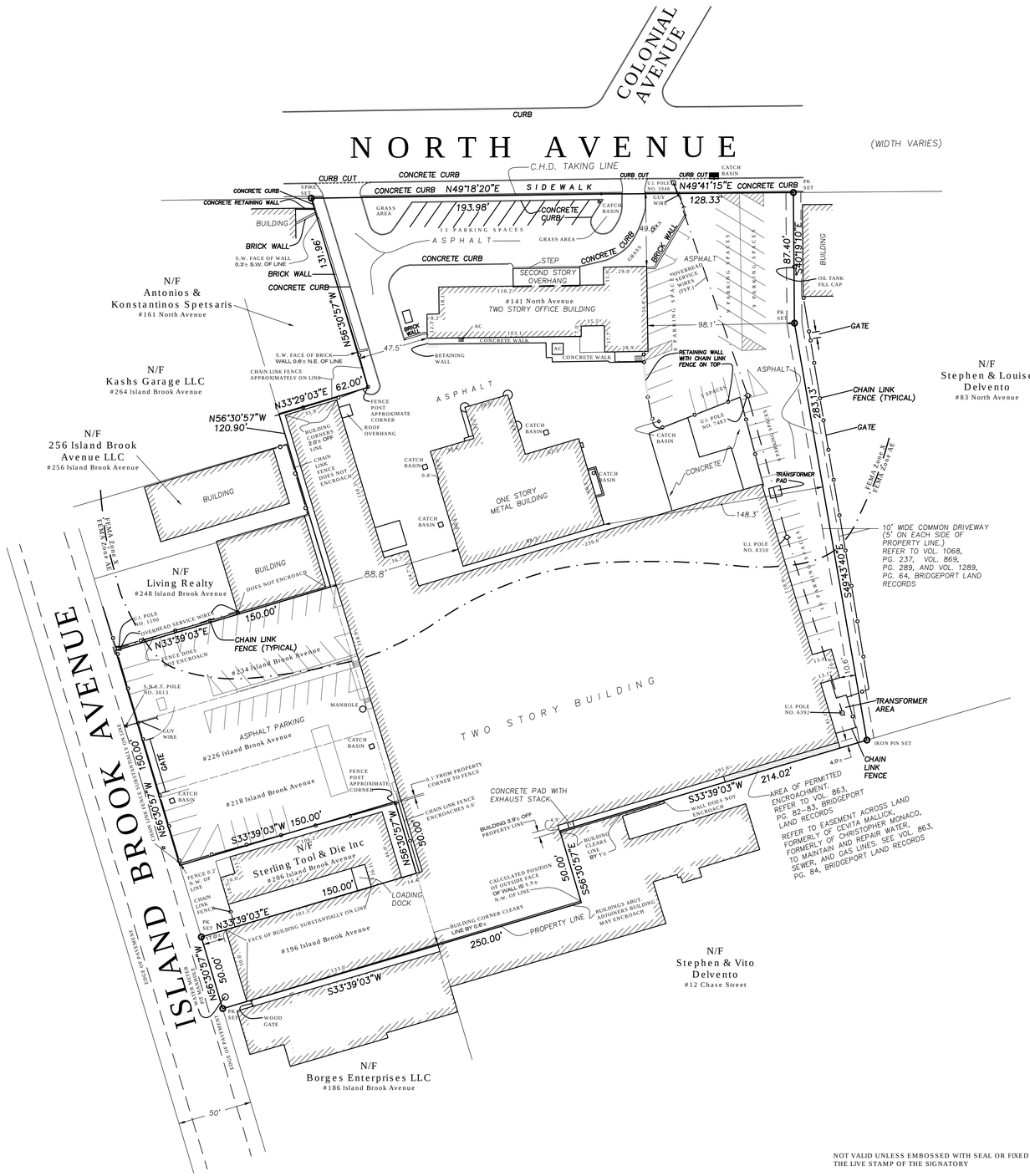
Agent Name	**INCORP SERVICES, INC.**
Agent Business Address	**6 LANDMARK SQ, 4TH FLOOR, STAMFORD, CT, 06901-2704**
Agent Residence Address	**NONE**
Agent Mailing Address	**6 LANDMARK SQ, 4TH FLOOR, STAMFORD, CT, 06901-2704**



LOCATION MAP

0 50'

1" = 50'



DEVELOPMENT STANDARDS	I-L ZONE	EXISTING	PROPOSED	AS-BUILT
MINIMUM LOT AREA	N/A	3.884 AC		
BUILDING SETBACKS: STREET LOT LINE FRONT LOT LINE SIDE LOT LINE SIDE LOT LINE (BOTH ADD UP TO) REAR LOT LINE ABUTTING R ZONE	 15 FT. N/A N/A N/A N/A 15 FT.	 17.0'± - - - - -		
MINIMUM FRONTAGE	25 FT.	322.31'		
MAXIMUM BUILDING COVERAGE	85%	49.1%		
MAXIMUM SITE COVERAGE	85%	96.0%		
MINIMUM LANDSCAPED AREA	15%	4.0%		
MAXIMUM HEIGHT PRINCIPAL BUILDING	75 FT.	22'±		
MAXIMUM HEIGHT ACCESSORY STRUCTURE	12' TO MIDPOINT OF ROOF, 15' MAX. TO RIDGE	N/A		

NOTES:

1. This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a Data Accumulation Plan based upon a Resurvey and conforms to Horizontal Accuracy Class A-2.

2. Reference is made to the following documents titled:

   A. "Map of Property, Dynamics Corporation of America, Bridgeport, Conn., Scale: 1"=40', Dec. 13, 1979", Prepared by Thomas J. Hardiman
   B. "State of Connecticut Department of Transportation Right of Way Map, Town of Bridgeport, Colonel Henry Mucci Highway from Lindley Street Northerly to the Trumbull Town Line' Date: 3/94 , Sheets 1 and 2 of 5, State File 15-06
   C. "Relocation Connecticut Route 25, Construction and Drainage Details" Project No. 15-53, Sheets 25 and 27, Dated 1969
   D. "Relocation Route 8 & 25" Project N. 15-45, Sheet 38, Dated 1969, Revised Dec. 1971 and April 1973
   E. "Town of Bridgeport, Map Showing Land To Be Acquired From The Frouge Corp. by The State of Connecticut, Relocation of Routes 25 & 8, Scale 1"=40' Jan. 1967", Project No. 15-53, Sheet 1 of 1 (Recorded Map Vol. 34 Pg. 40)
   F. "Map of Property of The Frouge Corporation, Bridgeport, Connecticut for Title Guarantee Company and The Equitable Life Assurance Society of The United States, New York, New York and the State National Bank of Connecticut", Dated March 26, 1965, Revised June 22, 1965
   G. "Survey of Joseph Bacchiocchi Property, Bridgeport, CT, Oct. 23, 1945", Prepared by T. Risberg (Recorded Map Vol. 869 Pg. 291)

3. The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation, Dial 811 or 1-800-922-4455.

4. Property is located in FEMA Zone X & AE Per Flood Insurance Rate Map #09001C0429G, Effective Date: July 8, 2013; Panel 429 of 626.

5. Property is located in Zone I-L

6. Reference is hereby made to Connecticut General Statute 8-13a, as amended, with regards to existing structures three or more years old.

7. It is the owner's and/or contractor's responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.

NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY

I HEREBY CERTIFY TO:

141 N AVE LLC
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Jason T. Spath Sr., L.S. #70136

NO.	DATE	DESCRIPTION
		REVISIONS

PROPERTY SURVEY

PREPARED FOR

141 N AVE LLC

#141 NORTH AVENUE &
196, 218, 226 & 234 ISLAND BROOK AVENUE
BRIDGEPORT, CONNECTICUT

40 0 40 80

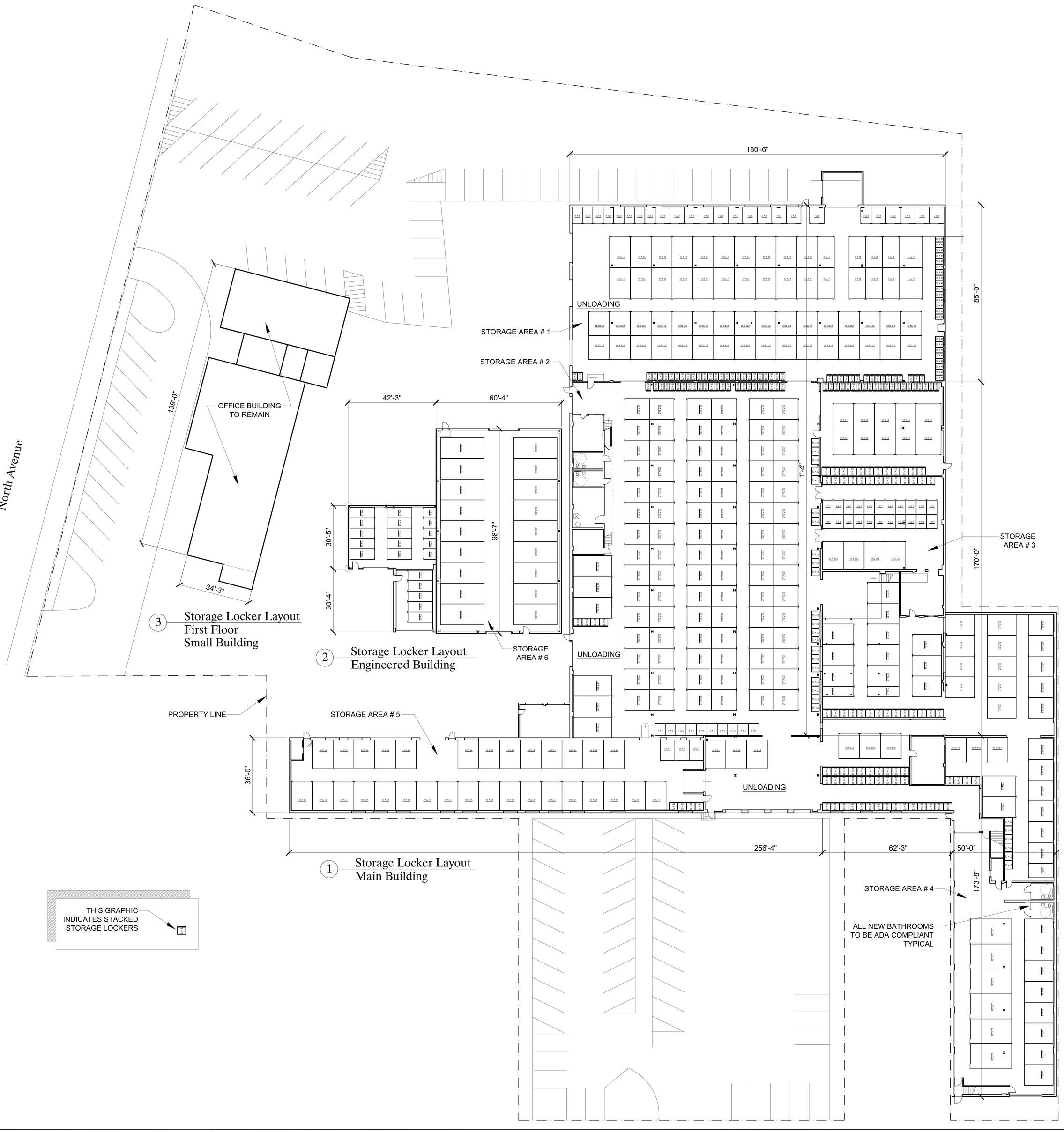
DATE:	SCALE:	DRAFTER:	JOB NUMBER:	PROJECT #:
12-21-30	1"=40'	JS	14520	14520

HC
THE HUNTINGTON COMPANY, LLC
Consulting Engineers & Surveyors
303 Linwood Avenue, Fairfield, CT
203.259.1091

1/1

8-4916

Date:	Issued:
06.18.21	Prelim. Schematic Layout
06.30.21	Revised Schematic Layout



3 Storage Locker Layout
First Floor
Small Building

2 Storage Locker Layout
Engineered Building

1 Storage Locker Layout
Main Building

Project North

0' 8' 16' 32'
Scale

141 North Ave
Bridgeport, Connecticut
06606

David Barbour Architects
202 Pearsall Place
Bridgeport, CT 06605
203 335 4474
www.DavidBarbourArchitects.com

Preliminary Schematic Layouts for Storage Units and Site Plan

Drawing No. SC-1

CITY OF BRIDGEPORT

Application Form

Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I: Applicant Identification

Applicant: 141 N AVE LLC Date: 07/07/21

Address: c/o Ray Rizio, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824

Phone: 203-528-0590

Project Address or Location: 141 North Avenue and 196, 218, 226 & 234 Island Brook Avenue

Interest in Property: ☒ fee simple ☐ option ☐ lessee ☐ easement

☐ other (specify)

List primary contact for correspondence if other than applicant:

Name: Ray Rizio

Address: Russo & Rizio, LLC, 10 Sasco Hill Rd

City/Town: Fairfield State: CT Zip Code: 06824

Business Phone: 203-528-0590

e-mail: Chris@russorizio.com

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- ☒ Project location
- ☒ Existing and proposed conditions, including buildings and grading
- ☒ Coastal resources on and contiguous to the site
- ☐ High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- ☐ Soil erosion and sediment controls
- ☐ Stormwater treatment practices
- ☒ Ownership and type of use on adjacent properties
- ☐ Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

Ξ Site Plan for Zoning Compliance

Γ Subdivision or Resubdivision

Ξ Special Permit or Special Exception

Γ Variance

Γ Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description: 141 North Avenue and 196, 218, 226 & 234 Island Brook Avenue

   City or Town: Bridgeport

2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? Γ YES X NO
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:

   Island Brook Channel and Pequonnock River
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

   The Site is the location of a number of industrial uses through its history including manufacturing, warehousing, used car dealership and general repairer's license. The Site is located within a significant industrial corridor that contains a number of industrial uses closer to coastal resources. The Site currently contains Three (3) existing buildings, including a two-story office building, a large warehouse building, and a small one-story metal building, as well as parking areas and truck loading bays.
5. Indicate the area of the project site: 3.884 **acres** or square feet (circle one)
6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

   Γ Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities

   Γ Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.

   X Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.
7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) ☐ Yes X No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

The Applicant proposes to convert the interior of two of the three existing buildings – the large warehouse building and the one-story metal building – to a self-storage facility use. The two-story office retail building will remain with the same use. There will not be any site clearing, grading, increase in impervious coverage. All work will be confined within the building except for the addition of landscaping throughout the Site.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

As the Applicant is proposing no change to the impervious cover on the Site and is merely converting the interior of Two existing buildings on the Site, which have previously been used for warehousing, to support a self-storage facility use, the Applicant is not proposing any stormwater management beyond the existing conditions.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)	X			
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

The Site is located within the coastal zone management area designated as "Coastal Hazard Area." There are no coastal resources immediately adjacent or on-Site. Coastal waters identified as Island Brook Channel and the Pequonnock River are located east of the Site and downstream.

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

☒: General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
Ports and Harbors - CGS Section 22a-92(b)(1)(C)
Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
Boating - CGS Section 22a-92(b)(1)(G)
Fisheries - CGS Section 22a-92(c)(1)(I)
Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
Solid Waste - CGS Section 22a-92(a)(2)
Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
Cultural Resources - CGS Section 22a-92(b)(1)(J)
Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities
** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

There are no applicable coastal uses or activity policies and standards on the Site. The Site has never had a water-dependent use as it would physically not be able to.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Aapplicable≅ column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The Aapplicable≅ column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.)*:

There is no potential for water-dependent uses on the Site. The Site is located a significant distance from any body of water.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

The project will not have any adverse impact on coastal resources and/or future water-dependent development opportunities.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

There are no remaining adverse impacts resulting from the proposed activity.

CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** Wilmot Ave LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 152, 156 & 166 Wilmot Avenue, Bridgeport, CT 06607
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 31/655 Lot No. 2/A, 3 & 4
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 137.75' x 162.20' x 145.70' x 61.40' x 102.65'
7. Existing Zone Classification: R-BB & I-L
8. Zone Classification requested: I-L
9. Describe Proposed Development of Property: Proposed Zone Change of Property

Approval(s) requested: Zone Change, Coastal Site Plan Review and Site Plan Review

Signature: _____ **Date**: 06/18/2021

Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____

Print Name: _____

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824

Phone: 203-528-0590 Cell: 203-520-4603 Fax: 203-255-6618

E-mail Address: Chris@russorizio.com

$ _____ Fee received **Date**: _____ **Clerk**: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- ■ Completed & Signed Application Form
- ■ Completed Site / Landscape Plan
- ■ Written Statement of Development and Use
- □ Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- ■ A-2 Site Survey
- ■ Drainage Plan
- ■ Property Owner's List
- ■ Building Floor Plans
- □ Building Elevations
- □ Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Wilmot Ave LLC		06/18/2021
Print Owner's Name	Owner's Signature	Date
Print Owner's Name	Owner's Signature	Date

Rev. 6/18/2016

Russo & Rizio, LLC
ATTORNEYS AT LAW

Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

June 18, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for a Zone Change, Coastal Site Plan Review and Site Plan Review – 152, 156 & 166 Wilmot Avenue

Dear Mr. Buckley:

Please accept, on behalf of Wilmot Ave, LLC, (the "Petitioner"), the following narrative and enclosed application materials as part of an application for a Zone Change, Coastal Site Plan Review and Site Plan Review under the Bridgeport Zoning Regulations (the "Regulations") for the properties located at 152, 156 & 166 Wilmot Avenue (the "Site") to locate the entire Site, currently split-zoned between the R-BB and I-L Zones, within the I-L Zone and to convert the use of the existing building to a wholesale trade use with associated Site improvements in the I-L Zone.

Narrative

The Site is located on Wilmot Avenue on the industrial portion of Wilmot Avenue. The Site is currently split-zoned between the R-BB Zone and the I-L Zone. The existing building currently spans both zones. The Site has historically been used and continues to be used as an industrial building. A land use approval was obtained back in 1978 for a metal plating & finishing business within the existing building. The lot area of the Site is Twenty-three thousand and sixty square feet (23,060 SF).

The Petitioner proposes that the entire Site be designated within the I-L Zone. The Zone Boundary Line currently splits the existing building containing an industrial use between the I-L and R-BB Zones. The southern end of Wilmot Avenue is dominated by industrial buildings and uses. The Site itself has a history of decades as an industrial use. In addition, the Plan of Conservation and Development ("POCD") discourages split-zoned properties, particularly where an existing building also splits the zone in addition to the actual property. Due to its historical use and the goals of the POCD to eliminate split-zones, the Site should be located entirely within the I-L Zone.

While the Petitioner proposes to locate the entire Site within the I-L Zone, the Petitioner also proposes to increase its buffer to neighboring properties from existing conditions. Currently, asphalt pavement extends to all neighboring property lines with no drainage. The Petitioner

10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

proposes a substantial improvement to Site conditions by adding a landscape buffer around the entire Site to the L-4 standard. Fifteen percent (15%) of the Site will be landscaped area where no landscaping currently exists that is not weeds. In addition, drainage will be added to the parking area along with re-striping of the parking lot to the Regulations standards. The proposed off-street parking will conform to the Regulations in its design and for the proposed use. The Petitioner proposes to convert the interior use to wholesale trade, which is a permitted use in the I-L Zone. The proposed is significantly less intense than prior uses on the Site, including the plating business. The existing building already contains Two (2) bay doors to support the proposed use. A draft of the zoning map from the Office of Planning and Economic Development places this portion of Wilmot Avenue in the "CX" Zone, which is intended for heavy commercial and wholesale uses. In all, the Petition will be a tremendous improvement to existing conditions.

Coastal waters are not located on or adjacent to the Site. There is no potential for water-dependent uses. The coastal waters are located hundreds of feet from the Site. The Petition will also not have any adverse impact on coastal resources and/or future water-dependent development opportunities. In fact, the Petition greatly improves Site conditions with the addition of a proposed storm drainage system to handle run-off on the Site. Under the Petition, there will be a significant decrease in site coverage as existing pavement will be removed around the perimeter of the Site and replaced with a landscape buffer.

For the reasons stated above, the Petitioner respectfully requests approval of the Petition for a Zone Change, Coastal Site Plan Review and Site Plan Review.

Sincerely,

Christopher Russo

PROPERTY ADDRESSES WITHIN 100' OF 152, 156 & 166 WILMOT AVENUE

PROPERTY ADDRESS	OWNERS NAME	MAILING ADDRESS	CITY/TOWN	STATE	ZIP CODE
85 HOLLISTER AV #87	MAPLE REAL ESTATE LLC	PO BOX 626	LITCHFIELD	CT	06759
166 WILMOT AV	MASKOWSKI CARL EST OF C/O RONALD HOJDICH	260 POST OAK RD	STRATFORD	CT	06614
307 ORANGE ST	305 ORANGE STREET ASSOCIATES LLC	307 ORANGE ST	BRIDGEPORT	CT	06607
127 WILMOT AV	E AND M REAL ESTATE INC	127 WILMOT AVE	BRIDGEPORT	CT	06607
137 HOLLISTER AV #139	AFRIFA ALEX D	137 HOLLISTER AVE	BRIDGEPORT	CT	06610
174 WILMOT AV	CUNDIFF MICHAEL SR	174 WILMOT AVE	BRIDGEPORT	CT	06605
107 HOLLISTER AV #109	FERNANDEZ ARIEL	107 HOLLISTER AVE #109	BRIDGEPORT	CT	06607
152 WILMOT AV	WILMOT AVE LLC	152 WILMOT AVE	BRIDGEPORT	CT	06607
149 WILMOT AV	WILSON VALERIE	2121 FAUNCE ST	PHILADELPHIA	PA	19152
150 WILMOT AV	ENGLISH CHAPEL CATHEDRAL OF MIRCALES UNIFIED FREE WILL BAPTIST CHURCH INC	285 WILMOT AVE	BRIDGEPORT	CT	06607
123 HOLLISTER AV #125	COUNCIL PAULETTE	123 HOLLISTER AVE #125	BRIDGEPORT	CT	06607
156 WILMOT AV	CORBALITE LLC	100 LUPES DR	STRATFORD	CT	06615
141 WILMOT AV	ELLIS DAVID E	141 WILMOT AVE	BRIDGEPORT	CT	06607
155 WILMOT AV	ARDOUNI ELMOSTAFA	155 WILMOT AVE	BRIDGEPORT	CT	06607
95 HOLLISTER AV	MAPLE REAL ESTATE LLC	PO BOX 626	LITCHFIELD	CT	06759
147 HOLLISTER AV	LOCKHART BENJAMIN F & RUTH E	145 HOLLISTER AVE	BRIDGEPORT	CT	06607
130 WILMOT AV	ENGLISH CHAPEL CATHEDRAL OF MIRCALES UNIFIED FREE WILL BAPTIST CHURCH INC	285 WILMOT AVE	BRIDGEPORT	CT	06607
127 HOLLISTER AV #129	NEW WAVE HOLDINGS LLC	82 UNION AVE	NEW ROCHELLE	NY	10801
157 WILMOT AV	CRAWLEY ROOSEVELT & ANNA M	157 WILMOT AVE	BRIDGEPORT	CT	06607
161 WILMOT AVE #163	DIMON JAMES B JR	163 WILMOT AVE	BRIDGEPORT	CT	06607
179 WILMOT AVE	DIMON JAMES B JR	163 WILMOT AVE	BRIDGEPORT	CT	06607
195 WILMOT AVE	176 LEWIS LLC	478 ALBANY AVE	BROOKLYN	CT	11203
184 WILMOT AVE	TORRES MARIA	148 SEAFLOWER RD	MILFORD	CT	06460
194 WILMOT AVE	ARDOUNI MOSTAFA	2109 NORTH AVE	BRIDGEPORT	CT	06604
28 CARRIE ST	RODRIGUEZ LUZ ET AL	28 CARRIE ST	BRIDGEPORT	CT	06607
38 CARRIE ST	VEGA JOSE	38 CARRIE ST	BRIDGEPORT	CT	06607

153 HOLLISTER AVE #157	G & H ENTERPRIZES LLC	4 MOUNTAIN VIEW RD	WEST HAVEN	CT	06516

Cabezas DeAngelis
ENGINEERS & SURVEYORS • 78 ELM STREET • BRIDGEPORT • CONNECTICUT 06604

APPLICATION FOR REVIEW OF COASTAL SITE PLANS

PREPARED FOR:

James Montelbano

152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT

MARCH 19, 2021

Prepared by: Washington Cabezas, Jr., PE, LS
CT License No. PEL 0070210

203.330.8700 • FAX 203.330.8701 • WWW.CD-ENGINEERS.COM

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PROJECT NARRATIVE

The parcels are located at 152, 156 & 166 Wilmot Avenue as Lots 4, 3 & 2A on Map 31, Block 655; is Zoned I-L and found in Zone X (Un-Shaded) and Zone AE (Between Elevations 10 & 11) FEMA Panel 441 of 626, Map Number 09001C441G, Map Revised July 8, 2013.

The parcel is within a Residential Section of the Coastal Area Management Zone per Coastal Master Plan of Bridgeport, Connecticut (Sheet 3 of 4) found on file in the City of Bridgeport Engineering Department.

This site is occupied by a warehouse facility. Proposed improvements include designated parking areas on the north and west side of an existing masonry building and perimeter landscape areas. A proposed storm drainage system consisting of three cultec 330 recharger chambers has been designed to handle the run-off based on water quality analysis. Lawn areas to be provided which will create green areas to aid in best management practices.

There will be a decrease in site coverage because existing pavement will be removed and replaced with perimeter landscaping. This property will be developed in keeping with the integrity of this zone and have no negative impact to abutting parcels. Construction is anticipated to have a twelve-month duration.

Application Form
Municipal Coastal Site Plan Review
For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions and submit it with the appropriate plans to appropriate **municipal agency**.

Section I: Applicant Identification

Applicant: James Montelbano Date: 03/19/2021

Address: 63 Hillside Avenue, Farmingdale, NY 11735 Phone: 631-445-0858

Project Address or Location: 152, 156 & 166 Wilmot Avenue

Interest in Property: ☐ fee simple ☐ option ☐ lessee ☐ easement

☑ other (specify) Purcahser

List primary contact for correspondence if other than applicant:

Name: James Montelbano

Address: 63 Hillside Avenue

City/Town: Farmingdale State: NY Zip Code: 11735

Business Phone: 631-445-0858

e-mail: jmontelbano@gmail.com

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- ☑ Project location
- ☑ Existing and proposed conditions, including buildings and grading
- ☑ Coastal resources on and contiguous to the site
- N/A ☐ High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- ☑ Soil erosion and sediment controls
- ☑ Stormwater treatment practices
- ☑ Ownership and type of use on adjacent properties
- ☑ Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

- [x] Site Plan for Zoning Compliance
- N/A [ ] Subdivision or Resubdivision
- [x] Special Permit or Special Exception
- N/A [ ] Variance
- N/A [ ] Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description: 152, 156 & 166 Wilmot Avenue

   City or Town: Bridgeport
2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? [ ] YES [x] NO
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:

   There are no adjacent waters - parcel is within 800'± of Johnson's Creek, FEMA Zone AE & X (Unshaded)
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:

The parcel supports a one story, warehouse building located within R-BB & IL zones. The present zone line is running through the parcel and is proposed to be relocated to the northerly boundary line in order to locate the parcel entirely within the IL zone. The parcels to the north and east and directly across the street are single and multi-family residences. The two parcels to the south are vacant. A marine service shop is also across the street.

5. Indicate the area of the project site: 23,060± acres or (square feet) (circle one)
6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):

   - [ ] Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
   - [ ] Project or activity will disturb one or more total acres but less than 5 total acres of land area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.
   - [x] Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.
7. Does the project include shoreline flood and erosion control structure as defined in CGS section 22a-109(d) ☐ Yes ☒ No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

Proposal to remove exterior wood stock piles and install perimeter landscaping in order to conform to the 15% minimum landscape requirement. The use of the building will change from warehouse to whole sale trade with an accessory retail use. The purchaser will park service vehicles on site incident to the new business use. No other outdoor activity is proposed. A storm drainage system has been designed to accommodate existing run-off from the existing paved areas. Lawn areas will be provided which will . create green areas to aid in storm water quality. There will be no increase in site coverage since new lawn areas are proposed. This property will be developed in keeping with the integrity of this zone. Construction will have a twelve month duration.

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Storm water run-off from the structure will be treated with a sub-grade stormwater infiltration system. The primary stormwater treatment will be implemented as to Stormwater Best Management Practice. Stormwater run-off will also be improved by the planting of new lawn areas which will also aid in the attenuation of storm water run-off. Pre- and post-development stormwater run-off rates and volumes were computed using the TR-55 method. Water quality volume (WQV) was determined using methods as outlined in CT DEEP Stormwater Quality Manual (SWQM). The greater of the two is held for design purposes. This primary treatment method will remove at least 80% of the average annual total suspended solids (TSS) load.

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)	X	X	X	
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)	X	X		
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

Complies w/ CGS 22a-92(a)(1) "...by promoting economic growth without significantly disrupting the environment..."

Complies w/ CGS 22a-92(b)(2)(F) "...manage coastal hazard areas to minimize hazards to property..."

Complies w/ CGS 22a-92(c)(2)(B) "...maintain patterns of water circulation in the placement of drainage control structures..."

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- [X] General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- [ ] Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A); Definition CGS Section 22a-93(16)
- [ ] Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- [ ] Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- [ ] Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- [ ] Boating - CGS Section 22a-92(b)(1)(G)
- [ ] Fisheries - CGS Section 22a-92(c)(1)(I)
- [ ] Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- [ ] Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- [ ] Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- [ ] Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- [ ] Solid Waste - CGS Section 22a-92(a)(2)
- [ ] Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- [ ] Cultural Resources - CGS Section 22a-92(b)(1)(J)
- [ ] Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

No adverse impacts were determined on off-site coastal resources. Stormwater treatment is proposed which will help reduce erosion impacts as well as provide water infiltration. This project will be limited to the confines of the site and will be completed within twelve (12) months. All disturbed areas will be loamed, seeded and planted upon completion of construction. No other disturbance on or off site is proposed.

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Aapplicable≅ column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat - CGS Section 22a-93(15)(G)		X

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The Aapplicable≅ column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.)*:

Not applicable - the project does not qualify as a water-dependent use.

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

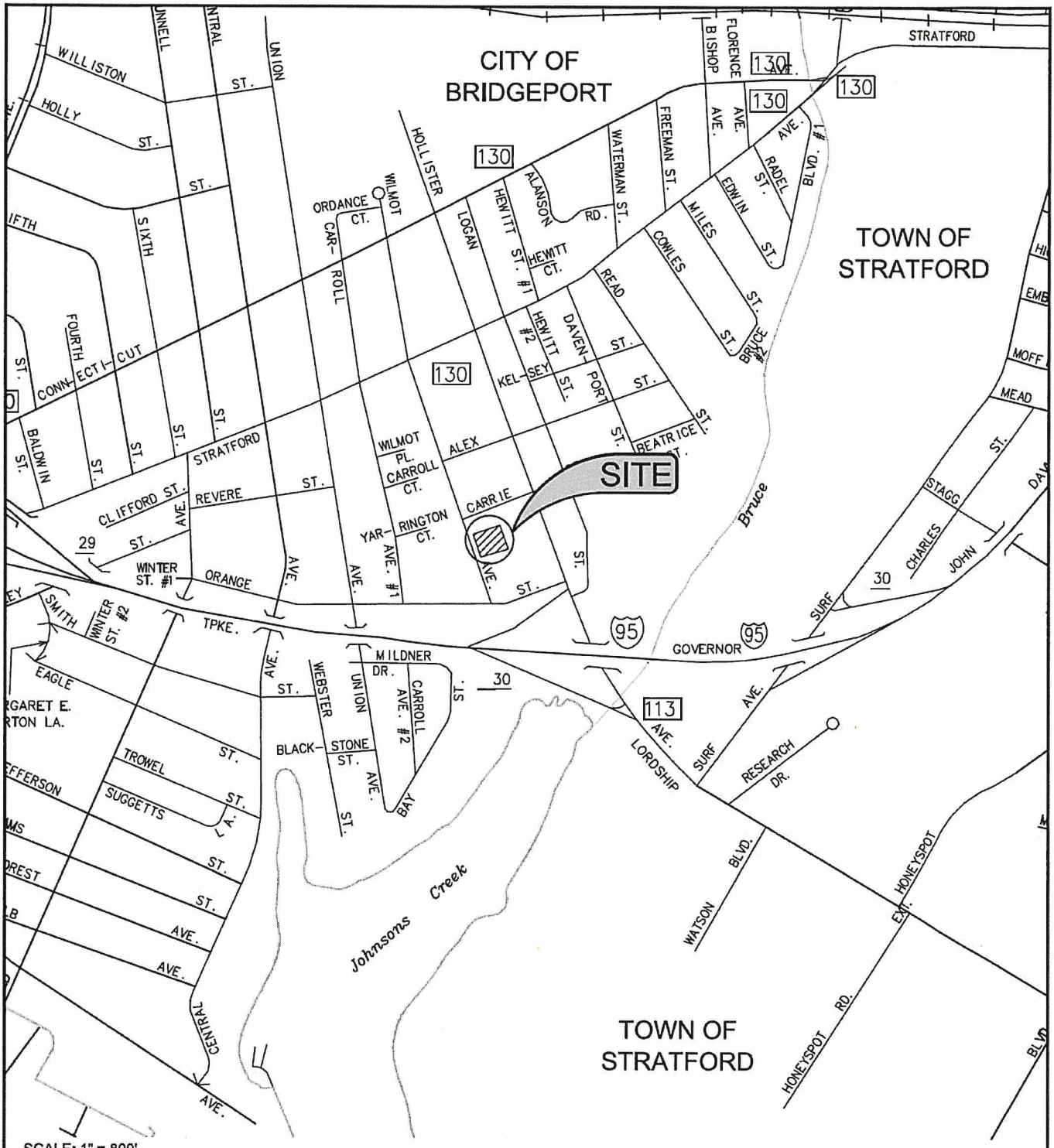
Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

No adverse impacts were determined on adjacent coastal resources. The proposed activity will be constructed with the appropriate soil erosion and control measures and will include the design of a storm drainage system to ensure there will be no adverse impact on the adjoining properties. New lawn areas will also reduce erosion and provide storm water infiltration. No building construction is proposed therefore, no disturbance is required within the street right-of-way nor the excavation of existing street utilities.

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

No adverse impacts resulting from the proposed activity is anticipated and appropriate measures will be utilized and designed as outlined above.



Cabezas DeAngelis

ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

LOCATION MAP

- PREPARED FOR -

JAMES MONTELBANO

152, 156 & 166 WILMOT AVENUE

BRIDGEPORT, CONNECTICUT

DATE: MARCH 2021

FIGURE A

SCALE: 1" = 500'

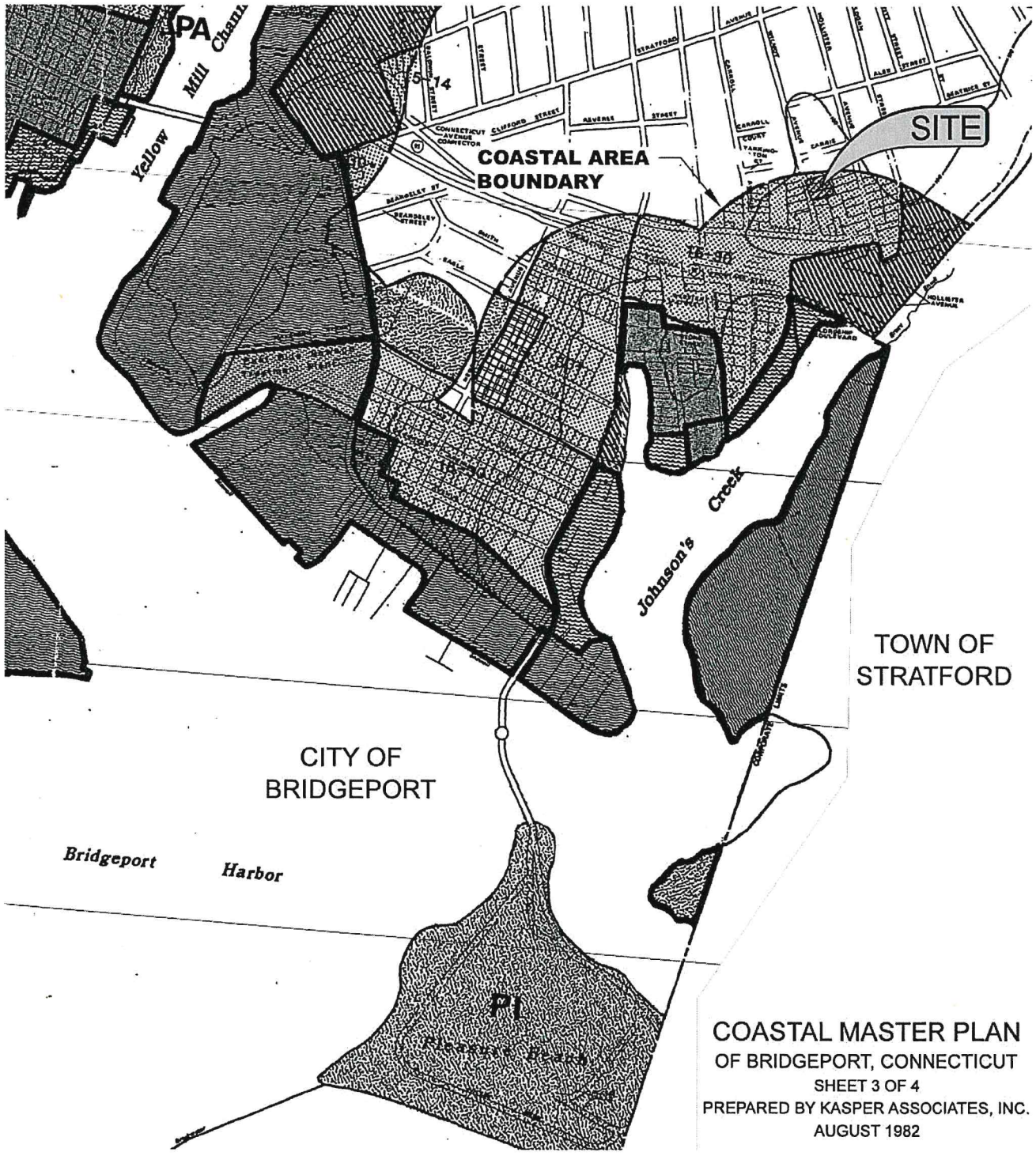
MAP NUMBER 09001C0441G. MAP REVISED JULY 8, 2013

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

FEMA FIRM MAP

- PREPARED FOR -
JAMES MONTELBANO
152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT

DATE: MARCH 2021 | FIGURE B



SCALE: 1" = 1000'

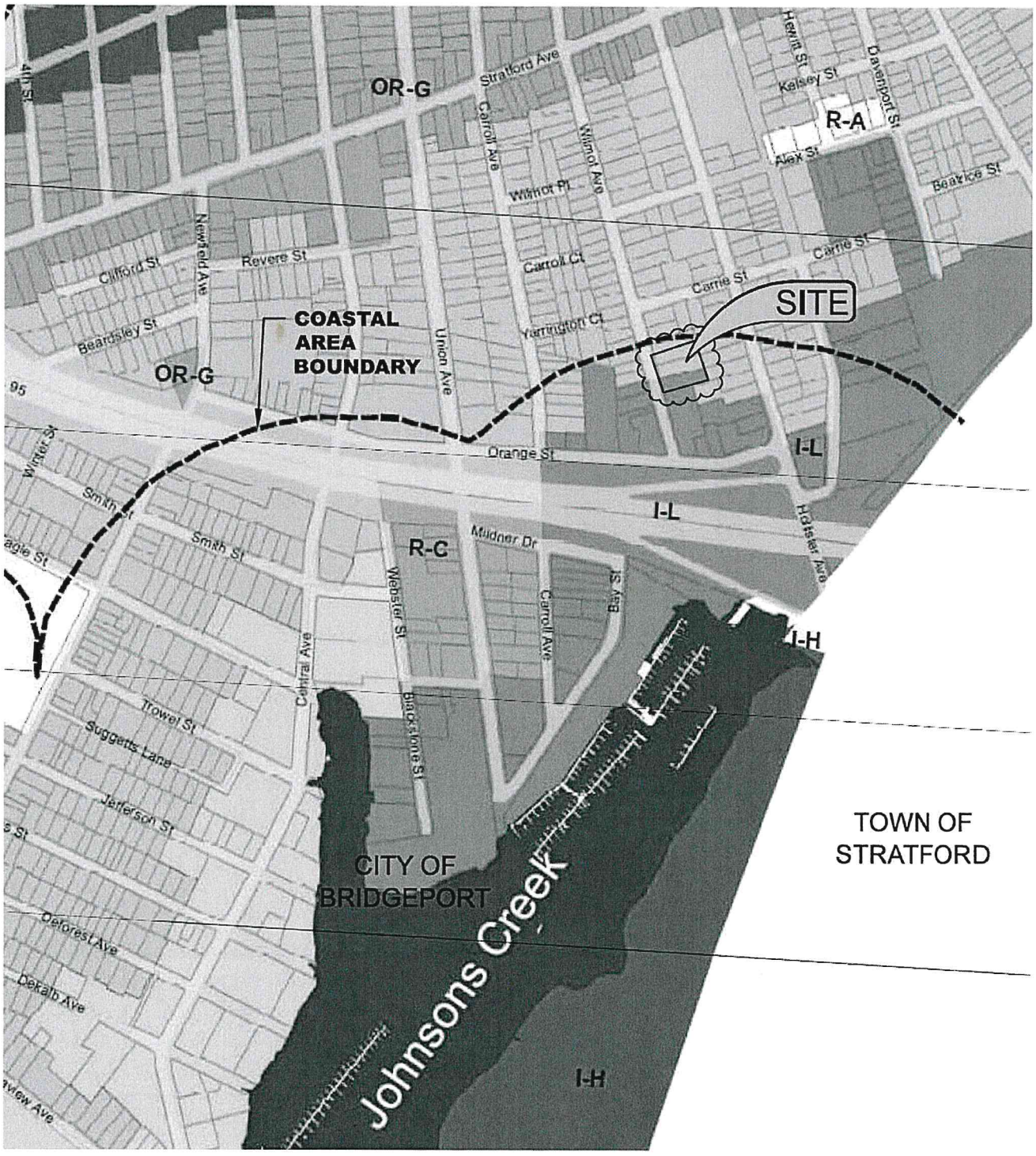
COASTAL MASTER PLAN
OF BRIDGEPORT, CONNECTICUT
SHEET 3 OF 4
PREPARED BY KASPER ASSOCIATES, INC.
AUGUST 1982

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

COASTAL RESOURCE MAP

- PREPARED FOR -
JAMES MONTELBANO
152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT

DATE: MARCH 2021 | FIGURE C



SCALE: 1" = 500'

Cabezas DeAngelis
ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

ZONE MAP

- PREPARED FOR -
JAMES MONTELBANO
152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT

DATE: MARCH 2021 | FIGURE D

COASTAL RESOURCES

COASTAL AREA MANAGEMENT

BASE MAP U.S.G.S. 7½ MINUTE QUADRANGLE

PREPARED BY:

COASTAL AREA MANAGEMENT PROGRAM
CONNECTICUT DEPARTMENT OF
ENVIRONMENTAL PROTECTION
1979

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78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

COASTAL RESOURCE MAP

- PREPARED FOR -

JAMES MONTELBANO
152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT

DATE: MARCH 2021

FIGURE E
NOT TO SCALE

Cabezas DeAngelis
ENGINEERS & SURVEYORS · 78 ELM STREET · BRIDGEPORT, CONNECTICUT 06604

DESIGN REPORT

STORMWATER MANAGEMENT SYSTEM

152, 156 & 166 Wilmot Avenue
Bridgeport, Connecticut

Prepared By: _____ Date: **March 19, 2021**

Washington Cabezas, Jr., PEL 70210

203.330.8700 • FAX 203.330.8701 • WWW.CD-ENGINEERS.COM

GENERAL INFORMATION

Per the City of Bridgeport Tax Assessor records, **152, 156 & 156 Wilmot Avenue** is listed as Map **31** Block **655**, Lots **4, 3 and 2A** and is a total of **23,060**± square feet in area combined. The parcels are zoned **I-L** and is presently occupied by a one story building with a gravel travel area and paved area for parking at the front of the existing building with access from Wilmot Avenue. The parcel has a grade change of approximately four feet pitching in a easterly direction. There is very little vegetation at the perimeter of the gravel parking area.

The site is partially within a FEMA Special Flood Hazard Zone and is designated in areas known as Zone X (Un-shaded) and Zone AE (between Elevations 10 & 11) per FEMA FIRM Map Number 09001C0441G, Panel Number 441 of 626, Map Revised July 8, 2013.

Sanitary sewer, water, gas and electric services are available on **Wilmot Avenue**. Proposed Improvements include the construction of a bituminous concrete paved parking area with a sub-grade stormwater infiltration system underneath. All remaining yard areas are to be loamed and seeded to establish good grass cover. The storm system will accommodate the theoretical storage volume required by the City of Bridgeport Storm Management Manual.

DESIGN METHODOLOGY

The stormwater runoff resulting from the existing and proposed conditions was analyzed using a 24-hour, 2-year, 10-year, 25-year & 50-year frequency, Type III storm event. HydroCAD software was used to run the storm analysis based on the SCS TR-20 method. A 2-year storm frequency for the Bridgeport area has a rainfall of 3.3 inches, a 10-year storm frequency has a rainfall of 5.0 inches, a 25-year storm frequency has a rainfall of 5.7 inches and a 50-year storm frequency has a rainfall of 6.4 inches per ConnDOT Drainage Manual. The minimum time of concentration of ten (10) minutes is used per section 7 of the City of Bridgeport Storm Management Manual. Hydrographs are also included in this report reflecting runoff information for the existing and proposed conditions under the 2, 10, 25 and 50-year storm events.

RESULTS

The resultant hydrographs provided the following information for 50 year storm event:

Total Drainage Area: **3,551** Ft^2

Existing Conditions Runoff Volume..... 1,751 Ft^3

Post Conditions Runoff Volume ..... 1,351 Ft^3

Increase in Runoff.....- 400 Ft^3 (Decrease)

10% Minimum Volume

Reduction Requirement ..... 175.1 Ft^3
(Based on Existing Conditions during 50-Year Storm Event: 0.10 (1,751.0 CF)

Total Storage Required ..... **175.1 Ft^3**
(0+175.1)

PROPOSED SYSTEM

The proposed proposed stormwater system consists of a total of three (3) 330 Cultec Recharger chambers that will collect runoff from driveway areas. The proposed system will provide a total storage volume of **311.1 Ft^3**. Forty percent of total angular stone volume is used as the crushed stone storage capacity. The calculations for sizing the system are included in this report.

Pre vs. Post Analysis
From hydrographs of 50-Year Event:

Post Conditions Volume = 1,351 Ft^3
Existing Conditions Volume = 1,751 Ft^3
Runoff Volume Increase= 1,351 Ft^3 – 1,751 Ft^3 = - 400 Ft^3 (Decrease)
10% Storm Runoff Volume Reduction: 0.10(1,751 Ft^3) = 175.1 Ft^3
Minimum Volume Required by City of Bridgeport: **0 Ft^3 + 175.1 Ft^3 = 175.1 Ft^3**

From the Water Quality Equation:
WQV= 1" RA/12 and R = 0.05+0.009(% Existing Impervious)
R = 0.05+0.009(11.4%) = 0.1526
WQV = 1" (0.1526) (0.529)/12 = 0.0067 Acre-Ft = **291.9 Ft^3**

Minimum Storage Required: 291.9 Ft^3

Stormwater Storage Provided
One Set of Three (3) Cultec 330 chambers x 52.2 Ft^3 /unit = 156.6 Ft^3
Stone Volume = [(6.33)(24.5)(3.5) – 156.6] 0.4 = 154.5 Ft^3
Storage Provided: (156.6 Ft^3 + 154.5 Ft^3) = **311.1 Ft^3**
(Three chambers on the northerly side of the site)

Six (6) inches of angular stone to be installed under units with a minimum of six (6) inch depth of angular stone over top and twelve (12) inches on sides.

* Filter Fabric to be installed on all sides of crushed stone. (See detail on plan)

Minimum Storage Provided = 311.1 Ft^3

Pre Vs. Post Runoff Volumes (Multi-Family)			
Storm Frequency	**Post Conditions (Ft ^{3})**	**Existing Conditions (Ft ^{3})**	**Runoff Increase (Ft ^{3})**
2	**522**	**842**	**- 320 (Decrease)**
10	**966**	**1,340**	**- 374 (Decrease)**
25	**1,157**	**1,545**	**- 388 (Decrease)**
50	**1,351**	**1,751**	**- 400 (Decrease)**

Summary for Subcatchment 1S: Existing Conditions

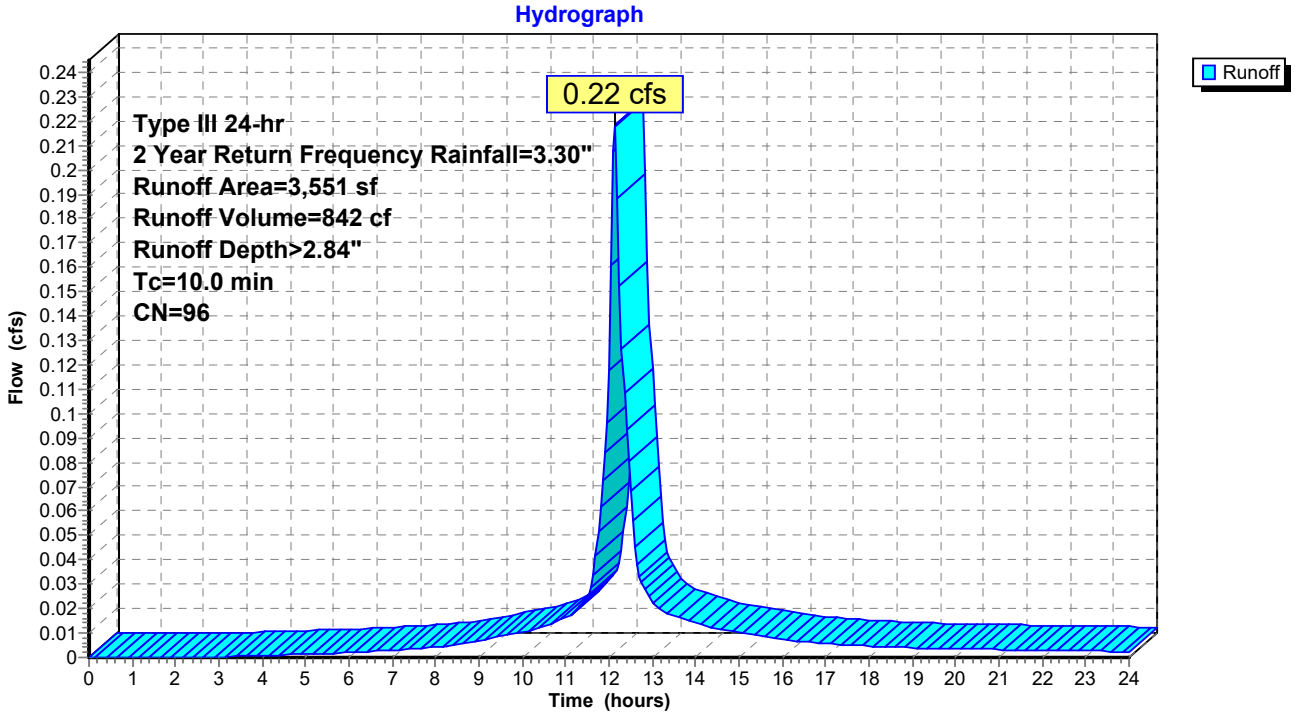
Runoff = 0.22 cfs @ 12.14 hrs, Volume= 842 cf, Depth> 2.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 2 Year Return Frequency Rainfall=3.30"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG D
922	89	<50% Grass cover, Poor, HSG D
3,551	96	Weighted Average
922		25.96% Pervious Area
2,629		74.04% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					**Direct Entry,**

Subcatchment 1S: Existing Conditions



Summary for Subcatchment 2S: Proposed Conditions

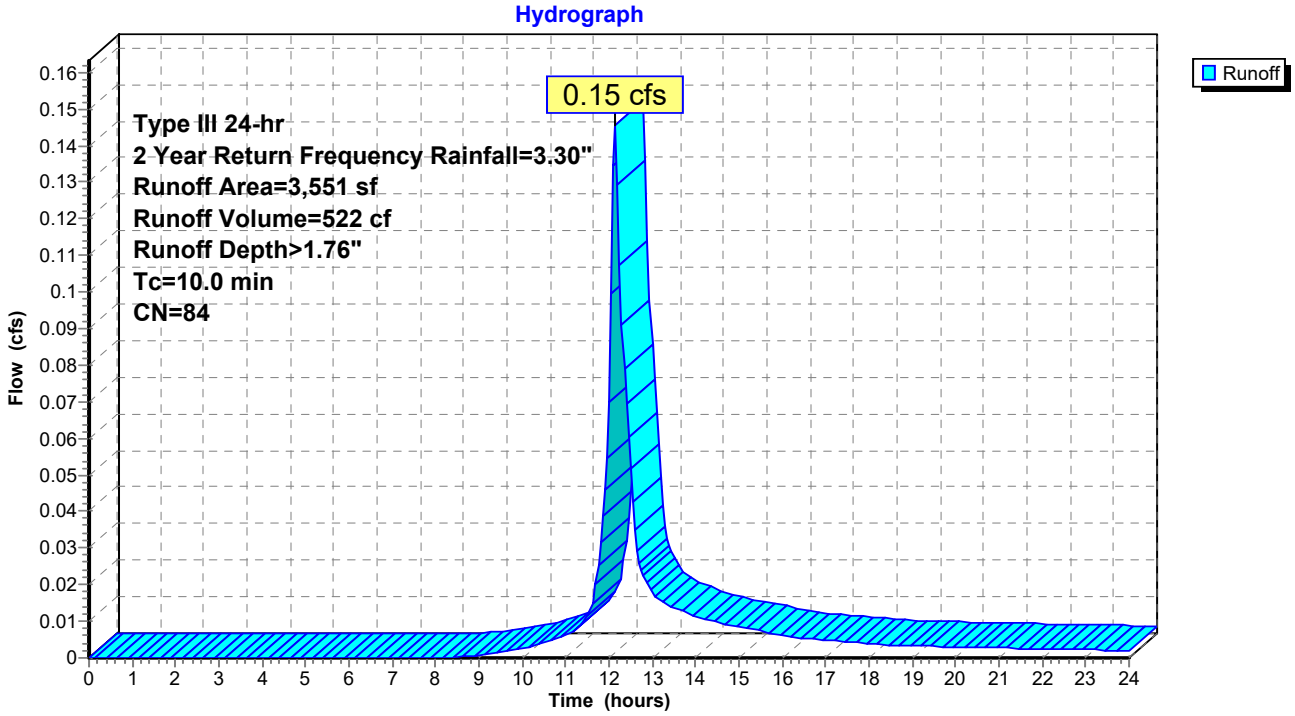
Runoff = 0.15 cfs @ 12.15 hrs, Volume= 522 cf, Depth> 1.76"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 2 Year Return Frequency Rainfall=3.30"

Area (sf)	CN	Description
3,551	84	50-75% Grass cover, Fair, HSG D
3,551		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					**Direct Entry,**

Subcatchment 2S: Proposed Conditions



Summary for Subcatchment 1S: Existing Conditions

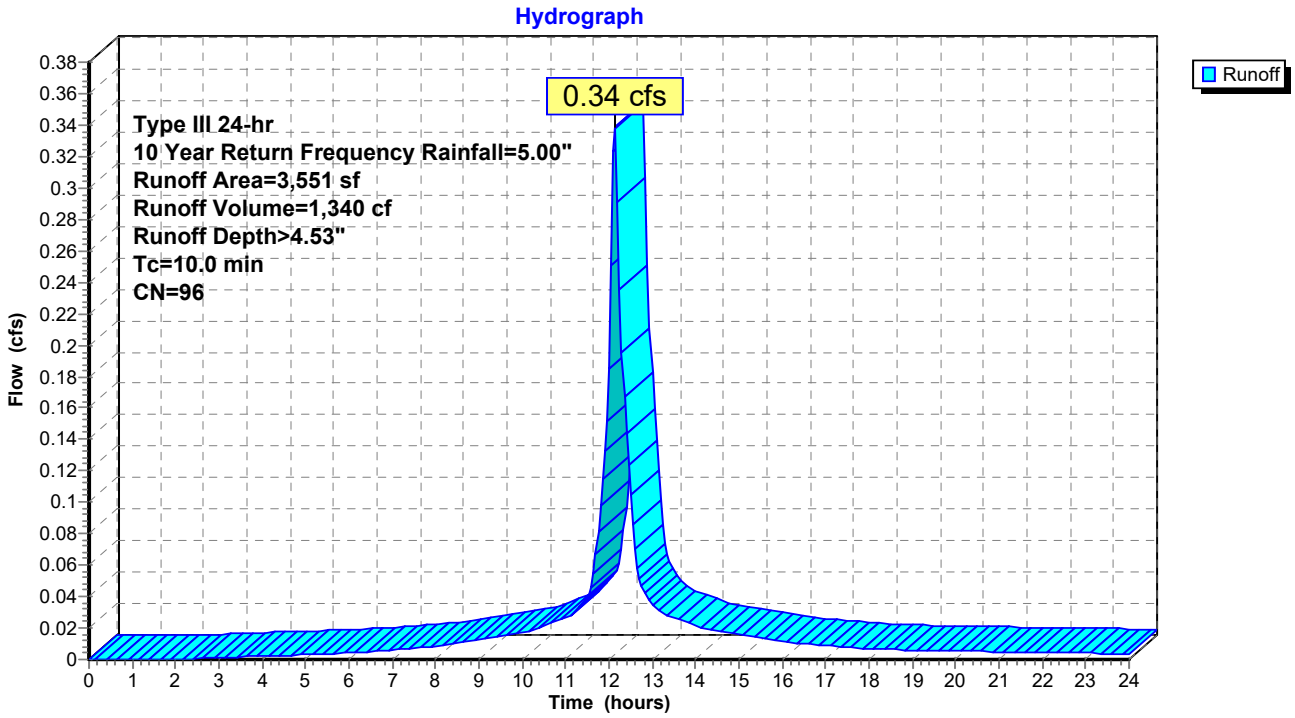
Runoff = 0.34 cfs @ 12.14 hrs, Volume= 1,340 cf, Depth> 4.53"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Return Frequency Rainfall=5.00"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG D
922	89	<50% Grass cover, Poor, HSG D
3,551	96	Weighted Average
922		25.96% Pervious Area
2,629		74.04% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					**Direct Entry,**

Subcatchment 1S: Existing Conditions



Summary for Subcatchment 2S: Proposed Conditions

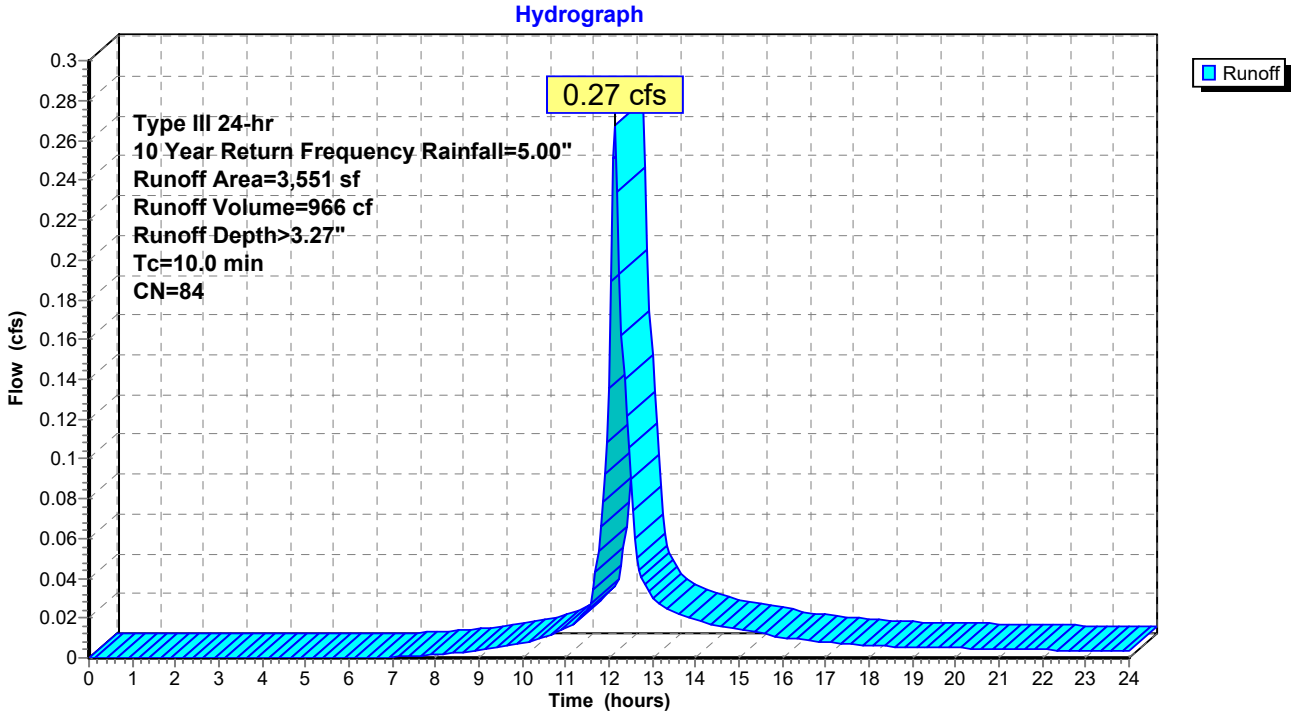
Runoff = 0.27 cfs @ 12.14 hrs, Volume= 966 cf, Depth> 3.27"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 Year Return Frequency Rainfall=5.00"

Area (sf)	CN	Description
3,551	84	50-75% Grass cover, Fair, HSG D
3,551		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					**Direct Entry,**

Subcatchment 2S: Proposed Conditions



Summary for Subcatchment 1S: Existing Conditions

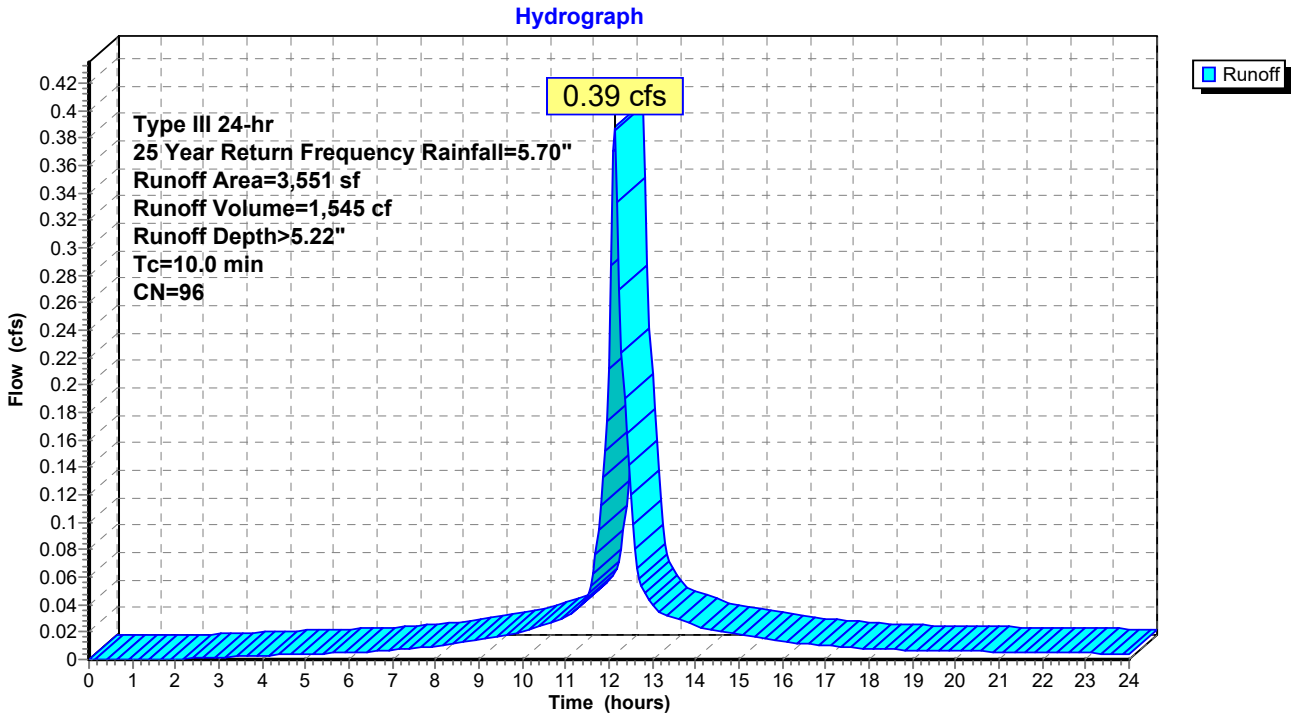
Runoff = 0.39 cfs @ 12.14 hrs, Volume= 1,545 cf, Depth> 5.22"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 Year Return Frequency Rainfall=5.70"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG D
922	89	<50% Grass cover, Poor, HSG D
3,551	96	Weighted Average
922		25.96% Pervious Area
2,629		74.04% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					**Direct Entry,**

Subcatchment 1S: Existing Conditions



Summary for Subcatchment 2S: Proposed Conditions

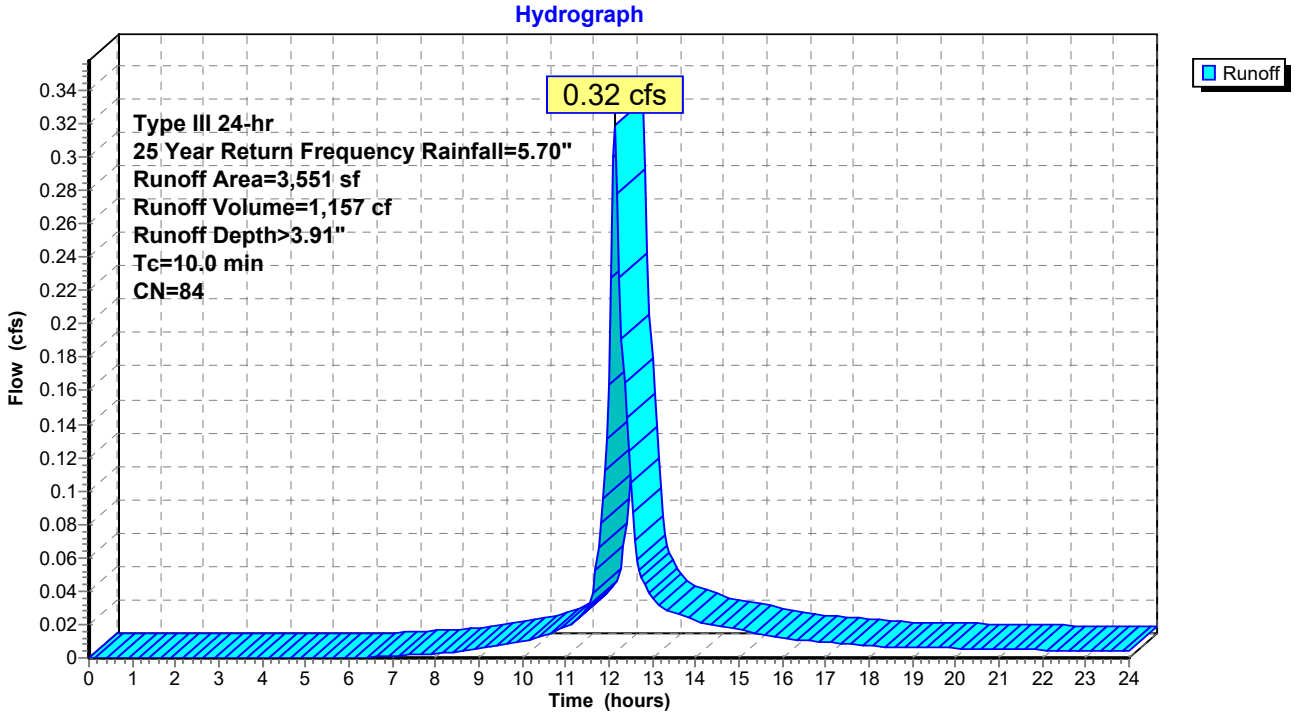
Runoff = 0.32 cfs @ 12.14 hrs, Volume= 1,157 cf, Depth> 3.91"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 25 Year Return Frequency Rainfall=5.70"

Area (sf)	CN	Description
3,551	84	50-75% Grass cover, Fair, HSG D
3,551		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					**Direct Entry,**

Subcatchment 2S: Proposed Conditions



Summary for Subcatchment 1S: Existing Conditions

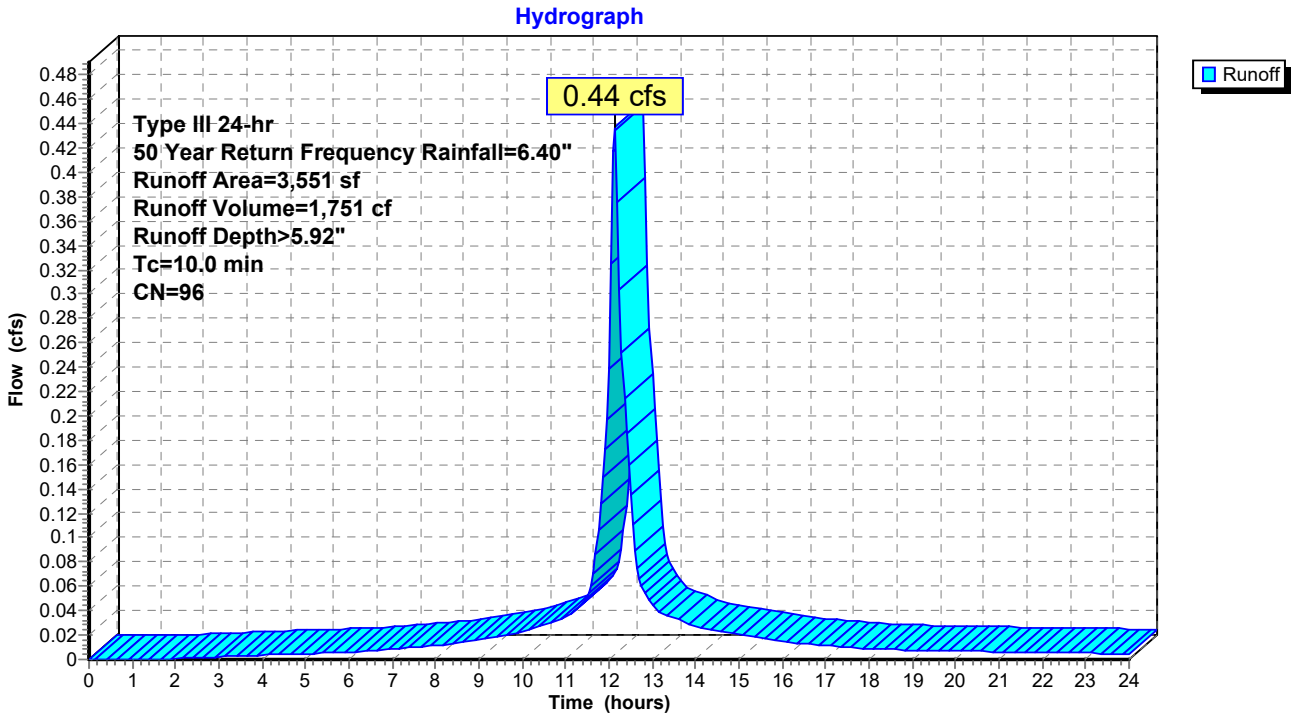
Runoff = 0.44 cfs @ 12.14 hrs, Volume= 1,751 cf, Depth> 5.92"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 50 Year Return Frequency Rainfall=6.40"

Area (sf)	CN	Description
2,629	98	Paved parking, HSG D
922	89	<50% Grass cover, Poor, HSG D
3,551	96	Weighted Average
922		25.96% Pervious Area
2,629		74.04% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					**Direct Entry,**

Subcatchment 1S: Existing Conditions



Summary for Subcatchment 2S: Proposed Conditions

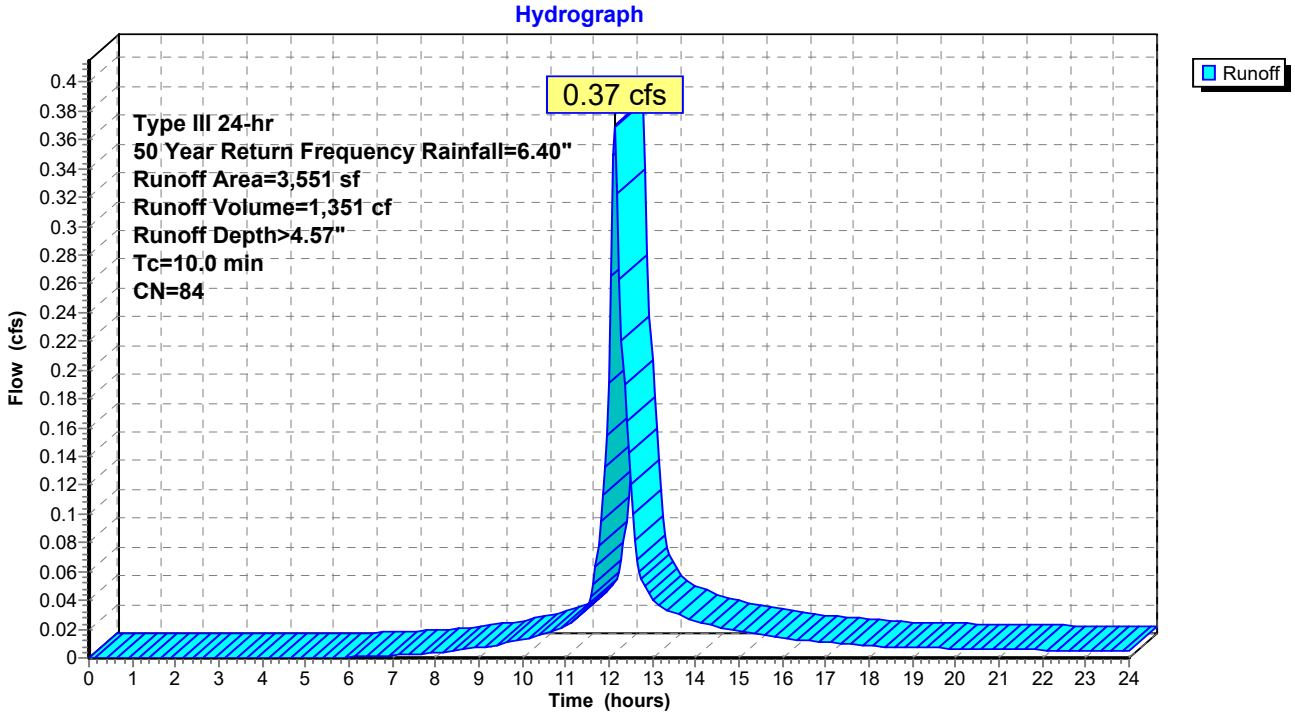
Runoff = 0.37 cfs @ 12.14 hrs, Volume= 1,351 cf, Depth> 4.57"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
Type III 24-hr 50 Year Return Frequency Rainfall=6.40"

Area (sf)	CN	Description
3,551	84	50-75% Grass cover, Fair, HSG D
3,551		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					**Direct Entry,**

Subcatchment 2S: Proposed Conditions



NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS AN **IMPROVEMENT LOCATION SURVEY** AND **TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND TOPOGRAPHIC ACCURACY CLASS **T-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE PURPOSES**.

2. THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

3. ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.

4. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEOID03 **AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60)**. LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORS96). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **JUNE 11, 2014** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:
   STATION: ORANGE,
   NORTHING 653,555.9292, EASTING 927,267.5499,
   LATITUDE 41°15'15.89404", LONGITUDE 73°00'52.60263",
   ELLIPSOID -4.143

5. REFERENCE IS MADE TO THE FOLLOWING MAPS:

   A. MAP ENTITLED "MAP NO. 1, PROPERTY OF D.F. HOLLISTER ESQ., WEST STRATFORD CONN., DATED FEBRUARY 1887", AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 4, PG. 28.**

   B. MAP ENTITLED "FAIRFAX, BRIDGEPORT CONN., SCALE: 1" = 100', DATED SEPTEMBER 12, 1906" PREPARED BY SCOFIELD AND FORD AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 6, PG. 53.**

   C. MAP ENTITLED "PROPERTY DIVISION FOR ANTONIA CARUSO AND ROSE AND JOHN SANTACROSE, LOCATED IN BRIDGEPORT CONN.,SCALE: 1" = 20', DATED AUGUST 10, 1955" PREPARED BY ROBERT F. MARSHALL AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 20, PG. 97.**

   D. MAP ENTITLED "PROPOSED SUBDIVISION, PREPARED FOR ERNESTO AND LAURA BATISTA BRIDGEPORT, CONNECTICUT, SCALE: 1" = 20', DATED FEBRUARY 4, 1992", PREPARED BY CHARLES T. GALIAN AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 51, PG. 185.**

   E. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 655.**

6. PARCEL INFORMATION:

   152 WILMOT AVENUE
   A. ASSESSOR'S REFERENCE: MAP 31, BLOCK 655, LOT 4
   B. PARCEL AREA: **8,866±** SQ. FT., OR **0.204±** AC.,
   C. RECORD OWNER: CORBALLITE, LLC; VOL. 9840, PG. 30
   D. PARCEL LOCATED WITHIN THE '**I-L**' ZONING DISTRICT

   156 WILMOT AVENUE
   A. ASSESSOR'S REFERENCE: MAP 31, BLOCK 655, LOT 3
   B. PARCEL AREA: **5,301±** SQ. FT., OR **0.121±** AC.,
   C. RECORD OWNER: CORBALLITE, LLC; VOL. 9840, PG. 30
   D. PARCEL LOCATED WITHIN THE '**R-BB**' ZONING DISTRICT

   166 WILMOT AVENUE
   A. ASSESSOR'S REFERENCE: MAP 31, BLOCK 655, LOT 2A
   B. PARCEL AREA: **8,893±** SQ. FT., OR **0.204±** AC.,
   C. RECORD OWNER: CORBALLITE, LLC; VOL. 9840, PG. 30
   D. PARCEL LOCATED WITHIN THE '**R-BB**' ZONING DISTRICT

7. THE SUBJECT PARCELS ARE LOCATED WITHIN THE JOHNSON'S CREEK COASTAL BOUNDARY - RESIDENTIAL ZONE, SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT SHEET 3 OF 4, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.

8. SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **441** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0441** SUFFIX **G**, MAP NUMBER **09001C0441G**, MAP REVISED **JULY 8, 2013.** THE PARCELS ARE LOCATED IN AREAS DESIGNATED AS **ZONE X** (**UN-SHADED**) AND **ZONE AE** (**BETWEEN ELEVATIONS 10 & 11**).

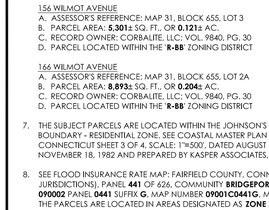
9. DEEDS, RECORD MAPS, AND OTHER DRAWINGS IN THE FILES OF VARIOUS DEPARTMENTS OF THE **CITY OF BRIDGEPORT** EVIDENCE DISCREPANCIES, IN SOME CASES SIGNIFICANT, WITH RESPECT TO LINES OF TITLE (INCLUDING STREET LINES). THE LINES OF TITLE EVIDENCED IN THE DOCUMENTS REFERENCED HEREIN DO NOT NECESSARILY AGREE WITH OCCUPATION LINES, PINS, PIPES, MONUMENTS, ETC. FOUND OR WITH OTHER PHYSICAL EVIDENCE FOUND. THE **CITY OF BRIDGEPORT** HAS ESTABLISHED STREET LINES IN THE SUBJECT AREA; HOWEVER, ORIGINAL MONUMENTATION HAS BEEN REMOVED OR NOT FOUND. THE PROPERTY LINES, INCLUDING THE STREET LINES DEPICTED AND NOTED HEREON REPRESENT THE APPARENT "**BEST FIT**" OF THESE CONFLICTING ELEMENTS AND ARE CONSIDERED TO BE THOSE WHICH ARE TO BE MOST LIKELY CORRECT AND ARE SUBJECT TO ANY REVISION OR CORRECTION WHICH MAY BE REQUIRED BY APPROPRIATE LEGAL PROCEEDINGS OR BY DISCOVERY OF ADDITIONAL INFORMATION.

10. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (**1-800-922-4455**).

11. REFERENCE TO OTHER INSTRUMENTS FOUND ON FILE: ZONING COMPLIANCE FIELD CARD NUMBERS 10891, 17895, 18387, 19290 AND 38439.

MINIMUM OFF-STREET PARKING REQUIREMENTS, NON-DVD ZONES
Table 8.A

		REQUIRED	PROVIDED
WAREHOUSE (primary use) 0.5 / 1000 sf and 0.5 / employee	10,381 SF & Two Employees	5.2 + 1 = 6.2	7
	TOTAL	6.2	7

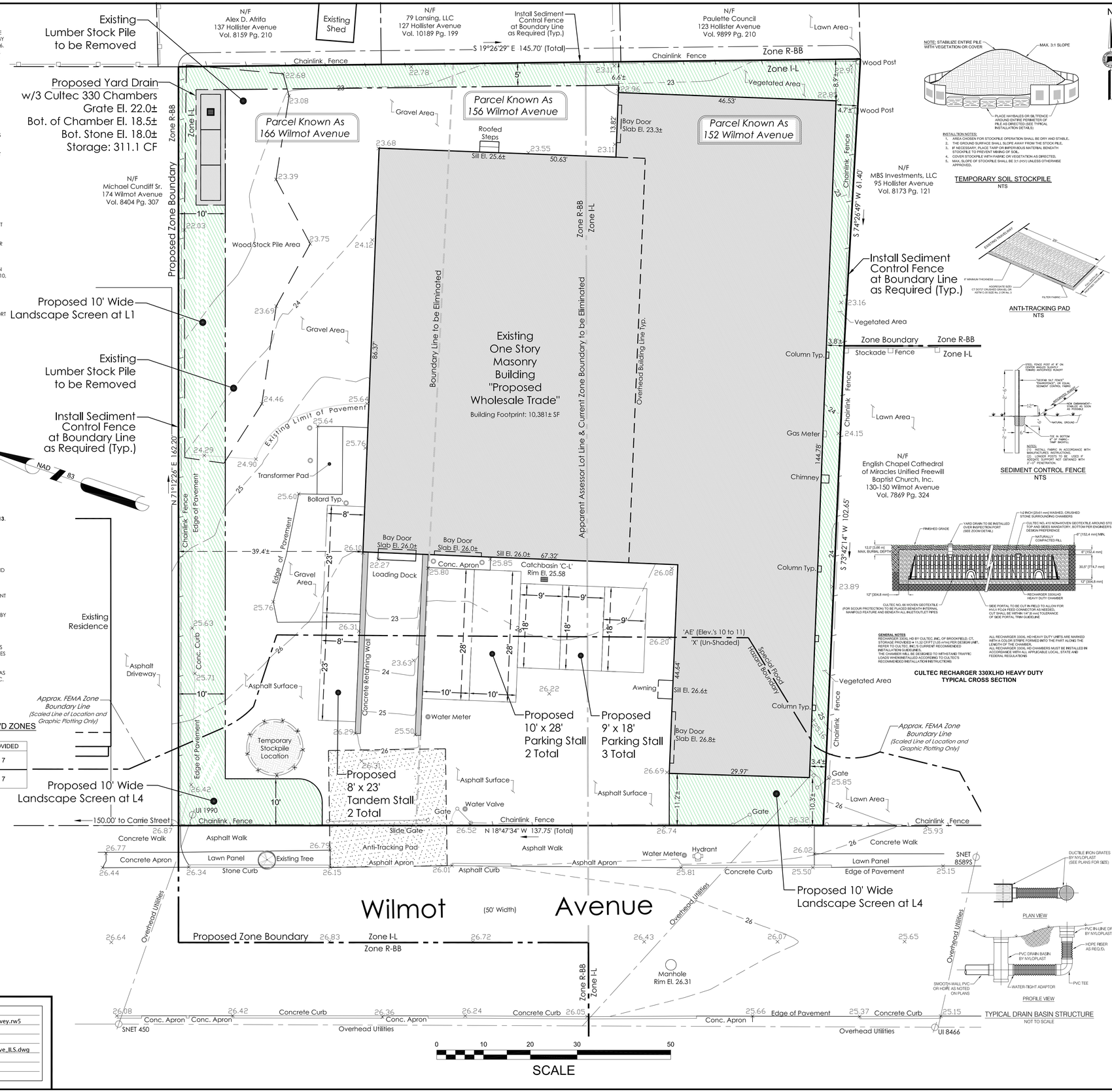


TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WASHINGTON CABEZAS, JR PEL 70210

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

SCALE: 1"=10'
FIELD FILE: 156 wilmot survey.rw5
PROJECT NO. CD1494
DATE: March 19, 2021
CAD FILE: 152-166 Wilmot Ave_ILS.dwg
SHEET 1 OF 1
REV:



TEMPORARY SOIL STOCKPILE
NTS

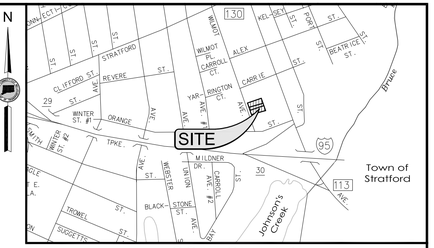
ANTI-TRACKING PAD
NTS

SEDIMENT CONTROL FENCE
NTS

GENERAL NOTES
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT (1.05 m³/m) PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED IN ACCORDANCE WITH CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A 4-COLOR STRIPE, FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS

CULTEC RECHARGER 330XLHD HEAVY DUTY
TYPICAL CROSS SECTION

TYPICAL DRAIN BASIN STRUCTURE
NOT TO SCALE



LOCATION MAP
SCALE: 1" = 800'

I-L Zone Development Standards

	REQUIRED	PROPOSED
LOT		
LOT AREA, MINIMUM	N/A	23,060± SF
FRONTAGE, MINIMUM	25 FT	137.75 FT
FLOOR AREA RATIO, MAXIMUM	N/A	N/A
PRINCIPLE BUILDING SIZE, MAXIMUM	N/A	N/A
PRINCIPLE BUILDING SETBACK		
FRONT LOT LINE, MINIMUM FROM	N/A	N/A
STREET LOT LINE, MINIMUM FROM	15 FT	10.3± FT
MAXIMUM SETBACK	N/A	N/A
SIDE LOT LINE, MINIMUM FROM	N/A	N/A
REAR LOT LINE, MINIMUM FROM	N/A	N/A
NOT TO EXCEED	N/A	N/A
MINIMUM SETBACK FROM:		
OTHER HEAVY INDUSTRIAL USE	10 FT	N/A
OTHER USE	0	3.4± FT
LOT LINE ABUTTING AN 'R' ZONE	15 FT	3.8± FT
SIDE	N/A	N/A
REAR	N/A	N/A
LOT LINE ABUTTING AN 'MU' 'OR' 'I' ZONE	0	3.4± FT
CORNER LOT YARDS	NOTE 2	N/A
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A
ACCESSORY STRUCTURE		
SETBACKS	NOTE 9	N/A
COVERAGE		
BUILDING COVERAGE, MAXIMUM	85%	45%
SITE COVERAGE, MAXIMUM	85%	85%
LANDSCAPED AREA		
MINIMUM	15%	15%
IN SETBACK ABUTTING AN 'R' ZONE, MIN.	10 FT DEEP @ L4	PARTIALLY PROVIDED
HEIGHT		
PRINCIPAL BUILDING		
MAXIMUM FOR PRINCIPAL BUILDING	75 FT	18± FT
PROJECTIONS AND FEATURES	NOTE 5	20± FT (ROOF MECHANICALS)
ACCESSORY STRUCTURE, MAXIMUM		
HEIGHT, MAXIMUM	NOTE 7	N/A
FLOOR AREA, GROSS MAXIMUM	NOTE 8	N/A
PUBLIC ACCESS EASEMENT	NOTE 10	N/A

NOTES:
1. NO MAXIMUM BUILDING SETBACK FROM A STREET LOT LINE SHALL BE REQUIRED FOR ANY PARCEL OF LAND BOUNDED ON THREE OR MORE SIDES BY CITY STREETS AND OWNED BY A CITY GOVERNMENT AGENCY.
2. ON A CORNER LOT IN ANY ZONE , THERE SHALL BE TWO FRONT YARDS AND TWO SIDE YARDS.
3. THE MINIMUM SETBACK FROM MEAN HIGH WATER SHALL BE THIRTY (30) FEET EXCEPT FOR BUILDINGS SUPPORTING WATER-DEPENDENT USES THAT MAY REQUIRE LOCATION IMMEDIATELY ADJACENT TO THE WATER.
4. SEE SECTION 11-3, LANDSCAPING AND SCREENING - THE MINIMUM AREAS REQUIRED TO BE LANDSCAPED ARE LISTED IN TABLE 3, ZONE DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONES AND TABLE 4-A AND 4-B, ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES. ANY REQUIRED LANDSCAPING AS FOR REQUIRED SETBACKS OR PARKING LOTS, MAY BE APPLIED TOWARD THE MINIMUM LANDSCAPED AREA PERCENTAGE REQUIREMENT. REQUIRED LANDSCAPING AND SCREENING MUST MEET THE LEVELS REFERENCED IN EACH APPLICABLE ZONE DEVELOPMENT STANDARDS TABLE AND APPLICABLE STANDARDS SET FORTH ELSEWHERE IN THESE REGULATIONS. LANDSCAPING AND SCREENING STANDARDS LEVELS ARE SET FORTH IN SECTION 11-3-1.
5. SEE SECTION 4-4, HEIGHT - MAXIMUM HEIGHTS FOR STRUCTURES ARE LISTED IN THE ZONE DEVELOPMENT STANDARDS TABLES. EXCEPTIONS TO THE MAXIMUM HEIGHTS ARE SET FORTH IN SECTION 4-4-1 (PROJECTIONS ALLOWED) AND 4-4-2 (ARCHITECTURAL FEATURES).
6. BUILDINGS PROPOSED FOR MORE THAN THREE (3) STORIES SHALL REQUIRE A SPECIAL PERMIT.
7. ANY ACCESSORY STRUCTURE WITH A FLAT OR ROUNDED ROOF SHALL BE NO HIGHER AT ITS HIGHEST POINT THEN TWELVE (12) FEET AND ANY ACCESSORY STRUCTURE WITH A PITCHED ROOF SHALL BE NO HIGHER THAN FIFTEEN (15) FEET, MEASURED FROM THE AVERAGE LEVEL OF THE GROUND ALONG ALL WALLS OF THE STRUCTURE. IN R-H AND I-L ZONES, THE MAXIMUM HEIGHT FOR ANY ACCESSORY STRUCTURE SHALL NOT EXCEED (G) OF THE MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES IN THAT ZONE.
8. SEE SECTION 4-9, ACCESSORY STRUCTURES - CUSTOMARY ACCESSORY STRUCTURES ARE ALLOWED IN ALL ZONES, AS SPECIFICALLY REGULATED IN THAT ZONE UNDER THE PROVISIONS OF A. LOCATION; B. COMPLIANCE; C. SIZE AND D. PROHIBITED USE.
9. SETBACKS FOR ACCESSORY STRUCTURES SHALL BE THE SAME AS SETBACKS FOR PRINCIPAL STRUCTURES.
10. A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTY ABUTTING A WATERWAY. IN SUCH A CASE, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED FROM THE TOP OF THE EMBANKMENT AND FOR TWENTY (20) FEET INLAND.
11. PARKING GARAGES SHALL BE EXEMPT FROM THE FLOOR AREA RATIO (FAR) REQUIREMENT AND SHALL NOT BE INCLUDED IN THE CALCULATION OF THE GROSS FLOOR AREA IN AN MU-EM ZONE.
12. MAXIMUM HEIGHT FOR A PASSENGER TERMINAL SHALL BE 60 FT.

N/A - NOT APPLICABLE
N/C - NO CHANGE

IMPROVEMENT LOCATION SURVEY
- AND -
TOPOGRAPHIC SURVEY

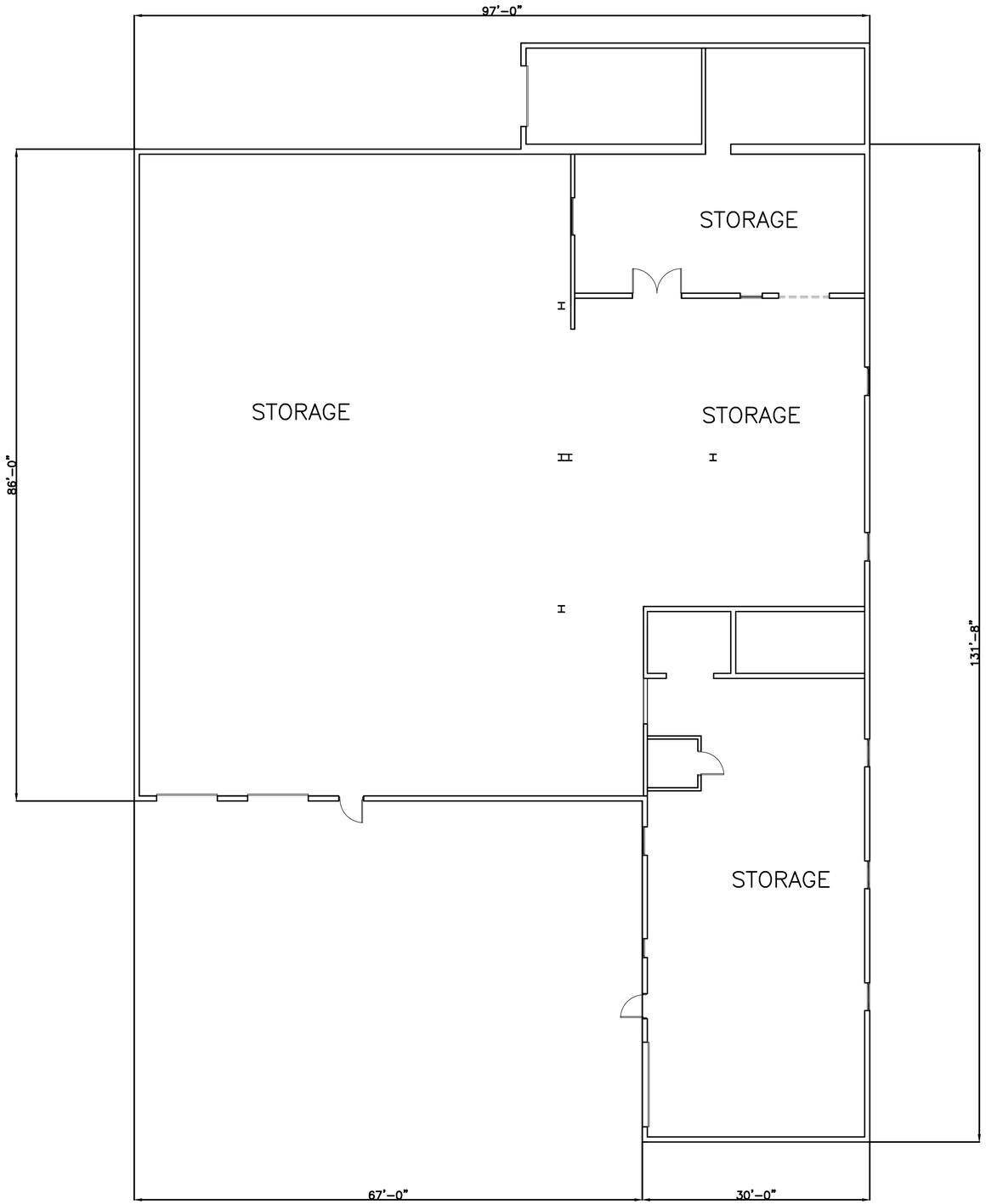
PREPARED FOR

JAMES MONTELBANO

152, 156 & 166 WILMOT AVENUE
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 31 | BLOCK 655 | LOT 4, 3 & 2A

SHEET 1 OF 1

MARCH 19, 2021 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'



FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

ROSE •TISO & CO. LLC.
ARCHITECTS • SURVEYORS • ENGINEERS

WWW.ROSETISO.COM
35 BRENTWOOD AVENUE, FAIRFIELD, CT 06825
TEL: (203)610-6262 • FAX: (203)610-6404

REVISIONS

NO.	BY	DATE	DESCRIPTION

PROJECT TITLE

EXISTING STORAGE BUILDING

152 WILMOT ST
BRIDGEPORT

Prepared For:

RICHARD MONTELBANO

SHEET TITLE

FIRST FLOOR PLAN

DESIGNED BY:PMR	SCALE: NOTED
DRAWN BY: CPR	DATE:5-20-20
CHECKED BY: P.M.R.	PROJECT NUMBER2520
CAD FILE: R:2520/ARCH	

SEAL	SHEET NUMBER
	A-1

CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** PRO TECH HOME LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No _____.
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 195,199 & 205 POPLAR ST
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 1215 Lot No. 44, 45 & 46
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 112.50' + 138.08' + 37.50' + 37.51' + 37.50' + 137.00'
7. Existing Zone Classification: R-C
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Contruction of New 5 Units Townhouse Style Residential Building with associated rear Parking Lot

Approval(s) requested: Special Permit and Site Plan Review.

Signature: _____ **Date**: _____

Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____

Print Name: _____

Mailing Address: _____

Phone: _____ Cell: _____ Fax: _____

E-mail Address: _____

$ _____Fee received **Date**: _____ **Clerk**: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- □ Completed & Signed Application Form
- □ A-2 Site Survey
- □ Building Floor Plans
- □ Completed Site / Landscape Plan
- □ Drainage Plan
- □ Building Elevations
- □ Written Statement of Development and Use
- □ Property Owner's List
- □ Fee
- □ Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Print Owner's Name	Owner's Signature	Date
Print Owner's Name	Owner's Signature	Date

Rev. 6/18/2016

STATEMET OF DEVELOPMENT USE

07-28-2021

Ref: City of Bridgeport, Planning and Zoning Commission
Site Plan Review and Special Permit Application
Residential Development at
195, 199 & 205 Poplar Street, Bridgeport, CT

The Existing Property consists of 3 Vacant Lots to be combined into one Lot for the Construction of a New 5-Unit, Townhouse Style Residential Building.
Each Unit will have approximated 1,200 square feet of living space with two bedrooms, two bathrooms and one attached single car garage.
The Site will also accommodate a rear parking lot with 8 additional parking spaces and be provided with over 32% of landscaped areas.
The Proposed Development has been reviewed and approved by the City of Bridgeport Design Review Commission and will not create any negative impact to the neighborhood.
We hereby respectfully request your consideration in approving this application.

Sincerely,

Pro Tech Home LLC

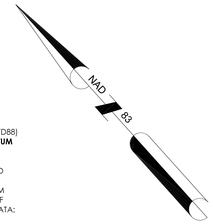
Poplar (50' L.O.) Street

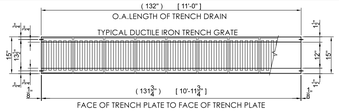
NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996, IT IS AN **IMPROVEMENT/LOCATION SURVEY** AND **TOPOGRAPHIC SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND TOPOGRAPHIC ACCURACY CLASS **T-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** PURPOSES.
2. THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
3. ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.
4. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEOID09 **AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60)**. LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORS96). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **DECEMBER 14, 2011** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LANDEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA: **STATION: ORANGE, NORTHING 653,555.9292, EASTING 927,267.5499, LATITUDE 41°15'15.89404", LONGITUDE 73°00'52.60263", ELLIPSOID -4.143.**
5. REFERENCE IS MADE TO THE FOLLOWING MAPS;
   - A. MAP ENTITLED "PROPERTY OF EZRA SILLIMAN, SCALE: 1" = 80', DATED FEBRUARY 1883" PREPARED H.G. SCOFIELD AND FOUND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 1 PG. 10.**
   - B. SEWER MAP NO. 4968-B "POPLAR STREET" FOUND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.
   - C. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 1215**.
6. PARCEL INFORMATION:
   195 POPLAR STREET
   A. ASSESSOR'S REFERENCE: MAP 26 BLOCK 1215, LOT 44
   B. PARCEL AREA: 5,138± SQ. FT., OR 0.118± AC.
   C. RECORD OWNER: PRO TECH HOME, LLC; VOL. 10347, PG. 272

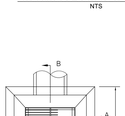
   199 POPLAR STREET
   A. ASSESSOR'S REFERENCE: MAP 26 BLOCK 1215, LOT 45
   B. PARCEL AREA: 5,156± SQ. FT., OR 0.118± AC.
   C. RECORD OWNER: PRO TECH HOME, LLC; VOL. 10347, PG. 278

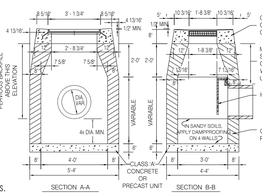
   205 POPLAR STREET
   A. ASSESSOR'S REFERENCE: MAP 26 BLOCK 1215, LOT 46
   B. PARCEL AREA: 5,176± SQ. FT., OR 0.119± AC.
   C. RECORD OWNER: PRO TECH HOME, LLC; VOL. 10347, PG. 275
7. PARCEL IS LOCATED WITHIN THE **R-C**" ZONING DISTRICT.
8. SEE FLOOD INSURANCE RATE MAP; FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **437** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0437** SUFFIX **G**, MAP NUMBER **09001C0437G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X** (**UNSHADED**).
9. BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.
10. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (**1-800-922-4455**).





TYPICAL TRENCH DRAIN





TYPE 'C-L' CATCH BASIN WITH HOOD
NTS

SANITARY SEWER NOTES

1. SADDLE TO BE SEALTITE TYPE 'E' MULTI-RANGE WYE SEWER SADDLE. (TO BE USED IF CONNECTION IS NOT FOUND)
2. 6" PVC SEWER CONNECTION TO BE INSTALLED ON CRUSHED STONE BASE. CRUSHED STONE TO EXTEND FROM 6" BELOW PIPE TO 3" ABOVE PIPE. FILTER FABRIC TO BE INSTALLED ON TOP SURFACE OF CRUSHED STONE.
3. SERVICE LATERALS TO CROSS SANITARY LINE. VERIFY ELEVATIONS AT CROSSINGS WITH TEST PITS.

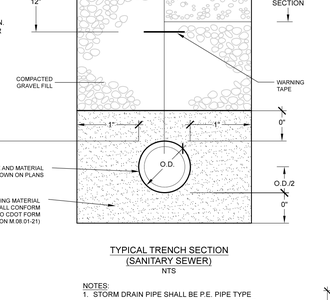
NOTE

1. PIPE TO BE BEDDED IN CRUSHED STONE.

SEALTITE TYPE -E- MULTI-RANGE WYE SEWER SADDLE
VARIOUS CONTOURS TO FIT 6.00" THROUGH 30.00" O.D. GRAVITY SEWER MAINS

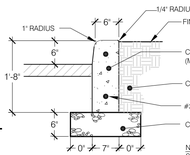
Models Available:

EH	4" & 6" Gasketed Bell to accept SDR-35
E40	4" & 6" Solvent Weld PVC Hub to accept SCH 40
ES	4" & 6" Spigot Can Connect Any Lateral with Proper FERNCO Coupling
EA	4" & 6" Spigot of SDR 35-PVC
EEX	4" & 6" Hub to accept Extra Heavy CI (Gasket Included)
ESV	4" & 6" Hub to accept Service Weight CI (Gasket Included)
E40	4" & 6" Gasketed Bell to accept SCH 40
E40A	4" & 6" Spigot - SCH 40 PVC O.D.
E90A	4" & 6" Spigot - C900 O.D.
E90F	4" & 6" Solvent Weld PVC Hub to accept C900

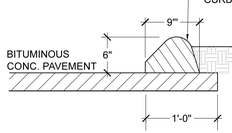


TYPICAL TRENCH SECTION
(SANITARY SEWER)
NTS

NOTES:
1. STORM DRAIN PIPE SHALL BE P.E. PIPE TYPE N-12 W/ WATER TIGHT COUPLINGS, BY ADS OR EQUAL.
2. SEWER GRAVITY MAIN SHALL BE PVC SH-40, 8 INCH DIAMETER.
3. SEWER FORCE MAIN SHALL BE C-900 PVC.



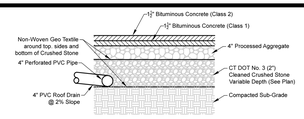
CONCRETE CURB
NTS



BITUMINOUS LIP CURB
SCALE: NTS

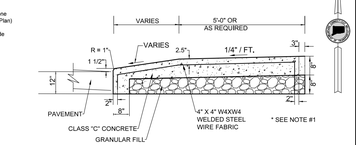
LEGEND

N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	WM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND.	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
U/G	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
Ø	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	x 8.65	EXISTING SPOT GRADE
RET.	RETAINING	100	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	(2)	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
LP	LIGHT POST	PVC	POLYVINYL CHLORIDE
	EXISTING CONIFER TREE		EXISTING DECIDUOUS TREE

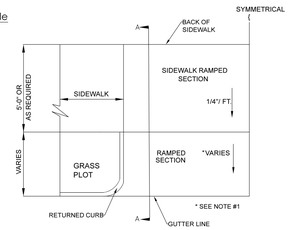


BITUMINOUS CONCRETE PAVEMENT AND CRUSHED STONE BED
NTS

NOTES
1. DRIVEWAY APRON RAMPED SECTION CROSS SLOPE SHALL BE DESIGNED TO MEET THE EXISTING ROADWAY EDGE OF PAVEMENT. MAXIMUM CROSS SLOPE SHOULD BE 1"/FT.

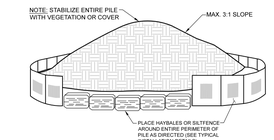


SECTION A



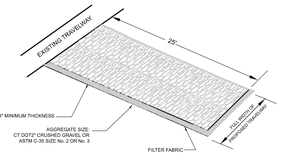
HALF PLAN

DRIVEWAY CROSSING WHERE SIDEWALK ADJACENT TO LAWN PANEL

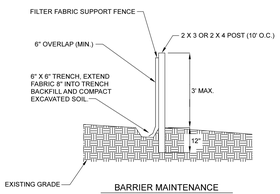


INSTALLTION NOTES:
1. AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE.
2. THE GROUND SURFACE SHALL SLOPE AWAY FROM THE STOCK PILE
3. IF NECESSARY, PLACE TARP OR IMPERVIOUS MATERIAL BENEATH STOCKPILE TO PREVENT MIXING OF SOIL
4. COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED.
5. MAX. SLOPE OF STOCKPILE SHALL BE 3:1 (H:V) UNLESS OTHERWISE APPROVED.

TEMPORARY SOIL STOCKPILE
NTS



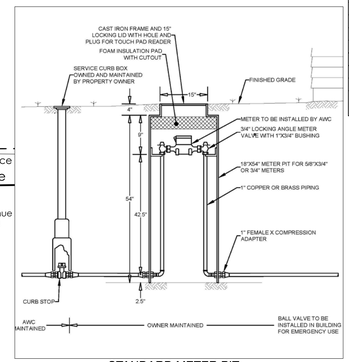
ANTI-TRACKING PAD
NTS



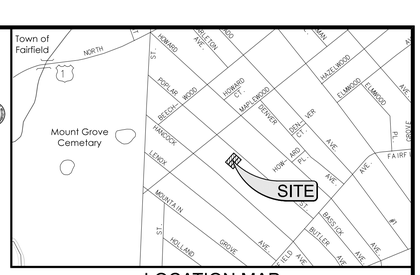
BARRIER MAINTENANCE

1. INSPECT FENCE AFTER EACH RAINFALL AND DAILY DURING PROLONGED RAINFALL. REPAIR WHERE REQUIRED.
2. REMOVE SEDIMENT DEPOSITS WHEN THEY REACH 1/8 OF THE BARRIER

FILTER FENCE DETAIL
(N.T.S.)



STANDARD METER PIT
NTS



LOCATION MAP
SCALE: 1" = 800'

R-C Zone Development Standards

	REQUIRED	EXISTING	PROPOSED
LOT			
LOT AREA, MINIMUM	9,000 SF	15,470± SF	15,470± SF
FRONTAGE, MINIMUM	60 FT	112.50 FT	112.50 FT
DEPTH, MINIMUM	N/A	N/A	N/A
LOT AREA / DWELLING UNIT, MINIMUM	2,700 SF	N/A	3,094± SF
PRINCIPLE BUILDING SETBACK			
FRONT LOT LINE, MINIMUM FROM	15 FT OR PREVAILING (10.7± FT PREVAILING)	VACANT LOT	15.0± FT
SIDE LOT LINE, MINIMUM FROM	10 FT (NOTE 1)	VACANT LOT	14.7± FT, 14.8± FT
ONE SIDE	36' HEIGHT X 0.4 = 14.4	VACANT LOT	14.7± FT
BOTH SIDES SHALL ADD UP TO	14.4 X 2 = 28.8 FT	VACANT LOT	29.5± FT
REAR LOT LINE	THE LESSER OF 20% OF LOT DEPTH OR 50 FT	VACANT LOT	72.0± FT
ACCESSORY STRUCTURE			
SETBACK MINIMUM FROM:			
FRONT LOT LINE	THE LESSER OF 50% OF LOT DEPTH OR 75 FT	VACANT LOT	N/A
SIDE LOT LINE	3 FT	VACANT LOT	N/A
REAR LOT LINE	3 FT	VACANT LOT	N/A
CORNER LOT	NOTE 2	VACANT LOT	N/A
FLOOR AREA MAXIMUM	NOTE 4	VACANT LOT	N/A
COVERAGE (NOTE 5)			
BUILDING COVERAGE, MAXIMUM	60%	VACANT LOT	30%
SITE COVERAGE, MAXIMUM	70%	0%	68%
LANDSCAPED AREA			
MINIMUM	30%	100%	32%
HEIGHT (NOTE 6 & 8)			
PRINCIPAL BUILDING, MAXIMUM	4 STORIES OR 45 FT MAX.	VACANT LOT	3 STORIES, 36± FT
ACCESSORY STRUCTURE, MAXIMUM			
FLAT OR ROUNDED ROOF	12 FT	VACANT LOT	N/A
TO RIDGE	15 FT	VACANT LOT	N/A

NOTES:
1. SIDE SETBACK SHALL BE EITHER TEN (10) FT MINIMUM OR FORTY (40) PERCENT OF THE PRINCIPAL BUILDING HEIGHT, WHICHEVER IS GREATER.
2. CORNER LOTS ARE REQUIRED TO PROVIDE TWO FRONT YARDS AND TWO SIDE YARDS.
3. R-A 5,000 SF LOT MINIMUM SHALL APPLY ONLY TO LAWFULLY CREATED LOTS THAT PRE-EXIST THE EFFECTIVE DATE OF THESE REGULATIONS. NO NEW SUCH LOTS SHALL BE CREATED.
4. THE MAXIMUM TOTAL SQUARE FOOTAGE OF ANY AND ALL ACCESSORY STRUCTURES ON A LOT SHALL NOT EXCEED FIFTY (50) PERCENT OF THE FIRST OR GROUND FLOOR OF THE PRINCIPLE STRUCTURES, WITH THE EXCEPTION OF IN-GROUND POOLS AND OTHER SIMILAR STRUCTURES AT GRADE LEVEL WHICH SHALL NOT BE COUNTED TOWARDS THE MAXIMUM SQUARE FOOTAGE OF ACCESSORY STRUCTURES. (PER SECTION 4.4-9.1(C)(D).
5. ON LOTS OF FIVE (5) ACRES OR MORE, BUILDING COVERAGE SHALL NOT EXCEED 60% AND SITE COVERAGE SHALL NOT EXCEED 70%.
6. FOR NURSING HOMES, CONVALESCENT HOMES, ASSISTED LIVING FACILITY OR CONGREGATE HOUSING, MAXIMUM ALLOWABLE HEIGHT OF A PRINCIPAL BUILDING SHALL BE 6-STORIES OR 60 FT AND THE LOT SIZE IS AT LEAST FIVE (5) ACRES. (DORMITORIES EXCLUDED.)
7. FOR PUBLIC INTER-DISTRICT MULTI-MAGNET SCHOOLS WITH 200,000 SF OR MORE OF FLOOR AREA IN THE R-A ZONE, SEE TABLE 3.A. ALL OTHER SCHOOLS, SEE TABLE 3.
8. IN FLOOD PLAIN AREAS WHERE THE LOWEST FLOOR OF THE BUILDING IS ELEVATED TO MEET THE FLOOD DAMAGE PREVENTION STANDARDS, THE MAXIMUM TOTAL BUILDING HEIGHT SHALL BE MEASURED FROM THE BASE FLOOD ELEVATION (BFE) + 1 ELEVATION PROVIDED THAT THE RESULTING HEIGHT OF THE BUILDING IS NOT MORE THAN FIVE (5) FEET GREATER THAN THE MAXIMUM BUILDING HEIGHT PERMITTED IN THE RC'C' ZONE.
9. MINIMUM SIDE SETBACK ALONG COMMERCIAL CORRIDORS IS 0'.
10. HALF STORY; AN ATTIC OR STORY IMMEDIATELY BELOW A SLOPING ROOF WITH NO MORE THAN 50% OF SAID SPACE HAVING A FLOOR TO CEILING HEIGHT GREATER THAN SEVEN FEET SIX INCHES (7'6").

N.A. - NOT APPLICABLE

Percolation Test Results

Time	Measurement to Water Surface	Drop in Water Level (0.01')	Rate (Min./Inch)
9:54 AM	0.55		
9:56 AM	0.60	0.05	3.33
9:59 AM	0.66	0.06	4.17
10:02 AM	0.72	0.06	4.17
10:05 AM	0.76	0.04	6.25
10:08 AM	0.79	0.03	8.33
10:11 AM	0.83	0.04	6.25
Overall Percolation Rate (Min/Inch)		4.17	
Minimum Percolation Rate (Min/Inch)		8.33	
Based on minimum percolation rate, a 15" tall system will drain in (Hours):		2.1	

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

SCALE: 1"=10'
FIELD FILE: poplar st survey.rw5
PROJECT NO. CD1483
DATE: July 27, 2021
CAD FILE: 195-205 Poplar Street ILS.dwg
SHEET 1 OF 1
REV:

STATE OF CONNECTICUT WASHINGTON CABEZAS No. 70210 LICENSED LAND SURVEYOR

STATE OF CONNECTICUT WASHINGTON CABEZAS No. 70210 LICENSED PROFESSIONAL ENGINEER

TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WASHINGTON CABEZAS, JR PEL 70210

0 10 20 30 50
SCALE

IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY

PREPARED FOR

PRO TECH HOME, LLC

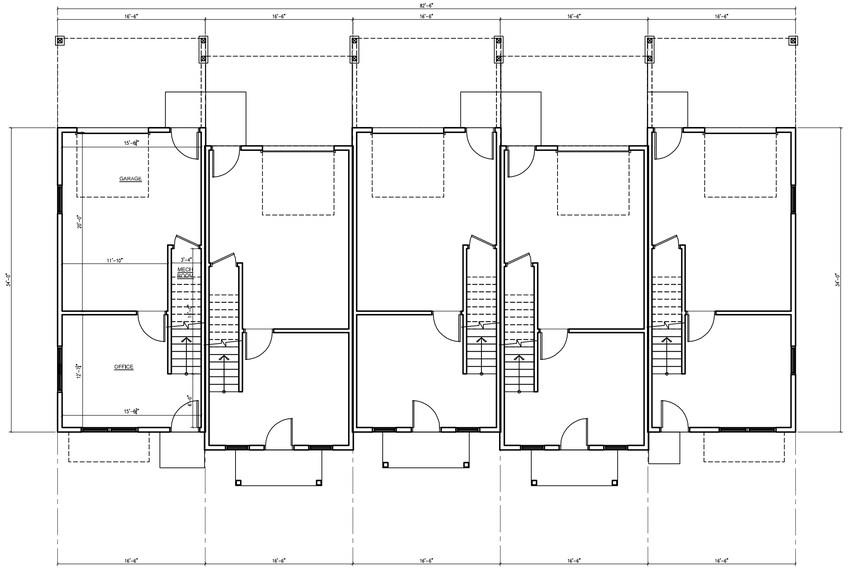
- PARCELS NOW KNOWN AS -

195, 199 & 205 POPLAR STREET
BRIDGEPORT, CONNECTICUT

ASSESSOR'S REFERENCE: MAP 26 | BLOCK 1215 | LOT 44, 45 & 46

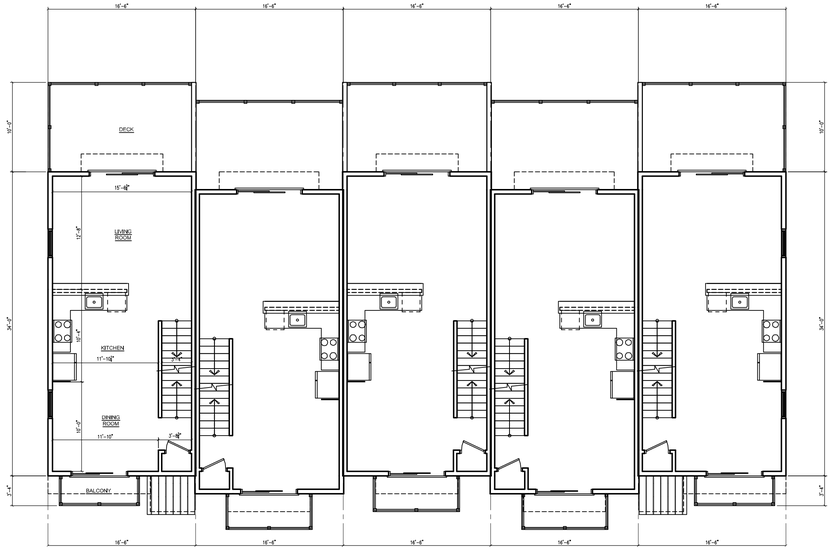
SHEET 1 OF 1

JULY 27, 2021 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1" = 10'



1ST FLOOR PLAN

SCALE 1/8" = 1'-0"

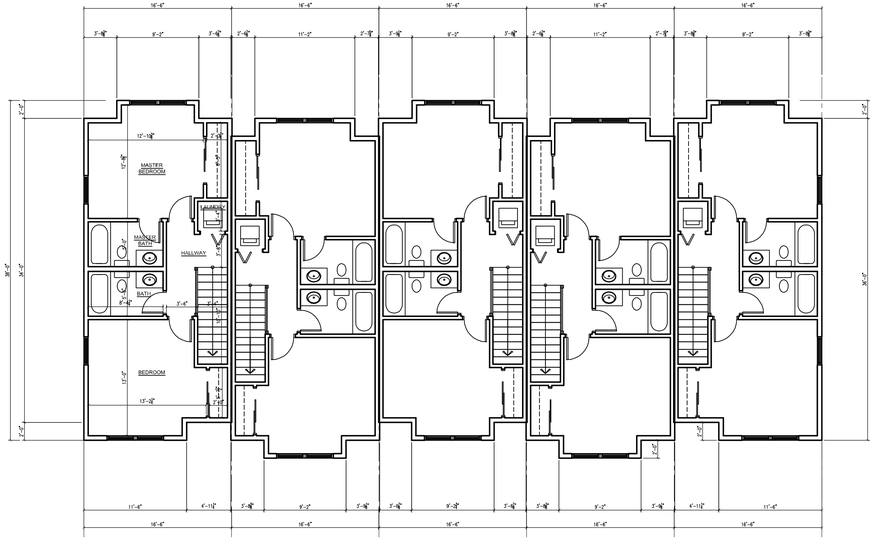


2ND FLOOR PLAN

SCALE 1/8" = 1'-0"

UNIT SQUARE FOOTAGE
2ND FLOOR AREA = 560 SF
3RD FLOOR AREA = 600 SF

TOTAL LIVING SPACE AREA = 1,160 SF



3RD FLOOR PLAN

SCALE 1/8" = 1'-0"

POPLAR STREET TOWNHOUSES

PREPARED FOR PROPERTY LOCATED AT
195-205 POPLAR STREET - BRIDGEPORT - CT

revisions	
1	05-25-2021
2	
3	
4	
5	
6	

FLOOR PLANS

date: 02-10-2021
scale: AS NOTED
project #: MCR-2021-117

drawn: M. REINHEIMER 203-449-6137
E-Mail: marcosprimrose@yahoo.com

A-1

NORTH SIDE (FRONT) ELEVATION

SCALE ¼" = 1'-0"

WEST SIDE ELEVATION

SCALE ¼" = 1'-0"

SOUTH SIDE (REAR) ELEVATION

SCALE ⅛" = 1'-0"

WEST SIDE ELEVATION

SCALE ⅛" = 1'-0"

revisions

1	05-25-2021
2	
3	
4	
5	
6	

POPLAR STREET TOWNHOUSES

PREPARED FOR PROPERTY LOCATED AT
195-205 POPLAR STREET - BRIDGEPORT - CT

ELEVATIONS

date: 02-10-2021

scale: AS NOTED

project #: MCR-2021-117

drawn:
M. REINHEIMER 203-449-6137
E-Mail: marcosprimrose@yahoo.com

A-2

BRIDGEPORT CITY OF
45 LYON TER
BRIDGEPORT, CT 06604

LOPEZ EDGAR E
001004 HANCOCK AVE
BRIDGEPORT, CT 06605

BRIDGEPORT CITY OF
45 LYON TER
BRIDGEPORT, CT 06604

CHOWDHURY RUKEYA
10 WOODLAWN DRIVE
TRUMBULL, CT 06611

LOPEZ JOSE L & ROSA M
000171 POPLAR ST
BRIDGEPORT, CT 06608

FRAZIER ARTISE L
000196 POPLAR ST
BRIDGEPORT, CT 06605

1018 HANCOCK AVENUE LLC
880 NORTH AVENUE SUITE 5
BRIDGEPORT, CT 06606

RAHMAN MAHBUBAR
8 UNION AVE
NORWALK, CT 06851

CADORE RAPHAEL T
211 POPLAR ST
BRIDGEPORT, CT 06605

LOPEZ EDGAR E
000994 HANCOCK AVE
BRIDGEPORT, CT 06605

GALINDO RAUL & MARIA
002888 FAIRFIELD AVE
BRIDGEPORT, CT 06605

BRIDGEPORT CITY OF
000045 LYON TER
BRIDGEPORT, CT 06604

LAROSE CARNES
000176 POPLAR ST
BRIDGEPORT, CT 06605

NATIONSBANC MORT CORP
PO BOX 2269
BREA, CA 92822-8882

LOPEZ EDGAR E
001004 HANCOCK AVE
BRIDGEPORT, CT 06605

CHOWDHURY MUMITH
10 WOODLAWN DRIVE
TRUMBULL, CT 06611

CHOWDHURY MUMITH
10 WOODLAWN DRIVE
TRUMBULL, CT 06611

TURADO HECTOR & JASMID TURADO
001010 HANCOCK AVE
BRIDGEPORT, CT 06605

SAMUELS ERROL
93 SPRING ST
WEST HAVEN, CT 06516

RAHMAN MAHAMUDUE ETAL
000217 POPLAR ST
BRIDGEPORT, CT 06605

CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** G & S Produce Direct, LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X .
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 288 Knowlton Street, Bridgeport, CT 06608
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 1650 Lot No. 2
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 100.34' X 156.00' X 99.84' X 137.23'
7. Existing Zone Classification: MU-LI
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: To convert an existing take-out 4,360 SF restaurant to a cafe with a liquor permit

Approval(s) requested: Adaptive Reuse under Special Permit and Site Plan Review

Signature: _____ **Date**: _____

Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____

Print Name: Chris Russo

Mailing Address: c/o Chris Russo, Russo and Rizio, LLC, 10 Sasco Hill Road, Fairifeld, CT 06824

Phone: 2032547579 Cell: 2035204603 Fax: _____

E-mail Address: chris@russorizio.com

$ _____ Fee received **Date**: _____ **Clerk**: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- ■ Completed & Signed Application Form
- ■ Completed Site / Landscape Plan
- ■ Written Statement of Development and Use
- ■ Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- ■ A-2 Site Survey
- ■ Drainage Plan
- ■ Property Owner's List
- ■ Building Floor Plans
- □ Building Elevations
- ■ Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

G & S Produce Direct, LLC		08/06/2021
Print Owner's Name	Owner's Signature	Date
Print Owner's Name	Owner's Signature	Date

Rev. 6/18/2016

Russo & Rizio, LLC
ATTORNEYS AT LAW

Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

August 6, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace, Room 210
Bridgeport, CT 06604

Re: Application for Special Permit and Site Plan Review – 288 Knowlton Street (the "Site")

Dear Mr. Buckley:

Please accept this letter on behalf of our client for an application for Special Permit and Site Plan Review for an adaptive reuse of the existing building to convert an existing take-out 4,360 SF restaurant to a cafe with a liquor permit for the sale of beer and wine only in the MU-LI Zone.

Narrative

Site is located at the corner of Knowlton Street and Barnum Avenue and contains Fourteen thousand five hundred and fifty-nine square feet (14,559 SF). The Site is in the MU-LI Zone, but it is located in a commercial corridor of Knowlton Street, which contains a variety of uses from residential to retail to light industrial. The Site has historically been used for wholesale trade in the northern half of the building and a food service use within the southern half as the former Bridgeport Lobster and Shellfish Co. location. Recently, the Petitioner has been operating the El Fogon take-out restaurant within this space.

The Petitioner proposes to convert the interior of the existing building to a café liquor use with a liquor permit for the sale of beer & wine only. The Site itself will remain unchanged and the interior of the café will be laid out in accordance with the submitted floor plan. Of all the industries affected by the COVID-19 pandemic, the restaurant industry has been impacted the hardest. Many restaurants have been forced to shutter, while other restaurants have experienced a steep reduction in patronage and even their ability to accommodate patronage within their restaurants. With social-distancing requirements, food service establishments can not seat the

10 Sasco Hill Road
Fairfield, CT 06824
Tel 203-255-9928
Fax 203-255-6618

same number of patrons as they did prior to the pandemic. These food service establishments have had to adapt to remain open and service the needs of their communities. The proposed minor adjustment to the existing and longstanding use at the Site will help to achieve these goals.

The Petitioner has worked closely with the Office of Planning and Economic Development (OPED) regarding off-street parking. OPED has indicated that they will submit a letter for the record that the Petitioner shall have access to the publicly owned parking lot located across the street from the Site. This parking area is more than sufficient to handle the number of parking spaces requested in the variance especially since the Petitioner is not actually increasing the floor area of the existing use.

The Petitioner requests the adaptive reuse of the landmark former Bridgeport Lobster and Shellfish Co., which was very popular within the community. The Site is eligible for adaptive re-use as it is located in the MU-LI Zone. The proposed use is a retail café with a liquor permit, which is permitted under Section 12-15 of the Regulations. The Site and existing building are a significant landmark within the neighborhood as the former Bridgeport Lobster and Shellfish Co.. The existing building was constructed in 1910 and its iconic roofline have been a staple at the corner of Knowlton Street and Barnum Avenue. As stated above, the Petition will not have a negative impact on the neighborhood. The Site is merely being converted from a restaurant to a cafe with a liquor permit. With regards to off-street parking, the proposed modification to the use will not have a dramatic impact on the use of the property as beer and wine will simply be offered as a complement to the food service already provided at the Site. Off-street parking has never been available at the Site and it was successfully operated as a food service establishment with no issue. Knowlton Street and Barnum Avenue contain on-street parking around the Site with little conflict from surrounding uses, particularly on Knowlton Street. In addition, the Petitioner has closely worked with OPED and OPED has agreed to allow the Petitioner to utilize off-street parking spaces located across the street from the Site that are controlled by the City of Bridgeport. This additional parking area will provide more than enough parking to satisfy the intent of the Regulations and service the use on the Site. The Petitioner is not proposing any changes to the exterior of the Site and, therefore, there is no possibility of a negative impact on the neighborhood. Obviously, there also will be no modification or destruction of signature architectural features.

The Petition satisfies the Special Permit standards of Sec. 14-4-4 of the Regulations. The proposed use is permitted in the MU-LI Zone. It will not impair the future development of the surrounding area as it is a slight conversion of an existing use to allow for the sale of beer and wine. There is no proposed increase in building footprint or floor area associated with the Petition. The Site is surrounded completely on three side by the MU-LI Zone and its use as a

food service establishment spans decades. Therefore, it is compatible with the surrounding neighborhood and it will not increase any impact to a residential neighborhood. Finally, the use will actually improve surrounding property values by offering additional option and services to nearby residents.

This Site and the existing El Fogon restaurant have a great history in providing food service to the surrounding community. The Petitioner simply asks for an adaptive reuse to offer more options to its patrons in these difficult times for restaurants. This adaptive reuse will allow this long-standing use to continue into the future while preserving an iconic building at an iconic intersection of the City. For the above-stated reasons, the Petitioner respectfully requests approval of this application for an adaptive reuse of the Site under Special Permit and Site Plan Review.

Thank you for your assistance in this matter.

Sincerely,

Ray Rizio

PROPERTIES WITHIN 100' OF 288 KNOWLTON STREET

PROPERTY ADDRESS	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
2 ARMSTRONG PL	RODRIQUEZ RUPERTO & ROSA A RODRIQUEZ	2 ARMSTRONG PL	BRIDGEPORT	CT	06608
4 ARMSTRONG PL	BEGOLLI ARGJENT	4 ARMSTRONG PL	BRIDGEPORT	CT	06608
5 ARMSTRONG PL	GUZMAN CARLOS G	5 ARMSTRONG PL	BRIDGEPORT	CT	06608
7 ARMSTRONG PL	**Cohen Yokov & Rochelle D**	7 ARMSTRONG PL	BRIDGEPORT	CT	06608
9 ARMSTRONG PL	DOLOR THERESA	51 MAGNOLIA AVE	NORWALK	CT	06850
11 ARMSTRONG PL	MHA WASHINGTON PARK LLC	63 STILLWATER AVE	STAMFORD	CT	06902
13 ARMSTRONG PL	RICHARDS ZARONIE ET AL	13 ARMSTRONG PL	BRIDGEPORT	CT	06608
305 KNOWLTON ST	THE KNOWLTON LLC	295 CENTER RD, #111	EASTON	CT	06612
10 ARMSTRONG PL	SMALLS BARBARA ANN	10 ARMSTRONG PL	BRIDGEPORT	CT	06608
12 ARMSTRONG PL	PRYCE JASON	12 ARMSTRONG PL	BRIDGEPORT	CT	06608
91 BARNUM AV #93	CLARKE NOEL H & REBECCA R CLARKE	91 BARNUM AVE	BRIDGEPORT	CT	06608
101 BARNUM AV #103	MHA WASHINGTON PARK LLC	63 STILLWATER AVE	STAMFORD	CT	06902
1 ARMSTRONG PL	MTGLQ INVESTORS LP C/O NEW REZ LLC	55 BEATTIE PL, STE 110	GREENVILLE	SC	29601
3 ARMSTRONG PL	BATISTA ROMERO & CARLOS	126 BURROUGHS ST	BRIDGEPORT	CT	06608
6 ARMSTRONG PL	BELTRE LUIS M	85-50 101 ST	RICHMOND HILL	NY	11418
8 ARMSTRONG PL	ALVAREZ ALFRED	75 CLIFTON ST	WEST HAVEN	CT	06516
288 KNOWLTON ST	TWS PROPERTIES LLC	94 MATILDA PL	FAIRFIELD	CT	06824
239 KNOWLTON ST	225 KNOWLTON STREET LLC	225 KNOWLTON ST	BRIDGEPORT	CT	06608
66 BARNUM AV #70	VAZ JOSE & LUIS	30 HUNTING ST	BRIDGEPORT	CT	06606
76 BARNUM AV #78	MCDUFFIE-DAVIS JACQUELYN & JOHN H MCDUFFIE	76 BARNUM AVE	BRIDGEPORT	CT	06608
84 BARNUM AV #86	ZOZOYAS LUCIA VAZQUEZ & RAUL QUITO	84-86 BARNUM AVE	BRIDGEPORT	CT	06608
94 BARNUM AV #96	GUTIERREZ BASILIO	28 HILLSIDE DRIVE	EASTON	CT	06612
102 BARNUM AV #104	CITY OF BRIDGEPORT REDEVELOPMENT AGENCY	45 LYON TER	BRIDGEPORT	CT	06604

NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND "THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996, IT IS A **ZONING LOCATION SURVEY** BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS **A-2** AND IS INTENDED FOR **MUNICIPAL COMPLIANCE** .

2. THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.

3. ALL IMPROVEMENTS SHOWN BASED ON FIELD EVIDENCE FOUND.

4. LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORS96). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON **SEPTEMBER 13, 2018** IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:
   STATION: ORANGE,
   NORTHING 658307.101, EASTING 930968.510,
   LATITUDE 41°16'03.13601", LONGITUDE 73°00'03.97333",
   ELLIPSOID 6.5067

5. REFERENCE IS MADE TO THE FOLLOWING MAPS:

   A. PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO. ATLAS PUBLISHERS 136-138 SO. FOURTH ST. PHILADELPHIA, **1929** AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.

   B. PLAT BOOK OF THE CITY OF BRIDGEPORT, CONNECTICUT, FROM OFFICIAL RECORDS, PRIVATE PLANS AND ACTUAL SURVEYS COMPILED UNDER THE DIRECTION OF AND PUBLISHED BY G.M. HOPKINS CO. CIVIL ENGINEERS, 136-138 SO. FOURTH ST. PHILADELPHIA, **1917** AND ON FILE IN THE CITY OF BRIDGEPORT ENGINEERING DEPARTMENT.

   C. MAP ENTITLED "MAP NO. 1.", ELIZABETH ARMSTRONG ESTATE, DATED JUNE 12, 1907, PREPARED BY SCOFIELD AND FORD SURVEYOR'S AND ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS **MAP VOL. 5 PG. 55.**

   D. CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING **BLOCK 1650.**

6. RECORD OWNER: TWS PROPERTIES LLC
   VOL. 9418 PG. 265

7. ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1650 | LOT 2

8. PARCEL AREA: 14,559± SQ. FT., OR 0.334± AC.

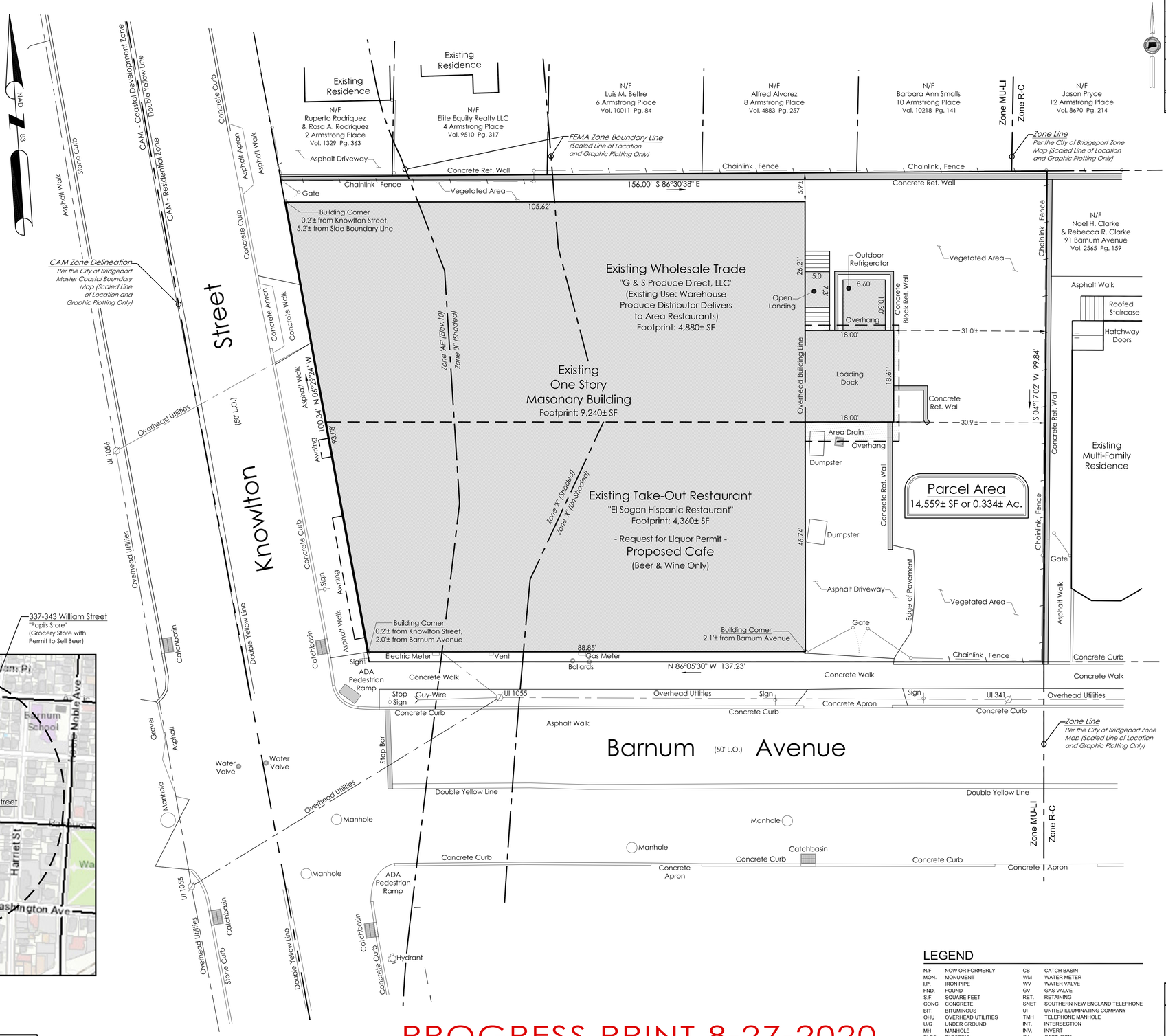
9. PARCEL IS LOCATED WITHIN THE '**MU-LI**' ZONING DISTRICT.

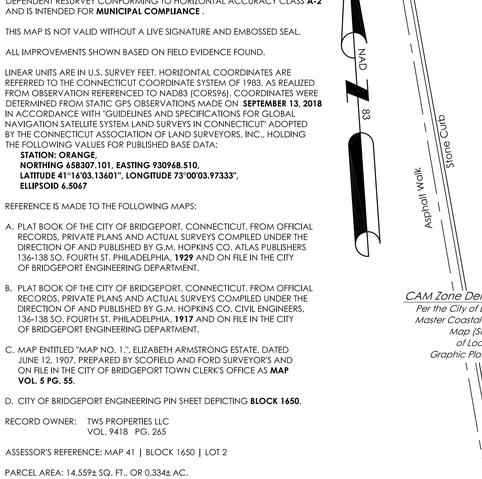
10. SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL **429** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0429** SUFFIX **G**, MAP NUMBER **09001C0429G**, MAP REVISED **JULY 8, 2013**, AND PANEL **433** OF 626, COMMUNITY **BRIDGEPORT**, CITY OF, NUMBER **090002** PANEL **0433** SUFFIX **G**, MAP NUMBER **09001C0433G**, MAP REVISED **JULY 8, 2013**. THE PARCEL IS LOCATED IN AREAS DESIGNATED AS **ZONE AE (ELEVATION 10), ZONE X (SHADED)** AND **ZONE X (UNSHADED)**.

11. THE SUBJECT PARCEL IS LOCATED WITHIN THE PEQUONNOCK RIVER COASTAL BOUNDARY - RESIDENTIAL ZONE. SEE COASTAL MASTER PLAN OF BRIDGEPORT, CONNECTICUT **SHEET 4 OF 4**, SCALE: 1"=500', DATED AUGUST 1982, LAST REVISED NOVEMBER 18, 1982 AND PREPARED BY KASPER ASSOCIATES, INC.

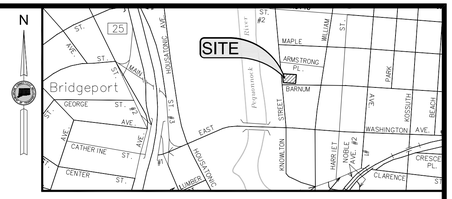
12. BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.

13. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC., (**1-800-922-4455**).





750' Radius Map
Scale: 1" = 300'



LOCATION MAP
SCALE: 1" = 800'

MU-LI Zone Development Standards

	REQUIRED	EXISTING
LOT		
LOT AREA, MINIMUM	N/A	14,559± SF
FRONTAGE, MINIMUM	35 FT	237.57 FT
FLOOR AREA RATIO, MAXIMUM	N/A	N/A
PRINCIPLE BUILDING SIZE, MAXIMUM	N/A	N/A
PRINCIPLE BUILDING SETBACK		
FRONT LOT LINE, MINIMUM FROM	N/A	N/A
STREET LOT LINE, MINIMUM FROM	0 FT (OR PREVAILING SETBACK)	0.2± FT (KNOWLTON) 2.0± FT (BARNUM)
MAXIMUM SETBACK	10 FT (OR PREVAILING SETBACK)	0.2± FT (KNOWLTON) 2.0± FT (BARNUM)
SIDE LOT LINE, MINIMUM FROM	N/A	N/A
REAR LOT LINE, MINIMUM FROM	N/A	N/A
NOT TO EXCEED	N/A	N/A
MINIMUM SETBACK FROM:		
OTHER HEAVY INDUSTRIAL USE	N/A	N/A
OTHER USE	N/A	N/A
LOT LINE ABUTTING AN 'R' ZONE		
SIDE	10 FT	30.9± FT
REAR	15 FT	CORNER LOT
LOT LINE ABUTTING AN 'MU' OR 'I' ZONE	N/A	N/A
CORNER LOT YARDS	NOTE 2	PROVIDED
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A
ACCESSORY STRUCTURE		
SETBACKS	NOTE 9	N/A
COVERAGE		
BUILDING COVERAGE, MAXIMUM	65%	65%
SITE COVERAGE, MAXIMUM	85%	75%
LANDSCAPED AREA		
MINIMUM	15%	25%
IN SETBACK ABUTTING AN 'R' ZONE, MIN.	10 FT DEEP AT L4 (4)	NONE
HEIGHT		
PRINCIPAL BUILDING		
MAXIMUM FOR PRINCIPAL BUILDING	35 FT (NOTE 12)	22± FT
PROJECTIONS AND FEATURES	NOTE 5	30± FT (Chimney)
ACCESSORY STRUCTURE, MAXIMUM		
HEIGHT, MAXIMUM	NOTE 7	N/A
FLOOR AREA, GROSS MAXIMUM	NOTE 8	N/A
PUBLIC ACCESS EASEMENT	NOTE 10	N/A

NOTES:

1. NO MAXIMUM BUILDING SETBACK FROM A STREET LOT LINE SHALL BE REQUIRED FOR ANY PARCEL OF LAND BOUNDED ON THREE OR MORE SIDES BY CITY STREETS AND OWNED BY A CITY GOVERNMENT AGENCY.
2. ON A CORNER LOT IN ANY ZONE , THERE SHALL BE TWO FRONT YARDS AND TWO SIDE YARDS.
3. THE MINIMUM SETBACK FROM MEAN HIGH WATER SHALL BE THIRTY (30) FEET EXCEPT FOR BUILDINGS SUPPORTING WATER-DEPENDENT USES THAT MAY REQUIRE LOCATION IMMEDIATELY ADJACENT TO THE WATER.
4. SEE SECTION 11-3, LANDSCAPING AND SCREENING - THE MINIMUM AREAS REQUIRED TO BE LANDSCAPED ARE LISTED IN TABLE 3, ZONE DEVELOPMENT STANDARDS FOR RESIDENTIAL ZONES AND TABLE 4-A AND 4-B, ZONE DEVELOPMENT STANDARDS FOR NON-RESIDENTIAL ZONES. ANY REQUIRED LANDSCAPING AS FOR REQUIRED SETBACKS OR PARKING LOTS, MAY BE APPLIED TOWARD THE MINIMUM LANDSCAPED AREA PERCENTAGE REQUIREMENT. REQUIRED LANDSCAPING AND SCREENING MUST MEET THE LEVELS REFERENCED IN EACH APPLICABLE ZONE DEVELOPMENT STANDARDS TABLE AND APPLICABLE STANDARDS SET FORTH ELSEWHERE IN THESE REGULATIONS. LANDSCAPING AND SCREENING STANDARDS LEVELS ARE SET FORTH IN SECTION 11-3-1.
5. SEE SECTION 4-4, HEIGHT - MAXIMUM HEIGHTS FOR STRUCTURES ARE LISTED IN THE ZONE DEVELOPMENT STANDARDS TABLES. EXCEPTIONS TO THE MAXIMUM HEIGHTS ARE SET FORTH IN SECTION 4-4-1 (PROJECTIONS ALLOWED) AND 4-4-2 (ARCHITECTURAL FEATURES).
6. BUILDINGS PROPOSED FOR MORE THAN THREE (3) STORIES SHALL REQUIRE A SPECIAL PERMIT.
7. ANY ACCESSORY STRUCTURE WITH A FLAT OR ROUNDED ROOF SHALL BE NO HIGHER AT ITS HIGHEST POINT THEN TWELVE (12) FEET AND ANY ACCESSORY STRUCTURE WITH A PITCHED ROOF SHALL BE NO HIGHER THAN FIFTEEN (15) FEET, MEASURED FROM THE AVERAGE LEVEL OF THE GROUND ALONG ALL WALLS OF THE STRUCTURE. IN EH AND EL ZONES, THE MAXIMUM HEIGHT FOR ANY ACCESSORY STRUCTURE SHALL NOT EXCEED (½) OF THE MAXIMUM HEIGHT FOR PRINCIPAL STRUCTURES IN THAT ZONE.
8. SEE SECTION 4-9, ACCESSORY STRUCTURES - CUSTOMARY ACCESSORY STRUCTURES ARE ALLOWED IN ALL ZONES, AS SPECIFICALLY REGULATED IN THAT ZONE UNDER THE PROVISIONS OF A. LOCATION; B. COMPLIANCE; C. SITE; AND D. PROHIBITED USE.
9. SETBACKS FOR ACCESSORY STRUCTURES SHALL BE THE SAME AS SETBACKS FOR PRINCIPAL STRUCTURES.
10. A PUBLIC ACCESS EASEMENT MAY BE REQUIRED ON ANY NON-RESIDENTIAL PROPERTY ABUTTING A WATERWAY. IN SUCH A CASE, A DEDICATED OPEN SPACE AREA SHALL BE ESTABLISHED FROM THE TOP OF THE EMBANKMENT AND FOR TWENTY (20) FEET INLAND.
11. PARKING GARAGES SHALL BE EXEMPT FROM THE FLOOR AREA RATIO (FAR) REQUIREMENT AND SHALL NOT BE INCLUDED IN THE CALCULATION OF THE GROSS FLOOR AREA IN AN MU-EM ZONE.
12. MAXIMUM HEIGHT FOR A PASSENGER TERMINAL SHALL BE 60 FT.

N/A - NOT APPLICABLE N/C - NO CHANGE

LEGEND

N/F	NOW OR FORMERLY	CB	CATCH BASIN
MON.	MONUMENT	WM	WATER METER
I.P.	IRON PIPE	WV	WATER VALVE
FND.	FOUND	GV	GAS VALVE
S.F.	SQUARE FEET	RET.	RETAINING
CONC.	CONCRETE	SNET	SOUTHERN NEW ENGLAND TELEPHONE
BIT.	BITUMINOUS	UI	UNITED ILLUMINATING COMPANY
OHU	OVERHEAD UTILITIES	TMH	TELEPHONE MANHOLE
U/G	UNDER GROUND	INT.	INTERSECTION
MH	MANHOLE	INV.	INVERT
ELEC.	ELECTRIC	C.I.	CAST IRON
⌀	UTILITY POLE	V.C.	VITRIFIED CLAY
DYL	DOUBLE YELLOW LINE	RCP	REINFORCED CONCRETE PIPE
SWL	SINGLE WHITE LINE	RD	ROOF DRAIN
BWL	BROKEN WHITE LINE	MW	MONITOR WELL
EOP	EDGE OF PAVEMENT	x 8.65	EXISTING SPOT GRADE
RET.	RETAINING	--100--	EXISTING CONTOUR ELEVATION
CLF	CHAIN LINK FENCE	L.O.	LAYOUT OF STREET WIDTH
FFE	FINISHED FLOOR ELEVATION	②	PARKING SPACES
C.O.	CLEANOUT	HDPE	HIGH DENSITY POLYETHYLENE
L.P.	LIGHT POST	PVC	POLYVINYL CHLORIDE
	EXISTING CONIFER TREE		EXISTING DECIDUOUS TREE

PROGRESS PRINT 8-27-2020

0 10 20 30 50
SCALE

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

SCALE:	1"=10'
FIELD FILE:	288 knowlton st.rw5
PROJECT NO.	CD1439
DATE:	August 28, 2020
FILE:	288 Knowlton St_ZLS.dwg
SHEET	1 OF 1
REV:	

STATE OF CONNECTICUT · WASHINGTON CABEZAS · No. 70210 · LICENSED LAND SURVEYOR

STATE OF CONNECTICUT · WASHINGTON CABEZAS · No. 70210 · LICENSED PROFESSIONAL ENGINEER

TO THE BEST OF MY KNOWLEDGE & BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

WASHINGTON CABEZAS, JR PEL 70210

ZONING LOCATION SURVEY

- PREPARED FOR -

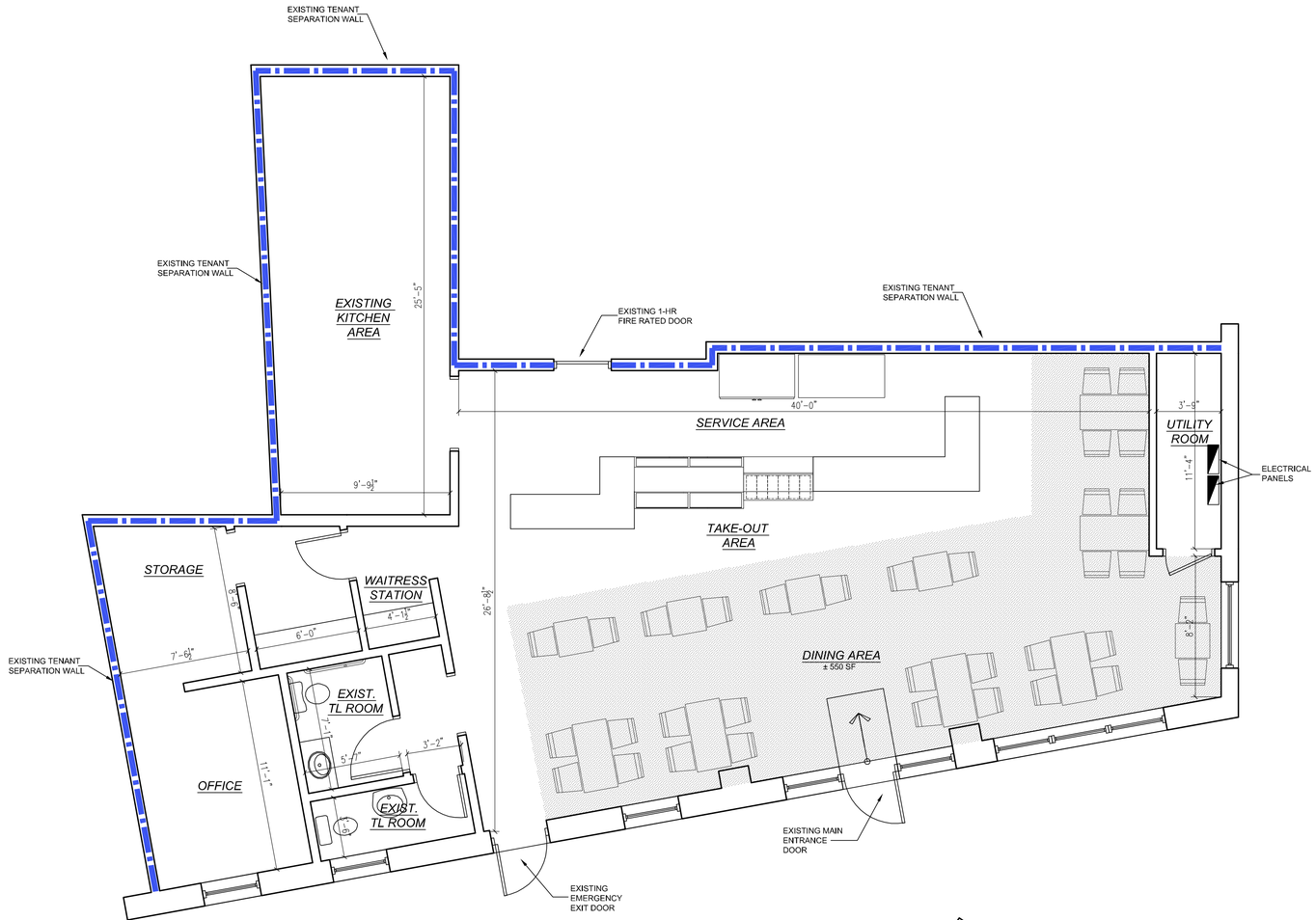
EL SOGON HISPANIC RESTAURANT

288 KNOWLTON STREET
BRIDGEPORT, CONNECTICUT

ASSESSOR'S REFERENCE: MAP 41 | BLOCK 1650 | LOT 2

SHEET 1 OF 1

AUGUST 28, 2020 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1"=10'



EXISTING FLOOR PLAN

SCALE ¼" = 1'-0" *GROSS FLOOR AREA = ±1,880 SF*

EXISTING PARTITIONS TO REMAIN

1-HR TENANT SEPARATION WALL

PARTIAL STREET VIEW "A"

PARTIAL STREET VIEW "B"

REVIEW ONLY

PRIMROSE COMPANIES

revisions

1	2	3	4	5	6

GUEDES ASSOCIATES, INC.
Designers , Architects & Project Managers
1425 Noble Avenue, Bpt., CT. 06610
Tel. 203-367-5180 Fax. 203-367-4961

EL FOGON HISPANO RESTAURANT
288 KNOWLTON STREET
BRIDGEPORT CT

date:	09-21-2020
drawn:	M.R.
scale:	AS NOTED
project #:	2020-113

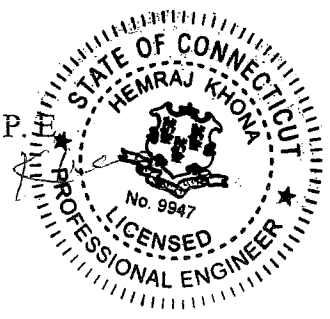
EXISTING FLOOR PLAN AND STREET VIEWS

A-1

H.K.ASSOCIATES
PROFESSIONAL ENGINEER
20 TOPAZ LANE
TRUMBULL, CONNECTICUT 06611
PHONE/FAX 203-459-2471
JULY 12 , 2021

COASTAL AREA MANAGEMENT REPORT
440 BUNNELL STREET
BRIDGEPORT, CONNECTICUT

HEM KHONA, P.E.



other areas. The proposed building is located in Zone subject to minimal flooding. The existing first floor elevation is substantially higher at elevation 24.0. The habited area will be above 100-year flood elevation. This parcel is located close to the coastal water in the intertidal wetlands, but away from all other coastal resources such as Beaches and Dunes, Modified Bluffs & Escarpments and Coastal Bluffs & Escarpments, Developed Shorefronts, Rocky Shorefronts etc. There will not be any impacts on these resources as minor grade changes are proposed. The erosion control measures must be used to protect from silt pollution to the coastal water.

This parcel is not located between high tide and low tide but adjoining to existing marina. Construction of the drainage system must be done carefully so not impact the function of high tide. The silt fence or hay bales must be placed carefully and maintained firmly during construction period so not to be impacted by silt or runoff.

The existing elevations are shown on the enclosed map.

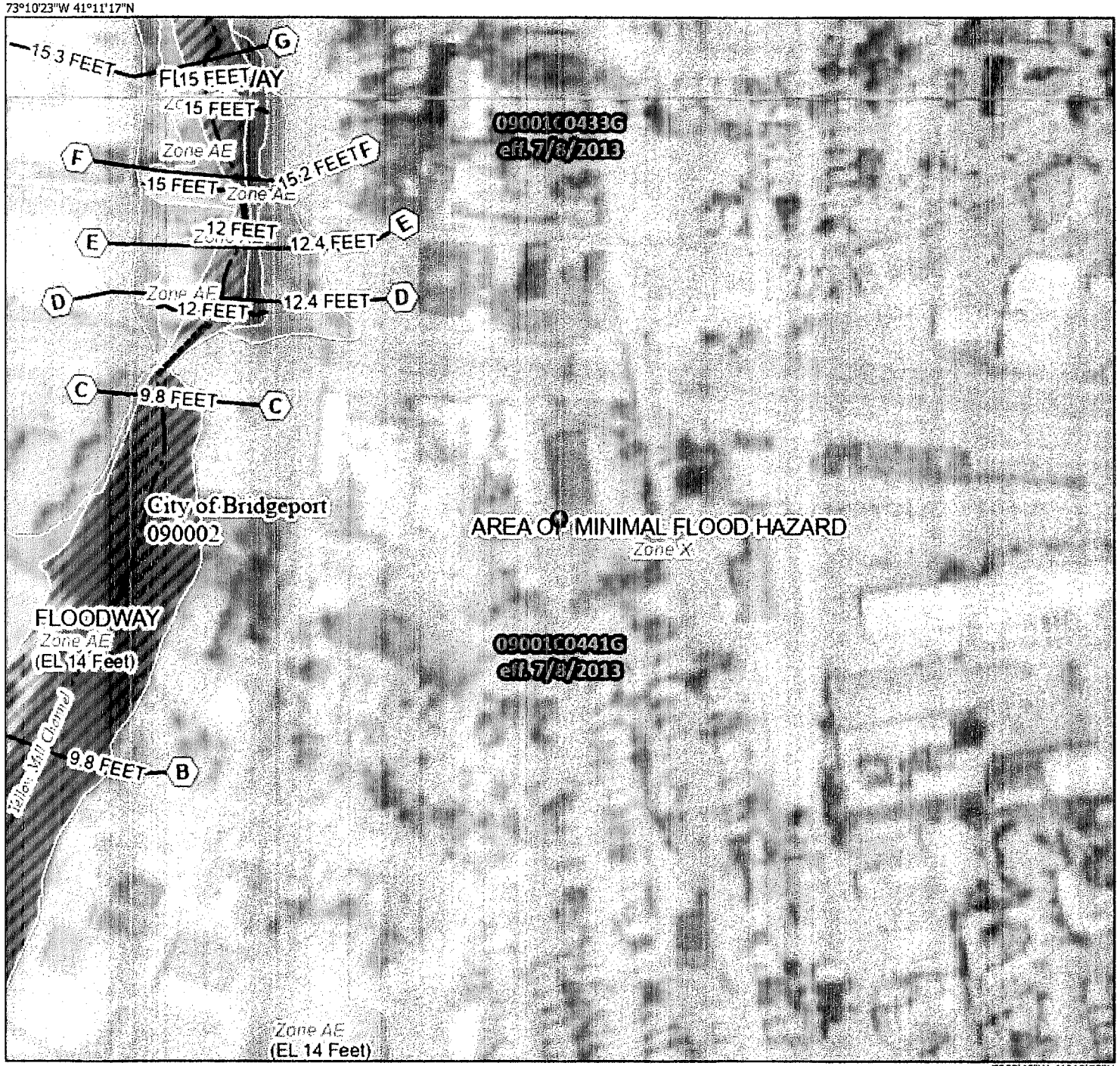
Based on the above observations, this entire proposal will not have any significant impact on coastal resources as long as erosion and sedimentation controls are used and maintained during construction period.

The sewer line and water line do exist on the street, thus no coastal impact of septic, water and sewer extensions are not necessary to be discussed. Storm water management for this parcel is required due to close proximity of Long Island Sound. The paved surface impact from parking and storage will be very little on surrounding areas.

National Flood Hazard Layer FIRMette

FEMA

73°10'23"W 41°11'17"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

73°9'46"W 41°10'50"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS
- Without Base Flood Elevation (BFE) *Zone A, V, A99*
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD
- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

OTHER AREAS
- NO SCREEN Area of Minimal Flood Hazard *Zone X*
- Effective LOMRs
- Area of Undetermined Flood Hazard *Zone*

GENERAL STRUCTURES
- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES
- 20.2 Cross Sections with 1% Annual Chance
- 17.5 Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS
- Digital Data Available
- No Digital Data Available
- Unmapped

N

The pin displayed on the map is an approximate point selected by the user and does not represer an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 7/13/2021 at 9:16 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

H.K.ASSOCIATES

PROFESSIONAL ENGINEER

20 TOPAZ LANE

TRUMBULL, CONNECTICUT 06611

PHONE/FAX 203-459-2471

JULY 15, 2021

DRAINAGE COMPUTATIONS

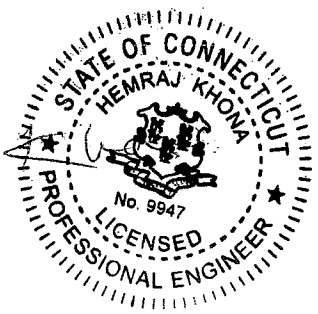
SCS METHOD 25 YEAR FREQUENCY

ZERO RUNOFF

440 BUNNELL STREET

BRIDGEPORT, CONNECTICUT

HEM KHONA, P.E.



STORM WATER MANAGEMENT NARRATIVE

The owner of 440 Bunnell Street proposing to construct new manufacturing building and parking area as shown on the attached plan. The proposed impervious area of proposed building and parking area will be 23,013 square feet or 0.53 acres as shown on the plan. The total impervious area will be increased 23,013 square feet. The storm management system is design as per City of Bridgeport Regulations. The percolation tests were performed in accordance of Connecticut Health Code on July 12, 2021 in the morning. The results are listed on the plan. The computations by hydrograph software were performed and attached with this report. All paved and impervious surfaces classified CN # 98. Detail computer computations are attached by Hydrograph software. The parcel is divided into one runoff basin. The existing parcel slopes east to west uniformly. The increased runoff will be controlled by concrete chambers shown on the plan. The proposed over flow pipe discharged to westerly direction at uniform rate to City of Bridgeport existing pipe. The maintenance of these chambers and yard drain will be responsibility of home owner and they should be inspected every year and cleaned. The increased impervious area of proposed construction at 440 Bunnell Street is very moderate and slope of subject parcel is moderate. To protect downhill neighboring properties, it is necessary to apply some kind of runoff retention on the parcel. The plan is attached to address this situation.

The maintenance of this system is very important for proper future function.

SCS METHOD

CN----------EXISTING CONDTION-------69

CN--------PROPOSED CONDITION--------98

CONSTRUCTION OF NEW BUILDING AND PARKING AREA SHOWN ON THE PLAN, THE IMPERVIOUS AREA = 23,013 SQUARE FEET =0.53 AC.

SEE ATTACHED COPUTER PRINT OUT FOR PRE AND POST RUNOFF OF 25 YEAR FREQUENCY

EXISTING CONDITION RUNOFF = 1196 CU.FT.

PROPOSED CONDITION RUNOFF = 2562CU.FT.

ROUTING THE RUNOFF INCREAMENT THROUGH 4' X 4' X 8 FT. LONG REQUIRED 23 UNITS SHOWN ON THE PLAN. COMPUTED RUNOFF STORAGE PROVIDED 5521 CU.FT.

WATER QUALITY VOLUME

1" OF RUNOFF FROM PROPOSED IMPERVIOUS AREA REQUIRED =23013 x1/12 =1917.75 CU.FT.

PROVIDED VOLUME 5521 CU.FT.

Hydrograph Return Period Recap

Hydraflow Hydrographs by Intelisolve v9.02

Hyd. No.	Hydrograph type (origin)	Inflow Hyd(s)	Peak Outflow (cfs)								Hydrograph description
			1-Yr	2-Yr	3-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	
1	SCS Runoff	------	------	0.361	------	0.680	0.931	1.196	1.632	1.796	440 BUNNELL ST--SCS25 YR--PRE
2	SCS Runoff	------	------	1.471	------	1.927	2.244	2.562	3.060	3.241	440 BUNNELL ST.-SCS25YR--POS
3	Reservoir	2	------	0.000	------	0.301	0.413	0.508	0.633	0.673	STORAGE

Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.02

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	1.196	3	729	4,772	---	-----	-----	440 BUNNELL ST--SCS25 YR--PRE
2	SCS Runoff	2.562	3	726	9,852	---	-----	-----	440 BUNNELL ST.-SCS25YR--POS
3	Reservoir	0.508	3	747	2,086	2	19.13	3,424	STORAGE

Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.02

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	0.931	3	729	3,766	----	------	------	440 BUNNELL ST--SCS25 YR--PRE
2	SCS Runoff	2.244	3	726	8,591	----	------	------	440 BUNNELL ST.-SCS25YR--POS
3	Reservoir	0.413	3	747	1,406	2	18.64	2,988	STORAGE

Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.02

Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	0.680	3	729	2,820	---	-----	-----	440 BUNNELL ST--SCS25 YR--PRE
2	SCS Runoff	1.927	3	726	7,331	---	-----	-----	440 BUNNELL ST.-SCS25YR--POS
3	Reservoir	0.301	3	747	753	2	18.19	2,592	STORAGE

Hydrograph Summary Report

Hydraflow Hydrographs by Intelisolve v9.02

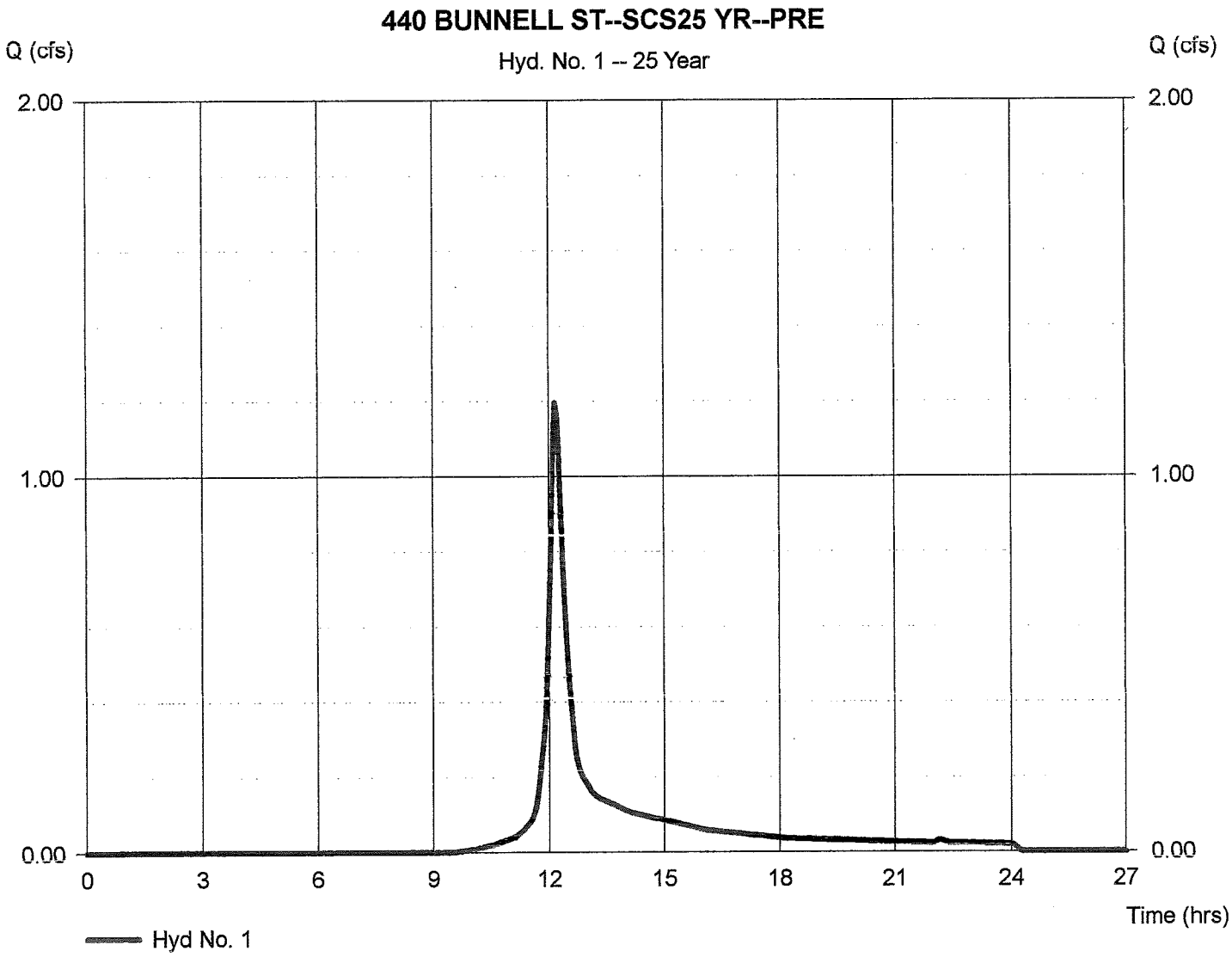
Hyd. No.	Hydrograph type (origin)	Peak flow (cfs)	Time interval (min)	Time to peak (min)	Hyd. volume (cuft)	Inflow hyd(s)	Maximum elevation (ft)	Total strge used (cuft)	Hydrograph description
1	SCS Runoff	0.361	3	732	1,609	---	-----	-----	440 BUNNELL ST--SCS25 YR--PRE
2	SCS Runoff	1.471	3	726	5,532	---	-----	-----	440 BUNNELL ST.-SCS25YR--POS
3	Reservoir	0.000	3	759	0	2	17.50	2,065	STORAGE

Hydrograph Report

Hyd. No. 1

440 BUNNELL ST--SCS25 YR--PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 1.196 cfs
Storm frequency	= 25 yrs	Time to peak	= 12.15 hrs
Time interval	= 3 min	Hyd. volume	= 4,772 cuft
Drainage area	= 0.530 ac	Curve number	= 69
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 10.00 min
Total precip.	= 5.70 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484



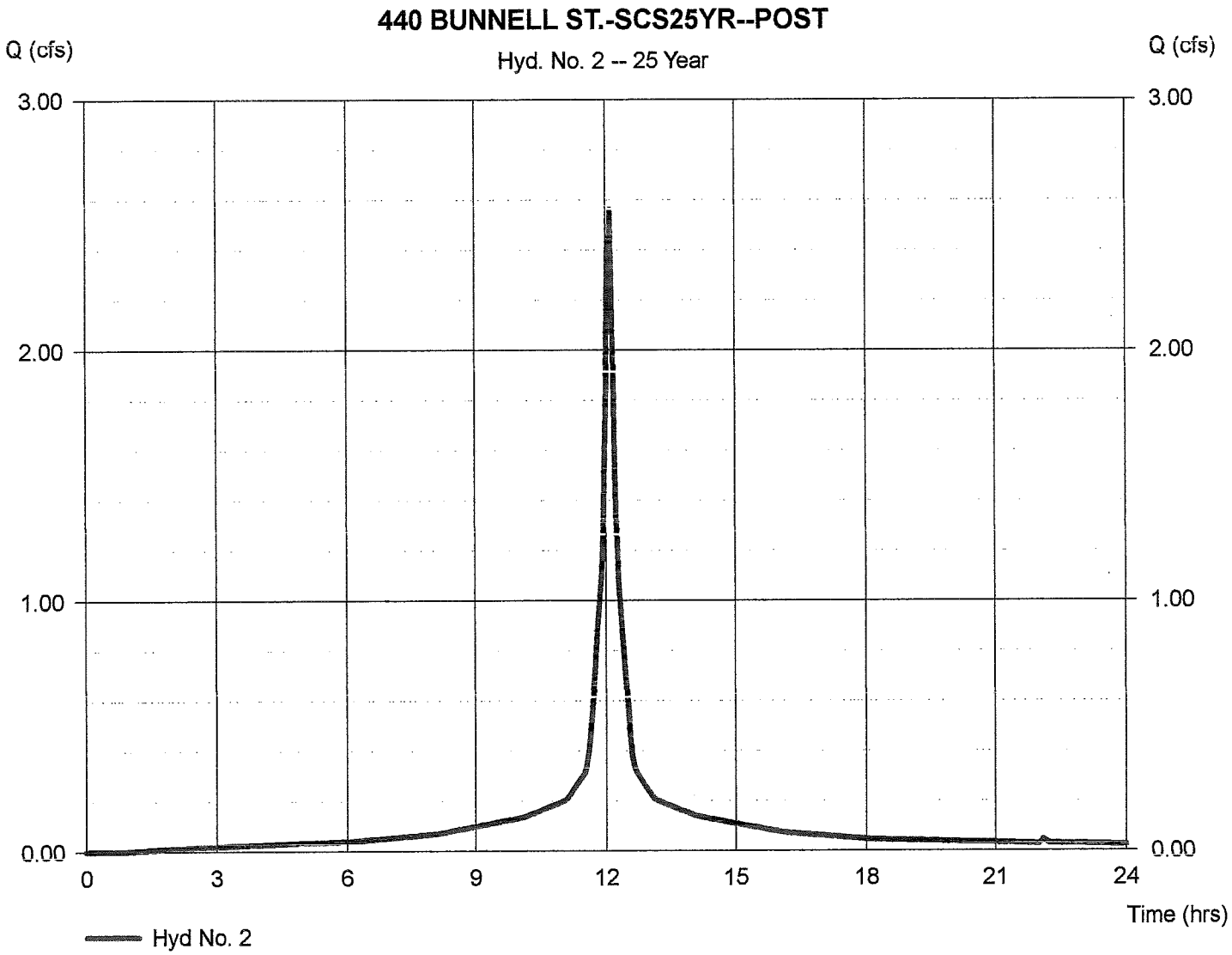
Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.02 — Thursday, Jul 15, 2021

Hyd. No. 2

440 BUNNELL ST.-SCS25YR--POST

Hydrograph type	= SCS Runoff	Peak discharge	= 2.562 cfs
Storm frequency	= 25 yrs	Time to peak	= 12.10 hrs
Time interval	= 3 min	Hyd. volume	= 9,852 cuft
Drainage area	= 0.530 ac	Curve number	= 98
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 5.00 min
Total precip.	= 5.70 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484



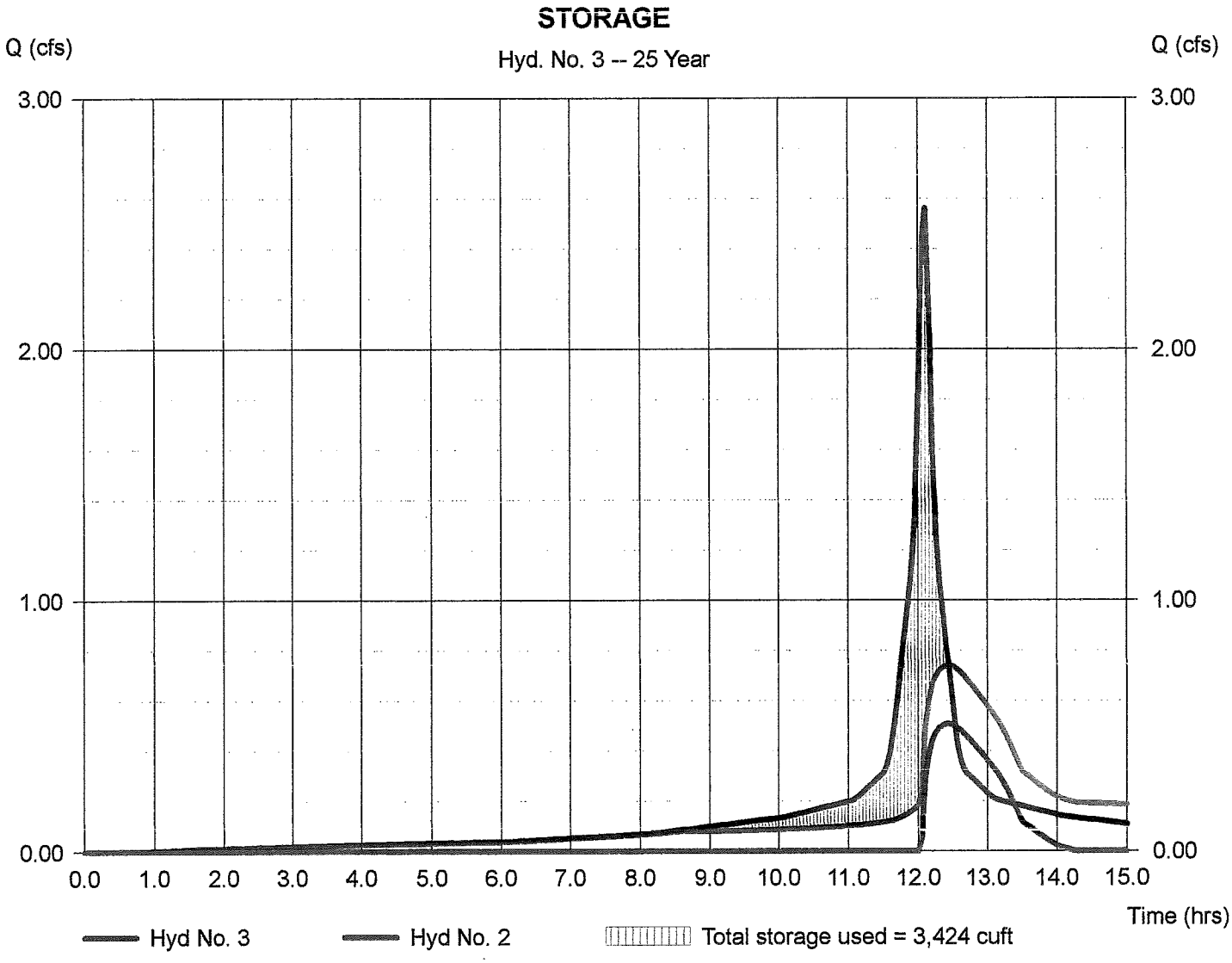
Hydrograph Report

Hyd. No. 3

STORAGE

Hydrograph type	= Reservoir	Peak discharge	= 0.508 cfs
Storm frequency	= 25 yrs	Time to peak	= 12.45 hrs
Time interval	= 3 min	Hyd. volume	= 2,086 cuft
Inflow hyd. No.	= 2 - 440 BUNNELL ST.-SCS25YR--POST	Max. Elevation	= 19.13 ft
Reservoir name	= STORAGE	Max. Storage	= 3,424 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



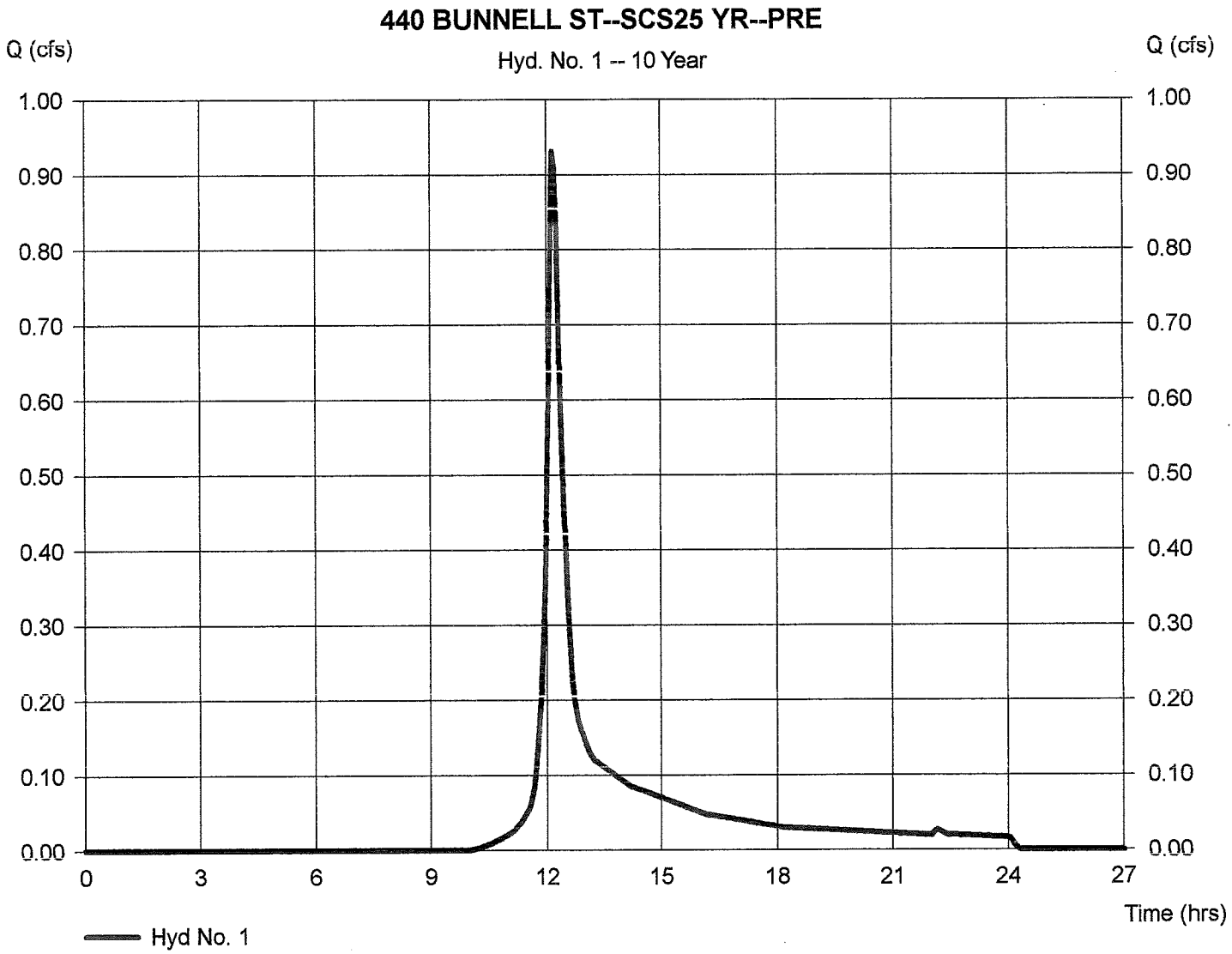
Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.02 — Thursday, Jul 15, 2021

Hyd. No. 1

440 BUNNELL ST--SCS25 YR--PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 0.931 cfs
Storm frequency	= 10 yrs	Time to peak	= 12.15 hrs
Time interval	= 3 min	Hyd. volume	= 3,766 cuft
Drainage area	= 0.530 ac	Curve number	= 69
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 10.00 min
Total precip.	= 5.00 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

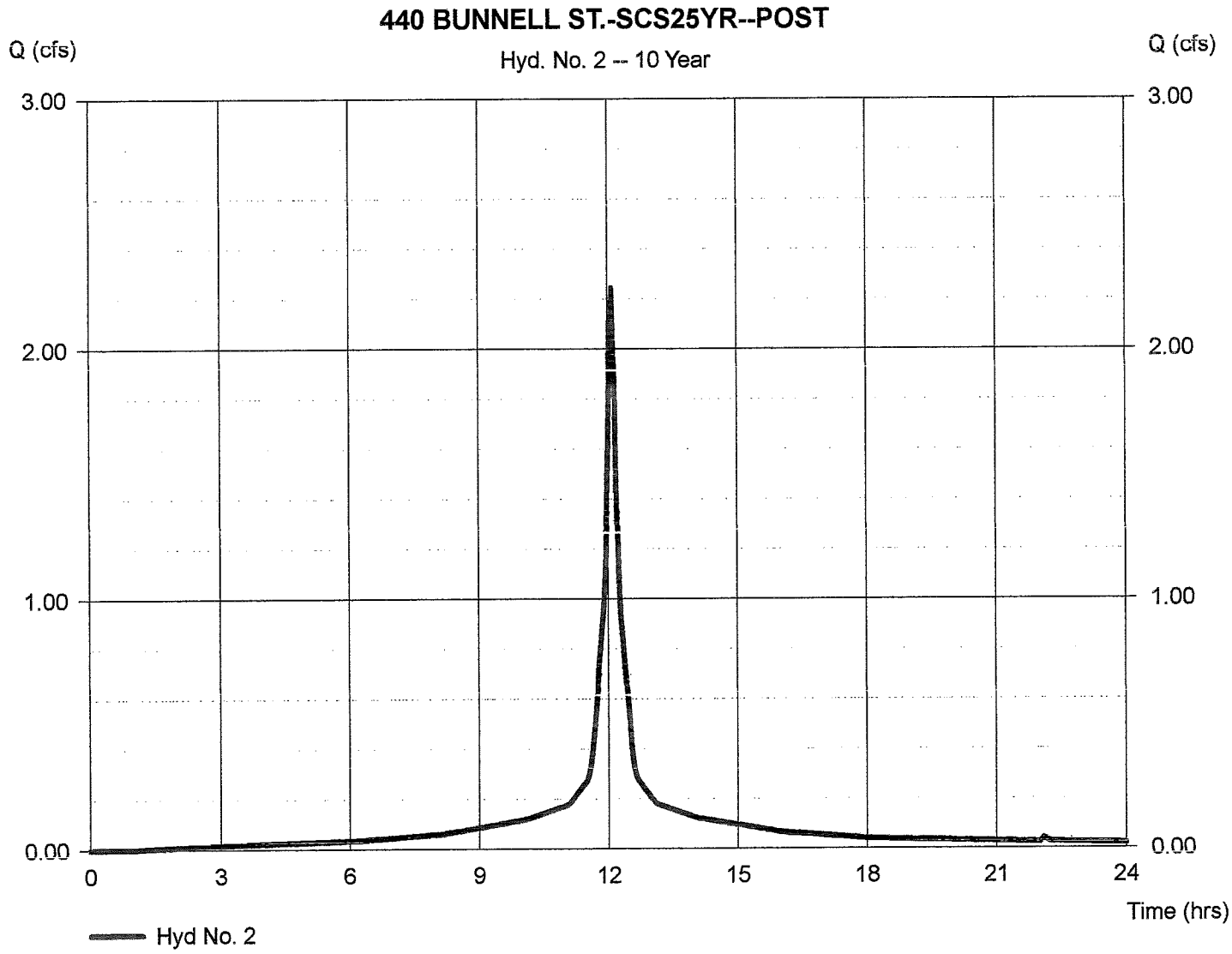


Hydrograph Report

Hyd. No. 2

440 BUNNELL ST.-SCS25YR--POST

Hydrograph type	= SCS Runoff	Peak discharge	= 2.244 cfs
Storm frequency	= 10 yrs	Time to peak	= 12.10 hrs
Time interval	= 3 min	Hyd. volume	= 8,591 cuft
Drainage area	= 0.530 ac	Curve number	= 98
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 5.00 min
Total precip.	= 5.00 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484



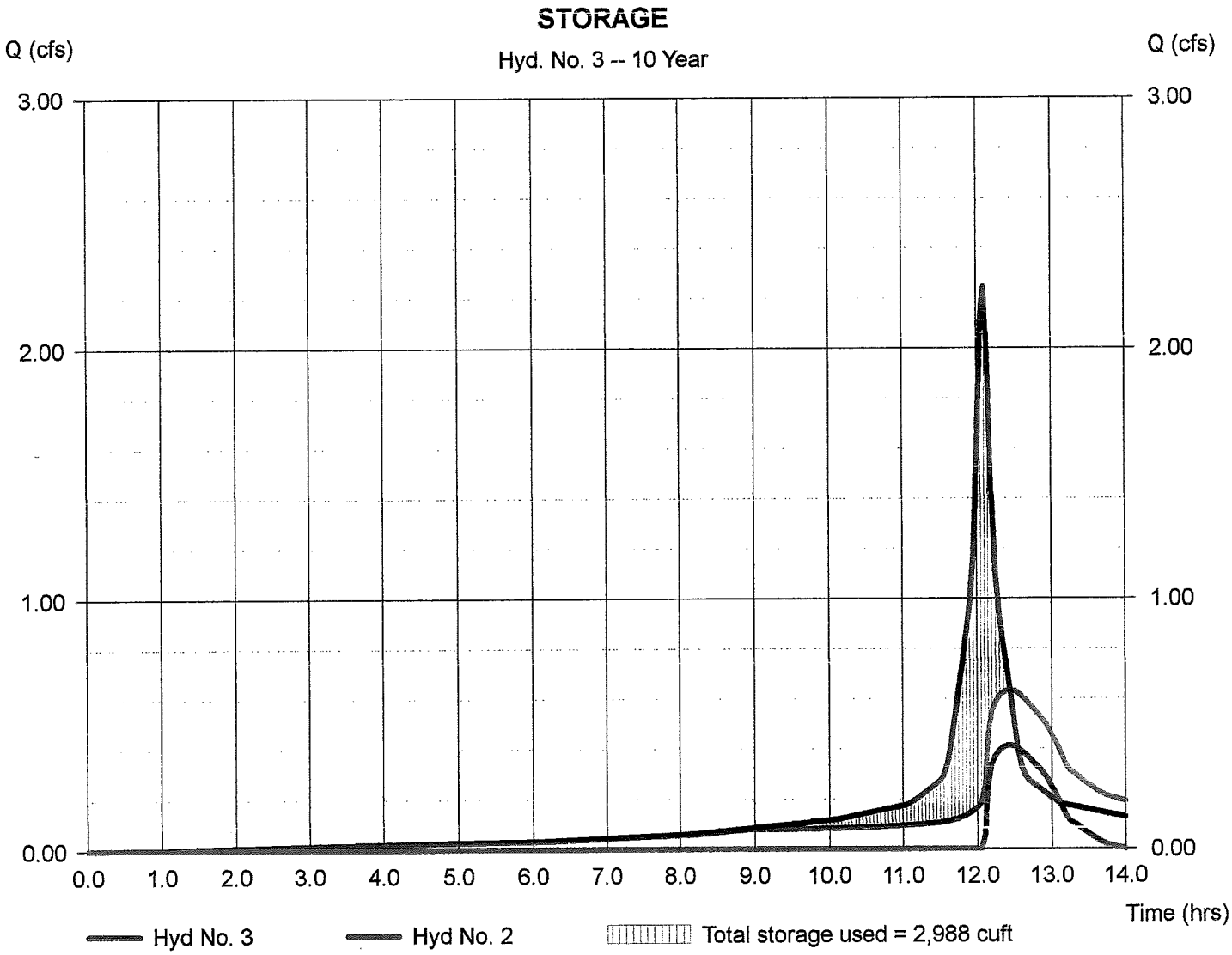
Hydrograph Report

Hyd. No. 3

STORAGE

Hydrograph type	= Reservoir	Peak discharge	= 0.413 cfs
Storm frequency	= 10 yrs	Time to peak	= 12.45 hrs
Time interval	= 3 min	Hyd. volume	= 1,406 cuft
Inflow hyd. No.	= 2 - 440 BUNNELL ST.-SCS25YR--POST	Max. Elevation	= 18.64 ft
Reservoir name	= STORAGE	Max. Storage	= 2,988 cuft

Storage Indication method used. Exfiltration extracted from Outflow.

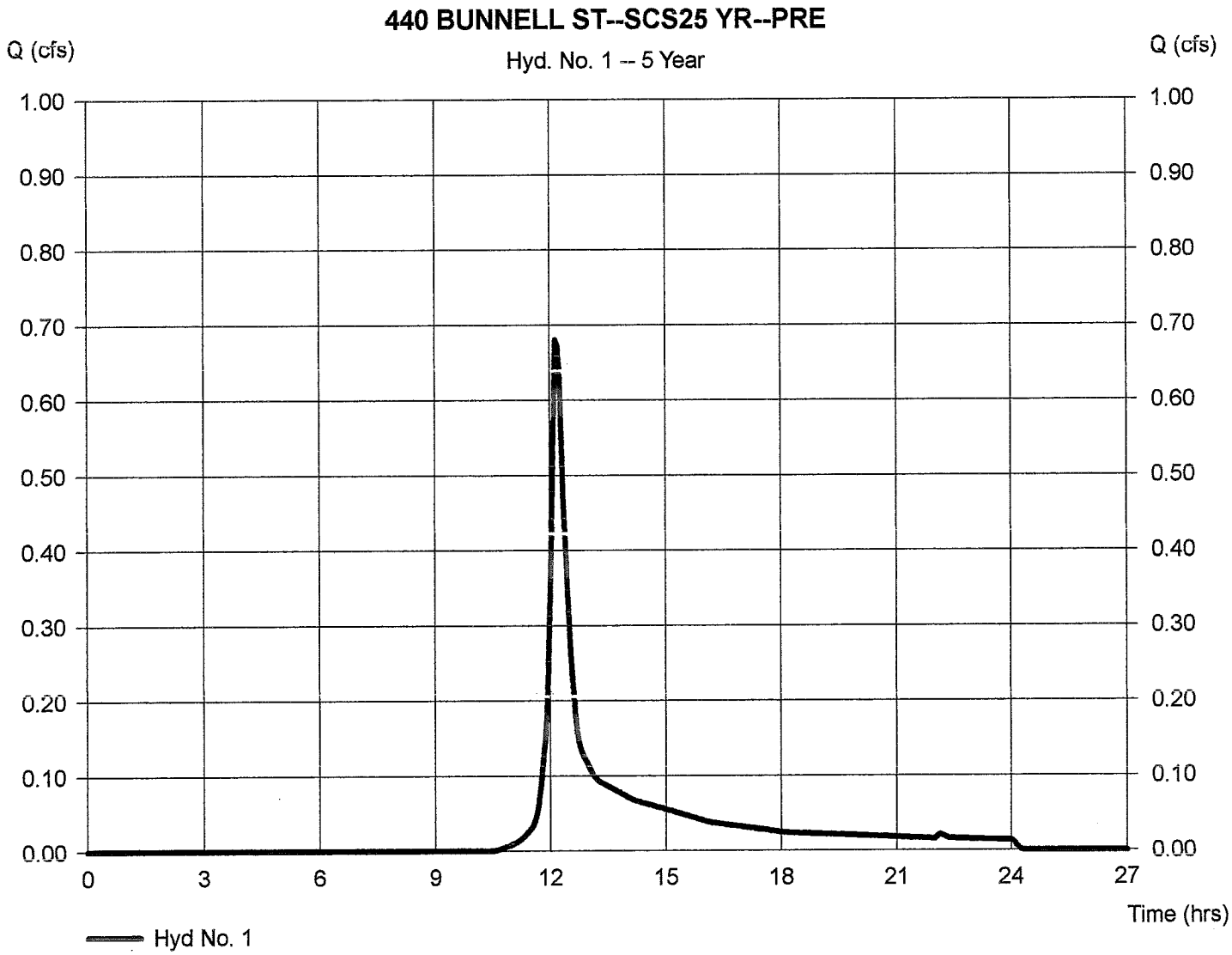


Hydrograph Report

Hyd. No. 1

440 BUNNELL ST--SCS25 YR--PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 0.680 cfs
Storm frequency	= 5 yrs	Time to peak	= 12.15 hrs
Time interval	= 3 min	Hyd. volume	= 2,820 cuft
Drainage area	= 0.530 ac	Curve number	= 69
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 10.00 min
Total precip.	= 4.30 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

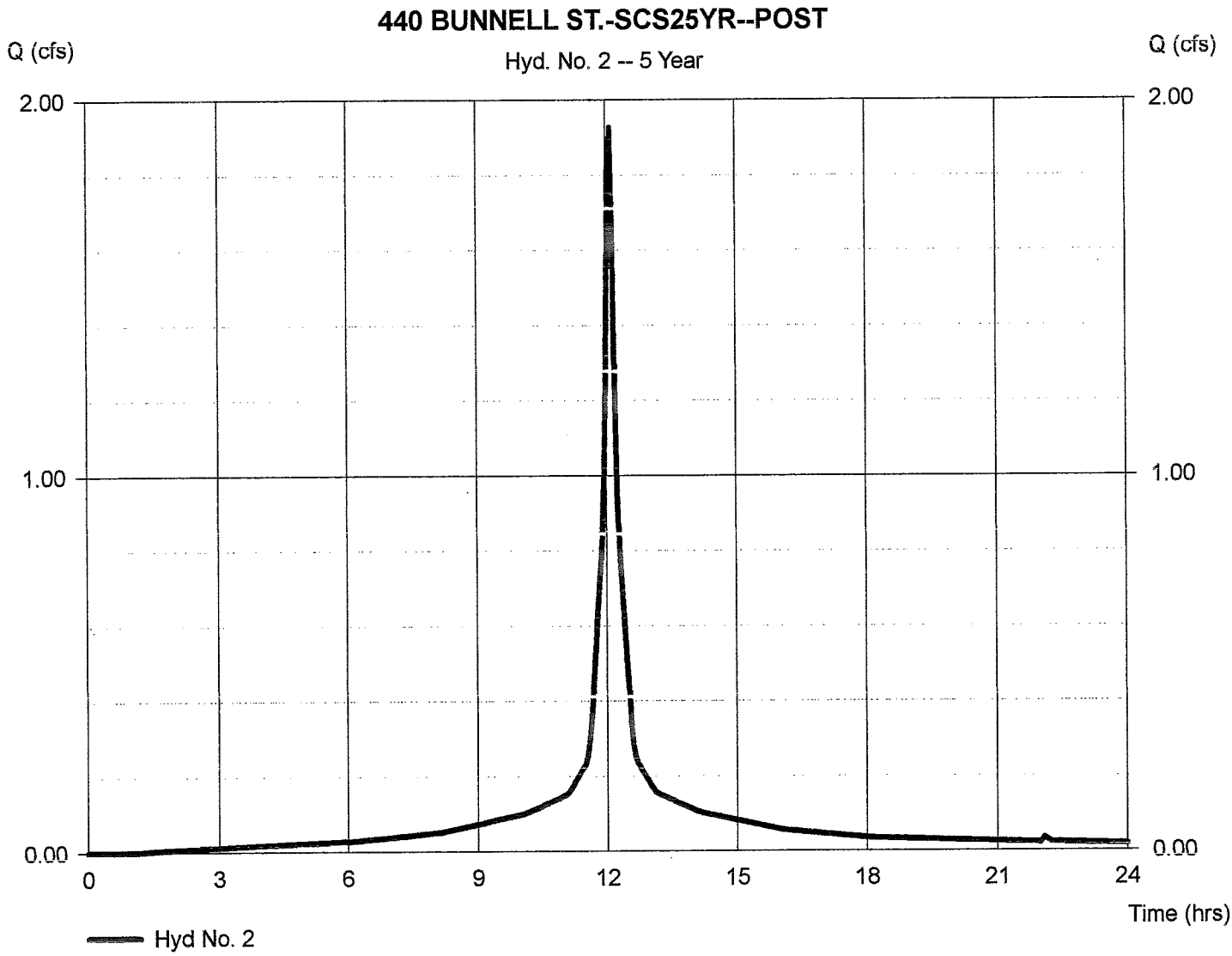


Hydrograph Report

Hyd. No. 2

440 BUNNELL ST.-SCS25YR--POST

Hydrograph type	= SCS Runoff	Peak discharge	= 1.927 cfs
Storm frequency	= 5 yrs	Time to peak	= 12.10 hrs
Time interval	= 3 min	Hyd. volume	= 7,331 cuft
Drainage area	= 0.530 ac	Curve number	= 98
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 5.00 min
Total precip.	= 4.30 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484



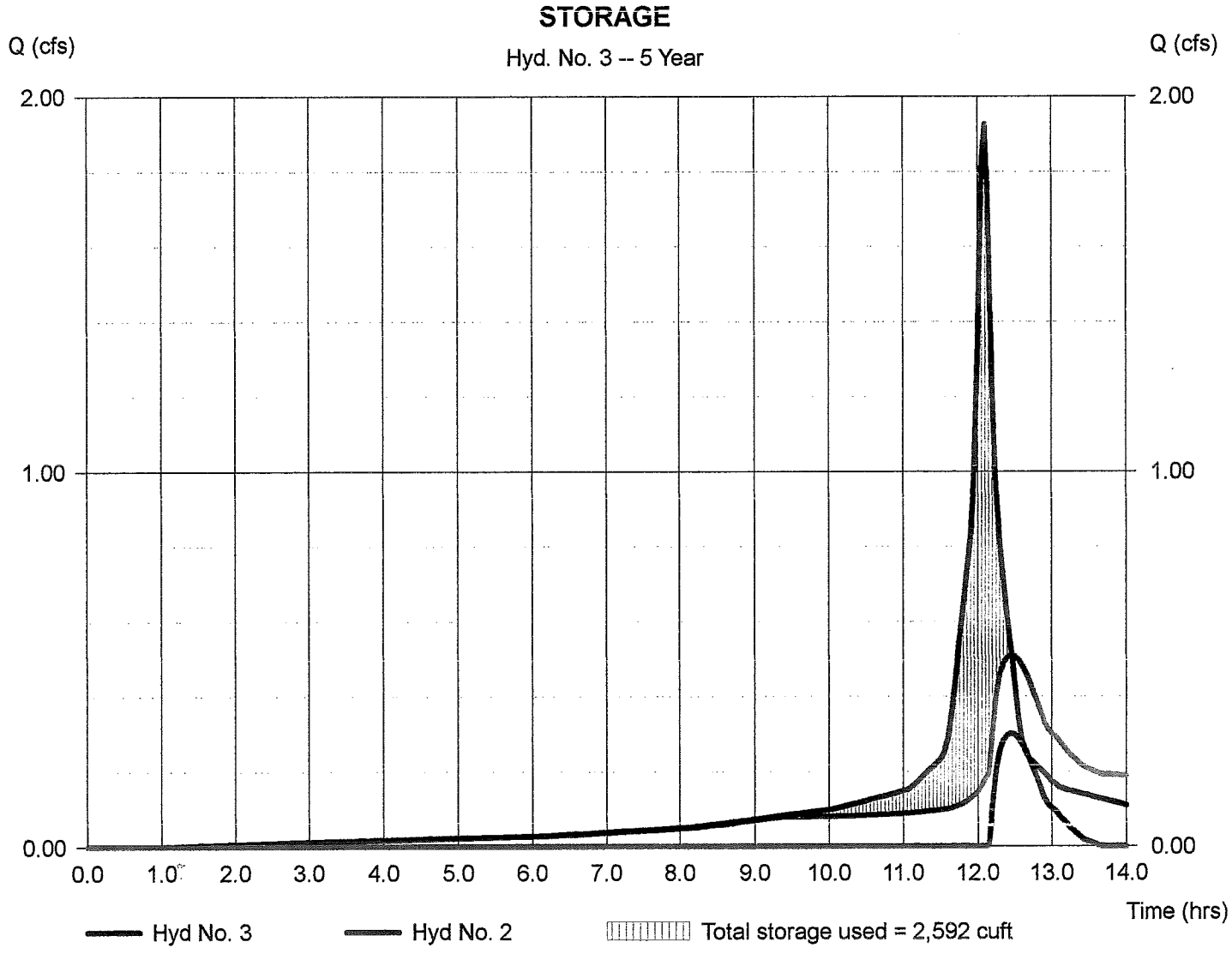
Hydrograph Report

Hyd. No. 3

STORAGE

Hydrograph type	= Reservoir	Peak discharge	= 0.301 cfs
Storm frequency	= 5 yrs	Time to peak	= 12.45 hrs
Time interval	= 3 min	Hyd. volume	= 753 cuft
Inflow hyd. No.	= 2 - 440 BUNNELL ST.-SCS25YR--POST	Max. Elevation	= 18.19 ft
Reservoir name	= STORAGE	Max. Storage	= 2,592 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



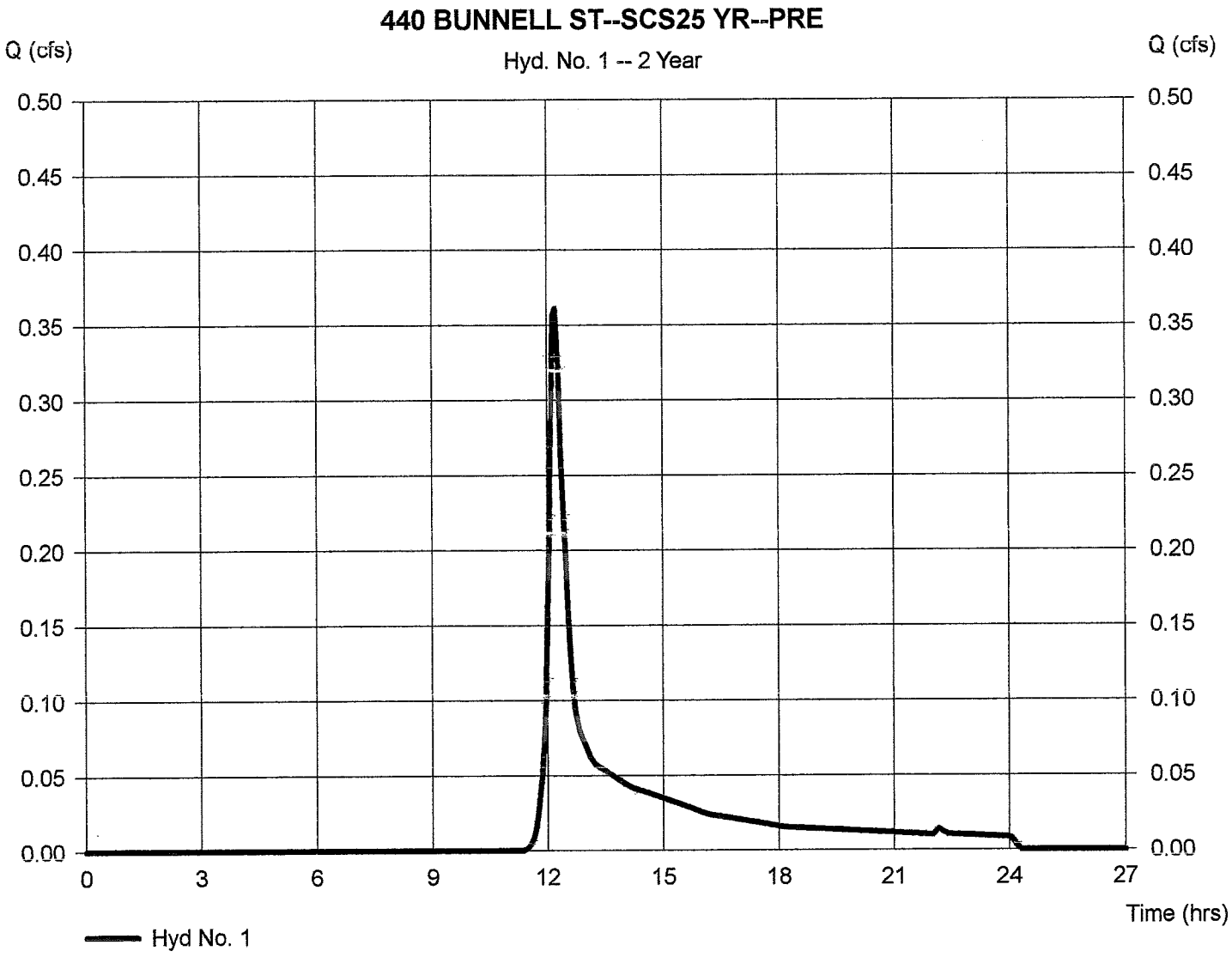
Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.02 — Thursday, Jul 15, 2021

Hyd. No. 1

440 BUNNELL ST--SCS25 YR--PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 0.361 cfs
Storm frequency	= 2 yrs	Time to peak	= 12.20 hrs
Time interval	= 3 min	Hyd. volume	= 1,609 cuft
Drainage area	= 0.530 ac	Curve number	= 69
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 10.00 min
Total precip.	= 3.30 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

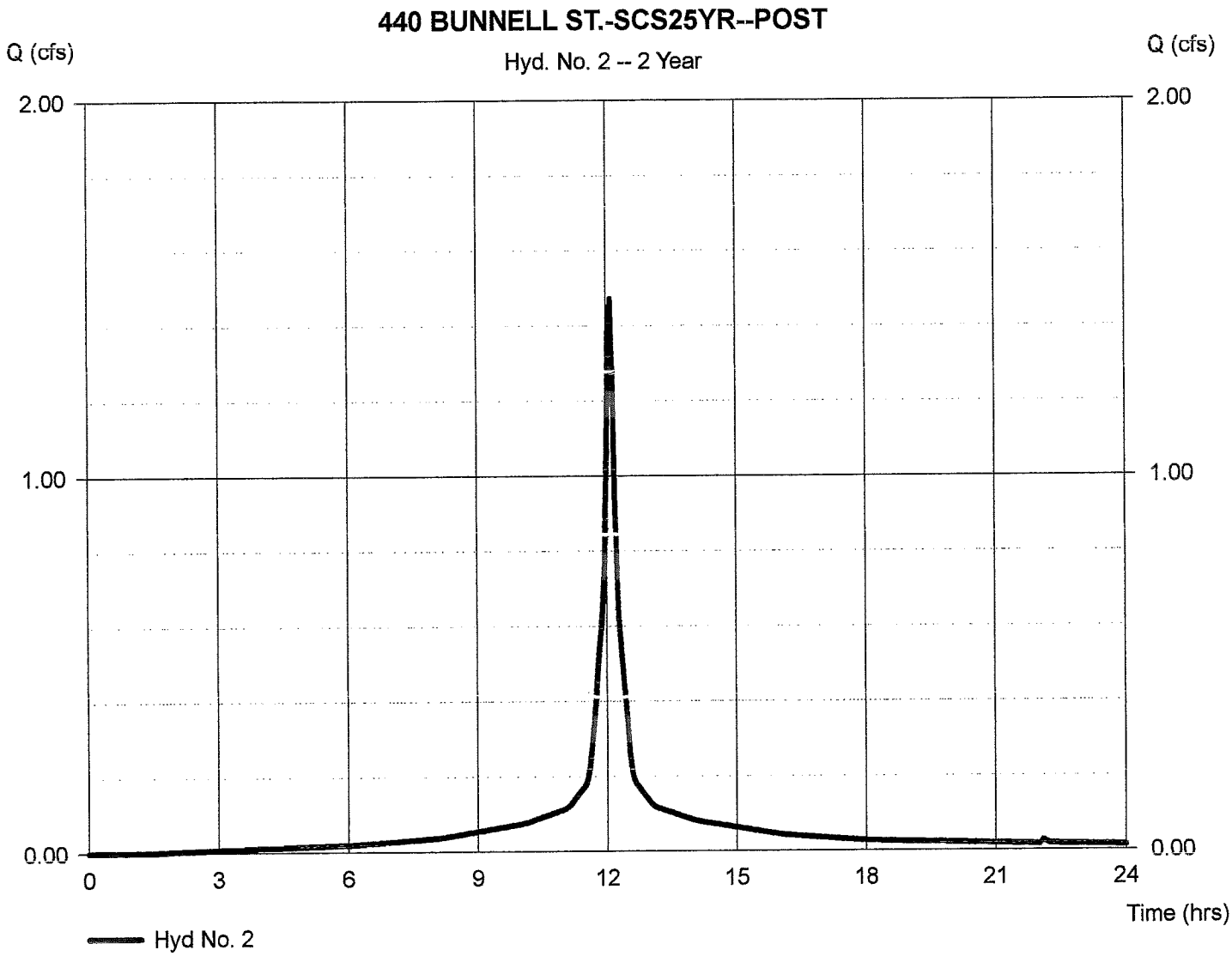


Hydrograph Report

Hyd. No. 2

440 BUNNELL ST.-SCS25YR--POST

Hydrograph type	= SCS Runoff	Peak discharge	= 1.471 cfs
Storm frequency	= 2 yrs	Time to peak	= 12.10 hrs
Time interval	= 3 min	Hyd. volume	= 5,532 cuft
Drainage area	= 0.530 ac	Curve number	= 98
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 5.00 min
Total precip.	= 3.30 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484



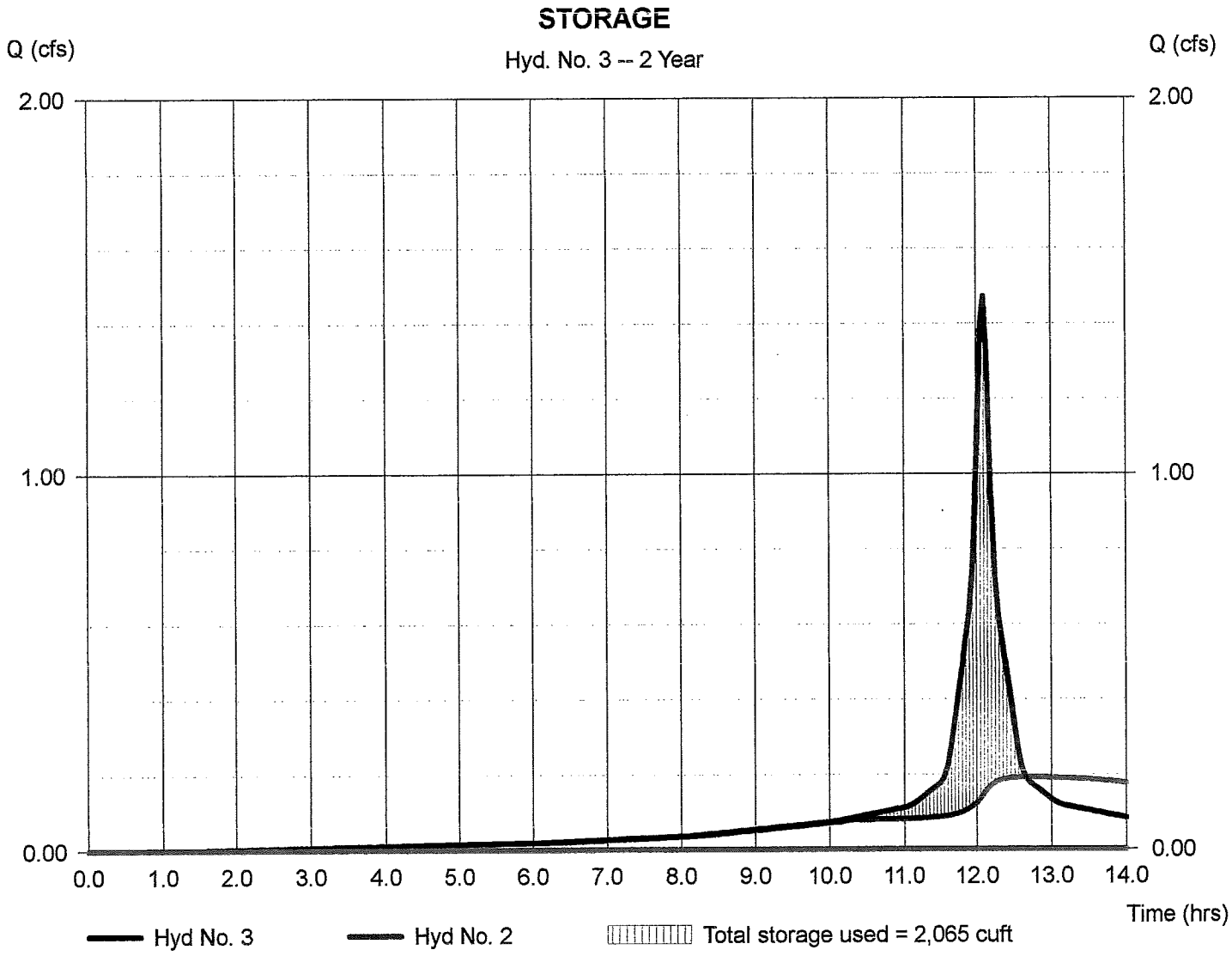
Hydrograph Report

Hyd. No. 3

STORAGE

Hydrograph type	= Reservoir	Peak discharge	= 0.000 cfs
Storm frequency	= 2 yrs	Time to peak	= 12.65 hrs
Time interval	= 3 min	Hyd. volume	= 0 cuft
Inflow hyd. No.	= 2 - 440 BUNNELL ST.-SCS25YR--POST	Max. Elevation	= 17.50 ft
Reservoir name	= STORAGE	Max. Storage	= 2,065 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



Pond Report

Hydraflow Hydrographs by Intelisolve v9.02 — Thursday, Jul 15, 2021

Pond No. 1 - STORAGE

Pond Data

UG Chambers - Invert elev. = 17.50 ft, Rise x Span = 4.00 x 4.00 ft, Barrel Len = 184.00 ft, No. Barrels = 1, Slope = 0.00%, Headers = No
Encasement - Invert elev. = 13.00 ft, Width = 6.00 ft, Height = 8.50 ft, Voids = 40.00%

Stage / Storage Table

Stage (ft)	Elevation (ft)	Contour area (sqft)	Incr. Storage (cuft)	Total storage (cuft)
0.00	13.00	n/a	0	0
0.85	13.85	n/a	375	375
1.70	14.70	n/a	375	751
2.55	15.55	n/a	375	1,126
3.40	16.40	n/a	375	1,502
4.25	17.25	n/a	375	1,877
5.10	18.10	n/a	640	2,518
5.95	18.95	n/a	751	3,268
6.80	19.80	n/a	751	4,019
7.65	20.65	n/a	751	4,770
8.50	21.50	n/a	751	5,521

Culvert / Orifice Structures

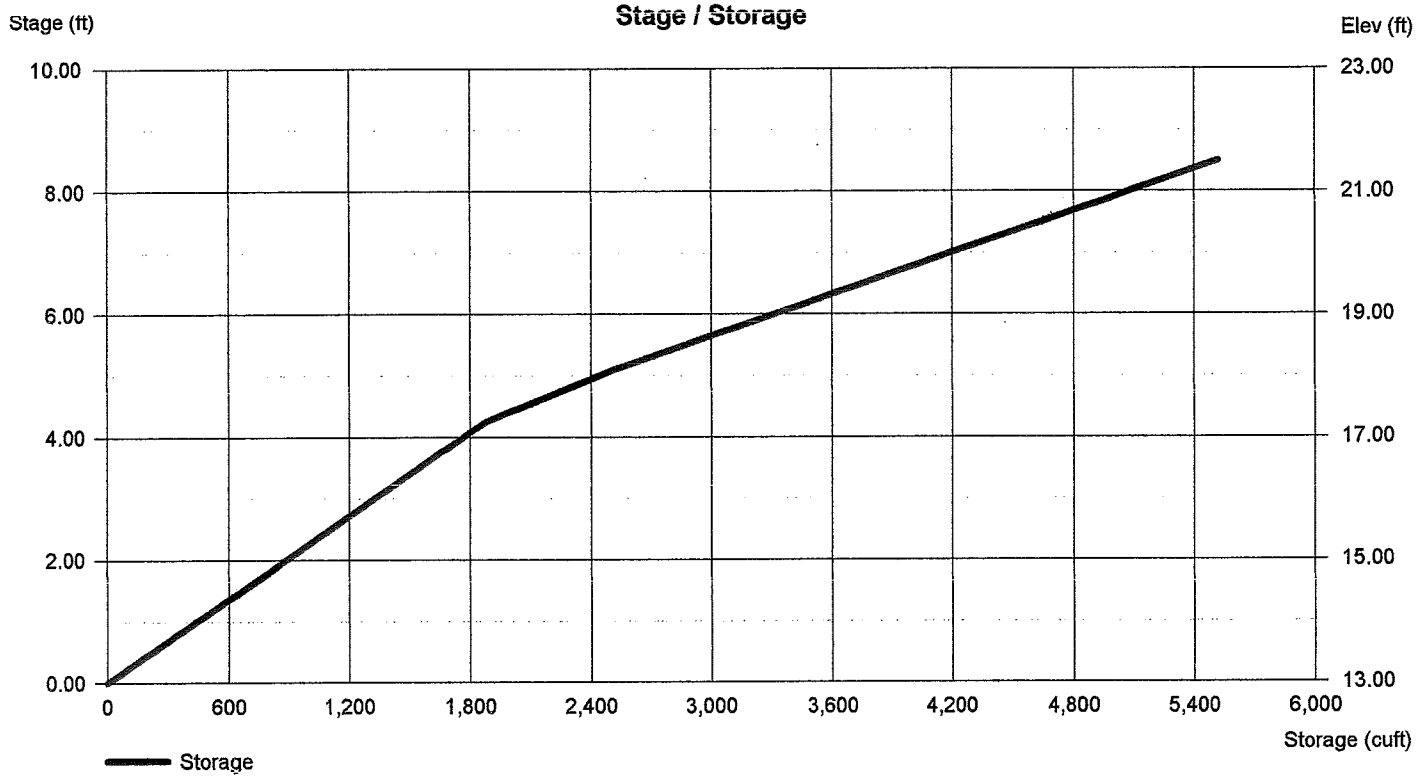
	[A]	[B]	[C]	[PrfRsr]
Rise (in)	= 4.00	0.00	0.00	0.00
Span (in)	= 4.00	0.00	0.00	0.00
No. Barrels	= 1	0	0	0
Invert El. (ft)	= 17.50	0.00	0.00	0.00
Length (ft)	= 5.00	0.00	0.00	0.00
Slope (%)	= 1.00	0.00	0.00	n/a
N-Value	= .013	.013	.013	n/a
Orifice Coeff.	= 0.60	0.60	0.60	0.60
Multi-Stage	= n/a	No	No	No

Weir Structures

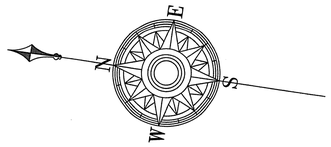
	[A]	[B]	[C]	[D]
Crest Len (ft)	= 0.00	0.00	0.00	0.00
Crest El. (ft)	= 0.00	0.00	0.00	0.00
Weir Coeff.	= 3.33	3.33	3.33	3.33
Weir Type	= ---	---	---	---
Multi-Stage	= No	No	No	No

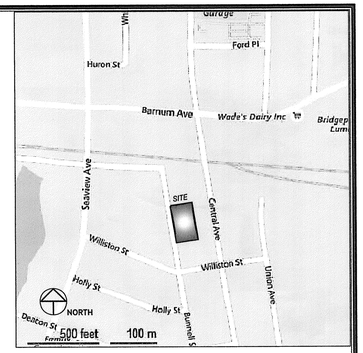
Exfil.(in/hr) = 3.000 (by Wet area)
TW Elev. (ft) = 0.00

Note: Culvert/Orifice outflows are analyzed under inlet and outlet control. Weir risers are checked for orifice conditions.



DEVELOPMENT STANDARDS	ZONE: I-LI	EXISTING				
LOT						
LOT AREA, MINIMUM	N/A	29,723± SF				
FRONTAGE, MINIMUM	25 FT.	225.01'				
FLOOR AREA RATIO, MAXIMUN	N/A	N/A				
PRINCIPAL BUILDING SIZE, MAXIMUM	N/A	N/A				
PRINCIPAL BUILDING SETBACK						
FRONT LOT LINE, MINIMUM FROM	N/A	N/A				
STREET LOT LINE, MINIMUM FROM	15 FT.	N/A				
MAXIMUM SETBACK	N/A	N/A				
SIDE LOT LINE, MINIMUM FROM	N/A	N/A				
REAR LOT LINE, MINIMUM FROM	N/A	N/A				
NOT TO EXCEED						
MINIMUM SETBACK FROM:						
OTHER HEAVY INDUSTRIAL USE	N/A	N/A				
OTHER USE	N/A	N/A				
FROM LOT LINE ABUTTING AN R ZONED LOT	10 FT.	N/A				
SIDE	0	N/A				
REAR	N/A	N/A				
FROM LOT LINE ABUTTING AN MU/OR OR I ZONED LOT	0'	N/A				
CORNER LOT YARD	15	N/A				
MEAN HIGH WATER, MINIMUM FROM	N/A	N/A				
ACCESSORY STRUCTURE						
SETBACKS	SAME AS PRINCIPAL	N/A				
COVERAGE						
BUILDING COVERAGE, MAXIMUM	85 %	N/A				
SITE COVERAGE, MAXIMUM	85%	0.0%				
LANDSCAPE AREA		100.0%				
MINIMUM	15%					
IN SETBACK ABUTTING R-ZONED LOT, MINIMUM	10 FT. DEEP AT L4	N/A				
HEIGHT						
PRINCIPAL BUILDING,						
MAXIMUM FOR PRINCIPAL BUILDING	75 FT.	N/A				
PROJECTIONS AND FEATURES	NOTE 5.	N/A				
ACCESSORY STRUCTURE						
HEIGHT, MAXIMUM	NOTE 7	N/A				
FLOOR AREA, GROSS MAXIMUM	NOTE 8.	N/A				
PUBLIC ACCESS EASEMENT	NOTE 10	N/A				





GENERAL NOTES:

1. This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.

2. This Survey conforms to Class A-2 & T-2.

3. The Type of survey performed Is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.

4. Boundary determination Is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)

5. North Arrow Is based on Map Reference # 1.

6. This map Is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.

7. This map Is NOT VALID if altered or used by any party other than the one depicted in title block of this map.

8. Property Lines Established According to Record Deeds as exist

9. Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.

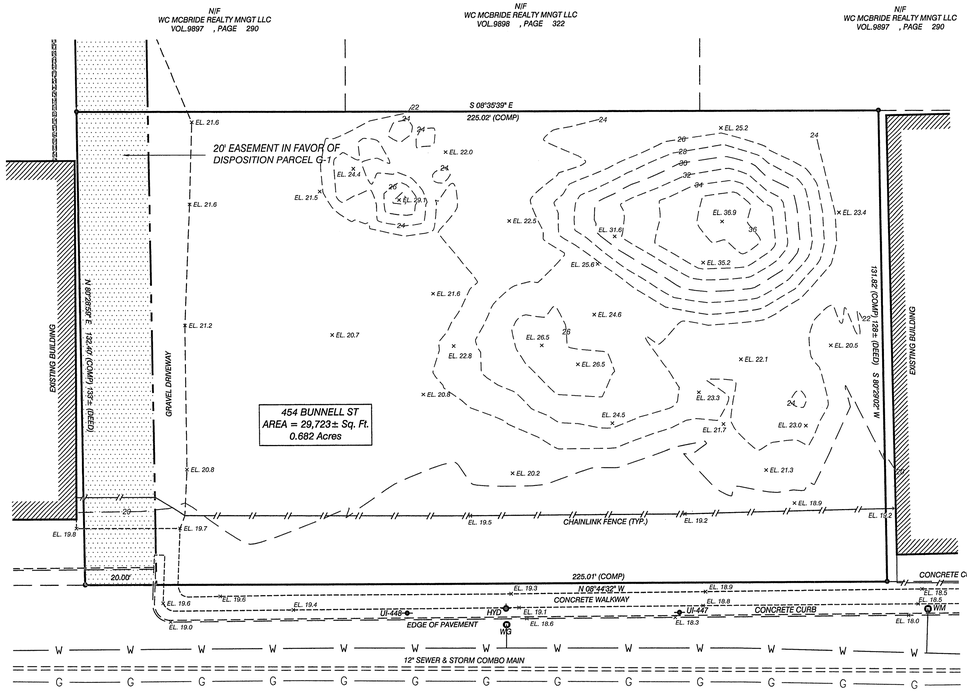
10. Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, Location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.

11. Lot served by town sewer system and public water supply.

12. Elevations are in N.A.V.D. 1998.

MAP REFERENCES:

1. Subdivision Map for Seaview Industrial Park, Block bounded by Central Avenue, Williston Street, and Bunnel Street Bridgeport, Connecticut. By: Lidquist Surveying 169 Mount Pleasant Street Derby, CT. January 2, 2004. Scale 1"=40'.
2.Compilation Plan, Desposition Map Parcel G-1, Seaview Industrial Park City of Bridgeport, Fairfield County, CT. By: Clarence Blair Associates, Inc Civil Engineers & Land Surveyors. 85 Willow Street New Haven, CT. Revision Date January 26, 2006. Scale 1"=40'.
3. PIN SHEETS # 733, 734, 735
4. Property Survey Prepared For WC McBride Realty Management LLC #169-175 Williston Street, #1209, #1217-1221, #1231, #1239, #1257, #1271-1275 Central Avenue, Bridgeport, Connecticut. Prepared By Lindquist Surveying Dated July 31, 2018. Scale 1" = 40'.



LEGEND

SYMBOL	DESCRIPTION
— G — G — G —	Gas Main
— W — W — W —	Water Main

LAND SURVEYING SERVICES, LLC
CONNECTICUT

LAND SURVEYING
SERVICES, LLC
1275 POST ROAD, SUITE A-20
FAIRFIELD, CONNECTICUT 06824
TEL. (203) 522-4177
FAX. (203) 615-0123
EMAIL: info@A2survey.com

RES | KK | SKT | JL | PL | NJ | MAP | JL | DWG: 20347

TITLE BLOCK

ASSESSORS MAP # 43 , PARCEL # 733/3 ZONE: I-LI
APPLICANT: SAME AS OWNER

DESCRIPTIVE TITLE: CLASS A-2 SURVEY
To the best of my knowledge and belief this map is substantially correct as noted hereon.

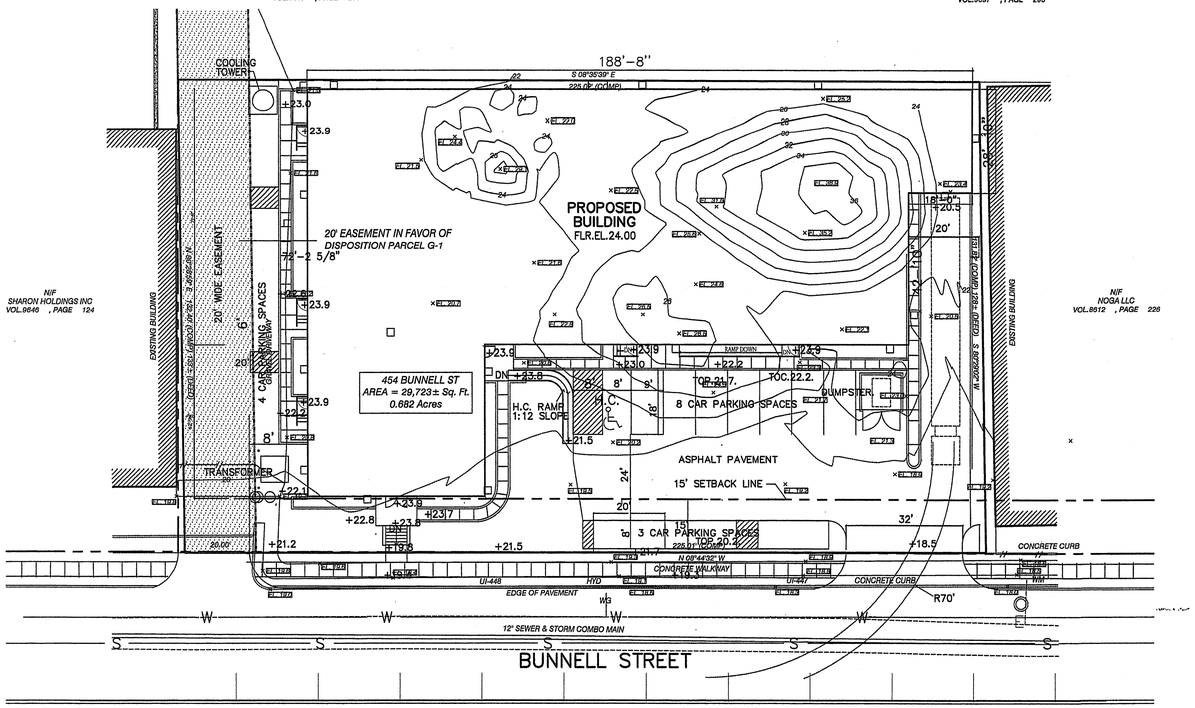
NEAL K. JAIN L.S. # 18139

STATE OF CONNECTICUT NEAL K. JAIN No. 18139 LICENSED LAND SURVEYOR

05-29-21	TOPOGRAPHY
DATE:	DESCRIPTION
REVISIONS	

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
NANO SOLUTIONS, LLC BRIDGEPORT CT
454 BUNNELL STREET, BRIDGEPORT, CONNECTICUT

20 0 20 40
SCALE: 1"= 20'
DATE: OCT. 23, 2020



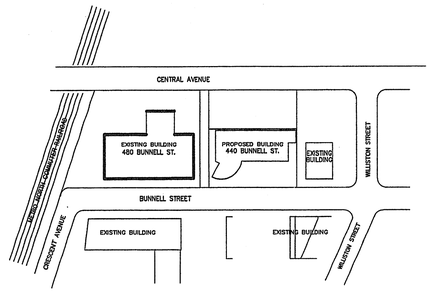
SITE PLAN

SCALE: 1"=20'-0"

0' 10' 20' 40'

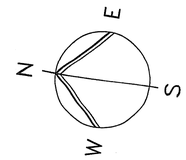
LEGEND

- EXISTING CONTOUR LINES
- PROPOSED REGRADED CONTOUR LINES
- EXISTING ELEVATION
- +21.2 PROPOSED ELEVATION



VICINITY PLAN

NOT TO SCALE



DEVELOPMENT STANDARDS	ZONE: I-LI			
LOT		*EXISTING*	*Excluding easement PROPOSED*	
LOT AREA, MINIMUM	*N/A*	*29,723±*	*27,075 SF*	
FRONTAGE, MINIMUM	*25 FT.*	*225.00'*	*225.00'*	
FLOOR AREA RATIO, MAXIMUM		*0.298*	*0.541*	
PRINCIPAL BUILDING SIZE, MAXIMUM	*N/A*		*14,663 SF*	
PRINCIPAL BUILDING SETBACK				
FRONT LOT LINE, MINIMUM FROM	*N/A*	*N/A*	*N/A*	
STREET LOT LINE, MINIMUM FROM	*15 FT.*	*N/A*	*15 FT*	
MAXIMUM SETBACK	*N/A*			
SIDE LOT LINE, MINIMUM FROM	*N/A*	*N/A*	*N/A*	
REAR LOT LINE, MINIMUM FROM	*N/A*			
NOT TO EXCEED MINIMUM SETBACK FROM:		*N/A*	*N/A*	
		N/A	*N/A*	
OTHER HEAVY INDUSTRIAL USE	*N/A*	*N/A*	*N/A*	
OTHER USE	*N/A*	*N/A*	*N/A*	
FROM LOT LINE ABUTTING AN R ZONED LOT	*10 FT.*	*N/A*	*N/A*	
SIDE	*0*	*N/A*	*N/A*	
REAR	*N/A*	*N/A*	*N/A*	
FROM LOT LINE ABUTTING AN MU,OR OR I ZONED LOT	*0*			
CORNER LOT YARD	*15*	*N/A*	*N/A*	
MEAN HIGH WATER, MINIMUM FROM	*N/A*			
ACCESSORY STRUCTURE		*N/A*	*N/A*	
SETBACKS	*SAME AS PRINCIPAL*			
COVERAGE				
BUILDING COVERAGE, MAXIMUM	*85 %*		*55%*	
SITE COVERAGE, MAXIMUM	*85%*		*90%*	
LANDSCAPE AREA				
MINIMUM	*15%*	*N/A*	*15%*	
IN SETBACK ABUTTING R-ZONED LOT, MINIMUM	*10 FT. DEEP AT L4*			
HEIGHT				
PRINCIPAL BUILDING,		*N/A*	*37 FT*	
MAXIMUM FOR PRINCIPAL BUILDING	*75 FT.*			
		N/A	*N/A*	
ACCESSORY STRUCTURE		*N/A*	*N/A*	
		N/A	*N/A*	

DEVELOPMENT STANDARDS	ZONE: I-LI
LOT	
LOT AREA, MINIMUM	*N/A*
FRONTAGE, MINIMUM	*25 FT.*
FLOOR AREA RATIO, MAXIMUM	
PRINCIPAL BUILDING SIZE, MAXIMUM	*N/A*

SA ARCHITECTS, LLC

ARCHITECTURE, INTERIOR DESIGN
AND CONSTRUCTION MANAGEMENT

28 SPLITROCK ROAD
NORWALK, CONNECTICUT 06854
203-854-6753

REVISIONS

NO.	BY	DATE	DESCRIPTION
	SA	7-15-2021	

PROJECT TITLE

PROPOSED
INDUSTRIAL BUILDING
AT 454 BUNNELL ST.
BRIDGEPORT, CT 06607
NANO SOLUTIONS, LLC

SHEET TITLE

SITE PLAN

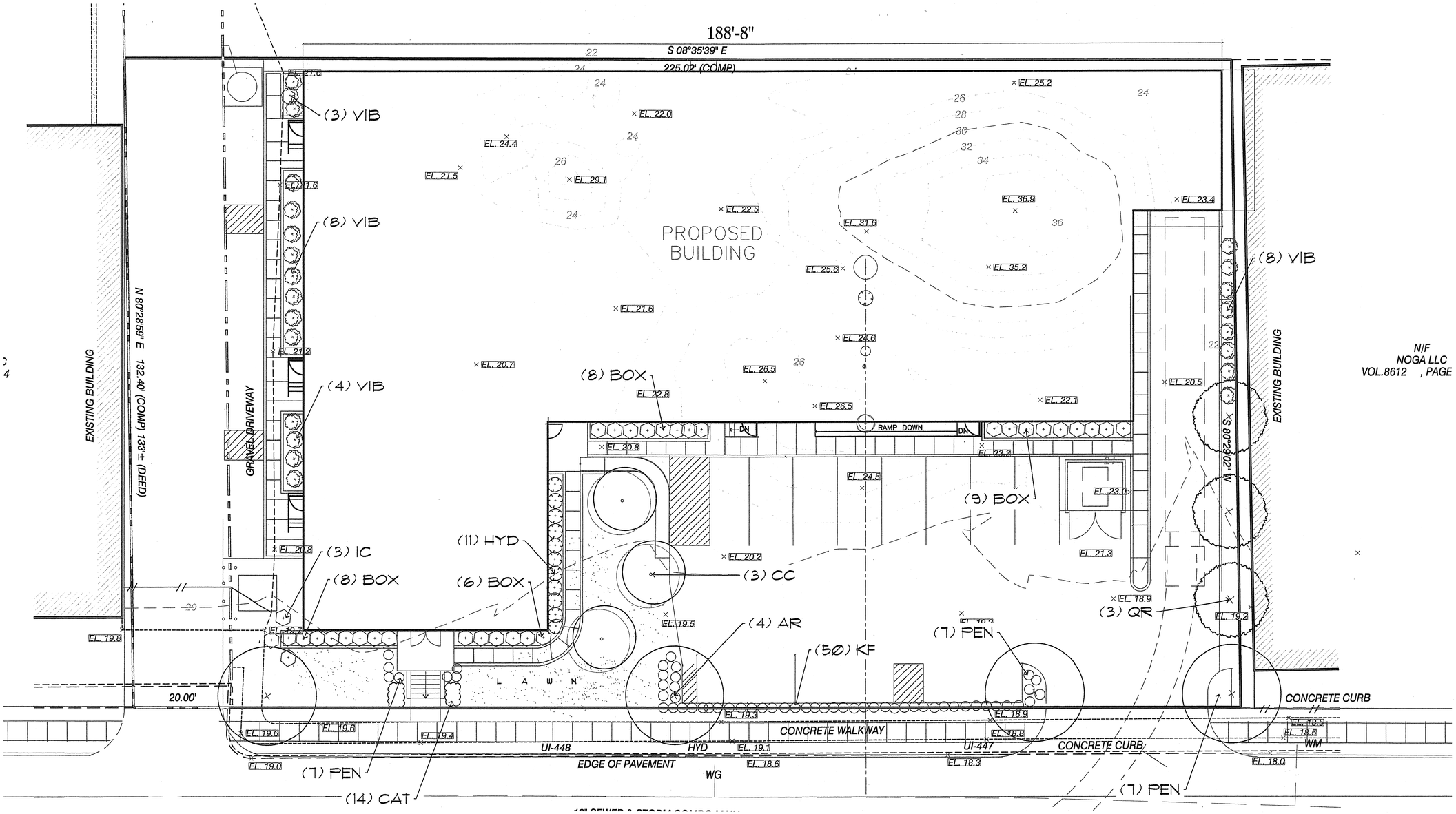
DESIGN BY: SA	SCALE 20'= 1'
PROJECT NUMBER:	DATE 3-15-2021

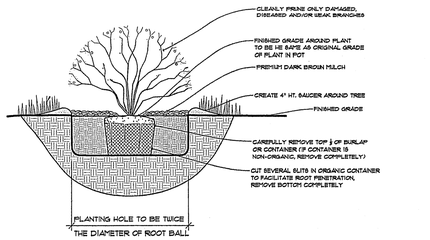
SEAL

STATE OF CONNECTICUT · SYED ALI · NO. 4538 · LICENSED ARCHITECT

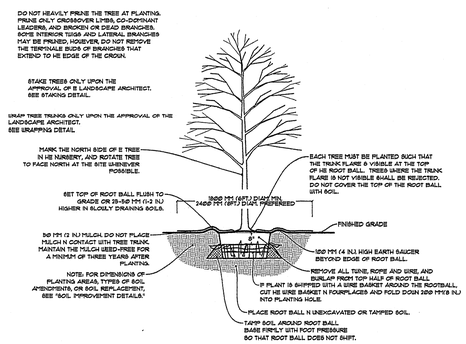
SHEET NUMBER

SP-1





1 LP-10 SHRUB LANTING DETAIL NTS



2 LP-10 TREE PLANTING DETAIL NTS

PLANT LIST			
Key	Qty.	Common & Botanical Name	Size
QR	3	Fastigiate Oak Quercus robor fastigiata	3" Cal.
AR	4	October Glory Maple Acer rubrum October Glory'	3 1/2" Cal.
CC	3	Serviceberry Amelanchier canadensis	10' Ht.
Box	31	American Boxwood Buxus sempervirens	24" Ht.
HYD	11	All Summers Beauty Hydrangea Hydrangea macro.	#5 Cont.
VIB	23	Viburnum Viburnum carlesii	36" Ht.
IC	3	Steeds Holly Ilex crenata 'Steeds'	6' Ht.
KFG	50	Karl Foerster Grass Calamgrostis x accut, 'Karl Foerster'	#2 Cont.
PEN	21	Dwarf Fountain Grass Pennisetum alo. 'Hamin'	#2 Cont.
CAT	14	Catmint Nepeta faasinni	#1 Cont.

NOTES:

1. Survey information taken from a site plan prepared by SA Architects LLC refer to this Site Plan for more information.

2. Location of existing utilities not performed by this office, confirm location of all utilities prior to construction. CALL Call before you dig

3. Contractor to verify all grades and dimensions prior to construction, contractor to inform Landscape Architect with any discrepancies.

0' 20' 40' 80'
1" = 20' - 0"

NORTH:

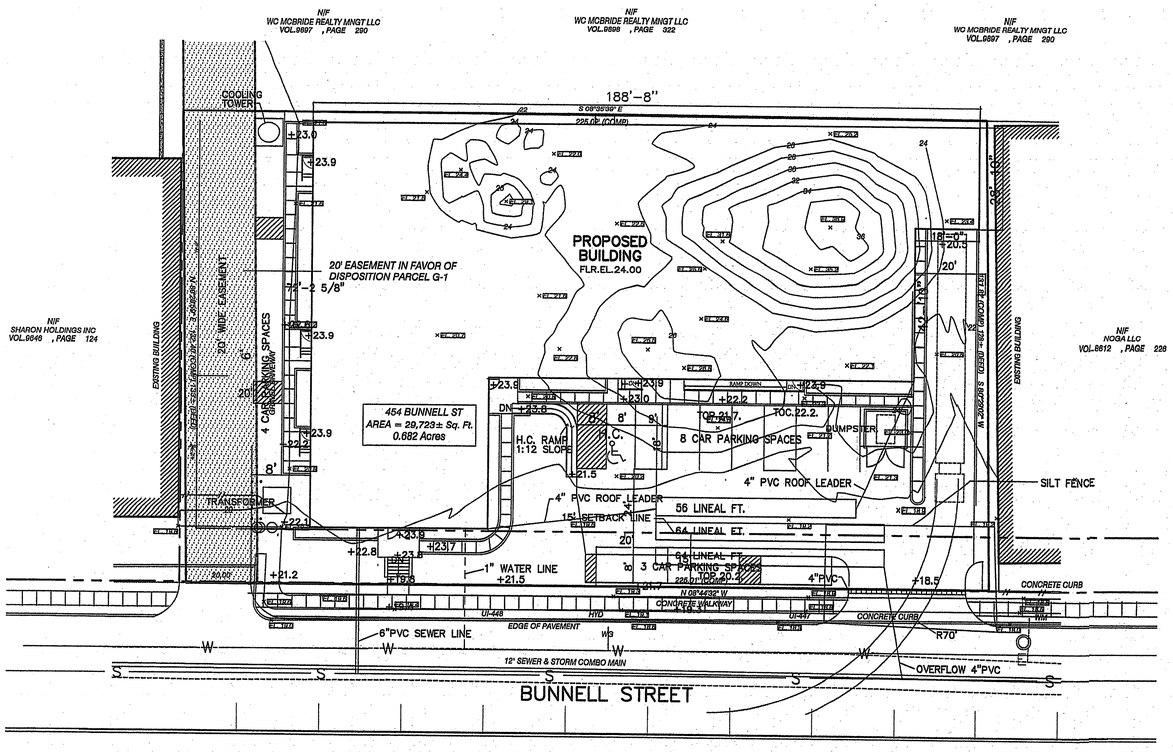
ROBERT SHERWOOD
LANDSCAPE ARCHITECT LLC
P.O. BOX 564, BROOKFIELD CT 06804
p/f:203.798.1547 c:203.994.5337 e:robertsherwood@me.com

STATE OF CONNECTICUT ROBERT SHERWOOD REGISTERED LANDSCAPE ARCHITECT

PROJECT: LANDSCAPE PLAN

CLIENT: PROPOSED COMMERCIAL BUILDING
454 Bunnell Street
Bridgeport CT

REVISIONS:	
SCALE:	AS NOTED
DATE:	7.15.21
JOB NO:	21.15
DRAWING NO:	LP-1.0
	1 OF 1



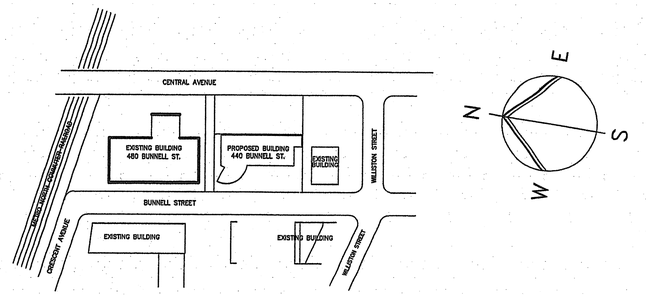
SITE PLAN

SCALE: 1"=20'-0"

0' 10' 20' 40'

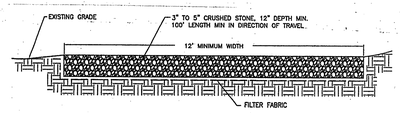
LEGEND

- EXISTING CONTOUR LINES
- PROPOSED REGRADED CONTOUR LINES
- EXISTING ELEVATION
- +21.2 PROPOSED ELEVATION
- SEWER LATERAL
- WATER LINE
- SLOTTED DRAIN
- STORAGE GALLERY



VICINITY PLAN

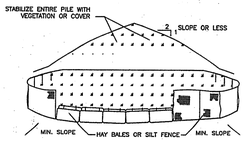
NOT TO SCALE



THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC REPLACEMENT OF STONE AND/OR ADDITIONAL APRON LENGTH. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF WAY MUST BE REMOVED IMMEDIATELY.

CONSTRUCTION ENTRANCE

NOT TO SCALE

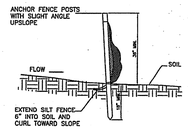


TOPSOIL STOCKPILE

NOT TO SCALE

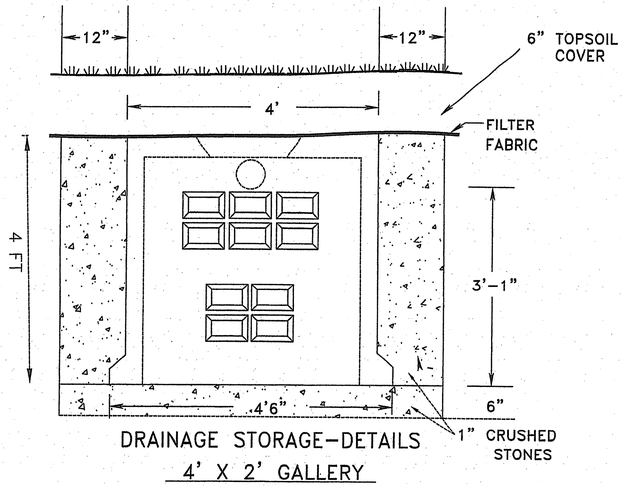
INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2H:1V.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES, THEN STABILIZED WITH VEGETATION OR COVERED.
4. SEE SPECIFICATIONS (THIS SHEET) FOR INSTALLATION OF SILT FENCE.



GEOTEXTILE SILT FENCE

NOT TO SCALE



DRAINAGE STORAGE-DETAILS

4' X 2' GALLERY

N.T.S.

HK ASSOCIATES

CIVIL AND STRUCTURAL CONSULTING

20 TOPAZ LANE, TRUMBULL, CT 06611

PHONE: 203-459-2471

FAX: 203-459-2471

EMAIL: HEMKHONA@AOL.COM

STATE OF CONNECTICUT · HEMRAJ KHONA · REGISTERED PROFESSIONAL ENGINEER

REVISIONS			
NO.	BY	DATE	DESCRIPTION
	HK	7-15-2021	ISSUED FOR ZONING APPLICATION

PROJECT TITLE

PROPOSED INDUSTRIAL BUILDING AT 454 BUNNELL ST. BRIDGEPORT, CT 06607 NANO SOLUTIONS, LLC

SHEET TITLE

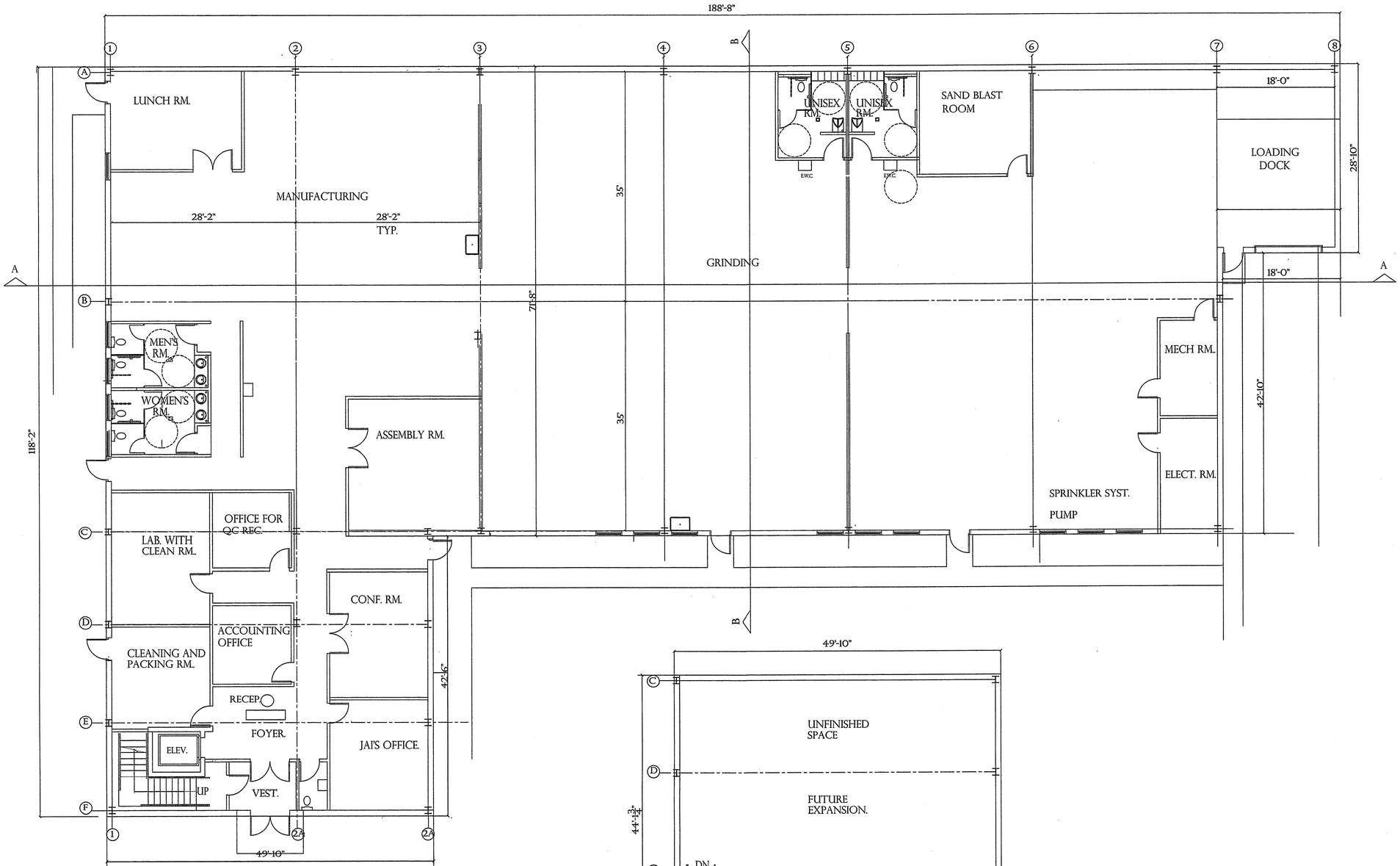
DRAINAGE PLAN

DESIGN BY: HK	SCALE 20'= 1'
PROJECT NUMBER:	DATE 7-15-2021

SEAL

SHEET NUMBER

DP-1



N

FIRST FLOOR PLAN

SCALE:1/8"=1'-0"

SECOND FLOOR PLAN

SCALE:1/8"=1'-0"

SA ARCHITECTS, LLC

ARCHITECTURE, INTERIOR DESIGN
AND CONSTRUCTION MANAGEMENT

28 SPLITROCK ROAD
NORWALK, CONNECTICUT 06854
203-854-6753

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	SA	7-15-2021	ISSUED FOR ZONING APPLICATION

PROJECT TITLE

PROPOSED
INDUSTRIAL BUILDING
AT
454 BUNNELL ST.
BRIDGEPORT, CT
FOR
NANO SOLUTIONS, LLC
BRIDGEPORT, CT

SHEET TITLE

FIRST FLOOR PLAN

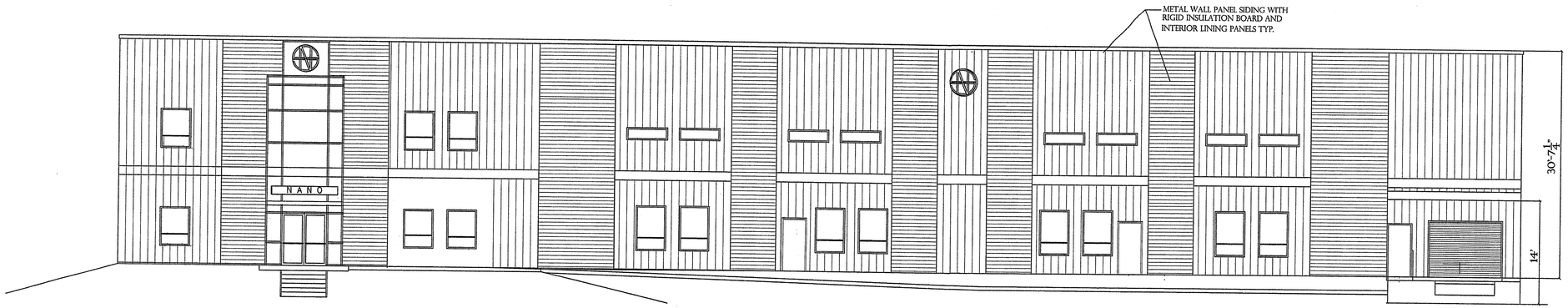
DESIGN BY: SALI	SCALE: 1/8"=1'-0"
PROJECT NUMBER:	DATE: 6-24-2021
	REV.

SEAL

STATE OF CONNECTICUT
SYED ALI
NO. 4338
REGISTERED ARCHITECT

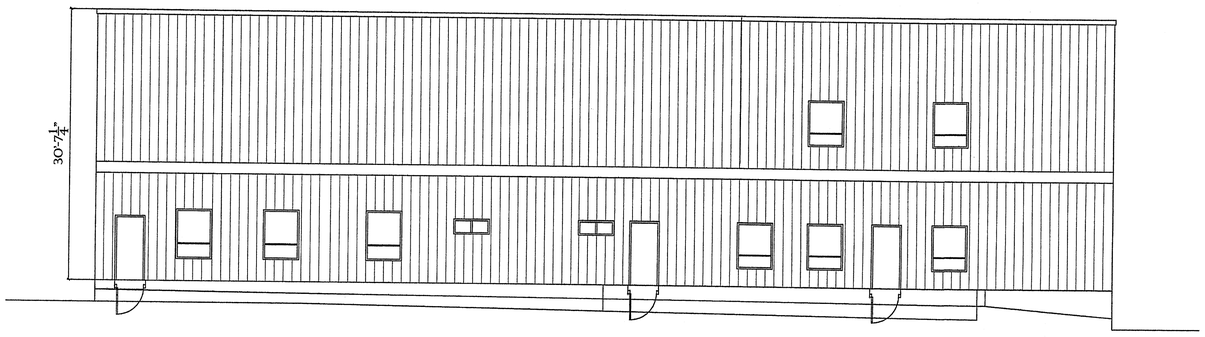
SHEET NUMBER

A-1



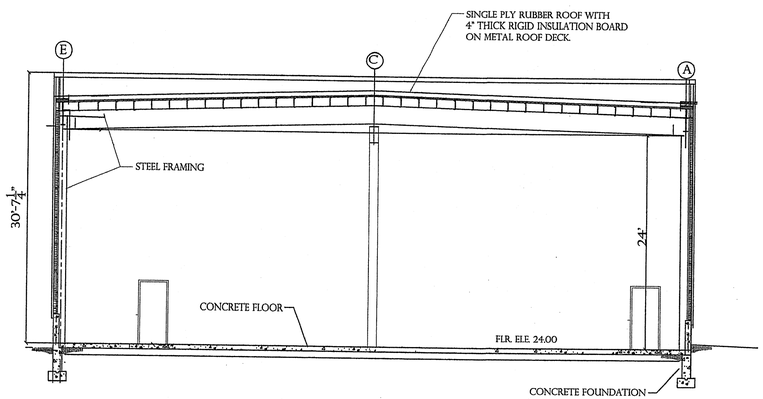
WEST (FRONT) ELEVATION

SCALE:1/8"=1'-0"



NORTH ELEVATION

SCALE:1/8"=1'-0"



CROSS SECTION 'BB'

SCALE:1/8"=1'-0"

SA ARCHITECTS, LLC

ARCHITECTURE, INTERIOR DESIGN
AND CONSTRUCTION MANAGEMENT

28 SPLITROCK ROAD
NORWALK, CONNECTICUT 06854
203-854-6753

REVISIONS			
NO.	BY	DATE	DESCRIPTION
1	SA	7-15-2021	ISSUED FOR ZONING APPLICATION

PROJECT TILE

PROPOSED
INDUSTRIAL BUILDING
AT
454 BUNNELL ST.
BRIDGEPORT, CT
FOR
NANO SOLUTIONS, LLC
BRIDGEPORT, CT

SHEET TITLE

BUILDING ELEVATIONS
AND SECTION

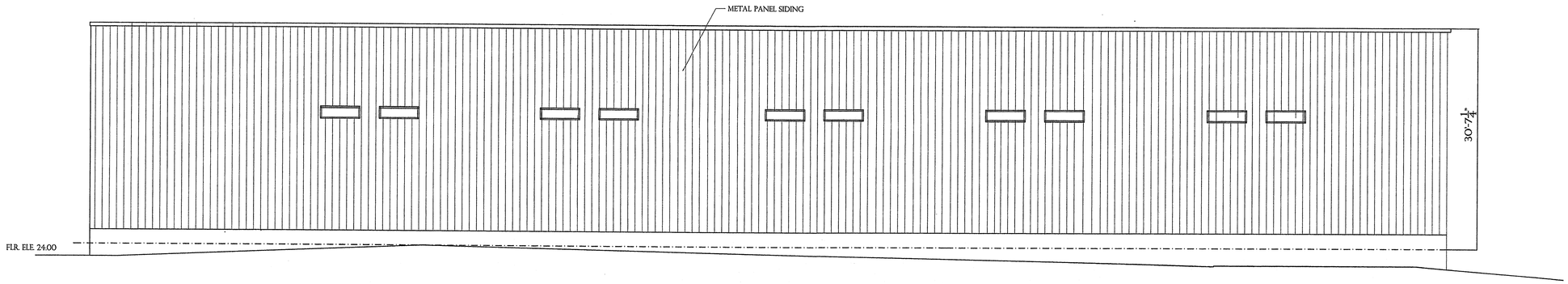
DESIGN BY: SALI	SCALE: 1/8"=1'-0"
PROJECT NUMBER:	DATE: 11-11-2020
	REV.

SEAL

STATE OF CONNECTICUT
SYED ALI
REG. NO. A328
LICENSED ARCHITECT

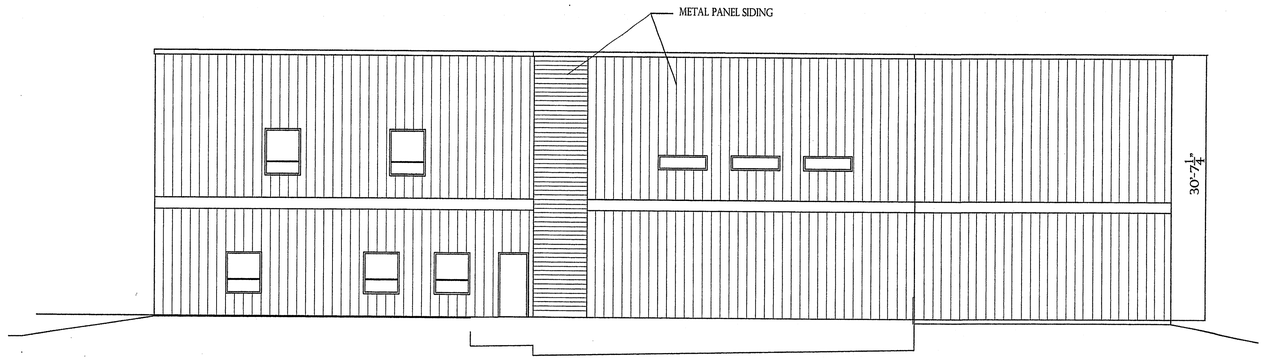
SHEET NUMBER

A-2



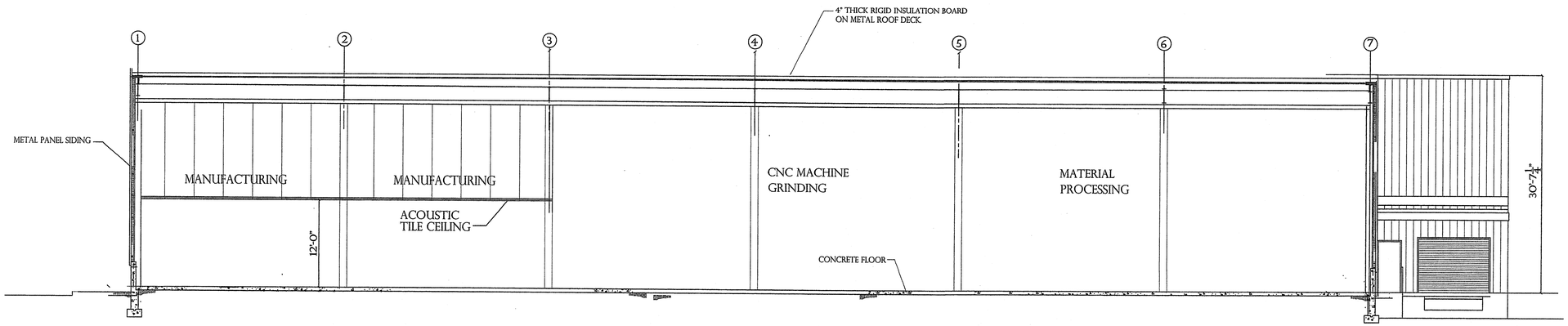
EAST (REAR) ELEVATION

SCALE:1/8"=1'-0"



SOUTH ELEVATION

SCALE:1/8"=1'-0"



LONGITUDINAL SECTION 'AA'

SCALE:1/8"=1'-0"

SA ARCHITECTS, LLC

ARCHITECTURE, INTERIOR DESIGN
AND CONSTRUCTION MANAGEMENT

28 SPLITROCK ROAD
NORWALK, CONNECTICUT 06854
203-854-6753

REVISIONS

NO.	BY	DATE	DESCRIPTION
1	SA	7-15-2021	ISSUED FOR ZONING APPLICATION

PROJECT TILE

PROPOSED
INDUSTRIAL BUILDING
AT
454 BUNNELL ST.
BRIDGEPORT, CT
FOR
NANO SOLUTIONS, LLC
BRIDGEPORT, CT

SHEET TITLE

BUILDING ELEVATIONS AND SECTION

DESIGN BY: SALI	SCALE 1/8"=1'-0"
PROJECT NUMBER:	DATE 11-11-2020
	REV.

SEAL

STATE OF CONNECTICUT
SYED ALI
NO. 4338
LICENSED ARCHITECT

SHEET NUMBER

A-3

NARRATIVE /STATEMENT OF USE

The project site is an open vacant lot located at 454 Bunnell Street in Bridgeport. The lot measures 29,723 Sq. Ft. in a light industrial zone district surrounded by the industrial buildings of various sizes and exterior finish material including bricks, concrete blocks, and metal wall panels. On it's the north is a 20 ft. wide easement providing access to the adjacent open lot on the east which faces Central Avenue. On its south is a two- story brick face industrial building. On its north, across the easement is a recently constructed one story industrial building originally designed as a steel fabrication shop but presently under a new ownership it is being reused as a containerized storage/self storage building owned by JB Moving company Street. This building is enclosed with concrete block walls of various finishes and bands of decorative colored blocks across its entire length. At the back of the building is a recent addition that has been built with metal wall panels and metal roof. On it's west, across Bunnell street is a three-story brick building which houses the Rotair Aerospace corporation. The proposed project on this site is a light industrial building of area about 14,800 Sq. Ft. which is facing to and accessible from Bunnell Street. It consists of a rectangular single story building with two story square shaped extension on the northwest corner planned for manufacturing, offices, laboratory, product cleaning and packing room, and a conference room. There will be a loading dock at the south end with a truck ramp. The proposed building will house 'Nano Solutions' a light manufacturing industry which will be moving to this new location from their existing location in Bridgeport where they are operating from an existing old warehouse which is inadequate in size and does not have windows to the outside and lacks daylight and fresh air. Nano Solutions is engaged in research, development and manufacturing of Reaction Bonded Silicon Carbide (RBSC) and other technical ceramic materials. RBSC is extensively used in semi-conductor equipment and other precision applications.

Contact information:

Owner:
Dr. Jai Singh
NANO SOLUTIONS LLC
65 Hawley Avenue
Bridgeport, CT 06606
Phone Number: (203) 908-3908
EMAIL: Jsingh@nanosolutions.net

Architect:
Syed Ali, AIA. NCARB
SA ARCHITECTS, LLC
28 Splitrock Road
Norwalk, CT 06854
Phone: (203) 654-6753
Email: syedali@saarchitectsllc.com

CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION
APPLICATION

1. **NAME OF APPLICANT:** NANO SOLUTIONS LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 454 BUNNELL STREET, BRIDGEPORT, CT
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. _____ Lot No. _____
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): _____
7. Existing Zone Classification: Industrial
8. Zone Classification requested: same as above
9. Describe Proposed Development of Property: Manufacturing building of area about 14,800 sq ft facing to and accessible from Bunnell Street

Approval(s) requested: _____

Signature: Jai R. Singh **Date:** 07/16/21

Print Name: JAI R. SINGH

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____

Print Name: _____

Mailing Address: 86 Ironwood Road, Trumbull, CT 06611

Phone: 203 908 3908 Cell: 203 543 8709 Fax: _____

E-mail Address: jsingh@nanosolutionsllc.net

$ _____ Fee received **Date:** _____ **Clerk:** _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- ☐ Completed & Signed Application Form
- ☐ A-2 Site Survey
- ☐ Building Floor Plans
- ☐ Completed Site / Landscape Plan
- ☐ Drainage Plan
- ☐ Building Elevations
- ☐ Written Statement of Development and Use
- ☐ Property Owner's List
- ☐ Fee
- ☐ Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

BRIDGEPORT ECONOMIC DEVELOPMENT CORP. — Print Owner's Name

Edward P. Lavernoich, President — Owner's Signature

July 19, 2021 — Date

_____ — Print Owner's Name

_____ — Owner's Signature

_____ — Date

Rev. 6/18/2016

661522 Connecticut coastal area provides unlimited opportunities for recreation, commercial fishing, and marine trades as well as habitat for fish, shellfish, birds, wildlife and plants and other economical valuable functions. In case of Connecticut, the emphasis is on balancing protection of the fragile coastal resources of Long Island Sound's ecosystem with sustainable economic use of shoreline.

This property is located at the east side of Bunnell Street in Bridgeport, Connecticut. This parcel is in the I-LI Zone and unimproved parcel. The area of the parcel is approximately 27,112 sq.ft. The zoning coverage of the buildings is shown on the attached map. All the map references are shown on attached map prepared by land Surveying Services dated

The owner of the property is proposing to construct manufacture building. The improvement plan of the parcel is attached with this application showing the proposed building, elevations and proposed future activity. The first floor elevation of the proposed building is shown. The existing property is located in flood zones "x" as per the flood insurance map community-panel # 09001C0441G (map revised July 2013) and no portion is subject to flooding. The Coastal Area Management Public Act 79-535 classifies this parcel under 'Other Areas Resources' as

(1) Other areas: In general other hazard areas in other areas zones are subject to still water flooding during so called "500-year" flood events. This parcel is in important coastal resource can serve as flood storage area. They are by nature all right for areas for housing development. This parcel is zoned light industrial before January1, 1980 and still the same use, thus can proceed any improvement as per FEMA map. As shown on the enclosed map this parcel is located in zone

other areas. The proposed building is located in Zone subject to minimal flooding. The existing first floor elevation is substantially higher at elevation 24.0. The habited area will be above 100-year flood elevation. This parcel is located close to the coastal water in the intertidal wetlands, but away from all other coastal resources such as Beaches and Dunes, Modified Bluffs & Escarpments and Coastal Bluffs & Escarpments, Developed Shorefronts, Rocky Shorefronts etc. There will not be any impacts on these resources as minor grade changes are proposed. The erosion control measures must be used to protect from silt pollution to the coastal water.

This parcel is not located between high tide and low tide but adjoining to existing marina. Construction of the drainage system must be done carefully so not impact the function of high tide. The silt fence or hay bales must be placed carefully and maintained firmly during construction period so not to be impacted by silt or runoff.

The existing elevations are shown on the enclosed map.

Based on the above observations, this entire proposal will not have any significant impact on coastal resources as long as erosion and sedimentation controls are used and maintained during construction period.

The sewer line and water line do exist on the street, thus no coastal impact of septic, water and sewer extensions are not necessary to be discussed. Storm water management for this parcel is required due to close proximity of Long Island Sound. The paved surface impact from parking and storage will be very little on surrounding areas.

H.K.ASSOCIATES
PROFESSIONAL ENGINEER
20 TOPAZ LANE
TRUMBULL, CONNECTICUT 06611
PHONE/FAX 203-459-2471
JULY 12 , 2021

COASTAL AREA MANAGEMENT REPORT
440 BUNNELL STREET
BRIDGEPORT, CONNECTICUT

HEM KHONA, P. E.

CITY OF BRIDGEPORT

Application Form

Municipal Coastal Site Plan Review

For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions (CSPR-INST-11/99) and submit it with the appropriate plans to the Zoning office.

Section I: Applicant Identification

Applicant: ___NANO SOLUTIONS LLC

Date:____7/18/21_____

Address:65 HAWLEY AVENUE, BRIDGEPORT,CT 06606

Phone:_203-908-3908_____

Project Address or Location:_(440) 454 BUNNELL STREET, BRIDGEPORT,

CT_____

Interest in Property ΓΞ fee simple Γ option Γ lessee Γ easement

Γ other (specify)_____

List primary contact for correspondence if other than applicant:

Name: SYED ALI, AIA _____

Address:_28 SPLITROCK ROAD

_____

City/Town _NORWALK,_____ State: CT_____ Zip

Code:____06854_____

Business Phone:___203-654-6753

_____

e-mail:
__syedali@saarchitectsllc.com_____
_____

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

X Project location

X Existing and proposed conditions, including buildings and grading

X Coastal resources on and contiguous to the site

Γ High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)

X Soil erosion and sediment controls

X Stormwater treatment practices

X Ownership and type of use on adjacent properties

Γ Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Section III: Written Project Information

Please check the appropriate box to identify the plan or application that has resulted in this Coastal Site Plan Review:

X Site Plan for Zoning Compliance

Γ Subdivision or Resubdivision

Γ Special Permit or Special Exception

Γ Variance

Γ Municipal Project (CGS Section 8-24)

Part I: Site Information

1. Street Address or Geographical Description: 440 BUNNELL STREET

   City or Town: BRIDGEPORT,CT
2. Is project or activity proposed at a waterfront site (includes tidal wetlands frontage)? Γ YES X NO
3. Name of on-site, adjacent or downstream coastal, tidal or navigable waters, if applicable:
   ___N/A_____
   __
4. Identify and describe the existing land use on and adjacent to the site. Include any existing structures, municipal zoning classification, significant features of the project site:
   ___AT PRESENT EMPTY PARCEL
   _____
   _____
   _____
   _____
5. Indicate the area of the project site: 23,013 S.F. acres or square feet (circle one)
6. Check the appropriate box below to indicate total land area of disturbance of the project or activity (please also see Part II.B. regarding proposed stormwater best management practices):
   - Γ Project or activity will disturb 5 or more total acres of land area on the site. It may be eligible for registration for the Department of Environmental Protection's (DEP) General Permit for the Discharge of Stormwater and Dewatering Wastewaters Associated with Construction Activities
   - Γ Project or activity will disturb one or more total acres but less than 5 total acres of land

area. A soil erosion and sedimentation control plan must be submitted to the municipal land use agency reviewing this application.

Γ X Project or activity will not disturb 1 acre total of land area. Stormwater management controls may be required as part of the coastal site plan review.

7. Does the project include a shoreline flood and erosion control structure as defined in CGS section 22a-109(d) ☐ Yes X☐ No

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

___SEE ATTACHED COASTAL AREA MANAGEMENT REPORT

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

__CALCULATIONS FOR 25 YEAR FREQUENCY IS DESIGNED AS REQUIRED BY

REGULATION AND 184 LINEAL FEET OF CONCRETE GALLEYS ARE PROPOSED

Part III: Identification of Applicable Coastal Resources and Coastal Resource Policies

Identify the coastal resources and associated policies that apply to the project by placing a check mark in the appropriate box(es) in the following table.

Coastal Resources	On-site	Adjacent	Off-site but within the influence of project	Not Applicable
General Coastal Resources* - Definition: CGS Section 22a-93(7); Policy: CGS Section 22a-92(a)(2)				X
Beaches & Dunes - Definition: CGS Section 22a-93(7)(C); Policies: CGS Sections 22a-92-(b)(2)(C) and 22a-92(c)(1)(K)				X
Bluffs & Escarpments - Definition: CGS Section 22a-93(7)(A); Policy: CGS Section 22a-92(b)(2)(A)				X
Coastal Hazard Area - Definition: CGS Section 22a-93(7)(H); Policies: CGS Sections 22a-92(a)(2), 22a-92(a)(5), 22a-92(b)(2)(F), 22a-92(b)(2)(J), and 22a-92(c)(2)(B)				X
Coastal Waters, Estuarine Embayments, Nearshore Waters, Offshore Waters - Definition: CGS Sections 22a-93(5), 22a-93(7)(G), and 22a-93(7)(K), and 22a-93(7)(L) respectively; Policies: CGS Sections 22a-92(a)(2) and 22a-92(c)(2)(A)				X
Developed Shorefront - Definition: CGS Section 22a-93(7)(I); Policy: 22a-92(b)(2)(G)				X
Freshwater Wetlands and Watercourses - Definition: CGS Section 22a-93(7)(F); Policy: CGS Section 22a-92(a)(2)				X
Intertidal Flats - Definition: CGS Section 22a-93(7)(D); Policies: 22a-92(b)(2)(D) and 22a-92(c)(1)(K)				X
Islands - Definition: CGS Section 22a-93(7)(J); Policy: CGS Section 22a-92(b)(2)(H)				X
Rocky Shorefront - Definition: CGS Section 22a-93(7)(B); Policy: CGS Section 22a-92(b)(2)(B)				X
Shellfish Concentration Areas - Definition: CGS Section 22a-93(7)(N); Policy: CGS Section 22a-92(c)(1)(I)				X
Shorelands - Definition: CGS Section 22a-93(7)(M); Policy: CGS Section 22a-92(b)(2)(I)				X
Tidal Wetlands - Definition: CGS Section 22a-93(7)(E); Policies: CGS Sections 22a-92(a)(2), 22a-92(b)(2)(E), and 22a-92(c)(1)(B)				X

* General Coastal Resource policy is applicable to all proposed activities

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

___NO ADEVERSE IMPACTS ON COASTAL RESOURCES AS LONG AS EROSION AND SEDIMENTATIONS ARE APPLIED AND MANTAINED DURING CONSTRUCTION.

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

: General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)

9 Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A); Definition CGS Section 22a-93(16)

9 Ports and Harbors - CGS Section 22a-92(b)(1)(C)

9 Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)

9 Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)

9 Boating - CGS Section 22a-92(b)(1)(G)

9 Fisheries - CGS Section 22a-92(c)(1)(I)

9 Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)

9Ξ Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)

9 Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)

9 Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)

9 Solid Waste - CGS Section 22a-92(a)(2)

9 Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)

9 Cultural Resources - CGS Section 22a-92(b)(1)(J)

9 Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities

** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VI: Consistency With Applicable Coastal Use Policies And Standards

Explain how the proposed activity or use is consistent with all of the applicable coastal use and activity policies and standards identified in Part V. **For projects proposed at waterfront sites (including those with tidal wetlands frontage)**, particular emphasis should be placed on the evaluation of the project's consistency with the water-dependent use policies and standards contained in CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A) -- also see adverse impacts assessment in Part VII.B below (attach additional pages if necessary):

___SEE ATTACHED CAM REPORT

Part VII.A.: Identification of Potential Adverse Impacts on Coastal Resources

Please complete this section for all projects.

Identify the adverse impact categories below that apply to the proposed project or activity. The Aapplicable≅ column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(15). If an adverse impact may result from the proposed project or activity, please use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Coastal Resources	Applicable	Not Applicable
Degrading tidal wetlands, beaches and dunes, rocky shorefronts, and bluffs and escarpments through significant alteration of their natural characteristics or functions - CGS Section 22a-93(15)(H)		X
Increasing the hazard of coastal flooding through significant alteration of shoreline configurations or bathymetry, particularly within high velocity flood zones - CGS Section 22a-93(15)(E)		X
Degrading existing circulation patterns of coastal water through the significant alteration of patterns of tidal exchange or flushing rates, freshwater input, or existing basin characteristics and channel contours - CGS Section 22a-93(15)(B)		X
Degrading natural or existing drainage patterns through the significant alteration of groundwater flow and recharge and volume of runoff - CGS Section 22a-93(15)(D)		X
Degrading natural erosion patterns through the significant alteration of littoral transport of sediments in terms of deposition or source reduction - CGS Section 22a-93(15)(C)		X
Degrading visual quality through significant alteration of the natural features of vistas and view points - CGS Section 22a-93(15)(F)		X
Degrading water quality through the significant introduction into either coastal waters or groundwater supplies of suspended solids, nutrients, toxics, heavy metals or pathogens, or through the significant alteration of temperature, pH, dissolved oxygen or salinity - CGS Section 22a-93(15)(A)		X
Degrading or destroying essential wildlife, finfish, or shellfish habitat through significant alteration of the composition, migration patterns, distribution, breeding or other population characteristics of the natural species or significant alterations of the natural components of the habitat -		X

CGS Section 22a-93(15)(G)		

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

1. Identify the adverse impact categories below that apply to the proposed project or activity. The Aapplicable≅ column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		X
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		X
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		X

2. Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.)*:

_____

_____NOT APPLICABLE

_____

_____

_____

_____

_____

_____

_____

_____

_____

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

Part VIII: Mitigation of Potential Adverse Impacts

Explain how all potential adverse impacts on coastal resources and/or future water-dependent development opportunities and activities identified in Part VII have been avoided, eliminated, or minimized (attach additional pages if necessary):

Part IX: Remaining Adverse Impacts

Explain why any remaining adverse impacts resulting from the proposed activity or use have not been mitigated and why the project as proposed is consistent with the Connecticut Coastal Management Act (attach additional pages if necessary):

H.K.ASSOCIATES

PROFESSIONAL ENGINEER

20 TOPAZ LANE

TRUMBULL, CONNECTICUT 06611

PHONE/FAX 203-459-2471

JULY 15, 2021

DRAINAGE COMPUTATIONS

SCS METHOD 25 YEAR FREQUENCY

ZERO RUNOFF

440 BUNNELL STREET

BRIDGEPORT, CONNECTICUT

HEM KHONA, P.E.

STORM WATER MANAGEMENT NARRATIVE

The owner of 440 Bunnell Street proposing to construct new manufacturing building and parking area as shown on the attached plan. The proposed impervious area of proposed building and parking area will be 23,013 square feet or 0.53 acres as shown on the plan. The total impervious area will be increased 23,013 square feet. The storm management system is design as per City of Bridgeport Regulations. The percolation tests were performed in accordance of Connecticut Health Code on July 12, 2021 in the morning. The results are listed on the plan. The computations by hydrograph software were performed and attached with this report. All paved and impervious surfaces classified CN # 98. Detail computer computations are attached by Hydrograph software. The parcel is divided into one runoff basin. The existing parcel slopes east to west uniformly. The increased runoff will be controlled by concrete chambers shown on the plan. The proposed over flow pipe discharged to westerly direction at uniform rate to City of Bridgeport existing pipe. The maintenance of these chambers and yard drain will be responsibility of home owner and they should be inspected every year and cleaned. The increased impervious area of proposed construction at 440 Bunnell Street is very moderate and slope of subject parcel is moderate. To protect downhill neighboring properties, it is necessary to apply some kind of runoff retention on the parcel. The plan is attached to address this situation.

The maintenance of this system is very important for proper future function.

SCS METHOD

CN----------EXISTING CONDTION-------69

CN--------PROPOSED CONDITION--------98

CONSTRUCTION OF NEW BUILDING AND PARKING AREA SHOWN ON THE PLAN, THE IMPERVIOUS AREA = 23,013 SQUARE FEET =0.53 AC.

SEE ATTACHED COPUTER PRINT OUT FOR PRE AND POST RUNOFF OF 25 YEAR FREQUENCY

EXISTING CONDITION RUNOFF = 1196 CU.FT.

PROPOSED CONDITION RUNOFF = 2562CU.FT.

ROUTING THE RUNOFF INCREAMENT THROUGH 4’ X 4’ X 8 FT. LONG REQUIRED 23 UNITS SHOWN ON THE PLAN. COMPUTED RUNOFF STORAGE PROVIDED 5521 CU.FT.

WATER QUALITY VOLUME

1” OF RUNOFF FROM PROPOSED IMPERVIOUS AREA REQUIRED =23013 x1/12 =1917.75 CU.FT.

PROVIDED VOLUME 5521 CU.FT.

Hydrograph Return Period Recap

Hydraflow Hydrographs by Intelisolve v9.02

Hyd. No.	Hydrograph type (origin)	Inflow Hyd(s)	Peak Outflow (cfs)								Hydrograph description
			1-Yr	2-Yr	3-Yr	5-Yr	10-Yr	25-Yr	50-Yr	100-Yr	
1	SCS Runoff	-------	-------	0.361	-------	0.680	0.931	1.196	1.632	1.796	440 BUNNELL ST--SCS25 YR--PRE
2	SCS Runoff	-------	-------	1.471	-------	1.927	2.244	2.562	3.060	3.241	440 BUNNELL ST.-SCS25YR--POST
3	Reservoir	2	-------	0.000	-------	0.301	0.413	0.508	0.633	0.673	STORAGE

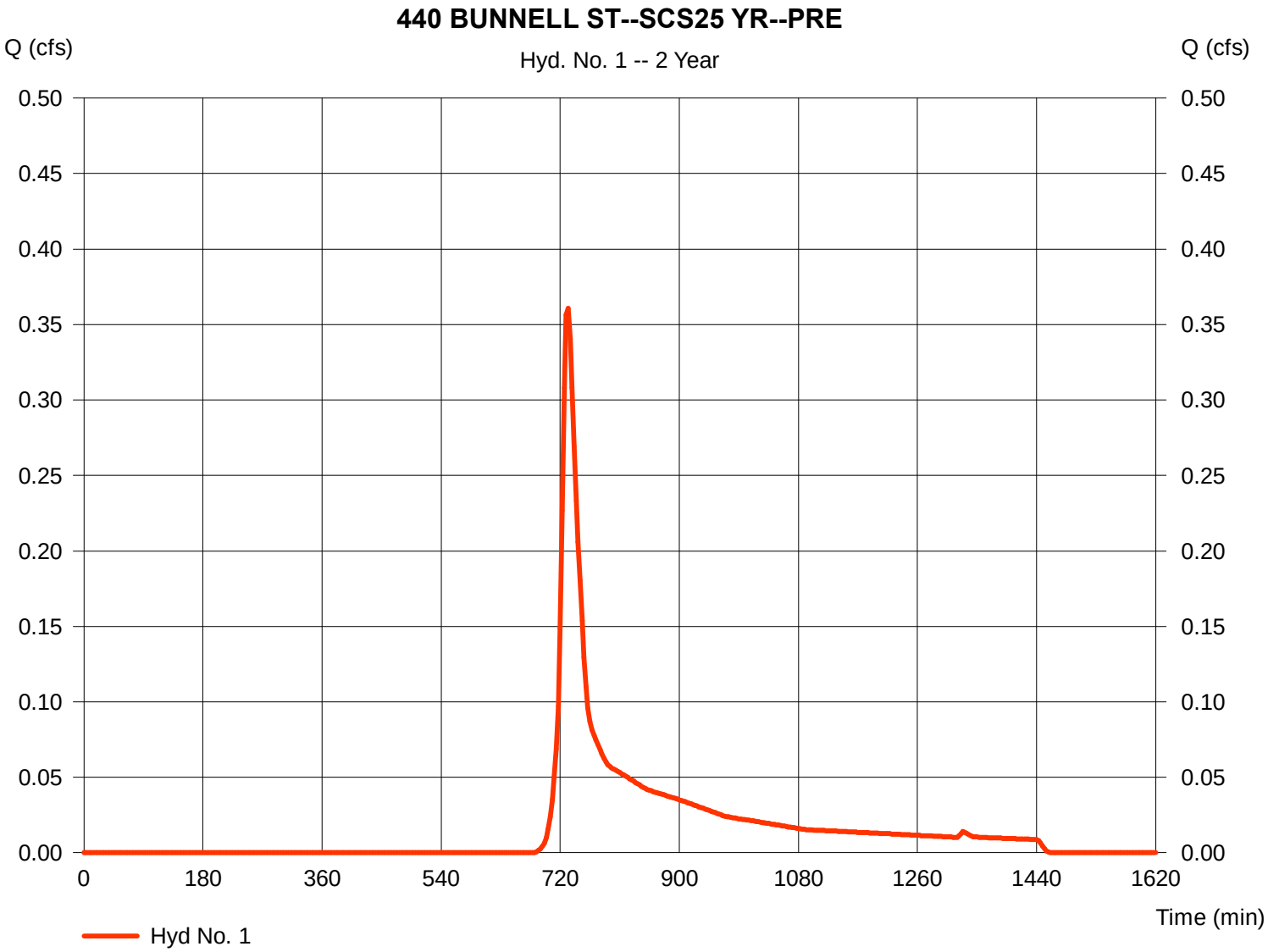
Hydrograph Report

Hydraflow Hydrographs by Intelisolve v9.02 Friday, Jul 16, 2021

Hyd. No. 1

440 BUNNELL ST--SCS25 YR--PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 0.361 cfs
Storm frequency	= 2 yrs	Time to peak	= 732 min
Time interval	= 3 min	Hyd. volume	= 1,609 cuft
Drainage area	= 0.530 ac	Curve number	= 69
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 10.00 min
Total precip.	= 3.30 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

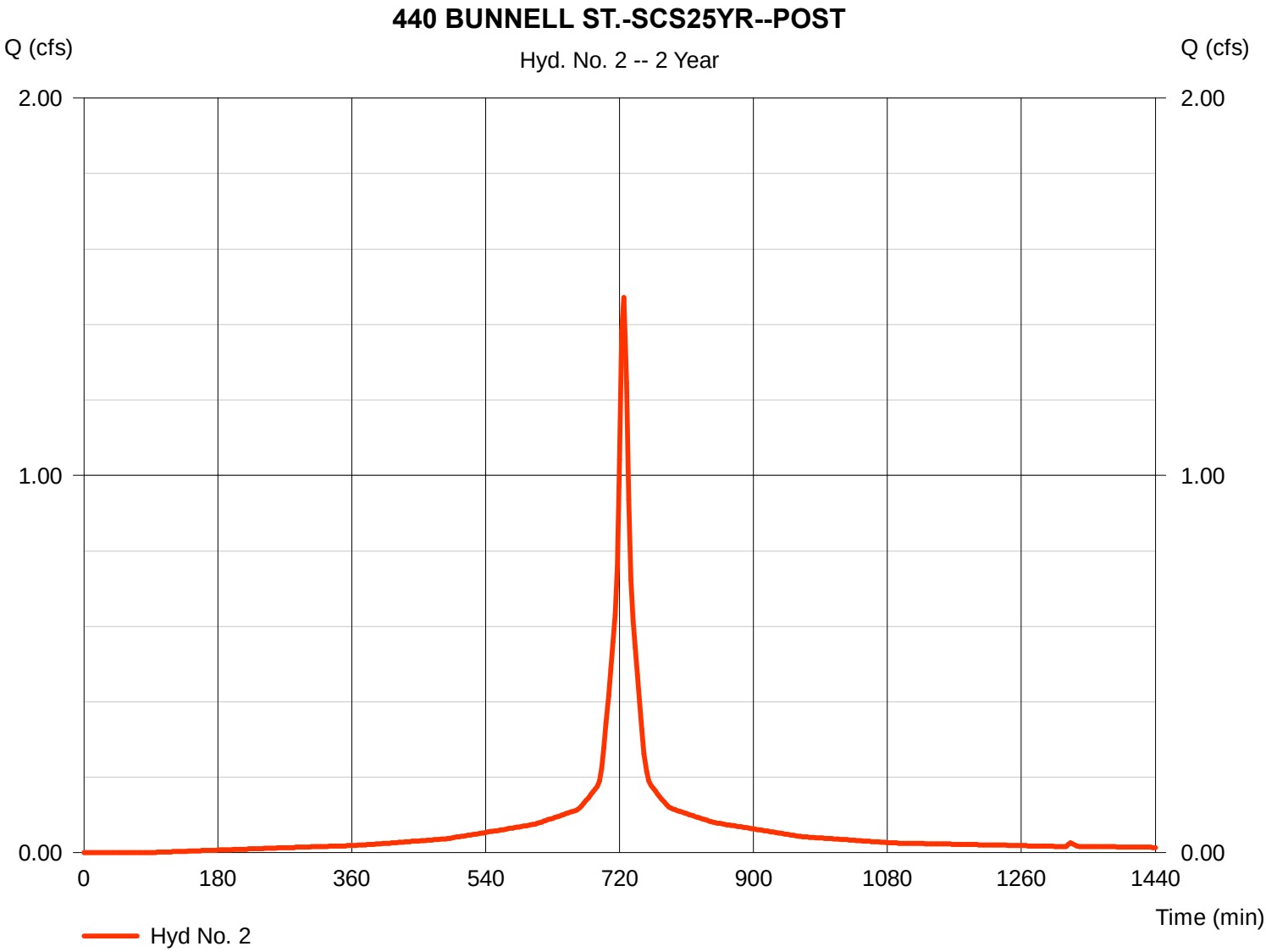


Hydrograph Report

Hyd. No. 2

440 BUNNELL ST.-SCS25YR--POST

Hydrograph type	=	SCS Runoff	Peak discharge	=	1.471 cfs
Storm frequency	=	2 yrs	Time to peak	=	726 min
Time interval	=	3 min	Hyd. volume	=	5,532 cuft
Drainage area	=	0.530 ac	Curve number	=	98
Basin Slope	=	0.0 %	Hydraulic length	=	0 ft
Tc method	=	USER	Time of conc. (Tc)	=	5.00 min
Total precip.	=	3.30 in	Distribution	=	Type III
Storm duration	=	24 hrs	Shape factor	=	484



Hydrograph Report

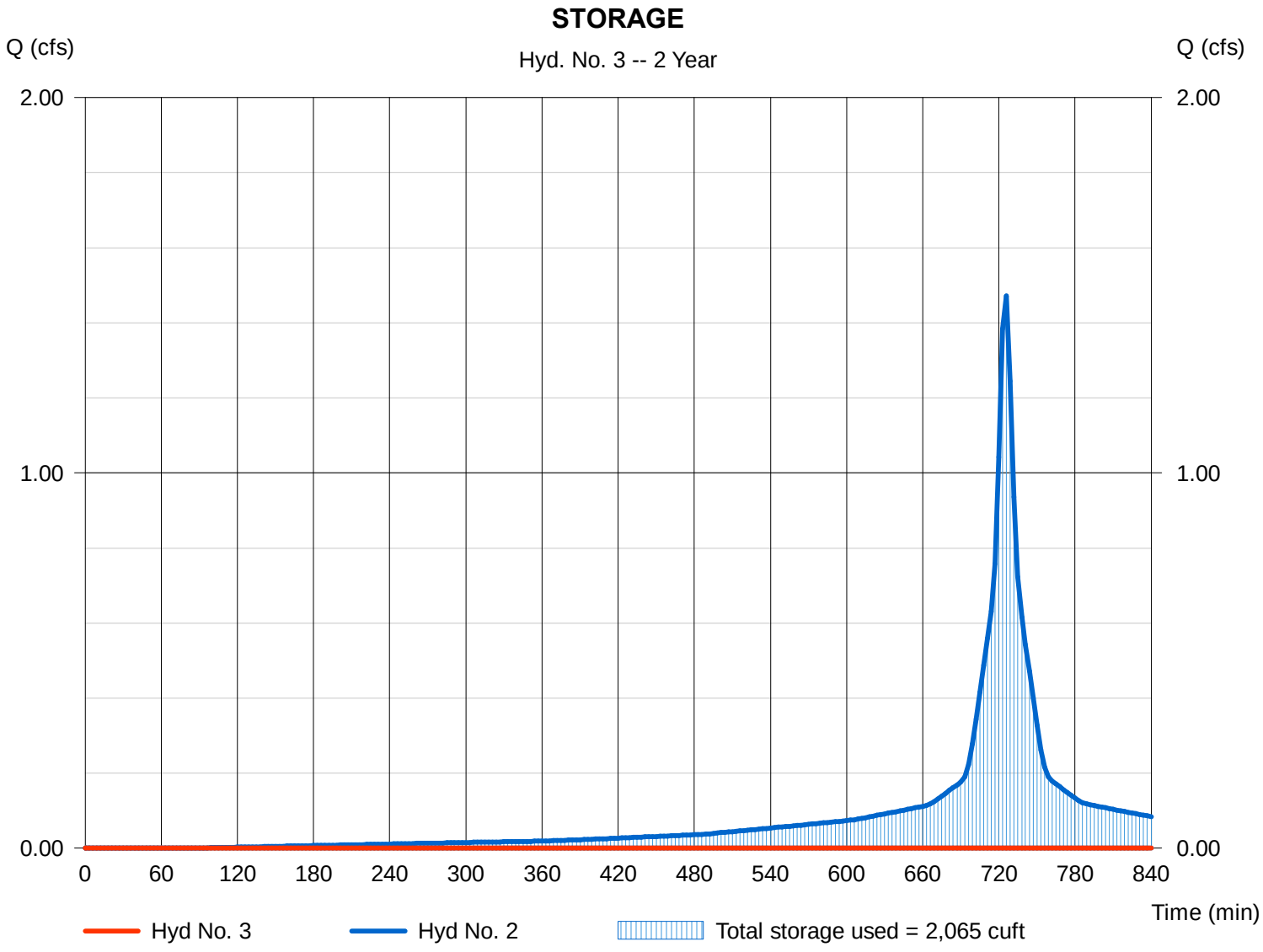
Hydraflow Hydrographs by Intelisolve v9.02 Friday, Jul 16, 2021

Hyd. No. 3

STORAGE

Hydrograph type	=	Reservoir	Peak discharge	=	0.000 cfs
Storm frequency	=	2 yrs	Time to peak	=	759 min
Time interval	=	3 min	Hyd. volume	=	0 cuft
Inflow hyd. No.	=	2 - 440 BUNNELL ST.-SCS25YR--POST	Max. Elevation	=	17.50 ft
Reservoir name	=	STORAGE	Max. Storage	=	2,065 cuft

Storage Indication method used. Exfiltration extracted from Outflow.

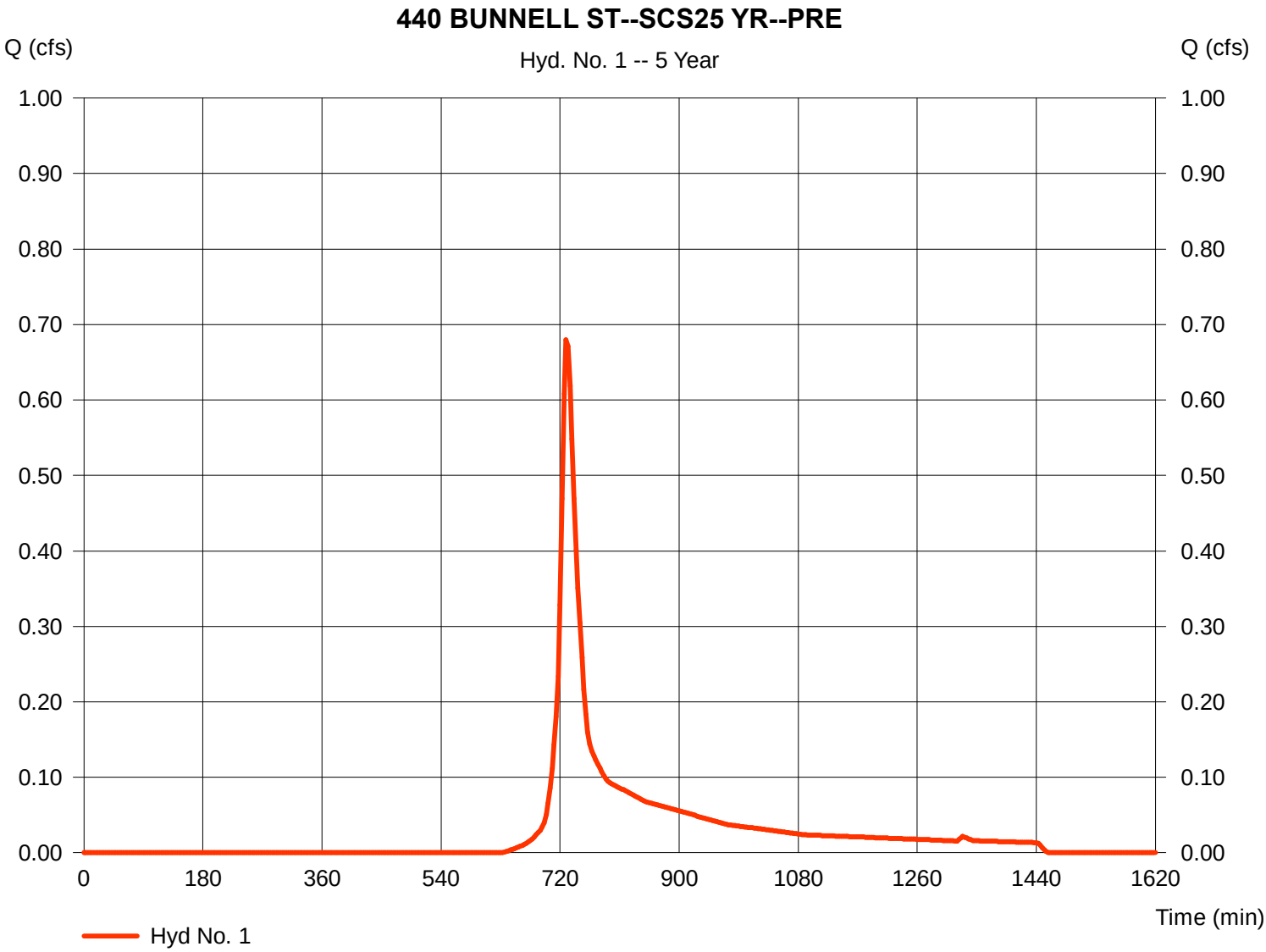


Hydrograph Report

Hyd. No. 1

440 BUNNELL ST--SCS25 YR--PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 0.680 cfs
Storm frequency	= 5 yrs	Time to peak	= 729 min
Time interval	= 3 min	Hyd. volume	= 2,820 cuft
Drainage area	= 0.530 ac	Curve number	= 69
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 10.00 min
Total precip.	= 4.30 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

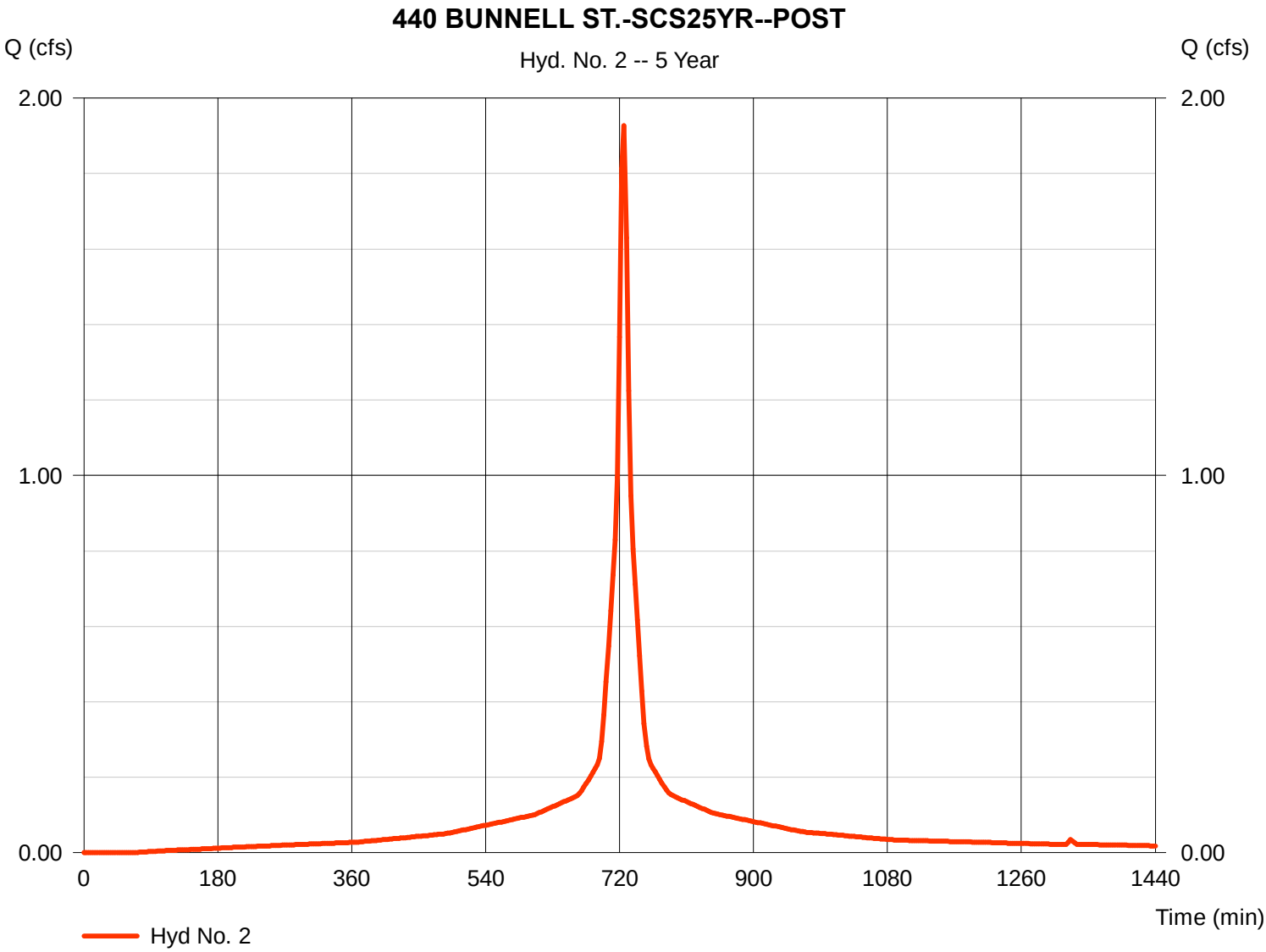


Hydrograph Report

Hyd. No. 2

440 BUNNELL ST.-SCS25YR--POST

Hydrograph type	=	SCS Runoff	Peak discharge	=	1.927 cfs
Storm frequency	=	5 yrs	Time to peak	=	726 min
Time interval	=	3 min	Hyd. volume	=	7,331 cuft
Drainage area	=	0.530 ac	Curve number	=	98
Basin Slope	=	0.0 %	Hydraulic length	=	0 ft
Tc method	=	USER	Time of conc. (Tc)	=	5.00 min
Total precip.	=	4.30 in	Distribution	=	Type III
Storm duration	=	24 hrs	Shape factor	=	484



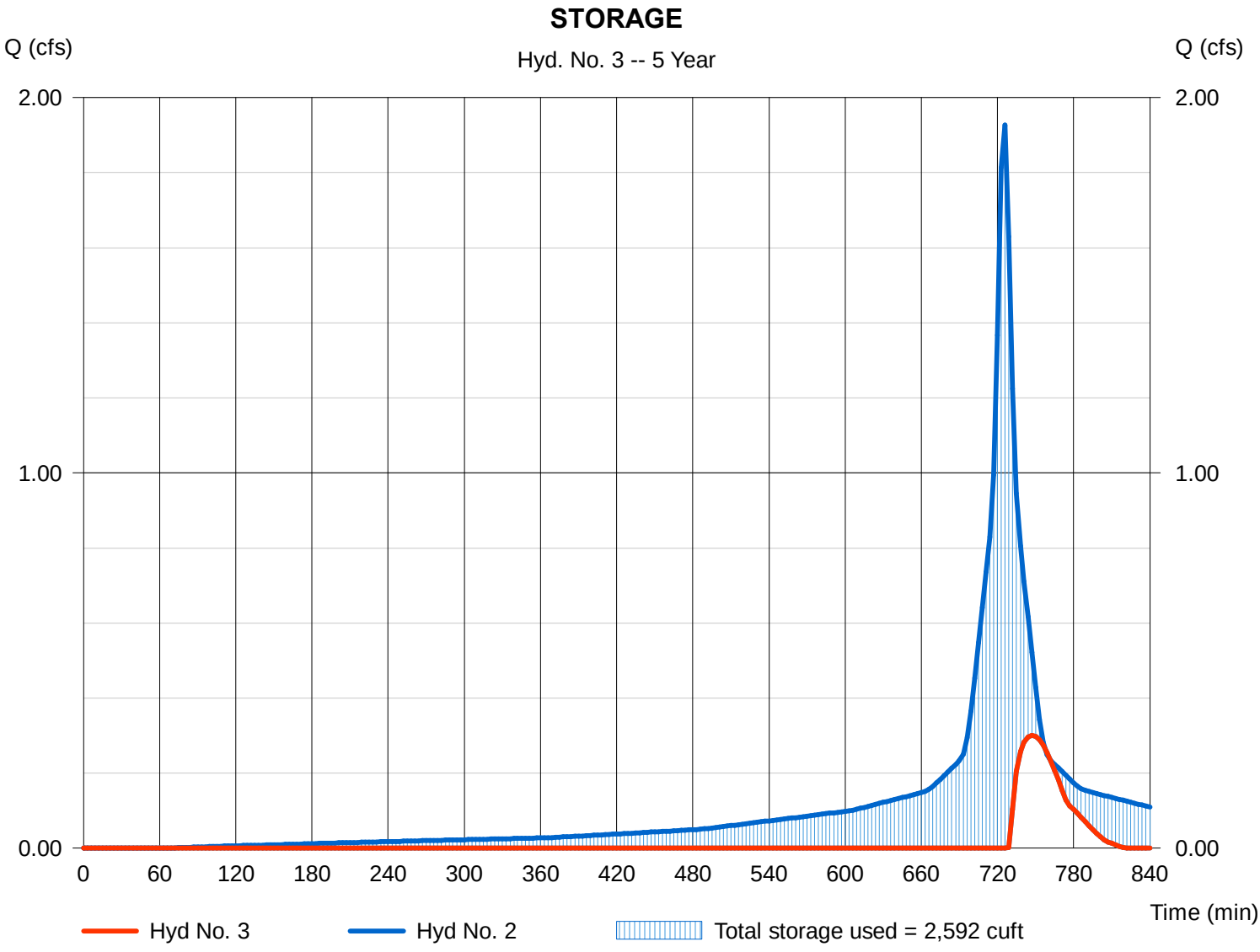
Hydrograph Report

Hyd. No. 3

STORAGE

Hydrograph type	=	Reservoir	Peak discharge	=	0.301 cfs
Storm frequency	=	5 yrs	Time to peak	=	747 min
Time interval	=	3 min	Hyd. volume	=	753 cuft
Inflow hyd. No.	=	2 - 440 BUNNELL ST.-SCS25YR--POST	Max. Elevation	=	18.19 ft
Reservoir name	=	STORAGE	Max. Storage	=	2,592 cuft

Storage Indication method used. Exfiltration extracted from Outflow.

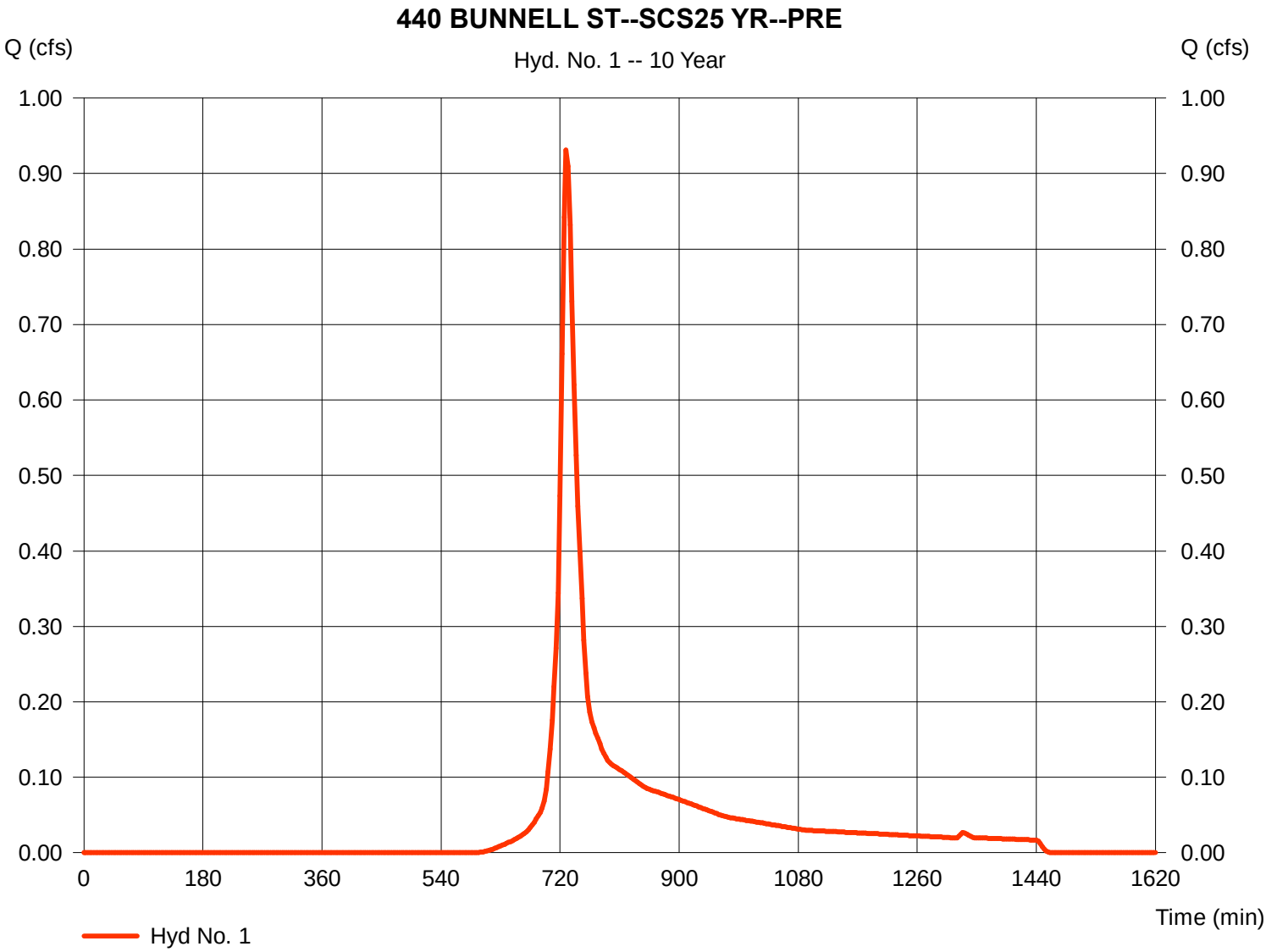


Hydrograph Report

Hyd. No. 1

440 BUNNELL ST--SCS25 YR--PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 0.931 cfs
Storm frequency	= 10 yrs	Time to peak	= 729 min
Time interval	= 3 min	Hyd. volume	= 3,766 cuft
Drainage area	= 0.530 ac	Curve number	= 69
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 10.00 min
Total precip.	= 5.00 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

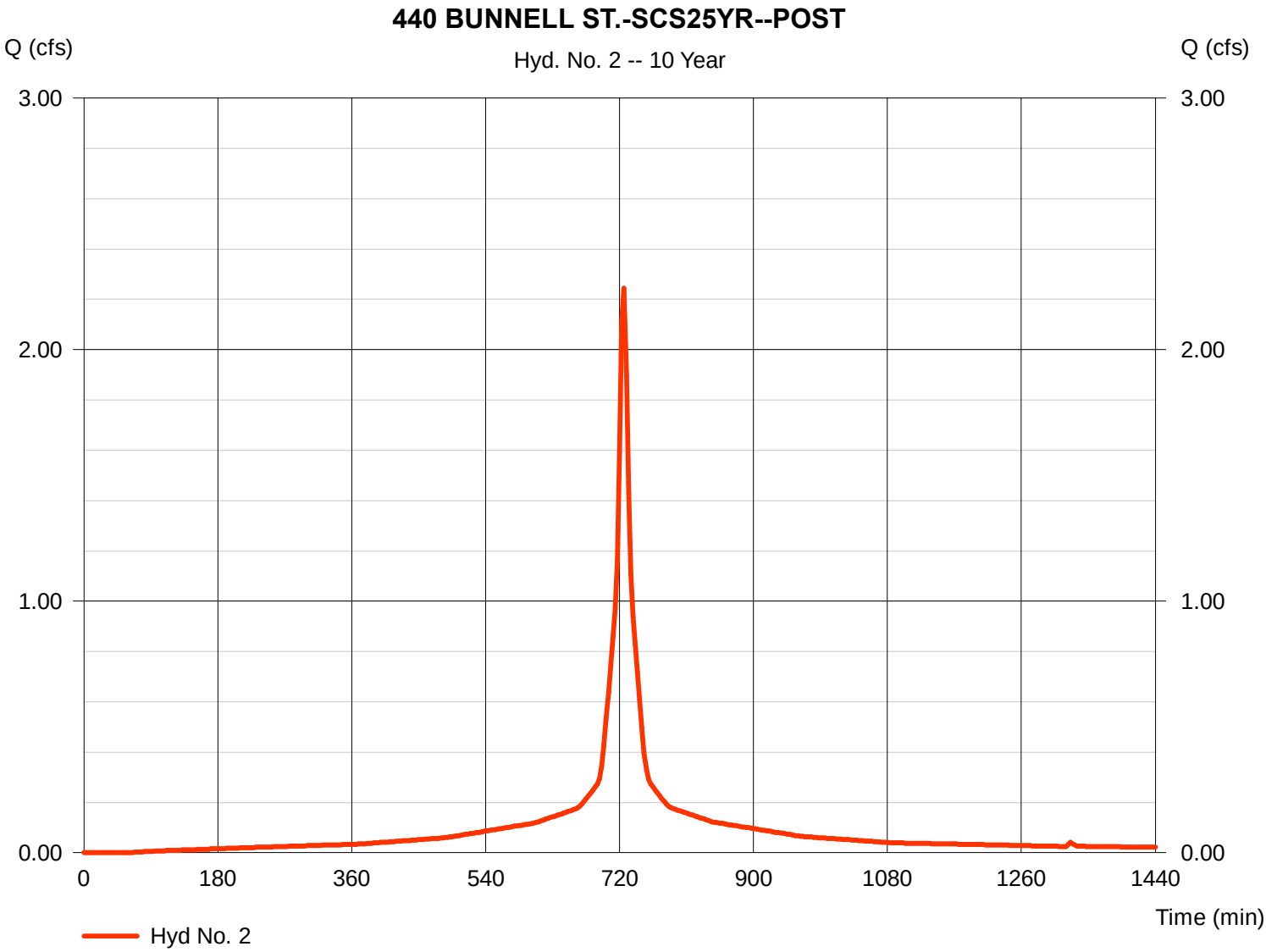


Hydrograph Report

Hyd. No. 2

440 BUNNELL ST.-SCS25YR--POST

Hydrograph type	=	SCS Runoff	Peak discharge	=	2.244 cfs
Storm frequency	=	10 yrs	Time to peak	=	726 min
Time interval	=	3 min	Hyd. volume	=	8,591 cuft
Drainage area	=	0.530 ac	Curve number	=	98
Basin Slope	=	0.0 %	Hydraulic length	=	0 ft
Tc method	=	USER	Time of conc. (Tc)	=	5.00 min
Total precip.	=	5.00 in	Distribution	=	Type III
Storm duration	=	24 hrs	Shape factor	=	484



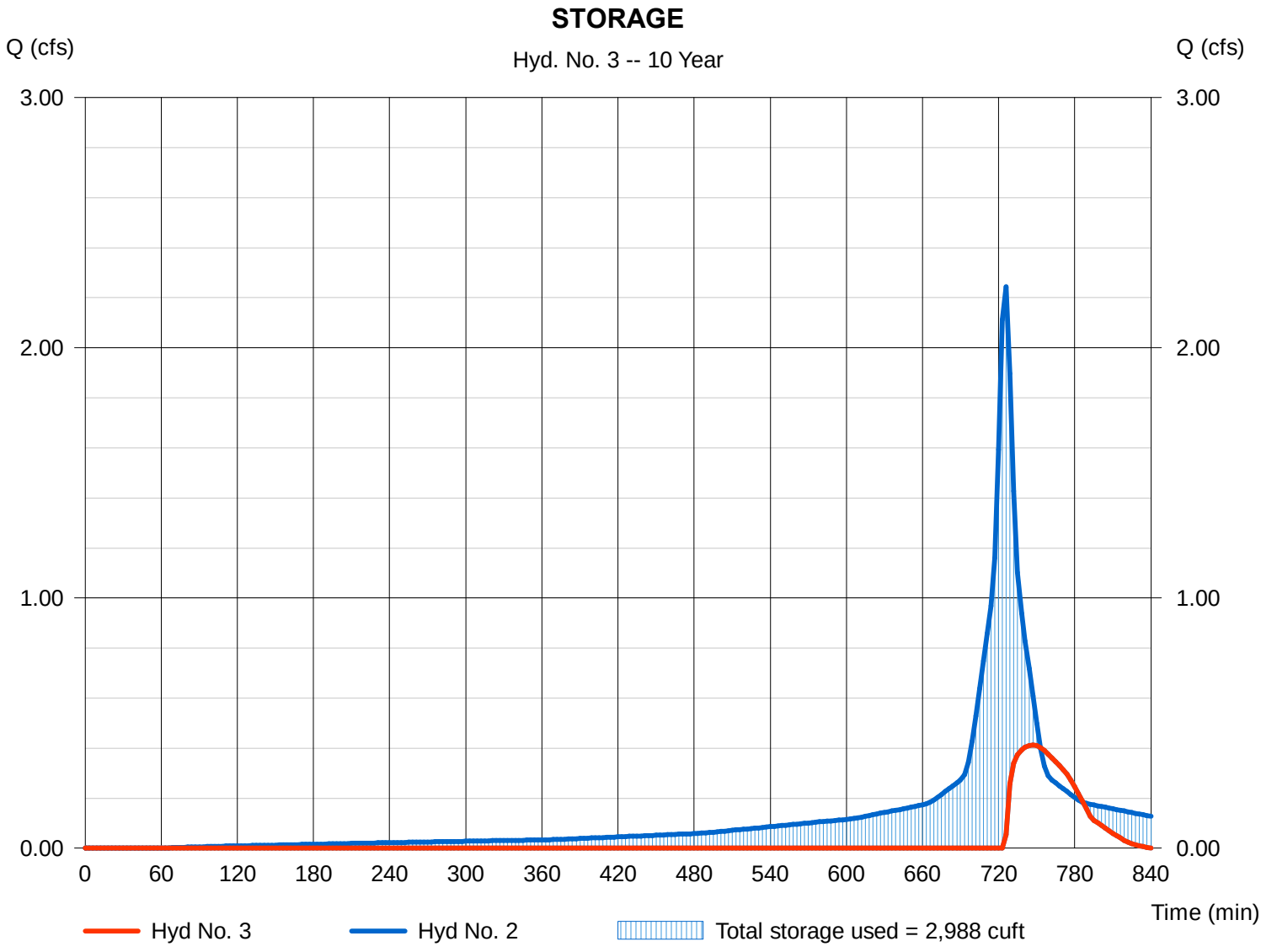
Hydrograph Report

Hyd. No. 3

STORAGE

Hydrograph type	=	Reservoir	Peak discharge	=	0.413 cfs
Storm frequency	=	10 yrs	Time to peak	=	747 min
Time interval	=	3 min	Hyd. volume	=	1,406 cuft
Inflow hyd. No.	=	2 - 440 BUNNELL ST.-SCS25YR--POST	Max. Elevation	=	18.64 ft
Reservoir name	=	STORAGE	Max. Storage	=	2,988 cuft

Storage Indication method used. Exfiltration extracted from Outflow.

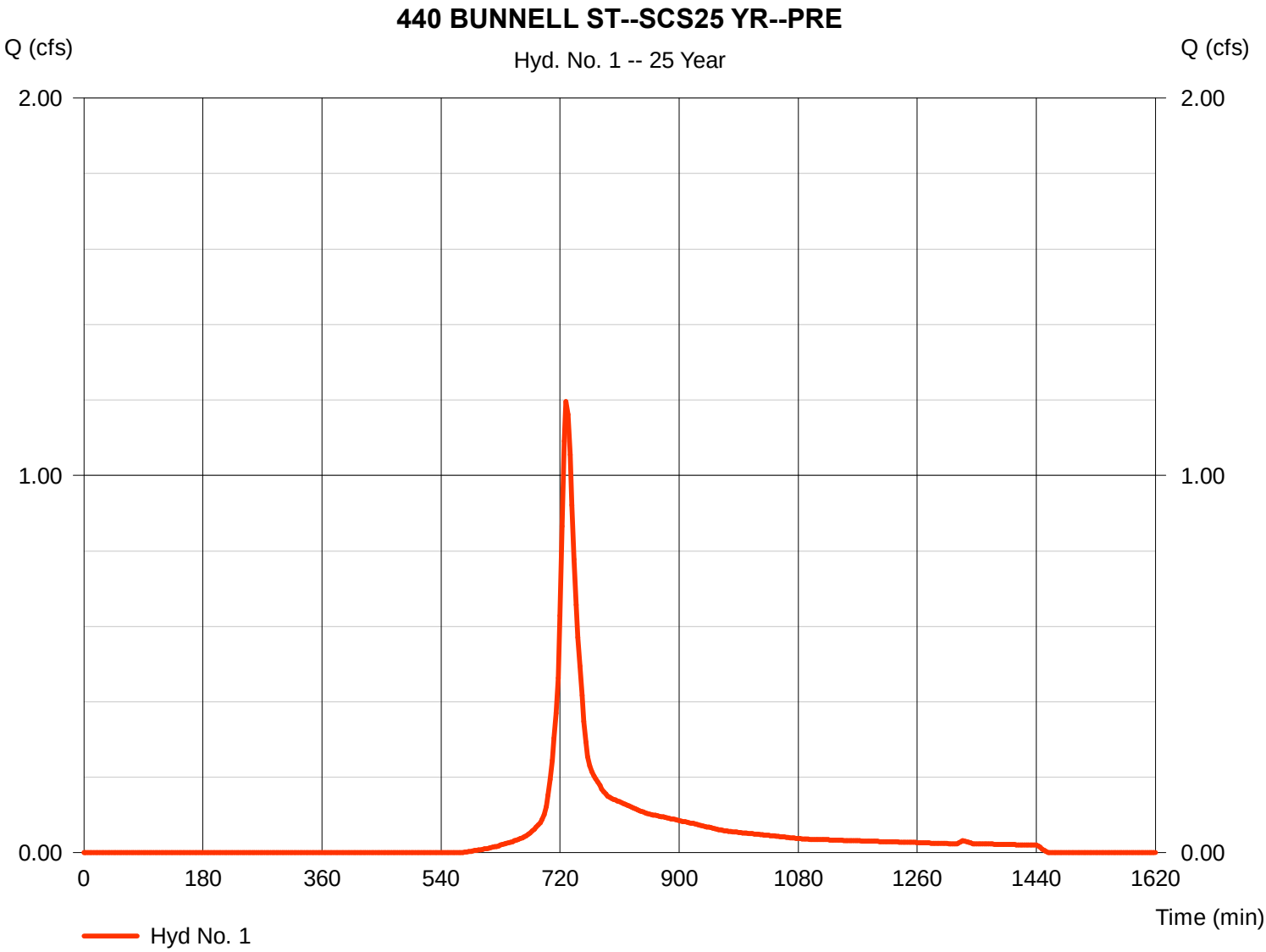


Hydrograph Report

Hyd. No. 1

440 BUNNELL ST--SCS25 YR--PRE

Hydrograph type	= SCS Runoff	Peak discharge	= 1.196 cfs
Storm frequency	= 25 yrs	Time to peak	= 729 min
Time interval	= 3 min	Hyd. volume	= 4,772 cuft
Drainage area	= 0.530 ac	Curve number	= 69
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= USER	Time of conc. (Tc)	= 10.00 min
Total precip.	= 5.70 in	Distribution	= Type III
Storm duration	= 24 hrs	Shape factor	= 484

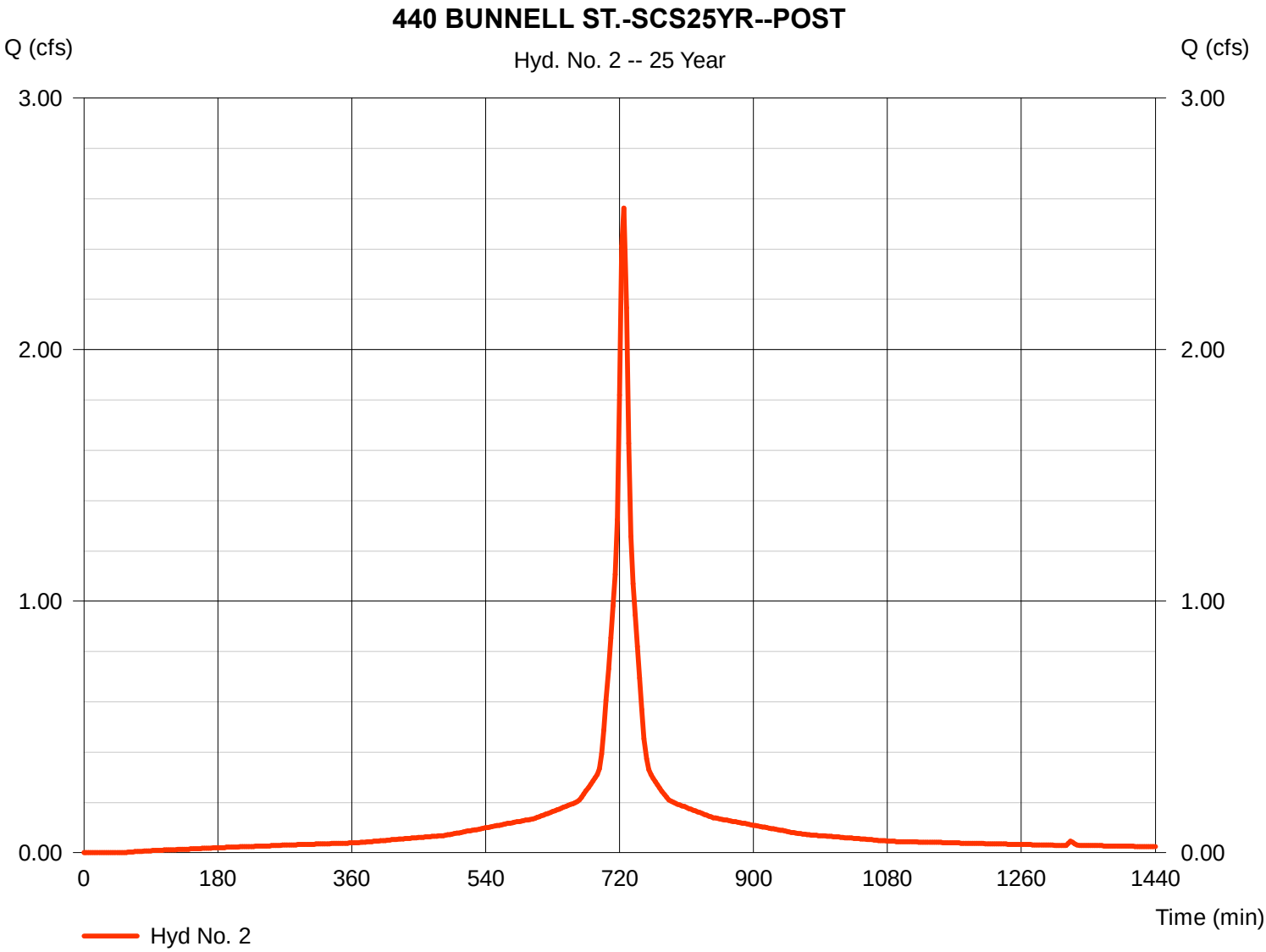


Hydrograph Report

Hyd. No. 2

440 BUNNELL ST.-SCS25YR--POST

Hydrograph type	=	SCS Runoff	Peak discharge	=	2.562 cfs
Storm frequency	=	25 yrs	Time to peak	=	726 min
Time interval	=	3 min	Hyd. volume	=	9,852 cuft
Drainage area	=	0.530 ac	Curve number	=	98
Basin Slope	=	0.0 %	Hydraulic length	=	0 ft
Tc method	=	USER	Time of conc. (Tc)	=	5.00 min
Total precip.	=	5.70 in	Distribution	=	Type III
Storm duration	=	24 hrs	Shape factor	=	484



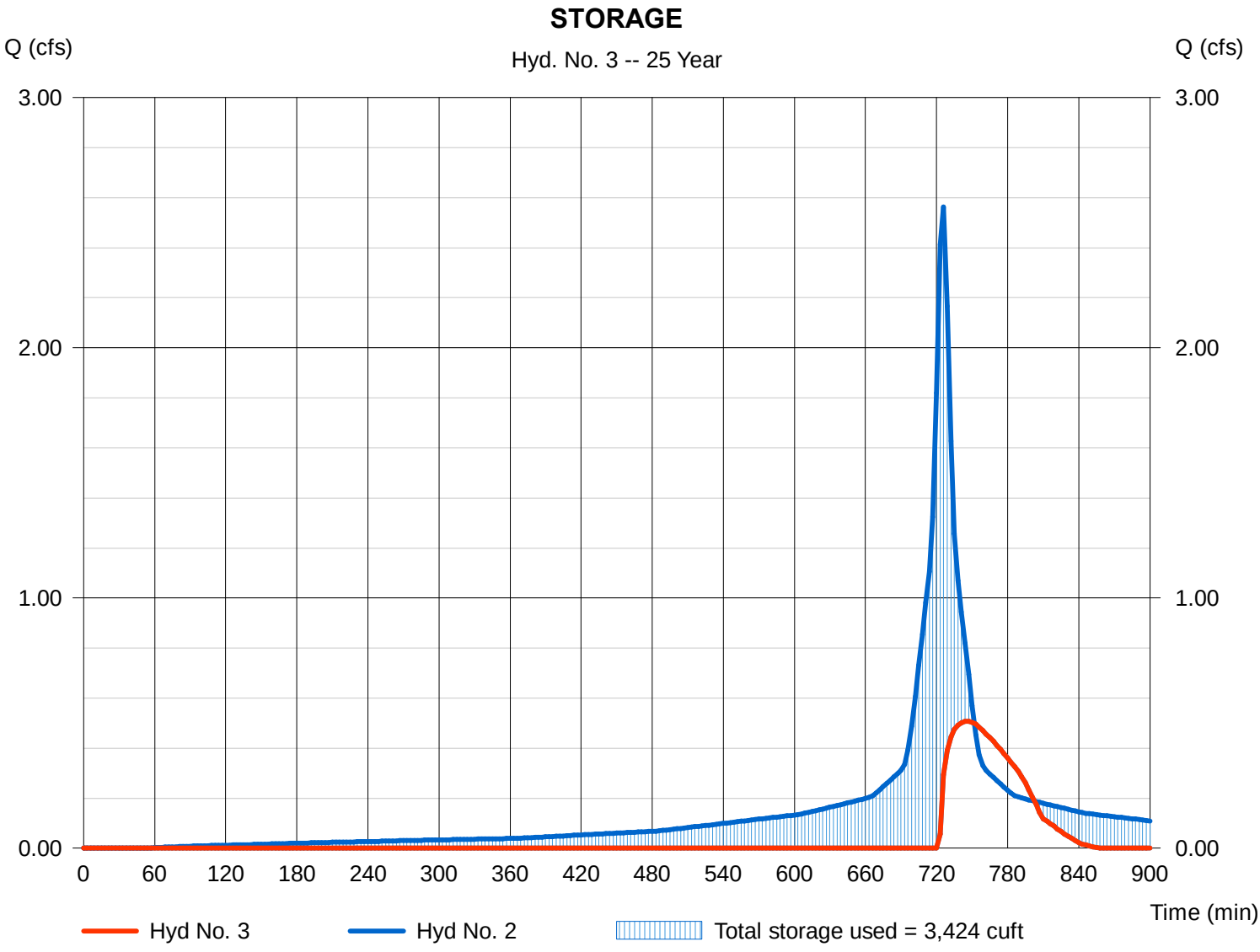
Hydrograph Report

Hyd. No. 3

STORAGE

Hydrograph type	=	Reservoir	Peak discharge	=	0.508 cfs
Storm frequency	=	25 yrs	Time to peak	=	747 min
Time interval	=	3 min	Hyd. volume	=	2,086 cuft
Inflow hyd. No.	=	2 - 440 BUNNELL ST.-SCS25YR--POST	Max. Elevation	=	19.13 ft
Reservoir name	=	STORAGE	Max. Storage	=	3,424 cuft

Storage Indication method used. Exfiltration extracted from Outflow.



PROPERTY OWNER'S LIST

1. Location: 397 Bunnell St.
   Owner: QUEENS GRANT LP
   Address: 964 Crescent Ave, Bridgeport, CT 06607

2 Location: 400 Bunnell St.
   Owner: Bridgeport Economic Dev. Corp/
   Agent for City of Bridgeport.
   Address: 10 Middle St, Bridgeport, CT 06604

3. Location: 412 Bunnell St. #414
   Owner: LOGA LLC
   Address: 11 Ginger Circle, Fairfield, CT 06825

4. Location: 416 Bunnell St.
   Owner: NOGLA LLC
   Address: 11 Ginger Circle, Fairfield, CT 06825

5. Location: 417 Bunnell St.
   Owner: Queens Grant Limited
   Co-Owner: Partnership c/o E D Harrington
   Address: 964 Crescent Ave, Bridgeport, CT 06607

6. Location: 447 Bunnell St. #449
   Owner: Queens Grant LP
   Address: 964 Crescent Ave, Bridgeport, CT 06607

7. Location: 448 Bunnell St. #450
   Owner: Bridgeport Economic Dev Corp./
   Agent for City of Bridgeport
   Address: 10 Middle St, Bridgeport, CT 06604

8. Location: 455 Bunnell St. #457
   Owner: Queens Grant LP
   Address: 964 Crescent Ave, Bridgeport, CT 06607

9. Location: 461 Bunnell St. #463
   Owner: Queens Grant LP
   Address: 964 Crescent Ave, Bridgeport, CT 06607

10. Location: 480 Bunnell St.
    Owner: Sharon Holdings Inc.
    Address: 222 Selleck, CT 06902

11. Location: 1231 Central Ave.
    Owner: WC McBride Realty MNGT LLC
    Address: 1231 Central Ave, Bridgeport, CT 06608

12. Location: 1239 Central Ave.
    Owner: WC McBride Realty MNGT LLC
    Address: 1239 Central Ave, Bridgeport, CT 06608

13. Location: 1240 Central Ave.
    Owner: American UV Depot LLC
    Address: 4 Jenick Ln, Woodbridge, CT 06525

14. Location: 1251 Central Ave.
    Owner: WC McBride Realty MNGT LLC
    Address: 1251 Central Ave, Bridgeport, CT 06608

15. Location: 1271 Central Ave. #1275
    Owner: WC McBride Realty MNGT LLC
    Address: 1271 Central Ave. #1275, Bridgeport, CT 06608

16. Location: 169 Williston St. #175
    Owner: WC McBride Realty MNGT LLC
    Address: 169 Williston St. # 175, Bridgeport, CT 06608

SECRETARY OF THE STATE OF CONNECTICUT

MAILING ADDRESS: COMMERCIAL RECORDING DIVISION, CONNECTICUT SECRETARY OF THE STATE, P.O. BOX 150470, HARTFORD, CT 06115-0470

DELIVERY ADDRESS: COMMERCIAL RECORDING DIVISION, CONNECTICUT SECRETARY OF THE STATE, 30 TRINITY STREET, HARTFORD, CT 06106

PHONE: 860-509-6003 **WEBSITE:** www.concord-sots.ct.gov

INTERIM NOTICE OF CHANGE OF MANAGER/MEMBER

LIMITED LIABILITY COMPANY-DOMESTIC & FOREIGN

C.G.S. §§34-106, 34-229

USE INK. COMPLETE ALL SECTIONS. PRINT OR TYPE. ATTACH 81/2 X 11 SHEETS IF NECESSARY.

FILING PARTY *(CONFIRMATION WILL BE SENT TO THIS ADDRESS)*:

NAME: Jai R. Singh

ADDRESS: 86 Ironwood Road

CITY: Trumbull

STATE: CT ZIP: 06611

FILING FEE: $20

MAKE CHECKS PAYABLE TO "SECRETARY OF THE STATE"

1. COMPLETE NAME OF LIMITED LIABILITY COMPANY REQUIRED: (MUST MATCH OUR RECORDS EXACTLY AND INCLUDE BUSINESS DESIGNATION I.E. LLC, L.L.C., ETC.)

NANO SOLUTIONS LLC

2. *NEW MANAGER/MEMBER INFORMATION: (NEW INFORMATION MUST INCLUDE NAME, TITLE, RESIDENCE AND BUSINESS ADDRESS)

NOTE: ADDING A NEW MANAGER/MEMBER DOES NOT REPLACE EXISTING MANAGER/MEMBER. PROCEED TO SECTION 3 TO REMOVE EXISTING MANAGER/MEMBER, IF APPLICABLE.

NAME: Jai R. Singh **TITLE:** Member

RESIDENCE ADDRESS: *(P.O.BOX UNACCEPTABLE)*

ADDRESS: 86 Ironwood Road

CITY: Trumbull

STATE: CT ZIP: 06611

BUSINESS ADDRESS: *(P.O.BOX UNACCEPTABLE)*

ADDRESS: 86 Ironwood Road

CITY: Trumbull

STATE: CT ZIP: 06611

NAME: **TITLE:**

RESIDENCE ADDRESS: *(P.O.BOX UNACCEPTABLE)*

ADDRESS:

CITY:

STATE: ZIP:

BUSINESS ADDRESS: *(P.O.BOX UNACCEPTABLE)*

ADDRESS:

CITY:

STATE: ZIP:

NAME: TITLE:

RESIDENCE ADDRESS: *(P.O.BOX UNACCEPTABLE)*

ADDRESS:

CITY:

STATE: ZIP:

BUSINESS ADDRESS: *(P.O.BOX UNACCEPTABLE)*

ADDRESS:

CITY:

STATE: ZIP:

3. MANAGER(S)/MEMBER(S) WHO HAVE CEASED TO BE MANAGER(S)/MEMBER(S):

NOTE: NAME AND TITLE MUST MATCH OUR RECORDS EXACTLY OTHERWISE CHANGES WILL NOT BE REFLECTED. BE CAREFUL TO INCLUDE ITEMS SUCH AS JR., SR., MIDDLE INITIALS, ETC. CHECK CONCORD ONLINE FOR NAME OF RECORD. INDIVIDUAL/ENTITY WILL ONLY BE REMOVED FROM THOSE TITLES INDICATED, THEREFORE, BE SURE TO INCLUDE ALL APPLICABLE TITLES.

NAME: Sonali Singh	**TITLE:** Member
NAME:	**TITLE:**
NAME:	**TITLE:**
NAME:	**TITLE:**
NAME:	**TITLE:**

4. EXECUTION - REQUIRED: *(SUBJECT TO PENALTY OF FALSE STATEMENT)*

DATED THIS 10th **DAY** of October **, 20**10

NAME OF SIGNATORY	CAPACITY/TITLE OF SIGNATORY	SIGNATURE
Jai R. Singh	Member	

**NOTE: LLC'S MAY HAVE MANY MANAGERS/MEMBERS, HOWEVER ONLY UP TO THREE OF THOSE PROVIDED WILL BE SHOWN ON THE DATABASE. ADDITIONAL NAMES WILL BE AVAILABLE BY REQUESTING COPIES OF THE ORIGINAL FILING.*

BUSINESS FILING REPORT

WORK ORDER NUMBER:2010244716-001
BUSINESS FILING NUMBER: 0004256335

BUSINESS NAME:

NANO SOLUTIONS LLC

BUSINESS LOCATION:

86 IRONWOOD ROAD
TRUMBULL,CT 06611

MAILING ADDRESS:

86 IRONWOOD ROAD
TRUMBULL,CT 06611

MEMBER INFORMATION FOR ONE MEMBER:

NAME:JAI R. SINGH
TITLE:MEMBER

** END OF REPORT **

SECRETARY OF THE STATE
30 TRINITY STREET
P.O. BOX 150470
HARTFORD, CT 06115-0470

OCTOBER 14,2010

JAI SINGH
86 IRONWOOD RD.
TRUMBULL, CT 06611

RE: Acceptance of Business Filing

This letter is to confirm the acceptance of a filing for the following business:

NANO SOLUTIONS LLC

Work Order Number: 2010244716-001
Business Filing Number: 0004256335
Type of Request: LIMITED LIABILITY INTERIM NOTICE
File Date/Time: OCT 14 2010 08:30 AM
Effective Date/Time:
Work Order Payment Received: 20.00
Payment Received: 20.00
Credit on Account: .00
Customer Id: 001864309
Business Id: 0848583

SUSAN LOGATTO
Commercial Recording Division
860-509-6025
WWW.CONCORD.SOTS.CT.GOV

CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** 547 N Ave Bridgeport Realty LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 547 North Avenue, Bridgeport, CT 06606
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 53/1514 Lot No. 1
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section: _____
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 225.24' x 15.00' x 217.22' x 123.28'
7. Existing Zone Classification: I-L
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Petitioner proposes to create approximately 850 SF retail convenience store within an existing building as an accessory use to the existing vehicle service facility

Approval(s) requested: Special Permit and Site Plan Review

Signature: _____ **Date**: 06/10/2021

Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____

Print Name: _____

Mailing Address: c/o Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Rd, Fairfield, CT 06824

Phone: 203-528-0590 Cell: 203-528-0590 Fax: 203-255-6618

E-mail Address: Chris@russorizio.com

$ _____ Fee received **Date**: _____ **Clerk**: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- ■ Completed & Signed Application Form
- ■ Completed Site / Landscape Plan
- ■ Written Statement of Development and Use
- ■ Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- ■ A-2 Site Survey
- □ Drainage Plan
- ■ Property Owner's List
- ■ Building Floor Plans
- ■ Building Elevations
- ■ Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

547 N Ave Bridgeport Realty LLC		06/10/2021
Print Owner's Name	Owner's Signature	Date
Print Owner's Name	Owner's Signature	Date

Rev. 6/18/2016

PROPERTIES WITHIN 100' OF 547 NORTH AVENUE

PROPERTY ADDRESS	OWNERS NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
596 NORTH AV	MCKENZIE DORETH	747 LAUREL AVE	BRIDGEPORT	CT	06604
635 NORTH AV	EZ REALTY LLC	643 NORTH AVE	BRIDGEPORT	CT	06606
625 NORTH AV	BRACAGLIA PAOLO	291 TOLL HOUSE LN	FAIRFIELD	CT	06825
580 NORTH AV #582	580 NORTH AVE LLC	580-582 NORTH AVE	BRIDGEPORT	CT	06604
547 NORTH AV	547 N AVENUE BRIDGEPORT REALTY LLC	555 S COLUMBUS AVE	MOUNT VERNON	NY	10550
608 NORTH AV #630	MCKENZIE DORETH	747 LAUREL AVE	BRIDGEPORT	CT	06604
529 NORTH AV	MTM FAMILY LIMITED PARTNERSHIP	1137 SEAVIEW AVE	BRIDGEPORT	CT	06607
615 NORTH AV	615 NORTH AVE LLC	580 NORTH AVE	BRIDGEPORT	CT	06606
584 NORTH AV #588	MCCARTHY WILLIAM C	134 SUNRISE HILL CIR	ORANGE	CT	06477
10 EVERGREEN ST	10 EVERGREEN ST LLC	59 CHAMBERLAIN DR	SHELTON	CT	06484
55 RANDALL AV #61	GBC COMPANY INC	128 FERNWOOD RD	TRUMBULL	CT	06611

Russo & Rizio, LLC
ATTORNEYS AT LAW

Colin B. Connor
Robert G. Golger
David K. Kurata
Katherine M. Macol
Victoria Miller
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

June 10, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Special Permit and Site Plan Review – 547 North Avenue

Dear Mr. Buckley:

Please accept, on behalf of 547 N Ave Bridgeport Realty, LLC, (the "Petitioner"), the following narrative and enclosed application materials as part of an application for Special Permit and Site Plan Review of the Bridgeport Zoning Regulations (the "Regulations") for the property located at 547 North Avenue (the "Site") to create an approximately 850 SF retail convenience store within an existing building as an accessory use to the existing motor vehicle service gas station in the I-L Zone.

Proposed Development

The Petitioner requests approval of a special permit and site plan review under the Regulations. The Site is located at the intersection of North Avenue and Housatonic Avenue and contains Six thousand two hundred and thirty-seven square feet (6,237 SF). The Site is in the I-L Zone and is located in a mixed industrial-commercial corridor. The Site currently contains four (4) separate entrance/exit driveways onto Housatonic and North Avenues. The Site contains seven (7) off-street parking spaces, which exceeds the requirement by two (2) spaces, including a handicap accessible space. The Petitioner proposes over twenty-five percent (25%) of the lot area to be landscaped, which is over ten percent (10%) of the requirement in the I-L Zone.

The Petitioner proposes to convert eight hundred and fifty square feet (850 sq. ft.) of the interior of an existing vehicle service facility into a retail convenience store. A vehicle service facility with gasoline fuel sales is permitted in the zone, while a non-automotive retail store requires a Special Permit and Site Plan Review. The Petitioner currently owns and operates the existing vehicle service facility, which offers gasoline fuel sales at five (5) different pump stations. The retail convenience store will sell consumer products typically found at related gasoline convenience stores, such as Cumberland Farms.

The proposed retail convenience store is compatible with and implement the objectives and policies of Bridgeport's Master Plan of Conservation and Development, which contemplated mixed

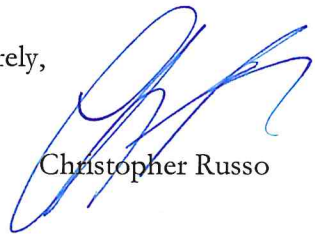
10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

uses in light industrial areas, including the Enterprise Zone neighborhood. The proposed accessory commercial retail use fits this objective. The retail use will add a convenient resource to the surrounding area. Since the proposed off-street parking exceeds its requirement, the Petition will not have any negative impact on the surrounding neighborhood in terms of parking and it will not impair the future development of the surrounding area. The existing exterior of the buildings will not change in size and appearance, so there will be no impact from the bulk of the building under this Petition. The landscaping is in excess of the requirement, which is aesthetically beneficial to the neighborhood. The Site is entirely surrounded by the I-L Zone and, therefore, it will not have a negative impact on a residential district, which does not exist between the Route 8/25 connector and the Pequonnock River in this area. The existing vehicle service facility has been operating for years and has been able to handle the traffic it generates. The compliant parking will ensure there will be no negative traffic impact. The proposed accessory use is compatible with the vehicle service facility use and neighboring uses and it will not depreciate neighboring property values. In fact, a similar facility is located directly across the street.

For the reasons stated above, the Petitioner respectfully requests approval of the application for a Special Permit and Site Plan Review.

Sincerely,



Christopher Russo

Business Inquiry

Business Details

Business Name:	**547 N AVE BRIDGEPORT REALTY LLC**	Citizenship/State Inc:	**Foreign/NY**
Business ID:	**1189005**	Last Report Filed Year:	**2021**
Business Address:	**555 S COLUMBUS AVE., SUITE 201, MOUNT VERNON, NY, 10550, USA**	Business Type:	**Foreign Limited Liability Company**
Mailing Address:	**555 S COLUMBUS AVE., SUITE 201, MOUNT VERNON, NY, 10550, USA**	Business Status:	**Active**
Date Inc/Registration:	**Oct 26, 2015**	Name in Place of Formation:	**547 N AVE BRIDGEPORT REALTY LLC**
Commence Business Date:	**Oct 26, 2015**		
Annual Report Due Date:	**03/31/2022**		
NAICS Code:	**Real Estate and Rental and Leasing (53)**	NAICS Sub Code:	**Lessors of Nonresidential Buildings (except Miniwarehouses) (531120)**

Principals Details

Name/Title	Business Address	Residence Address
TUMAY BASARANLAR MANAGER	555 S COLUMBUS AVE., SUITE 201, MOUNT VERNON, NY, 10550	161 DUANE STREET, NEW YORK, NY, 10007
JIMMY KOCHISARLI MANAGER	555 SOUTH COLUMBUS AVENUE, SUITE 201, MT. VERNON, NY, 10550	3 CROSSBOW LANE, WOODBURY, NY, 11797
JOSE MONTERO MANAGER	555 SOUTH COLUMBUS AVE, SUITE 201, MT. VERNON, NY, 10550	199 PINESBRIDGE ROAD, OSSINING, NY, 10562

Agent Summary

Agent Name	**UNITED CORPORATE SERVICES, INC.**
Agent Business Address	**66 CEDAR STREET, NEWINGTON, CT, 06111**
Agent Residence Address	**NONE**
Agent Mailing Address	**66 CEDAR STREET, NEWINGTON, CT, 06111, USA**

OTHER ADDRESSES:

Address in the State of Formation:	**555 S COLUMBUS AVE., SUITE 201, MOUNT VERNON, NY, 10550, USA**
Mailing Address in the State of Formation:	**555 S COLUMBUS AVE., SUITE 201, MT. VERNON, NY, 10550**

HANDICAP PARKING SIGN

(1) ROUND SIGN POST – 2-3/8" O.D. SCHEDULE 40 GALVANIZED STEEL PIPE

ALTERNATIVE POST

HANDICAP PARKING SIGN POST
a. HIGH STRENGTH U-CHANNEL POST
b. 3/8" DIAMETER HOLES SPACED 1" O.C. FOR SIGN MOUNTING
c. 12 GA. STEEL GAL (GALVANIZED), COLOR – SILVER OR BE (BAKED ENAMEL), COLOR – YOLLOW OR GREEN
d. Minimum Feet REQUIRED UNDERGROUND POST – 6 Ft TO 8 Ft – 1-1/2 Feet Min.
POST – 9 Ft & ABOVE – 2-1/2 Feet Min.

(2) HANDICAP PARKING SIGN – DURABLE REFLECTIVE ALUMINUM SIGN :
A. SIZE – 12" WIDE X 24" Min. HEIGHT
B. 0.080" ALUMINUM ALLOY
C. SPECIFIC STATE COMPLIANT ADA SIGN COMPLY WITH CONNECTICUT STATE AND FEDERAL GUIDELINE
D. REFLECTIVE – DAY AND NIGHT VISIBILITY
E. WHITE LETTERING AGAINST A BLUE BACKGROUND AND SHALL BEAR THE WORDS " HANDICAP PARKING PERMIT REQUIRED " AND " VIOLATORS WILL BE FINED "
F. SIGN SHALL BEAR THE INTERNATIONAL SYMBOL OF ACCESS.
G. SIGN SHALL INDICATE THE Minimum FINE FOR A VIOLATION

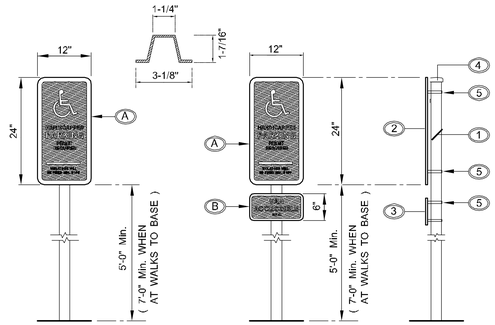
(3) ADA SUPPLEMENTAL SIGN – REFLECTIVE ALUMINUM
a. WHITE LETTERING AGAINST A BLUE BACKGROUND

(4) ACORN ROUND POST CAP or FLAT ROUND POST CAP

(5) SIGN MOUNTING BRACKET – ALUMINUM BRACKET AND HARDWARE TO MOUNT UP TO 2 SIGNS

CONNECTICUT
(A) HANDICAPPED PARKING SIGN
" SETON " STATE SPECIFIC ADA SIGN
12" X 24" MODEL NO. 80662 OR EQUAL

CONNECTICUT
(B) HANDICAPPED PARKING SIGN
" SETON " ADA SUPPLEMENTAL SIGN
12" X 6" MODEL NO. 80660 OR EQUAL



ADA SUPPLEMENTAL SIGN
ADD WITH ADA PARKING SIGN
FOR VAN ACCESSIBLE SPACE

DETAILS OF ADA PARKING SIGN

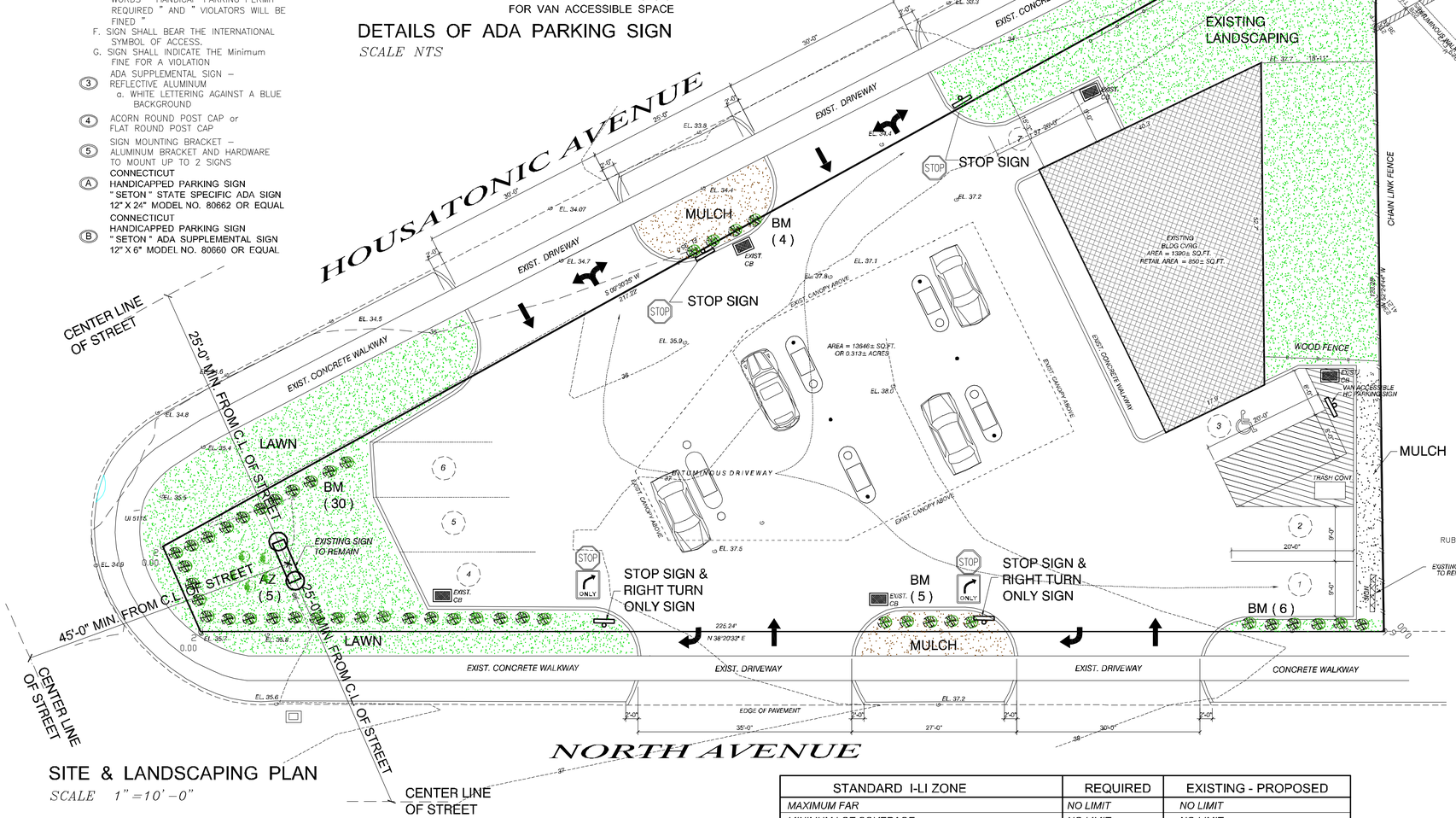
SCALE NTS

SIGN DETAIL

R1-1
30" x 30"

R3-5R
30" x 36"

TYPICAL SIGN SYMBOL



SITE & LANDSCAPING PLAN

SCALE 1" =10'-0"

PLANT NOTES

1. BOTANICAL NAMES SHALL PREVAIL OVER COMMON NAMES.
2. PLANTS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED ON THESE PLANS AND SHALL CONFORM TO THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN. TREES SHALL BE FROM NORTHERN NURSERIES (ZONE 6 OR NORTHERN).
3. ALL TREES TO BE APPROVED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL IF IT DOES NOT CONFORM TO THE SPECIFICATIONS OR IF SHOWN SIGNS OF DAMAGE BY HANDLING OR TRANSPORT.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
5. QUANTITIES SHOWN ON THE DRAWINGS TAKE PRECEDENCE OVER THE PLANT LIST. REPORT ALL DISCREPANCIES IMMEDIATELY.
6. ALL TREES SHALL BE BALLED AND BURLAPPED, NOT CONTAINER GROWN.
7. PLANTS SHALL BE PLANTED IN LOCATIONS DESIGNATED ON THE PLAN OR AS STAKED OUT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
9. PLANTING MIX SHALL CONSIST OF 6 PARTS OIL TAKEN FROM THE HOLE, ONE PART PEAT MOSS AND ONE PART DEHYDRATED COW MANURE.
10. ALL NEW PLANTS SHALL BE MULCHED WITH 4" OF AN APPROVED SHREDDED BARK.
11. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ACCEPTANCE. PLANTS SHALL BE WATERED, REMULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT. CONTRACTOR SHALL REMOVE FROM THE SITE EXCESS SOIL AND DEBRIS AND REPAIR ANY DAMAGE RESULTING FROM PLANTING OPERATIONS.
12. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND THRIVING ONE YEAR AFTER ACCEPTANCE. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED. THE COST SHALL BE BORNE BY THE LANDSCAPE CONTRACTOR EXCEPT FOR REPLACEMENTS RESULTING FROM LOSS OR DAMAGE DUE TO VANDALISM OR ACTS OF NEGLECT ON THE PART OF OTHERS.
13. TOPSOIL SHALL BE PROVIDED IN PLANT BEDS AND IN LAWN AREAS TO A SETTLED, COMPACTED DEPTH OF NOT LESS THAN SIX INCHES. SOIL SHALL BE FROM A SOURCE APPROVED BY THE LANDSCAPE ARCHITECT. TOPSOIL SHALL BE FREE OF ROOTS, RUBBISH OF ALL KINDS AND STONES LARGER THAN 1". THE CONTRACTOR SHALL SUBMIT TEST SAMPLES OF THE SOIL TO THE CONNECTICUT AGRICULTURAL STATION SOILS LABORATORY OBTAINING THE SOIL'S CHARACTERISTICS, ORGANIC CONTENT, PH, AND NUTRIENT STATUS. CONTRACTOR SHALL ADD AMENDMENTS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AG. STATION.
14. LAWN AREAS SHALL BE SEEDED WITH A SEED MIX APPROVED BY THE LANDSCAPE ARCHITECT SHOWN AT THE RATE OF 4#/1000 S.F. AND PROTECTED BY A SUITABLE MULCH. SEEDING SHALL BE RESTRICTED TO THE PERIODS OF APRIL AND MAY IN THE SPRING, AND FROM AUGUST 15 TO OCTOBER 15 IN THE FALL. CONTRACTOR IS RESPONSIBLE TO WATER, WEED, FERTILIZE, AND MOW SEEDED AREAS UNTIL AN EVEN STAND OF WEED-FREE THURF IS ESTABLISHED (USUALLY AFTER 3 CUTTINGS).

PARKING CALCULATION

AS PER TABLE 8.A - ZONING REGULATIONS
FUEL SALE / CONVENIENCE STORE - 5 SPACES / FIRST 1000SF

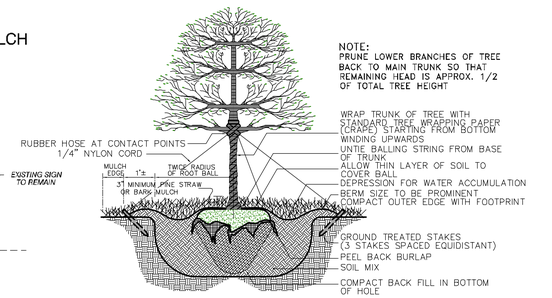
RETAIL AREA - 850 SF
TOTAL NUMBER OF PARKING REQUIRED = 5 SPACES

TOTAL NUMBER OF PARKING PROVIDED = 7 SPACES

PLANTING LIST

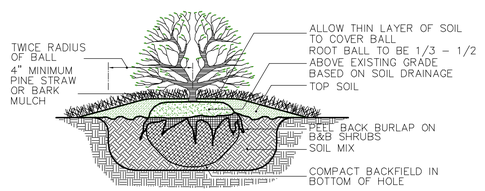
KEY	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE / MIN. PLANTING DIST.	MAX. MATURITY HEIGHT	REMARKS
TC		LITTLE LEAF LINDEN	TILIA CORDATA	2"-2.5" CAL.	70'-0"	DECIDUOUS FLOWERING TREE
DW		DOGWOOD	CORNUS-STELLAR PINK	7'-8' / 2"-2.5" CAL.	20'-40'	DECIDUOUS FLOWERING TREE
BM		GREEN BEAUTY BOXWOOD	BUXUS MICROPHYLLA 'GREEN BEAUTY'	24" H. AT 36" O.C.		EVERGREEN SHRUB
AZ		AZALEA	RHODODENDRON/ MOTHERS DAY-RED	24"-30"		SHRUB
TO		AMERICAN ARBORVITAE	THUJA OCCIDENTALIS			EVERGREEN SHRUB

STANDARD I-LI ZONE	REQUIRED	EXISTING - PROPOSED
MAXIMUM FAR	NO LIMIT	NO LIMIT
MINIMUM LOT COVERAGE	NO LIMIT	NO LIMIT
MINIMUM FRONTAGE	25 FT	480.58 FT EXISTING
MINIMUM BUILDING SETBACKS		
STREET LOT LINE	15 FT	15.2 FT
LOT LINE ABUTTING AN MU, OR, I, ZONED LOT	0 FT	18.93FT
LOT LINE ABUTTING AN R, ZONED LOT	15 FT	N/A
HIGH IMPACT INDUSTRIAL ZONE	10 FT	N/A
LANDSCAPING IN SETBACK ABUTTING AN R ZONED LOT	10 FT @ L4	N/A
MAXIMUM BUILDING COVERAGE	85%	3,620SF 26.4% ±
MINIMUM LANDSCAPED AREA	15%	3,470SF 25.4% ±
MAXIMUM HEIGHT	75 FT	18 FT CANOPY 12.5 FT BUILDING
PARKING ALLOWED BETWEEN BUILDING AND STREETS	YES	YES
DRIVE-THROUGH FACILITIES PERMITTED	YES	NO
OUTDOOR DISPLAY PERMITED	YES	YES
OUTDOOR STORAGE PERMITED	YES	NO
TRUCKS AND EQUIPMENT PERMITED	ALL CATEGORIES	ALL CATEGORIES



STAKING AND PLANTING TREE DETAIL

NOT TO SCALE



SHRUB DETAIL CONTAINER AND B&B NOT TO SCALE

PRIMROSE COMPANIES

GUEDES ASSOCIATES, INC.
Designers , Architects & Project Managers
1425 Noble Avenue, Bpt., CT. 06610
Tel. 203-367-5180 Fax. 203-367-4961

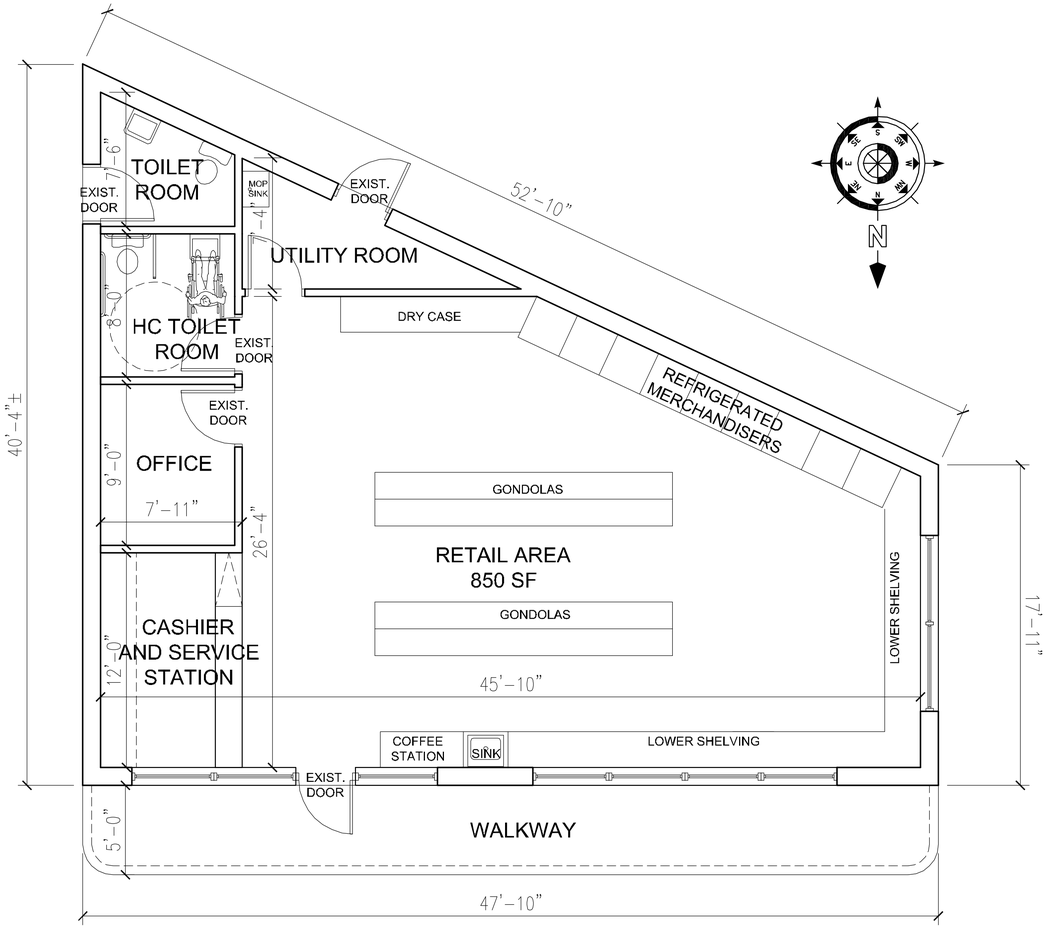
revisions: 1 2 3 4 5 6

CONVENIENCE STORE FOR EXISTING GAS STATION LOCATED AT 547 NORTH AVE, BPT, CT

SITE & LANDSCAPING PLAN

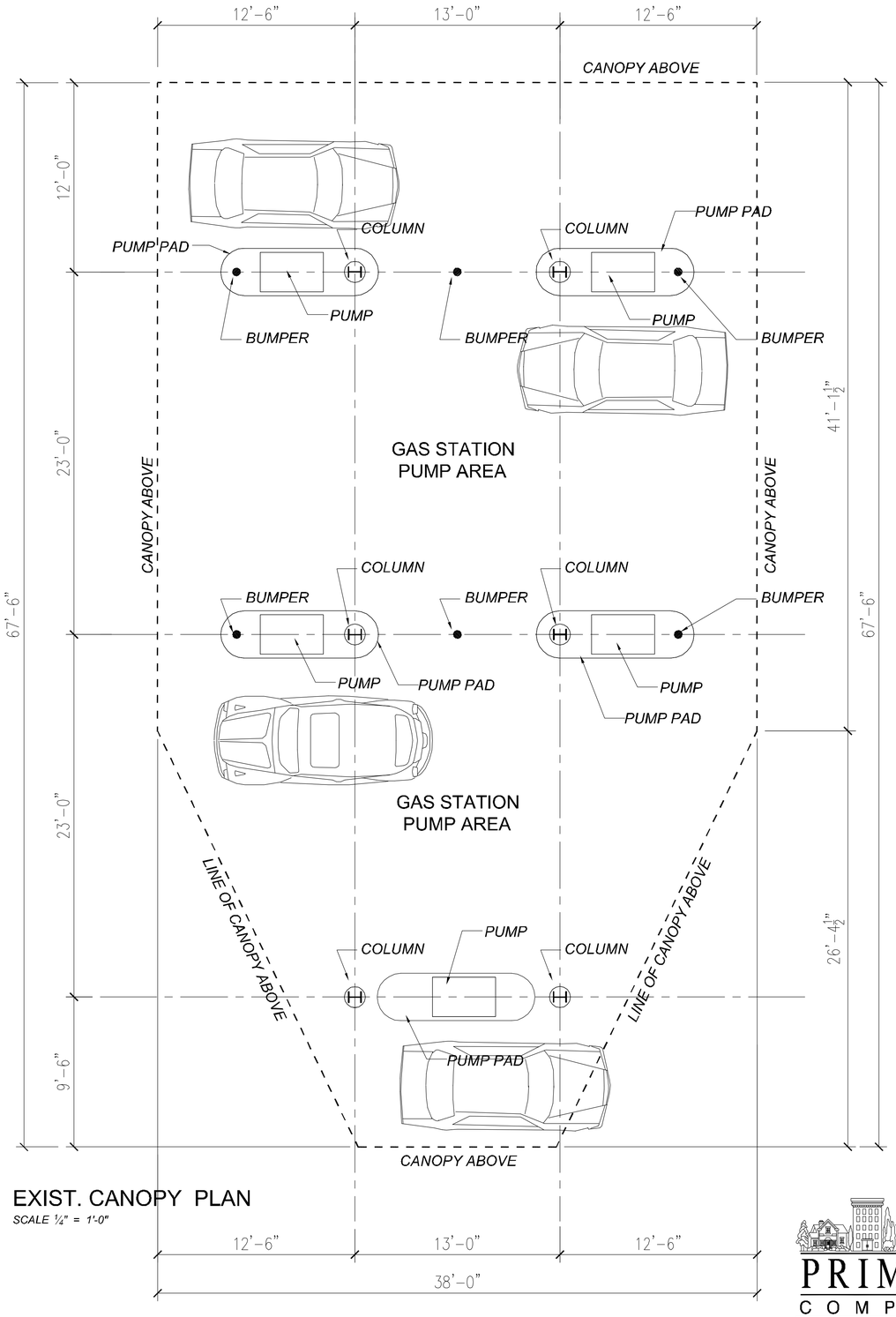
date: 01-25-15
drawn:
scale: AS NOTED
project #: 2013-306

ST-1



STORE FLOOR PLAN

SCALE ¼" = 1'-0"



EXIST. CANOPY PLAN

SCALE ¼" = 1'-0"

GUEDES ASSOCIATES, INC.
Designers , Architects & Project Managers
1425 Noble Avenue, Bpt., CT. 06610
Tel. 203-367-5180 Fax. 203-367-4961

revisions	1	2	3	4	5	6

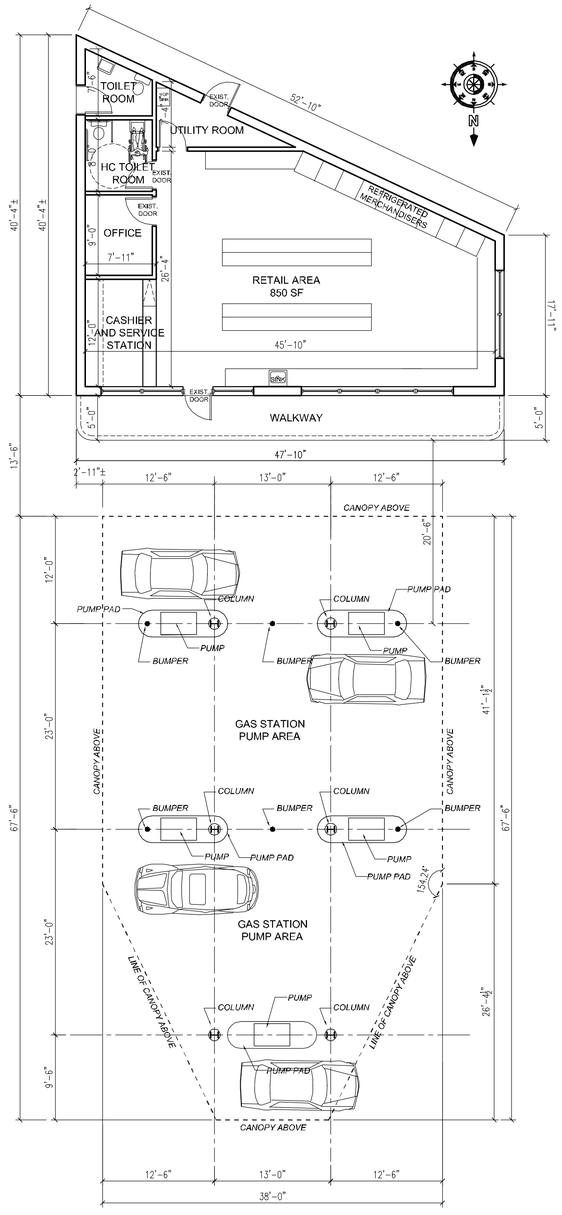
CONVENIENCE STORE FOR EXISTING
GAS STATION LOCATED AT
547 NORTH AVE, BPT, CT

FLOOR PLANS

date: 01-25-15
drawn:
scale: AS NOTED
project #: 2013-306

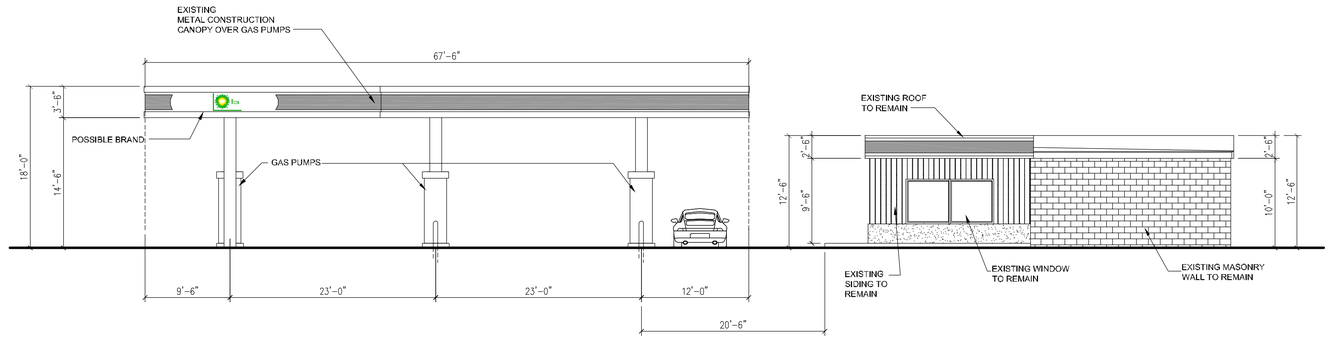
PRIMROSE COMPANIES

A-1



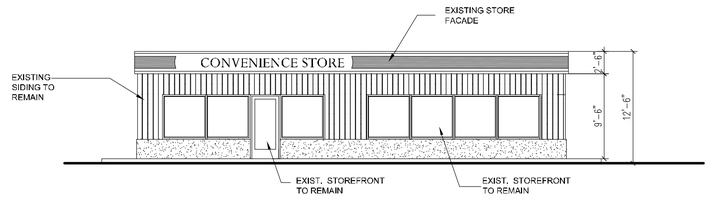
OVERALL FLOOR PLAN

SCALE ⅛" = 1'-0"



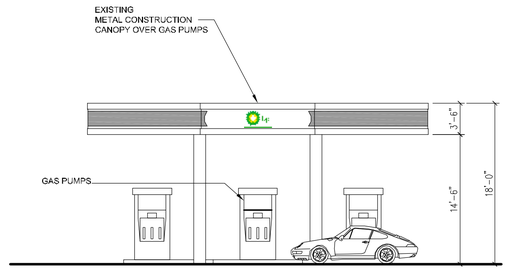
WEST ELEVATION

SCALE ⅛" = 1'-0"



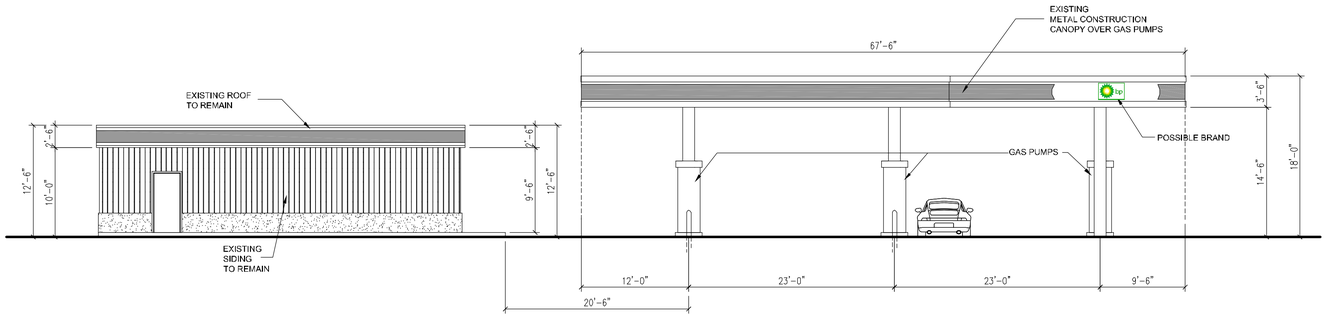
NORTH ELEVATION

SCALE ⅛" = 1'-0"



CANOPY NORTH ELEVATION

SCALE ⅛" = 1'-0"



EAST ELEVATION

SCALE ⅛" = 1'-0"

GUEDES ASSOCIATES, INC.
Designers , Architects & Project Managers
1425 Noble Avenue, Bpt., CT. 06610
Tel. 203-367-5180 Fax. 203-367-4961

revisions	1	2	3	4	5	6

CONVENIENCE STORE FOR EXISTING GAS STATION LOCATED AT 547 NORTH AVE., BPT., CT

ELEVATIONS

scale:	AS NOTED
project #:	2013-306
date:	01-25-15
drawn:	

PRIMROSE COMPANIES

A-2

CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** RJYZ Bridgeport, LLC
2. Is the Applicant's name Trustee of Record? Yes _____ No X
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 1705 Fairfield Avenue, Bridgeport, CT 06605
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 1223 Lot No. 2/B
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): 227.89' x 194.78' x 208.53' x 22.90' x 275.69'
7. Existing Zone Classification: I-L
8. Zone Classification requested: I-L
9. Describe Proposed Development of Property: To construct a 1,880 SF coffee shop fast food restaurant with drive-through facility and associated site improvements in the I-L Zone

   Approval(s) requested: Special Permit and Site Plan Review

Signature: _____ **Date**: 07/30/2021

Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____

Print Name: _____

Mailing Address: Chris Russo, Russo & Rizio, LLC, 10 Sasco Hill Road, Fairfield, CT 06824

Phone: 203-528-0590 Cell: 203-520-4603 Fax: 203-255-6618

E-mail Address: Chris@russorizio.com

$ _____ Fee received **Date**: _____ **Clerk**: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- ☐ Completed & Signed Application Form
- ☐ Completed Site / Landscape Plan
- ☐ Written Statement of Development and Use
- ☐ Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- ☐ A-2 Site Survey
- ☐ Drainage Plan
- ☐ Property Owner's List
- ☐ Building Floor Plans
- ☐ Building Elevations
- ☐ Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

RJYZ Bridgeport, LLC		07/30/2021
Print Owner's Name	Owner's Signature	Date
Print Owner's Name	Owner's Signature	Date

Rev. 6/18/2016

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Also Admitted in NY

May 7, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 06604
HAND-DELIVERED

Re: Petition for Special Permit and Site Plan Review – 1705 Fairfield Avenue

Dear Mr. Buckley:

Please accept, on behalf of my client, RJYZ Bridgeport, LLC, (the "Petitioner"), the following narrative and enclosed application materials as part of an application for Special Permit and Site Plan Review under the Bridgeport Zoning Regulations (the "Regulations") for the property located at 1705 Fairfield Avenue (the "Site") to construct a One thousand eight hundred and eighty square foot (1,880 SF) fast food restaurant and associated Site improvements in the I-L Zone.

Narrative

The Site is located on the corners of State Street and Fairfield Avenue with Mountain Grove Street. Therefore, the Site is defined by Three (3) street frontages along its southern, eastern and norther property lines. Its only abutting neighbor is a park owned by the City of Bridgeport. The Site is in the I-L Zone. The combined lot area consists of Fifty-one thousand eight hundred square feet (51,800 SF).

The Petitioner proposes to construct a One thousand eight hundred and eighty square foot (1,880 SF) Starbucks fast food restaurant. The Site will be accessed from two (2) full access driveways on State Street and Fairfield Avenue. Fairfield Avenue is a one-way street heading south and State Street is a one-way street heading north. Mountain Grove Street, which also abuts the Site, is a two-way street. If a vehicle is traveling south on Fairfield Avenue, the vehicles will enter through the Fairfield

Avenue driveway. Any vehicles leaving the Site to continue south on Fairfield Avenue would use the same driveway. Any vehicles traveling north on State Street would enter through the State Street driveway. Any vehicles leaving the Site to continue north on State Street would use the same driveway.

While the Site is located in the I-L Zone, it is located on State Street and Fairfield Avenue, which has a retail character. The Site has already received the necessary approvals for a 7,619 SF retail building, which is oriented towards State Street. The State Street frontage also features a "pocket park" between the building and State Street. This design encourages pedestrian customers to enter the Site and provides a harmonious connection with the existing park abutting the Site to the south.

The proposed Starbucks restaurant will be located along the Fairfield Avenue side of the Site. The proposed stacking lane would begin on the western side of the restaurant and wrap around the building to the other side. This design provides the ability to accommodate Eleven (11) vehicles in the stacking lane, which exceeds the requirements under the Regulations. The restaurant will also feature an interior area where customers can sit and work as is commonly seen in Starbucks restaurants. The proposed restaurant will feature extensive windows on its primary and secondary frontages in conformity with the Regulations. Its attractive design, including multiple materials and colors, meet the urban design guidelines.

The Site will contain Fifty-four (54) off-street parking spaces, which satisfies the Regulations. The Site will also contain a loading space and a dumpster pad that will be screened. The Site will also contain extensive landscaping, including a continuous fence and landscape screening along the shared property line with the park as well as the necessary lighting under the Regulations.

Special Permit and Site Plan Review

The Petition satisfies the Special Permit standards of Sec. 14-4-4 and the Site Plan Review standards of Sec. 14-2-5 of the Regulations. The proposed use is permitted in the I-L Zone as a Special Permit is compliant with the Regulations and has the necessary variances. The Petition is in conformity with the Master Plan of Conservation and Development ("POCD"). The design and location of the proposed buildings and its definitive draw as a location for patrons to visit encourage pedestrian activity and activate city streets, which is a major land use goal of the POCD. *Id* at p. 207. The Petitioner has worked diligently to improve the formerly blighted Site and the POCD stresses that "blighted properties have been significant challenges to revitalization efforts." *Id.* at 125. This is the second phase of the Site's revitalization. The Petition will totally transform and revitalize the Site. The Petition will not impair

future development of the surrounding area, but will actually stimulate the neighborhood as a landmark property at one of the main Bridgeport corridors that has started to become a retail destination. The height and bulk of the proposed buildings are in conformity with the Regulations. Particularly, the extensive window frontage along Fairfield Avenue and Mountain Grove Street meets the design guidelines of the POCD and Regulations. The Petition only has one abutting neighbor, West End Park, and the Site design already includes a "pocket park" to blend in with the character of the abutting property. The Petition will clearly have no impact on the Long Island Sound and a residential zone does not abut the Site. The proposed use will only enhance surrounding property values as well as the character and operation of the neighborhood. It transforms a blighted property into another vibrant and premiere retail destination at one of the most visible intersections in the City. The design of the Site also satisfies the Regulations. The proposed building-street interaction exemplifies the desired design to encourage pedestrian activity. The scale and proportion of the buildings are in conformity with the neighborhood.

For the above-stated reasons, the Petitioner respectfully requests approval of this application for Special Permit and Site Plan Review to bring a first-class retail coffee shop to a neighborhood which is making rapid progress as a retail destination in the City of Bridgeport.

Sincerely,

Christopher Russo

PROPERTIES LOCATED 100' OF 1705 FAIRFIELD AVE

PROPERTY ADDRESS	OWNER NAME	MAILING ADDRESS	CITY	STATE	ZIP CODE
1759 COMMERCE DR	BOSTWICK PARTNERS LLC	294 BRONXVILLE RD	BRONXVILLE	NY	10708
1671 FAIRFIELD AV	MONY TITH ET AL	21 DAYTONA AVENUE	MILFORD	CT	06461
1755 FAIRFIELD AV	CITY OF BRIDGEPORT PARK DEPT	7 QUARRY ROAD	TRUMBULL	CT	06611
1705 FAIRFIELD AV	RJYZ BRIDGEPORT LLC	30 QUAIL HOLLOW	WEST HARTFORD	CT	06117
120 MOUNTAIN GROVE ST	110 MOUNTAIN GROVE STREET LLC C/O FISCHEL PROPERTIES	501 KINGS HWY EAST	FAIRFIELD	CT	06825
1726 FAIRFIELD AV	ASR MANAGEMENT LLC	1726 FAIRFIELD AVE	BRIDGEPORT	CT	06605
1550 STATE ST	110 MOUNTAIN GROVE STREET LLC C/O FISCHEL PROPERTIES	501 KINGS HWY EAST	FAIRFIELD	CT	06825
1575 STATE ST	BOSTWICK PARTNERS LLC	294 BRONXVILLE RD	BRONXVILLE	NY	10708
1720 FAIRFIELD AV	FAIRFIELD AVENUE BRIDGEPORT LLC	375 MOUNTAIN GROVE ST	BRIDGEPORT	CT	06605
1676-1678 FAIRFIELD AV	RUIRU ZHENG	78 LEXINGTON WAY NORTH	MILFORD	CT	06461

Business Inquiry

Business Details

Business Name:	RJYZ BRIDGEPORT LLC	Citizenship/State Inc:	Domestic/CT
Business ID:	1252720	Last Report Filed Year:	2021
Business Address:	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA	Business Type:	Domestic Limited Liability Company
Mailing Address:	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA	Business Status:	Active
Date Inc/Registration:	Oct 16, 2017		
Annual Report Due Date:	03/31/2022		
NAICS Code:	Real Estate and Rental and Leasing (53)	NAICS Sub Code:	Other Activities Related to Real Estate (531390)

Principals Details

Name/Title	Business Address	Residence Address
RICHARD KORRIS MANAGER	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117
RICHARD KORRIS MEMBER	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA
ROBERT SACHS MANAGER	30 QUAIL HOLLOW, WEST HARTFORD, CT, 06117, USA	39 NORTHFORD ROAD, BRANFORD, CT, 06405, USA

IMPORTANT: There are more principals for this business that are not shown here.

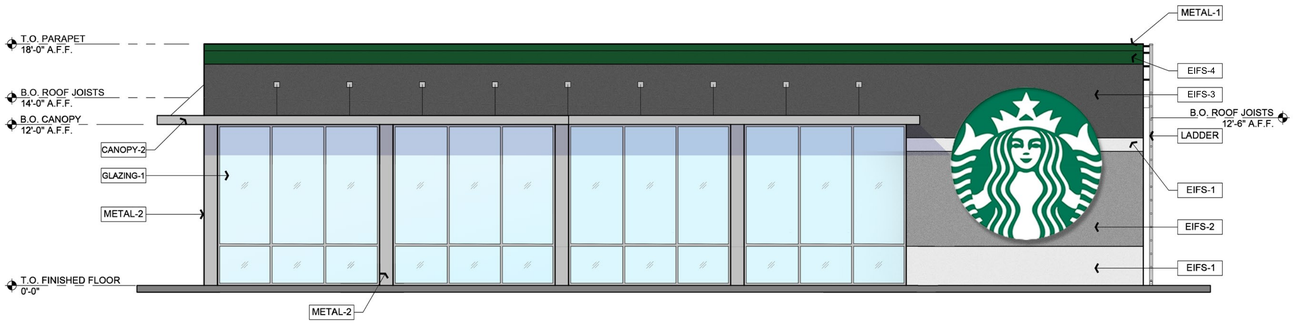
View All Principals(4)

Agent Summary

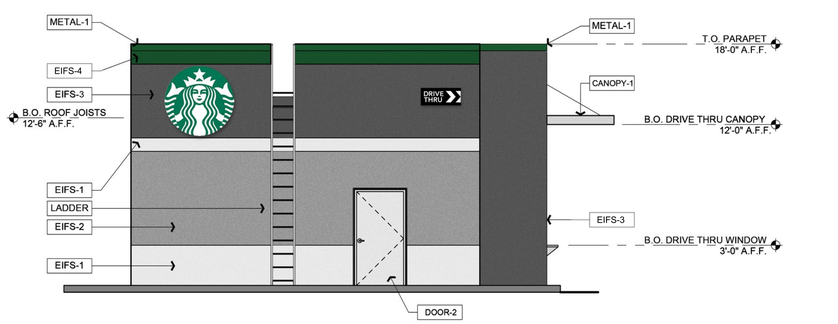
Agent Name	ROME , CLIFFORD, KATZ &KOERNER LLP
Agent Business Address	214 MAIN STREET, HARTFORD, CT, 06106, USA
Agent Residence Address	NONE
Agent Mailing Address	214 MAIN STREET, HARTFORD, CT, 06106, USA

EXTERIOR FINISHES & MATERIALS LEGEND

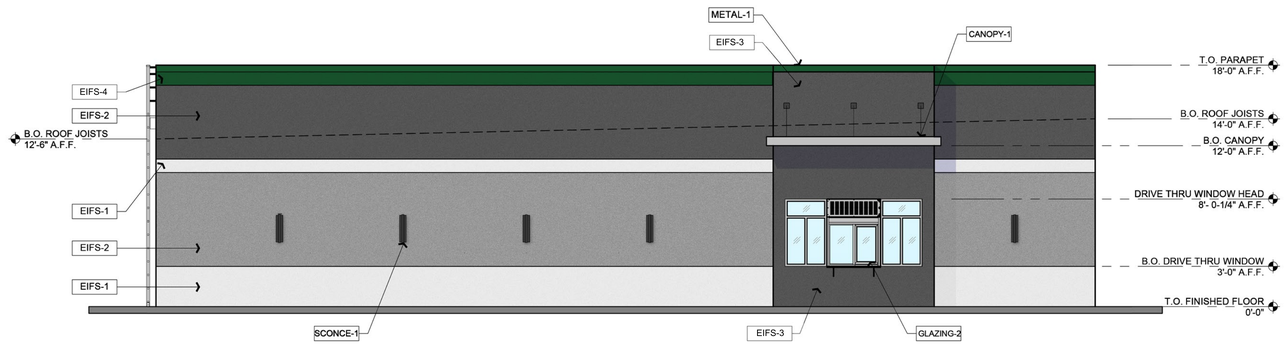
EIFS-1	PROVIDE EIFS FINISHES, COLOR TO BE SELECTED BY ARCHITECT
EIFS-2	PROVIDE EIFS FINISHES, COLOR TO BE SELECTED BY ARCHITECT
EIFS-3	PROVIDE EIFS FINISHES, COLOR TO BE SELECTED BY ARCHITECT
EIFS-4	PROVIDE EIFS FINISHES, COLOR TO BE SELECTED BY ARCHITECT
METAL-1	6" METAL COPING, PREFINISHED, COLOR TO BE SELECTED BY ARCHITECT
METAL-2	BREAK METAL AT FRAMING BETWEEN STOREFRONT GLAZING, COLOR TO MATCH STOREFRONT
CANOPY-1	METAL CANOPY AT STOREFRONT, COLOR: CLEAR ANODIZED FINISH
CANOPY-2	METAL CANOPY AT DRIVE-THRU BUMP-OUT, COLOR: CLEAR ANODIZED FINISH
GLAZING-1	ALUMINUM STOREFRONT, 2" X 4-1/2", CENTER SET, THERMALLY BROKEN, COLOR: CLEAR ANODZED FINSH
GLAZING-2	DRIVE-THRU WINDOW, MANUFACTURED BY READY ACCESS, MODEL 275 SINGLE PANEL SLIDER WITH SIDELITES AND TRANSOM WINDOWS, COLOR: CLEAR ANODIZED FINISH
GLAZING-3	COVID PICK-UP WINDOW, MANUFACTURED BY READY ACCESS, MODEL 275 SINGLE PANEL SLIDER WITH SIDELITES, COLOR: CLEAR ANODIZED FINISH
SCONCE-1	EXTERIOR LED WALL MOUNTED LIGHT FIXTURE BY LBL LIGHTING, MODEL: WINDFALL OUTDOOR WALL, COLOR: BLACK
DOOR-1	ALUMINUM ENTRANCE DOOR, 3'-0" X 8'-0" HEAVY DUTY ALUMINUM STOREFRONT DOOR WITH 10" BOTTOM RAIL, DOORS ARE TO BE HURRICANE RESISTANT FRAMES AND ANCHORAGE. COLOR: CLEAR ANODIZED FINISH
DOOR-2	COMMERCIAL GRADE 3'-6" X 7'-0" HOLLOW METAL DOOR, MIN. 16 GA. WITH POLYSTYRENE CORE.



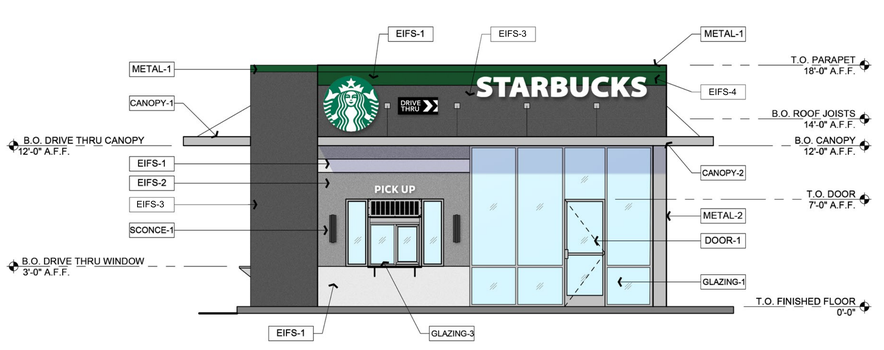
3 WEST ELEVATION AT LEFT SIDE OF BUILDING
SCALE: 3/16" = 1'-0"



4 SOUTH ELEVATION AT REAR OF BUILDING
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION AT DRIVE-THRU WINDOW
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION AT STOREFRONT
SCALE: 3/16" = 1'-0"

ARCHITECT

PHASE ZERO DESIGN

EIGHT WILCOX STREET
SIMSBURY, CONNECTICUT 06070
PHONE: (860) 264-1624
FAX: (860) 264-1628
www.phasezerodesign.com

CLIENT

RJYZ BRIDGEPORT, LLC
30 QUAIL HOLLOW
WEST HARTFORD, CT 06117

CONSULTANT

PROPOSED STARBUCKS

1705 FAIRFIELD AVENUE
BRIDGEPORT, CT

PROJECT

REVISIONS

REV	DATE	DESCRIPTION / COMMENTS
A	04.28.21	CLIENT REVIEW & REVISIONS

SEAL

ISSUED FOR: CLIENT REVIEW

ISSUED DATE: 04.29.21

DRAWN BY: SKWT

CHECKED BY: MW

PROJECT NUMBER:

DRAWING NAME

PROPOSED EXTERIOR ELEVATIONS OPTION A

DRAWING NO.

A201A

Architecture
Engineering
Environmental
Land Surveying
BL Companies

Traffic Impact Study
Proposed Retail Redevelopment

1705 Fairfield Avenue
Bridgeport, Connecticut

Prepared for:
RJYZ Bridgeport, LLC
West Hartford, CT

Prepared by:
BL Companies
355 Research Parkway
Meriden, CT 06450

July 2021

CONTENTS

ILLUSTRATIONS

TABLES

APPENDIX

EXECUTIVE SUMMARY

An auto parts store and a coffee shop with "drive-thru" are proposed on an industrially zoned parcel located at the easterly end of the block formed by State Street (Route 130), Fairfield Avenue (SR 700) and Mountain Grove Street in Bridgeport, Connecticut. The Site was until recently occupied by a former library/bank/youth development center building in a state of disrepair. The currently approved site plan consists of two retail buildings, a 7,619 square foot auto parts store, currently under construction, and a 4,000 square foot retail store. The current proposal is to replace the 4,000 square foot retail store with a 1,880 square foot coffee shop with "drive-thru".

This study investigated the traffic impacts associated with the proposed development during the weekday morning and afternoon commuter peak periods. Work included a field review, traffic counts, projection of trip generation, and capacity analyses.

The proposed stores are very conservatively projected to generate approximately 150 and 95 new vehicle trips during the weekday morning and afternoon peak hours, respectively.

Capacity analyses were performed at the key intersections near the Site and at the proposed site driveways to evaluate traffic operations. There was no noticeable increase in delay, or deficiency in level of service, projected for any of the current traffic movements

at the studied intersections. Acceptable levels of service, “B”, delays, and sight distance can be obtained at the proposed site driveways.

Recommendations to enhance traffic operations and safety at the Site include the following:

- Provide a “Stop” sign, painted stop bar and center line in the Site driveways per the previously approved CTDOT access plan.
- Supplement the Site curb cuts with “No Right Turn” signing.
- Ensure that proposed signing and landscaping do not obstruct sight-lines along Fairfield Avenue (Route 700) and State Street (Route 130).
- The City should prohibit parking on the southerly (Site) side of Fairfield Avenue (Route 700) between Mountain Grove Street and the Site curb cut to ensure adequate sight distance.
- The City should clarify the parking regulations on Mountain Grove Street and prohibit parking on the site side of the street during school hours.

The parking recommendation for Mountain Grove Street is due to its use as a drop-off/pick-up area for the adjacent charter school and current confusing signing.

The Site redevelopment should have no significant traffic on the nearby street system.

I. INTRODUCTION

A 7,619± square foot auto parts store (under construction) and a 1,880± square foot coffee shop with "drive-thru" are proposed on a 1.2± acre industrially zoned parcel located at the easterly end of the block formed by State Street (Route 130), Fairfield Avenue (SR 700) and Mountain Grove Street in Bridgeport, Connecticut. The currently approved site plan includes two retail stores, 7,619± and 4,000± square feet. The Site was formerly occupied by a 12,000± square foot library/bank/youth development center building in a state of disrepair, demolished in 2019.

State Street (Route 130) and Fairfield Avenue (SR 700) form a one-way pair in this area of Bridgeport.

This study investigated the traffic impacts associated with the proposed redevelopment during the weekday morning and afternoon commuter peak periods. Work included a field review, traffic counts, projection of trip generation, and capacity analyses.

Based on the findings described in this report recommendations were made to enhance traffic operations and reduce any potential traffic impacts on the adjacent street system.

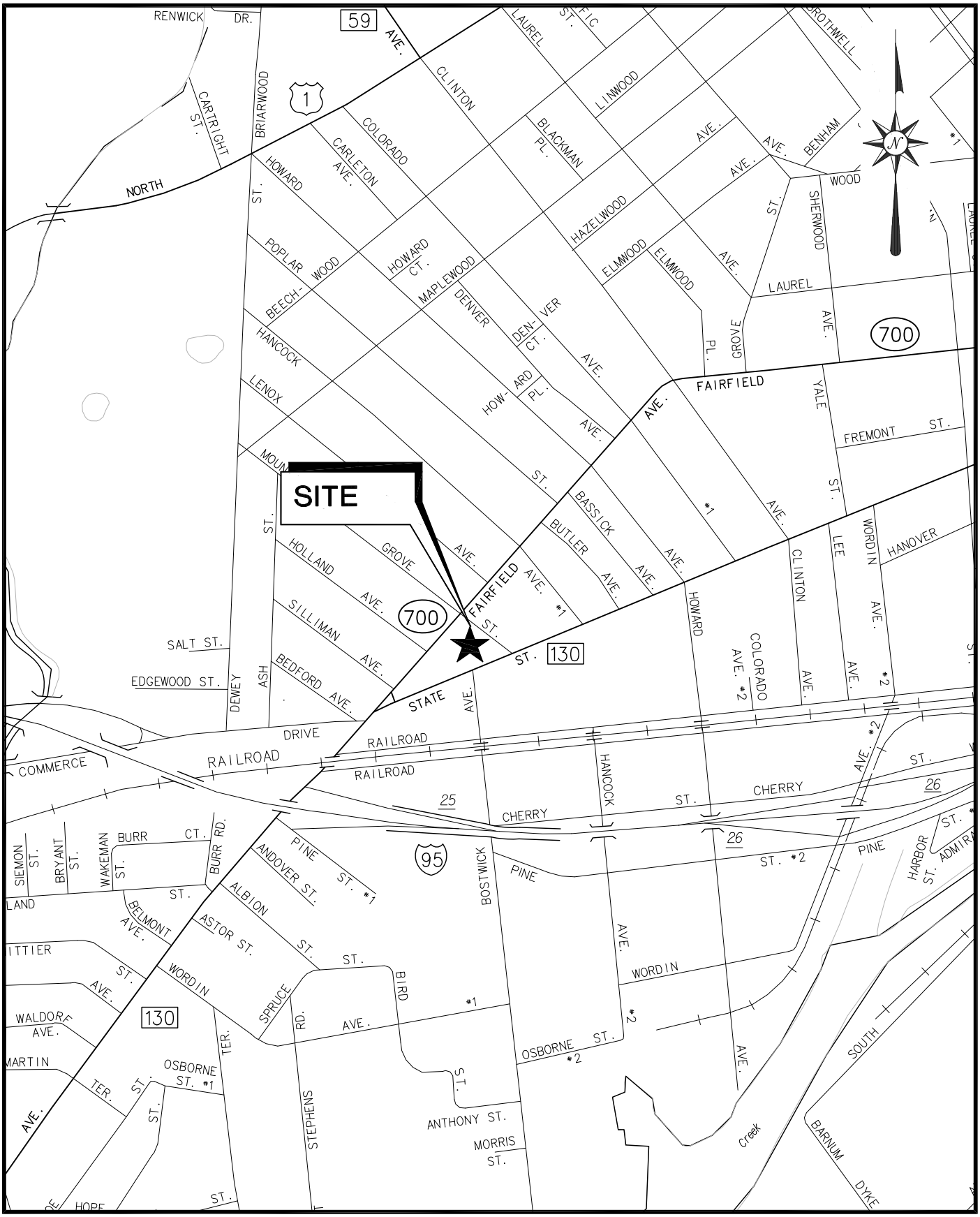
II. EXISTING CONDITIONS

An investigation of the existing conditions on the adjacent roadway network formed the basis for determining the traffic impacts of the proposed development. This investigation included a field reconnaissance and research of pertinent planning and traffic data at local and State agencies.

Access Network

As illustrated in Figure 1, the parcel is located between State Street (Route 130) and Fairfield Avenue (SR 700), on the westerly side of Mountain Grove Street.

State Street (Route 130) near the Site, is a two-lane, one-way eastbound oriented State maintained minor arterial. State Street (Route 130) is generally 42± feet in width and has a 25 mile per hour speed limit near the Site. Parking is generally permitted along both sides of the street. Sidewalks and illumination are provided. Near the Site, State Street is relatively straight and flat. Nearby land uses are a mix of commercial, retail and residential in nature. Nearby positive traffic controls include traffic signals at Fairfield Avenue to the west of the Site and Hancock Avenue to the east. Bridgeport Transit #5, #7 and Coastal Link (CL) routes run along State Street, with a stop on the corner with Mountain Grove Street.



LOCATION PLAN
PROPOSED RETAIL DEVELOPMENT
1705 FAIRFIELD AVENUE
BRIDGEPORT, CT

SCHEMATIC, NOT TO SCALE

FIGURE 1

BL Companies

CAD File: TLOC18C662401.dwg

Fairfield Avenue (SR 700) near the Site, is a two-lane, one-way westbound oriented State maintained minor arterial. Fairfield Avenue (SR 700) is generally 40± feet in width and has a 25 mile per hour speed limit near the Site. Sidewalks and illumination are provided. Parking is generally permitted along both sides of the street. Near the Site, State Street is relatively straight and flat. Nearby land uses are a mix of commercial, retail and residential in nature. Nearby positive traffic controls include traffic signals at Fairfield Avenue to the west of the Site and Hancock Avenue to the east. Bridgeport Transit #5, #7 and Coastal Link (CL) routes run along Fairfield Avenue, with a stop on the corner with Mountain Grove Street.

Mountain Grove Street near the Site, is a two-lane, local street. Mountain Grove Street is generally 32' in width near the Site. Mountain Grove Street is straight and flat. Sidewalks and illumination are provided. The Site occupies all the Mountain Grove frontage between State Street and Fairfield Avenue. There are no posted parking restrictions on the Site side of Mountain Grove Street. The situation on the other side of the street is somewhat confusing as there is a seasonal "alternate side" parking regulation sign, followed by a "no parking here to corner" an a "no parking bus loading only" area. On that side of the street are an auto repair facility and a grade 5-8 charter school.

Charter school activity does create some short-term traffic issues with student arrival and departure, not at all unusual for schools in general. School buses essentially park along the entire school side of Mountain Grove Street, parents drop off students and school crossing guards control traffic for children. If there were parked cars on the Site side of

Mountain Grove Street, it would be too narrow for 2-way traffic when the school buses are parked. It is unlikely that Site patrons would need to park on street.

Intersections Analyzed

The unsignalized intersections of **Fairfield Avenue (SR 700) with Mountain Grove Street, State Street (Route 130) with Mountain Grove Street,** and the **Site driveways** were analyzed in this study.

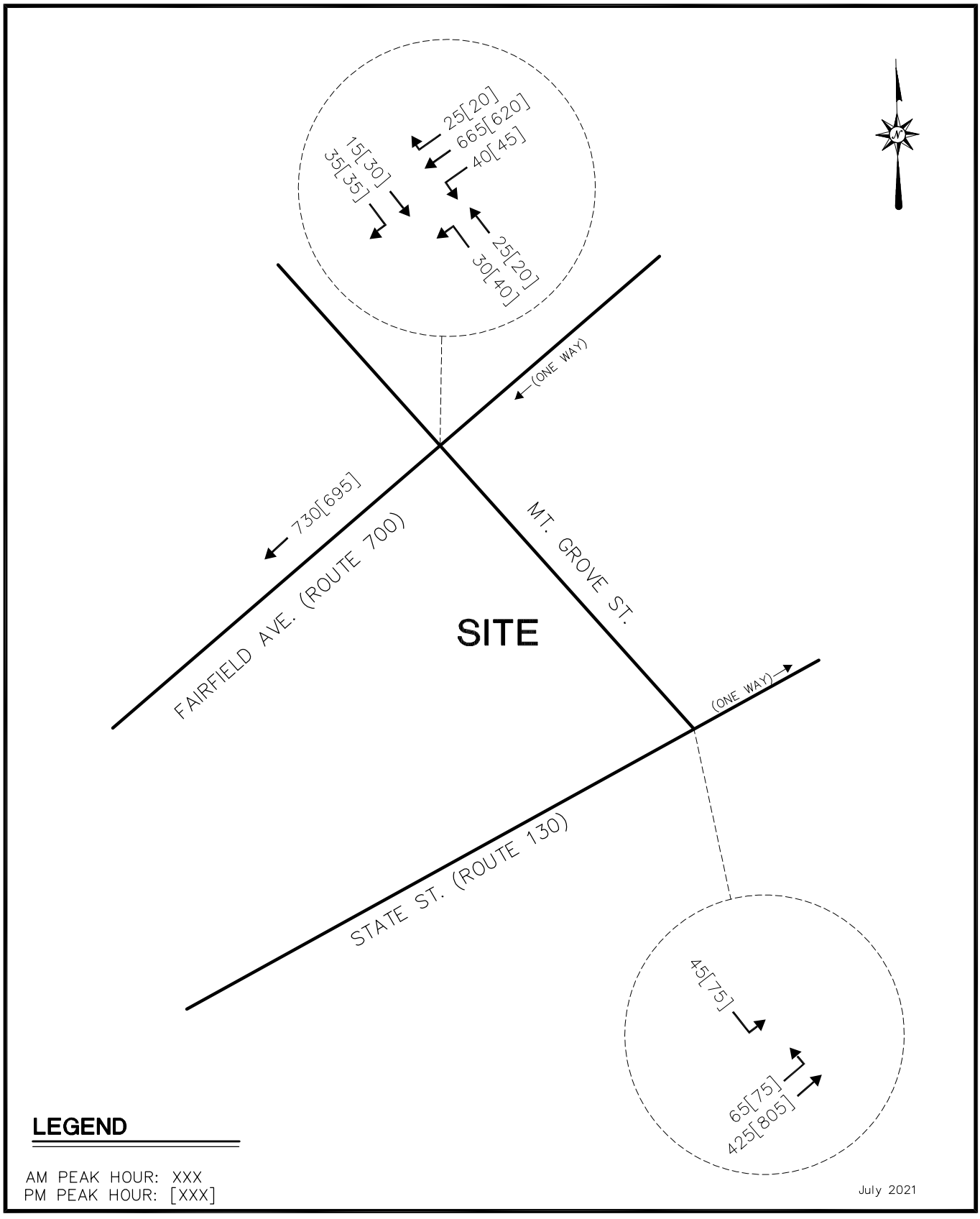
Current Traffic Volumes

Manual turning movement counts were conducted during the weekday morning and afternoon peak commuter periods in March of 2019. The current peak hour traffic volumes are illustrated in Figure 2.

The most recent (pre-pandemic) daily traffic volume information available from CTDOT indicated that State Street (Route 130) carried about 7,000 trips, and Fairfield Avenue (SR 700) about 8,700 trips past the Site on an average day. Daily traffic volumes are not used in the capacity analyses, but do provide an indication of overall roadway usage.

Crash Data

Crash data for the 3-year (2017-2019) period was obtained from the UConn crash data repository for the two intersections with Mountain Grove Street. There were thirty (30) crashes reported at the Fairfield Avenue (SR 700) intersection, including one fatal crash. The most common were the angle type (22). While not apparent from the data, one could



BL Companies

CURRENT (2019) TRAFFIC VOLUMES
RETAIL REDEVELOPMENT
BRIDGEPORT, CT

SCHEMATIC, NOT TO SCALE

FIGURE 2

CAD File TFLO18C6624

suggest that limitation of sight distance, due to on-street parking, may have been a contributing factor. Four (4) of the crashes were sideswipes. There were six (6) crashes reported at the State Street (Route 130) intersection. The most common were the turning type (3).

This is not to suggest that any of this is relative to this specific project, only that the data is typically requested in these studies. Crash data has limited application in the context of traffic impact studies, since the crash concentrations, if any, are often removed from the project access location and there is no direct impact. Furthermore, CTDOT no longer computes statewide crash rates for different roadway types and intersections. Therefore, one can’t compare a particular locations crash experience to any norm.

III. ANTICIPATED TRAFFIC CONDITIONS

Peak hour traffic volumes expected for the development were estimated, assigned to the roadway network, and superimposed onto projected build year background traffic volumes. This methodology provides a year of completion estimate for analysis.

Background Traffic Volumes

The recent traffic counts were adjusted upward to simulate normal growth to the opening of the stores, based on a conservative increase of 0.5% per year. The resulting weekday morning and afternoon peak hour background traffic volumes are depicted in Figure 3.

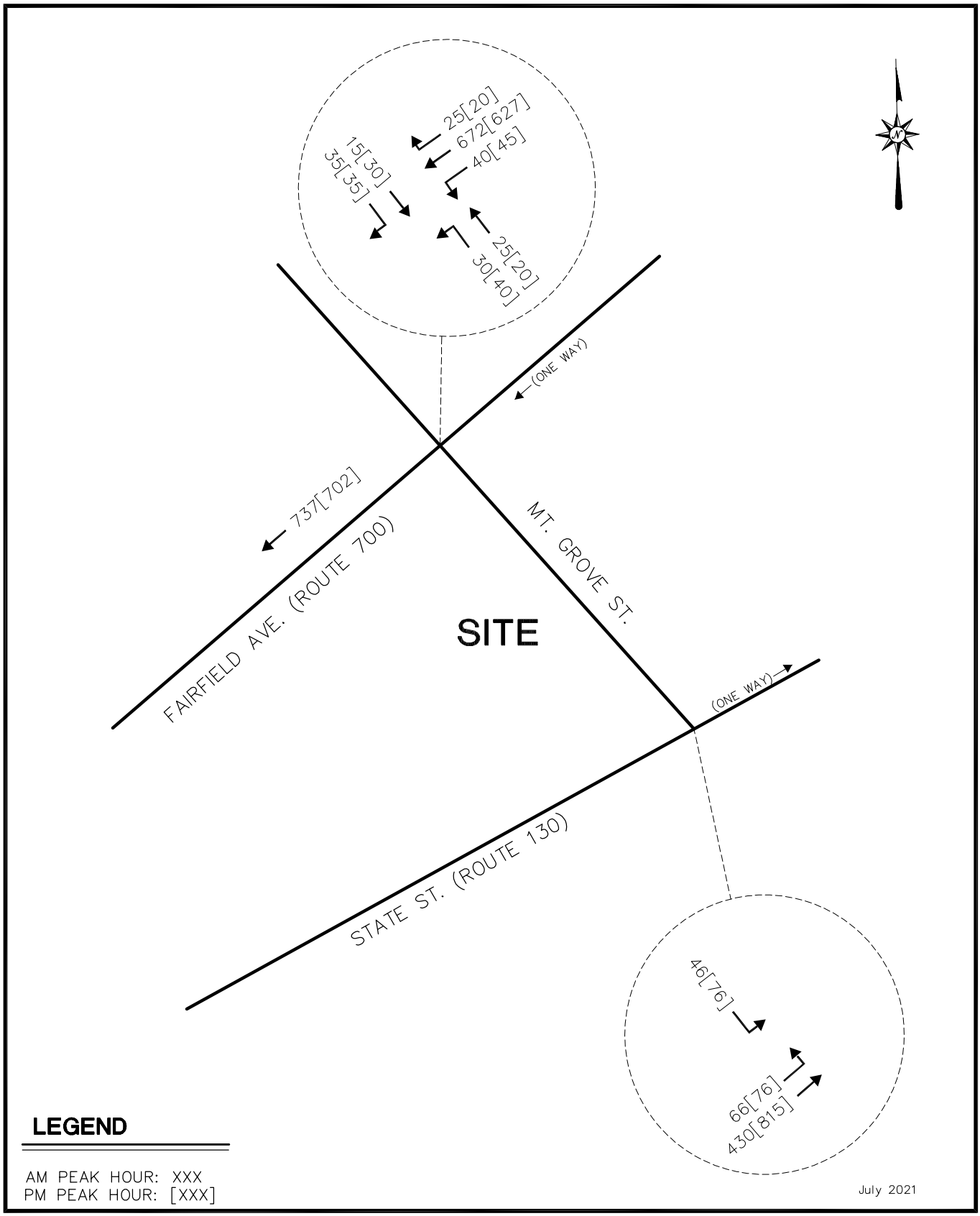
Site Access

Access to the Site is proposed at a curb cut on Fairfield Avenue (SR 700) and one on State Street (Route 130). Access for the currently approved Site plan was approved by the CTDOT District III office in January of this year.

Intersection sight distance at the proposed Site driveways will be excellent, as long as vehicles parked along the street are not obstructive.

Site Traffic Volumes

Trip generation defines the number of trips oriented to and from a particular land use. Typically, trip generation rates quantify a per unit relationship between the size of a specific land use and the number of vehicles generated per unit of time. The trip rates found in the most commonly referenced publication, the Institute of Transportation



BACKGROUND (2021) TRAFFIC VOLUMES
RETAIL REDEVELOPMENT
BRIDGEPORT, CT

SCHEMATIC, NOT TO SCALE

FIGURE 3

BL Companies

CAD File TFLO18C6624

Engineers (ITE) Trip Generation, 10th edition, as well as other sources, are based on field studies of similar facilities. The trip generation for the auto part store (land use code 843) in Trip Generation was found to be 2.6 vehicle trips per 1,000 square feet of building area during the morning commuter peak hour, and 4.9 vehicle trips per 1,000 square feet of building area during the weekday afternoon peak hour. Similarly, the trip generation for the coffee shop with "drive-thru" (land use code 937) was found to be 89 vehicle trips per 1,000 square feet of building area during the morning commuter peak hour, and 43.4 vehicle trips per 1,000 square feet of building area during the weekday afternoon peak hour.

Not all trips generated by a development are new to the roadway network. The traffic volumes cited above reflect the total site traffic, which is composed of new trips, “pass-by” and “diverted” trips. Many motorists who patronize a store can be considered "pass-by" site traffic, which includes:

- Drivers already on the road traveling past the Site to a final destination other than the proposed use, who decide on impulse to patronize the subject use.
- Drivers already on the road traveling past the Site to a final destination other than the proposed use, who planned to patronize the subject use because it is "on the way".

Traffic already on the adjacent roads that can be considered “pass-by” trips should not be added to the study intersections other than at site driveways. Recorded pass-by percentages for small retail uses found in the Trip Generation Handbook, second edition, published by ITE, averages about 35-45 percent. There is no specific data for data for

coffee shops, but fast food restaurants with "drive-thru" average about 50%. it is likely that coffee shops have an even higher pass-by component.

The Connecticut Department of Transportation (CTDOT) allows the maximum pass-by credit to be 20 percent of the site-generated traffic. That figure is not well supported by empirical data and is more appropriate for large shopping centers. Its use when analyzing small retail sites like this will result in a very conservative and unrealistic analysis. Never the less, the 20% pass-by factor was utilized in this study and subtracted from the total site generated traffic for both peak hour analyses to determine the “new” trips.

“Diverted” traffic includes those already on a nearby route, who change their travel pattern to make a stop at the Site on the way to another destination. Diverted traffic is not new to the overall street system, but is new at the Site for analysis purposes. No credit for “diverted” trips was taken.

Table 1 shows the estimated trip generation for the proposed development.

Table 1
Trip Generation

Use	AM Peak Hour			PM Peak Hour		
	Total	In	Out	Total	In	Out
Auto Parts	20	11	9	37	18	19
Coffee Shop	169	86	83	82	41	41
Gross Total	189	97	92	119	59	60
Less Pass-by (20%)*	-38	-19	-19	-24	-12	-12
Net New Trips	**151**	**78**	**73**	**95**	**47**	**48**

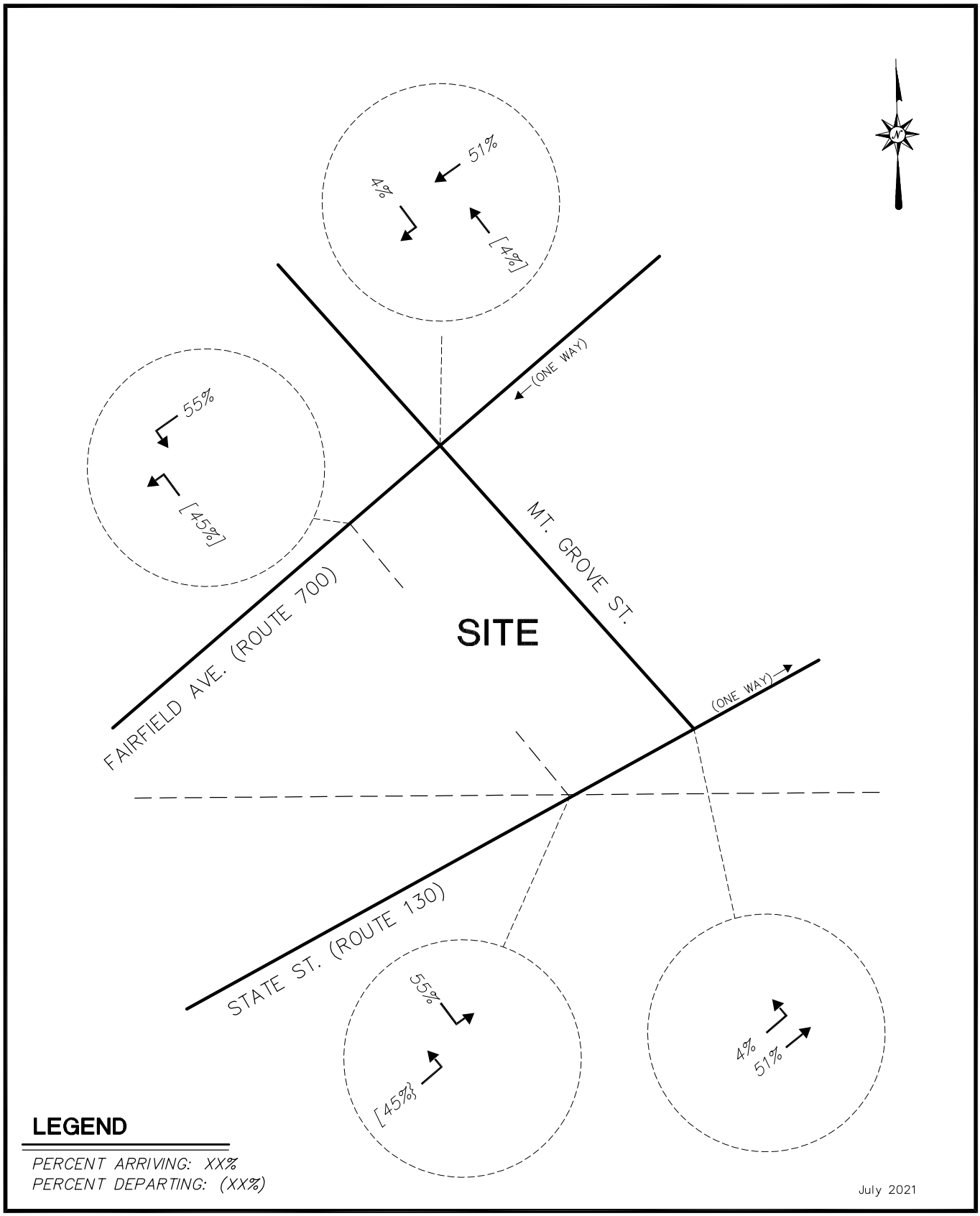
*-CTDOT allowance, ultra-conservative based on ITE data

The weekday morning and afternoon site traffic volumes were assigned onto the adjacent roadway network, given the expected trip distribution, which was based on nearby travel

patterns, and is shown in Figure 4. The new site generated trips are shown in Figure 5. The pass-by traffic volumes, which are distributed at the site driveway only, are shown in Figure 6.

Build Traffic Volumes

The anticipated traffic volumes generated by the proposed development were superimposed onto the background traffic volumes to establish the build traffic volumes, as depicted in Figure 7.



BL Companies

TRIP DISTRIBUTION
RETAIL REDEVELOPMENT
BRIDGEPORT, CT

SCHEMATIC, NOT TO SCALE

FIGURE 4

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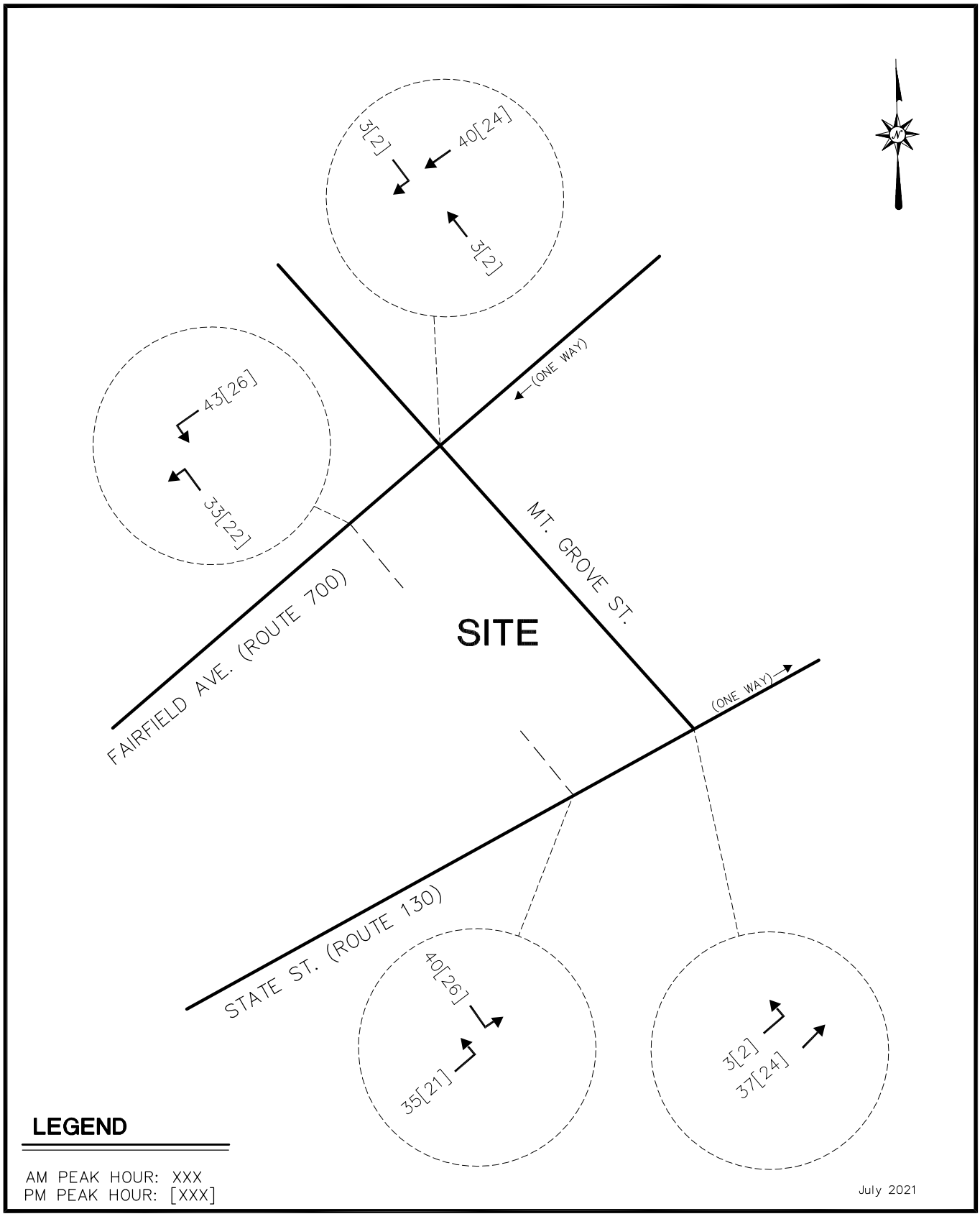

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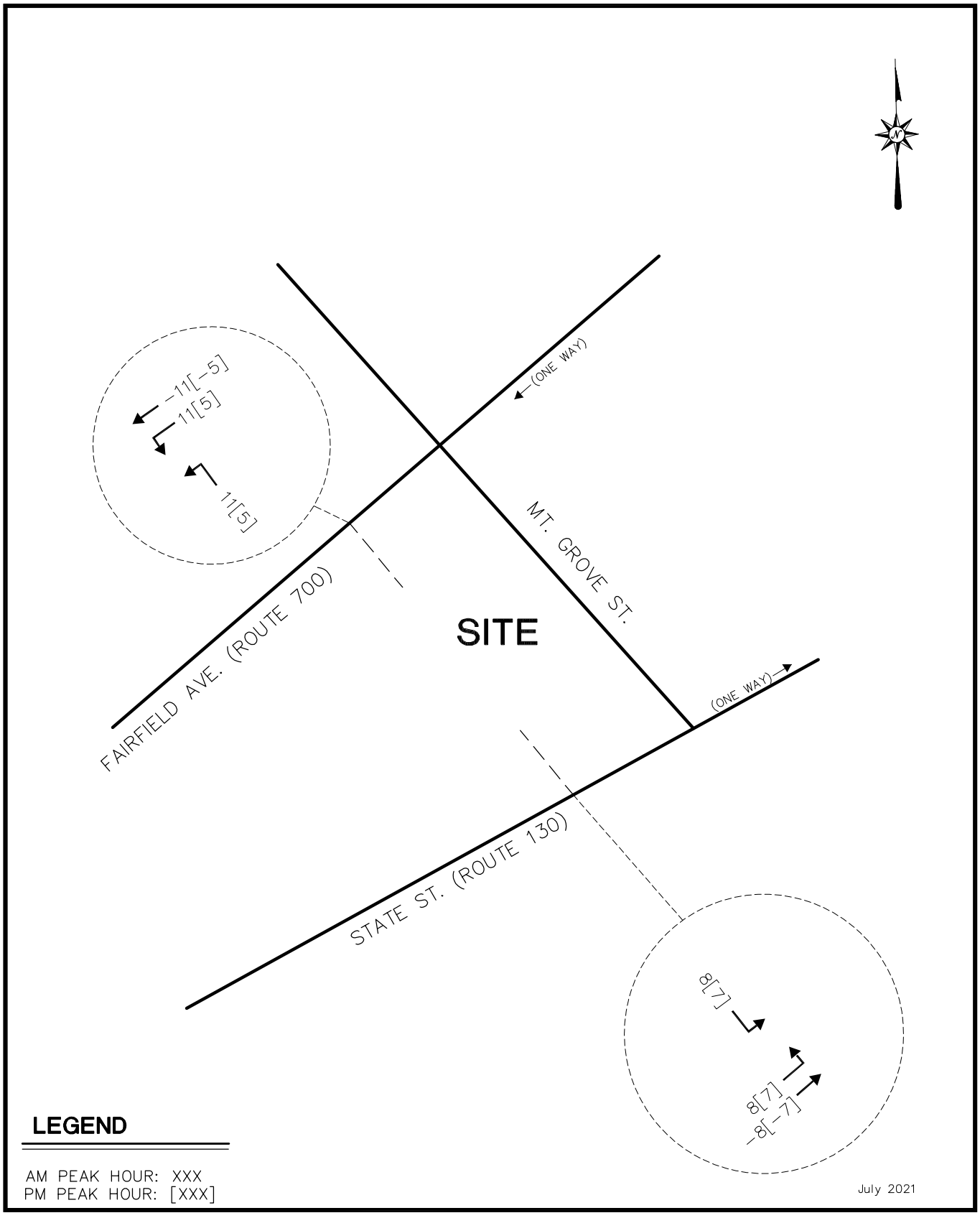
NEW SITE GENERATED TRAFFIC VOLUMES
RETAIL REDEVELOPMENT
BRIDGEPORT, CT

SCHEMATIC, NOT TO SCALE

FIGURE 5

CAD File TFLO18C6624



PASS-BY TRAFFIC VOLUMES
RETAIL REDEVELOPMENT
BRIDGEPORT, CT

SCHEMATIC, NOT TO SCALE

FIGURE 6

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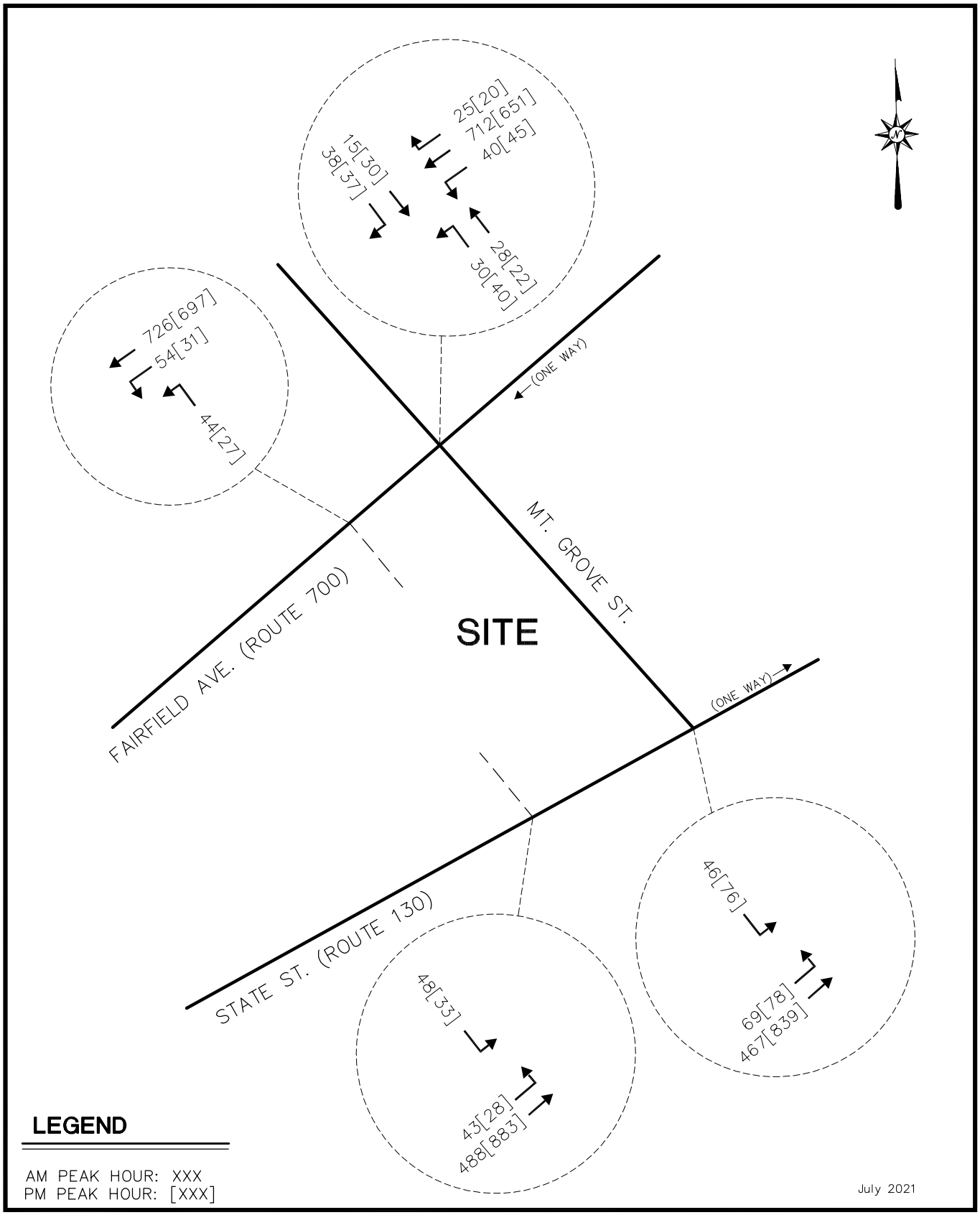
CAD File TFLO18C6624



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BUILD (2021) TRAFFIC VOLUMES
RETAIL REDEVELOPMENT
BRIDGEPORT, CT

SCHEMATIC, NOT TO SCALE

FIGURE 7

CAD File TFLO18C6624

IV. ROADWAY ADEQUACY

Roadway adequacy analyses were performed for the background and build traffic conditions to simulate the traffic impact of the proposed development on the nearby roadway network. These analyses were based on the methodology described in the Highway Capacity Manual (HCM), published by the Transportation Research Board.

Unsignalized Intersections

Unsignalized intersections are generally evaluated in terms of average delay for the controlled (stop) movement, as well as the capacity of the roadway approach. This analysis is based on the random arrival of vehicles and the associated gaps generated by this random arrival within the traffic stream. There is no overall level of service for unsignalized intersections. The relationship between levels of service and average side street delay are summarized in Table 2 below:

Table 2
Level of Service – Unsignalized Intersections

Level of Service	Average Delay Range (seconds)
A	≤ 10
B	> 10 and ≤ 15
C	> 15 and ≤ 25
D	> 25 and ≤ 35
E	> 35 and ≤ 50
F	> 50

It should be noted that unsignalized levels of service do not correspond to those for signalized intersections, nor do they constitute warrants for the installation of traffic control signals. It is also recognized that the methodology can be very conservative and that computations can indicate operations at poor levels of service (E or F) with even very low side street volumes, although they often function without serious problems in the real world. Unsignalized intersection capacity analyses were performed at the two existing intersections with Mountain Grove Street and the two proposed site driveways.

Intersection Analyses

The capacity calculations, which are contained in the Appendix, and summarized in Table 3, show the levels of service, average delay, volume to capacity ratio, and 95th percentile queue length for the locations studied, the Fairfield Avenue (SR 700) and State Street (Route 130) intersections with Mountain Grove Street and the proposed Site driveways. There are essentially no projected changes in delay or queue length for any of the current traffic movements. Good levels of service, “B”, and short delays will be experienced for the traffic movements from the Site during peak periods.

Table 3
Traffic Operations Summary

Movement	Background		Build	
	AM	PM	AM	PM
Fairfield Ave at:				
Mt. Grove NB	C/18”/.17/25’	(C/17”/.18/25’)	C/19”/.20/25’	(C/18”/.20/25’)
Mt. Grove SB	B/14”/.12/25’	(C/17”/.17/25’)	B/14”/.13/25’	(C/17”/.17/25’)
Site Left Out	-	-	B/14”/.10/25’	(B/12”/.05/25’)
State Street at:				
Mt. Grove	B/12”/.09/25’	C/16”/.20/25’	B/12”/.09/25’	(C/17”/.21/25’)
Site Left Out	-	-	B/12”/.09/25’	(B/13”/.08/25’)

Stop Controlled- X/0.00/00” – Level of Service/Average Delay/Volume to Capacity Ratio/95% queue length

V. CONCLUSIONS

This study investigated the traffic impacts associated with the proposed development during the weekday morning and afternoon peak traffic periods. For the purpose of this study, the proposed stores are very conservatively projected to generate approximately 150 and 95 new vehicular trips during the weekday morning and afternoon peak hours, respectively. Actual volumes will likely be smaller.

The project will have minimal impact on traffic operations at the nearby intersections. Sight distance for Site traffic movements is adequate at both driveways.

Recommendations to enhance traffic operations and safety at the Site include the following:

- Provide a “Stop” sign, painted stop bar and center line in the Site driveways, per the previously approved CTDOT driveway plan.
- Supplement the Site curb cuts with “No Right Turn” signing.
- Ensure that proposed signing and landscaping do not obstruct sight-lines along Fairfield Avenue (Route 700) and State Street (Route 130).
- The City should prohibit parking on the southerly (Site) side of Fairfield Avenue (Route 700) between Mountain Grove Street and the Site curb cut to ensure adequate sight distance.
- The City should clarify the parking regulations on Mountain Grove Street and prohibit parking on the Site side of the street during school hours.

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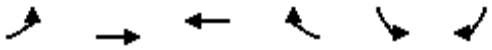
APPENDIX



Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Volume (veh/h)	66	430	0	0	46	0
Future Volume (Veh/h)	66	430	0	0	46	0
Sign Control		Free	Free		Stop	
Grade		0%	0%		0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	72	467	0	0	50	0
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type		None	None			
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	0				378	0
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	0				378	0
tC, single (s)	4.1				6.8	6.9
tC, 2 stage (s)						
tF (s)	2.2				3.5	3.3
p0 queue free %	96				91	100
cM capacity (veh/h)	1622				570	1084

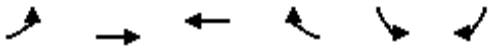
Direction, Lane #	EB 1	EB 2	SB 1
Volume Total	228	311	50
Volume Left	72	0	50
Volume Right	0	0	0
cSH	1622	1700	570
Volume to Capacity	0.04	0.18	0.09
Queue Length 95th (ft)	3	0	7
Control Delay (s)	2.6	0.0	11.9
Lane LOS	A		B
Approach Delay (s)	1.1		11.9
Approach LOS			B

Intersection Summary			
Average Delay	2.0		
Intersection Capacity Utilization	25.3%	ICU Level of Service	A
Analysis Period (min)	15		

Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (veh/h)	0	15	35	30	25	0	0	0	0	40	672	25
Future Volume (Veh/h)	0	15	35	30	25	0	0	0	0	40	672	25
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	16	38	33	27	0	0	0	0	43	730	27
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	843	830	378	497	843	0	757			0		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	843	830	378	497	843	0	757			0		
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	95	94	92	91	100	100			97		
cM capacity (veh/h)	234	296	619	402	291	1084	850			1622		

Direction, Lane #	SE 1	NW 1	SW 1	SW 2
Volume Total	54	60	408	392
Volume Left	0	33	43	0
Volume Right	38	0	0	27
cSH	468	343	1622	1700
Volume to Capacity	0.12	0.17	0.03	0.23
Queue Length 95th (ft)	10	16	2	0
Control Delay (s)	13.7	17.7	1.0	0.0
Lane LOS	B	C	A	
Approach Delay (s)	13.7	17.7	0.5	
Approach LOS	B	C		

Intersection Summary				
Average Delay	2.4			
Intersection Capacity Utilization	39.5%	ICU Level of Service	A	
Analysis Period (min)	15			



Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Volume (veh/h)	76	815	0	0	76	0
Future Volume (Veh/h)	76	815	0	0	76	0
Sign Control		Free	Free		Stop	
Grade		0%	0%		0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	83	886	0	0	83	0
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type		None	None			
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	0				609	0
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	0				609	0
tC, single (s)	4.1				6.8	6.9
tC, 2 stage (s)						
tF (s)	2.2				3.5	3.3
p0 queue free %	95				80	100
cM capacity (veh/h)	1622				405	1084

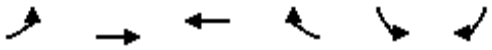
Direction, Lane #	EB 1	EB 2	SB 1
Volume Total	378	591	83
Volume Left	83	0	83
Volume Right	0	0	0
cSH	1622	1700	405
Volume to Capacity	0.05	0.35	0.20
Queue Length 95th (ft)	4	0	19
Control Delay (s)	2.0	0.0	16.2
Lane LOS	A		C
Approach Delay (s)	0.8		16.2
Approach LOS			C

Intersection Summary			
Average Delay	2.0		
Intersection Capacity Utilization	38.8%	ICU Level of Service	A
Analysis Period (min)	15		

Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (veh/h)	0	30	35	40	20	0	0	0	0	45	627	20
Future Volume (Veh/h)	0	30	35	40	20	0	0	0	0	45	627	20
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	33	38	43	22	0	0	0	0	49	682	22
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	802	791	352	494	802	0	704			0		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	802	791	352	494	802	0	704			0		
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	89	94	89	93	100	100			97		
cM capacity (veh/h)	254	311	644	387	306	1084	890			1622		

Direction, Lane #	SE 1	NW 1	SW 1	SW 2
Volume Total	71	65	390	363
Volume Left	0	43	49	0
Volume Right	38	0	0	22
cSH	430	356	1622	1700
Volume to Capacity	0.17	0.18	0.03	0.21
Queue Length 95th (ft)	15	16	2	0
Control Delay (s)	15.0	17.4	1.2	0.0
Lane LOS	C	C	A	
Approach Delay (s)	15.0	17.4	0.6	
Approach LOS	C	C		

Intersection Summary				
Average Delay	3.0			
Intersection Capacity Utilization	38.4%	ICU Level of Service	A	
Analysis Period (min)	15			



Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Volume (veh/h)	69	467	0	0	46	0
Future Volume (Veh/h)	69	467	0	0	46	0
Sign Control		Free	Free		Stop	
Grade		0%	0%		0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	75	508	0	0	50	0
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type		None	None			
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	0				404	0
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	0				404	0
tC, single (s)	4.1				6.8	6.9
tC, 2 stage (s)						
tF (s)	2.2				3.5	3.3
p0 queue free %	95				91	100
cM capacity (veh/h)	1622				548	1084

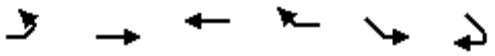
Direction, Lane #	EB 1	EB 2	SB 1
Volume Total	244	339	50
Volume Left	75	0	50
Volume Right	0	0	0
cSH	1622	1700	548
Volume to Capacity	0.05	0.20	0.09
Queue Length 95th (ft)	4	0	7
Control Delay (s)	2.5	0.0	12.2
Lane LOS	A		B
Approach Delay (s)	1.1		12.2
Approach LOS			B

Intersection Summary			
Average Delay	1.9		
Intersection Capacity Utilization	26.6%	ICU Level of Service	A
Analysis Period (min)	15		

Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (veh/h)	0	16	38	30	28	0	0	0	0	40	712	25
Future Volume (Veh/h)	0	16	38	30	28	0	0	0	0	40	712	25
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	17	41	33	30	0	0	0	0	43	774	27
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	888	874	400	522	887	0	801			0		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	888	874	400	522	887	0	801			0		
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	94	93	91	89	100	100			97		
cM capacity (veh/h)	214	279	599	381	274	1084	818			1622		

Direction, Lane #	SE 1	NW 1	SW 1	SW 2
Volume Total	58	63	430	414
Volume Left	0	33	43	0
Volume Right	41	0	0	27
cSH	449	321	1622	1700
Volume to Capacity	0.13	0.20	0.03	0.24
Queue Length 95th (ft)	11	18	2	0
Control Delay (s)	14.2	18.9	1.0	0.0
Lane LOS	B	C	A	
Approach Delay (s)	14.2	18.9	0.5	
Approach LOS	B	C		

Intersection Summary				
Average Delay	2.5			
Intersection Capacity Utilization	40.9%	ICU Level of Service	A	
Analysis Period (min)	15			



Movement	EBL	EBT	WBT	WBR	SEL	SER
Lane Configurations						
Traffic Volume (veh/h)	43	488	0	0	48	0
Future Volume (Veh/h)	43	488	0	0	48	0
Sign Control		Free	Free		Stop	
Grade		0%	0%		0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	47	530	0	0	52	0
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type		None	None			
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	0				359	0
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	0				359	0
tC, single (s)	4.1				6.8	6.9
tC, 2 stage (s)						
tF (s)	2.2				3.5	3.3
p0 queue free %	97				91	100
cM capacity (veh/h)	1622				595	1084

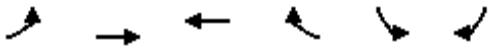
Direction, Lane #	EB 1	EB 2	SE 1
Volume Total	224	353	52
Volume Left	47	0	52
Volume Right	0	0	0
cSH	1622	1700	595
Volume to Capacity	0.03	0.21	0.09
Queue Length 95th (ft)	2	0	7
Control Delay (s)	1.7	0.0	11.6
Lane LOS	A		B
Approach Delay (s)	0.7		11.6
Approach LOS			B

Intersection Summary			
Average Delay	1.6		
Intersection Capacity Utilization	26.4%	ICU Level of Service	A
Analysis Period (min)	15		

Movement	NWL	NWR	NET	NER	SWL	SWT
Lane Configurations						
Traffic Volume (veh/h)	44	0	0	0	54	726
Future Volume (Veh/h)	44	0	0	0	54	726
Sign Control	Stop		Free			Free
Grade	0%		0%			0%
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	48	0	0	0	59	789
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type			None			None
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	512	0			0	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	512	0			0	
tC, single (s)	6.8	6.9			4.1	
tC, 2 stage (s)						
tF (s)	3.5	3.3			2.2	
p0 queue free %	90	100			96	
cM capacity (veh/h)	473	1084			1622	

Direction, Lane #	NW 1	SW 1	SW 2
Volume Total	48	322	526
Volume Left	48	59	0
Volume Right	0	0	0
cSH	473	1622	1700
Volume to Capacity	0.10	0.04	0.31
Queue Length 95th (ft)	8	3	0
Control Delay (s)	13.5	1.6	0.0
Lane LOS	B	A	
Approach Delay (s)	13.5	0.6	
Approach LOS	B		

Intersection Summary			
Average Delay	1.3		
Intersection Capacity Utilization	31.6%	ICU Level of Service	A
Analysis Period (min)	15		



Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Volume (veh/h)	78	839	0	0	76	0
Future Volume (Veh/h)	78	839	0	0	76	0
Sign Control		Free	Free		Stop	
Grade		0%	0%		0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	85	912	0	0	83	0
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type		None	None			
Median storage veh)						
Upstream signal (ft)		103				
pX, platoon unblocked						
vC, conflicting volume	0				626	0
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	0				626	0
tC, single (s)	4.1				6.8	6.9
tC, 2 stage (s)						
tF (s)	2.2				3.5	3.3
p0 queue free %	95				79	100
cM capacity (veh/h)	1622				394	1084

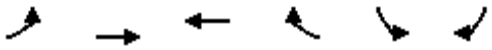
Direction, Lane #	EB 1	EB 2	SB 1
Volume Total	389	608	83
Volume Left	85	0	83
Volume Right	0	0	0
cSH	1622	1700	394
Volume to Capacity	0.05	0.36	0.21
Queue Length 95th (ft)	4	0	20
Control Delay (s)	2.0	0.0	16.5
Lane LOS	A		C
Approach Delay (s)	0.8		16.5
Approach LOS			C

Intersection Summary			
Average Delay	2.0		
Intersection Capacity Utilization	39.6%	ICU Level of Service	A
Analysis Period (min)	15		

Movement	SEL	SET	SER	NWL	NWT	NWR	NEL	NET	NER	SWL	SWT	SWR
Lane Configurations												
Traffic Volume (veh/h)	0	30	37	40	22	0	0	0	0	45	651	20
Future Volume (Veh/h)	0	30	37	40	22	0	0	0	0	45	651	20
Sign Control		Stop			Stop			Free			Free	
Grade		0%			0%			0%			0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	0	33	40	43	24	0	0	0	0	49	708	22
Pedestrians												
Lane Width (ft)												
Walking Speed (ft/s)												
Percent Blockage												
Right turn flare (veh)												
Median type								None			None	
Median storage veh)												
Upstream signal (ft)												
pX, platoon unblocked												
vC, conflicting volume	829	817	365	508	828	0	730			0		
vC1, stage 1 conf vol												
vC2, stage 2 conf vol												
vCu, unblocked vol	829	817	365	508	828	0	730			0		
tC, single (s)	7.5	6.5	6.9	7.5	6.5	6.9	4.1			4.1		
tC, 2 stage (s)												
tF (s)	3.5	4.0	3.3	3.5	4.0	3.3	2.2			2.2		
p0 queue free %	100	89	94	89	92	100	100			97		
cM capacity (veh/h)	241	300	632	375	296	1084	870			1622		

Direction, Lane #	SE 1	NW 1	SW 1	SW 2
Volume Total	73	67	403	376
Volume Left	0	43	49	0
Volume Right	40	0	0	22
cSH	421	342	1622	1700
Volume to Capacity	0.17	0.20	0.03	0.22
Queue Length 95th (ft)	15	18	2	0
Control Delay (s)	15.3	18.1	1.1	0.0
Lane LOS	C	C	A	
Approach Delay (s)	15.3	18.1	0.6	
Approach LOS	C	C		

Intersection Summary				
Average Delay	3.0			
Intersection Capacity Utilization	39.2%	ICU Level of Service	A	
Analysis Period (min)	15			



Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Volume (veh/h)	28	883	0	0	33	0
Future Volume (Veh/h)	28	883	0	0	33	0
Sign Control		Free	Free		Stop	
Grade		0%	0%		0%	
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	30	960	0	0	36	0
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type		None	None			
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	0				540	0
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	0				540	0
tC, single (s)	4.1				6.8	6.9
tC, 2 stage (s)						
tF (s)	2.2				3.5	3.3
p0 queue free %	98				92	100
cM capacity (veh/h)	1622				463	1084

Direction, Lane #	EB 1	EB 2	SB 1
Volume Total	350	640	36
Volume Left	30	0	36
Volume Right	0	0	0
cSH	1622	1700	463
Volume to Capacity	0.02	0.38	0.08
Queue Length 95th (ft)	1	0	6
Control Delay (s)	0.8	0.0	13.4
Lane LOS	A		B
Approach Delay (s)	0.3		13.4
Approach LOS			B

Intersection Summary			
Average Delay	0.7		
Intersection Capacity Utilization	35.2%	ICU Level of Service	A
Analysis Period (min)	15		

Movement	NWL	NWR	NET	NER	SWL	SWT
Lane Configurations						
Traffic Volume (veh/h)	27	0	0	0	31	697
Future Volume (Veh/h)	27	0	0	0	31	697
Sign Control	Stop		Free			Free
Grade	0%		0%			0%
Peak Hour Factor	0.92	0.92	0.92	0.92	0.92	0.92
Hourly flow rate (vph)	29	0	0	0	34	758
Pedestrians						
Lane Width (ft)						
Walking Speed (ft/s)						
Percent Blockage						
Right turn flare (veh)						
Median type			None			None
Median storage veh)						
Upstream signal (ft)						
pX, platoon unblocked						
vC, conflicting volume	447	0			0	
vC1, stage 1 conf vol						
vC2, stage 2 conf vol						
vCu, unblocked vol	447	0			0	
tC, single (s)	6.8	6.9			4.1	
tC, 2 stage (s)						
tF (s)	3.5	3.3			2.2	
p0 queue free %	95	100			98	
cM capacity (veh/h)	529	1084			1622	

Direction, Lane #	NW 1	SW 1	SW 2
Volume Total	29	287	505
Volume Left	29	34	0
Volume Right	0	0	0
cSH	529	1622	1700
Volume to Capacity	0.05	0.02	0.30
Queue Length 95th (ft)	4	2	0
Control Delay (s)	12.2	1.0	0.0
Lane LOS	B	A	
Approach Delay (s)	12.2	0.4	
Approach LOS	B		

Intersection Summary			
Average Delay	0.8		
Intersection Capacity Utilization	30.2%	ICU Level of Service	A
Analysis Period (min)	15		

CITY OF BRIDGEPORT

File No. 21-29

PLANNING & ZONING COMMISSION
APPLICATION

RECV'D IN THE BPT. ZONING DEPT. ON 5/26/21

MAY 26 '21 PM10:01

1. **NAME OF APPLICANT:** Hartford HealthCare - St. Vincent's Medical Center
2. Is the Applicant's name Trustee of Record? Yes _____ No X
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 2800 Main Street, Bridgeport, CT 06606
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 2120 Lot No. 1/X
5. Amendments to Zoning Regulations: (indicate) Article: N/A Section: _____
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): East side of Main Street between Hawley Ave. and Hunting St.
7. Existing Zone Classification: MUEM
8. Zone Classification requested: Same
9. Describe Proposed Development of Property: Hospital

Approval(s) requested: Install 199.16 sf sign on terrace elevation facing Rt. 8. See attached drawings for details.

Signature: Karen J Goyette **Date:** 5/24/21

Print Name: KAREN J. goyette

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** Tracy Becker Digitally signed by Tracy Becker Date: 2021.05.21 08:40:04 -04'00'

Print Name: Tracy Becker

Mailing Address: Sign Pro Inc., 60 Westfield Drive, Plantsville, CT 06479 (Sign Contractor)

Phone: 860.229.1812 Cell: 860.426.3033 Fax: 860.223.1812

E-mail Address: tracy@signpro-usa.com

$ 595.00 Fee received ck 1252 **Date:** 5/26/21 **Clerk:** DR

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- [X] Completed & Signed Application Form
- [ ] A-2 Site Survey
- [ ] Building Floor Plans
- [ ] Completed Site / Landscape Plan
- [ ] Drainage Plan
- [X] Building Elevations
- [X] Written Statement of Development and Use
- [X] Property Owner's List
- [X] Fee
- [X] Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Print Owner's Name	Owner's Signature	Date
Karen J Goyette	Karen J Goyette	5/24/21

Rev. 6/18/2016

Sign Pro Inc.
60 Westfield Drive
Plantsville, CT 06479 USA

P. 860.229.1812
F. 860.223.1812

CTLIC# ELC.0196771-C7
CTLIC# MCO.0903117

signpro-usa.com

Bridgeport Planning & Zoning Commission

Statement regarding Hartford HealthCare St. Vincent's Medical Center, 2800 Main Street

Thank you to the Planning & Zoning Commission for reviewing Hartford HealthCare's application for signage at St. Vincent's Medical Center (SVMC) located at 2800 Main St. Bridgeport, CT. In October 2019, Hartford HealthCare (HHC) acquired St. Vincent's Medical Center. At Hartford HealthCare our mission is to improve the health and healing of the people and communities we serve. Over the past year and a half since Hartford HealthCare acquired SVMC, we have invested over $175m in Fairfield County, including a world class Orthopaedic Institute located within SVMC. We have also added approximately 45 new sites of care and 240 new physicians in Fairfield County. We not only invest in the communities we serve, we also partner with them to create long lasting relationships. For example, Hartford HealthCare has sponsored the "Hartford HealthCare Amphitheater" located right here in Bridgeport. We are proud of the mission and vision we support, and we want the people in the community to know we are here for them. Our logo and signage are part of the HHC brand. Within this application, please see the renderings we are putting forth to this Commission for approval. We are proposing to install a 199.16 square foot sign on the terrace elevation as shown on the attached drawings. This sign will face Route 8 and will offer drivers way finding for the hospital. Thank you again for your support of this application.

Hartford HealthCare

Hartford HealthCare

St. Vincent's Medical Center - Terrace Sign • Version 5 • Job# 57524 • May 6, 2021

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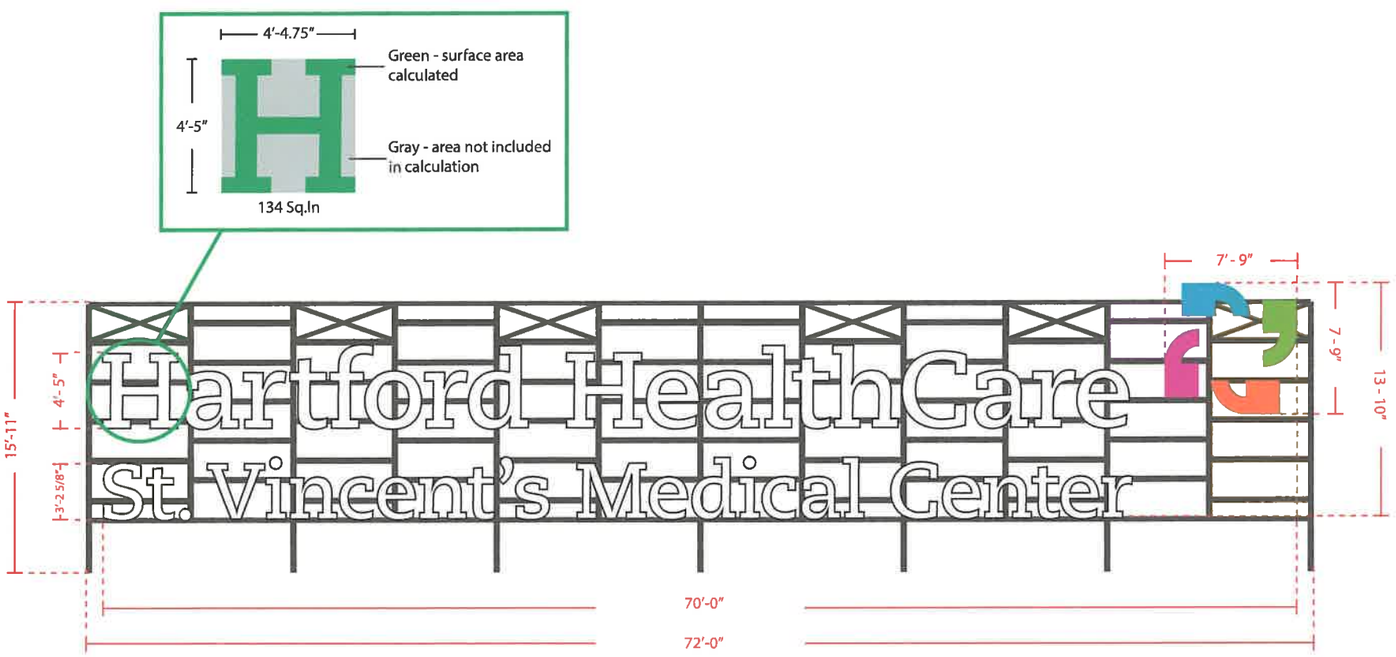
signpro-usa.com
60 Westfield Drive
Plantsville, CT 06479
860.229.1812



Signage Area: 199.16 SF

Illuminated Channel Letters
Mounted to Terrace

SIGN PRO

Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgeport, CT

SPI WO #: -----
Issue Date: 3/17/2021

Salesperson: Pete Rappoccio
Designer: Gigi

DRAWINGS ARE NOT TO SCA
UNLESS OTHERWISE NOTED

Revisions:
RV1: GD 3/26/2021
RV2: GD 3/26/2021
RV3: GD 4/26/2021
RV4: SB 5/6/21

Color Key:
- PMS 313c
- PMS 377c
- PMS 173c
- PMS 2405c

Customer Approval: ☐ APPROVED ☐ APPROVED AS NOTED ☐ REVISE & RESUBMIT

PRINT _____ SIGN _____ DATE _____

SIGN PRO
signpro-usa.com
60 Westfield Drive
Plantsville, CT 06479
860.229.1812

SIGN TYPE
Channel Letter

SIGN PRO

Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgeport, CT

SPI WO #: -----

Issue Date: 3/17/2021

Salesperson: Pete Rappoccio

Designer: Gigi

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PRINT _____ SIGN _____ DATE _____

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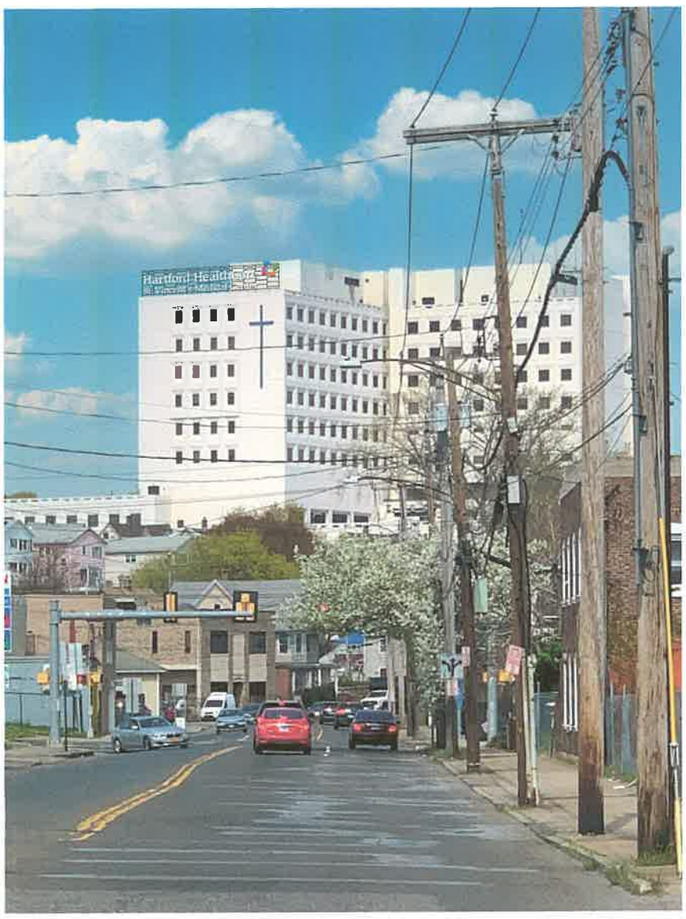
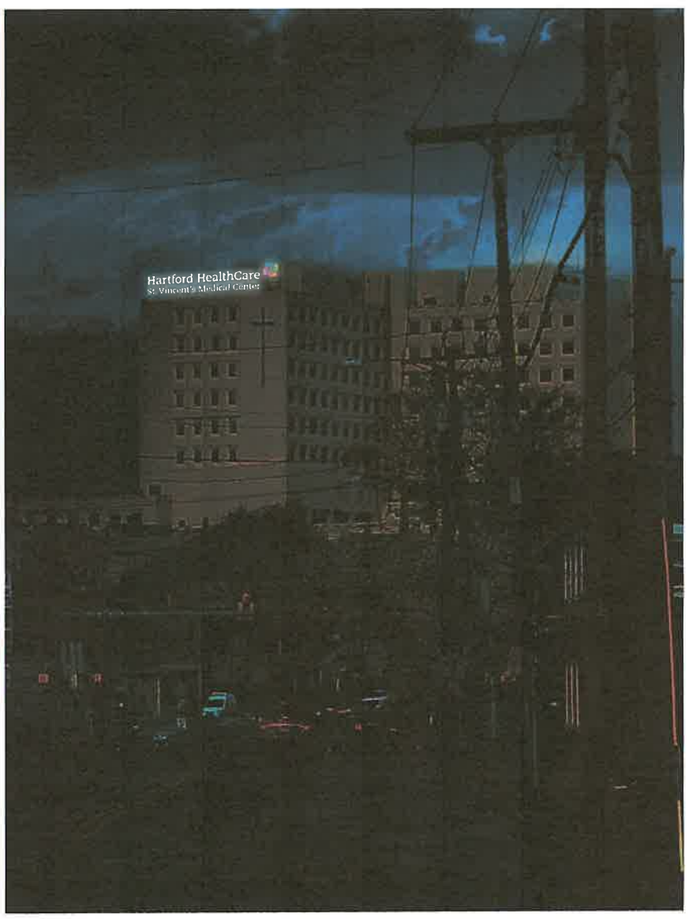
Plantsville, CT 06479
860.229.1812

SIGN TYPE
Channel Letter

PAGE
4 of 4





SIGN PRO

Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgeport, CT

SPI WO #: -----
Issue Date: 3/18/2021

Salesperson: Pete Rappoccio
Designer: Gigi

DRAWINGS ARE NOT TO SCA
UNLESS OTHERWISE NOTED

Revisions:
RV1: GD 3/26/2021
RV2: GD 3/26/2021
RV3: GD 4/26/2021
RV4: SB 5/5/21

Color Key:
- PMS 313c
- PMS 377c
- PMS 173c
- PMS 2405c

Customer Approval: ☐ APPROVED ☐ APPROVED AS NOTED ☐ REVISE & RESUBMIT

PRINT _____ SIGN _____ DATE _____

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860.229.1812

SIGN TYPE
Mock Up
PAGE
2 of 4

Property Owner's within 100'

ST VINCENTS DEVELOPMENT INC
002979 MAIN ST
BRIDGEPORT, CT 06606

STOKES MICHAEL J SR & DEBORAH
000280 GURDON ST
BRIDGEPORT, CT 06606

ST. VINCENT'S MEDICAL CENTER
002800 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002800 MAIN ST
BRIDGEPORT, CT 06604

PADILLA AIESHA
000184 MARTIN TER
BRIDGEPORT, CT 06606

AMARAL MANUEL J & PHILOMENA
000636 WEST TAFT AVE
BRIDGEPORT, CT 06604

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

ONEIL PAULINE B & REVEREND
000199 HAWLEY AVE
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENT DEVELOPMENT CORP
002800 MAIN ST
BRIDGEPORT, CT 06606

JEANCALIXTE ALFRED ET AL
000265 HAWLEY AVE
BRIDGEPORT, CT 06606

ENNIS VALERIE
PO BOX 5080
BRIDGEPORT, CT 06610

LYDDY CHRISTOPHER J&BARBARA
270 GURDON ST
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

CRESPO JOAQUIN
002857 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

VIRGO CLIVE
000255 HAWLEY AVE
BRIDGEPORT, CT 06606

ONWAUSOANYA OBIJULUM R
000225 HAWLEY AVE
BRIDGEPORT, CT 06606

NORTHBRIDGE HEALTH CARE
2875 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENT'S MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

COLLAZO MARIA
000066 HUNTING ST
BRIDGEPORT, CT 06606

ST VINCENT'S MEDICAL CENTER
002800 MAIN ST
BRIDGEPORT, CT 06606

ST. VINCENT'S DEVELOPMENT CORP
2800 MAIN STREET
BRIDGEPORT, CT 06606

CIRILO DOLORES & MARIA
136 HAWLEY AVE
BRIDGEPORT, CT 06606

FEOLA GENE N & EVELYN
49 LAUREL ST
TRUMBULL, CT 06611

ST VINCENTS MEDICAL CENTER
002979 MAIN ST
BRIDGEPORT, CT 06606

ST VINCENT MEDICAL CENTER
88 HUNTING STREET
BRIDGEPORT, CT 06606

PROVENZANO LOUIS
309 HOUSATONIC AVE
STRATFORD, CT 06615

SALVUCCI VALERIE F
PO BOX 6032
BRIDGEPORT, CT 06606

SIMILIEN ANTOINE & MARIE D
000104 HUNTING ST
BRIDGEPORT, CT 06606

VILLAFANE ANTONY
000260 GURDON ST
BRIDGEPORT, CT 06610

NORTHBRIDGE HEALTH CARE
002875 MAIN ST
BRIDGEPORT, CT 06606

AFM ENTERPRISES INC
PO BOX 6321
BRIDGEPORT, CT 06606

ST VINCENTS MEDICAL CENTER
2979 MAIN ST
BRIDGEPORT, CT 06606

BONHOMME ILARION & LUCIENNE
002756 MAIN ST
BRIDGEPORT, CT 06606

VIRGILE FRANCOISE
248 GURDON ST
BRIDGEPORT, CT 06606

ANTON FREDERICK W III ET AL
159 HAWLEY AVE
BRIDGEPORT, CT 06610

HESKE RONALD W & NANCY A
000177 HAWLEY AVE
BRIDGEPORT, CT 06606

ONWUASOANYA OBIAJULUM
000237 HAWLEY AVE
BRIDGEPORT, CT 06606

ABD INC
323 NORTH AVENUE
BRIDGEPORT, CT 06606

LUNA EUSEBIO & MARIA LUNA
000140 HAWLEY AVE
BRIDGEPORT, CT 06606

OTERO RAFAEL & IVONNE PEREZ
169 HAWLEY AVENUE
BRIDGEPORT, CT 06606

FRANCO DALTON E
209 HAMLEY AVE
BRIDGEPORT, CT 06610

RYAN ROSEMARY
146 SHELTON RD
TRUMBULL, CT 06611

(21-29)

RECEIPT (REC-002546-2021)
FOR CITY OF BRIDGEPORT

BILLING CONTACT
Tracy Becker
Sign Pro

PAID

PZC Hearing – June 28, 2021

Payment Date: 06/03/2021

Reference Number	Fee Name	Transaction Type	Payment Method	Amount Paid
PZC-000800-2021	Special Permit & Site Plan Review	Fee Payment	Check #1252	$520.00
	State Conservation Fee	Fee Payment	Check #1252	$60.00
	Tech Fee	Fee Payment	Check #1252	$15.00
			SUB TOTAL	**$595.00**
			TOTAL	**$595.00**

2800 Main St Bridgeport, CT 06606

FILING #0006251242 PG 03 OF 05 VOL B-02578
FILED 09/25/2018 10:00 AM PAGE 01716
SECRETARY OF THE STATE
CONNECTICUT SECRETARY OF THE STATE

CERTIFICATE OF INCORPORATION

OF

SVMC HOLDINGS, INC.

1. The name of the corporation is **SVMC Holdings, Inc.** (the "Corporation").

2. The Corporation is organized and shall be operated exclusively for charitable, scientific, literary or educational purposes within the meaning of Section 501(c)(3) of the Internal Revenue Code of 1986, as amended (the "Code"). The Corporation shall be operated as a component part of the integrated health care delivery system of which the parent is Hartford HealthCare Corporation (the "System"). The nature and activities to be conducted, or the purposes to be promoted or carried out by the Corporation, are as follows:

2.1. establishing and maintaining one or more hospitals or other health care facilities in the City of Bridgeport, Connecticut and in additional communities served by the Corporation;

2.2. providing health and wellness services and promoting and improving the general health and welfare of the communities served by the Corporation;

2.3. engaging in medical and scientific research, and in educational and other activities to promote and improve the general health and welfare of the communities served by the Corporation;

2.4. making grants to organizations within the System recognized as exempt from federal income tax under Section 501(c)(3) of the Code;

2.5. conducting activities, either directly or through related organizations recognized as exempt from federal income tax under Section 501(c)(3) of the Code, to raise funds in furtherance of the foregoing purposes of the Corporation, subject, however, to all limitations on the nature or extent of such activities applicable to organizations recognized as exempt from federal income tax under Section 501(c)(3) of the Code; and

2.6. in furtherance of the foregoing, engaging in any lawful act or activity for which corporations may be formed under the Revised Nonstock Corporation Act of the State of Connecticut (the "Act") as the same may be amended from time to time.

3. The Corporation is nonprofit and shall not have or issue shares of stock or make distributions or pay dividends.

4. The Corporation shall have a single member, namely, Hartford HealthCare Corporation, a Connecticut nonstock corporation (the "Member"). The Member shall have the exclusive power to elect directors of the Corporation ("Directors") and to remove Directors with or without cause, shall have the exclusive power to adopt, amend, and repeal the Bylaws of the Corporation (the "Bylaws"), and shall have such other rights, powers, and responsibilities as are accorded to members under the Act, this Certificate of Incorporation, or the Bylaws.

5. Notwithstanding any other provision of this Certificate of Incorporation to the contrary, the Corporation shall not carry on any activities not permitted to be carried on: (a) by

an organization exempt from federal income tax under Section 501(a) of the Code as an organization described in Section 501(c)(3) of the Code; or (b) by an organization, contributions to which are deductible under Section 170(c)(2) of the Code.

6. The net earnings of the Corporation or any part thereof may not be distributed to or inure to the benefit of any private individual or a Director or officer of the Corporation. However, nothing herein shall restrict the right of the Corporation to reasonably compensate any officer, Director or other individual for services rendered to the Corporation or to reimburse any officer, Director or other individual for expenses, disbursements or liabilities properly made or incurred, on account of that individual's service to the Corporation.

7. A substantial part of the activities of the Corporation shall not consist of the carrying on of propaganda or attempting to influence legislation except to the extent permitted by Section 501(h) of the Code. The Corporation may not participate in or intervene in (including the publication or distribution of statements) any political campaign on behalf of (or in opposition to) any candidate for public office.

8. Upon dissolution of the Corporation, the Board shall dispose of and distribute the assets remaining, after payment of all liabilities, exclusively for the purposes of the Corporation, to the Member exclusively for its charitable, scientific, literary or educational purposes, provided the Member shall be then exempt from federal taxation as an organization described in Section 501(c)(3) of the Code. If the Member shall not be so qualified as an organization described in Section 501(c)(3) of the Code, then the Board shall dispose of and distribute the assets remaining, after payment of all liabilities, exclusively for the charitable, scientific, literary or educational purposes of the Corporation, to one or more organizations as shall be then exempt from federal taxation as an organization or organizations described in Section 501(c)(3) of the Code, in such proportions and amounts and in such manner as the Board shall determine. No part of the Corporation's assets shall ever be distributed to its Directors or officers, or inure to the benefit of any private individual.

9. The personal liability of a Director of the Corporation to the Corporation for monetary damages for breach of duty as a Director of the Corporation shall be limited to the fullest extent permitted by the Act or any other applicable laws presently or hereafter in effect. Without limiting the effect of the preceding sentence, no Director of the Corporation shall be personally liable to the Corporation for monetary damages for breach of duty as a Director of the Corporation in an amount greater than the compensation received by the Director for serving the Corporation during the year of the violation if such breach did not: (i) involve a knowing and culpable violation of law by the Director; (ii) enable the Director, or an associate, as defined in Section 33-840 of the Connecticut General Statutes, to receive an improper personal economic gain; (iii) show a lack of good faith and a conscious disregard for the duty of the Director to the Corporation under circumstances in which the Director was aware that his or her conduct or omission created an unjustifiable risk of serious injury to the Corporation; or (iv) constitute a sustained and unexcused pattern of inattention that amounted to an abdication of the Director's duty to the Corporation. No amendment to, or modification or repeal of, this Article 9 shall adversely affect any right or protection of a Director of the Corporation existing hereunder with respect to any act or omission occurring prior to such amendment, modification or repeal. Nothing contained in this Article 9 shall be construed to deny to the Directors of the Corporation the benefit of Section 52-557m of the Connecticut General Statutes as in effect at the time of the violation.

10. The Corporation shall, to the fullest extent permitted by law, indemnify any Director, officer, or committee member of the Corporation (and, to the extent provided in a resolution of the Member's Board of Directors or by contract, may indemnify any employee, agent, or volunteer of the Corporation) (collectively, the "Agents") who was or is a party to or threatened to be made a party to any threatened, pending, or completed action, suit, or proceeding by reason of the fact that the person is or was an Agent, or is or was serving at the request of the Corporation as an Agent of another corporation, partnership, joint venture, trust, or other enterprise, whether for-profit or not-for-profit, against expenses, including attorney's fees (other than taxes, penalties, or expenses of correction), judgments, penalties, fines, and amounts paid in settlement actually and reasonably incurred by the Agent in connection with the action, suit, or proceeding if the Agent acted in good faith and in a manner that the Agent reasonably believed to be in or not opposed to the best interests of the Corporation, and with respect to any criminal proceeding, if the Agent had no reasonable cause to believe his or her conduct was unlawful.

11. The name and address of the initial registered agent of the Corporation is Hartford HealthCare Corporation, 85 Jefferson Street, Legal Department, Hartford, CT 06106.

12. References in this Certificate of Incorporation to the Act shall be deemed to include amendments adopted from time to time to such Act, and references to a Section of the Code shall be construed to refer both to such Section and to the regulations promulgated thereunder, as they now exist or as the same may hereafter be amended from time to time (or the corresponding provision of any future United States Internal Revenue Law).

SECRETARY OF THE STATE OF CONNECTICUT
MAILING ADDRESS: COMMERCIAL RECORDING DIVISION, CONNECTICUT SECRETARY OF THE STATE, P.O. BOX 150470, HARTFORD, CT 06115-0470
DELIVERY ADDRESS: COMMERCIAL RECORDING DIVISION, CONNECTICUT SECRETARY OF THE STATE, 30 TRINITY STREET, HARTFORD, CT 06106
PHONE: 860-509-6003 WEBSITE:www.concord-sots.ct.gov

CERTIFICATE OF INCORPORATION
NONSTOCK CORPORATION

FILING #0006251242 PG 01 OF 05 VOL B-02578
FILED 09/25/2018 10:00 AM PAGE 01714
SECRETARY OF THE STATE
CONNECTICUT SECRETARY OF THE STATE

USE INK. COMPLETE ALL SECTIONS. PRINT OR TYPE. ATTACH 81/2 X 1

FILING PARTY *(CONFIRMATION WILL BE SENT TO THIS ADDRES*

MAKE CHECKS PAYABLE TO "SECRETARY OF THE STATE"

NAME: Michelle Thompson
ADDRESS: 80 Seymour Street
Legal Department
CITY: Hartford
STATE: CT ZIP: 06102

1. NAME OF CORPORATION:

SVMC Holdings, Inc

THE CORPORATION IS NONPROFIT AND SHALL NOT HAVE OR ISSUE SHARES OF STOCK OR MAKE DISTRIBUTIONS.

2. PLACE A CHECK NEXT TO THE APPROPRIATE STATEMENT:

☐ **A. THE CORPORATION SHALL NOT HAVE MEMBERS.**

☐ **B. THE CORPORATION SHALL ONLY HAVE MEMBERS, WHICH ARE NOT ENTITLED TO VOTE.**

☒ **C. THE CORPORATION SHALL HAVE ONE CLASS OF MEMBERS.**

☐ **D. THE CORPORATION SHALL HAVE MULTIPLE CLASSES OF MEMBERS WHICH CLASSES ARE DESIGNATED AS FOLLOWS:**

PLEASE NOTE: THE MANNER OF ELECTION AND APPOINTMENT OF MEMBERS ALONG WITH THEIR QUALIFICATIONS AND RIGHTS MAY BE SET FORTH IN THIS CERTIFICATE OR IN THE CORPORATION'S BYLAWS. PLEASE SEE C.G.S.§ 33-1055 & -1056.

3. APPOINTMENT OF REGISTERED AGENT: *(PLEASE SELECT ONLY ONE A. ORB.)*

A. INDIVIDUAL'S AGENT NAME:

BUSINESS ADDRESS: *(P.O.BOX UNACCEPTABLE)*
ADDRESS:
CITY:
STATE: ZIP:

RESIDENCE ADDRESS: *(P.O.BOX UNACCEPTABLE)*
ADDRESS:
CITY:
STATE: ZIP:

B. BUSINESS ENTITY AGENT NAME: HARTFORD HEALTHCARE CORPORATION

ADDRESS: *(P.O.BOX UNACCEPTABLE)*
ADDRESS: 85 JEFFERSON ST.
LEGAL DEPARTMENT
CITY: HARTFORD
STATE: CT ZIP: 06106

FORM CIN-1-1.0
Rev. 1/1/2015

ACCEPTANCE OF APPOINTMENT

David Hack VP Legal Affairs

SIGNATURE OF AGENT

4. THE NATURE OF THE ACTIVITIES TO BE CONDUCTED OR THE PURPOSES TO BE PROMOTED BY THE CORPORATION:

FILING #0006251242 PG 02 OF 05 VOL B-02578
FILED 09/25/2018 10:00 AM PAGE 01715
SECRETARY OF THE STATE
CONNECTICUT SECRETARY OF THE STATE

SEE ATTACHMENT SHEET

5. OTHER INFORMATION:

SEE ATTACHMENT SHEET

6. CORPORATION EMAIL ADDRESS - REQUIRED: (IF NONE, MUST STATE "NONE.")

NONE

7. EXECUTION: CERTIFICATE MUST BE SIGNED BY EACH INCORPORATOR

DATED THIS 25th **DAY OF** September , 2018

NAME OF INCORPORATOR	ADDRESS	SIGNATURE(S)
Jeffrey A. Flaks	ADDRESS: One State Street Suite 19 CITY Hartford STATE: CT ZIP: 06103	Jeffrey A. Flaks
	ADDRESS: CITY STATE: ZIP:	
	ADDRESS: CITY STATE: ZIP:	
	ADDRESS: CITY STATE: ZIP:	

FORM CIN-1-1.0
Rev. 1/1/2015

STATE OF CONNECTICUT
Department of Public Health

In accordance with the provisions of the General Statutes of Connecticut Section 19a-493 the following license to maintain and operate a

General Hospital

LICENSE NO:

77

has been granted to

SVMC HOLDINGS, INC.

d/b/a

ST. VINCENT'S MEDICAL CENTER

Located at

2800 MAIN ST

BRIDGEPORT, CT 06606-4201

For the period from 10/01/2019 to 09/30/2021 .

During the license period and in accordance with the Regulations of the Connecticut State Agencies, changes to any of the following must be submitted to the Department of Public Health and are subject to the approval of the Department of Public Health:
Maximum number of Beds:

- Hospital beds: 473
- Bassinets: 47

Renée D. Coleman-Mitchell, MPH
Commissioner

Appendix A: Satellite Locations

STATE OF CONNECTICUT

Department of Public Health

LICENSE APPENDIX A: SATELLITE LOCATIONS

General Hospital

LICENSE NO:
77

SVMC HOLDINGS, INC.

For the period from 10/01/2019 to 09/30/2021.

ST. VINCENT'S BEHAVIORAL HEALTH CENTER - WESTPORT - 47 LONG LOTS RD, WESTPORT, CT 06880-3828,
ST. VINCENT'S CENTER FOR WOULD HEALING - STRATFORD - 3272 MAIN ST, STRATFORD, CT 06614-4819,
ST. VINCENT'S CENTER FOR WOUND HEALING - TRUMBULL - 115 TECHNOLOGY DR, TRUMBULL, CT 06611-6337,
ST. VINCENT'S OUTPATIENT BEHAVIORAL HEALTH - BRIDGEPORT - 2400 MAIN ST, BRIDGEPORT, CT 06606-5323,
ST. VINCENT'S OUTPATIENT BEHAVIORAL HEALTH - NORWALK - 1 LOIS ST, NORWALK, CT 06851-4404

City of Bridgeport
Zoning Department
PLANNING AND ECONOMIC DEVELOPMENT
45 Lyon Terrace • Bridgeport, Connecticut 06604
Telephone (203) 576-7217
Fax (203) 576-7213

June 10, 2021

HARTFORD HEALTHCARE
ST VINCENT'S MEDICAL CENTER
C/O TRACY BECKER
60 WESTFIELD DRIVE
PLANTSVILLE, CT 06479
FILE: 21-29

RE: 2800 MAIN STREET

Dear Tracy Becker:

This is to notify you that the Planning & Zoning Commission of the City of Bridgeport, CT has scheduled a public hearing **Monday, June 28, 2021 at 6:30pm**.

You or your authorized representative must participate in this hearing which will be held **via Zoom video/teleconference**. On the date indicated please use the direct link below.

https://zoom.us/j/98015718434
Meeting ID: 980 1571 8434
Dial in (toll-free): (877) 853-5257 or (888) 475-4499

In accordance with Section 14-2-4C; 14-3-4C; 14-4-2C; or 14-7-3b of the Zoning Regulations of the City of Bridgeport you are required to **notify *only* the abutting property owners** adjacent to the property lines on the sides and the rear of the property by certified mail (**10 days prior** to the hearing) and provide proof to the Chairperson at the beginning of your presentation by showing the green signature cards and/or the dated receipts from the Post Office.

(See form enclosed). This form is a courtesy. If the wording is not to your liking or is inaccurate you may use your own form of notification to the abutters.

You are also required to post **public hearing signs** on the referenced property (**7 days prior** to the hearing). We will email or call you when these signs are ready to be picked up.

Cordially,

Dennis Buckley, Clerk
Planning & Zoning Commission

DB/gb

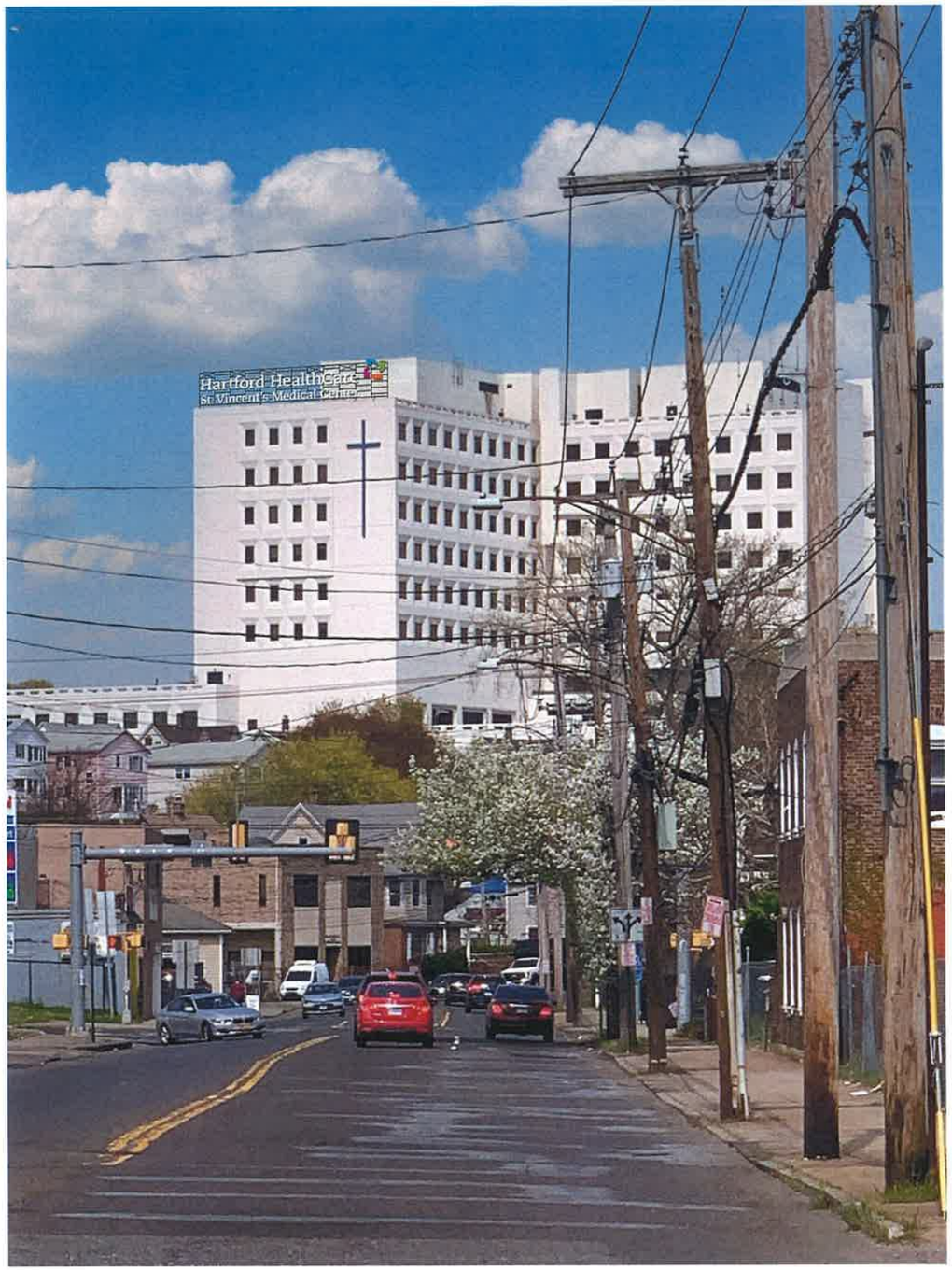
(21-29)

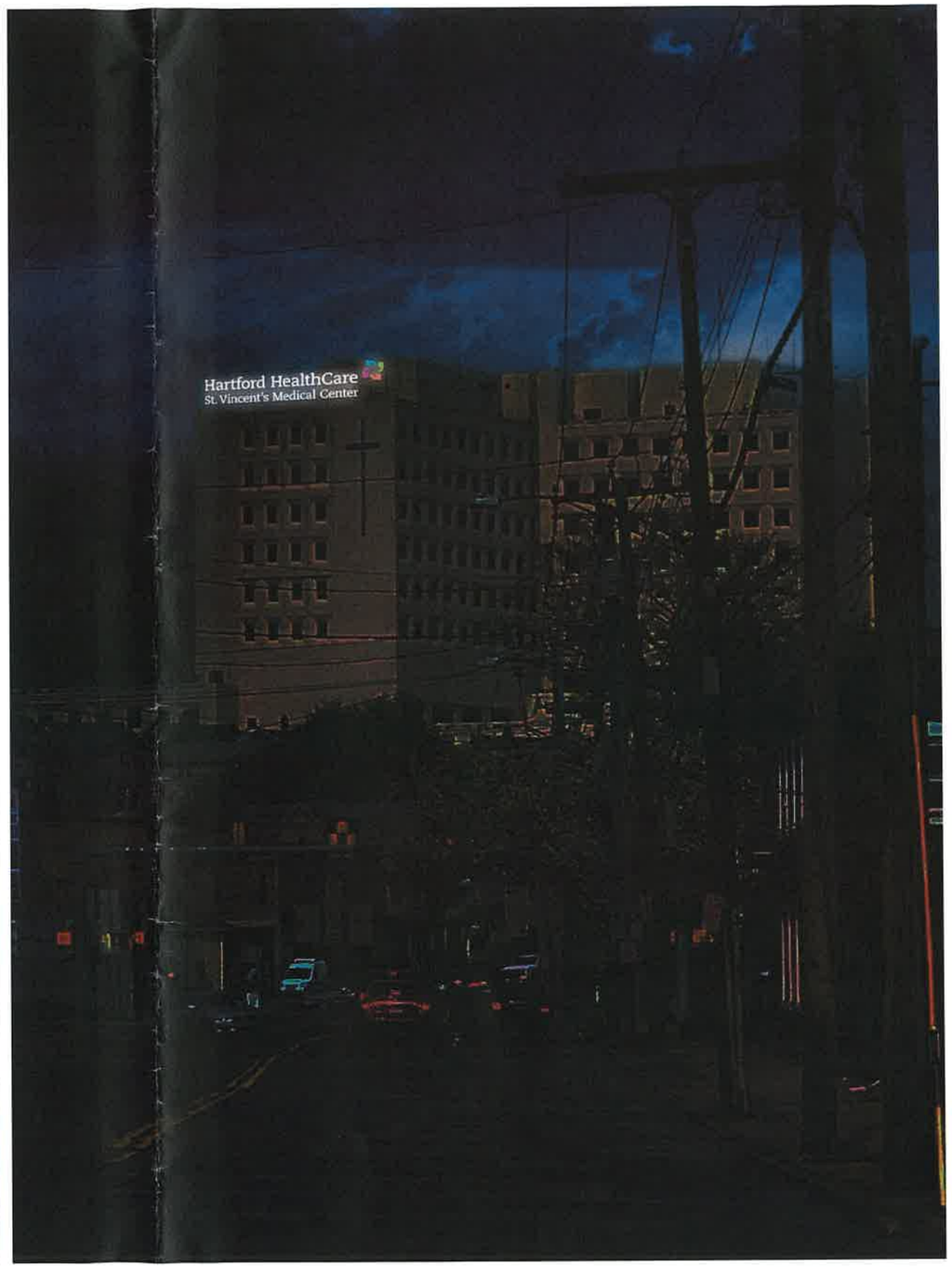
Hartford HealthCare

Hartford HealthCare

St. Vincent's Medical Center - Terrace Sign • Version 5 • Job# 57524 • May 6, 2021

SIGN PRO
signpro-usa.com
60 Westfield Drive
Plantsville, CT 06479
860.229.1812





SIGN PRO

Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgeport, CT

SPI WO #: -----
Issue Date: 3/18/2021

Salesperson: Pete Rappoccio
Designer: Gigi

DRAWINGS ARE NOT TO SCALE UNLESS OTHERWISE NOTED

Revisions:
RV1: GD 3/26/2021
RV2: GD 3/26/2021
RV3: GD 4/26/2021
RV4: SB 5/6/21

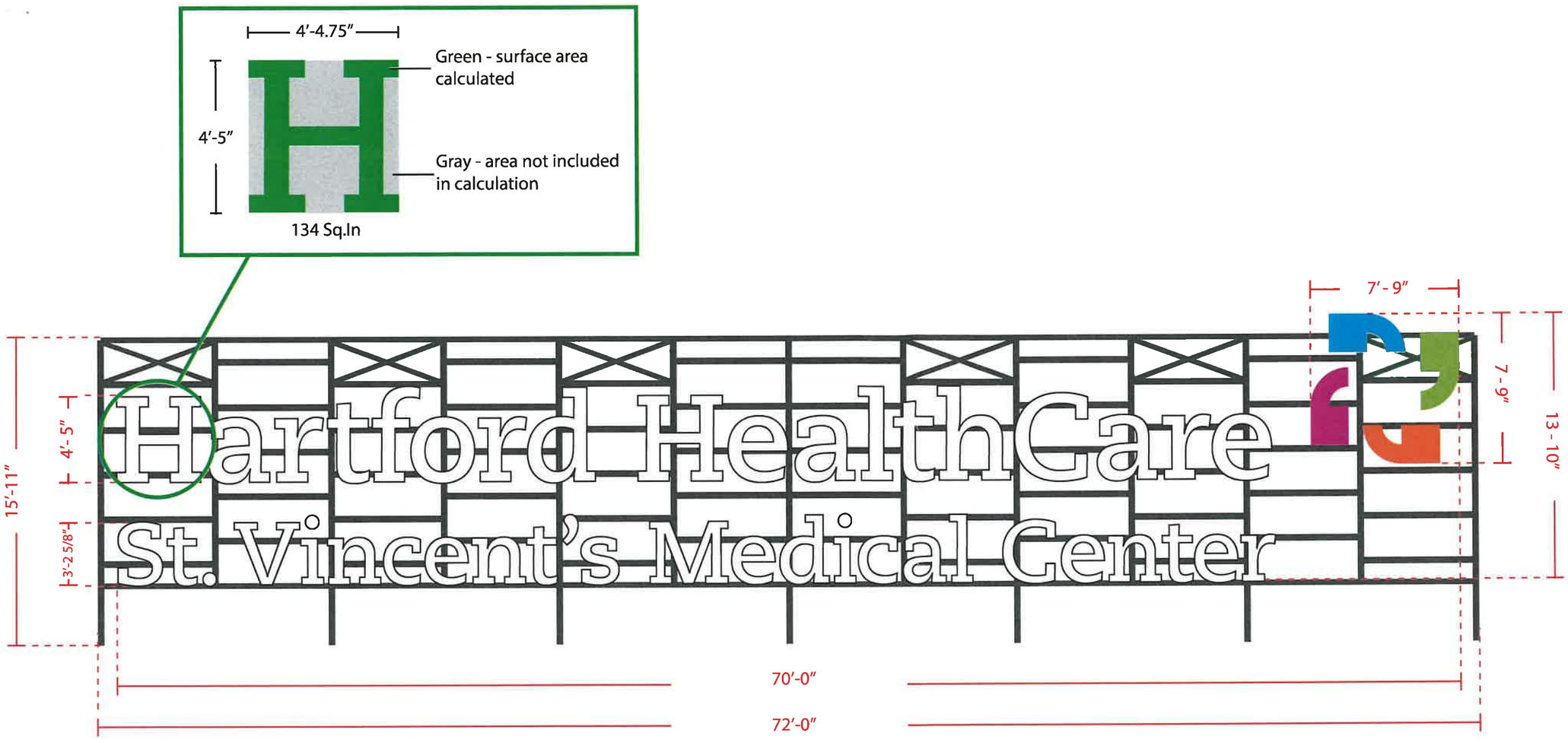
Color Key:
- PMS 313c
- PMS 377c
- PMS 173c
- PMS 2405c

Customer Approval: ☐ APPROVED ☐ APPROVED AS NOTED ☐ REVISE & RESUBMIT

PRINT _____ SIGN _____ DATE _____

SIGN PRO
signpro-usa.com
60 Westfield Drive
Plantsville, CT 06479
860.229.1812

SIGN TYPE
Mock Up



Signage Area: 199.16 SF

Illuminated Channel Letters
Mounted to Terrace

SIGN PRO

Project Address:
Hartford HealthCare (St. Vincent's)
2800 Main St
Bridgeport, CT

SPI WO #: -----
Issue Date: 3/17/2021

Salesperson: Pete Rappoccio
Designer: Gigi

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PRINT _____ SIGN _____ DATE _____

SIGN PRO
signpro-usa.com
60 Westfield Drive
Plantsville, CT 06479
860.229.1812

SIGN TYPE
Channel Letters

SIGN PRO

Project Address:
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Bridgeport, CT

SPI WO #: -----

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PRINT _____ SIGN _____ DATE _____

SIGN PRO
signpro-usa.com
60 Westfield Drive
Plantsville, CT 06479
860.229.1812

SIGN TYPE
Channel Letters

CITY OF BRIDGEPORT

File No. _____

PLANNING & ZONING COMMISSION APPLICATION

1. **NAME OF APPLICANT:** SVMC Holdings Inc.
2. Is the Applicant's name Trustee of Record? Yes _____ No X .
   If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 2800 Main Street, Bridgeport, CT 06606
   (number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. 2120 Lot No. 1/X
5. Amendments to Zoning Regulations: (indicate) Article: 11 Section: 11-7-3.j
   (Attach copies of Amendment)
6. Description of Property (Metes & Bounds): N/A
7. Existing Zone Classification: MU-EM
8. Zone Classification requested: N/A
9. Describe Proposed Development of Property: Proposed amendment to the Bridgeport Zoning Regulations regarding on-premise roof signs on hospital buildings of at least eight stories

Approval(s) requested: Amendment to the Bridgeport Zoning Regulations

Signature: _____ **Date**: 08/13/2021

Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) **Signature:** _____

Print Name: _____

Mailing Address: Attn: Chris Russo, Russo & Rizio, 10 Sasco Hill Road, Fairfield, CT 06824

Phone: (203) 528-0590 Cell: _____ Fax: _____

E-mail Address: chris@russorizio.com

$ _____ Fee received **Date**: _____ **Clerk**: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- ■ Completed & Signed Application Form
- □ A-2 Site Survey
- □ Building Floor Plans
- □ Completed Site / Landscape Plan
- □ Drainage Plan
- □ Building Elevations
- ■ Written Statement of Development and Use
- □ Property Owner's List
- □ Fee
- □ Cert. of Incorporation & Organization and First Report (Corporations & LLC's)

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

SVMC Holdings Inc.		08/13/2021
Print Owner's Name	Owner's Signature	Date
Print Owner's Name	Owner's Signature	Date

Rev. 6/18/2016

PROPOSED AMENDMENT TO SECTION 11-7-3.j OF THE BRIDGEPORT ZONING REGULATIONS

(All changes in bold, italicized and underlined)

Section 11-7-3 Regulations Applying To Signs In All Zones

j. **Roof Signs**: For purposes of this Section 11-7, a roof sign includes any on-premises sign painted, applied or installed above the height of the front wall of a Building. Roof signs require a special permit by the Planning and Zoning Commission. Roof signs installed at the Sports and Entertainment Venue at Harbor Yard as mentioned in Section 11-7-11a, are exempt from the special permit requirement. No roof sign shall exceed a maximum height of three (3) feet above the top of any building on which it is located, measured to include the equipment necessary to securely anchor the sign on the roof of the building in a manner that results in it being certified safe at that location by a licensed professional engineer. No roof sign shall extend more than the width of the building upon which the same shall be constructed.

Notwithstanding this Sec. 11-7-3.j, in the Mixed-Use – Educational/Medical Zone (MU-EM), on-premise roof signs located on hospital buildings of at least eight stories may be installed above the height of the front or side or rear walls of such buildings, shall be exempt from the sign dimension requirements outlined in Sec 11-7-3.d, shall be exempt from the maximum height requirements outlined in Section 11-7-3.e, shall be exempt from the height requirements established in this Section 11-7-3.j, and shall require a special permit by the Planning and Zoning Commission. The maximum height of on-premise roof signs located on hospital buildings of at least eight stories shall be no greater than Twenty (20) feet. The area of any such on-premise roof sign approved under this Section is exempt from, and shall not be counted toward, any otherwise applicable limitations on the total area of signage allowed on such premises.

Russo & Rizio, LLC
ATTORNEYS AT LAW

Colin B. Connor
Elizabeth A. Falkoff*
Robert G. Golger
Michael C. Jankovsky
David K. Kurata
Katherine M. Macol
Leah M. Parisi
William M. Petroccio*
Raymond Rizio*
Christopher B. Russo
Robert D. Russo
John J. Ryan
Vanessa R. Wambolt
(*Also Admitted in NY)

August 13, 2021

Dennis Buckley
Zoning Administrator
Zoning Department
45 Lyon Terrace
Bridgeport, CT 066044

Re: Amendment to Section 11-7-3.j of the Bridgeport Zoning Regulations

Dear Mr. Buckley:

Please accept the following narrative and enclosed application materials as part of the application to amend the Section 11-7-3.j of the Bridgeport Zoning Regulations (the "Regulations").

Narrative

The Petitioner proposes to amend Sec. 11-7-3.j to adjust the regulations concerning on-premise roof signs for hospital buildings. The Commission recently voted to approve amendments to the Regulations for hospital building signage acknowledging the unique circumstances around such use. Hospitals, for better or worse, are a central location for every person. Whether for work, a routine visit, or an emergency, at some point, everyone will need to easily locate a hospital. This not only includes area residents familiar with the location of a hospital, but also persons with no knowledge of this area. Recognizing the uniqueness of hospital buildings, the Commission approved an amendment earlier this year with regards to wall signs.

Similarly, the Petitioner proposes the enclosed text amendment regarding the roof sign Regulations. This Amendment recognizes hospitals as one of the tallest, most prominent buildings of the cityscape and, again, as a central feature of any community. The existing roof sign regulations would be completely unreasonable for hospital buildings. The current regulations restrict the height of a roof sign to a maximum height of Three feet (3') above the top of any building on which it is located. Said restriction is understandable on a two- or three-story building. However, such a restriction on an eight-story hospital building would essentially render a roof sign useless. Sign dimension restrictions detailed in Sec. 11-7-3.d would have a similar effect. The Regulations need to be amended to address the unique characteristics of hospital buildings.

10 Sasco Hill Road
Fairfield, CT 06824

Tel 203-255-9928
Fax 203-255-6618

For these reasons, the Petitioner has submitted the proposed text amendment. The proposed text amendment would exempt on-premise roof signs located on hospital buildings of at least eight stories from the sign dimension requirements of Sec. 11-7-3.d and the height requirements of Secs. 11-7-3.e and 11-7-3.j. Instead, the proposed text amendment requires that the height of an on-premise roof sign for such a hospital building shall be no greater than Twenty feet (20'). The width of such a sign would still be restricted by the existing Regulations, which states that no roof sign shall extend more than the width of the building upon which the same shall be constructed. These restrictions would constitute the sign dimension and height requirements of hospital buildings under this Section. In addition, the proposed amendment recognizes the reality that hospital buildings within the City essentially have street frontages on all sides, rather than simply the front. For instance, St. Vincent's Medical Center is bounded by Main Street, Hawley Avenue, Gurdon Street and Hunting Street. For these reasons, the proposed amendment specifies that an on-premise roof sign would be permitted above the front, side or rear wall of said hospital building. Finally, due to the permitted size of the on-premise roof sign, which occupies an entirely peripheral view than signs located near ground level, the proposed text amendment exempts on-premise roof signs from the calculations for the overall signage on a hospital building property. Hospitals will have to provide ground level signage for vehicles and pedestrians entering and exiting their property. At this proximity, the on-premise roof sign on top of a hospital building over eight stories will not even be visible. Instead, said on-premise sign will be visible to those traveling along the major highway thoroughfares that run through the City. The proposed text amendment exempting the on-premise roof sign from the overall signage calculations on a hospital property recognizes that reality.

The proposed text amendment retains power and discretion in the hands of the Planning and Zoning Commission through the Special Permit process. Therefore, the Petitioner will still need to demonstrate that any potential negative impacts have been mitigated. The Commission will have the ability to approve design, layout and analyze impacts to vistas and neighborhoods.

The proposed text amendment is an important addition to the Regulations to recognize the uniqueness of hospital buildings within the context of the Regulations. A roof sign on a two-story building is not comparable to a roof sign on a hospital building over eight stories. The proposed amendment is in accordance with the Plan of Conservation and Economic Development ("POCD"). The POCD recognized that hospital buildings are anchor institutions within the City. They are an incredible service to our community, they represent a growing and significant workforce center and they are a physical presence on the cityscape. The POCD set a goal to work with these institutions to promote their connection to the City. The proposed text

amendments not only add practical regulations regarding on-premise roof signs on hospital buildings, but they also fulfill these goals of the POCD.

For the reasons stated above, the Applicant respectfully requests approval of its application to amend Section 11-7-3.j.

Sincerely,

Christopher Russo