



CITY OF BRIDGEPORT

File No. _____

**PLANNING & ZONING COMMISSION
APPLICATION**

1. NAME OF APPLICANT: 1201 Bridgeport Properties, LLC
 2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
 3. Address of Property: 15 Dewey Street, Bridgeport, CT 06605
(number) (street) (state) (zip code)
 4. Assessor's Map Information: Block No. 1240 Lot No. 5C
 5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
 6. Description of Property (Metes & Bounds): 167.74' x 460' x 170.8' x 340.26' x 143.98'
 7. Existing Zone Classification: CX - Heavy Commercial
 8. Zone Classification requested: _____
 9. Describe Proposed Development of Property: Interior renovations for a cannabis retail facility in a portion of the building, 6,847 square feet.
- Approval(s) requested: Section 11.120 - Certificate of Location Approval

Signature: _____ Date: 9/13/22
 Print Name: _____

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____
 Print Name: Charles J. Willinger, Jr.

Mailing Address: 1000 Bridgeport Avenue, Shelton, CT 06484
 Phone: 203-366-3939 Cell: _____ Fax: 475-269-2907
 E-mail Address: dlord@wwblaw.com

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- | | | |
|--|--|---|
| <input type="checkbox"/> Completed & Signed Application Form | <input type="checkbox"/> A-2 Site Survey | <input type="checkbox"/> Building Floor Plans |
| <input type="checkbox"/> Completed Site / Landscape Plan | <input type="checkbox"/> Drainage Plan | <input type="checkbox"/> Building Elevations |
| <input type="checkbox"/> Written Statement of Development and Use | <input type="checkbox"/> Property Owner's List | <input type="checkbox"/> Fee |
| <input type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) | | |

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

15 Dewey Street, LLC
 Print Owner's Name

 Print Owner's Name

By: [Signature] Date: 9/13/22
 Owner's Signature
Charles J. Willinger, Jr.
 Attorney/Agent, Duly Authorized
 Owner's Signature Date

**CITY OF BRIDGEPORT
PLANNING & ZONING COMMISSION**

STATEMENT IN SUPPORT OF:

**APPLICATION FOR CERTIFICATE OF LOCATION APPROVAL AND COASTAL
SITE PLAN APPROVAL**

15 DEWEY STREET

1201 BRIDGEPORT PROPERTIES, LLC

REQUESTED APPROVALS:

§§ 11.120 & 11.80.2

Certificate of Location Approval &
Coastal Site Plan Approval

The petitioner is the lessee of property located at 15 Dewey Street ("Property"). The Property is located in CX- Heavy Commercial zoning district.

The petitioner proposes interior renovations only for a cannabis retail facility in a portion of the existing building consisting of 6,847 square feet in area. The cannabis retail facility is a permitted use in the CX zone with a Certificate of Location Approval.

The petitioner is providing a survey, a site plan, a radius map certifying that there are no schools within 500 feet of the entrance to the facility, floor plans and a Traffic & Pedestrian Management Plan.

The submitted plans and traffic report demonstrate that the proposed cannabis retail facility will not result in any adverse impacts to the neighborhood or to potential customers.

1201 BRIDGEPORT PROPERTIES, LLC
15 DEWEY STREET, BRIDGEPORT, CT
ABUTTING PROPERTY OWNERS & OWNERS
WITHIN 100 FEET OF SUBJECT PROPERTY

ABUTTING PROPERTY OWNERS

Property Description	Owner(s)	Mailing Address
101 Edgewood Street	101 Edgewood, LLC	935 Lakeside Dr. Bridgeport, CT 06606
90 Edgewood Street	Estate of F. D'Addario	PO Box 7056 Bridgeport, CT 06601
80 Edgewood Street	Vaz Stratford Ave Land, LLC	179 William St. Bridgeport, CT 06608
54 Edgewood Street	Salt Edge Wash, LLC	323 North Ave. Bridgeport, CT 06606
66 Edgewood Street	Salt Edge Wash, LLC	323 North Ave. Bridgeport, CT 06606
52 Edgewood Street	Salt Edge Wash, LLC	323 North Ave. Bridgeport, CT 06606
50 Edgewood Street	Salt Edge Wash, LLC	323 North Ave. Bridgeport, CT 06606
34 Edgewood Street	Salt Edge Wash, LLC	323 North Ave. Bridgeport, CT 06606
32 Edgewood Street	Salt Edge Wash, LLC	323 North Ave. Bridgeport, CT 06606
24 Edgewood Street	Salt Edge Wash, LLC	323 North Ave. Bridgeport, CT 06606
20 Edgewood Street	Salt Edge Wash, LLC	323 North Ave. Bridgeport, CT 06606
29 Ash Street	Prince of Peace Church, Inc.	29 Ash St. Bridgeport, CT 06605
84 Dewey Street	Kristian & Kevin Soares	84 Dewey St. Bridgeport, CT 06605
78 Dewey Street	Cajamarca Consulting, LLC	150 Heathcote Rd. Lindenhurst, NY 11757
70 Dewey Street	681 Myrtle Ave. Properties, LLC	87 Jackman St. Fairfield, CT 06825
1862 Commerce Drive	BPort Holdings, LLC	1057 Broad St. Bridgeport, CT 06604
1965 Commerce Drive	Margaret Gross	103 Middlebrooks Ave. Trumbull, CT 06611
1943 Commerce Drive	Brentwood Extension, LLC	381 Highland St. West Haven, CT 06516
1901 Commerce Drive	1901 Commerce Dr., LLC	1901 Commerce Dr. Bridgeport, CT 06605

**Non-Abutting Property
Owners within 100'**

100 Edgewood Street	Estate of F. D'Addario	PO Box 7056 Bridgeport, CT 06605
107 Dewey Street	Jose Polanco	107 Dewey St. Bridgeport, CT 06605
119 Dewey Street	Nayeema Begum	119 Dewey St. Bridgeport, CT 06605
19 Ash Street	Bridgeport Holdings, LLC	1057 Broad St. Bridgeport, CT 06604
11 Ash Street	Ash Holdings LLC	1057 Broad St. Bridgeport, CT 06604



Dynamic Traffic, LLC
245 Main Street, Suite 110
Chester, NJ 07930
T. 732.681.0760

August 10, 2022
Via Email

5 Vincy Drive
Cromwell, CT 06416
Attn: Rino Ferrarese
Ray Pantalena

**Re: Traffic & Pedestrian Management Plan
Proposed Cannabis Dispensary
Map 3-54 – Lots 9-13, 21-28 & 30-38
15 Dewey Street
City of Bridgeport, Fairfield County, CT**

Gentlemen:

Dynamic Traffic has prepared the following assessment to determine the traffic impact and adequacy of access, circulation, and parking associated with occupancy of a site located with frontages on southbound Dewey Street, westbound State Street Extension and eastbound Edgewood Street in the City of Bridgeport, Fairfield County, Connecticut. The site is designated as Lots 9 through 13, 21 through 28 and 30 through 38 on Map 3-54 and was most recently occupied by the Jim Waters Co. construction materials showroom and distribution center.

It is proposed to occupy approximately 5,500 SF of the existing building with a cannabis dispensary (The Project). Access to the site is proposed via one (1) full movement driveway along State Street Extension which will serve the fenced dedicated parking area. Additionally, there is an existing gravel parking lot to the west of the dedicated parking area to accommodate potential overflow parking.

This assessment documents the methodology, analyses, findings and conclusions of our study and includes:

- Projections of traffic to be generated by The Project were prepared utilizing trip generation data as published by the Institute of Transportation Engineers.
- The proposed site driveway was inspected for adequacy of geometric design, spacing and/or alignment to streets and driveways on the opposite side of the street, relationship to other driveways adjacent to the development, and conformance with accepted design standards.
- The parking layout and supply was assessed based on accepted design standards and demand experienced at similar developments.

www.dynamictraffic.com

Lake Como, NJ • Chester, NJ • Toms River, NJ • Newark, NJ • Newtown, PA • Philadelphia, PA
Bethlehem, PA • Allen, TX • Houston, TX • Austin, TX • Delray Beach, FL

Existing Conditions

State Street Extension (Commerce Drive) has a general east/west orientation and in the vicinity of the site has a posted speed limit of 25 MPH. The roadway provides one travel lane in each direction west of Dewey Street and two lanes of travel to the east. On-street parking is permitted along portions of the roadway. Curb and sidewalk are provided along both sides of the roadway to the east of Dewey Street. State Street Extension intersects Dewey Street at a signalized intersection which provides a signalized pedestrian crossing in the north/south and east/west directions.

Dewey Street has a general north/south orientation and in the vicinity of the site has a posted speed limit of 25 MPH. The roadway provides one travel lane in each direction and on-street parking is permitted along the eastern side of the roadway. Curb and sidewalk are provided along both sides of the roadway.

Site Generated Traffic

Trip generation projections for The Project were made utilizing trip generation research data as published under Land Use Code (LUC) 882 – Marijuana Dispensary in the Institute of Transportation Engineers’ (ITE) publication, *Trip Generation, 11th Edition*. This publication sets forth trip generation rates based on empirical traffic count data conducted at numerous research sites. The following table shows the anticipated trip generation for The Project.

**Table I
 Trip Generation**

Use	AM PSH			PM PSH			Sat PSH		
	In	Out	Total	In	Out	Total	In	Out	Total
Proposed 5,500 SF Dispensary	30	28	58	52	52	104	80	79	159

It should be noted that the projected trip generation translates to approximately 1-2 additional vehicles on the adjacent roadway network per minute during the peak hours. No credit was taken for trips generated by the former construction materials showroom and distribution center.

Site Access, Parking and Circulation

As previously noted, access to the site will be provided via one (1) full movement driveway along East State Street which will serve the dedicated fenced parking area which can accommodate 45-55 vehicles. In addition to the dedicated parking area, there is a gravel parking area located to the west which can accommodate an additional 25-30 vehicles in an overflow capacity should it be required. Further, there are 18 striped parking stalls located adjacent to the southern building façade which will operate in a shared parking arrangement along with the overflow parking area with the remainder of the building tenants.

It is proposed to provide 45-55 exclusive parking spaces in support of The Project. Based on data published by the ITE in the 5th Edition of *Parking Generation*, LUC 882 has an average peak parking demand of 7.19 vehicles per 1,000 SF or 40 vehicles for a facility of this size which could be

accommodated within the dedicated parking area without consideration of the overflow parking. Consequently, the proposed parking supply will be sufficient to support the anticipated demand of the project and off-site parking and/or shuttles are not anticipated to be required given the availability of dedicated and overflow parking provided on-site.

Pedestrian Management Plan

As noted, Dewey Street provides sidewalk along both frontages with signalized pedestrian crossings located to the east of the subject property. The proposed dispensary will provide a pedestrian connection to the existing sidewalk network to provide direct pedestrian connectivity to the community. The Project will provide pedestrian areas adjacent to the eastern and southern building façades. Temporary retractable belt stanchions will be used as necessary to delineate the pedestrian queuing area so as not to interfere with the adjacent sidewalk or site access if required.

Findings

Based upon the detailed analyses as documented herein, the following findings are noted:

- The proposed 5,500 SF cannabis dispensary will generate 30 entering trips and 28 exiting trips during the morning peak hour, 52 entering trips and 52 exiting trips during the evening peak hour and 80 entering trips and 79 exiting trips during the Saturday peak hour.
- Access to the site will be provided via one (1) full movement driveway along State Street Extension.
- As proposed, The Project's site driveways has been designed to provide for safe and efficient movement of automobiles.
- The proposed exclusive parking supply and design is sufficient to support the projected demand based published industry data.
- An overflow parking area is proposed adjacent to the dedicated parking area to eliminate the need for off-site parking and/or shuttles.
- The Project has been designed to be integrated with the adjacent pedestrian circulation network and dedicated pedestrian sidewalks are provided on site to allow for both pedestrian access as well as patron queuing as necessary.

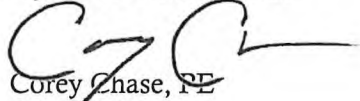
Conclusion

Based upon our Traffic Assessment as detailed in the body of this report, it is the professional opinion of Dynamic Traffic that the adjacent street system of the City of Bridgeport will not experience any significant degradation in operating conditions with the occupancy of the site. The site driveway is located to provide safe and efficient access to the adjacent roadway system. The site as proposed provides for good traffic, bicycle and pedestrian circulation throughout the site and provides adequate parking to accommodate The Project's needs.

If you have any questions on the above, please do not hesitate to contact me.

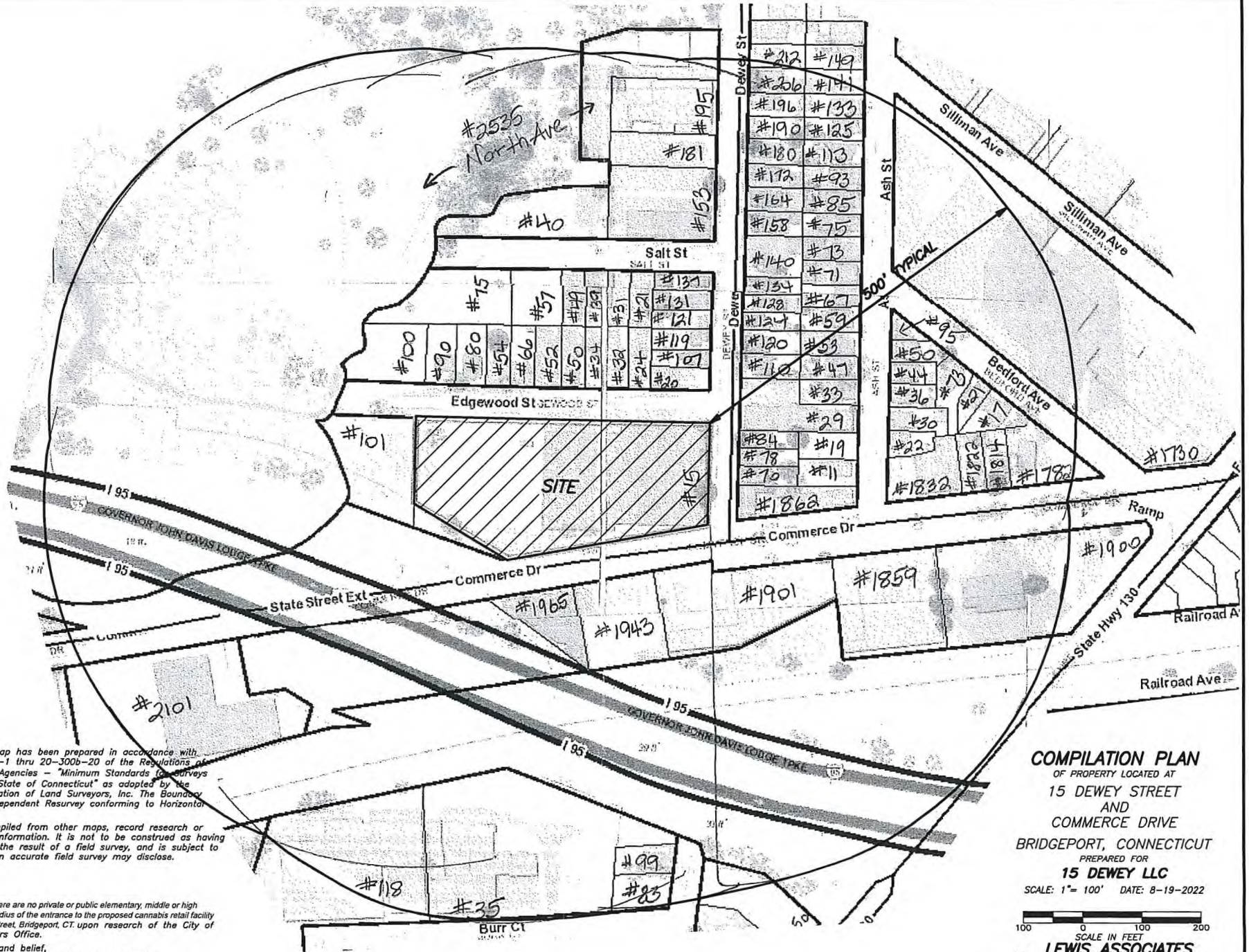
Sincerely,

Dynamic Traffic, LLC



Corey Chase, PE
Principal
CT PE License 26718

C: Diane Lord
Nicholas DeLuca



NOTES:

1. This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. The Boundary Determination is Dependent Resurvey conforming to Horizontal Accuracy Class D.
2. This plan was compiled from other maps, record research or other sources of information. It is not to be construed as having been obtained as the result of a field survey, and is subject to such change as an accurate field survey may disclose.

I hereby declare that there are no private or public elementary, middle or high schools within a 500' radius of the entrance to the proposed cannabis retail facility located at 15 Dewey Street, Bridgeport, CT, upon research of the City of Bridgeport Assessors Office.
 To my knowledge and belief, this map is substantially correct as noted hereon.

This map is not valid unless it has a live signature and embossed seal of Tracy H. Lewis.

TRACY H. LEWIS L.L.S. CT. LIC. NO. 15160

COMPILATION PLAN
 OF PROPERTY LOCATED AT
 15 DEWEY STREET
 AND
 COMMERCE DRIVE
 BRIDGEPORT, CONNECTICUT
 PREPARED FOR
15 DEWEY LLC
 SCALE: 1" = 100' DATE: 8-19-2022

SCALE IN FEET

LEWIS ASSOCIATES
 LAND SURVEYING AND CIVIL ENGINEERING
 260 MAIN STREET, MONROE, CONNECTICUT
 PHONE: 203-261-8648

OFFICER/RETAIL GENERAL (OR-G) ZONE	STANDARDS		EXISTING CONDITION	PROPOSED CONDITION
	Minimum	Maximum		
Lot Depth, min.	-	None	-	-
Lot Width, min.	None	None	53.593 712	53.593 712
Lot Area, min.	-	None	5358	5358 *
Street Frontage	-	-	-	-
As a percent of frontage (Primary)	-	-	-	-
As a percent of frontage (Secondary)	N/A	N/A	-	-
Building setbacks from street lot line				
Primary frontage	15	20'	7'	7'
Secondary frontage	0	0	0	0
Setback frontage	N/A	N/A	3.1'	3.1'
YARDS				
Side yard (see Note 2)	3'	-	71.7'	71.7'
Rear yard	20'	None	180.1'	180.1'
OTHER STANDARDS				
Landscaped area as a percent of lot	-	-	-	-
Floor to ceiling height of first story	12'	None	-	-

* EXISTING NONCONFORMING



ROSE TISO & Co. LLC.
 ARCHITECTS • SURVEYORS • ENGINEERS
 www.rose-tiso.com
 35 BENTWOOD AVENUE, FAIRFIELD, CT 06430
 TEL: (203) 254-8787 FAX: (203) 254-8787

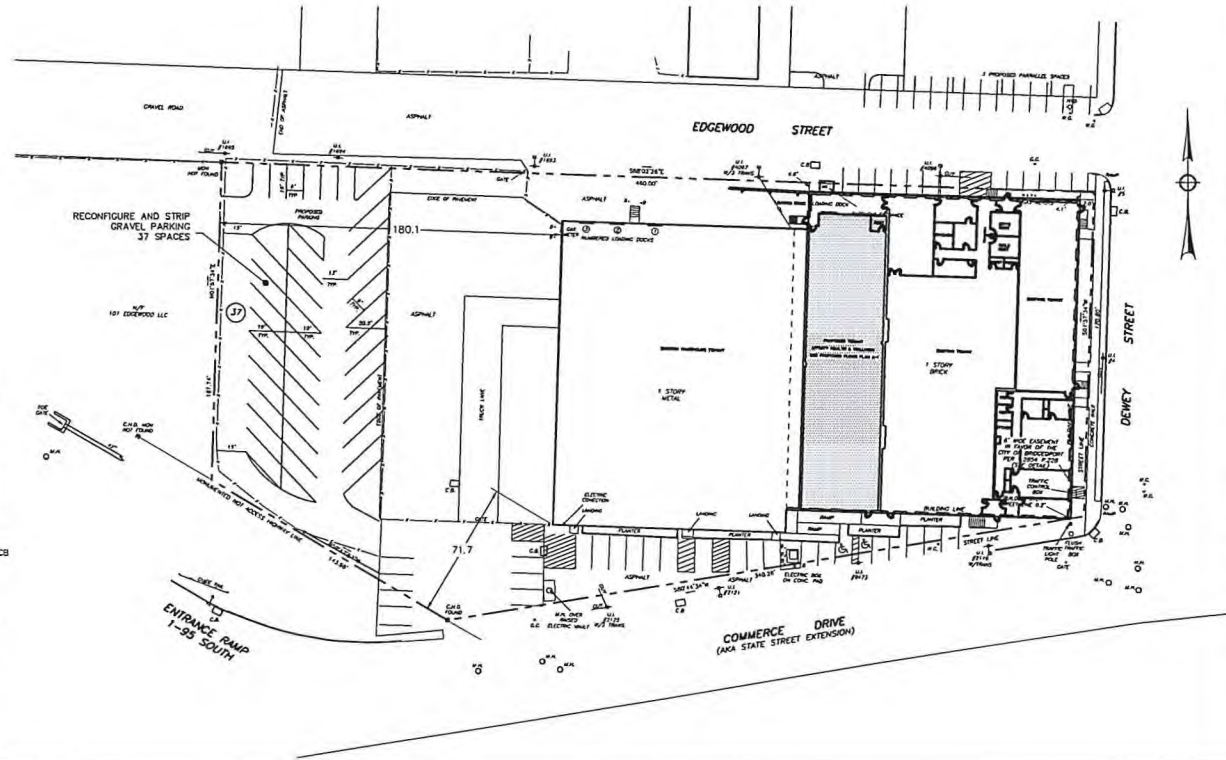
REVISIONS		
NO.	BY	DESCRIPTION

PROJECT TITLE
**CANNABIS STORE
 PROPOSED FIT-OUT**
 15 DEWEY STREET
 BRIDGEPORT, CT
 Prepared For:
AFFINITY HEALTH & WELLNESS

SHEET TITLE
SITE PLAN

DESIGNED BY: MJS	SCALE: 1" = 30'
DRAWN BY: MJS	DATE: 08-30-22
CHECKED BY: PAH	PROJECT NUMBER: 2711
CAD FILE: R.2711/DWG/SP.DWG	

SEAL	SHEET NUMBER
	SP-1



LEGEND

	EXISTING EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED SLOTTED CURB
	PROPERTY LINE
	PROPOSED BUILDING
	PROPOSED SPOT ELEVATION
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED 2' CONTOUR
	EXISTING CATCH BASIN
	PROPOSED CATCH BASIN
	PROPOSED WATER TREATMENT CB
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING STORM PIPES
	PROPOSED STORM PIPES
	EXISTING SANITARY PIPES
	PROPOSED SANITARY PIPES
	PROPOSED WATERLINE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED FENCE LINE
	HAYBALE CHECKDAM
	SILTSACK & MANHOLES
	SILTSACK & CATCH BASINS
	ANTI-TRACKING APRON
	SILT FENCE
	PROPOSED GRADE TO DRAIN

REVISIONS:

No.	Date	Revision Notes

Proposed Development Plan For:
AFFINITY HEALTH & WELLNESS
 15 Dewey Street
 Bridgeport, CT

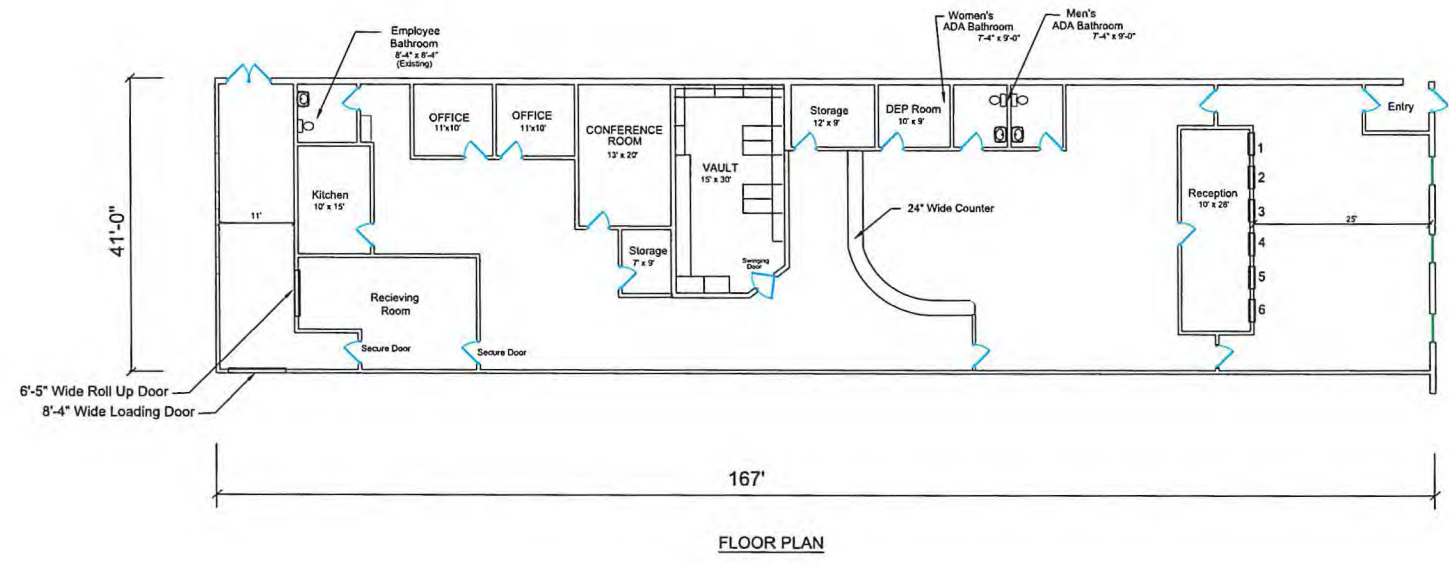
PROFESSIONAL ENGINEER:

Gary M. Greenatch, P.E.

SCALE: 1/8" = 1'-0"
 DATE: 8-7-2022

FLOOR PLAN

A-1



FLOOR PLAN



PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: STRONGWALL DEVELOPMENT, LLC C/O MARCIA MACEDO
2. Is the Applicant's name Trustee of Record? Yes YES No _____
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 62 PALMER ST. BRIDGEPORT CT. 06605
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. _____ Lot No. _____
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): VACANT LOT
7. Existing Zone Classification: N2
8. Zone Classification requested: SPECIAL PERMIT FOR 2-FAMILY DWELLING.
9. Describe Proposed Development of Property: 2-FAM RSIDENTIAL NEW CONSTRUCTION.

Approval(s) requested: SPECIAL PERMIT TO CONSTRUCT/BUILD AS A 2-FAM. DWELLING.

Signature: *M. Macedo* Date: 9/29/2022
 Print Name: STRONGWALL DEVELOPMENT, C/O MARCIA MACEDO.

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: *M. Henry*
 Print Name: MARIE C. HENRY (AGENT).

Mailing Address: 2989 BROADBRIDGE AVE. STRATFORD, CT 06614
 Phone: _____ Cell: _____ Fax: _____
 E-mail Address: SOLUTIONCONSTRUCTIONCLLC@GMAIL.COM, MARCIALOPESCT@GMAIL.COM

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- | | | |
|---|---|--|
| <input checked="" type="checkbox"/> Completed & Signed Application Form | <input checked="" type="checkbox"/> A-2 Site Survey | <input checked="" type="checkbox"/> Building Floor Plans |
| <input checked="" type="checkbox"/> Completed Site / Landscape Plan | <input checked="" type="checkbox"/> Drainage Plan | <input checked="" type="checkbox"/> Building Elevations |
| <input checked="" type="checkbox"/> Written Statement of Development and Use | <input checked="" type="checkbox"/> Property Owner's List | <input type="checkbox"/> Fee |
| <input checked="" type="checkbox"/> Cert. of Incorporation & Organization and First Report (Corporations & LLC's) | | |

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

<u>STRONGWALL DEVELOPMENT, llc</u>	<u><i>M. Macedo</i></u>	<u>9/29/2022</u>
Print Owner's Name	Owner's Signature	Date
<u>c/o Marcia Macedo</u>	<u><i>M. Macedo</i></u>	<u>9/29/2022</u>
Print Owner's Name	Owner's Signature	Date



City of Bridgeport
Zoning Department
PLANNING AND ECONOMIC DEVELOPMENT

45 Lyon Terrace • Bridgeport, Connecticut 06604
Telephone (203) 576-7217
Fax (203) 576-7213

August 12, 2022

STRONGWALL DEVELOPMENT, LLC
C/O MARCIA MACEDO
2989 BROADBRIDGE AVENUE
STRATFORD, CT 06614
ITEM: #2

RE: 62 PALMER STREET – Seeking variances of Sections 3.100.5 for width of driveway access and parking location and 3.100.6 for maximum height to eaves and number of stories to allow for the construction of a two-family residence in a N2 zone.

Dear Marcia Macedo:

At a public hearing held on August 10, 2022, the City of Bridgeport's Zoning Board of Appeals decided the following regarding the above-referenced matter:

DECISION: Granted

REASONS:

1. Property grade creates a hardship.
2. Parking is provided to the side facing the dead-end street.

If you have any questions, please call the Zoning Office at 203-576-7217.

Respectfully,

Paul Boucher, Clerk
Zoning Board of Appeals

PB/gb

enclosure: variance form

***Conditionally, if variance is not filed in the Town Clerk's office within six months, this approval lapses and has no further effect (Sec. 11.90.7).** Your failure to comply with any conditions applicable to this action will also void the rights and privileges granted hereby. This is not a Building Permit and any structure or building contemplated by this action can only be started after proper application to and issuance of such permit by the Building Official. Other approvals or permits, required by law, should be sought from the proper authorities before exercising any part of this approval. Additional approvals from the Planning & Zoning Commission may be necessary. If so, please contact the Zoning Office for information.

VARIANCE

Pursuant to Chapter 124 (PA-75-317) of the General Statutes of the State of Connecticut, notice is hereby given that on August 10, 2022 the Zoning Board of Appeals of the City of Bridgeport, CT

granted a variance for property located at 62 Palmer St

DESCRIPTION OF PROPERTY (lot size) 144.46' x 49.97'

Property owned by Strongwall Development, LLC

NATURE OF VARIANCE: Width of driveway access and parking location and maximum height to eaves and number of stories to allow for the construction of a two-family residence in a N2 zone.

ZONING REGULATIONS – CITY OF BRIDGEPORT, CONNECTICUT

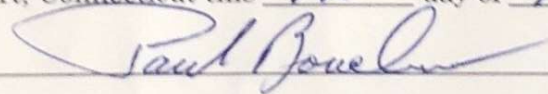
Section 3.100.5 Section _____

Section 3.100.6 Section _____

Section _____ Section _____

USE PERMITTED 3-story two-family residential dwelling

Dated and Certified in Bridgeport, Connecticut this 12th day of August, 2022

By 

Chairman _____ Clerk X Zoning Enforcement Officer _____

NOTE: This Variance needs to be filed in the Town Clerk's Office with proof shown to the Zoning Department via copy of your receipt. This is not a Building Permit. Other approvals or permits should be sought from the proper authorities/departments.

WRITTEN STATEMENT OF DEVELOPMENT USE.

Planning & Zoning Commission.

RE: 62-Palmer St., Bridgeport CT 06606.

Existing vacant lot
N2 Zone

RE: Proposed new construction of a 2-Family dwelling.

To whom it may concern,

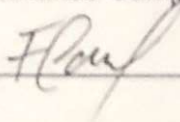
Flagstone Construction, llc would like to request for a "Special Permit" to Develop/Build a 2-Family dwelling that includes the neighborhood design standard on an existing vacant lot of 50' x 100' (62-Palmer St.)

This development is zone-compliant for a two-family dwelling with all the requirements. It will beautify, enhance and protect the neighborhood character as well as its value.

Kind Regards

Flagstone Construction, llc

Fernando Campos, Owner



Date: 9/29/2022

HAMILTON LINDA JEAN
69 PALMER ST

BROWN DEATAN E & EUGENIE
67 PALMER ST

RUIZ RIGOBERTO
121 FREMONT ST

CUJI NELLY
55 PALMER STREET

BALLARD MARK C & JULIA A SULLA
45 PALMER ST

HUYNH TRINH
195 BROADBRIDGE RD

DE SOUZA NIVIA P
206 GRIFFIN CR

STRONGWALL DEVELOPMENT LLC
62 PALMER ST

SIMMONS DIANE
46 PALMER ST

CURRY DAVID S & SHARON R CURRY
38 PALMER ST

PETERKIN LORNA C
36 PALMER ST

SANTANA JOSE LUIS
5 JILLIJAM PL

MONTOVA WILSON RAMOS
1207 COPSEY HILL RD

JAMES MORANTUS & TATIANA
RAPHAEL TRUSTEES
6 JILLIJAM PL



Secretary of the State of Connecticut
Certificate of Organization
Domestic Limited Liability Company

Filing Details

Filing Number: 0010118271 Number of Pages: 2 Filed On: 09/20/2021 12:16 PM

Primary Details

Name of Limited Liability Company: FLAGSTONE CONSTRUCTION LLC
Business ALEI: US-CT.BER:2347292
Business Email Address: marcialopesct@gmail.com
NAICS Information: New Housing For-Sale Builders (236117)

Business Location

Principal Office Address: 03 STONE LN, TRUMBULL, CT, 06611, United States
Mailing Address: 03 STONE LN, TRUMBULL, CT, 06611, United States

Appointment of Registered Agent Appointment of Statutory Agent for Service of Process

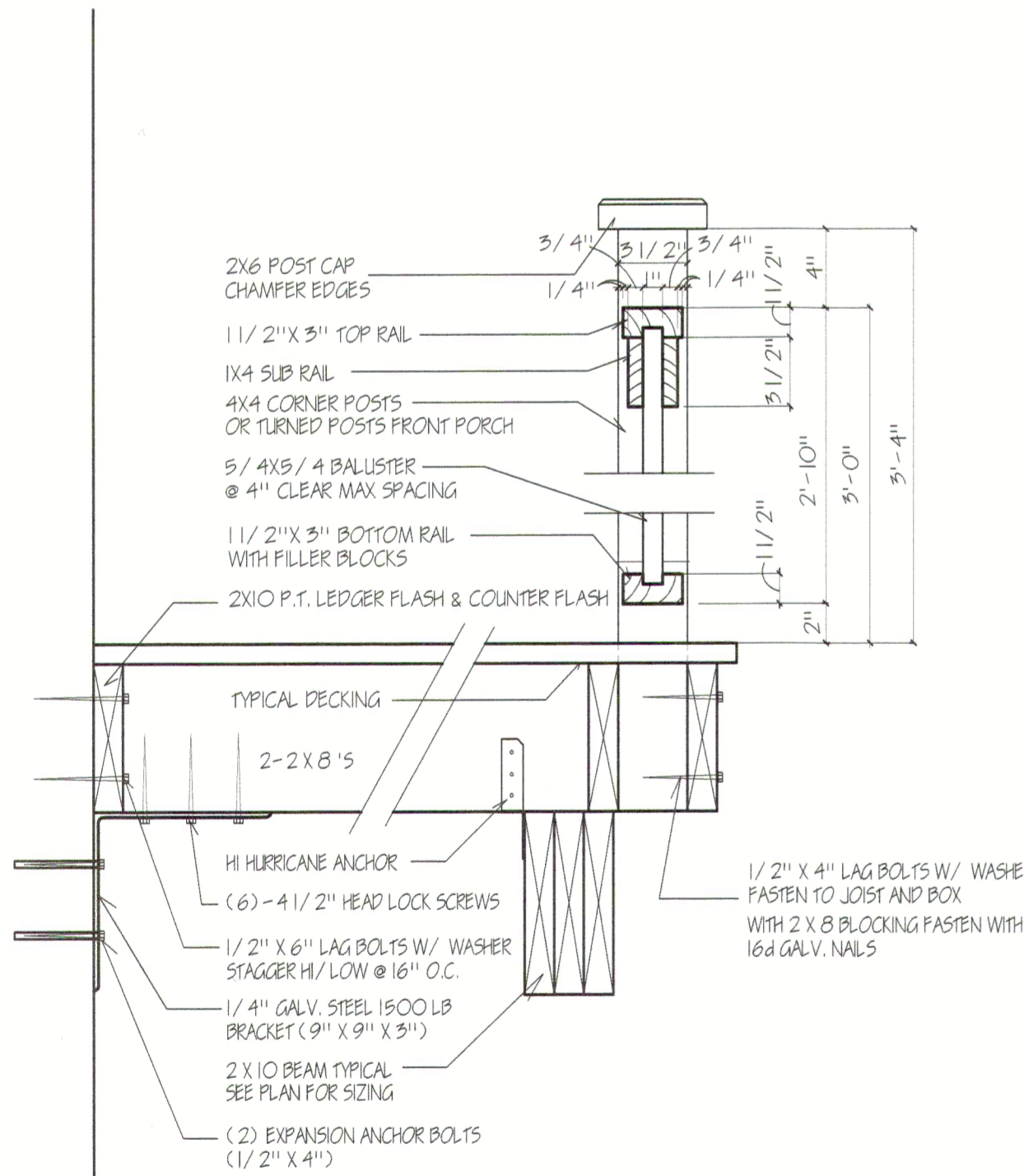
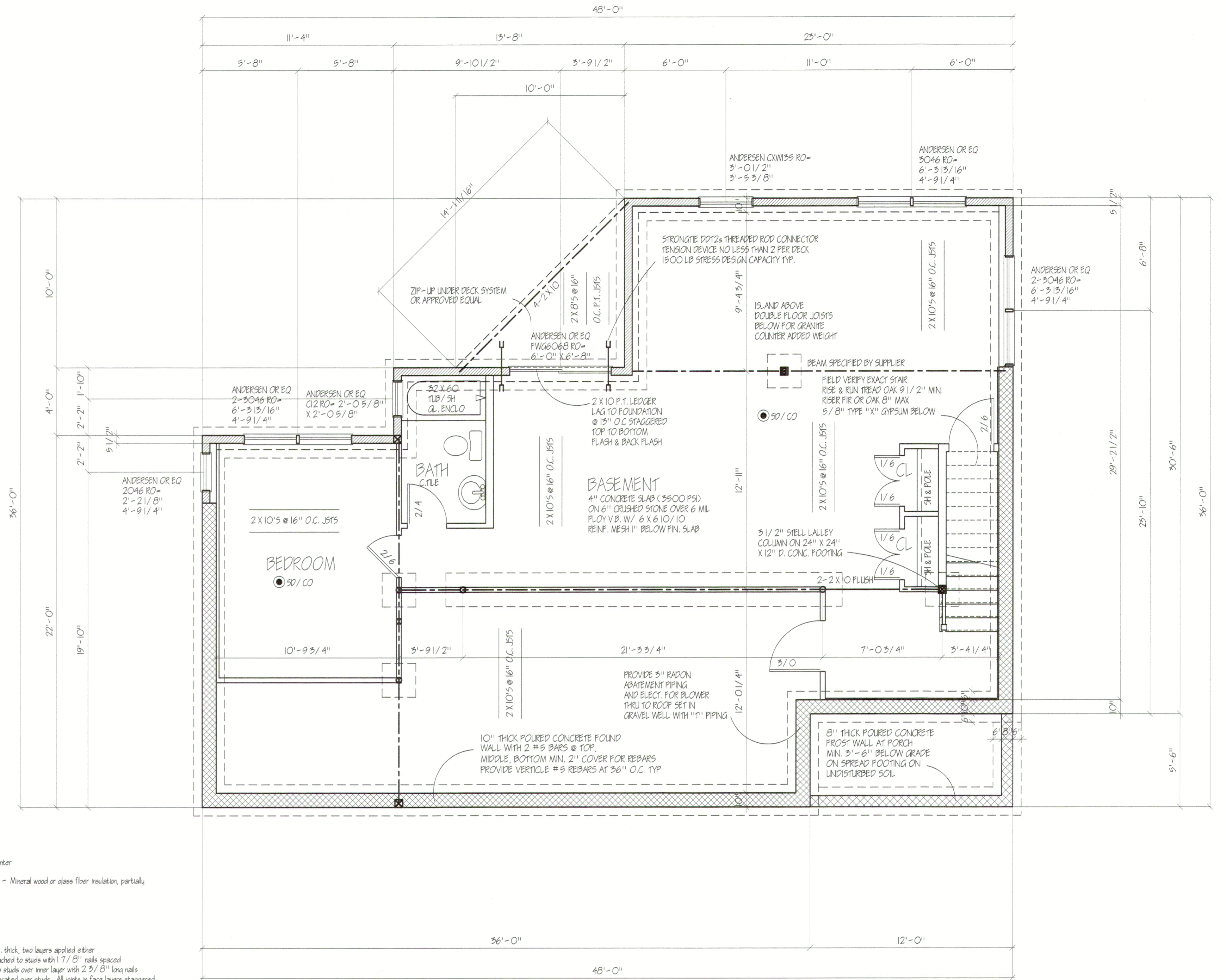
Type: Individual
Agent's Name: FERNANDO CAMPOS
Business Address: 03 STONE LN, TRUMBULL, CT, 06611, United States
Residence Address: 03 STONE LN, TRUMBULL, CT, 06611, United States
Mailing Address: 03 STONE LN, TRUMBULL, CT, 06611, United States

Agent Appointment Acceptance

Agent Signature: FERNANDO CAMPOS
This signature has been executed electronically

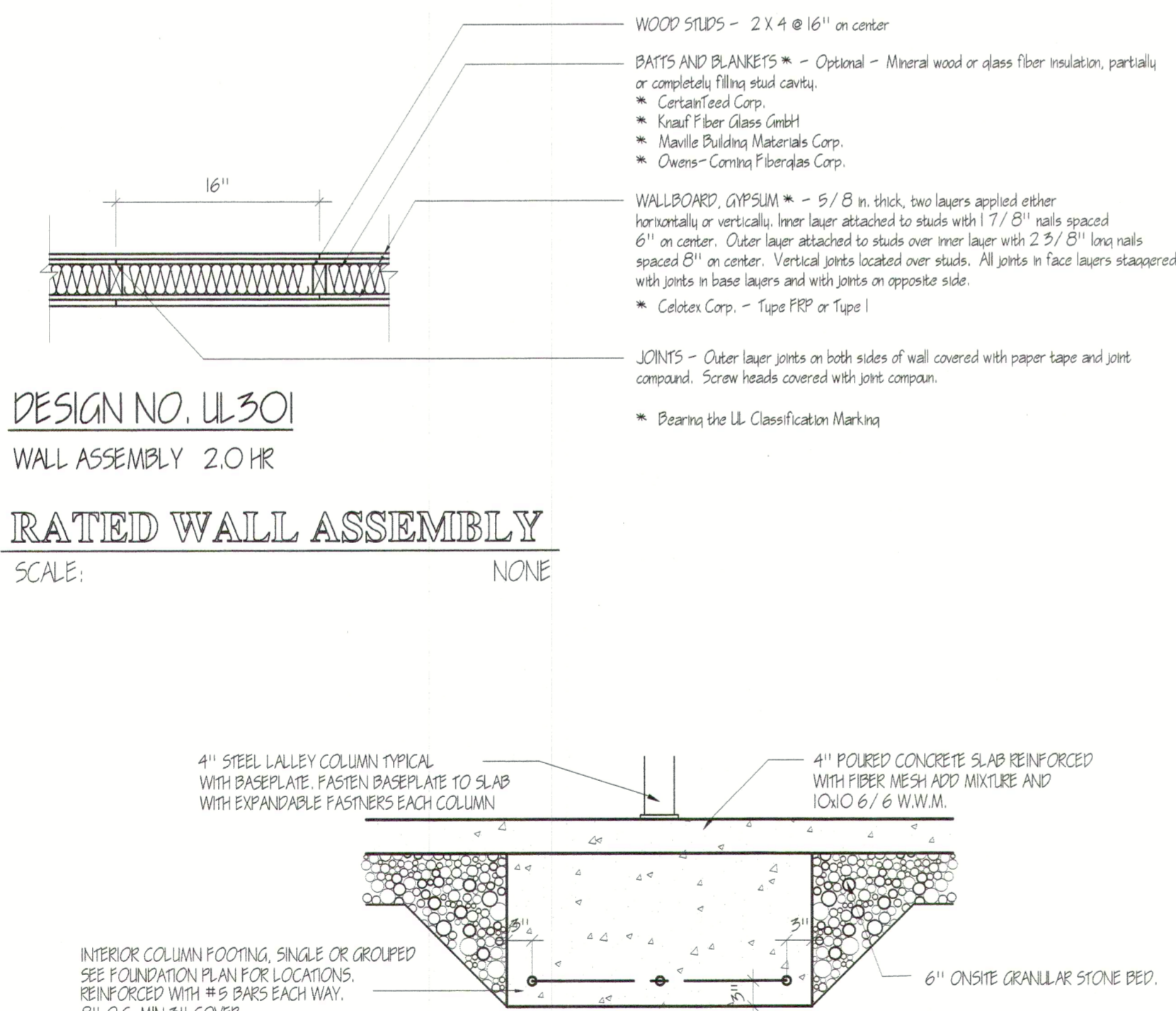
BRACED WALL LINE LENGTH CALCULATIONS

INPUTS	BWL A-1	BWL B-1	BWL C-1	BWL 1-1	BWL 2-1	BWL 3-1	BWL A-2	BWL B-2	BWL C-2	BWL 1-2	BWL 2-2	BWL 3-2
BRACED WALL LINE LOCATION	1ST OF 2 STY	1ST OF 2 STY	1ST OF 1 STY	1ST OF 2 STY	1ST OF 2 STY	1ST OF 2 STY	2ND OF 2 STY	2ND OF 2 STY	2ND OF 2 STY	2ND OF 2 STY	2ND OF 2 STY	2ND OF 2 STY
EAVE TO RIDGE HEIGHT	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"	9'-0"
BRACED WALL LINE SPACING	22'-0"	22'-0"	14'-0"	25'-0"	25'-0"	22'-0"	22'-0"	14'-0"	25'-0"	25'-0"	25'-0"	25'-0"
WALL HEIGHT	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"
BRACING METHOD	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP	C5-WSP
GB CONSTRUCTION TYPE	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
GYPSUM WALL BOARD INSIDE	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES
HORIZONTAL JOINTS BLOCKED	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES
HOLD DOWN DEVICE USED	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
TABULATED WIND BRACING AMOUNT	6.0'	6.0'	4.0'	6.75'	6.75'	6.25'	5.5'	5.5'	2.1'	5.75'	5.75'	5.45'
EXPOSURE HEIGHT FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
EAVE - RIDGE HEIGHT FACTOR	0.97	0.97	0.97	0.97	0.97	0.97	0.94	0.94	0.94	0.94	0.94	0.94
WIND WALL HEIGHT FACTOR	0.9	0.9	0.9	0.9	0.9	0.9	0.90	0.90	0.90	0.90	0.90	0.90
NUMBER OF BWL FACTOR	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
HOLD DOWN FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
BLOCKED JOINT FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
GYPSUM ON INSIDE FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
WIND GB CONSTRUCTION FACTOR	1	1	1	1	1	1	1	1	1	1	1	1
REQUIRED WIND BRACING AMOUNT	6.8'	6.8'	4.5'	7.66'	7.66'	7.09'	5.65'	5.65'	2.5'	4.12'	4.12'	5.79'
LENGTH OF WALL BRACING REQUIRED	6.8'	6.8'	4.5'	7.66'	7.66'	7.09'	4.0'	4.0'	4.0'	4.12'	4.12'	4.0'
LENGTH OF WALL BRACING PROVIDED	8.0'	8.0'	6.0'	8.0'	8.0'	8.0'	4.0'	4.0'	4.0'	6.0'	6.0'	4.0'



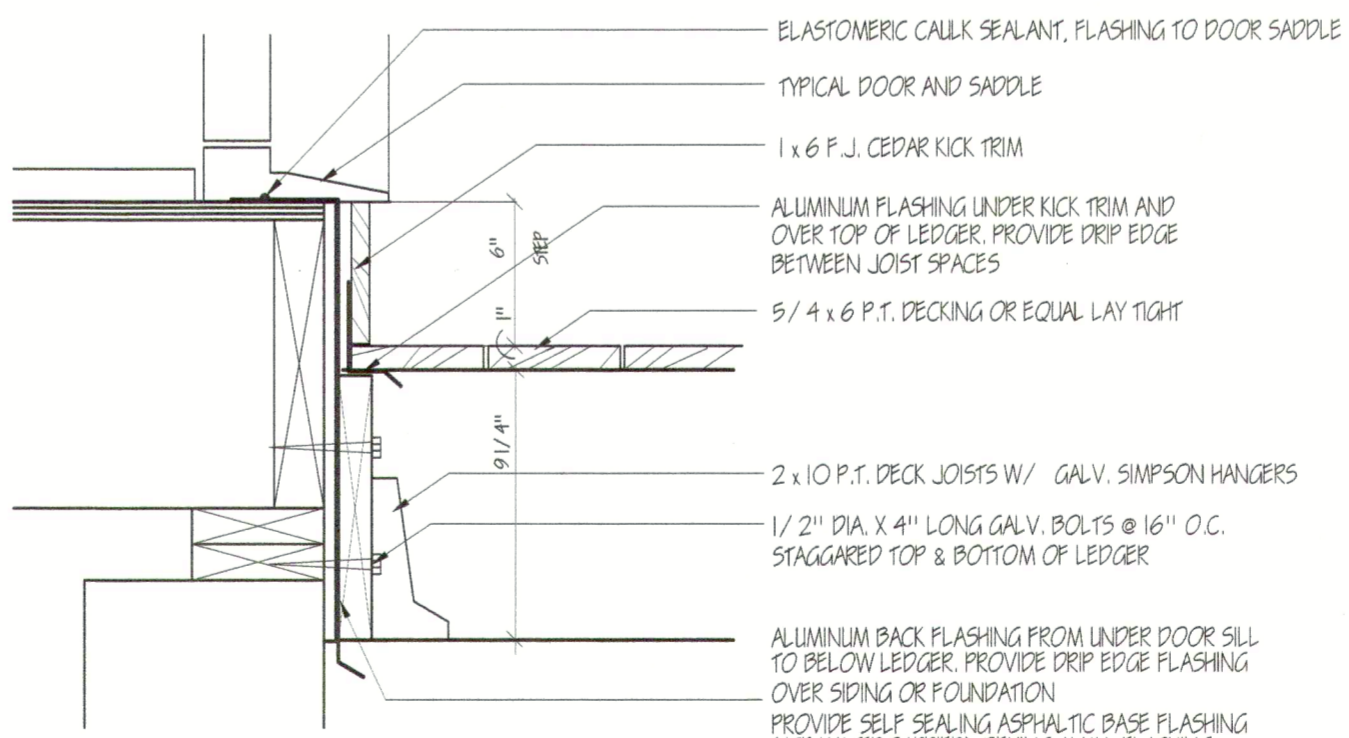
TYPICAL DECK & RAIL DETAIL

SCALE - 1 1/2" = 1'-0"



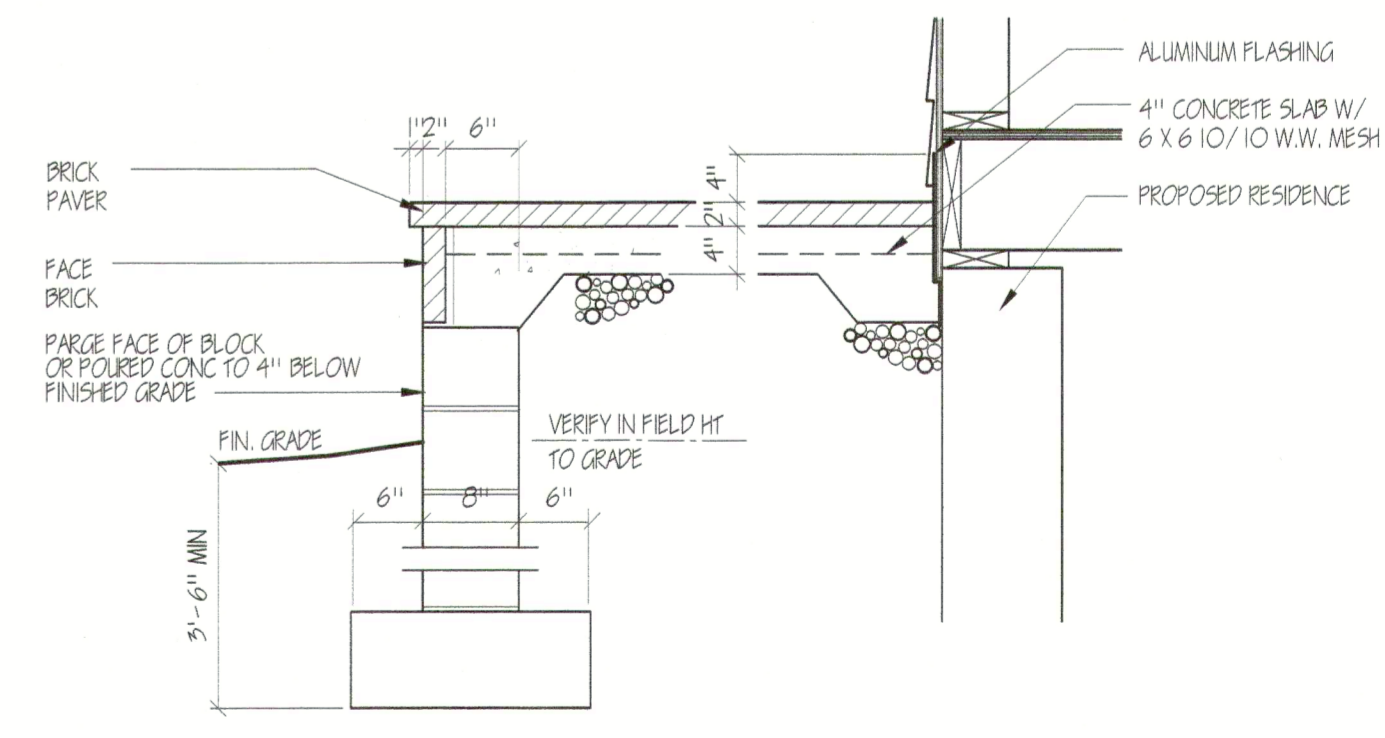
COLUMN FOOTING DETAIL

SCALE: 3/4" = 1'-0"



DECK LEDGER DETAIL

SCALE: 1 1/2" = 1'-0"



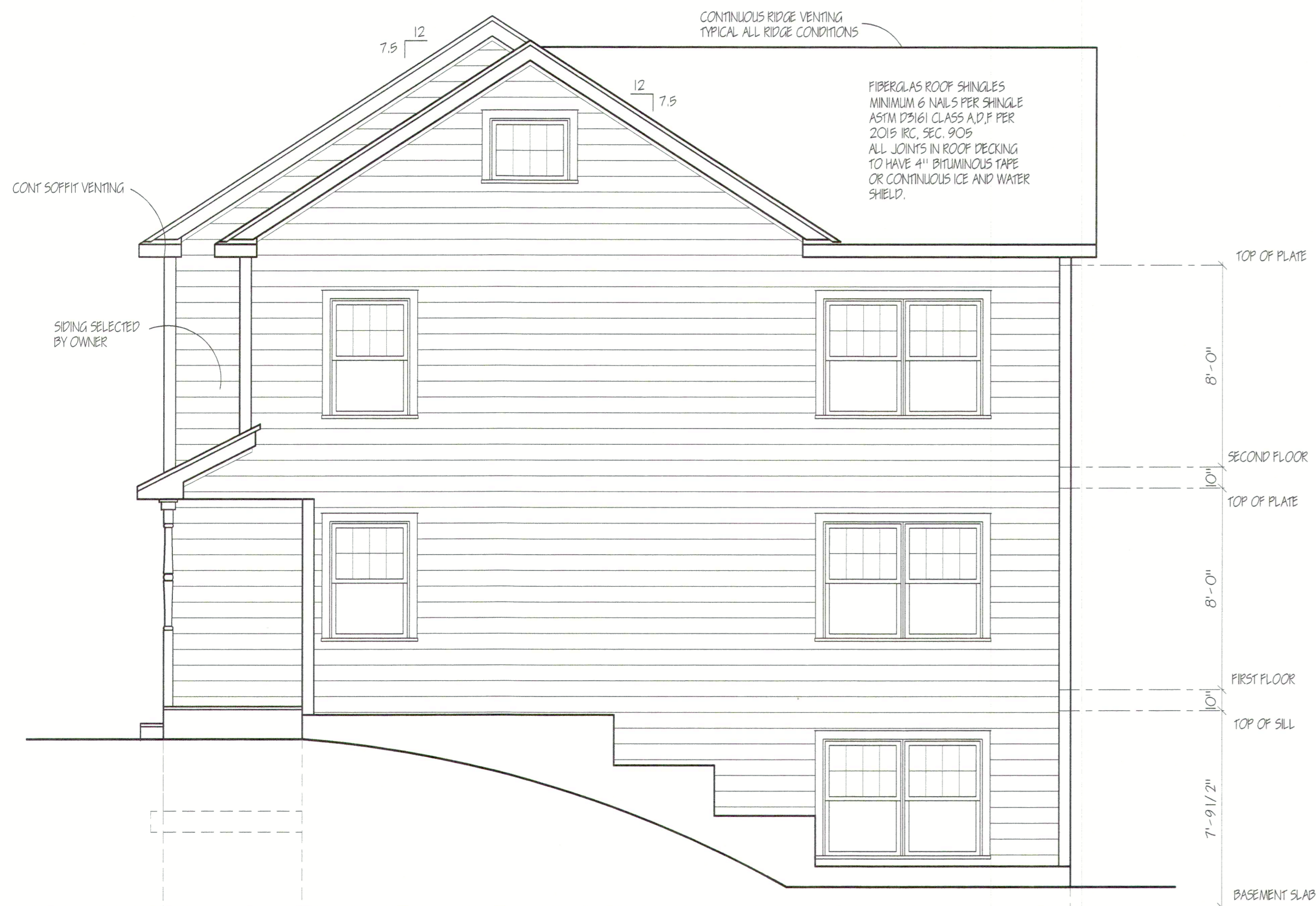
ENTRY PORCH DETAIL

SCALE: 3/4" = 1'-0"

BILUE LINE DESIGNS
 CHRIS JAWOISZ, WHEWY, 34 UNDERHILL ROAD
 SANDY HOOK, CT 06482 (203) 426-9122

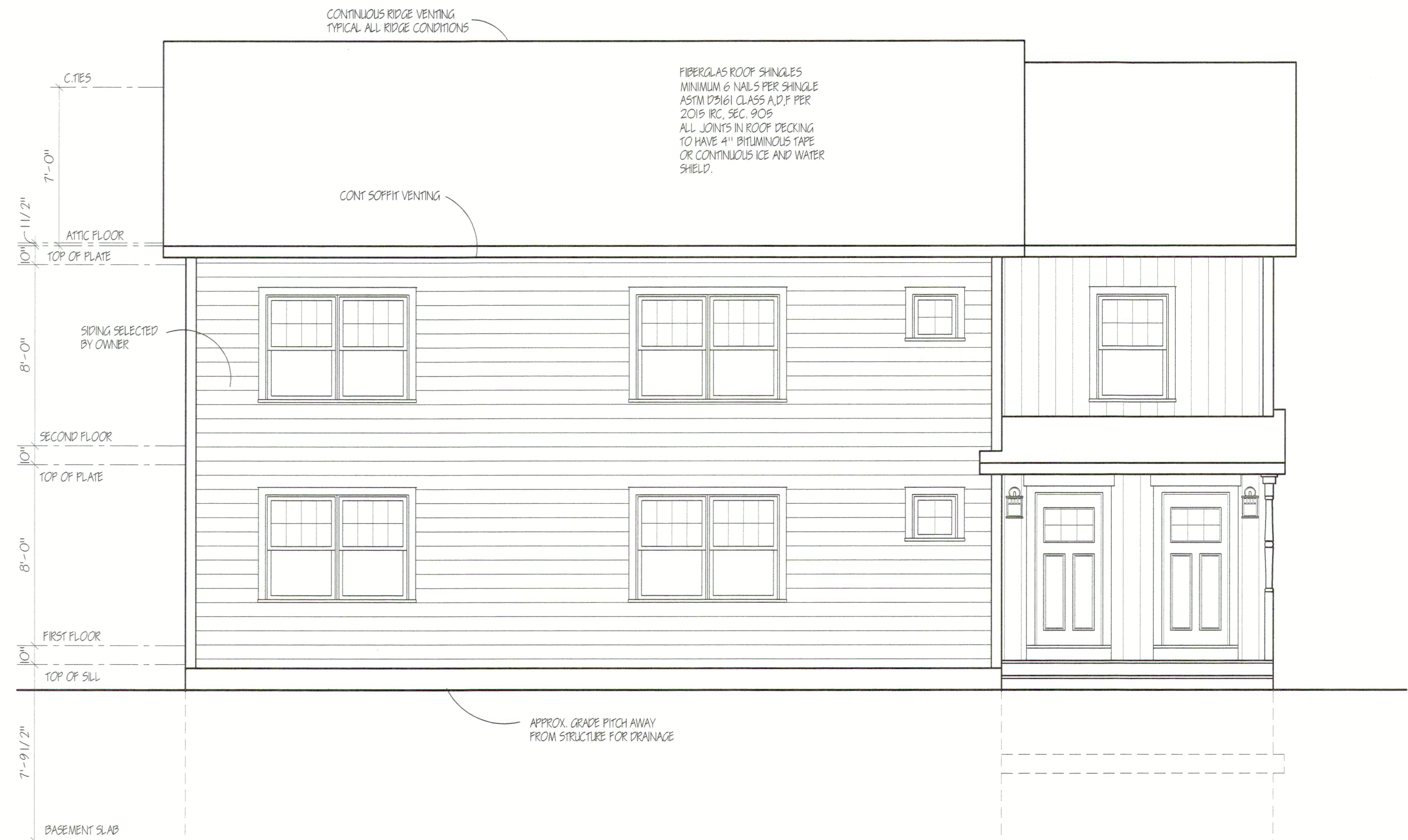
PROPOSED RESIDENCE
 15 PALMER STREET
 BRIDGEPORT, CONNECTICUT

REFERENCE: 2622PR2
 SCALE: 1/4" = 1'-0"
 DRAWN BY: C.W.
 DATE: 08-16-22



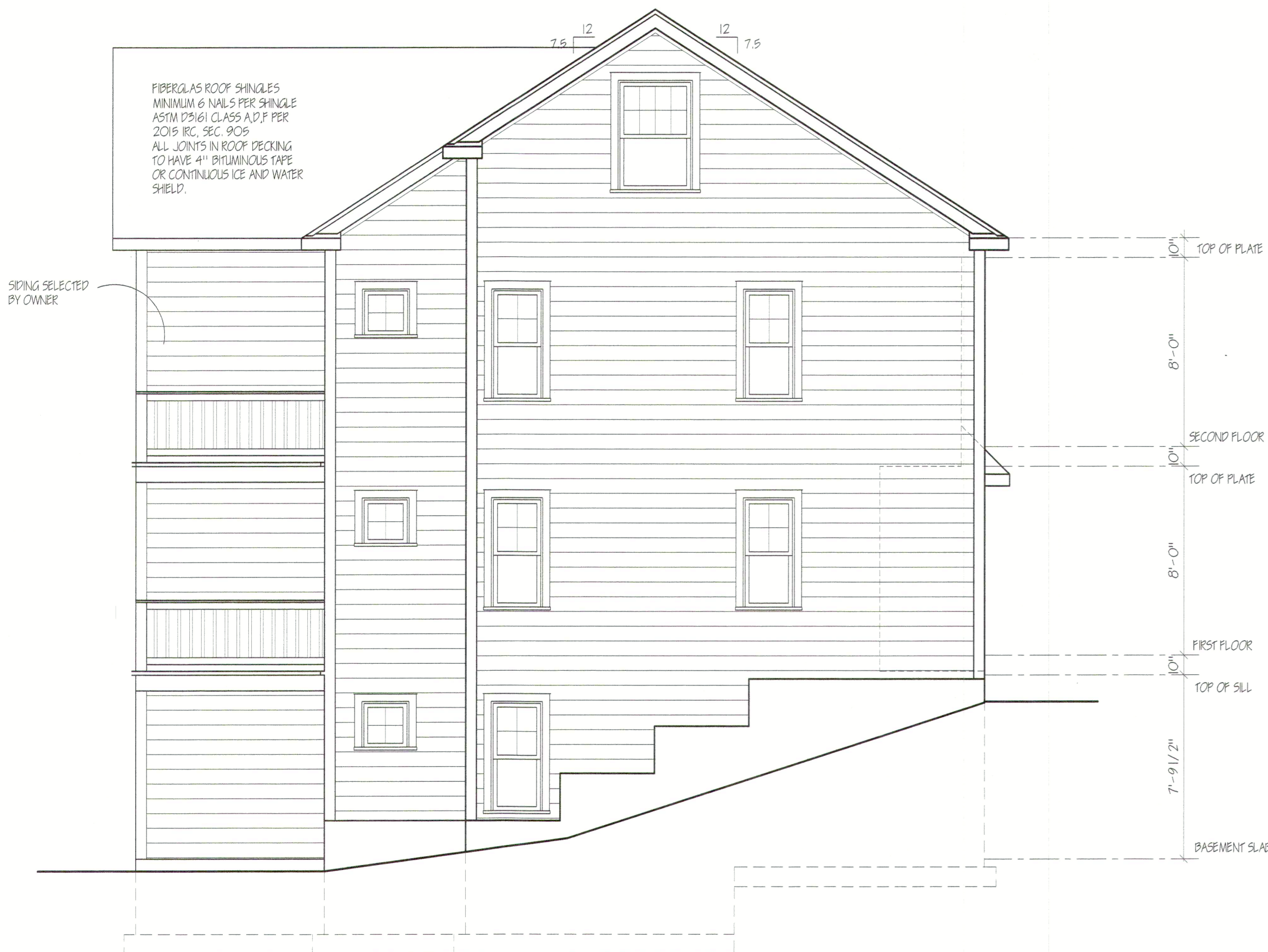
RIGHT SIDE ELEVATION

GLAZING 750.0 SQ FT X 10% = 75.0 SQ FT. PROVIDED 127.0 SQ FT



FRONT ELEVATION

GLAZING 873 SQ FT X 10% = 87.3 SQ FT. PROVIDED 185.0 SQ FT



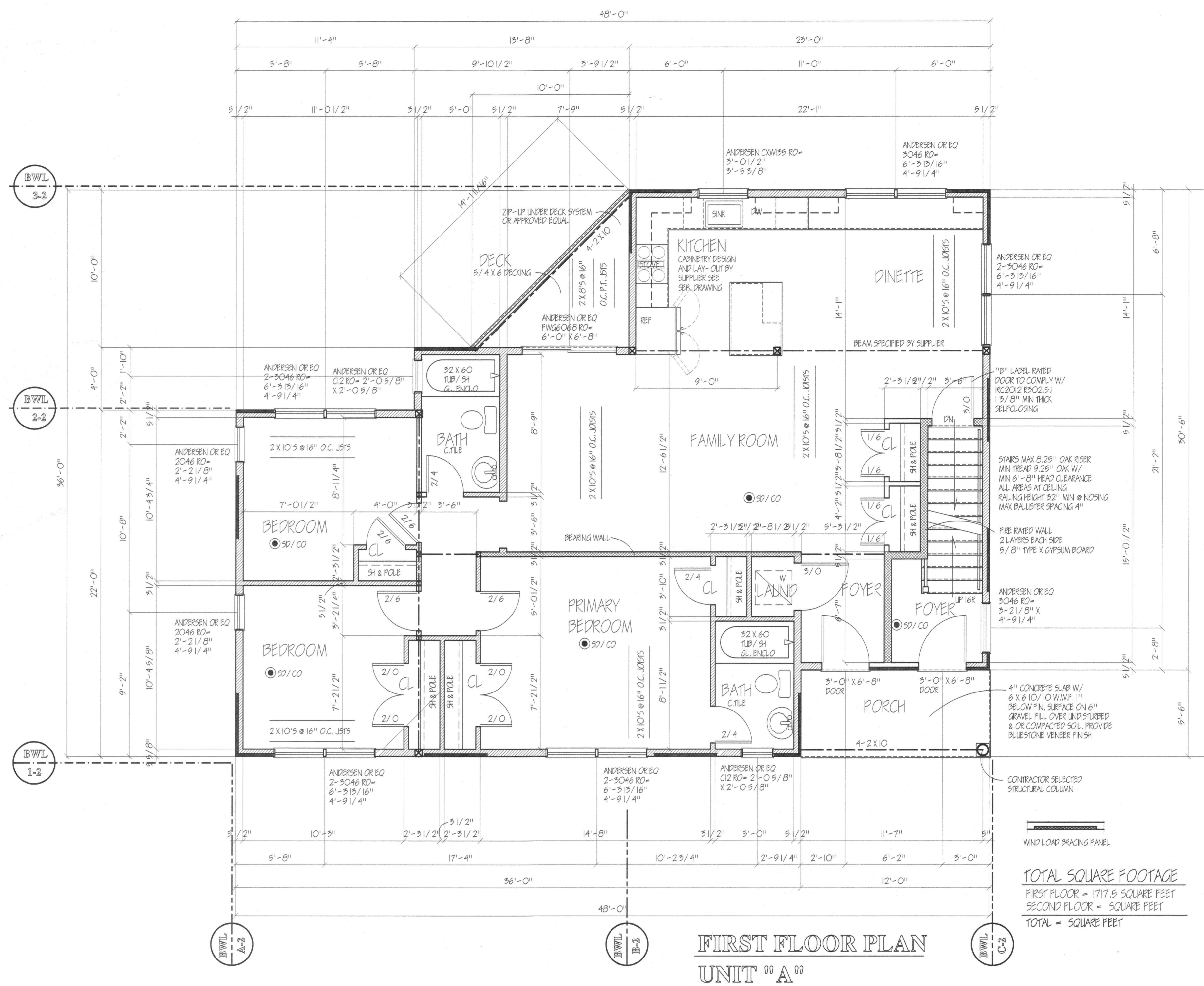
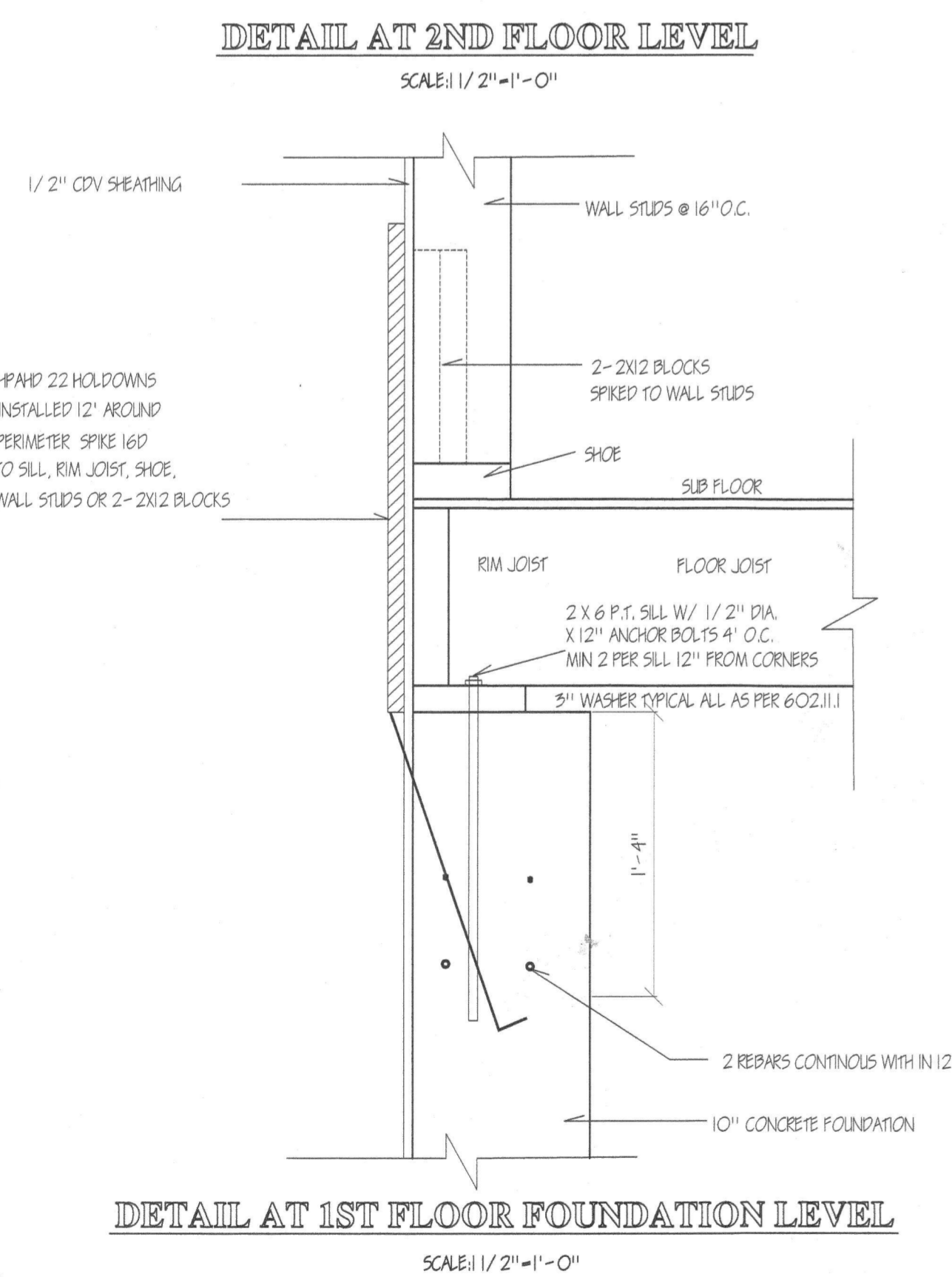
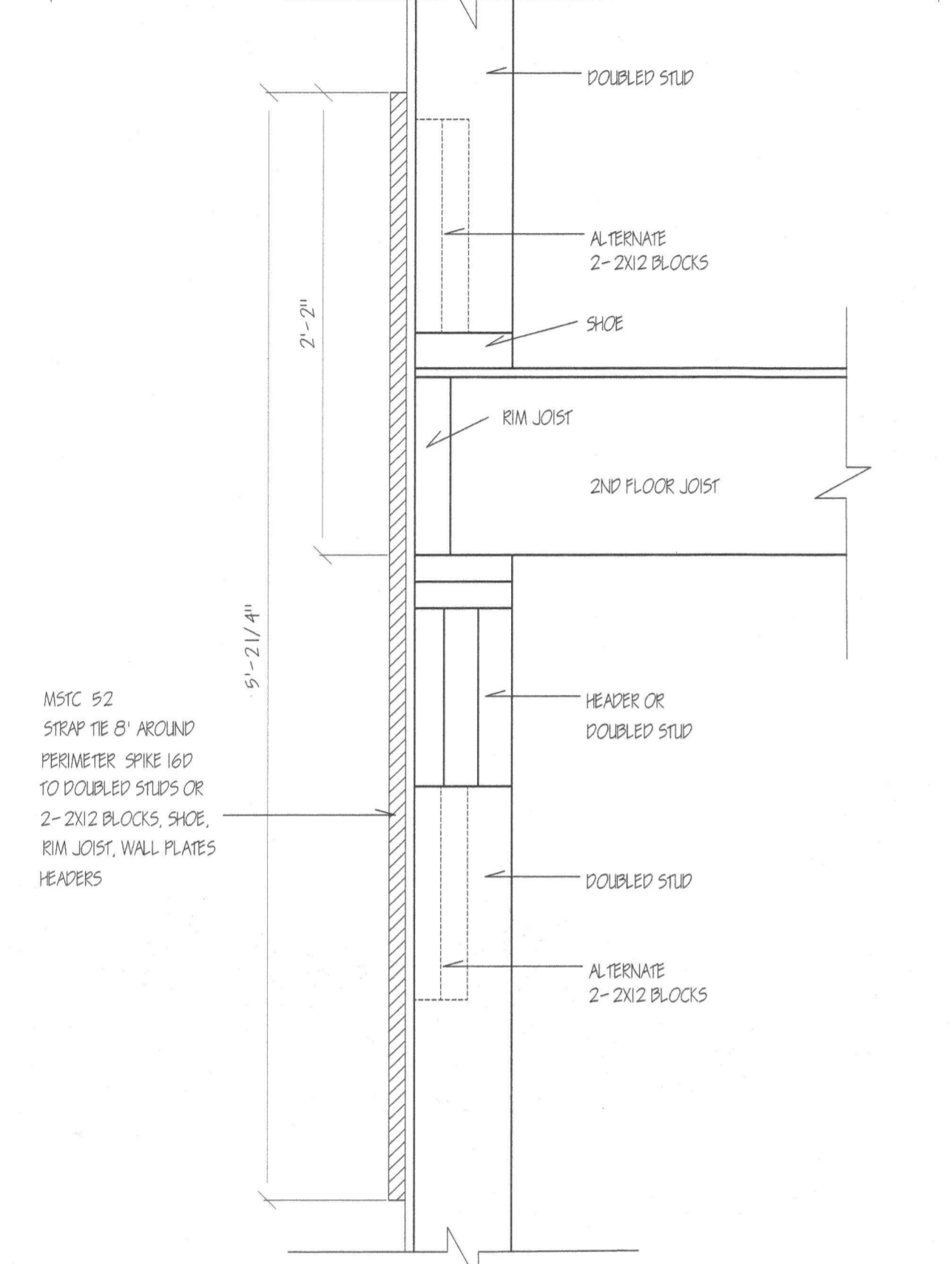
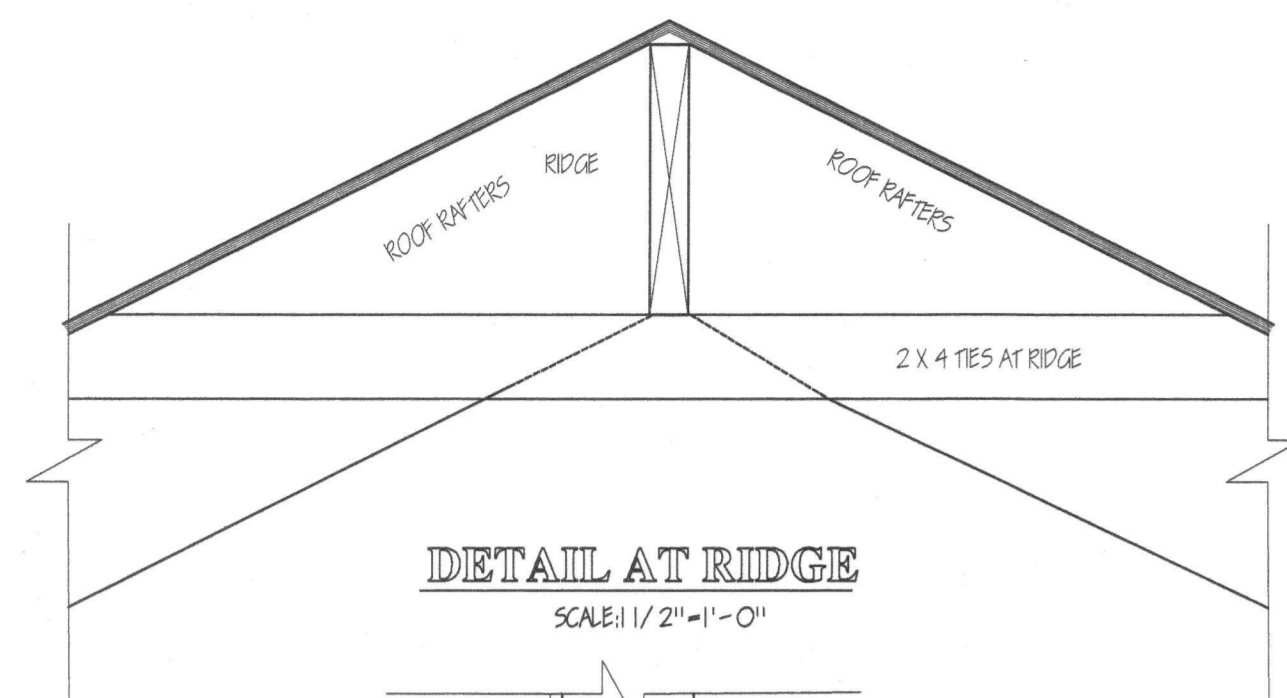
LEFT SIDE ELEVATION

GLAZING 725.0 SQ FT X 10% = 72.0 SQ FT. PROVIDED 77.0 SQ FT



REAR ELEVATION

GLAZING 1350.0 SQ FT X 10% = 135.0 SQ FT. PROVIDED 345.0 SQ FT

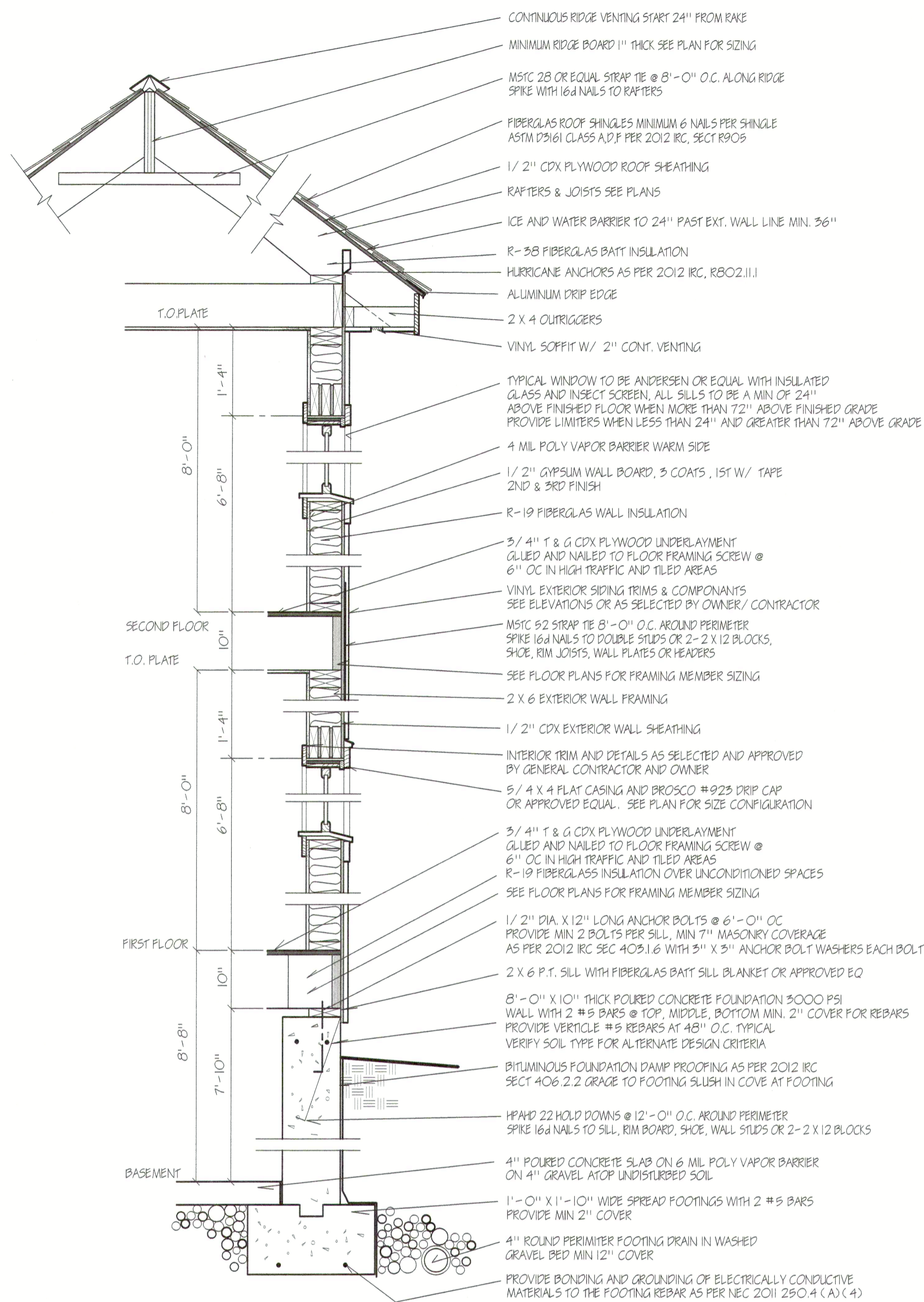


TOTAL SQUARE FOOTAGE
 FIRST FLOOR = 1717.5 SQUARE FEET
 SECOND FLOOR = SQUARE FEET
 TOTAL = SQUARE FEET

- WALL BRACING NOTES:**
1. THIS WALL BRACING EVALUATION IS BASED ON THE 2012 IRC IN COMPLIANCE WITH THE WALL BRACING REQUIREMENTS OF SECTIONS R602.10, R602.11 AND R602.12.
 2. ONE- AND TWO-FAMILY DWELLINGS AND TOWN HOUSES IN SEISMIC DESIGN CATEGORIES A AND B AND 1 AND 2 FAMILY DWELLINGS IN SEISMIC DESIGN CATEGORY C ARE EXEMPT FROM THE SEISMIC REQUIREMENTS OF THE IRC. THE LENGTH OF WALL BRACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TABLE R602.10.1.2 (1) BASED ON WIND SPEED, INCLUDING ALL APPLICABLE ADJUSTMENT FACTORS. (WIND SPEED USED BASED ON 100 MPH.)
 3. BRACED WALL LINES USING THE CONTINUOUS SHEATHING (CS) METHOD SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS R602.10.4 AND R602.10.9, AS APPLICABLE.
 4. BRACED WALL PANELS SHALL BE LOCATED AT EACH END OF BRACED WALL LINES AND MAY BEING UP TO 12.5' FROM THE END PROVIDED THE TOTAL COMBINED DISTANCE FROM EACH END DOES NOT EXCEED 12.5' IN ACCORDANCE WITH FIGURE R602.10.1.4 (2). CORNER CONSTRUCTION FOR CONTINUOUSLY SHEATHED METHODS SHALL BE IN ACCORDANCE WITH SECTION R602.10.4.4 OR R602.10.9.3, AS APPLICABLE.
 5. BRACED WALL PANEL SPACING SHALL NOT EXCEED 25'-0" O.C. IN ACCORDANCE WITH SECTION 602.10.1.4.
 6. BRACED WALL LINE SPACING SHALL NOT EXCEED 60'-0" O.C.
 7. INTERIOR BRACED WALL LINE SPACING IS THE GREATER OF THE DISTANCE BETWEEN 2 ADJACENT BRACED WALL LINES IN ACCORDANCE WITH FIGURE R602.10.1.4 (4) OF THE 2009 IRC.
 8. HORIZONTAL PANEL JOINTS IN BRACED WALL PANELS SHALL BE BLOCKED IN ACCORDANCE WITH R602.10.8.

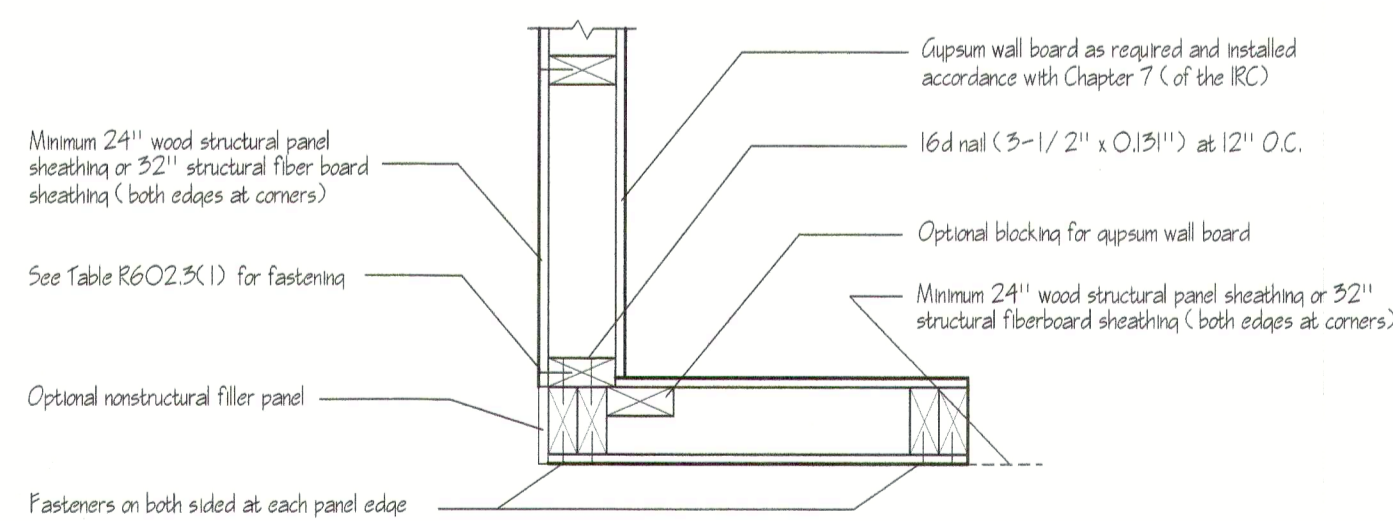
- WALL BRACING CONSTRUCTION METHODS**
- CS - WSP (CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL)
 MINIMUM SHEATHING THICKNESS = 5/8"
 CONNECTION CRITERIA = 6d COMMON (2" X 0(15)) NAILS @ 6" SPACING (PANEL EDGES) AND AT 12" SPACING (INTERMEDIATE SUPPORTS) OR 16d X 1 1/4 STAPLES @ 3" O.C. SPACING (PANEL EDGES) AND 6" SPACING (INTERMEDIATE SUPPORTS)
- GB (GYPSUM BOARD)
 MINIMUM THICKNESS 1/2"
 CONNECTION CRITERIA = NAILS OR SCREWS @ 7" SPACING AT PANEL EDGES INCLUDING TOP AND BOTTOM PLATES; FOR ALL BRACED PANEL WALL LOCATIONS FOR EXTERIOR SHEATHING NAIL OR SCREW SIZE, SEE TABLE R 602.3.1 (1); FOR INTERIOR GYPSUM BOARD NAIL OR SCREW SIZE, SEE TABLE R 702.3.5

- GENERAL NOTES:**
1. THESE DRAWINGS SHOW INTENT. CONSULT WITH CONTRACTOR FOR ALL DETAILS.
 2. ALL WORK SHALL BE IN ACCORDANCE W/ ALL APPLICABLE CODES AND ORDINANCES.
 3. VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. CONTACT DESIGNER FOR CLARIFICATION.
 4. ALL FRAMING LUMBER TO BE SURFACE DRY P6=1200 PSI REPEITIVE (DOUG FIR, CONST GRADE #2 MIN).
 5. CONCRETE: 3500 PSF AT 28 DAYS MINIMUM. PROVIDE NAME OF THE CONCRETE INSTALLER AND SUPPLIER AS PER PUBLIC ACT NO-16-45 TO BE MAINTAINED IN BUILDING DEPT. RECORDS FOR 50 YEARS MIN.
 6. SOIL BEARING CAPACITY ASSUMED AT 3000 PSF.
 7. WINDOW DESIGNATIONS ARE ANDERSEN TILT WASH STYLE UNITS. FOR SIZE ONLY OWNER TO VERIFY MANUFACTURER UNIT SUBSTITUTIONS MUST MEET IRECS CODES WHERE APPLICABLE 5.0 SQ FT FIRST FL, 5.7 SQ FT SECOND FL.
 8. LOADING: 50 PSF FLOORS (L&D) 45 PSF FLOORS (L&D) 20 PSF FLOORS (L&D)
 9. PROVIDE HURRICAN ANCHORING AND STRAPPING AS REQUIRED BY 2015 IRC BUILDING CODE GUIDELINES
 10. PROVIDE RES-CHECK PER IECC (Energy Code) BY OTHERS TO BE ATTACHED TO DRAWINGS
 11. PROVIDE DOCUMENTATION FOR BLOWER DOOR TEST AS REQUIRED BY 2015 IECC C402.1.2.3.
 12. PROVIDE DUCT BLAST TEST AS REQUIRED BY THE 2015 IECC CODE
 13. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING ANY EXISTING ELEMENTS DOORS, WINDOWS ETC. WHERE APPLICABLE



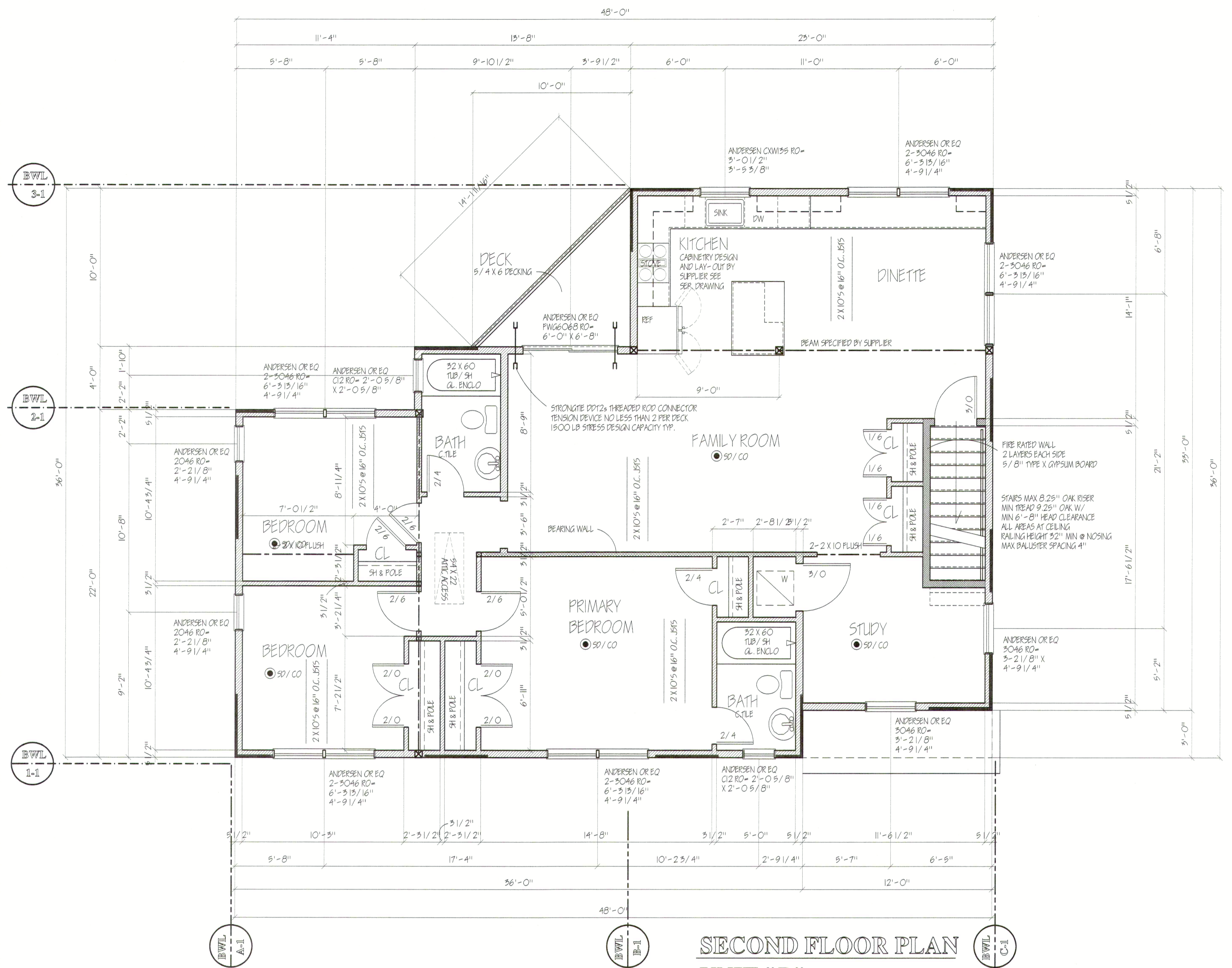
TYPICAL WALL SECTION

SCALE 3/4" = 1'-0"



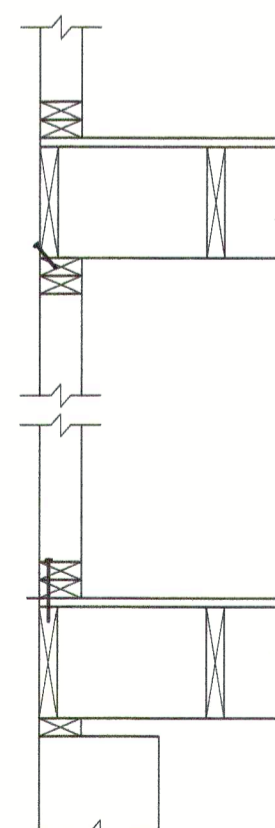
TYPICAL CORNER DETAIL

Not to scale

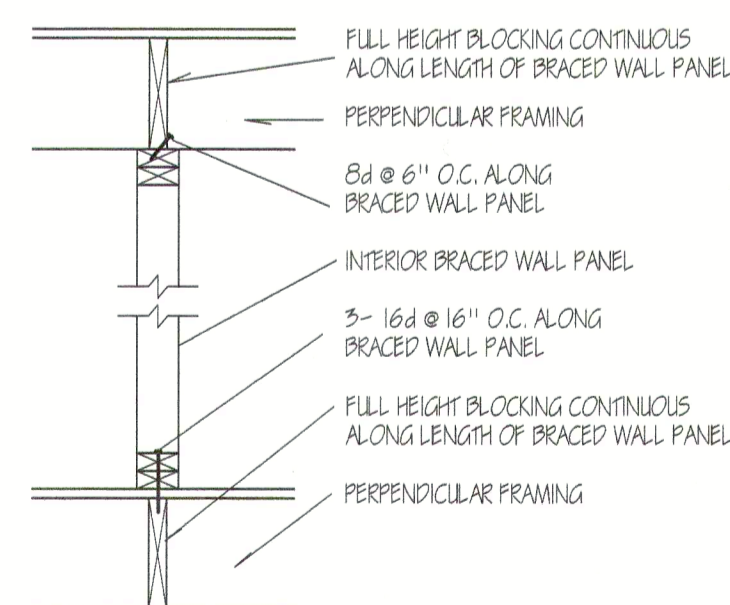


SECOND FLOOR PLAN

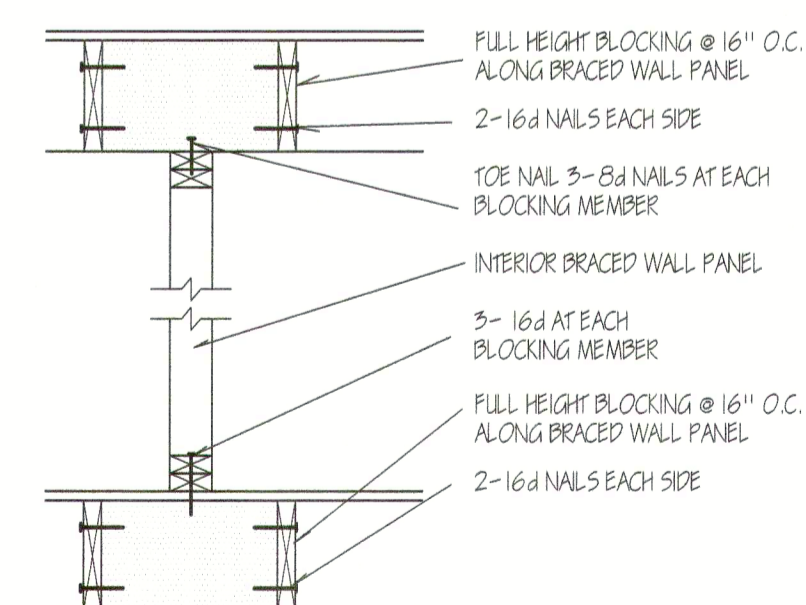
UNIT 00B00



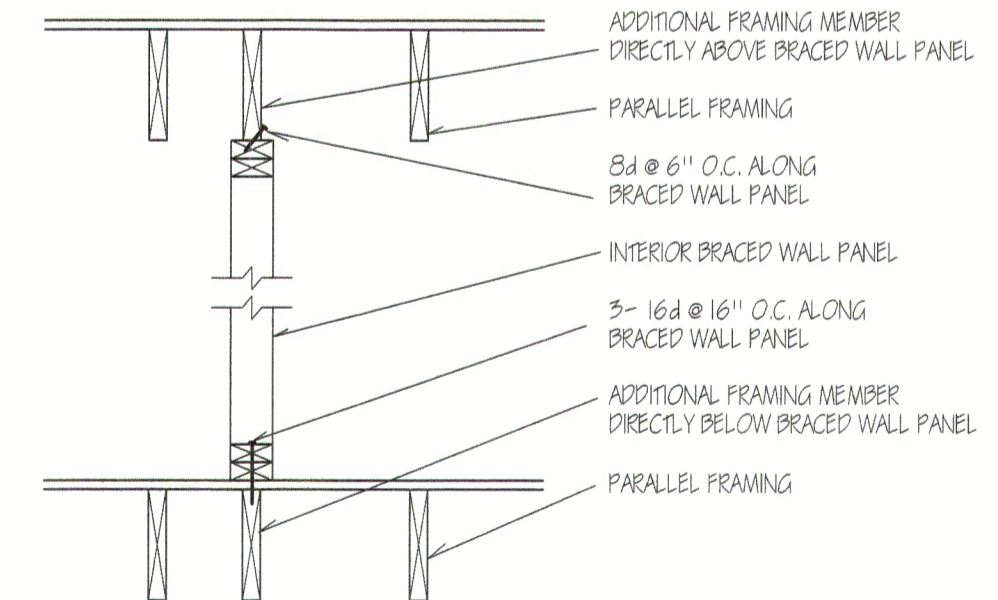
CONTINUOUS RIM OR END JOIST
PARALLEL OR PERPENDICULAR FRAMING
8d @ 6" O.C. ALONG EXTERIOR BRACED WALL PANEL
5-16d @ 16" O.C. ALONG INTERIOR BRACED WALL PANEL
CONTINUOUS RIM OR END JOIST
PARALLEL OR PERPENDICULAR FRAMING



FULL HEIGHT BLOCKING CONTINUOUS ALONG LENGTH OF BRACED WALL PANEL
PERPENDICULAR FRAMING
8d @ 6" O.C. ALONG EXTERIOR BRACED WALL PANEL
5-16d @ 16" O.C. ALONG INTERIOR BRACED WALL PANEL



FULL HEIGHT BLOCKING @ 16" O.C. ALONG BRACED WALL PANEL
2-16d NAILS EACH SIDE
TOE WALL 5-8d NAILS AT EACH BLOCKING MEMBER
INTERIOR BRACED WALL PANEL
3-16d @ 16" O.C. ALONG BRACED WALL PANEL
FULL HEIGHT BLOCKING @ 16" O.C. ALONG BRACED WALL PANEL
2-16d NAILS EACH SIDE



ADDITIONAL FRAMING MEMBER DIRECTLY ABOVE BRACED WALL PANEL
PARALLEL FRAMING
8d @ 6" O.C. ALONG BRACED WALL PANEL
INTERIOR BRACED WALL PANEL
3-16d @ 16" O.C. ALONG BRACED WALL PANEL
ADDITIONAL FRAMING MEMBER DIRECTLY BELOW BRACED WALL PANEL
PARALLEL FRAMING

TYPICAL WALL FASTENING DETAILS

Not to scale

File No. _____

PETITION TO THE PLANNING & ZONING COMMISSION
CITY OF BRIDGEPORT, CONNECTICUT

1. NAME OF PETITIONER: Faith Ricciotti

2. Is the Petitioner's name Trustee of Record? Yes _____ No

If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.

3. Address of Property: 150 Seabright Ave Bridgeport, CT
(number) (street) (state) (zip code) 06605

4. Assessor's Map Information: Block No. 9/115 Lot No. 4

5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____

(Attach copies of Amendment)

6. Description of Property (Metes & Bounds): see attached

7. Existing Zone Classification: NX 1

8. Zone Classification requested: NX 1 (NO change)

9. Describe Proposed Development of Property: see attached

Approval(s) requested: _____

Signature: Faith Ricciotti

Date: 9/20/22

Print Name: Faith Ricciotti

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: _____

Print Name: _____

Mailing Address: 241 Papermill Lane Fairfield, CT 06824

Phone: _____ Cell: (203) 331-2508 Fax: _____

E-mail Address: faithricci@optonline.net

\$ _____ Fee received Date: _____ Clerk: _____

THIS PETITION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Faith a. Ricciotti Faith Ricciotti
Print Owner's Name Owner's Signature

9/12/22
Date

Print Owner's Name

Owner's Signature

Date

City of Bridgeport: Planning and Zoning Commission Application

Description proposed for development of 150 Seabright Avenue:

Lift existing single family residence to meet flood elevation requirements (AE 12)- elevation

Certificate enclosed. Lowest finished floor to be at EL 13. Interior renovations and new windows. Replace existing front porch (as per historical commission approval). New deck and stairway (Phase 1 only).



City of Bridgeport, Connecticut
HISTORIC DISTRICT COMMISSION

ROOM 210 - 45 LYON TERRACE
BRIDGEPORT, CONNECTICUT 06604
TELEPHONE: (203) 576-7217
FAX: (203) 576-7213

HISTORIC DISTRICT COMMISSION #1
STRATFIELD HISTORIC DISTRICT

September 8, 2022

Faith Ricciotti
241 Papermill Lane
Fairfield, CT 06824

Re: Application #2022-16 of Faith Ricciotti for replacement windows and to lift the existing house to meet the federal flood elevation regulations at the address of 150 Seabright Avenue (Phase 1).

Dear Faith Ricciotti:

At the meeting held on September 6, 2022 the Historic District Commission of the City of Bridgeport voted to approve with conditions your application.

Conditions:

1. Window replacements will be 6 over 6.
2. The new foundation will be composed of rounded beach stones.

The commission request a new application detailing the front door replacement, porch columns and the front and rear porch railings and balustrades

Please contact me at (203) 576-7217 if you have questions.

Sincerely,

Paul Boucher
Historic Commission Clerk



City of Bridgeport
Zoning Department
PLANNING AND ECONOMIC DEVELOPMENT

45 Lyon Terrace • Bridgeport, Connecticut 06604
Telephone (203) 576-7217
Fax (203) 576-7213

Application Form
Municipal Coastal Site Plan Review
For Projects Located Fully or Partially Within the Coastal Boundary

Please complete this form in accordance with the attached instructions and submit it with the appropriate plans to appropriate **municipal agency**.

Section I: Applicant Identification

Applicant:	<u>Faith Ricciotti</u>	Date:	<u>9/20/22</u>
Address:	<u>241 Papermill Lane Fairfield CT 06424</u>	Phone:	<u>203 331-2508</u>
Project Address or Location:	<u>150 Seabright Ave Bridgeport CT 06605</u>		
Interest in Property:	<input checked="" type="checkbox"/> fee simple <input type="checkbox"/> option <input type="checkbox"/> lessee <input type="checkbox"/> easement <input type="checkbox"/> other (specify) _____		
List primary contact for correspondence if other than applicant:			
Name:	_____		
Address:	_____		
City/Town:	_____	State:	_____ Zip Code: _____
Business Phone:	_____		
e-mail:	_____		

Section II: Project Site Plans

Please provide project site plans that clearly and accurately depict the following information, and check the appropriate boxes to indicate that the plans are included in this application:

- Project location
- Existing and proposed conditions, including buildings and grading
- Coastal resources on and contiguous to the site
- High tide line [as defined in CGS Section 22a-359(c)] and mean high water mark elevation contours (for parcels abutting coastal waters and/or tidal wetlands only)
- Soil erosion and sediment controls
- Stormwater treatment practices
- Ownership and type of use on adjacent properties
- Reference datum (i.e., National Geodetic Vertical Datum, Mean Sea Level, etc.)

Part II.A.: Description of Proposed Project or Activity

Describe the proposed project or activity including its purpose and related activities such as site clearing, grading, demolition, and other site preparations; percentage of increase or decrease in impervious cover over existing conditions resulting from the project; phasing, timing and method of proposed construction; and new uses and changes from existing uses (attach additional pages if necessary):

See attached

Part II.B.: Description of Proposed Stormwater Best Management Practices

Describe the stormwater best management practices that will be utilized to ensure that the volume of runoff generated by the first inch of rainfall is retained on-site, especially if the site or stormwater discharge is adjacent to tidal wetlands. If runoff cannot be retained on-site, describe the site limitations that prevent such retention and identify how stormwater will be treated before it is discharged from the site. Also demonstrate that the loadings of total suspended solids from the site will be reduced by 80 percent on an average annual basis, and that post-development stormwater runoff rates and volumes will not exceed pre-development runoff rates and volumes (attach additional pages if necessary):

Install on site retention system to be designed by engineer - storm water will not increase from existing. Suspended solids will not increase from existing.

10/20/11
6/15/12

Part IV: Consistency with Applicable Coastal Resource Policies and Standards

Describe the location and condition of the coastal resources identified in Part III above and explain how the proposed project or activity is consistent with all of the applicable coastal resource policies and standards; also see adverse impacts assessment in Part VII.A below (attach additional pages if necessary):

see survey *see survey*

Part V: Identification of Applicable Coastal Use and Activity Policies and Standards

Identify all coastal policies and standards in or referenced by CGS Section 22a-92 applicable to the proposed project or activity:

- General Development* - CGS Sections 22a-92(a)(1), 22a-92(a)(2), and 22a-92(a)(9)
- Water-Dependent Uses** - CGS Sections 22a-92(a)(3) and 22a-92(b)(1)(A);
Definition CGS Section 22a-93(16)
- Ports and Harbors - CGS Section 22a-92(b)(1)(C)
- Coastal Structures and Filling - CGS Section 22a-92(b)(1)(D)
- Dredging and Navigation - CGS Sections 22a-92(c)(1)(C) and 22a-92(c)(1)(D)
- Boating - CGS Section 22a-92(b)(1)(G)
- Fisheries - CGS Section 22a-92(c)(1)(I)
- Coastal Recreation and Access - CGS Sections 22a-92(a)(6), 22a-92(C)(1)(j) and 22a-92(c)(1)(K)
- Sewer and Water Lines - CGS Section 22a-92(b)(1)(B)
- Fuel, Chemicals and Hazardous Materials - CGS Sections 22a-92(b)(1)(C), 22a-92(b)(1)(E) and 22a-92(c)(1)(A)
- Transportation - CGS Sections 22a-92(b)(1)(F), 22a-92(c)(1)(F), 22a-92(c)(1)(G), and 22a-92(c)(1)(H)
- Solid Waste - CGS Section 22a-92(a)(2)
- Dams, Dikes and Reservoirs - CGS Section 22a-92(a)(2)
- Cultural Resources - CGS Section 22a-92(b)(1)(J)
- Open Space and Agricultural Lands - CGS Section 22a-92(a)(2)

* General Development policies are applicable to all proposed activities
** Water-dependent Use policies are applicable to all activities proposed at waterfront sites, including those with tidal wetlands frontage.

Part VII.B.: Identification of Potential Adverse Impacts on Water-dependent Uses

Please complete the following two sections **only if the project or activity is proposed at a waterfront site**:

- Identify the adverse impact categories below that apply to the proposed project or activity. The **Applicable** column **must** be checked if the proposed activity has the **potential** to generate any adverse impacts as defined in CGS Section 22a-93(17). If an adverse impact may result from the proposed project or activity, use Part VIII to describe what project design features may be used to eliminate, minimize, or mitigate the potential for adverse impacts.

Potential Adverse Impacts on Future Water-dependent Development Opportunities and Activities	Applicable	Not Applicable
Locating a non-water-dependent use at a site physically suited for or planned for location of a water-dependent use - CGS Section 22a-93(17)		✓
Replacing an existing water-dependent use with a non-water-dependent use - CGS Section 22a-93(17)		✓
Siting a non-water-dependent use which would substantially reduce or inhibit existing public access to marine or tidal waters - CGS Section 22a-93(17)		✓

- Identification of existing and/or proposed Water-dependent Uses

Describe the features or characteristics of the proposed activity or project that qualify as water-dependent uses as defined in CGS Section 22a-93(16). If general public access to coastal waters is provided, please identify the legal mechanisms used to ensure public access in perpetuity, and describe any provisions for parking or other access to the site and proposed amenities associated with the access (e.g., boardwalk, benches, trash receptacles, interpretative signage, etc.):

w/p

*If there are no water-dependent use components, describe how the project site is not appropriate for the development of a water-dependent use.

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name FAITH RICCIOTTI				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE				Company NAIC Number:	
City BRIDGEPORT		State Connecticut		ZIP Code 06605	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) ASSESSORS MAP #9 BLOCK #115 LOT #4					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>41.15338</u> Long. <u>-73.22084</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>2A</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>773.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>N/A</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A9.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF BRIDGEPORT 09001			B2. County Name FAIRFIELD		B3. State Connecticut
B4. Map/Panel Number 09001C0438	B5. Suffix G	B6. FIRM Index Date 10-16-2013	B7. FIRM Panel Effective/ Revised Date 07-08-2013	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 12.0
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE			Policy Number:
City BRIDGEPORT	State Connecticut	ZIP Code 06605	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: MN-OT Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>2.6</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>9.4</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | <u>N/A</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>N/A</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>3.3</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>7.5</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>8.9</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>7.5</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name NEAL K. JAIN	License Number 18139		
Title LICENSED SURVEYOR			
Company Name LAND SURVEYING SERVICES, LLC.			
Address 1275 POST ROAD SUITE A-20			
City FAIRFIELD	State Connecticut		ZIP Code 06824
Signature <i>Neal K. Jain</i>	Date 02-28-2022	Telephone (203) 522-4177	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
ELECTRIC PANEL IN BASEMENT AT EL. 6.6'. THERE ARE TWO OIL TANKS IN THE BASEMENT AT EL. 3.3'. THE BOILER IS IN THE BASEMENT AT EL. 3.55'. THE BASEMENT AREA TOTALS 209 SF. THE REMAINING 564 SF IS CRAWLSPACE.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE			Policy Number:
City BRIDGEPORT	State Connecticut	ZIP Code 06605	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE			Policy Number:
City BRIDGEPORT	State Connecticut	ZIP Code 06605	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____

G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name	Title
-----------------------	-------

Community Name	Telephone
----------------	-----------

Signature	Date
-----------	------

Comments (including type of equipment and location, per C2(e), if applicable)

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE			Policy Number:
City BRIDGEPORT	State Connecticut	ZIP Code 06605	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

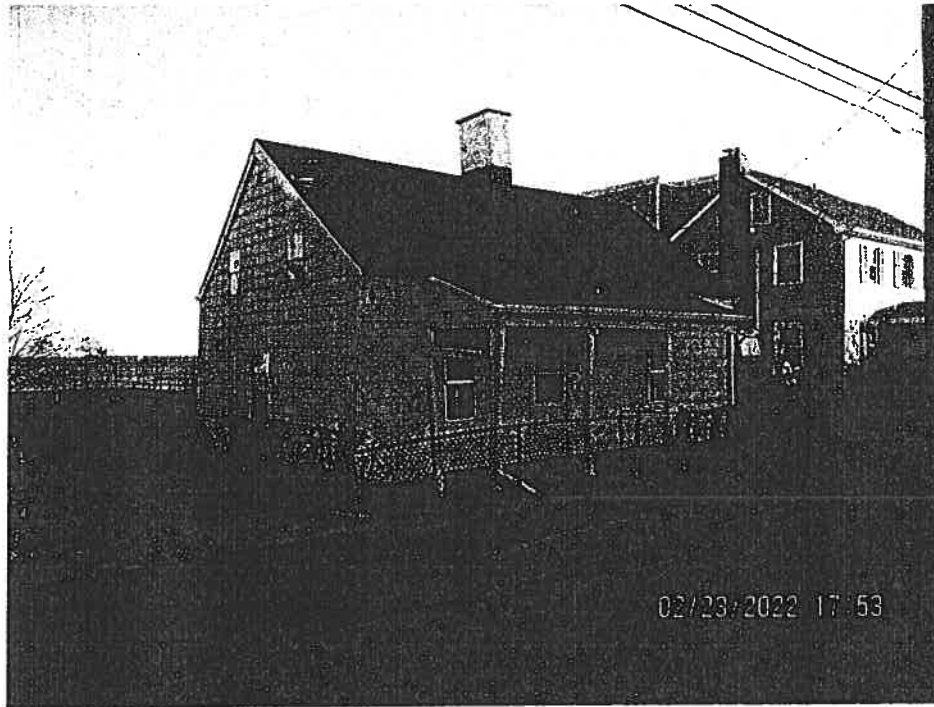


Photo One

Photo One Caption FRONT & LEFT OF HOUSE

Clear Photo One

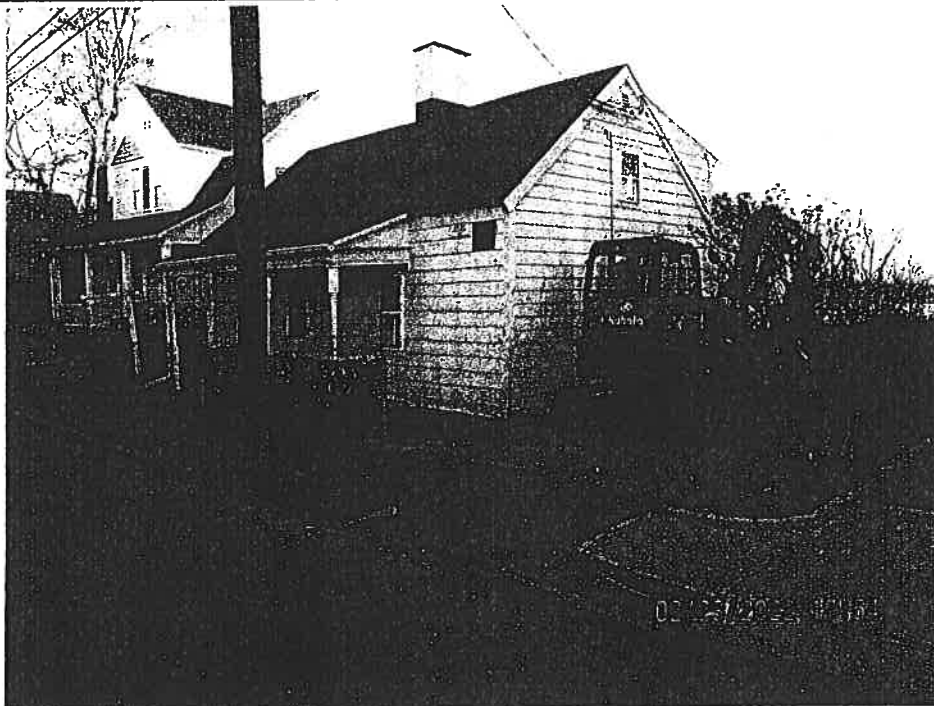


Photo Two

Photo Two Caption FRONT & RIGHT OF HOUSE

Clear Photo Two

BUILDING PHOTOGRAPHS

ELEVATION CERTIFICATE

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE			Policy Number:
City BRIDGEPORT	State Connecticut	ZIP Code 06605	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption REAR & RIGHT OF HOUSE

Clear Photo Three

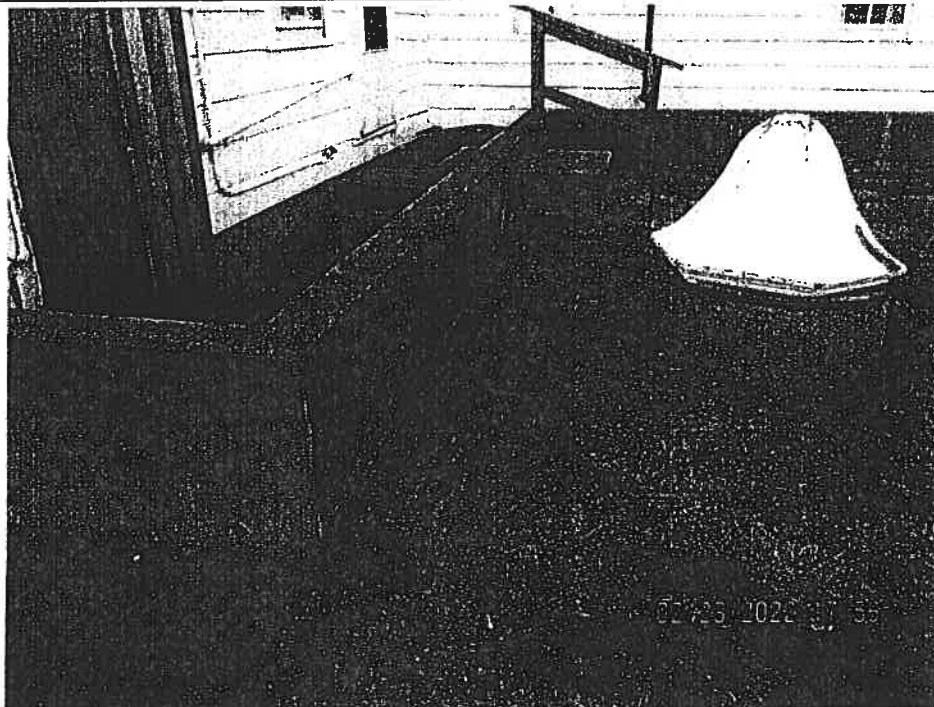
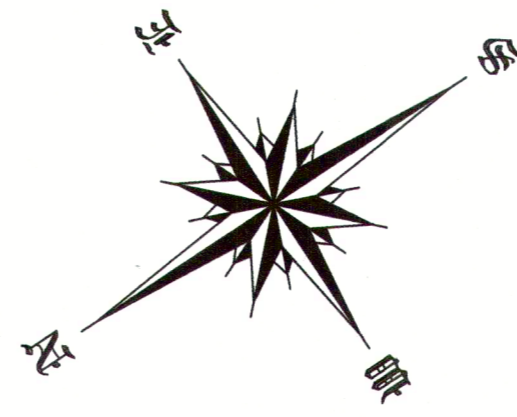


Photo Four

STANDARD	MINIMUM/REQUIRED MAXIMUM/ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	NO MIN.	9,216 ± SF		
Minimum Lot Width	45.0'	50.8'		
Maximum Primary Streetwall	40.0'	30.5'		
Primary Street Build-to-Line	15.0'	7.6'		
Minimum Porch, Enclosed Porch, Bay Setback	7.0'	2.6'		
Minimum Non-Primary Street Setback	8.0'	N/A		
Minimum Side Setback	2.0'	5.4'		
Minimum Combined Side Setbacks	10.0'	16.0'		
Minimum Space Between Adjacent Buildings	6.0'	N/A		
Minimum Rear Setback	20.0'	129' ±		
Maximum Height From First Floor El. To Eave	20.0'	9.4'		
Maximum Number of Stories Per Building	2 1/2	1 1/2		
Maximum Site Coverage Percentage	80.0%	9.8%		

BUILDING ZONE: NX1 HOUSE A



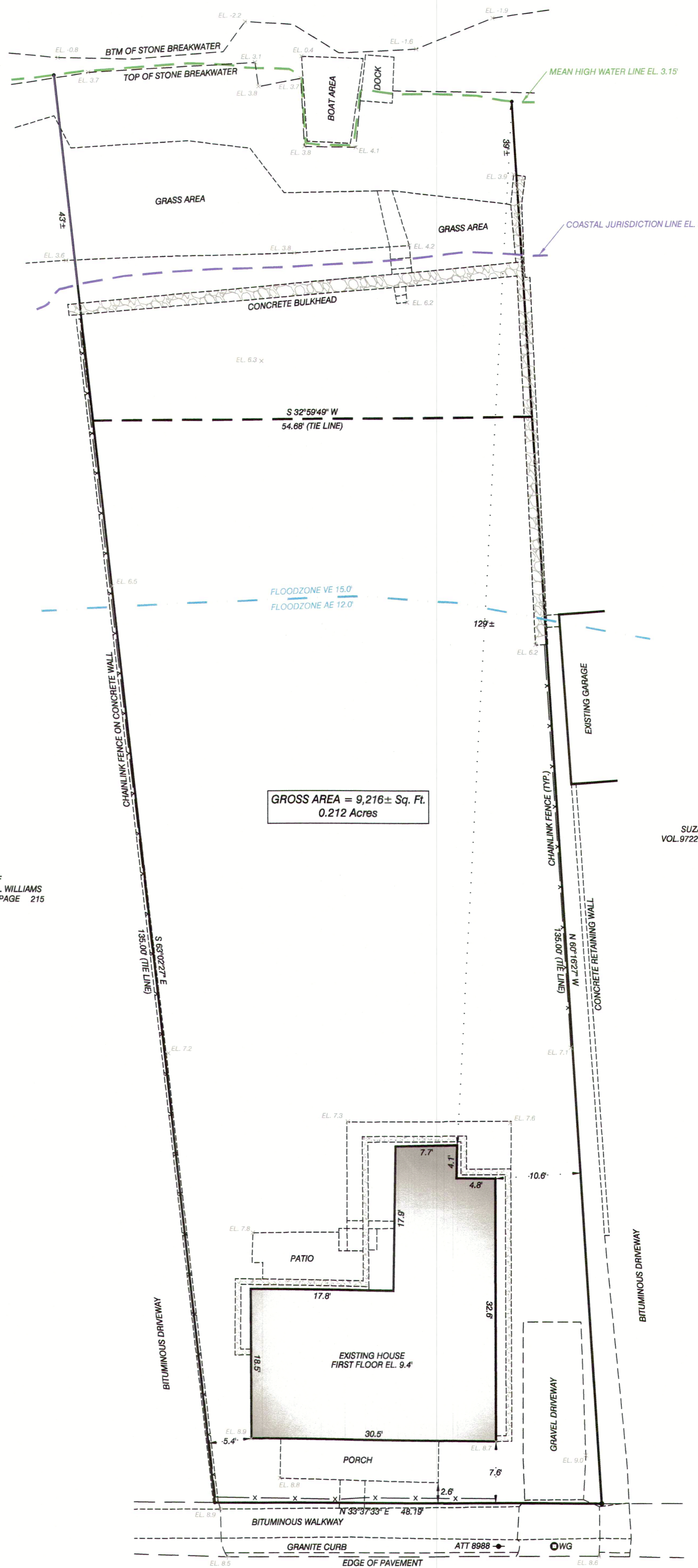
GENERAL NOTES:

- This Map has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 26, 1996.
- This Survey conforms to Class A-2.
- The Type of survey performed is a Limited Property / Boundary Survey, and is intended to be Existing Building Location Survey.
- Boundary determination is based upon a Dependent Resurvey (see MAP REFERENCES and Record Deeds.)
- North Arrow is based on Map Reference # 1.
- This map is NOT VALID without a LIVE SIGNATURE and EMBOSSED SEAL.
- This map is NOT VALID if altered or used by any party other than the one depicted in title block of this map.
- Property Lines Established According to Record Deeds as exist
- Physical Features Such as Stone Walls, Wire Fences, Monuments, Iron Pins or Pipes, Etc. taken under consideration to establish current deed lines.
- Underground Utility, Structure and facility Locations depicted and noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or government agencies, from parole testimony and from other sources. These Locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this firm. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. CALL BEFORE YOU DIG 1-800-922-4455.
- Lot served by town sewer system and public water supply.
- Subject Property Under Zone: AE EL. 12.0' & VE EL. 15.0' per Flood Insurance Rate Map, Community-Pannel Number 09001C0438G Panel 438 OF 626, EFFECTIVE DATE: July 08, 2013.
- Bench Mark Provided by Bridgeport Engineering Department.
- Elevations are based on N.A.V.D. Datum 1988.

MAP REFERENCES:

- VOL. 5, PG 20
- VOL. 8, PG 19
- VOL. 37 PG 34
- VOL. 17 PG 30

BLACK ROCK HARBOR



SEABRIGHT AVENUE



LAND SURVEYING SERVICES, LLC
 1275 POST ROAD, SUITE A-20
 FAIRFIELD, CONNECTICUT 06824
 TEL. (203) 522-4177
 FAX. (203) 615-0123
 EMAIL: info@A2survey.com

TITLE BLOCK
 ASSESSORS MAP # 91115 , PARCEL # 4
 APPLICANT: SAME AS OWNER
 ZONE: NX1
 DESCRIPTIVE TITLE: CLASS A-2 SURVEY
 To the best of my knowledge and belief this map is substantially correct as noted hereon:
 NEAL K. JAIN L.S. # 18139

DATE:	DESCRIPTION

IMPROVEMENT LOCATION SURVEY
 PREPARED FOR
FAITH RICCIOTTI
 150 SEABRIGHT AVENUE, BRIDGEPORT, CONNECTICUT

SCALE: 1" = 10'
 DATE: FEB. 25, 2022

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name FAITH RICCIOTTI				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE				Company NAIC Number:	
City BRIDGEPORT		State Connecticut		ZIP Code 06605	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) ASSESSORS MAP #9 BLOCK #115 LOT #4					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>41.15338</u> Long. <u>-73.22084</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>2A</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>773.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>N/A</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A9.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF BRIDGEPORT 09001			B2. County Name FAIRFIELD		B3. State Connecticut
B4. Map/Panel Number 09001C0438	B5. Suffix G	B6. FIRM Index Date 10-16-2013	B7. FIRM Panel Effective/ Revised Date 07-08-2013	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 12.0
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE			Policy Number:
City BRIDGEPORT	State Connecticut	ZIP Code 06605	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: MN-OT Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|-----|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 2.6 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | 9.4 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | N/A | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | N/A | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | 3.3 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 7.5 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 8.9 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | 7.5 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name NEAL K. JAIN	License Number 18139		
Title LICENSED SURVEYOR			
Company Name LAND SURVEYING SERVICES, LLC.			
Address 1275 POST ROAD SUITE A-20			
City FAIRFIELD	State Connecticut		ZIP Code 06824
Signature <i>Neal K. Jain</i>	Date 02-28-2022	Telephone (203) 522-4177	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
 ELECTRIC PANEL IN BASEMENT AT EL. 6.6'. THERE ARE TWO OIL TANKS IN THE BASEMENT AT EL. 3.3'. THE BOILER IS IN THE BASEMENT AT EL. 3.55'. THE BASEMENT AREA TOTALS 209 SF. THE REMAINING 564 SF IS CRAWLSPACE.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
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City BRIDGEPORT	State Connecticut	ZIP Code 06605	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments

Check here if attachments.

BUILDING PHOTOGRAPHS

ELEVATION CERTIFICATE

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE			Policy Number:
City BRIDGEPORT	State Connecticut	ZIP Code 06605	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

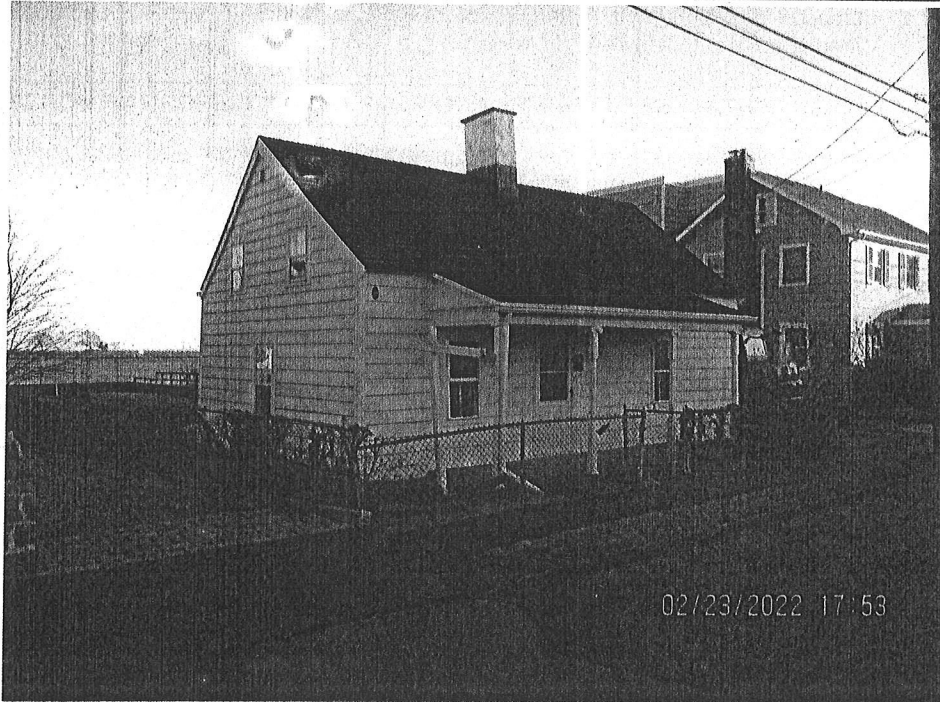


Photo One

Photo One Caption FRONT & LEFT OF HOUSE

Clear Photo One



Photo Two

Photo Two Caption FRONT & RIGHT OF HOUSE

Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 150 SEABRIGHT AVENUE			Policy Number:
City BRIDGEPORT	State Connecticut	ZIP Code 06605	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

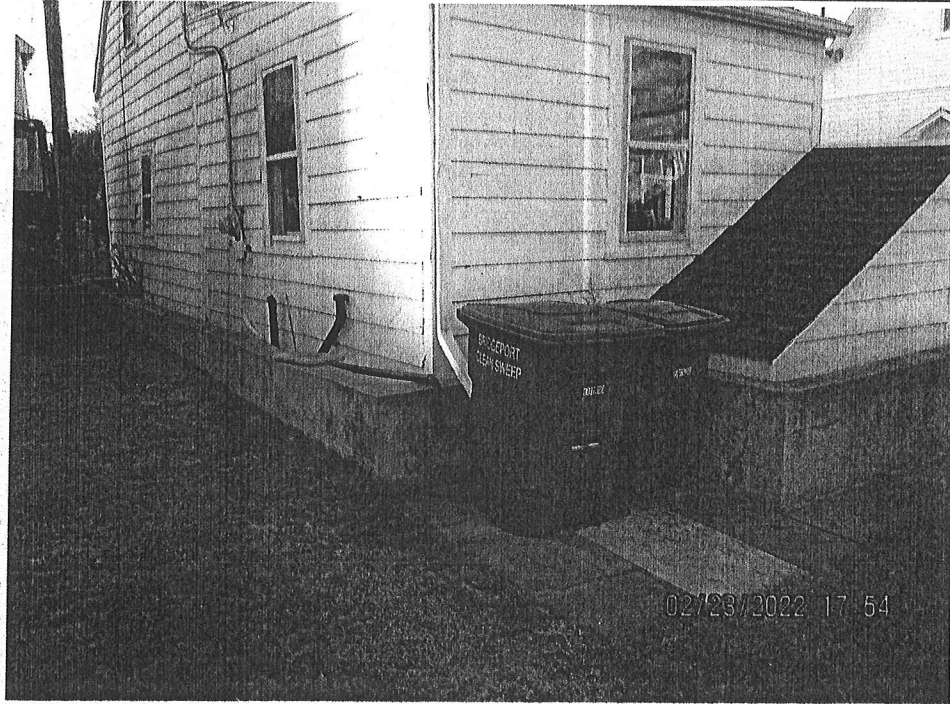


Photo Three

Photo Three Caption: REAR & RIGHT OF HOUSE

Clear Photo Three

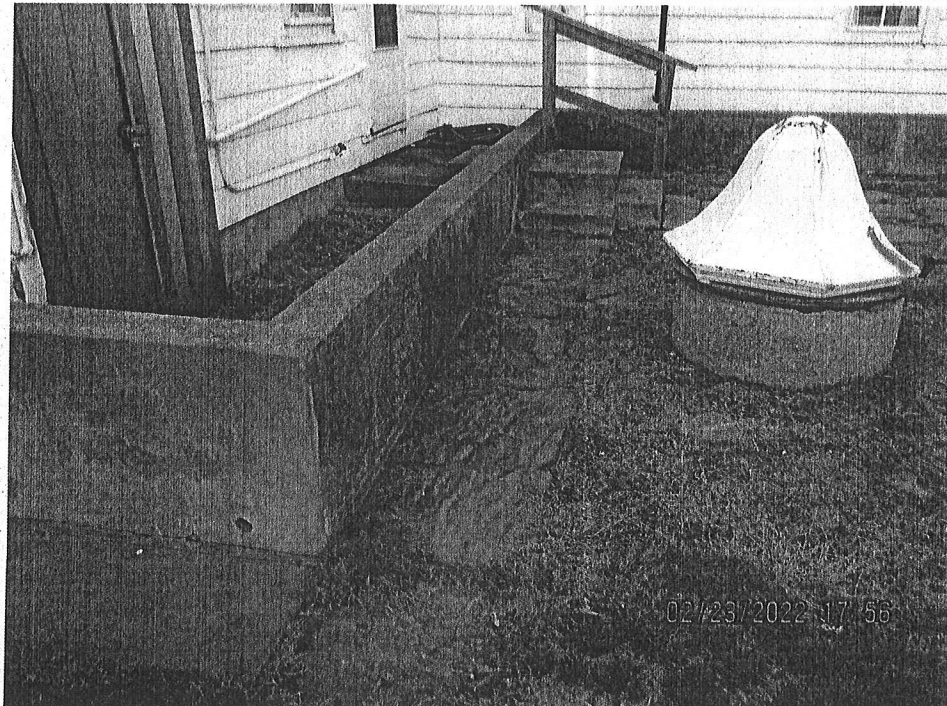


Photo Four

Photo Four Caption: REAR OF HOUSE

Clear Photo Four



PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: FLAGSTONE CONSTRUCTION, llc
2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 330 PLEASANTVIEW AVE. BRIDGEPORT CT. 06606
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. _____ Lot No. _____
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): EXISTING VACANT LOT
7. Existing Zone Classification: N2
8. Zone Classification requested: SPECIAL PERMIT FOR 2-FAMILY DWELLING.
9. Describe Proposed Development of Property: 2-FAM RSIDENTIAL NEW CONSTRUCTION.

Approval(s) requested: SPECIAL PERMIT TO CONSTRUCT/BUILD AS A 2-FAM. DWELLING.

Signature: *F. Campos* Date: 9/29/2022
 Print Name: FLAGSTONE CONSTRUCTION, llc

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: *F. Campos*
 Print Name: FERNANDO CAMPOS (BUILDER).

Mailing Address: 14-CHATHAM DR., TRUMBULL CT 06614
 Phone: _____ Cell: 203-893-6125 Fax: _____
 E-mail Address: SOLUTIONCONSTRUCTIONCLLC@GMAIL.COM

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Atlantic Coleman, llc _____ 9/29/2022
 Print Owner's Name Owner's Signature Date
 _____ 9/29/2022
 Print Owner's Name Owner's Signature Date

WRITTEN STATEMENT OF DEVELOPMENT USE.

Planning & Zoning Commission.

RE: 330 Pleasantview Ave., Bridgeport CT 06606.

Existing vacant lot
N2 Zone

RE: Proposed new construction of a 2-Family dwelling.

To whom it may concern,

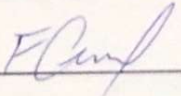
Flagstone Construction, llc would like to request for a "Special Permit" to Develop/Build a 2-Family dwelling that includes the neighborhood design standard on an existing vacant lot of 50' x 100' (330 Pleasantview Ave)

This development is zone-compliant for a two-family dwelling with all the requirements. It will beautify, enhance and protect the neighborhood character as well as its value.

Kind Regards

Flagstone Construction, llc

Fernando Campos, Owner



Date: 9/29/2022

CHARLOT DUCANESSE &
590 BEECHMONT AVE

VEREEN LAURETTA M
4 WEST MAIN ST

DANZA LLC
2340 SILAS DEANE HWY

ABRAHAMS OPAL V
329 PLEASANTVIEW AVENUE

CHANYARAKSKUL CHAIYOT & PINTIP
321 PLEASANTVIEW AVE

VIERA JULIE
319 PLEASANTVIEW AVE

CUEVAS DAVID & DALIA E PLAZA
301 PLEASANTVIEW AVE

MAJATTE PATRICIA H ETAL
8 PLEASANTVIEW AVE

SAM DOROTHY WRIGHT ETAL
8 PLEASANTVIEW AVE

SAM DOROTHY WRIGHT ETAL
8 PLEASANTVIEW AVE

CANTILLO ROGER F & GEORGINA
351 TESINY AVE

QUINONES DAVID
318 PLEASANTVIEW AVENUE

CLEMENTE EUSTACIO & ALCIRIA
337 TESINY AVE

POUERIET ANGEL R C ET AL
310 PLEASANTVIEW AV

LLIGUICHUZCHA MANUEL M
325 TESINY AVE

MURIEL RODONSKI REV TRST
300 PLEASANTVIEW AV

BURGOS KIM A
315 TESINY AVE

MUROLO DOMINICK
21 BARTLETT MNR

JACKSON WALTER C & VALENCIA
295 TESINY AVE

NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A LIMITED PROPERTY/BOUNDARY SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2 AND IS INTENDED FOR MUNICIPAL COMPLIANCE PURPOSES.
- THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED USING GEODIDS AND CONVERTED TO THE CITY OF BRIDGEPORT DATUM (+14.60). LINEAR UNITS ARE IN U.S. SURVEY FEET. HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT COORDINATE SYSTEM OF 1983, AS REALIZED FROM OBSERVATION REFERENCED TO NAD83 (CORS96). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON NOVEMBER 15, 2017 IN ACCORDANCE WITH "GUIDELINES AND SPECIFICATIONS FOR GLOBAL NAVIGATION SATELLITE SYSTEM LAND SURVEYS IN CONNECTICUT" ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC., HOLDING THE FOLLOWING VALUES FOR PUBLISHED BASE DATA:
STATION: ORANGE
NORTHING 458307.101, EASTING 930948.510
LATITUDE 41°10'31.601" N, LONGITUDE 73°00'03.97333" W, ELIPSOID 4.50077.

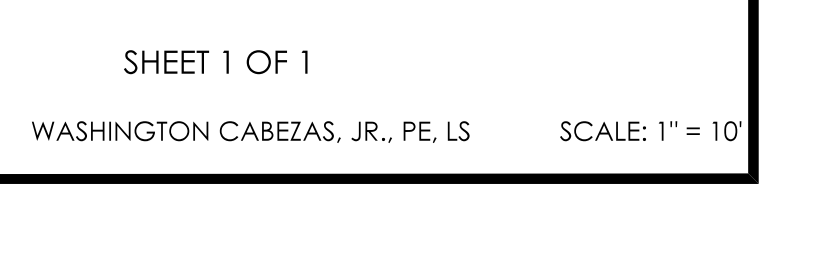
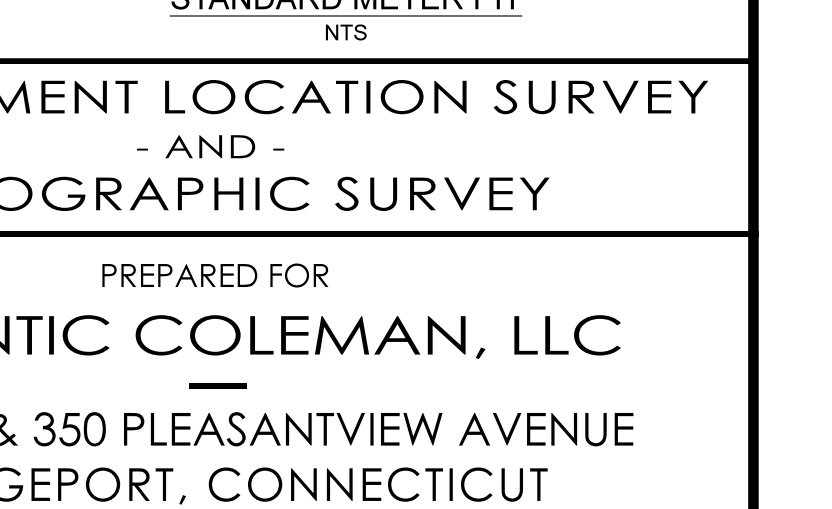
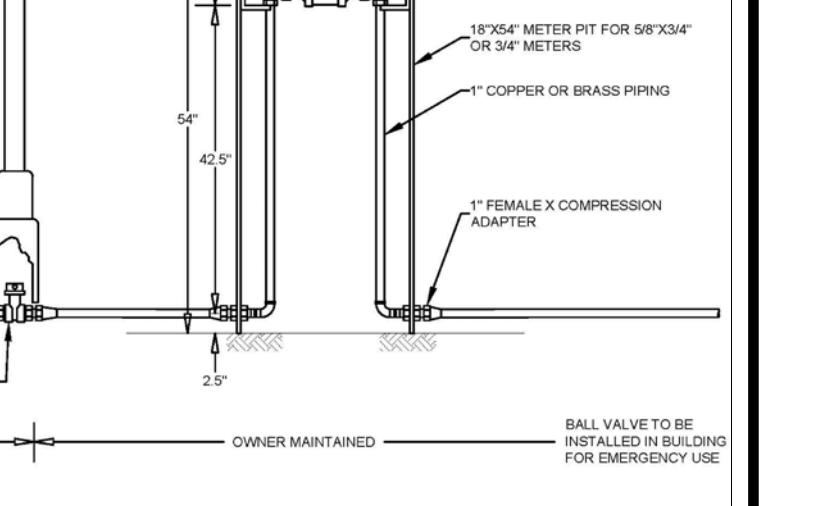
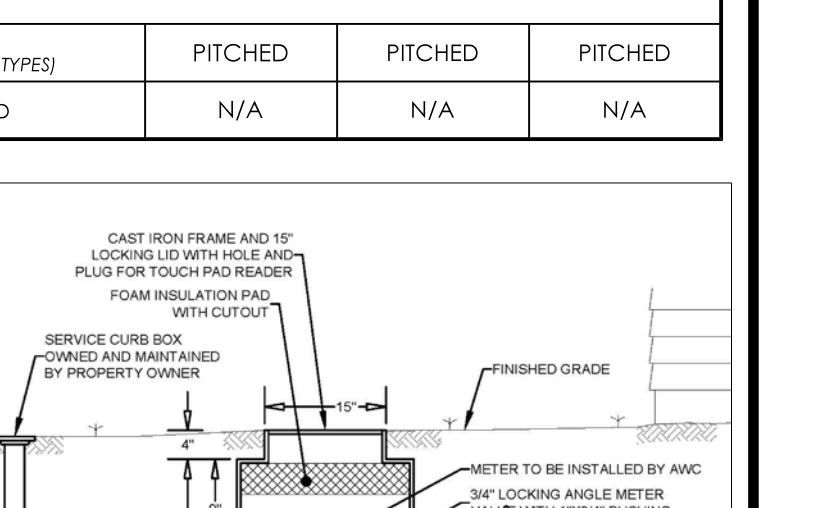
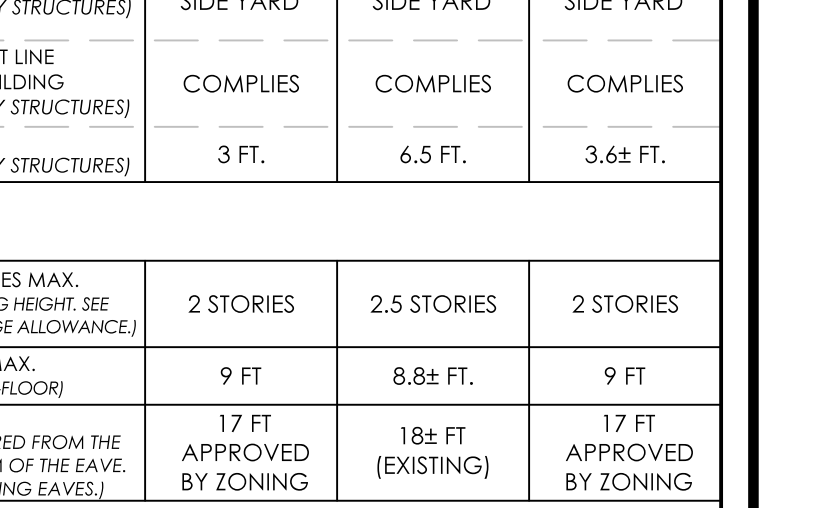
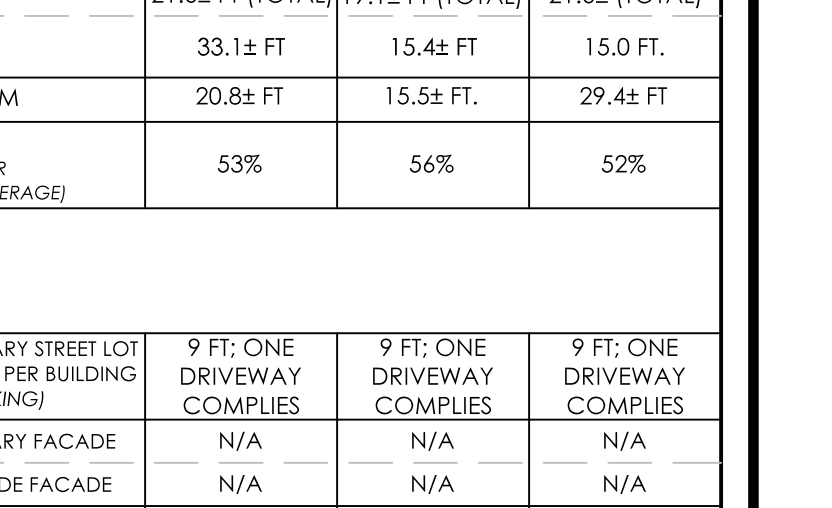
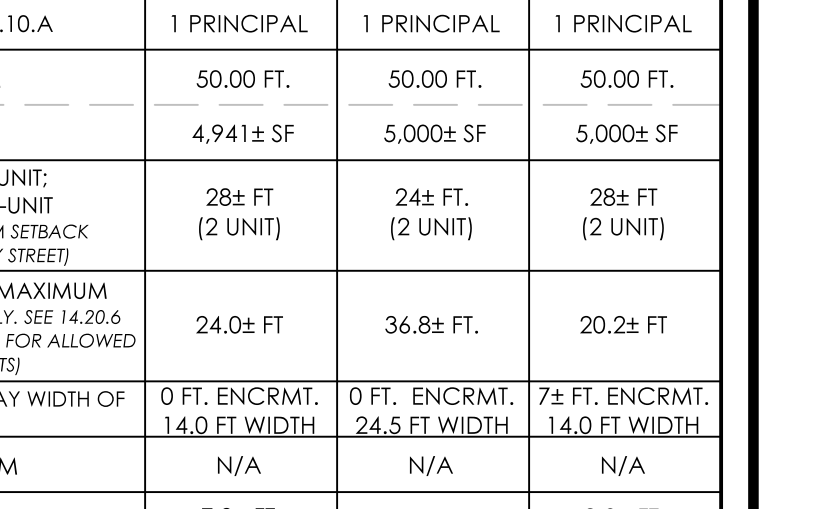
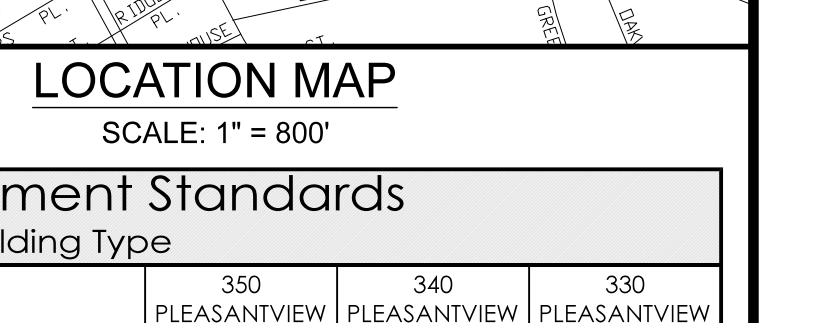
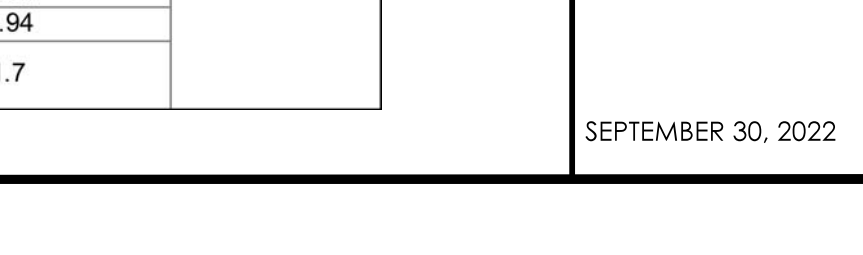
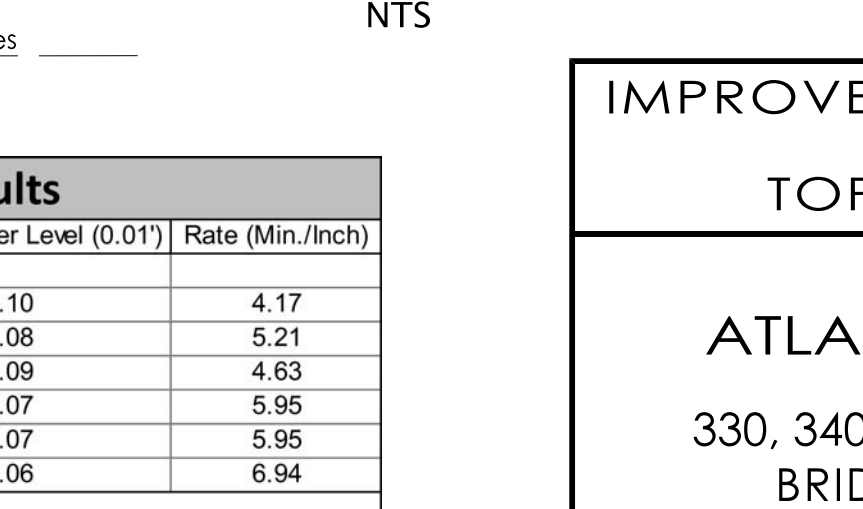
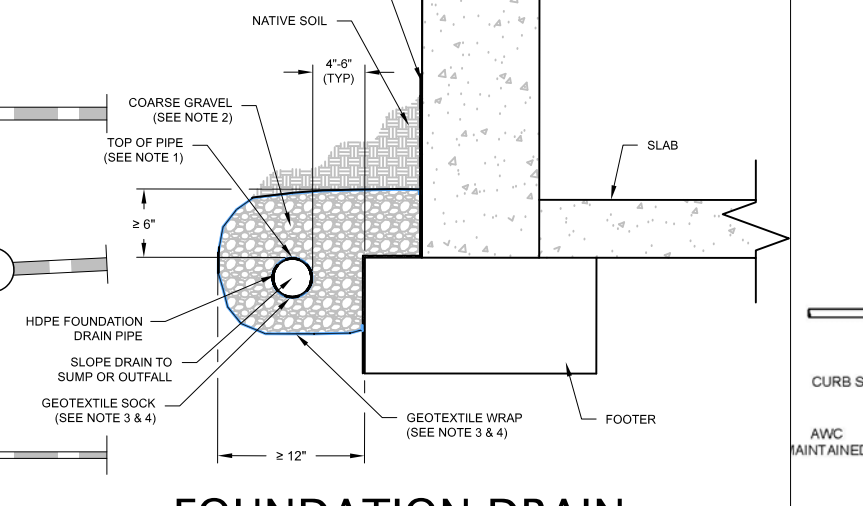
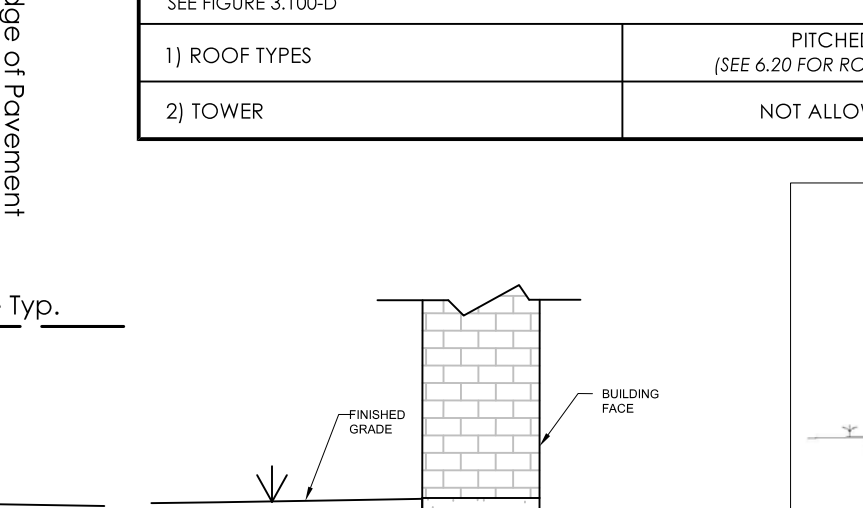
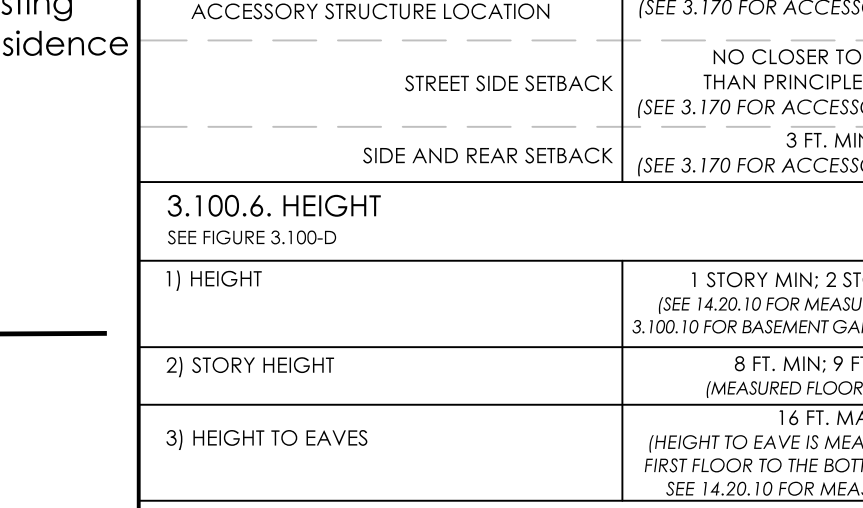
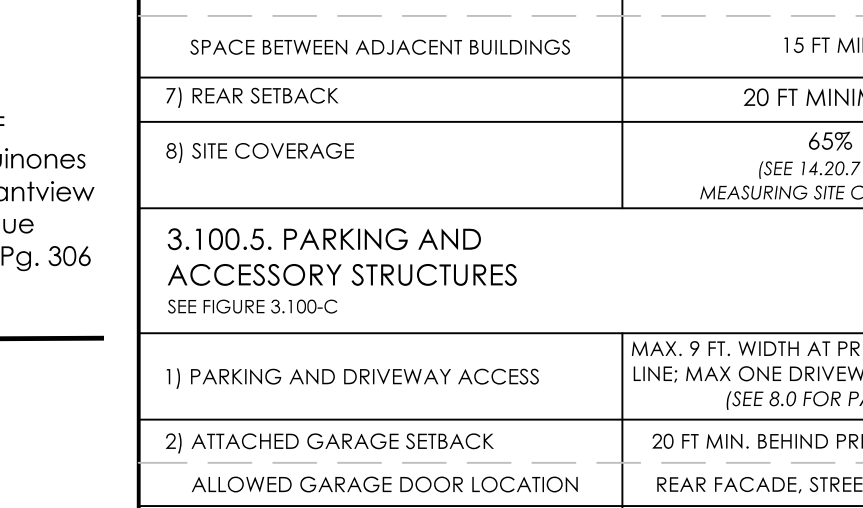
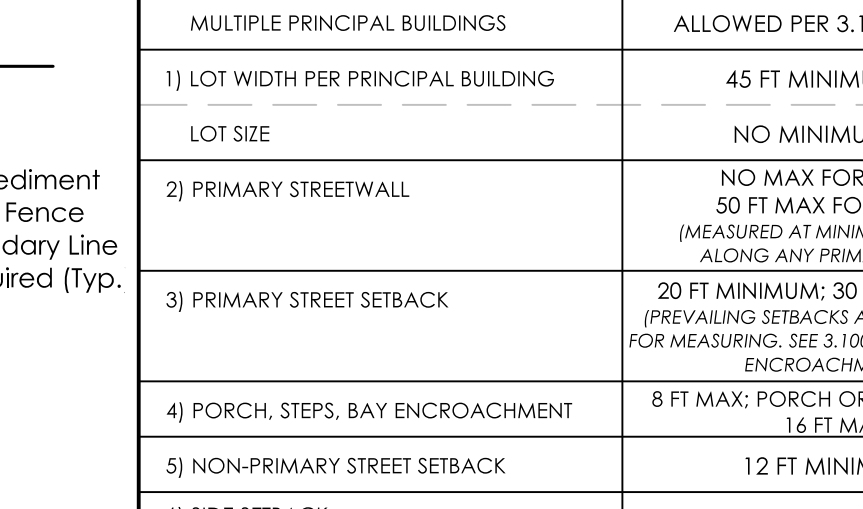
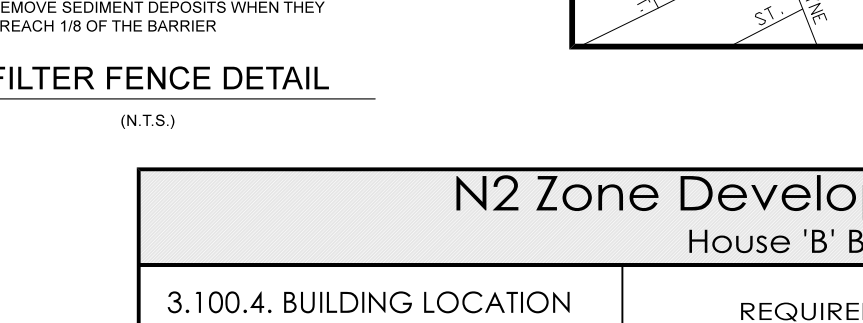
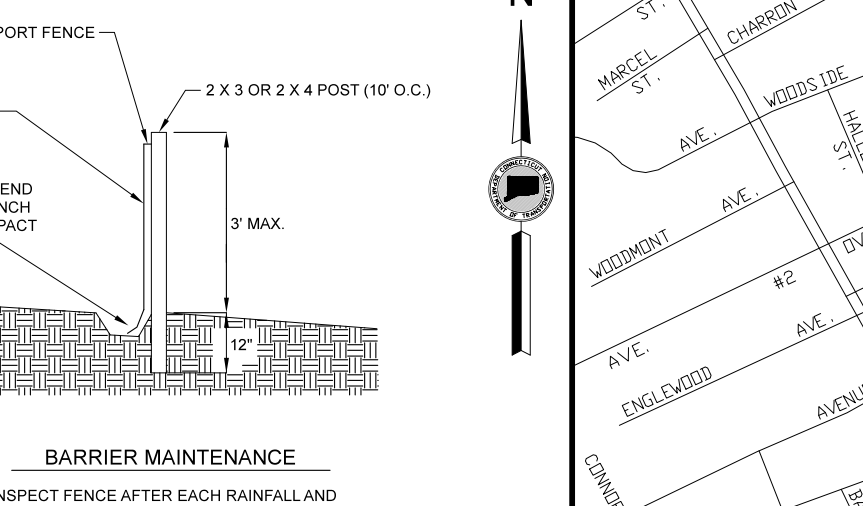
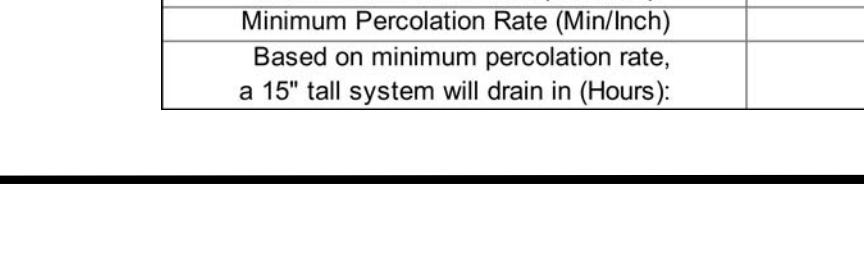
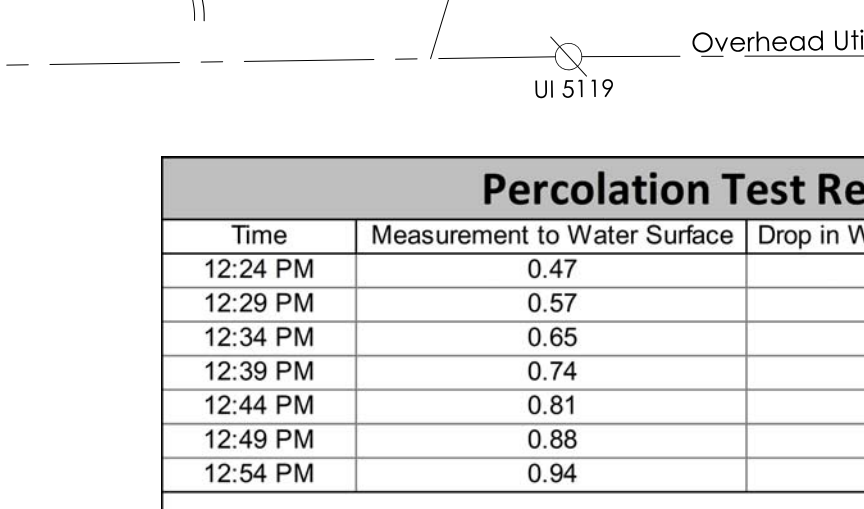
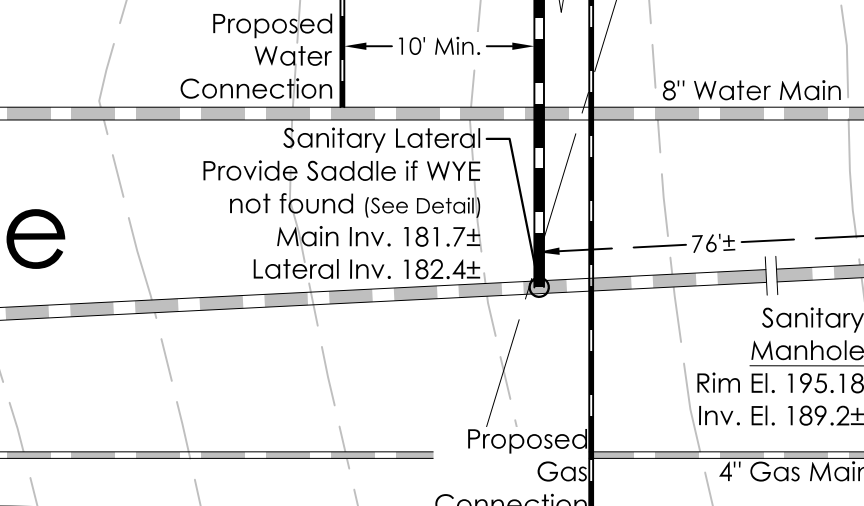
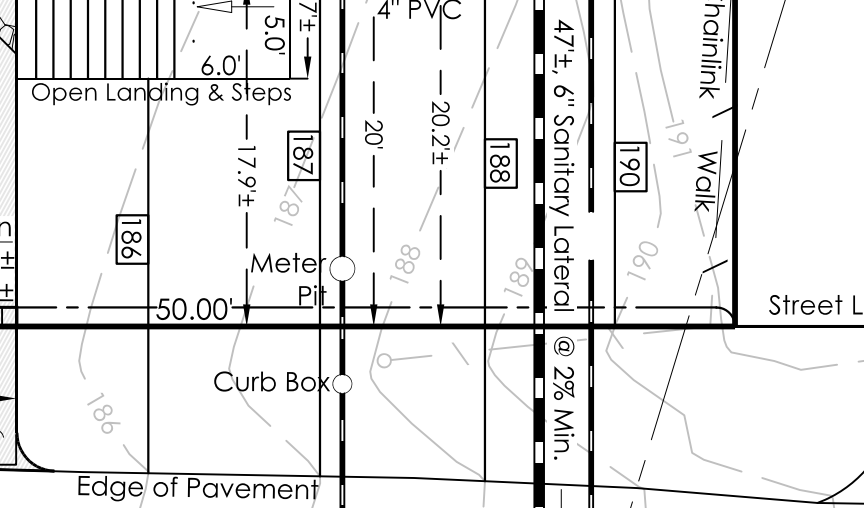
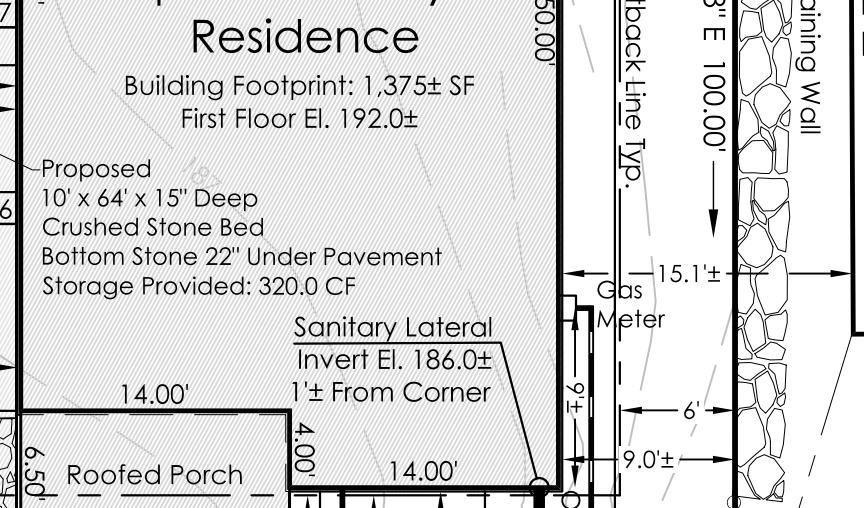
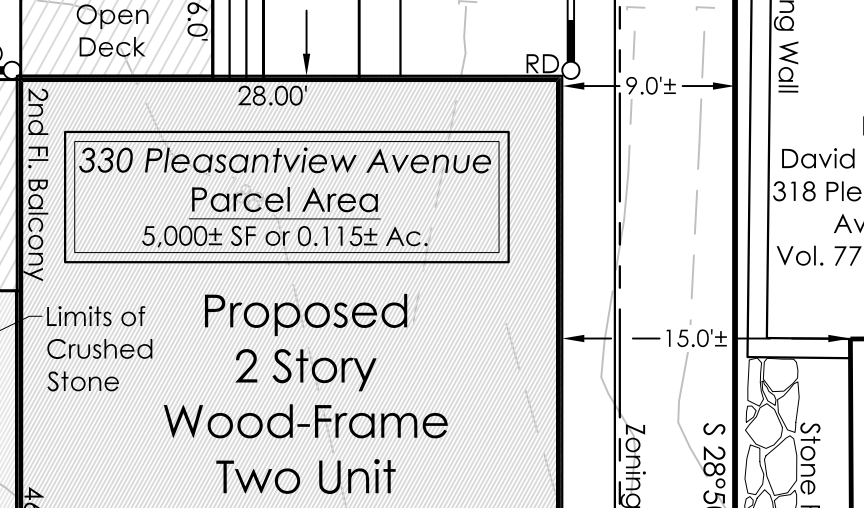
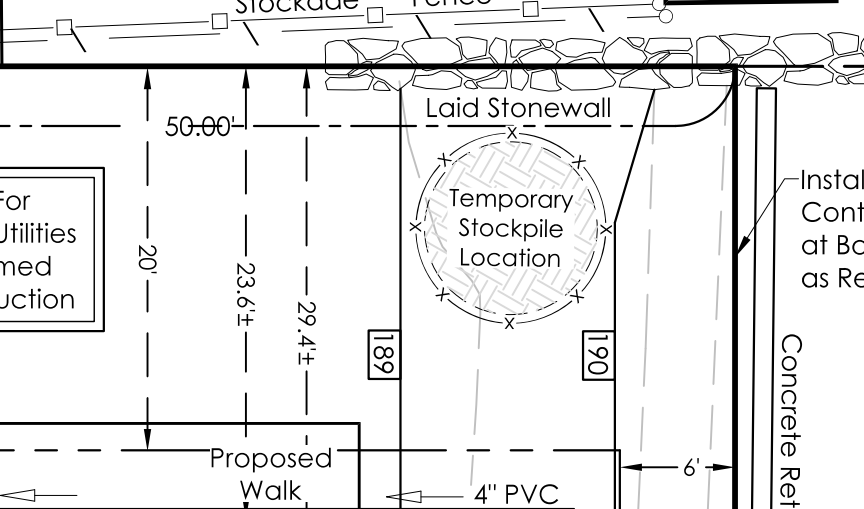
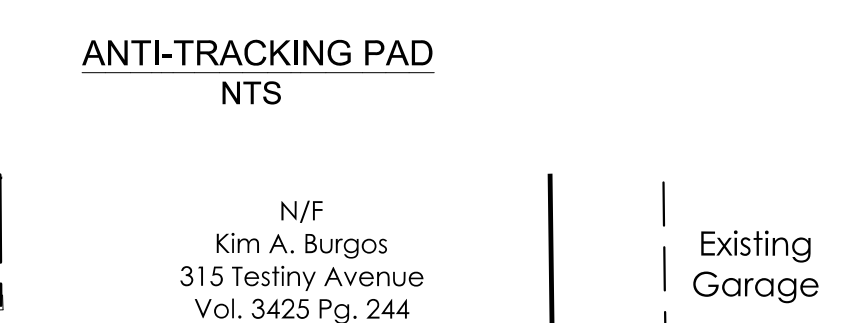
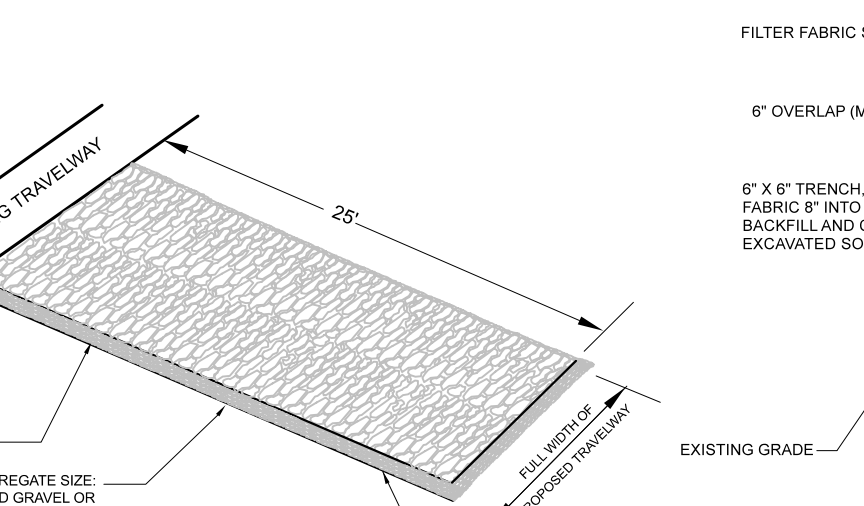
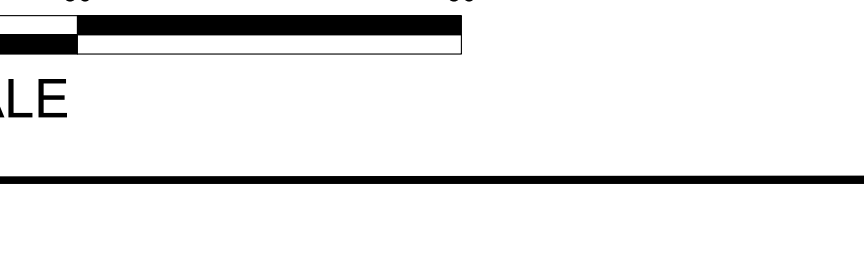
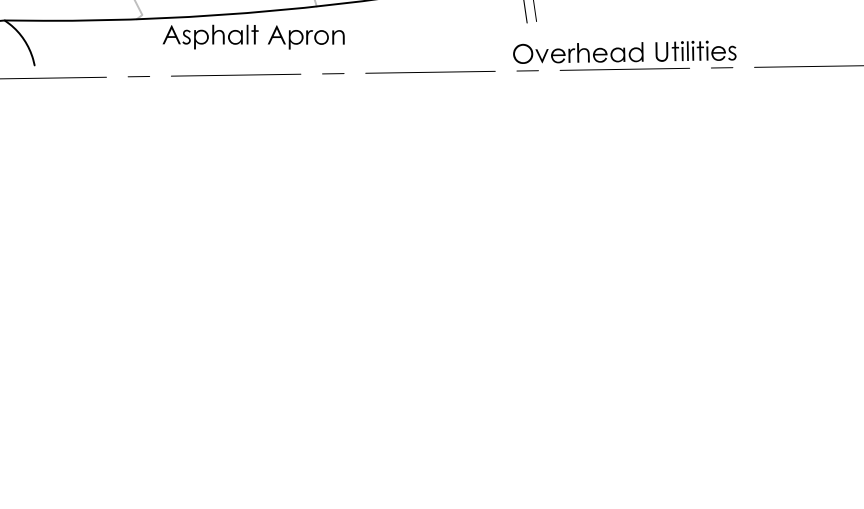
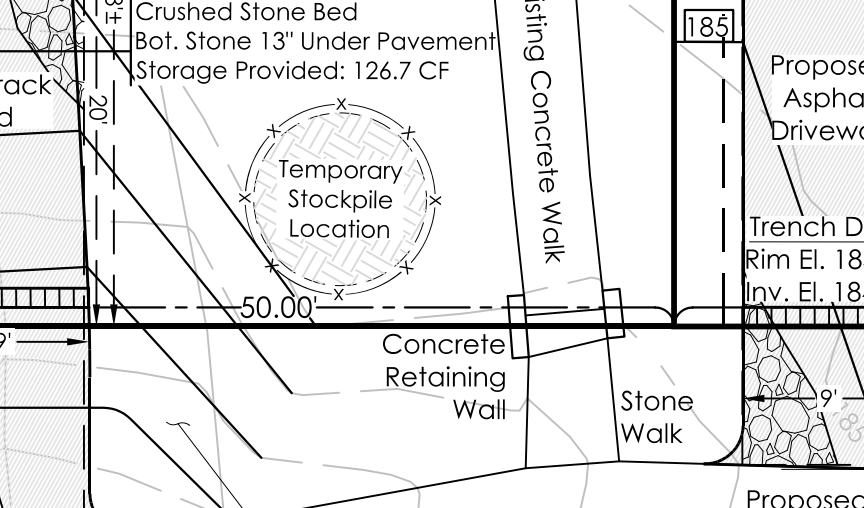
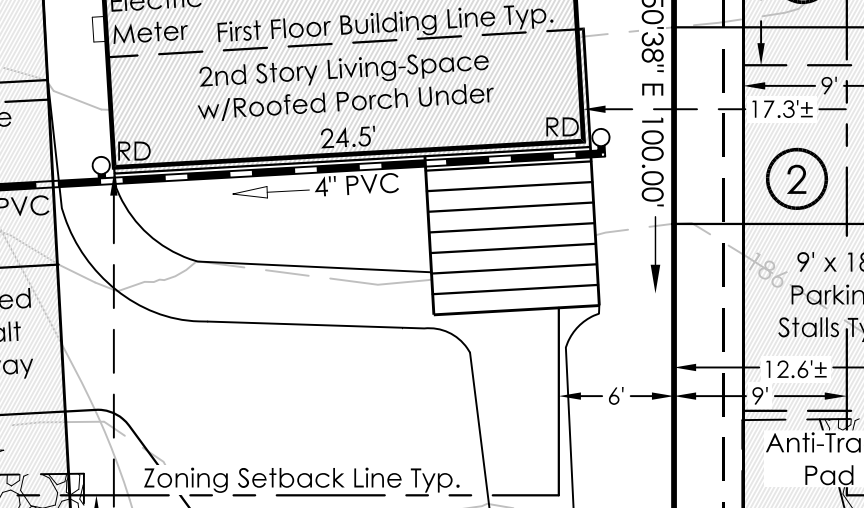
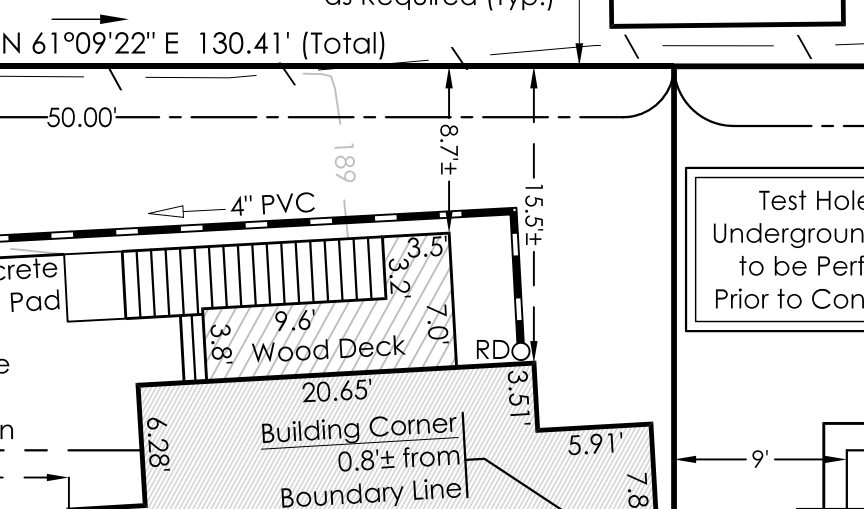
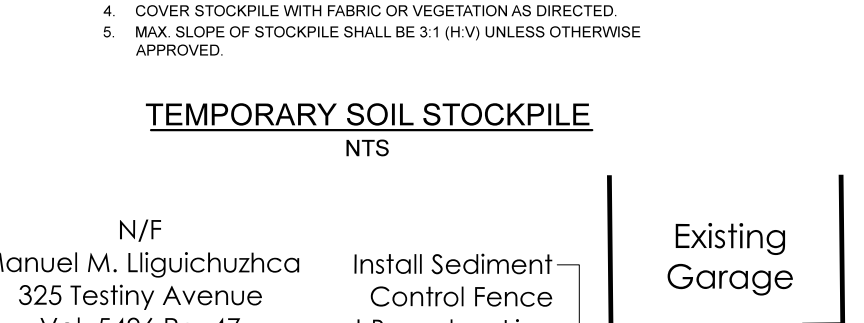
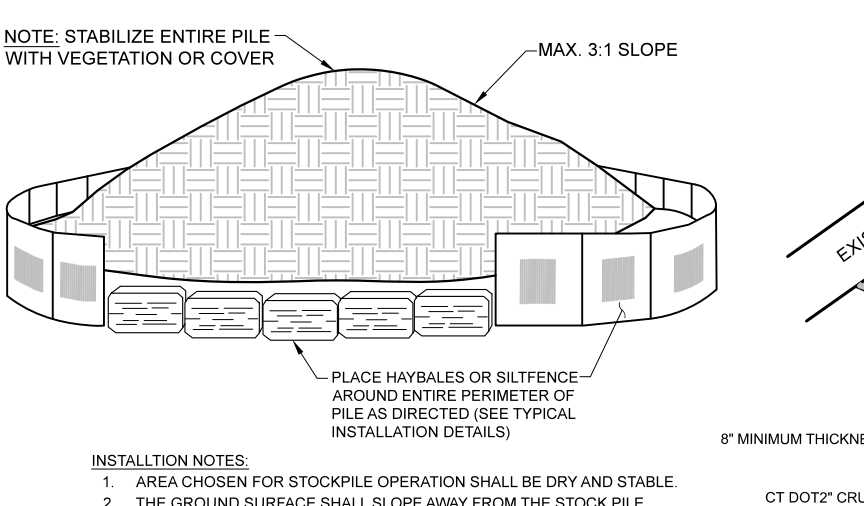
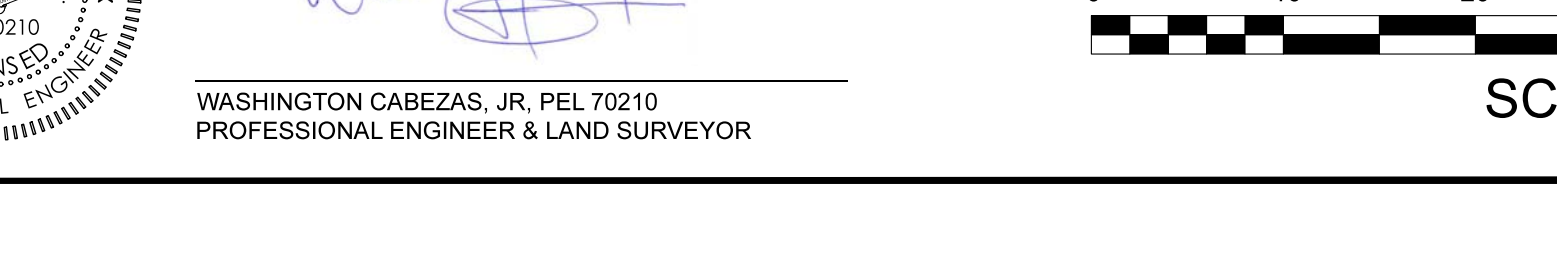
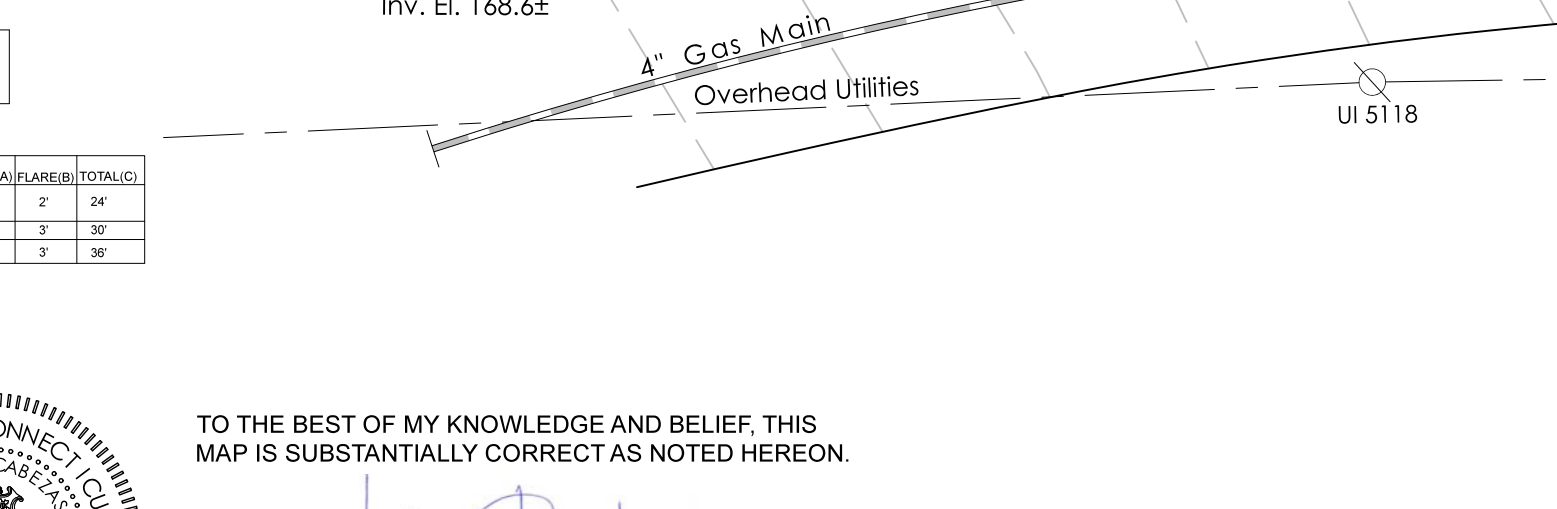
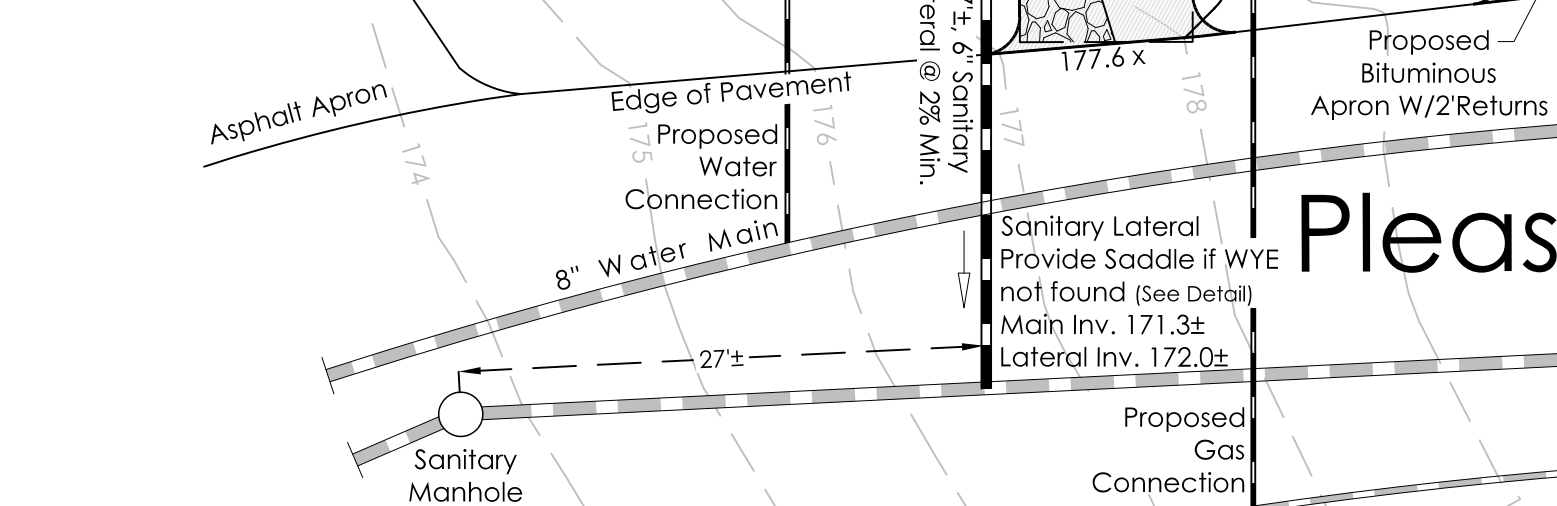
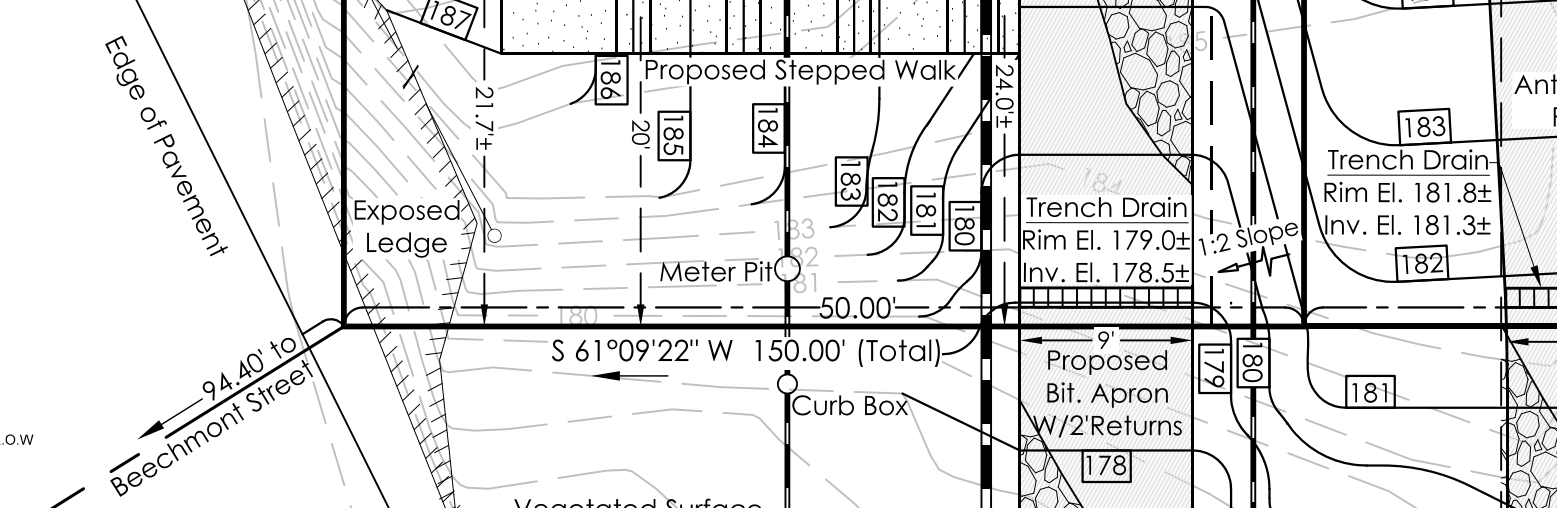
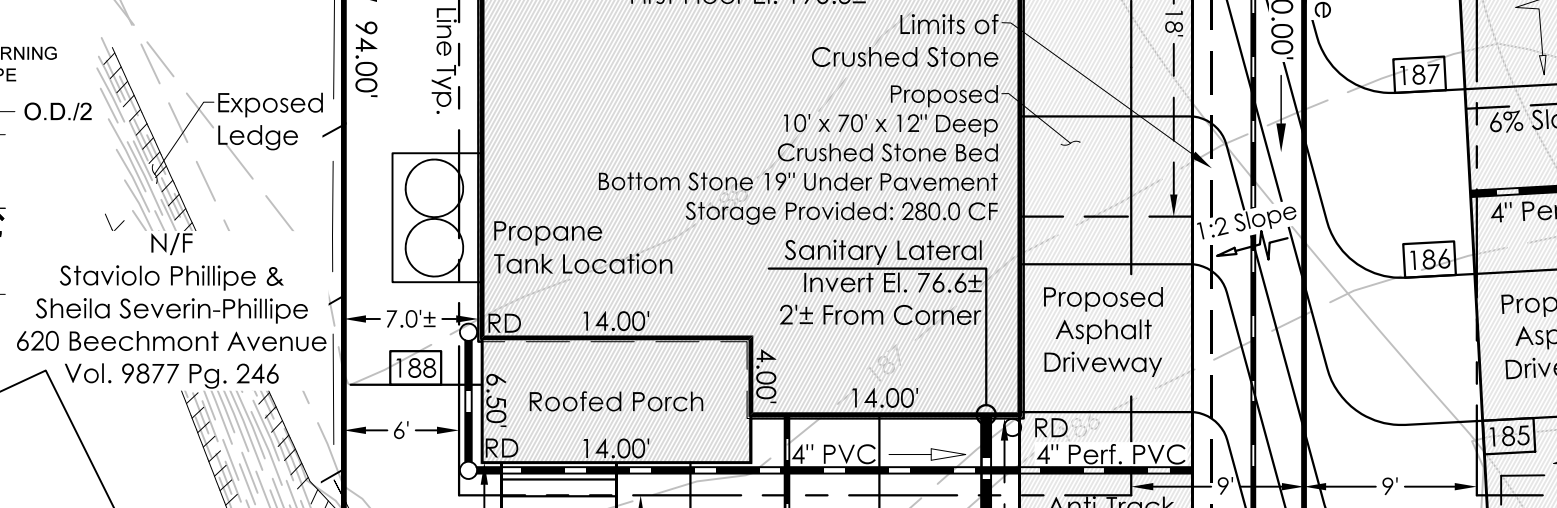
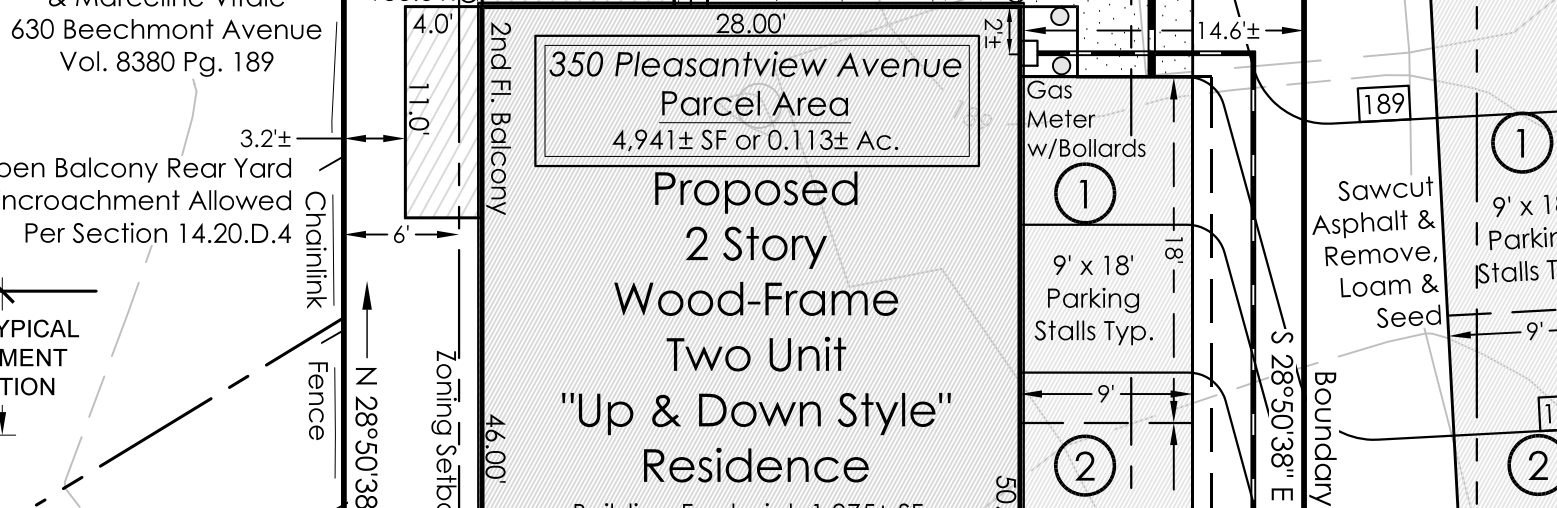
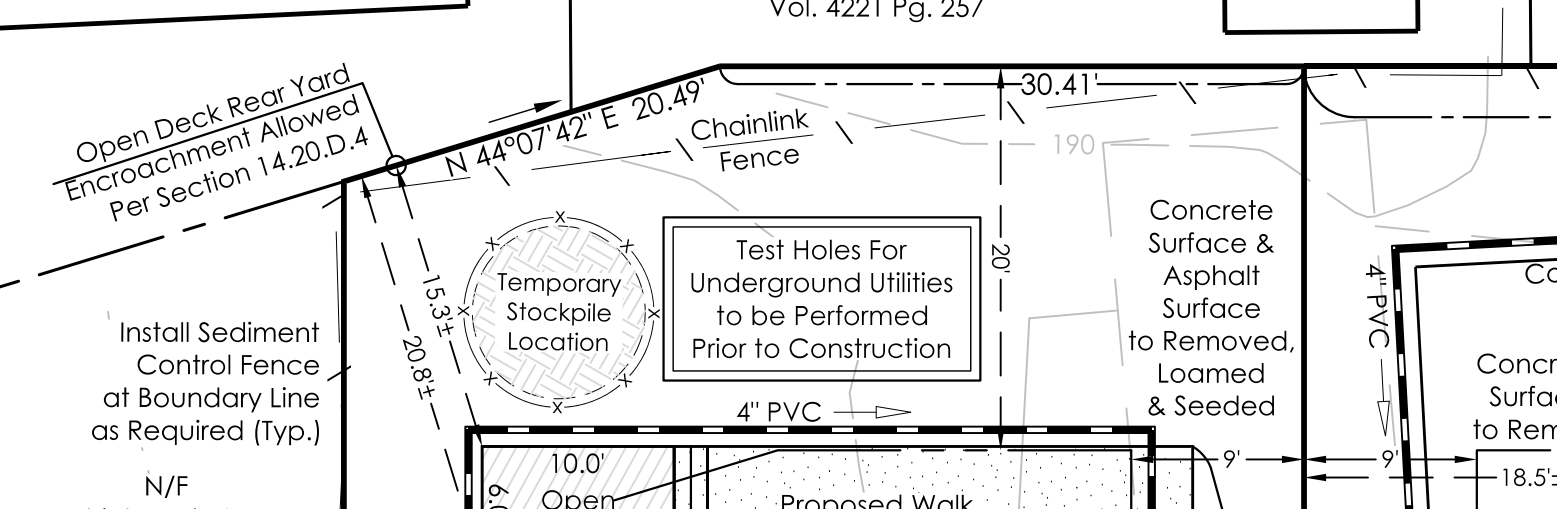
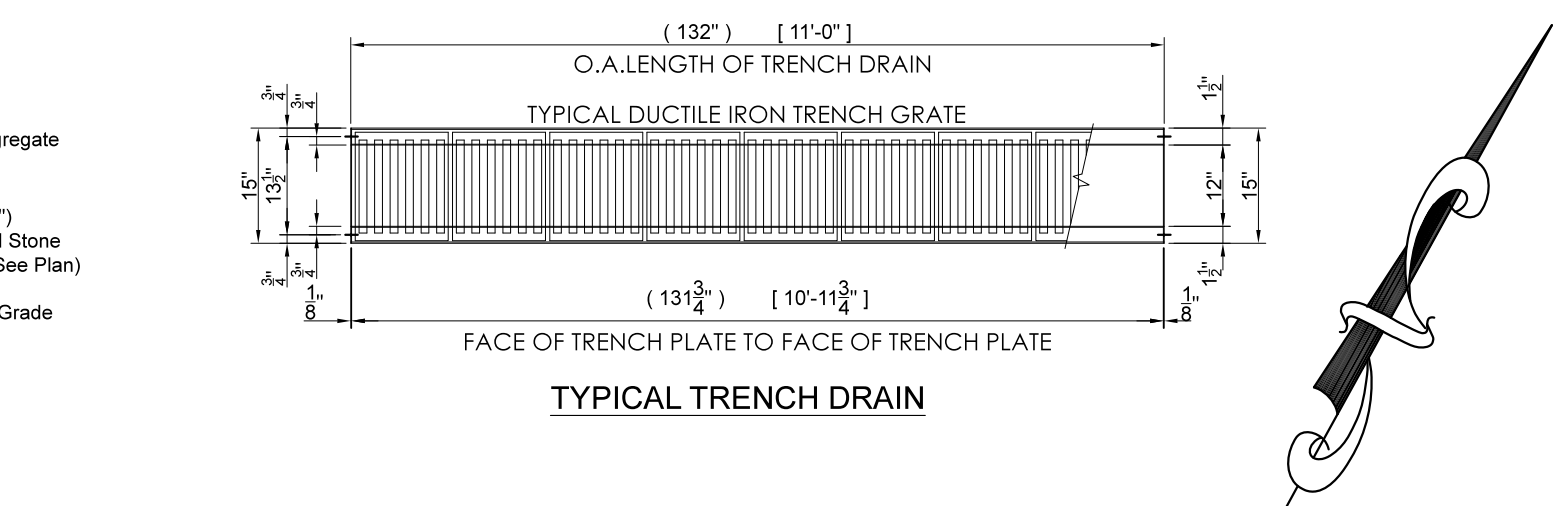
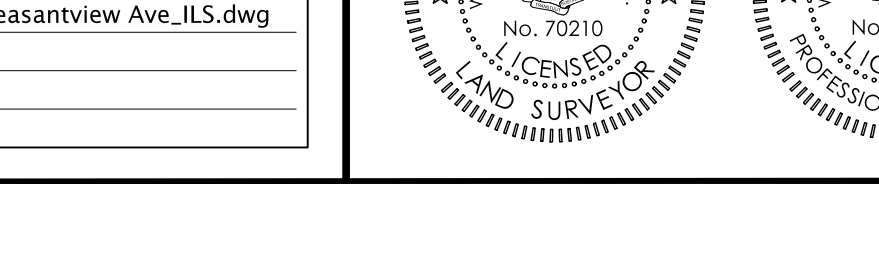
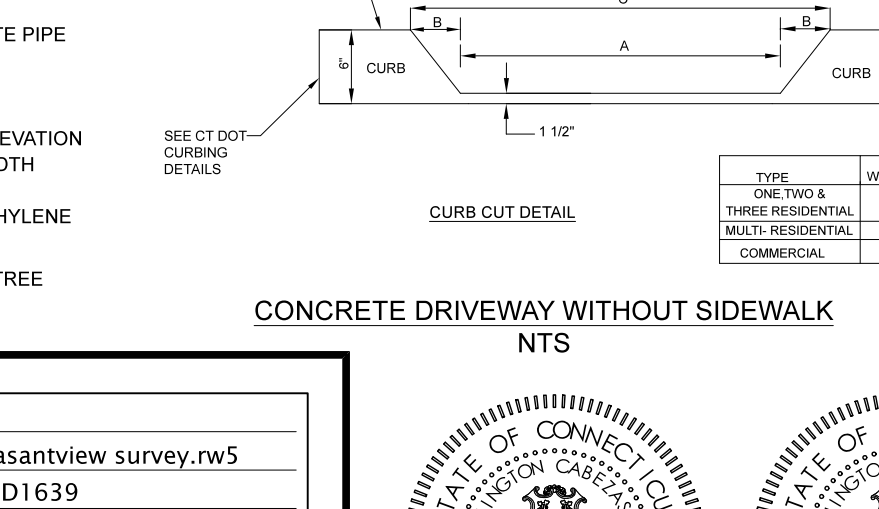
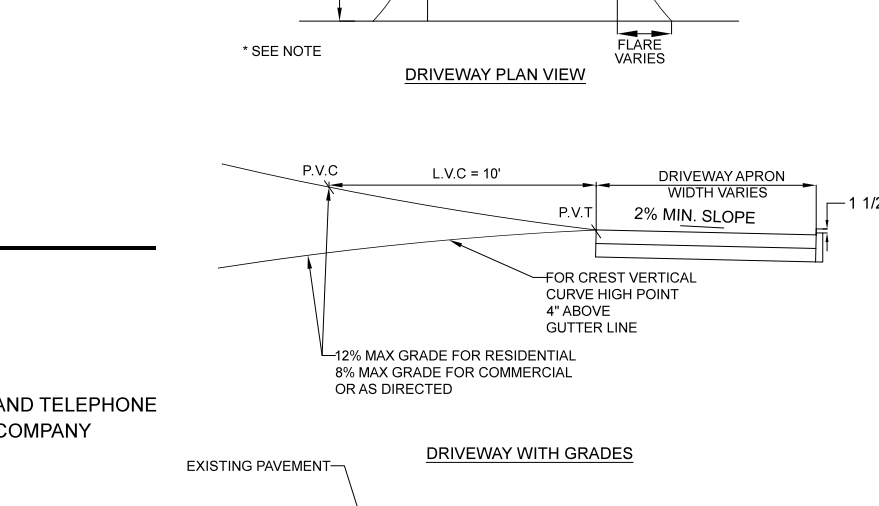
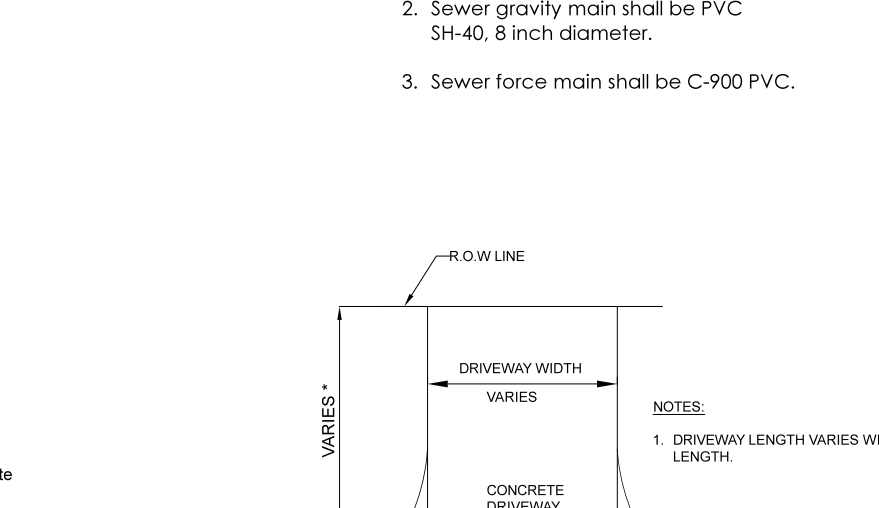
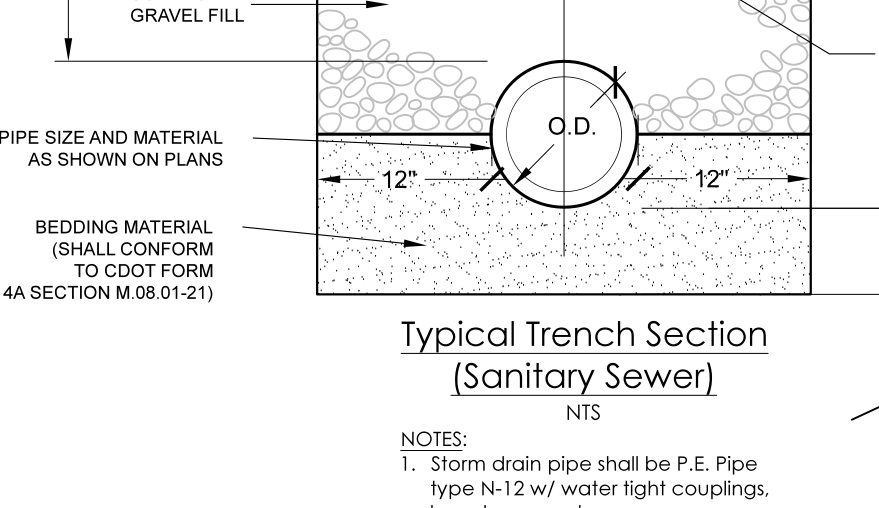
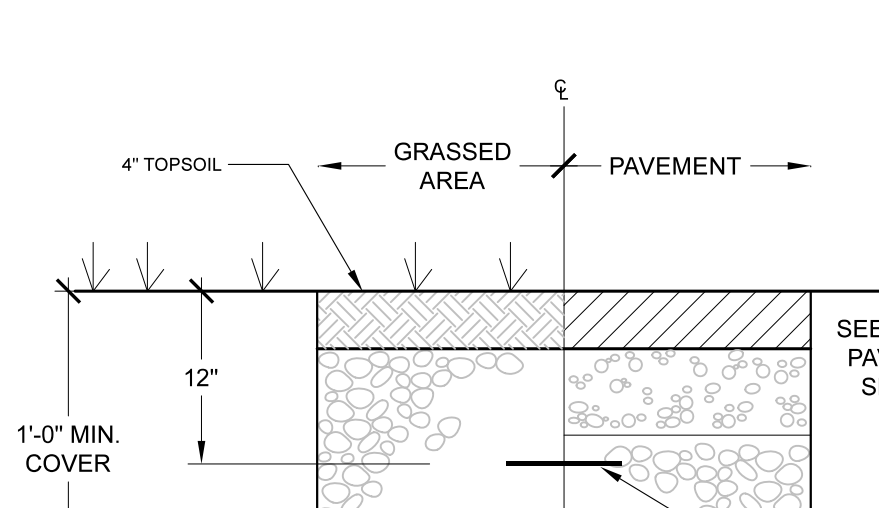
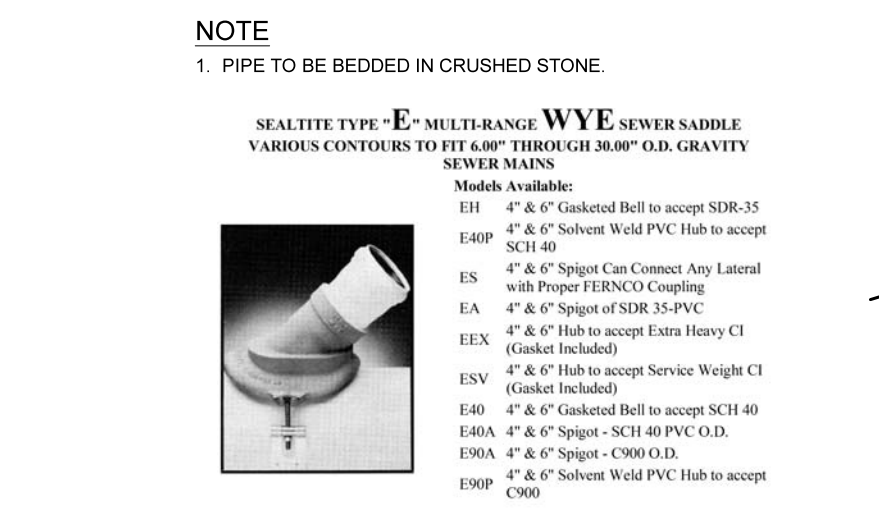
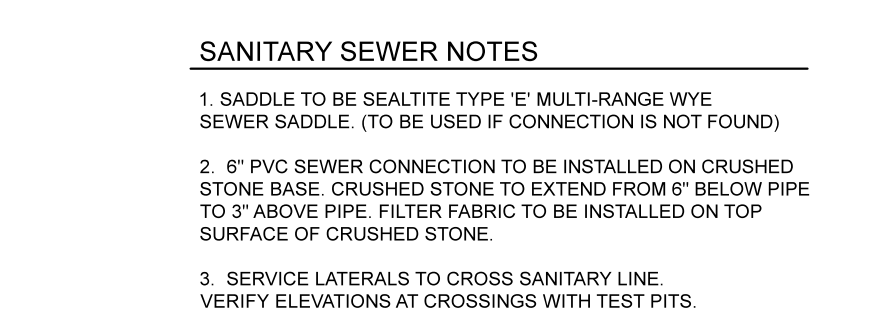
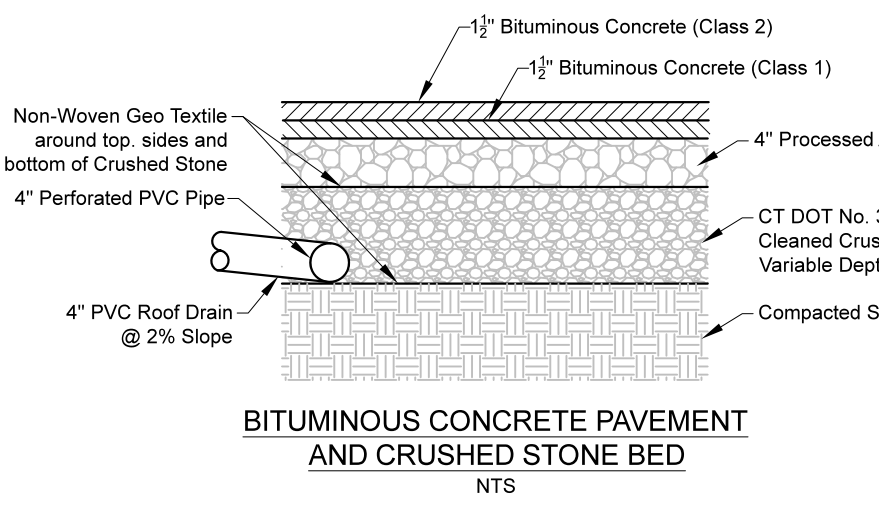
- MAP REFERENCES
A. FOR PAUL SVHRA AND SOPHIA SVHRA, BRIDGEPORT, CONN., SCALE: 1" = 50', OCTOBER 24, 1916 PREPARED BY SCOFIELD & FORD SURVEYORS ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 9 PAGE 5.
B. MAP NO. 2, JULIUS TESTINY, BRIDGEPORT, CONN., SCALE: 1" = 40', MAY 12, 1908 PREPARED BY SCOFIELD & FORD SURVEYORS ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 6 PAGE 21.
C. SUBDIVISION OF PROPERTY FOR CHARLOTTE AND JOHN F. JULIAN, BRIDGEPORT, CONN., SCALE: 1" = 20', SEPTEMBER 21, 1948 PREPARED BY THOMAS J. HARDMAN REGISTERED SURVEYOR ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 35 PAGE 21.
D. MAP OF REVISED PROPERTY LINE OF C. DANINI & F. BLENCHIA PROPERTIES IN BRIDGEPORT, CONN., SCALE: 1" = 10', OCTOBER 3, 1966 PREPARED BY ANDREW J. FLANAGAN REGISTERED SURVEYOR ON FILE IN THE CITY OF BRIDGEPORT TOWN CLERK'S OFFICE AS MAP VOLUME 33 PAGE 12.

- CITY OF BRIDGEPORT ENGINEERING PIN SHEET DEPICTING BLOCK 2421.
- PARCEL INFORMATION:
330 PLEASANTVIEW AVENUE
A. ASSESSOR'S REFERENCE: MAP 74, BLOCK 2421, LOT 7
B. PARCEL AREA: 5,000± SQ. FT., OR 0.115± AC.
C. RECORD OWNER: ATLANTIC COLEMAN, LLC, VOL. 10813 PG. 145
340 PLEASANTVIEW AVENUE
A. ASSESSOR'S REFERENCE: MAP 74, BLOCK 2421, LOT 6
B. PARCEL AREA: 5,000± SQ. FT., OR 0.115± AC.
C. RECORD OWNER: ATLANTIC COLEMAN, LLC, VOL. 10813 PG. 148
350 PLEASANTVIEW AVENUE
A. ASSESSOR'S REFERENCE: MAP 74, BLOCK 2421, LOT 5
B. PARCEL AREA: 4,914± SQ. FT., OR 0.113± AC.
C. RECORD OWNER: ATLANTIC COLEMAN, LLC, VOL. 10813 PG. 151

- PARCEL IS LOCATED WITHIN THE N2 ZONING DISTRICT.
- SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS); PANEL 429 OF 626; COMMUNITY BRIDGEPORT, CITY OF, NUMBER 090002 PANEL 0429 SUFFIX G, MAP NUMBER 09001C0429G, MAP REVISED JULY 8, 2013. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED).

- BOUNDARY LINES DEPICTED HEREON ARE A RESULT OF EXTENSIVE RECORD RESEARCH, FIELD EVIDENCE AND FIELD MEASUREMENTS. DUE TO LACK OF RECORD MONUMENTATION AND VAGUE DEED DESCRIPTIONS THE BOUNDARY LINES DEPICTED HEREON REPRESENT THE PROFESSIONAL OPINION OF THE SURVEYOR. BOUNDARY LINES MAY BE SUBJECT TO ANY REVISION REQUIRED BY LEGAL ACTION OR BY THE DISCOVERY OF ADDITIONAL RECORD INFORMATION AND/OR FIELD EVIDENCE.

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CAREBAS DIAGRAMS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CAREBAS DIAGRAMS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CAREBAS DIAGRAMS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

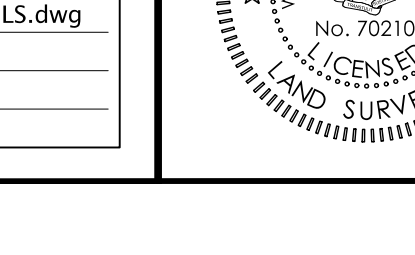
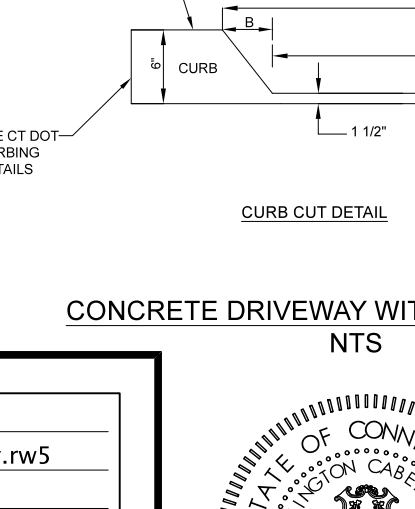
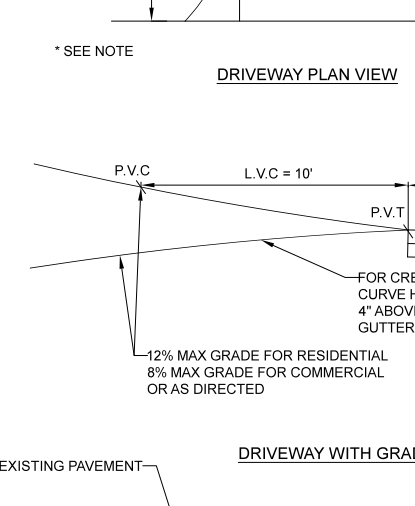
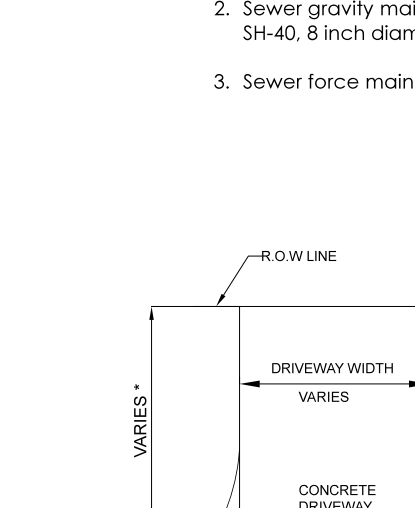
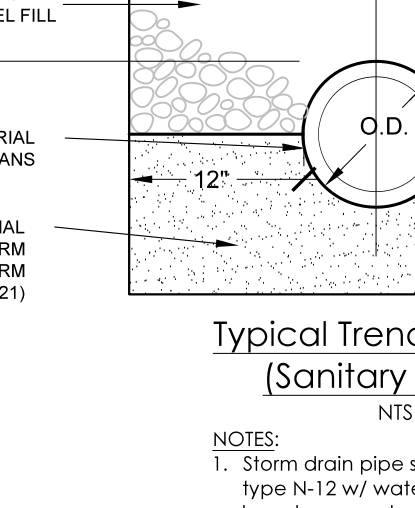
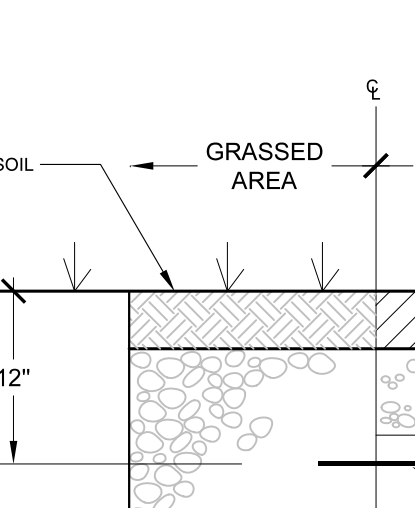
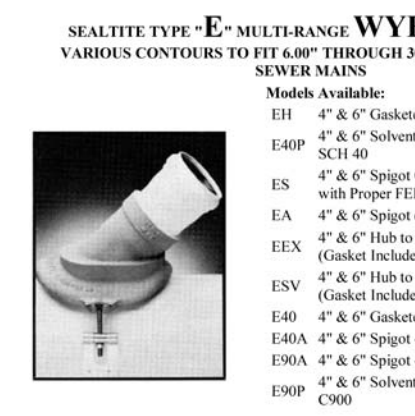


SANITARY SEWER NOTES

- SADDLE TO BE SEALTITE TYPE 'E' MULTI-RANGE WYE SEWER SADDLE. (TO BE USED IF CONNECTION IS NOT FOUND)
- 4\"/>

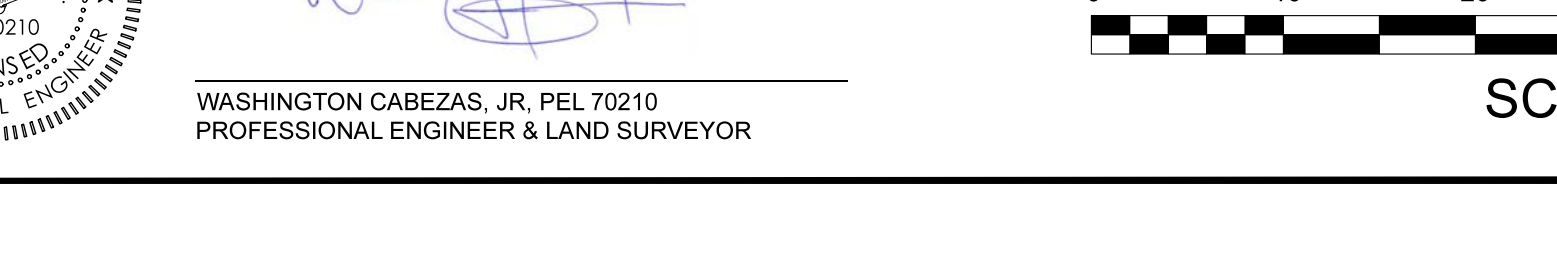
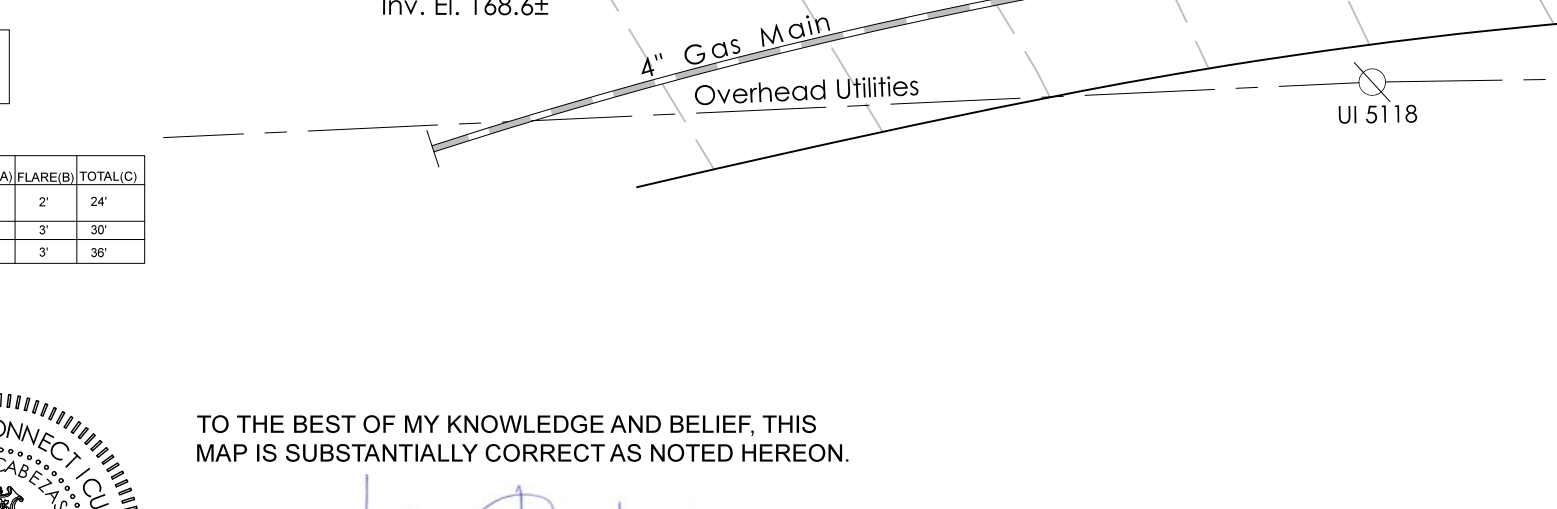
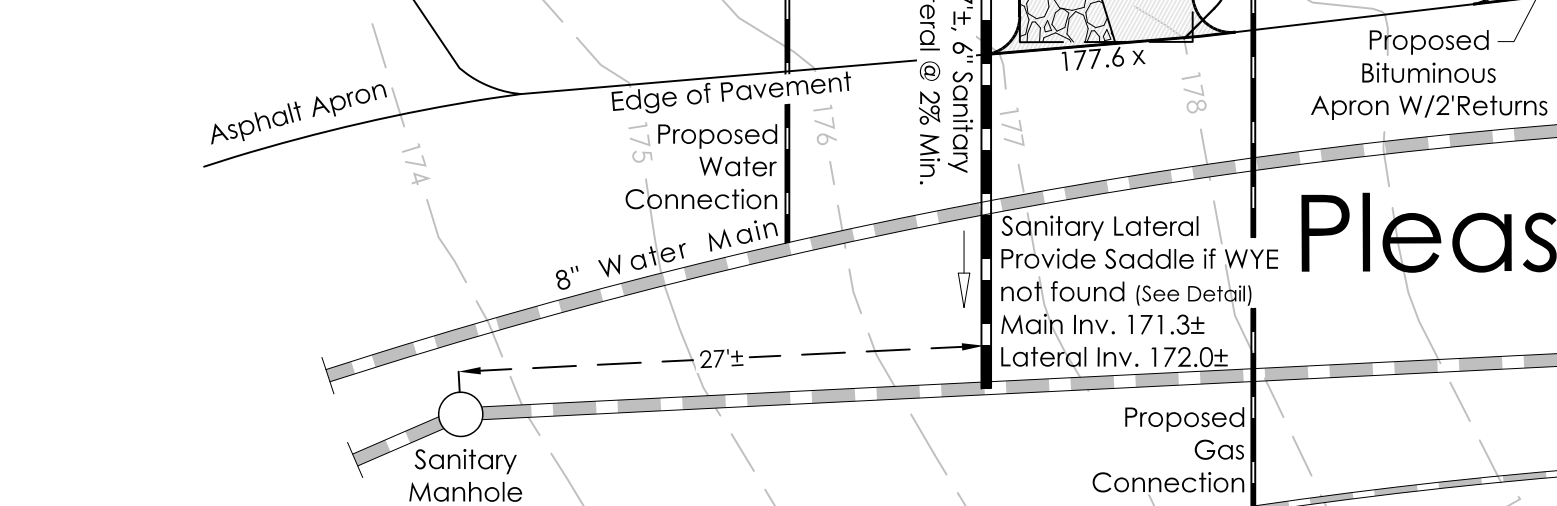
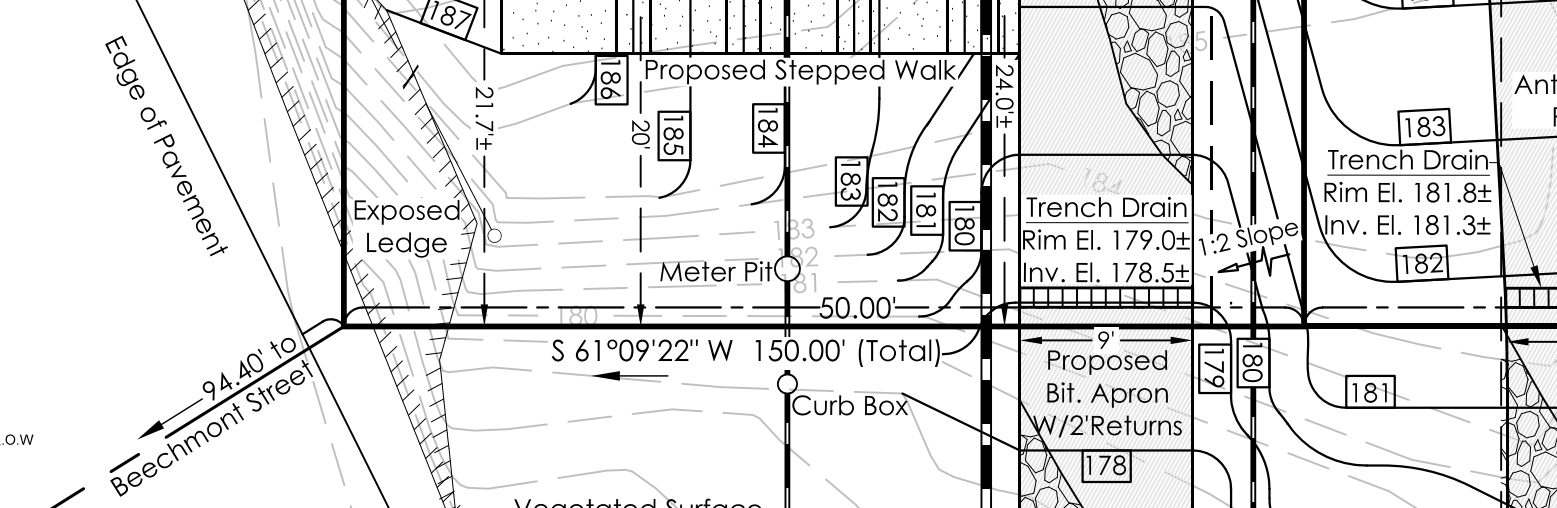
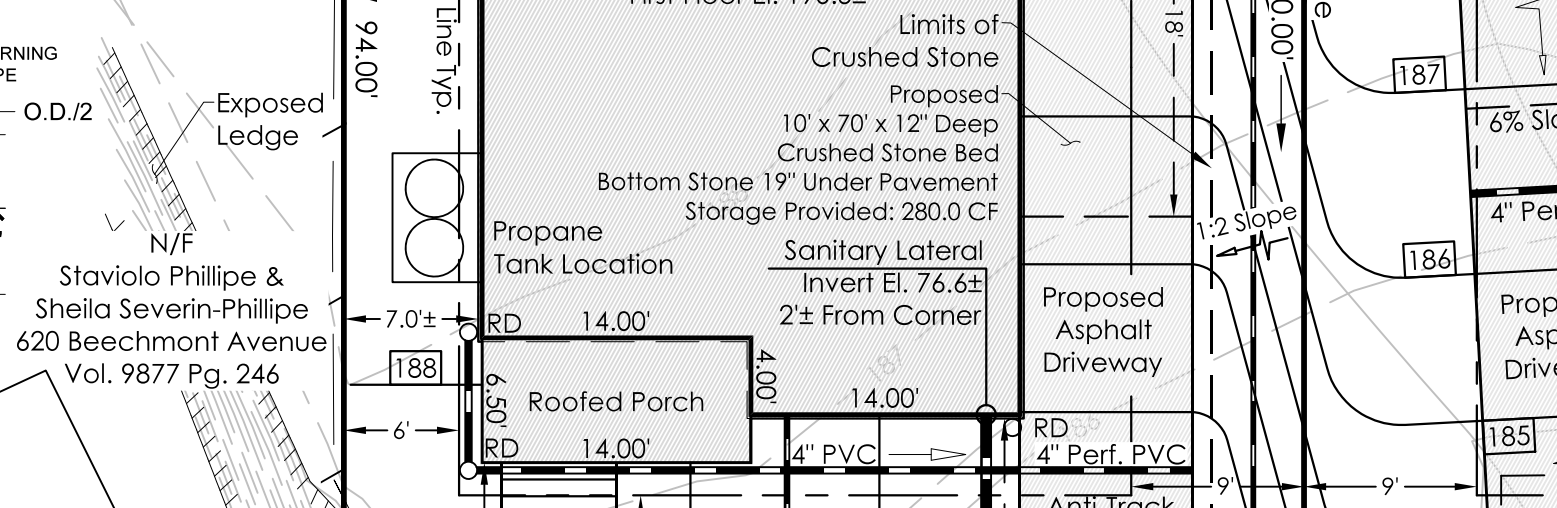
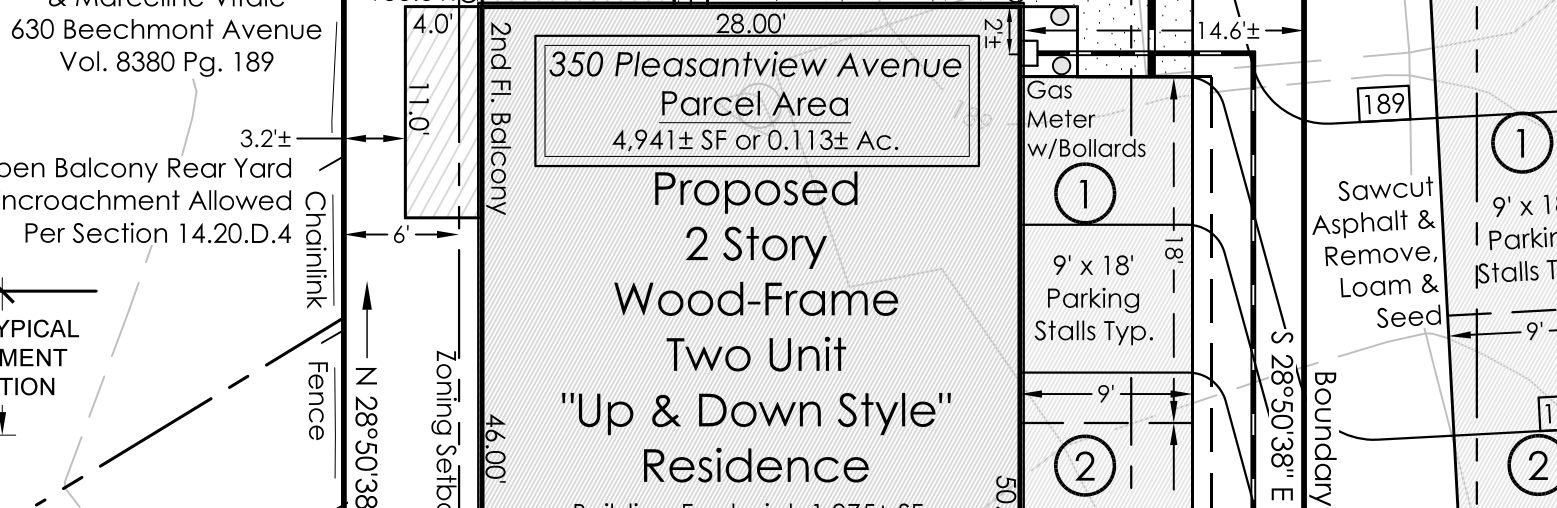
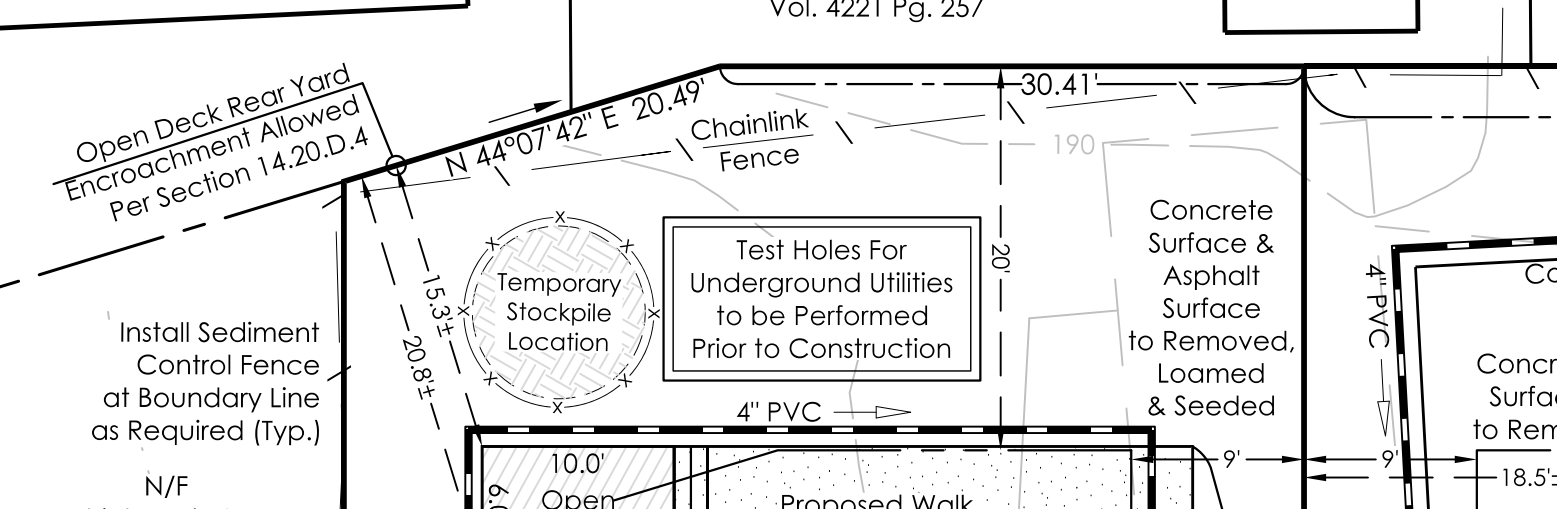
NOTE

- PIPE TO BE BEDDED IN CRUSHED STONE.



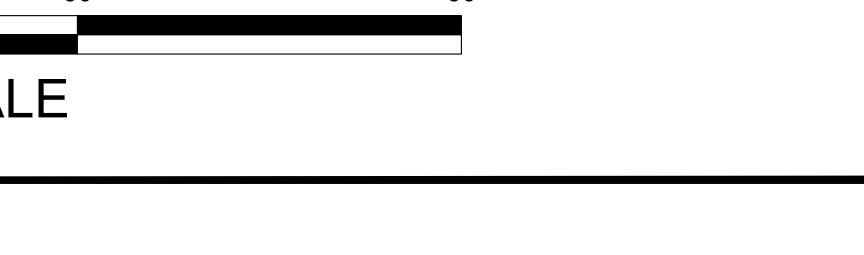
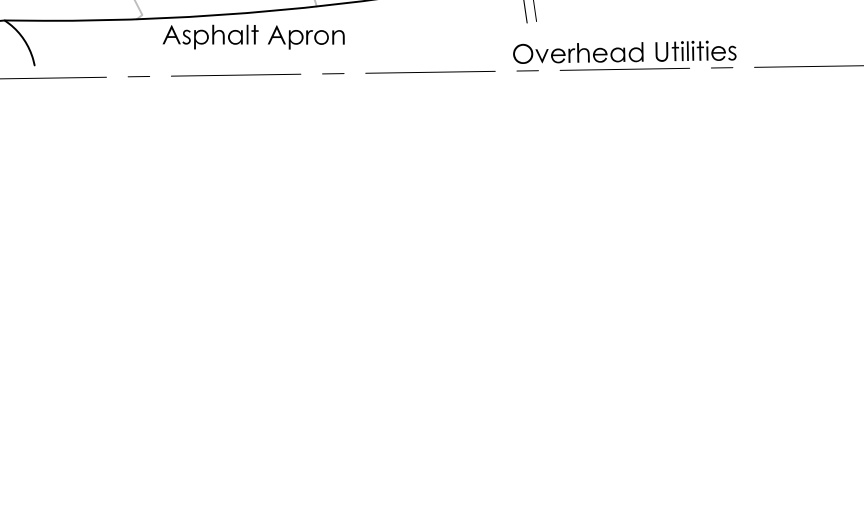
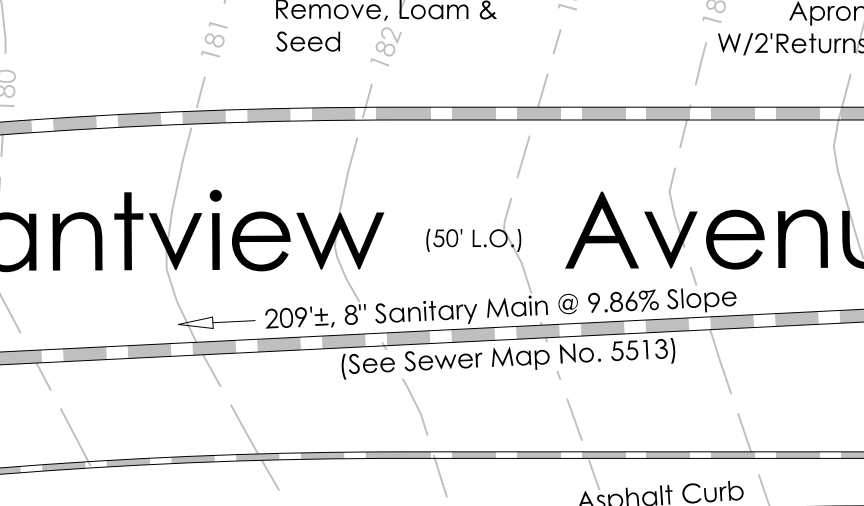
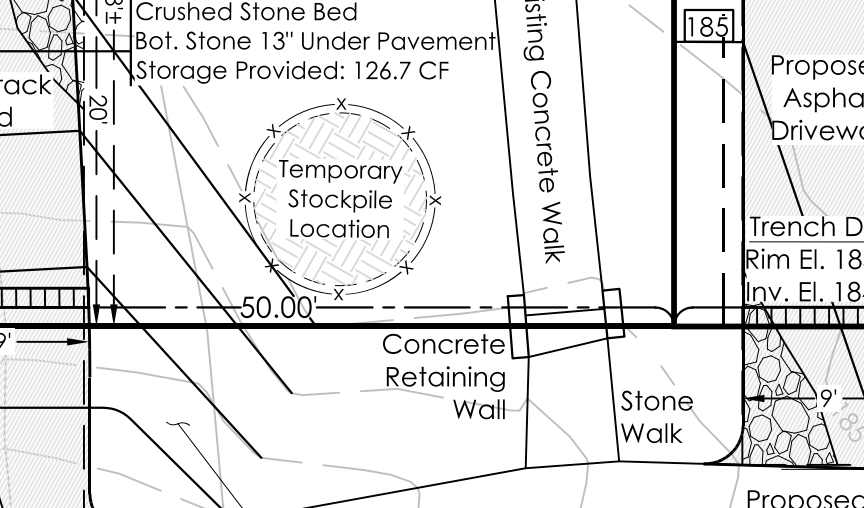
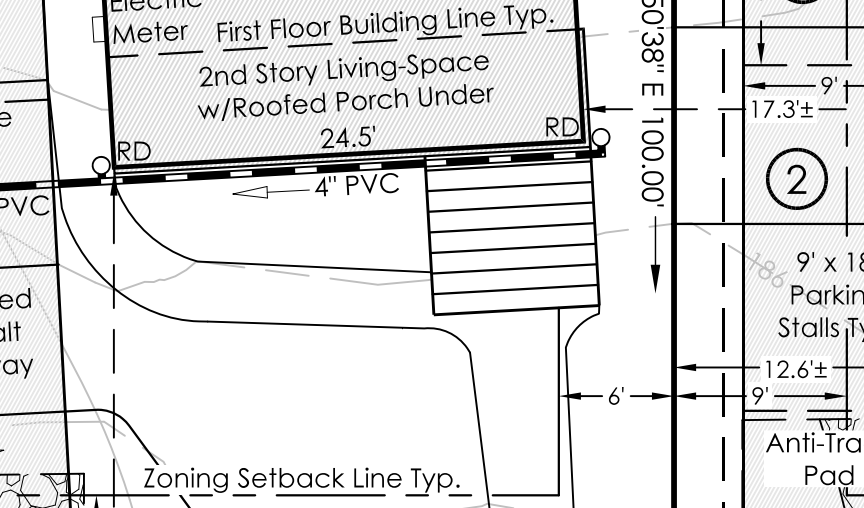
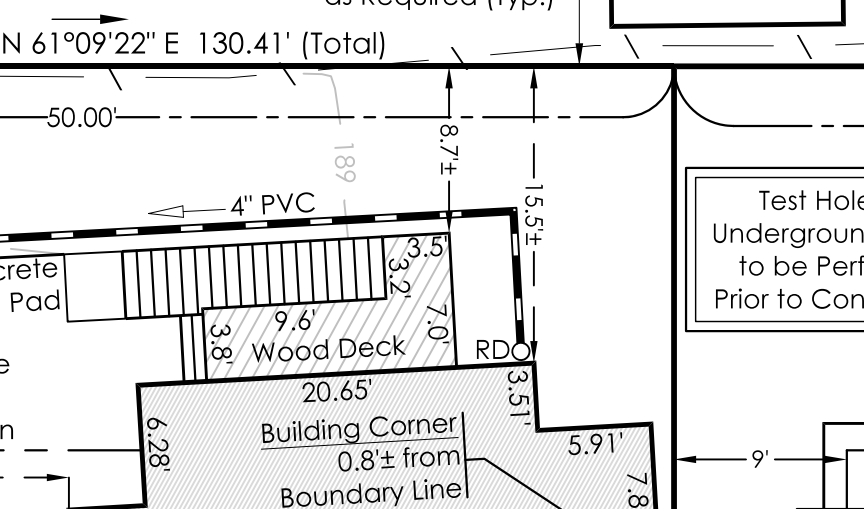
TEMPORARY SOIL STOCKPILE NOTES

- AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE
- THE GROUND SURFACE SHALL SLOPE AWAY FROM THE STOCKPILE
- IF NECESSARY, PLACE TOP OR INTERIOR MATERIAL BENEATH STOCKPILE TO PREVENT MORING OF SOIL
- COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED
- MAX. SLOPE OF STOCKPILE SHALL BE 3:1 (H) UNLESS OTHERWISE APPROVED



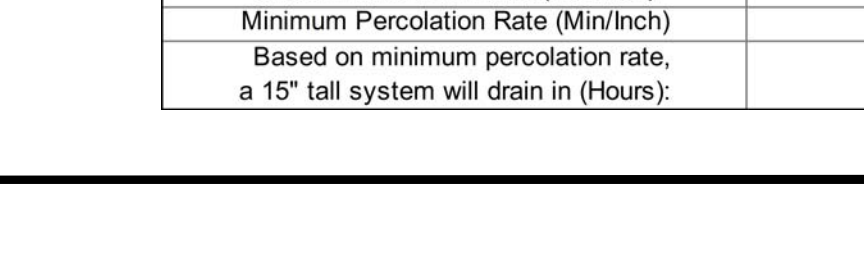
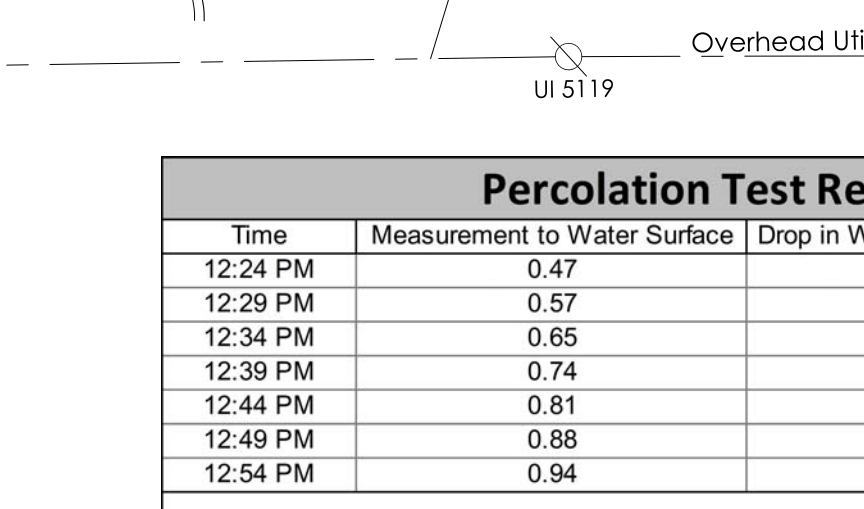
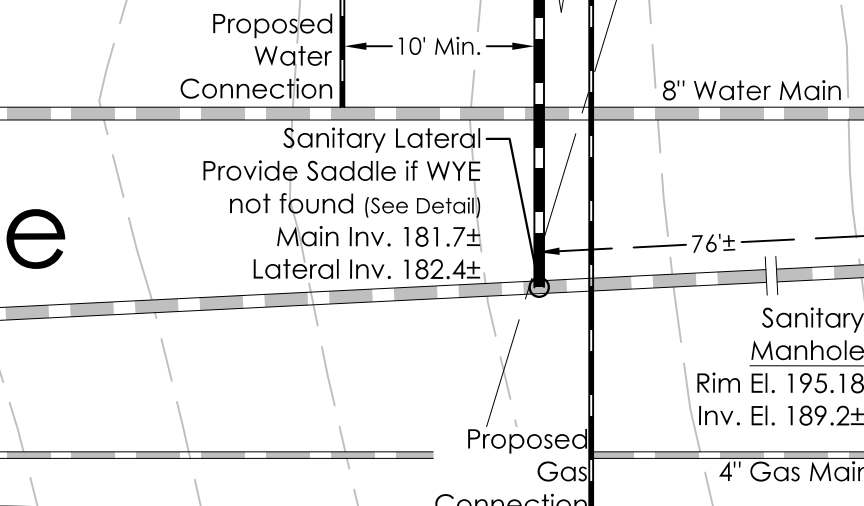
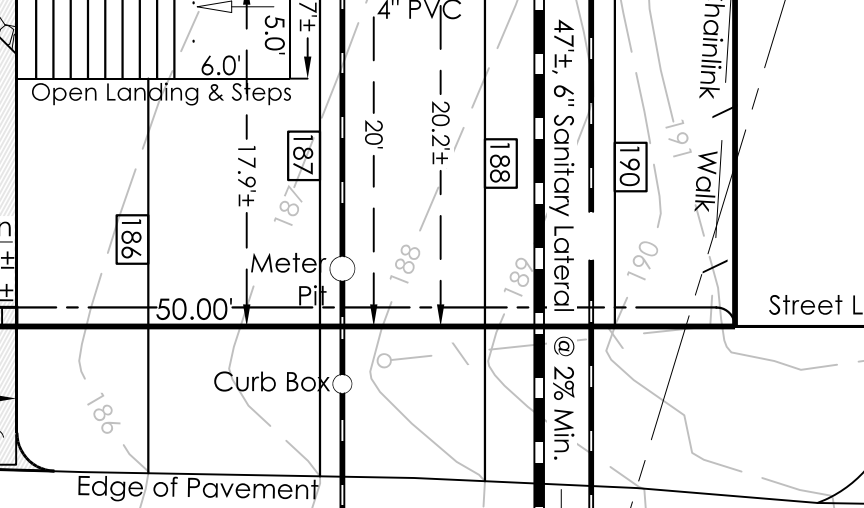
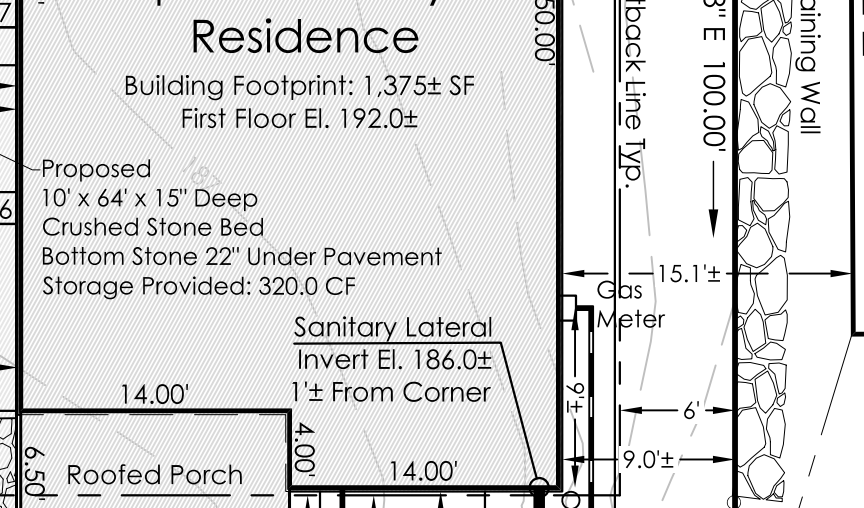
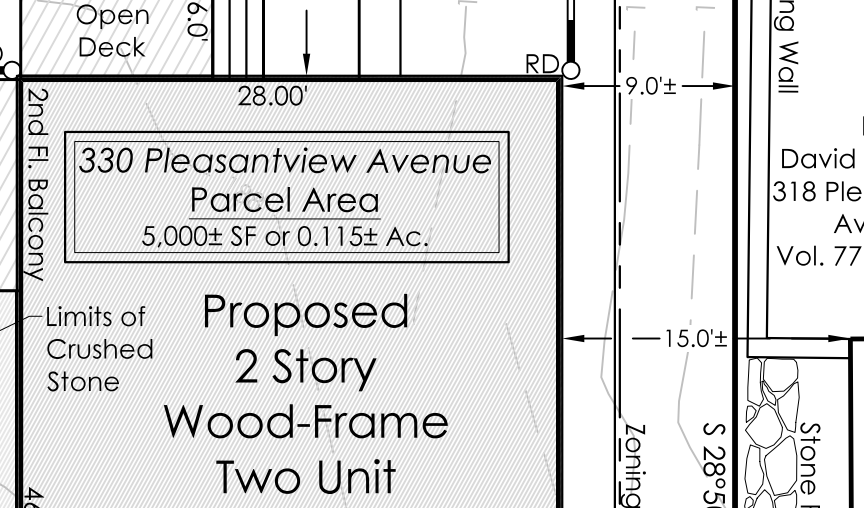
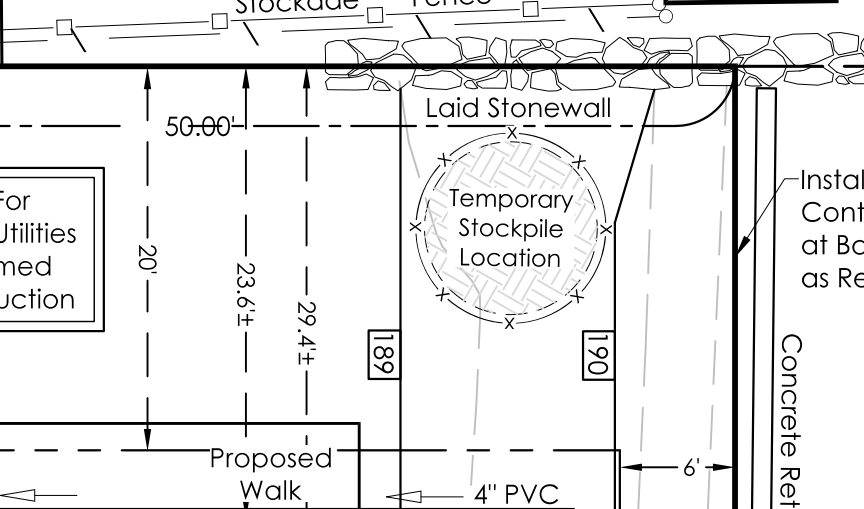
ANTI-TRACKING PAD NOTES

- AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE
- THE GROUND SURFACE SHALL SLOPE AWAY FROM THE STOCKPILE
- IF NECESSARY, PLACE TOP OR INTERIOR MATERIAL BENEATH STOCKPILE TO PREVENT MORING OF SOIL
- COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED
- MAX. SLOPE OF STOCKPILE SHALL BE 3:1 (H) UNLESS OTHERWISE APPROVED



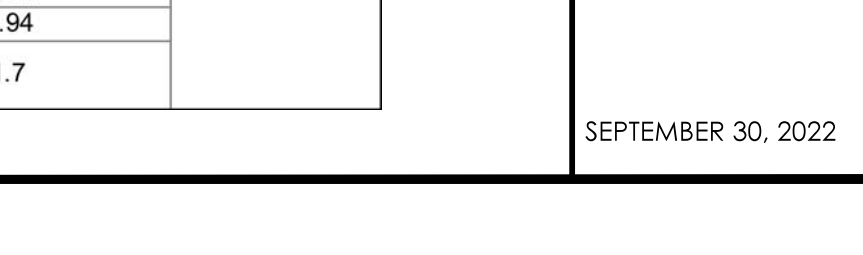
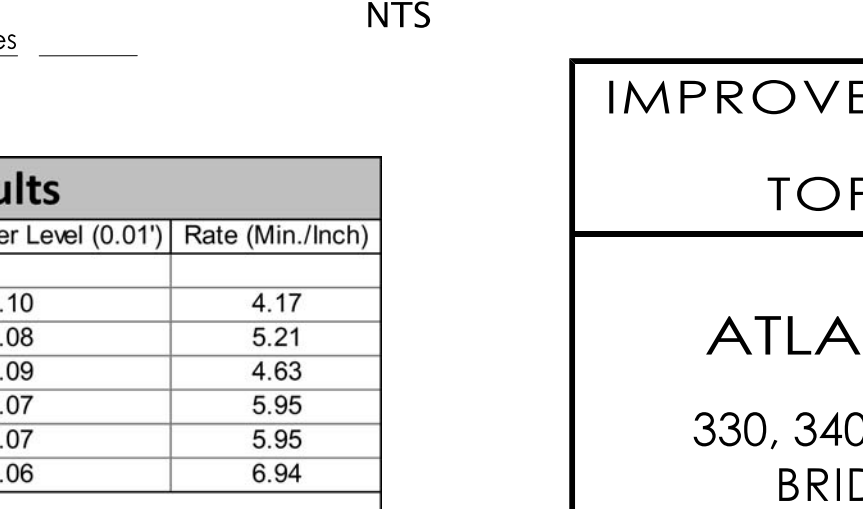
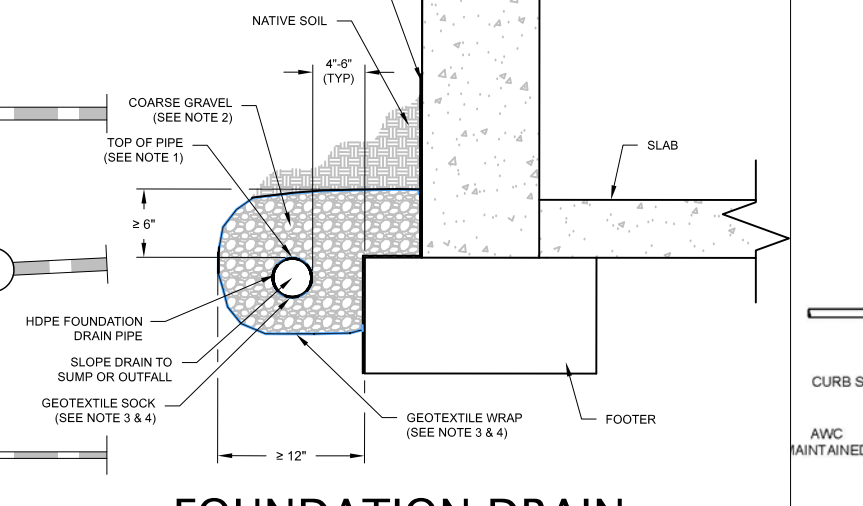
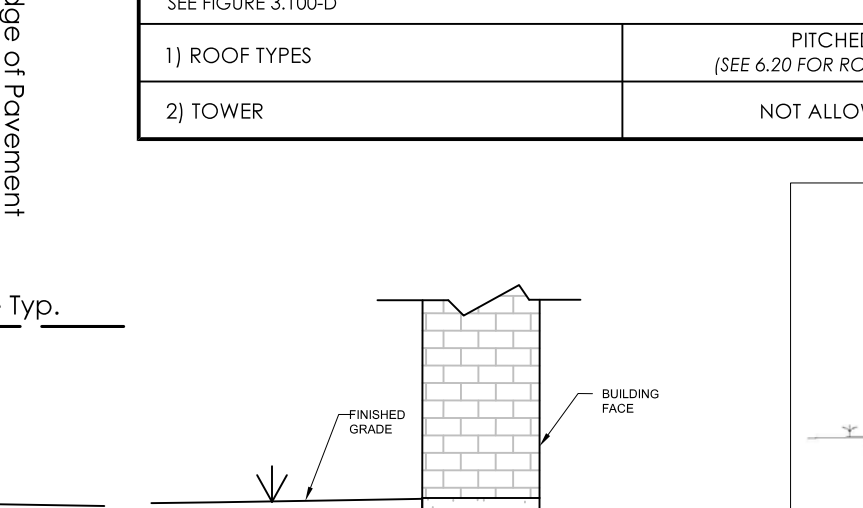
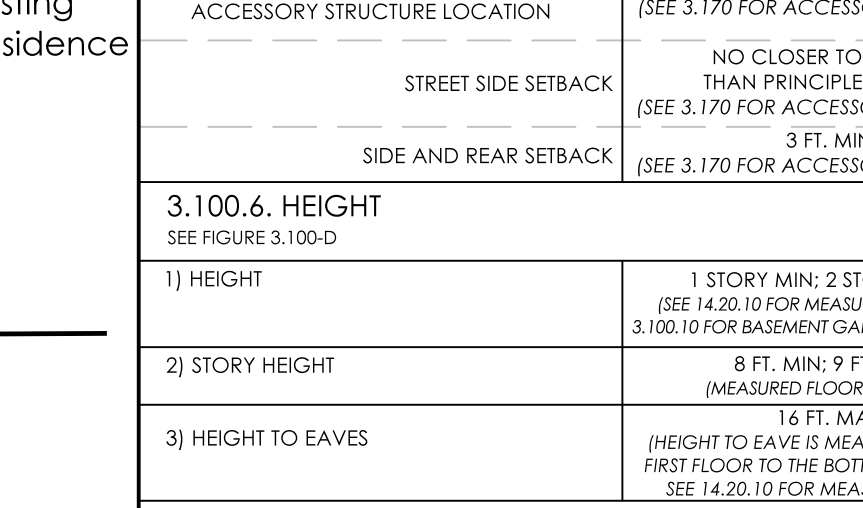
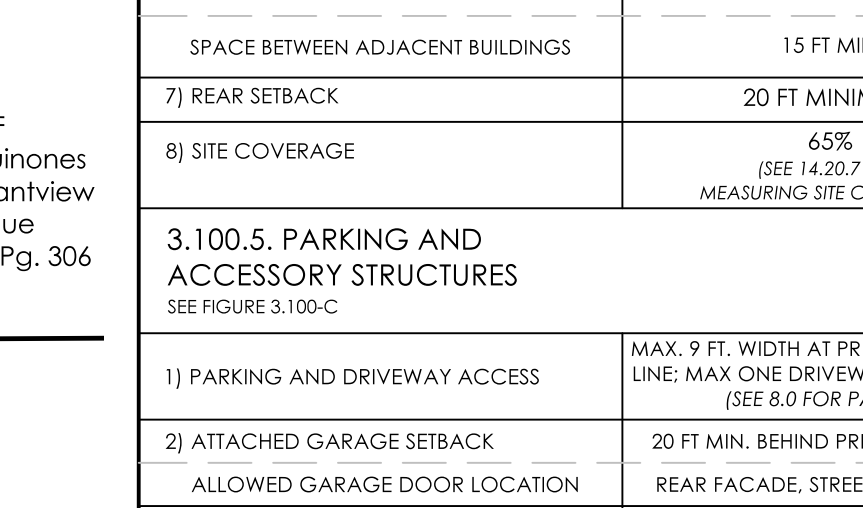
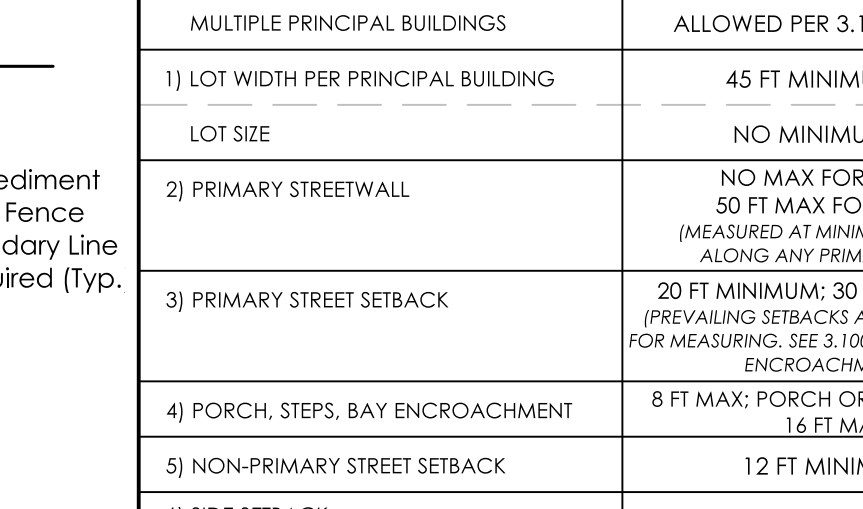
FILTER FENCE DETAIL

- INSPECT FENCE AFTER EACH RAINFALL AND DAILY DURING PROLONGED RAINFALL. REPAIR WHERE REQUIRED.
- REMOVE SEDIMENT DEPOSITS WHEN THEY REACH 1/8 OF THE BARRIER



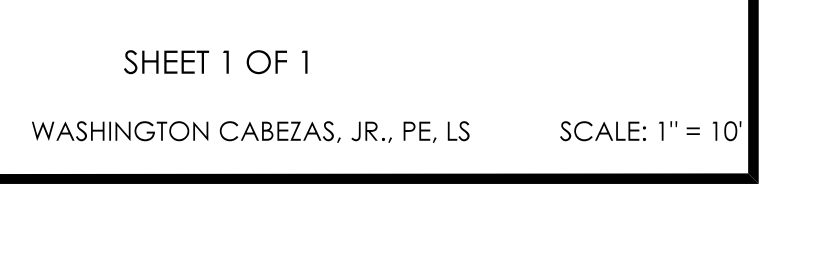
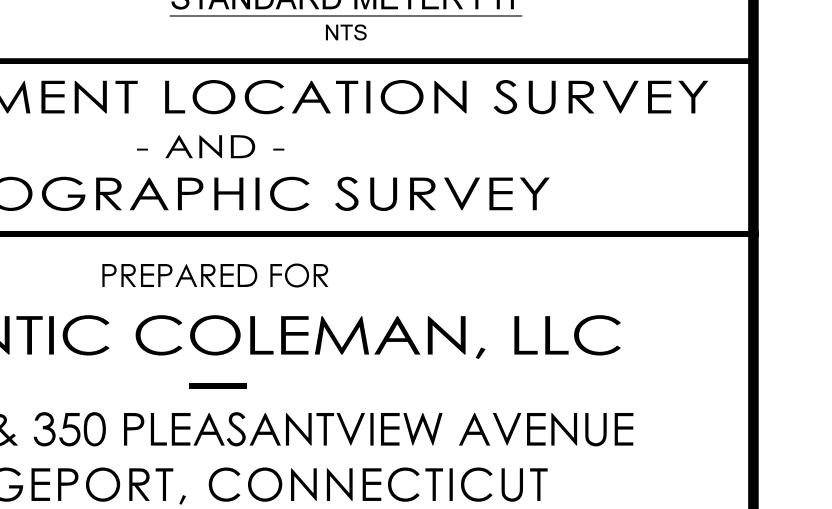
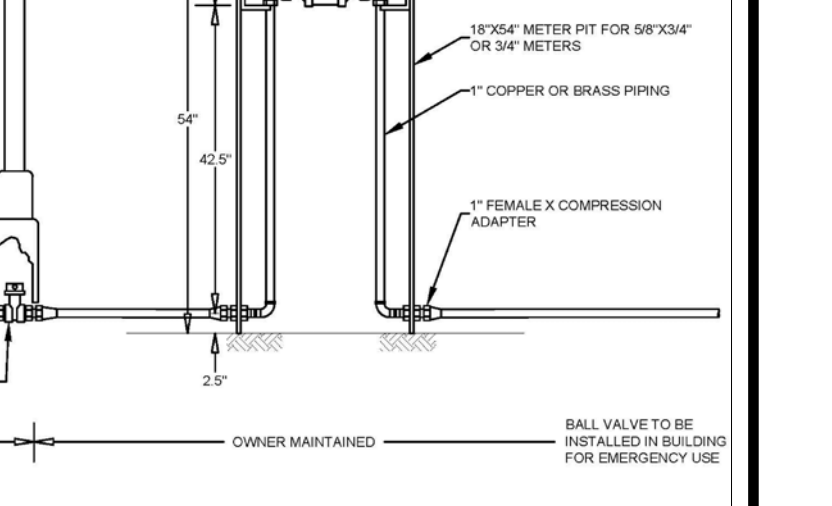
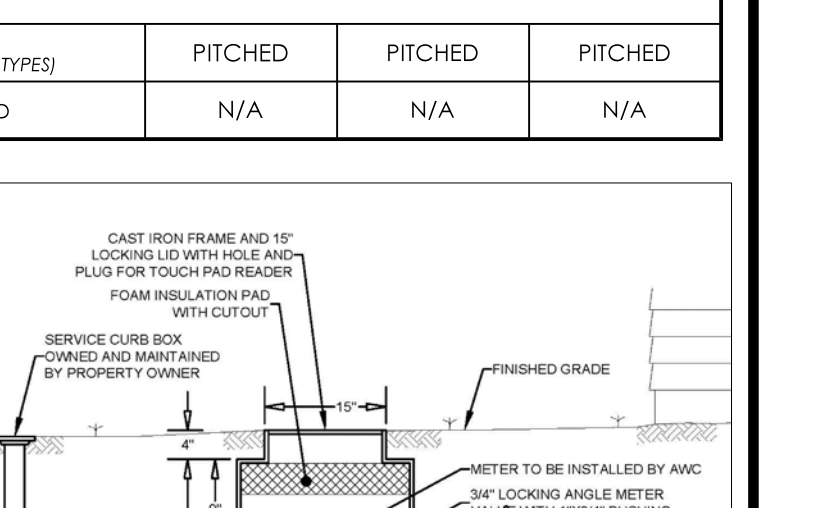
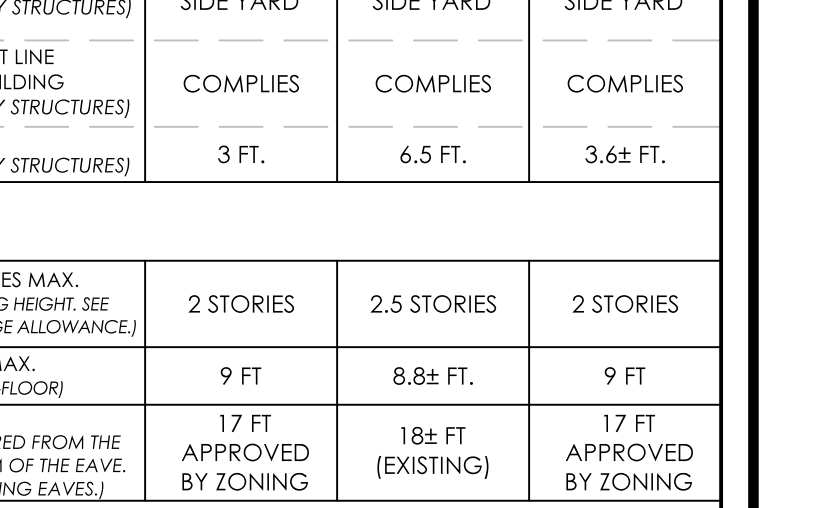
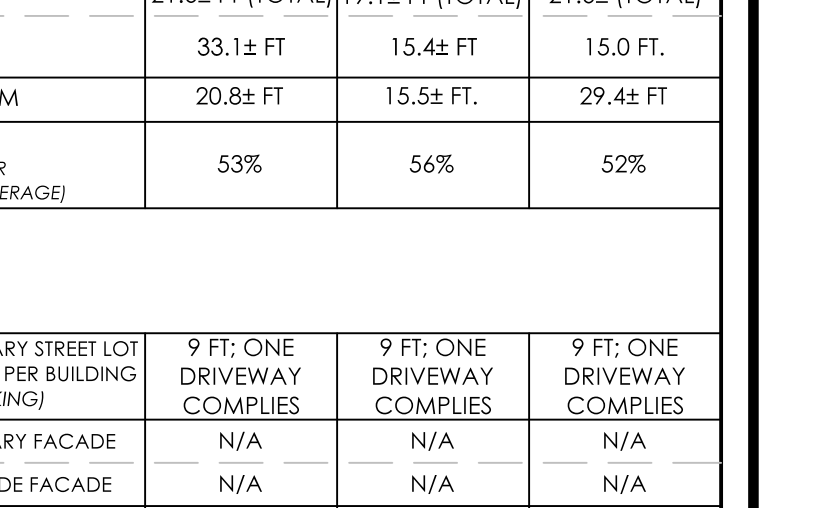
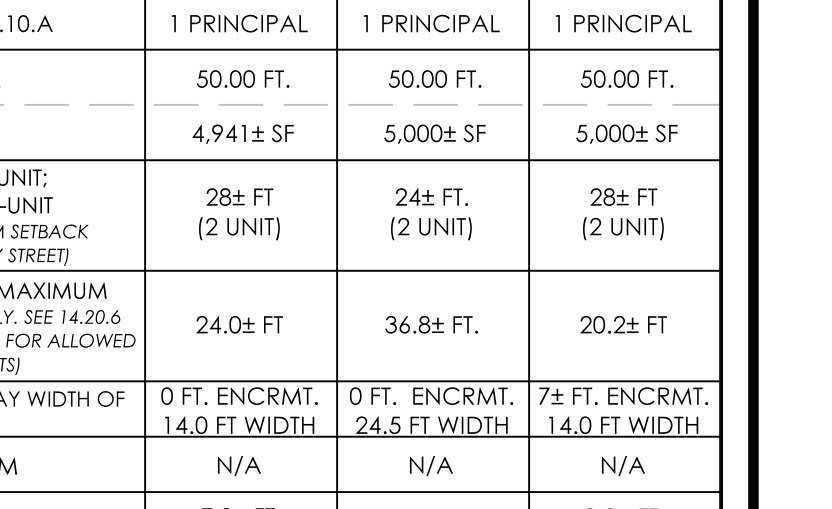
FOUNDATION DRAIN

- CAST IRON FRAME AND 1\"/>



STANDARD METER PIT

- CAST IRON FRAME AND 1\"/>



N2 Zone Development Standards
House 'B' Building Type

3,100.4. BUILDING LOCATION	REQUIRED	350 PLEASANTVIEW AVENUE	340 PLEASANTVIEW AVENUE	330 PLEASANTVIEW AVENUE
MULTIPLE PRINCIPAL BUILDINGS	ALLOWED PER 3,100.10.A	1 PRINCIPAL	1 PRINCIPAL	1 PRINCIPAL
1) LOT WIDTH PER PRINCIPAL BUILDING	45 FT MINIMUM	50.00 FT.	50.00 FT.	50.00 FT.
LOT SIZE	NO MINIMUM	4,941± SF	5,000± SF	5,000± SF
2) PRIMARY STREETWALL	NO MAX FOR 1-UNIT; 50 FT MAX FOR 2-UNIT (MEASURED AT MINIMUM SETBACK ALONG ANY PRIMARY STREET)	28± FT (2 UNIT)	24± FT (2 UNIT)	28± FT (2 UNIT)
3) PRIMARY STREET SETBACK	20 FT MINIMUM; 30 FT MAXIMUM (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3,100.10 FOR ALLOWED ENCROACHMENTS)	24.0± FT	36.8± FT.	20.2± FT
4) PORCH, STEPS, BAY ENCROACHMENT	8 FT MAX. PORCH OR BAY WIDTH OF 16 FT MAX	0 FT. ENCRMT. 14.0 FT WIDTH	0 FT. ENCRMT. 24.5 FT WIDTH	7± FT. ENCRMT. 14.0 FT WIDTH
5) NON-PRIMARY STREET SETBACK	12 FT MINIMUM	N/A	N/A	N/A
6) SIDE SETBACK	6 FT MIN; MIN 15 FT TOTAL BOTH SIDES	7.0± FT.	0.6± FT.	9.0± FT.
SPACE BETWEEN ADJACENT BUILDINGS	15 FT MIN.	33.1± FT	15.4± FT.	15.0 FT.
7) REAR SETBACK	20 FT MINIMUM	20.8± FT	15.5± FT.	29.4± FT
8) SITE COVERAGE	45% (SEE 14.20.7 FOR MEASURING SITE COVERAGE)	53%	56%	52%

3,100.5. PARKING AND ACCESSORY STRUCTURES

	MAX. 9 FT. WIDTH AT PRIMARY STREET LOT LINE; MAX ONE DRIVEWAY PER BUILDING (SEE 8.0 FOR PARKING)	9 FT; ONE DRIVEWAY COMPLIES	9 FT; ONE DRIVEWAY COMPLIES	9 FT; ONE DRIVEWAY COMPLIES
1) PARKING AND DRIVEWAY ACCESS				
2) ATTACHED GARAGE SETBACK	20 FT MIN. BEHIND PRIMARY FACADE	N/A	N/A	N/A
ALLOWED GARAGE DOOR LOCATION	REAR FACADE, STREET SIDE FACADE	N/A	N/A	N/A
3) SURFACE PARKING AND ACCESSORY STRUCTURE LOCATION	REAR YARD ONLY (SEE 3,170 FOR ACCESSORY STRUCTURES)	SIDE YARD	SIDE YARD	SIDE YARD
STREET SIDE SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3,170 FOR ACCESSORY STRUCTURES)	COMPLIES	COMPLIES	COMPLIES
SIDE AND REAR SETBACK	3 FT. MIN. (SEE 3,170 FOR ACCESSORY STRUCTURES)	3 FT.	6.5 FT.	3.6± FT.

3,100.6. HEIGHT

	1 STORY MIN; 2 STORIES MAX. (SEE 14.20.10 FOR MEASURING HEIGHT; SEE 3,100.10 FOR BASEMENT GARAGE ALLOWANCE)	2 STORIES	2.5 STORIES	2 STORIES
1) HEIGHT				
2) STORY HEIGHT	8 FT. MIN; 9 FT. MAX. (MEASURED FLOOR-TO-FLOOR)	9 FT	8.8± FT.	9 FT
3) HEIGHT TO EAVES	(HEIGHT TO EAVE IS MEASURED FROM THE FIRST FLOOR TO THE BOTTOM OF THE EAVE. SEE 14.20.10 FOR MEASURING EAVES)	17 FT APPROVED BY ZONING	18± FT (EXISTING)	17 FT APPROVED BY ZONING

3,100.7. ROOFS

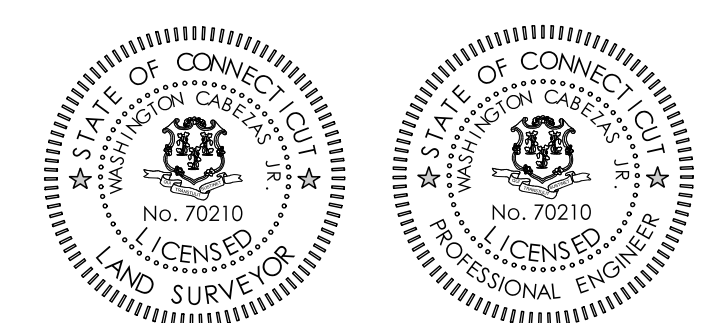
	PITCHED (SEE 6.20 FOR ROOF TYPES)	PITCHED	PITCHED	PITCHED
1) ROOF TYPES				
2) TOWER	NOT ALLOWED	N/A	N/A	N/A

LEGEND

- | | | | |
|-------|-----------------------|-------|--------------------------------|
| NF | NOW OR FORMERLY | CB | CATCH BASIN |
| MON | MONUMENT | WM | WATER METER |
| I.P. | IRON PIPE | WV | WATER VALVE |
| FND | FOUND | GV | GAS VALVE |
| S.F. | SQUARE FEET | RET. | RETAINING |
| CONC. | CONCRETE | SNET | SOUTHERN NEW ENGLAND TELEPHONE |
| BIT. | BITUMINOUS | UNIC | UNITED ILLUMINATING COMPANY |
| OHU | OVERHEAD UTILITIES | TMH | TELEPHONE MANHOLE |
| UG | UNDER GROUND | INT. | INTERSECTION |
| MH | MANHOLE | INV. | INVERT |
| ELEC. | ELECTRIC | CL. | CAST IRON |
| U.P. | UTILITY POLE | V.C. | VITRIFIED CLAY |
| DYL | DOUBLE YELLOW LINE | RCP | REINFORCED CONCRETE PIPE |
| SWL | SINGLE WHITE LINE | RD | ROOF DRAIN |
| BWL | BROKEN WHITE LINE | NW | MONITOR WELL |
| EOP | EDGE OF PAVEMENT | NW | EXISTING SPOT GRADE |
| RET. | RETAINING | +8.65 | EXISTING CONTOUR ELEVATION |
| CL.F. | CHAIN LINK FENCE | L.O. | LAYOUT OF STREET WIDTH |
| C.O. | CLEANOUT | 2 | PARKING SPACES |
| LP | LIGHT POST | HPD | HIGH DENSITY POLYETHYLENE |
| LP | EXISTING CONIFER TREE | PVC | POLYVINYL CHLORIDE |
| | | ⊗ | EXISTING DECIDUOUS TREE |

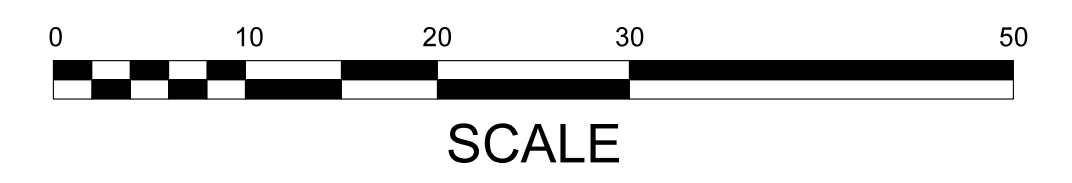
Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

SCALE: 1"=10'
FIELD FILE: pleasantview_survey.rw5
PROJECT NO. CD1639
DATE: September 30, 2022
CAD FILE: 330 Pleasantview Ave_ILS.dwg
SHEET 1 OF 1
REV:



TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

WASHINGTON CABEZAS, JR. PEL 70210
PROFESSIONAL ENGINEER & LAND SURVEYOR



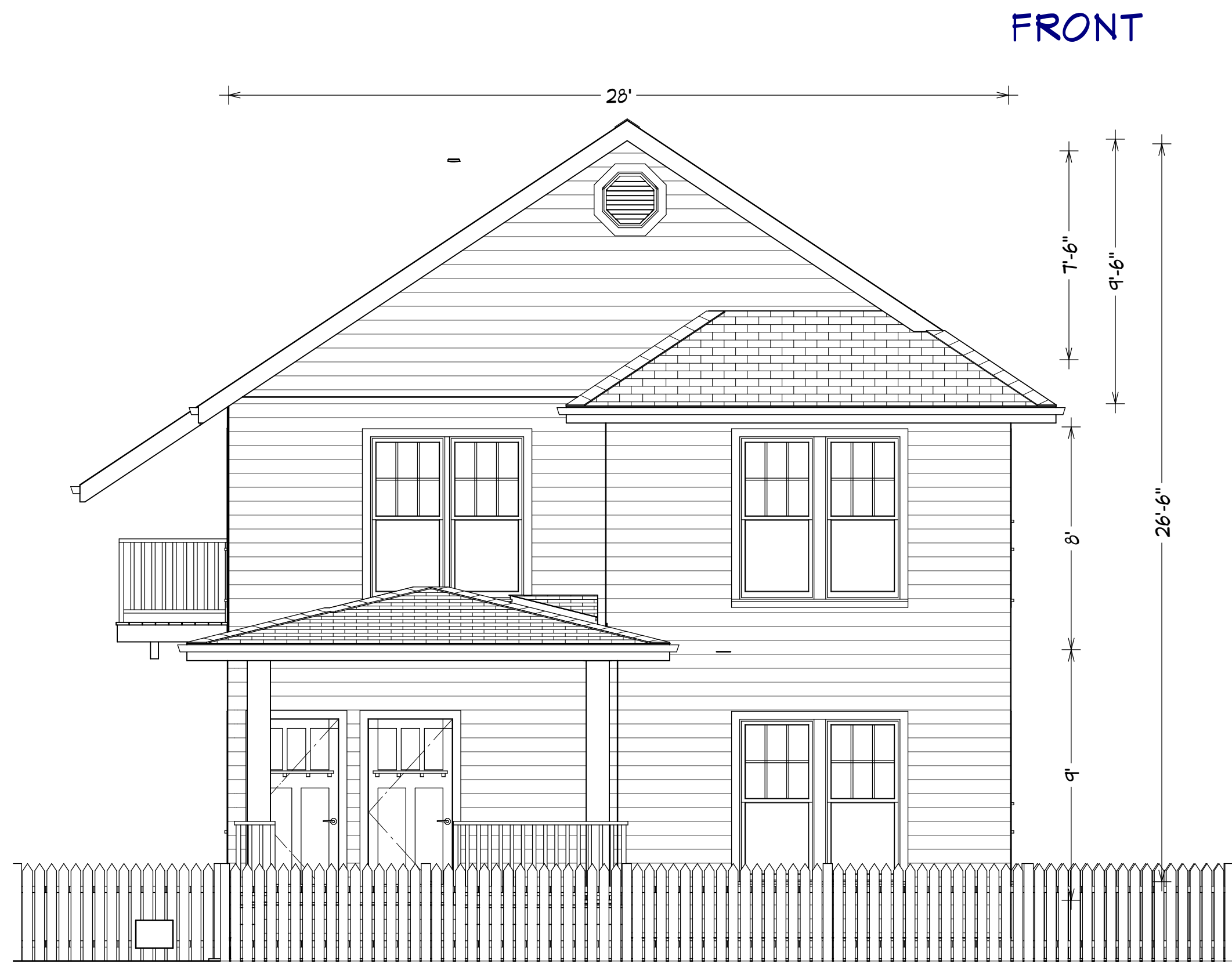
Percolation Test Results

Time	Measurement to Water Surface	Drop in Water Level (0.01")	Rate (Min./Inch)
12:24 PM	0.47		
12:29 PM	0.57	0.10	4.17
12:34 PM	0.65	0.08	5.21
12:39 PM	0.74	0.09	4.63
12:44 PM	0.81	0.07	5.95
12:49 PM	0.88	0.07	5.95
12:54 PM	0.94	0.06	6.94
Overall Percolation Rate (Min/Inch)		5.32	
Minimum Percolation Rate (Min/Inch)		6.94	
Based on minimum percolation rate, a 15" tall system will drain in (Hours):		1.7	

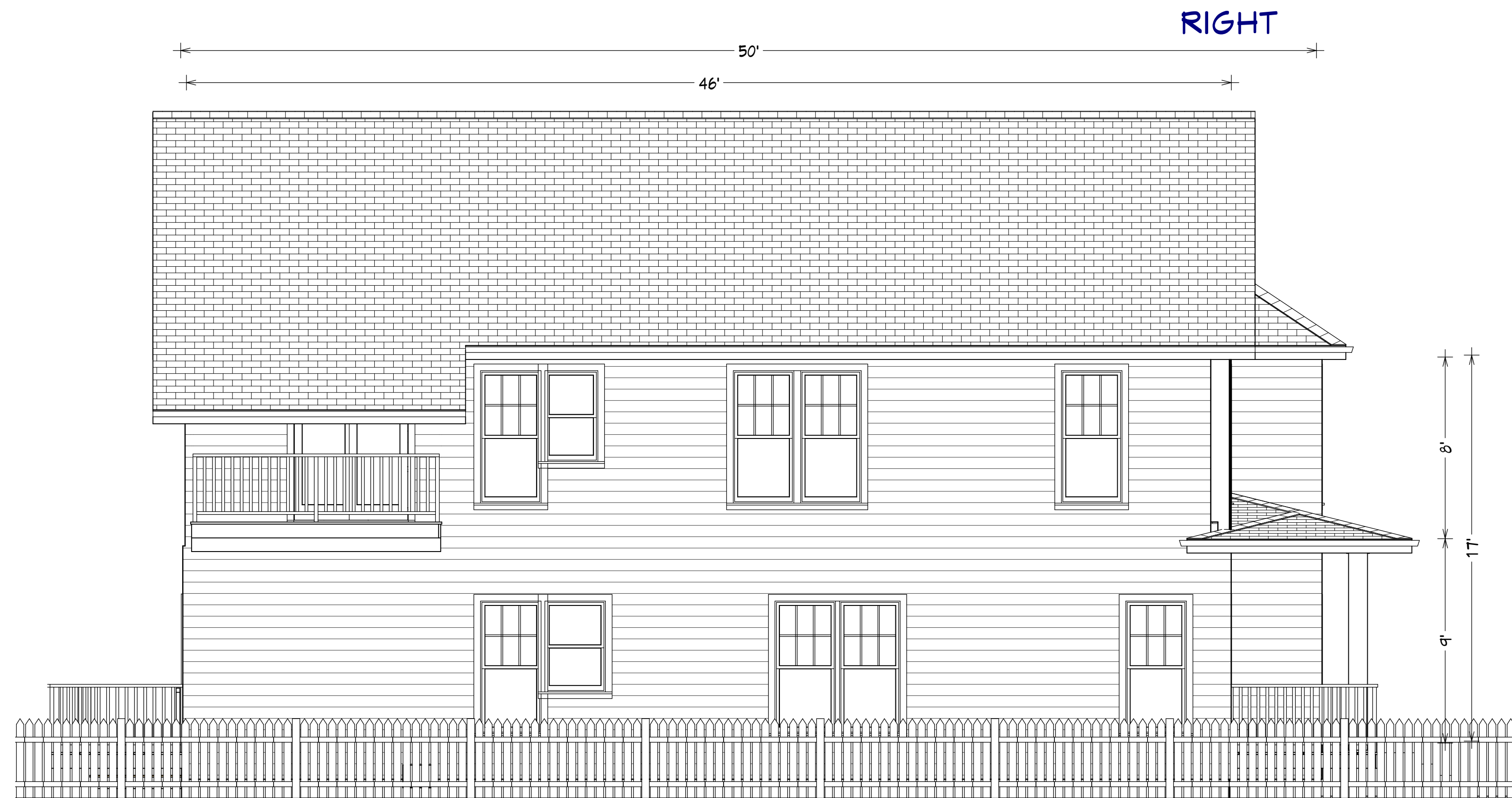
IMPROVEMENT LOCATION SURVEY - AND - TOPOGRAPHIC SURVEY

PREPARED FOR
ATLANTIC COLEMAN, LLC
330, 340 & 350 PLEASANTVIEW AVENUE
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 74 | BLOCK 2421 | LOT 7, 6 & 5

SHEET 1 OF 1



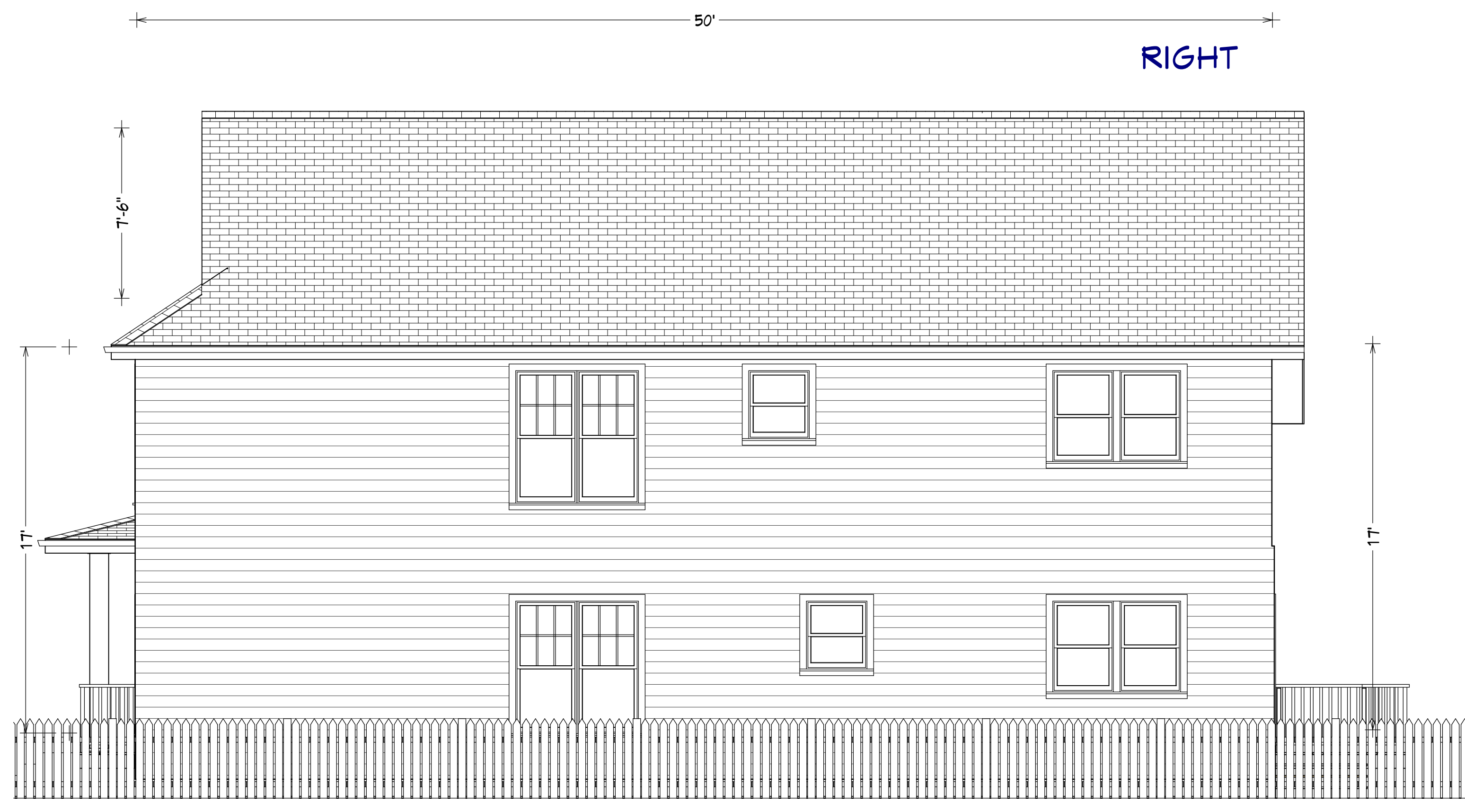
FRONT



RIGHT



REAR



RIGHT

REVISION TABLE	
NUMBER	DATE

NEW CONSTRUCTION
 330 PLEASANTVIEW AVE. 2-FAM UNITS.
 350 PLEASANTVIEW AVE. 2-FAM UNITS.
 BRIDGEPORT CT 06605

PREPARED FOR:
 FLAGSTONE CONSTRUCTION, LLC
 14-CHATHAM DR. TRUMBULL CT.
 BUILD, RESTORATION & REMODEL.

DRAWINGS PROVIDED BY:
JENHAR ASSOCIATES, LLC
 475-NEWTOWN TPKE. Redding, CT 06896
 jenhhar.associates@gmail.com
 Tel.: (203) 264-6485

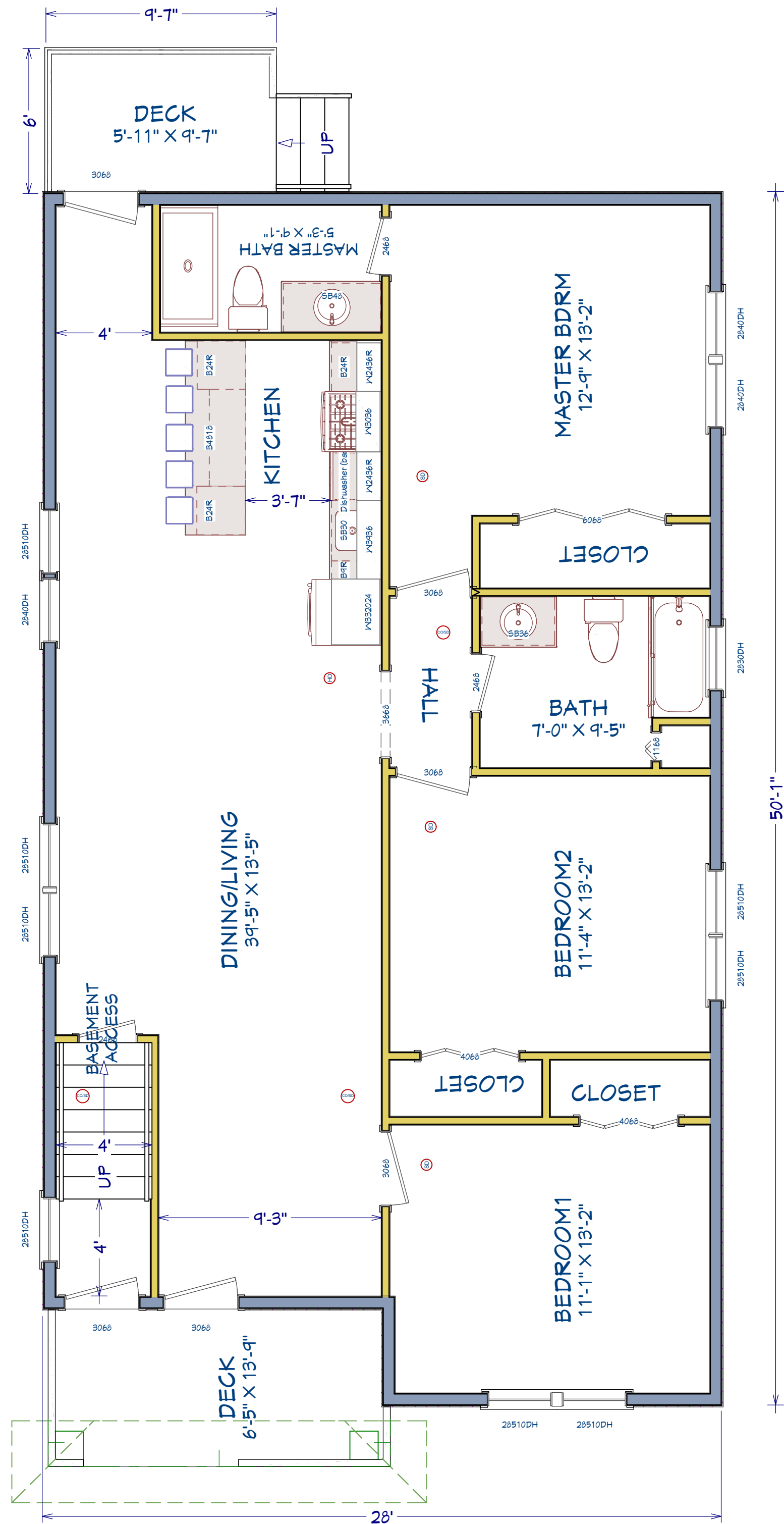
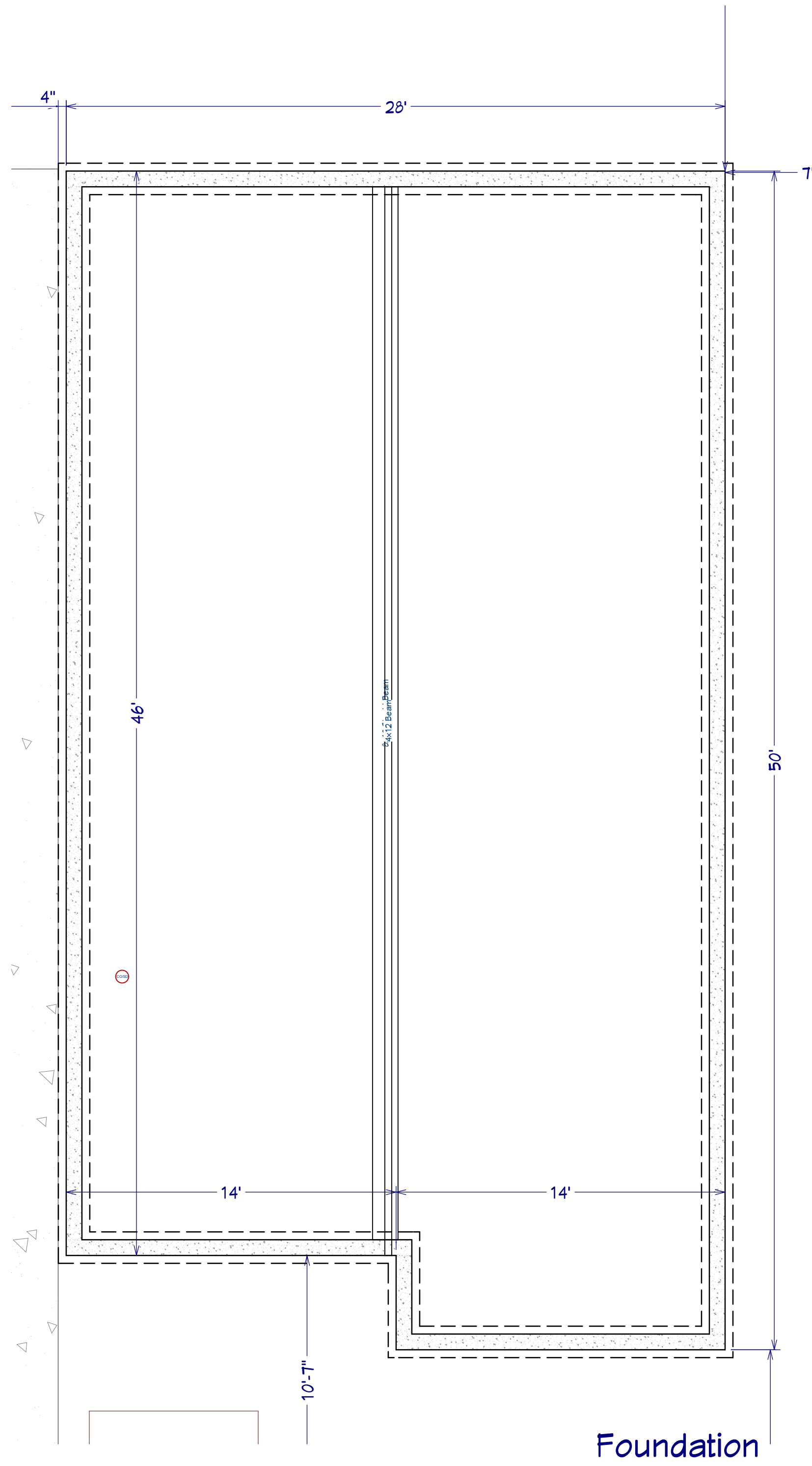
DATE:

9/29/2022

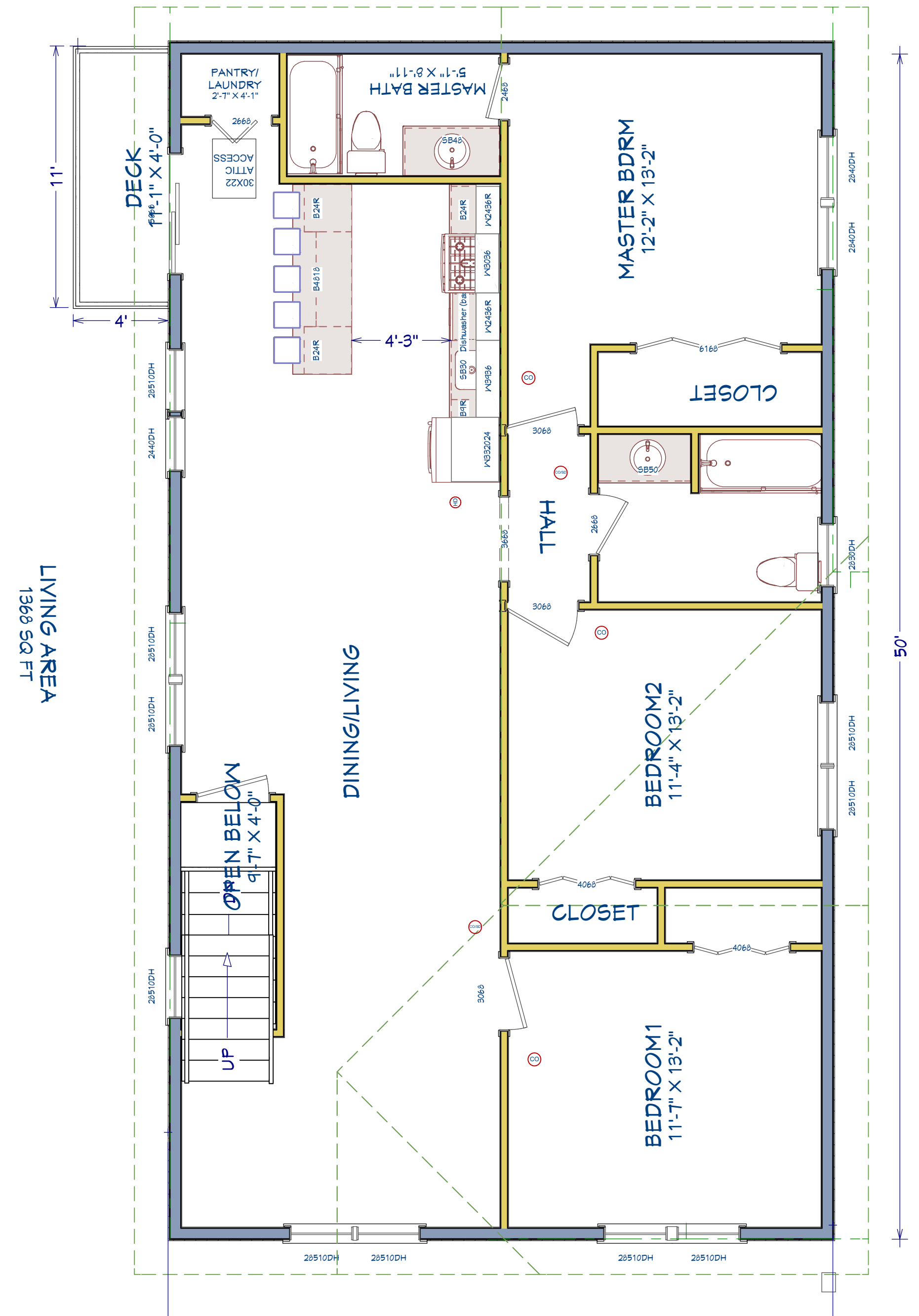
SCALE:

SHEET:

A-1



1st Floor



2nd Floor

REVISION TABLE	
NUMBER	DATE

NEW CONSTRUCTION
 330 PLEASANTVIEW AVE. 2-FAM UNITS.
 350 PLEASANTVIEW AVE. 2-FAM UNITS.
 BRIDGEPORT CT 06605

PREPARED FOR:
 FLAGSTONE CONSTRUCTION, LLC
 14-CHATHAM DR. TRUMBULL CT.
 BUILD, RESTORATION & REMODEL.

DRAWINGS PROVIDED BY:
JENHAR ASSOCIATES, llc
 475-Neutoun TPKE Redding, CT 06896
 jenhhar.associates@gmail.com
 Tel.: (203) 264-6465

DATE:

9/29/2022

SCALE:

SHEET:

A-2

FLOORS
1 & 2



PLANNING & ZONING COMMISSION APPLICATION

1. NAME OF APPLICANT: FLAGSTONE CONSTRUCTION, llc
2. Is the Applicant's name Trustee of Record? Yes _____ No X
If yes, a sworn statement disclosing the Beneficiary shall accompany this application upon filing.
3. Address of Property: 350 PLEASANTVIEW AVE. BRIDGEPORT CT. 06606
(number) (street) (state) (zip code)
4. Assessor's Map Information: Block No. _____ Lot No. _____
5. Amendments to Zoning Regulations: (indicate) Article: _____ Section: _____
(Attach copies of Amendment)
6. Description of Property (Metes & Bounds): EXISTING VACANT LOT
7. Existing Zone Classification: N2
8. Zone Classification requested: SPECIAL PERMIT FOR 2-FAMILY DWELLING.
9. Describe Proposed Development of Property: 2-FAM RSIDENTIAL NEW CONSTRUCTION.

Approval(s) requested: SPECIAL PERMIT TO CONSTRUCT/BUILD AS A 2-FAM. DWELLING.

Signature: *F Campos* Date: 9/29/2022
 Print Name: FLAGSTONE CONSTRUCTION, llc

If signed by Agent, state capacity (Lawyer, Developer, etc.) Signature: *F Campos*
 Print Name: FERNANDO CAMPOS (BUILDER).

Mailing Address: 14-CHATHAM DR., TRUMBULL CT 06614
 Phone: _____ Cell: 203-893-6125 Fax: _____
 E-mail Address: SOLUTIONCONSTRUCTIONCLLC@GMAIL.COM

\$ _____ Fee received Date: _____ Clerk: _____

THIS APPLICATION MUST BE SUBMITTED IN PERSON AND WITH COMPLETED CHECKLIST

- Completed & Signed Application Form
- Completed Site / Landscape Plan
- Written Statement of Development and Use
- Cert. of Incorporation & Organization and First Report (Corporations & LLC's)
- A-2 Site Survey
- Drainage Plan
- Property Owner's List
- Building Floor Plans
- Building Elevations
- Fee

PROPERTY OWNER'S ENDORSEMENT OF APPLICATION

Atlantic Coleman, llc _____ 9/29/2022
 Print Owner's Name Owner's Signature Date
 _____ 9/29/2022
 Print Owner's Name Owner's Signature Date

WRITTEN STATEMENT OF DEVELOPMENT USE.

Planning & Zoning Commission.

RE: 350 Pleasantview Ave., Bridgeport CT 06606.

Existing vacant lot
N2 Zone

RE: Proposed new construction of a 2-Family dwelling.

To whom it may concern,

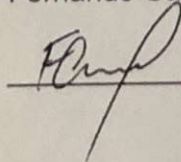
Flagstone Construction, llc would like to request for a "Special Permit" to Develop/Build a 2-Family dwelling that includes the neighborhood design standard on an existing vacant lot of 50' x 100' (350 Pleasantview Ave)

This development is zone-compliant for a two-family dwelling with all the requirements. It will beautify, enhance and protect the neighborhood character as well as its value.

Kind Regards

Flagstone Construction, llc

Fernando Campos, Owner



Date: 9/29/2022

CHARLOT DUCANESSE &
590 BEECHMONT AVE

VEREEN LAURETTA M
4 WEST MAIN ST

DANZA LLC
2340 SILAS DEANE HWY

ABRAHAMS OPAL V
329 PLEASANTVIEW AVENUE

CHANYARAKSKUL CHAIYOT & PINTIP
321 PLEASANTVIEW AVE

VIERA JULIE
319 PLEASANTVIEW AVE

CUEVAS DAVID & DALIA E PLAZA
301 PLEASANTVIEW AVE

MAJATTE PATRICIA H ETAL
8 PLEASANTVIEW AVE

SAM DOROTHY WRIGHT ETAL
8 PLEASANTVIEW AVE

SAM DOROTHY WRIGHT ETAL
8 PLEASANTVIEW AVE

CANTILLO ROGER F & GEORGINA
351 TESINY AVE

QUINONES DAVID
318 PLEASANTVIEW AVENUE

CLEMENTE EUSTACIO & ALCIRIA
337 TESINY AVE

POUERIET ANGEL R C ET AL
310 PLEASANTVIEW AV

LLIGUICHUZCHA MANUEL M
325 TESINY AVE

MURIEL RODONSKI REV TRST
300 PLEASANTVIEW AV

BURGOS KIM A
315 TESINY AVE

MUROLO DOMINICK
21 BARTLETT MNR

JACKSON WALTER C & VALENCIA
295 TESINY AVE

NOTES

- THE SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT CIVIL SERVICE SECTION 2000-1 THROUGH 2000-20 AND THE STANDARDS FOR SURVEY AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS (CALS) ON SEPTEMBER 26, 1993. THIS IS A LIMITED PROPERTY/BOUNDARY SURVEY FOR A SUBSEQUENT RESUBDIVISION TO INDIVIDUAL ACCURACY CLASS 4 AND IS NOT BEING ACCURATELY CLASSIFIED AS A BOUNDARY SURVEY FOR MUNICIPAL COMPLIANCE PURPOSES.
- THE MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMPOWERED SEAL.
- ALL IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
- EXISTING AREAS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD 83). ALL DIFFERENTIAL LEVELING DATA HAS BEEN CONVERTED TO THE CITY OF BRIDGEPORT DATUM AS ADOPTED BY THE CITY OF BRIDGEPORT. ALL HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT STATE PLANE OF 1983 AS REALIZED FROM OBSERVATION. REFERENCES TO HAZARD (COSMOS) COORDINATES ARE REFERRED TO THE STATE OF CONNECTICUT STATE PLANE OF 1983 AS REALIZED FROM OBSERVATION. ALL DIFFERENTIAL LEVELING DATA HAS BEEN CONVERTED TO THE CITY OF BRIDGEPORT DATUM AS ADOPTED BY THE CITY OF BRIDGEPORT. ALL HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT STATE PLANE OF 1983 AS REALIZED FROM OBSERVATION. REFERENCES TO HAZARD (COSMOS) COORDINATES ARE REFERRED TO THE STATE OF CONNECTICUT STATE PLANE OF 1983 AS REALIZED FROM OBSERVATION. ALL DIFFERENTIAL LEVELING DATA HAS BEEN CONVERTED TO THE CITY OF BRIDGEPORT DATUM AS ADOPTED BY THE CITY OF BRIDGEPORT. ALL HORIZONTAL COORDINATES ARE REFERRED TO THE CONNECTICUT STATE PLANE OF 1983 AS REALIZED FROM OBSERVATION. REFERENCES TO HAZARD (COSMOS) COORDINATES ARE REFERRED TO THE STATE OF CONNECTICUT STATE PLANE OF 1983 AS REALIZED FROM OBSERVATION.

- IMPROVEMENTS SHOWN BASED ON FIELD MEASUREMENTS AND OBSERVATIONS.
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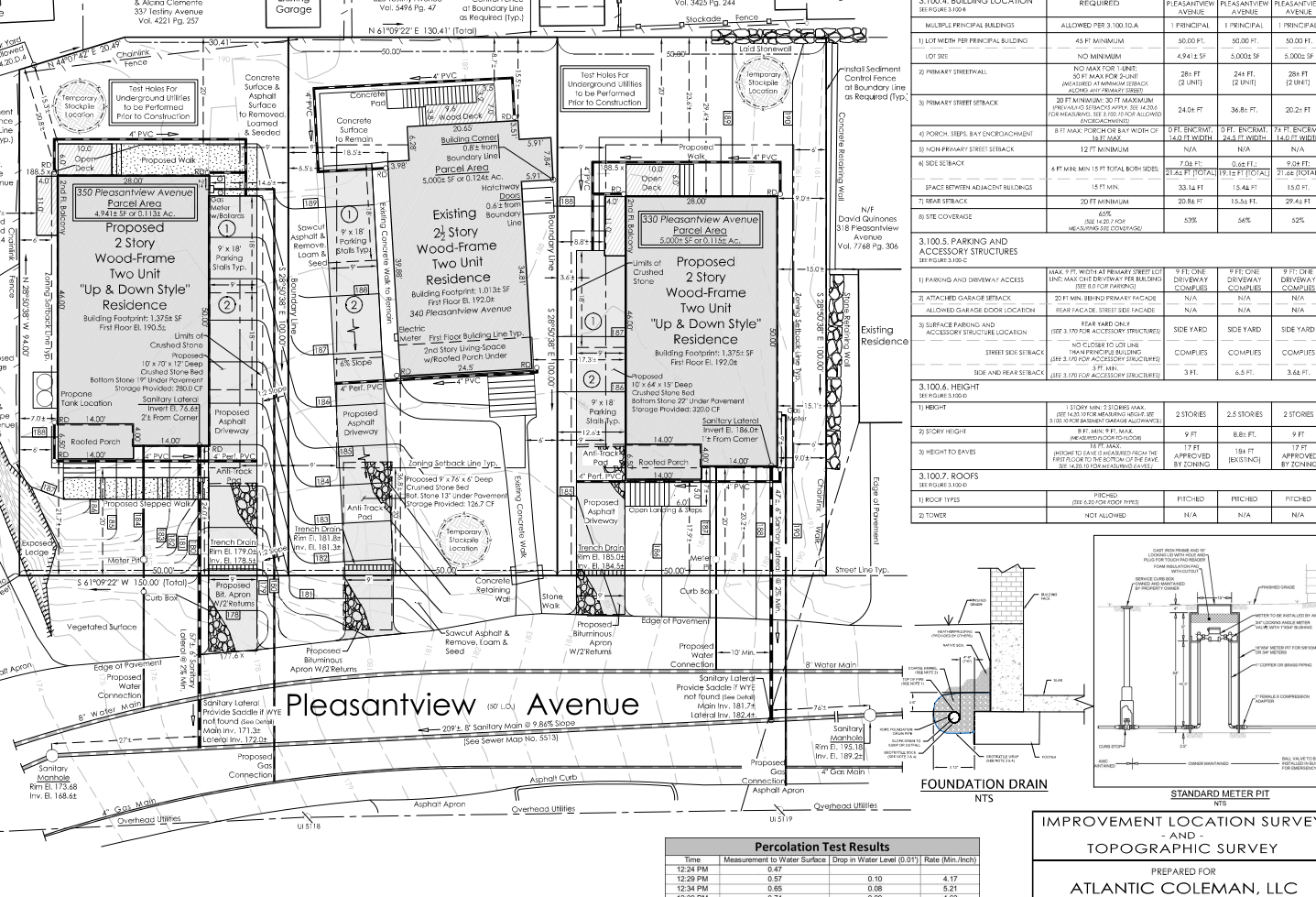
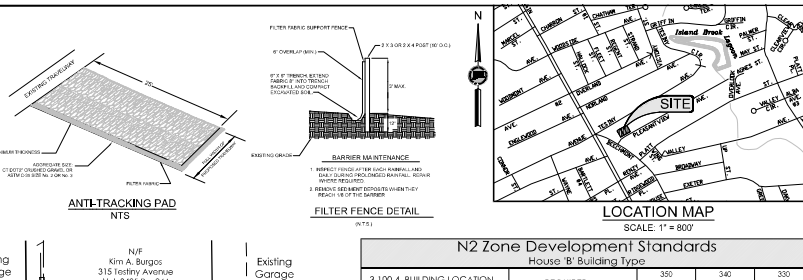
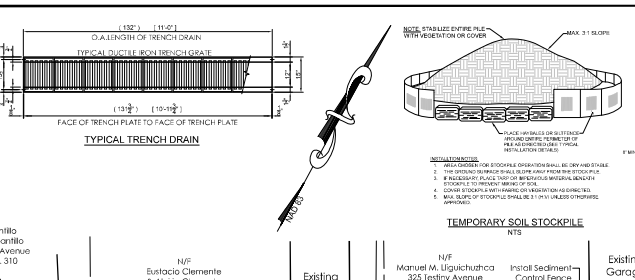
LEGEND

NP	NEW OR FORMERLY	CB	CATCH BASIN
MO	MONUMENT	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
PO	POLYPROPYLENE	CV	CASE VALVE
SF	SQUARE FEET	RET	RETAINING
CONC	CONCRETE	SE	SEWER IN NEW ENGLAND TELEPHONE
BIT	BITUMINOUS	UM	UTILITY UNLIT/UNLAMPED GASLINE
CHD	CHIMNEY	TE	TELEPHONE MANHOLE
UG	UNDERGROUND	INT	INTERSECTION
MN	MANHOLE	MC	METAL CURB
ELEC	ELECTRIC	CI	CAST IRON
UT	UTILITY POLE	VC	VITRIFIED CLAY
DV	DOUBLE YELLOW LINE	RP	REINFORCED CONCRETE PIPE
BR	BROKEN WHITE LINE	SM	SINGLE YELLOW LINE
BL	BROKEN WHITE LINE	MW	MANHOLE WELL
CP	EDGE OF PAVEMENT	EW	EXISTING WATER MAIN
RET	RETAINMENT	ED	EXISTING CONDUIT ELEVATION
CH	CHAR LINE	LO	LAYOUT OF STREET MESH
FF	FINISHED FLOOR ELEVATION	PA	PARKING SPACES
CL	CLIMB	PE	PEDESTRIAN POLYETHYLENE
LI	LIGHT POST	PVC	POLYVINYL CHLORIDE
CC	EXISTING CONCRETE	PC	PRECAST CONCRETE
NTS	NOT TO SCALE	NTS	NOT TO SCALE

CONCRETE DRIVEWAY WITHOUT SIDEWALK

FOUNDATION DRAIN

STANDARD METER PIT



Percolation Test Results

Time	Measurement to Water Surface	Drop in Water Level (0.01")	Rate (Min./Inch)
12:24 PM	0.47	0.10	4.17
12:29 PM	0.57	0.08	5.21
12:34 PM	0.69	0.06	4.63
12:39 PM	0.74	0.06	4.63
12:44 PM	0.81	0.07	5.95
12:49 PM	0.88	0.07	5.95
12:54 PM	0.94	0.06	6.94

Overall Percolation Rate (Min/Inch): 5.32
 Minimum Percolation Rate (Min/Inch): 6.94
 Based on minimum percolation rate, a 15" tall system will drain in (Hours): 1.7

N2 Zone Development Standards

House 'B' Building Types

3100.4. BUILDING LOCATION	330 PLEASANTVIEW AVENUE	340 PLEASANTVIEW AVENUE	350 PLEASANTVIEW AVENUE
MULTIPLE PRINCIPAL BUILDINGS	ALLOWED PER 3,000 G.S.A.	1 PRINCIPAL	1 PRINCIPAL
1) LOT WIDTH PER PRINCIPAL BUILDING	45 FT MINIMUM	30.00 FT	50.00 FT
2) LOT DEPTH	NO MINIMUM	4.94 FT	5.0000 FT
3) PRIMARY STREET	NO MAX FOR LOT; 20 FT MIN FOR DRIVEWAY AND MAX FOR DRIVEWAY (SEE 3100.5)	28 FT	28 FT
4) SIDE SETBACK	30 FT MINIMUM; 10 FT MAXIMUM; 10 FT MINIMUM; 10 FT MAXIMUM; 10 FT MINIMUM; 10 FT MAXIMUM	34.54 FT	36.80 FT
5) REAR SETBACK	20 FT MINIMUM	N/A	N/A
6) SPACE BETWEEN ADJACENT BUILDINGS	18 FT MIN	33.34 FT	15.46 FT
7) REAR SETBACK	20 FT MINIMUM	20.86 FT	15.56 FT
8) SET COVERAGE	53%	53%	52%

3100.5. PARKING AND ACCESSORY STRUCTURES

1) PARKING AND DRIVEWAY ACCESS	2) ATTACHED GARAGE ACCESS	3) ALLOWED GARAGE EOOD LOCATION	4) SIDE YARD ONLY ACCESSORY STRUCTURE LOCATION
MAX 15' WITH A 6' DRIVEWAY PER BUILDING	REAR GARAGE, STREET SIDE FACADE	N/A	REAR YARD ONLY (SEE 3100.7 FOR ACCESSORY STRUCTURES)
3' FT DRIVEWAY COMPLETS	N/A	N/A	COMPLETS
COMPLETS	N/A	N/A	COMPLETS
COMPLETS	N/A	N/A	COMPLETS

3100.6. HEIGHT

1) HEIGHT	2) 2 STORY HEIGHT	3) TOWER
15 STORY MIN, 2 STORY MAX (SEE 3100.7 FOR GARAGE ACCESSORY STRUCTURES)	2 STORIES	2.5 STORIES
9 FT	8.6 FT	9 FT
APPROVED BY ZONING	APPROVED BY ZONING	APPROVED BY ZONING

3100.7. ROOFS

1) ROOF TYPES	2) ROOF TYPES	3) ROOF TYPES	4) ROOF TYPES
PITCHED (SEE 3100.8 FOR PITCH)	PITCHED	PITCHED	PITCHED
NOT ALLOWED	N/A	N/A	N/A

Cabezas DeAngelis ENGINEERS & SURVEYORS

78 ELAM STREET BRIDGEPORT, CT 06604
 P: 203 330 8700 • F: 203 330 8701

SCALE: 1" = 10'
 FIELD FILE: Pleasantview survey.nws
 PROJECT NO: C01929
 DATE: September 30, 2022
 LAD FILE: 330 Pleasantview Ave_RLS.dwg
 SHEET 1 OF 1
 REV:

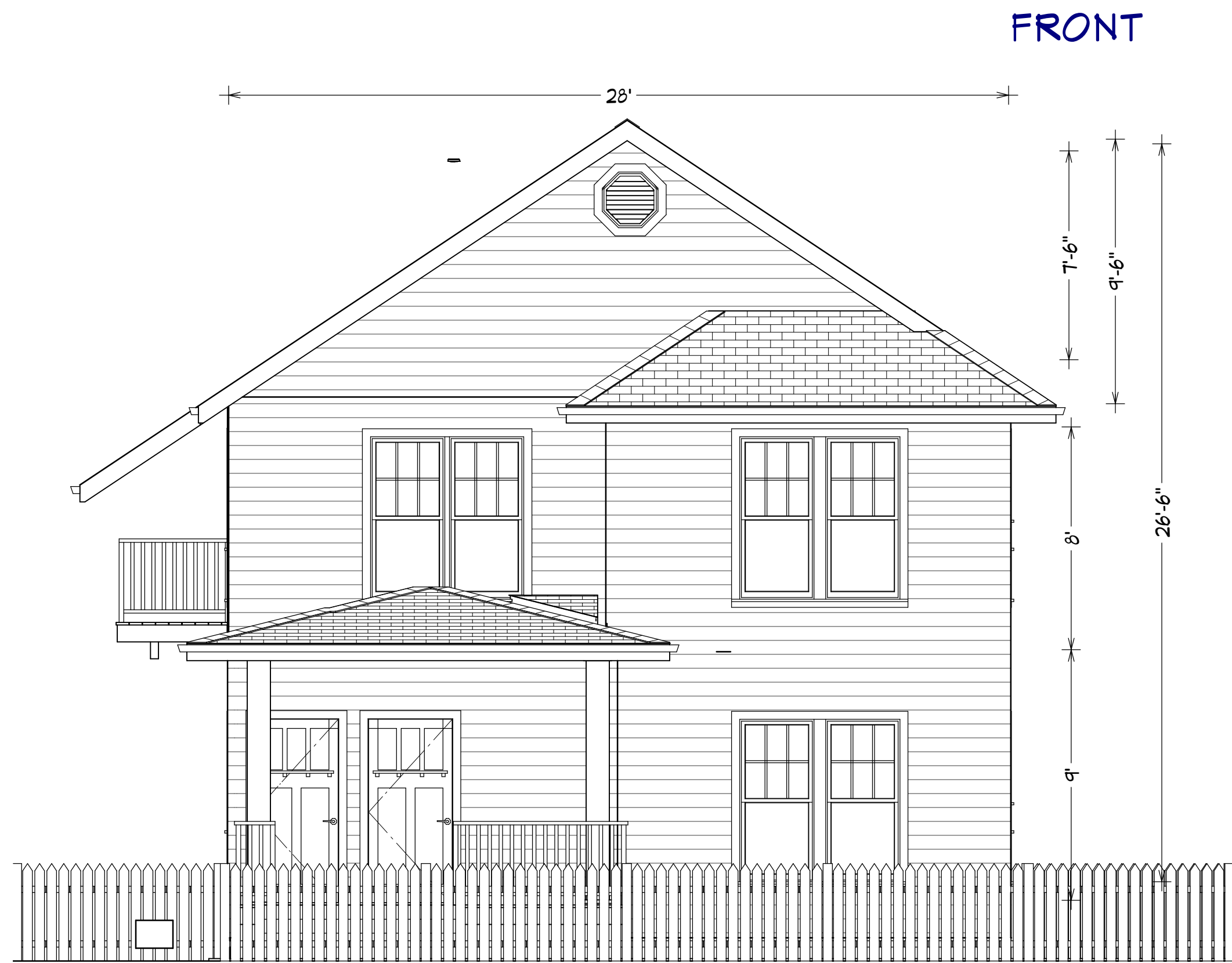
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

WASHINGTON CABEZAS, JR. P.E. 70210
 PROFESSIONAL ENGINEER & LAND SURVEYOR

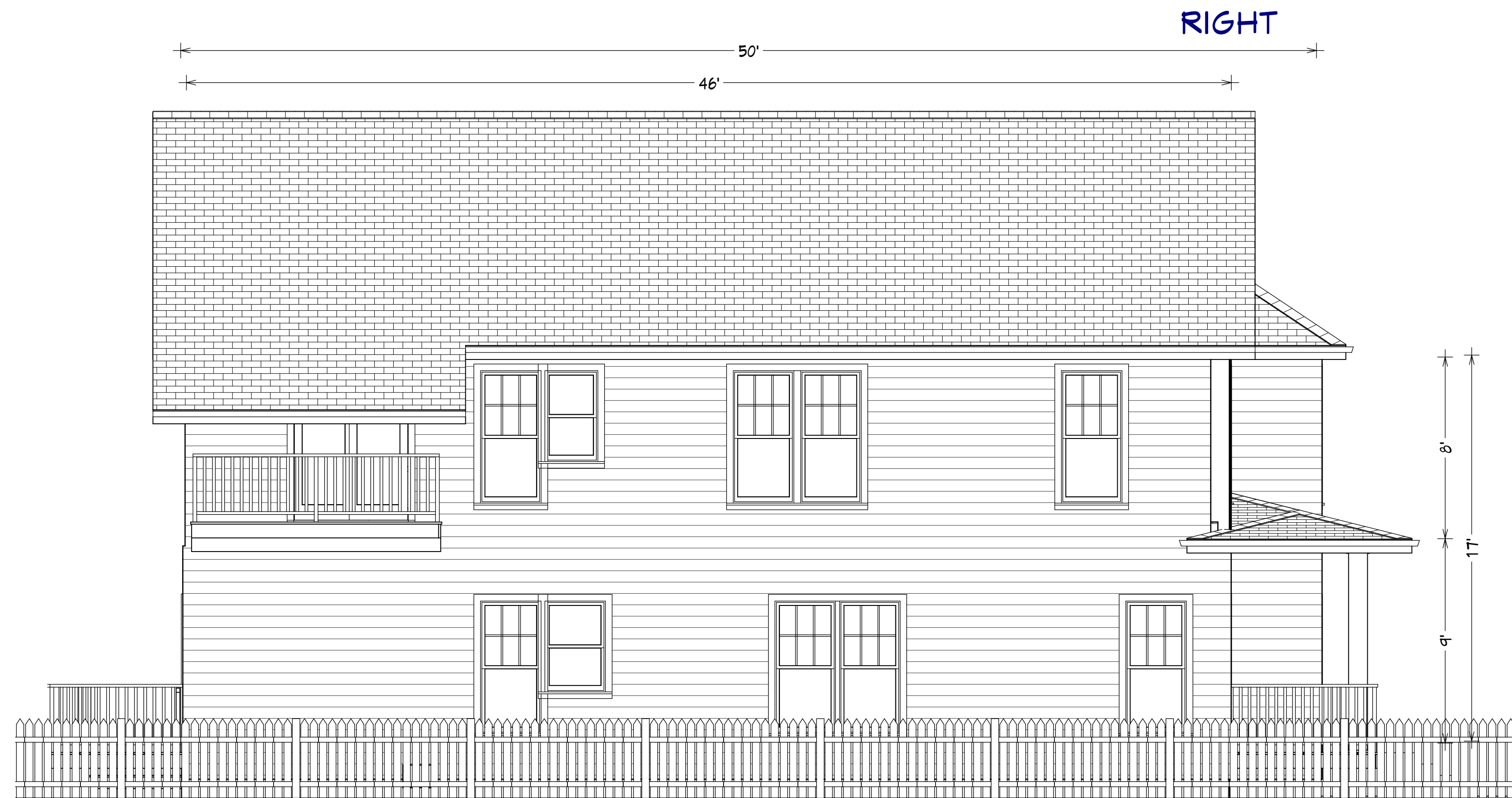
IMPROVEMENT LOCATION SURVEY AND TOPOGRAPHIC SURVEY

PREPARED FOR
ATLANTIC COLEMAN, LLC
 330, 340 & 350 PLEASANTVIEW AVENUE
 BRIDGEPORT, CONNECTICUT
 ASSessor's REFERENCE: MAP 74, 1 BLOCK 2421 | LOT 7, 6 & 5

SHEET 1 OF 1
 SEPTEMBER 30, 2022 WASHINGTON CABEZAS, JR. P.E. LS SCALE: 1" = 10'



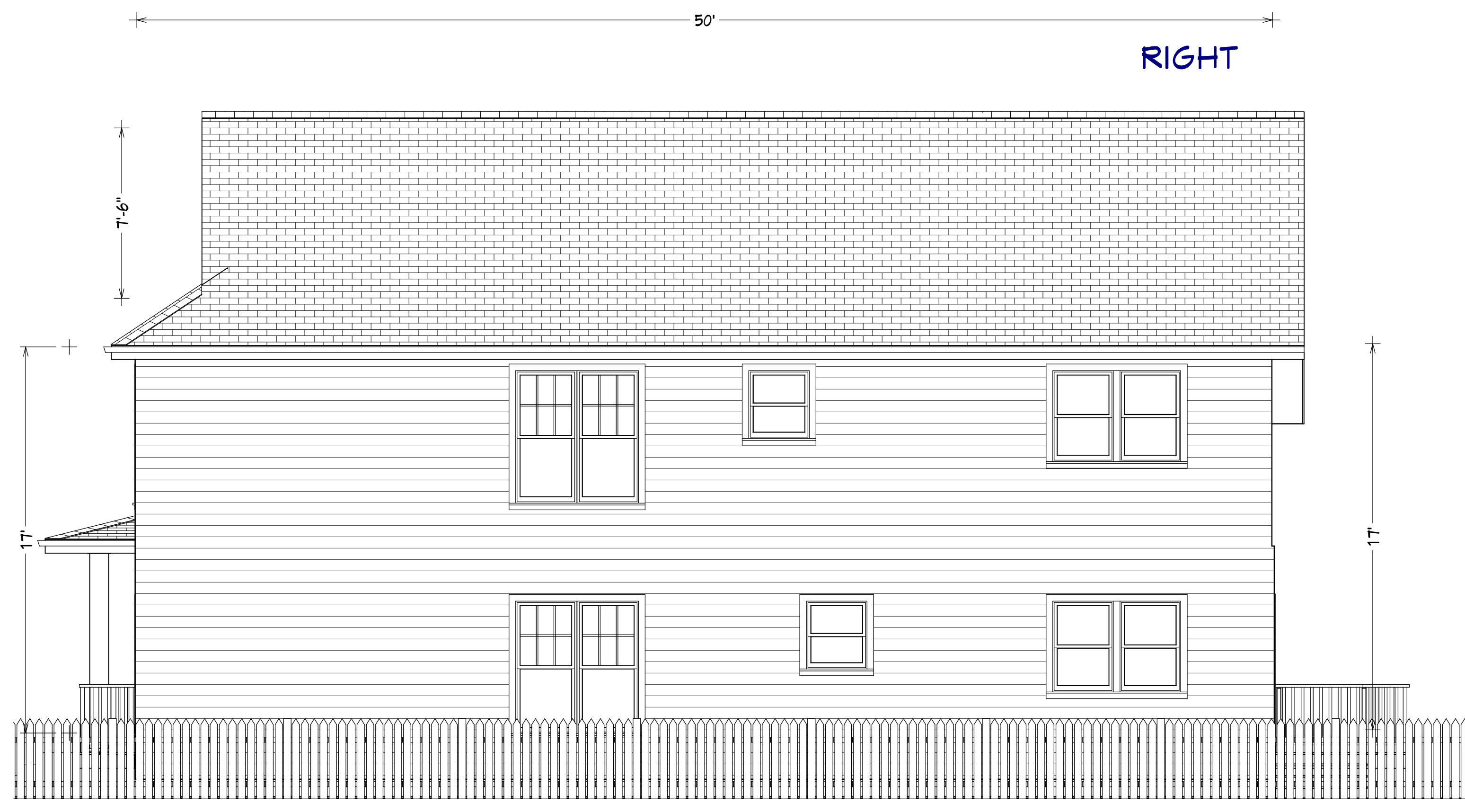
FRONT



RIGHT



REAR



RIGHT

REVISION TABLE	
NUMBER	DATE

NEW CONSTRUCTION
 330 PLEASANTVIEW AVE. 2-FAM UNITS.
 350 PLEASANTVIEW AVE. 2-FAM UNITS.
 BRIDGEPORT CT 06605

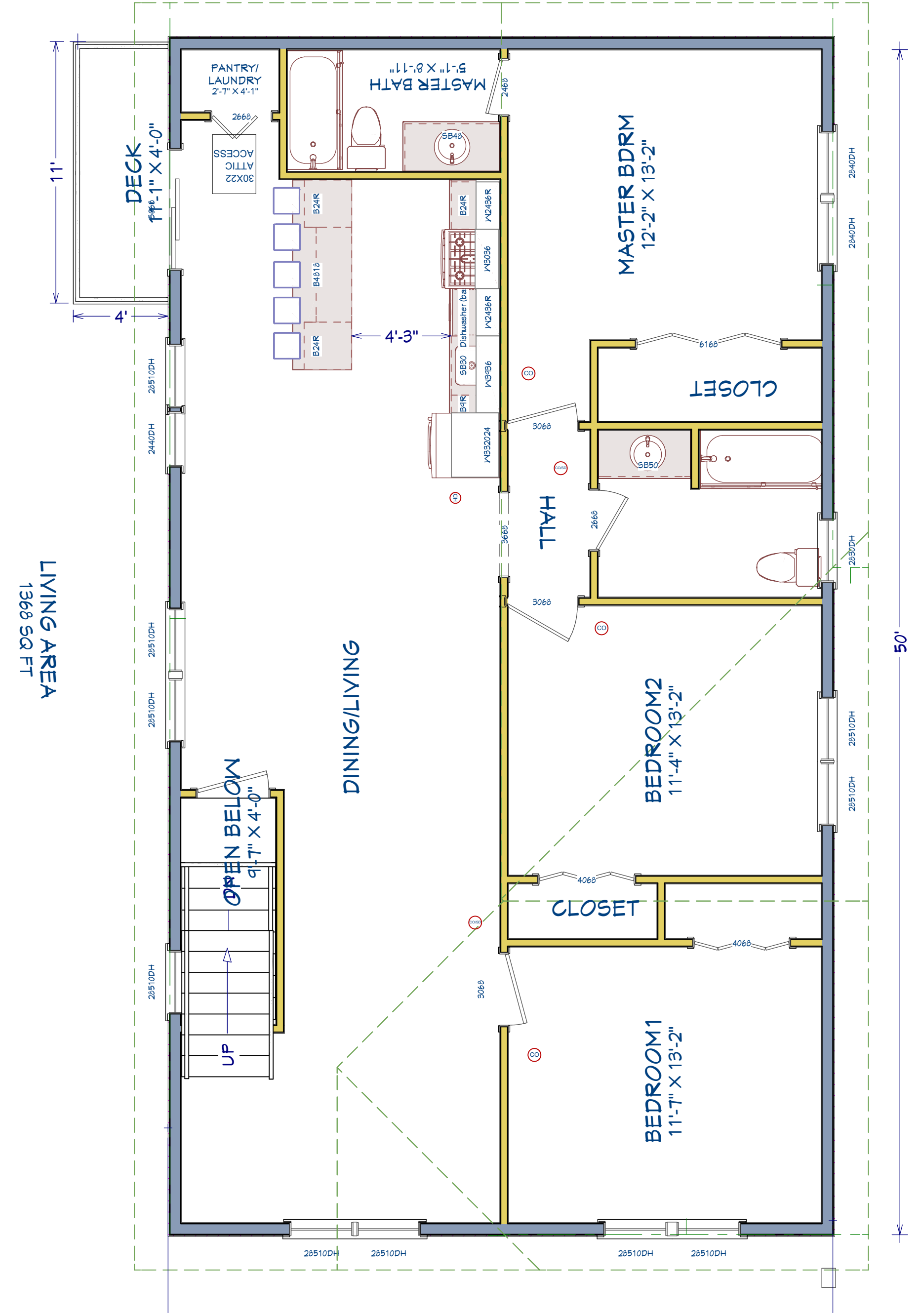
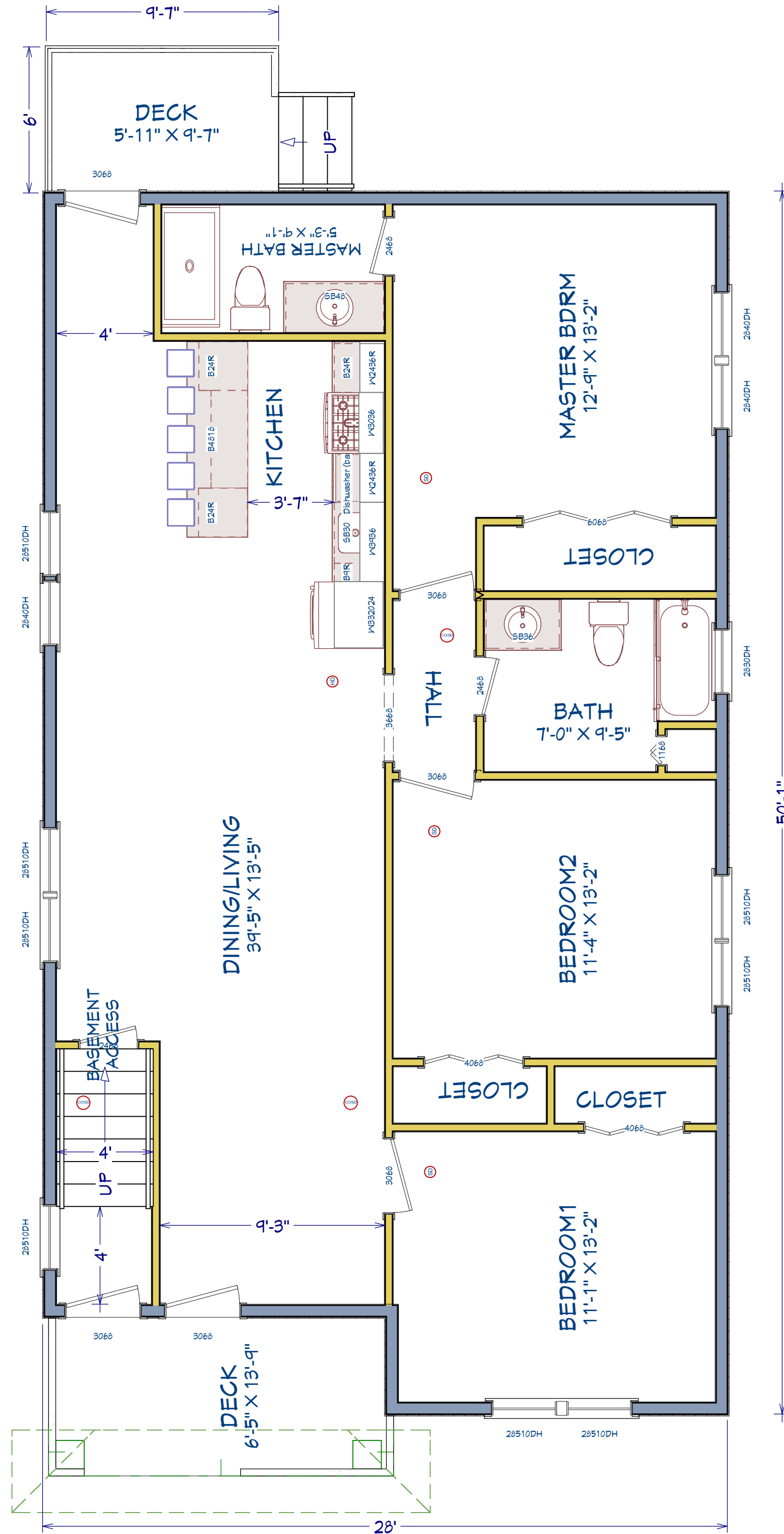
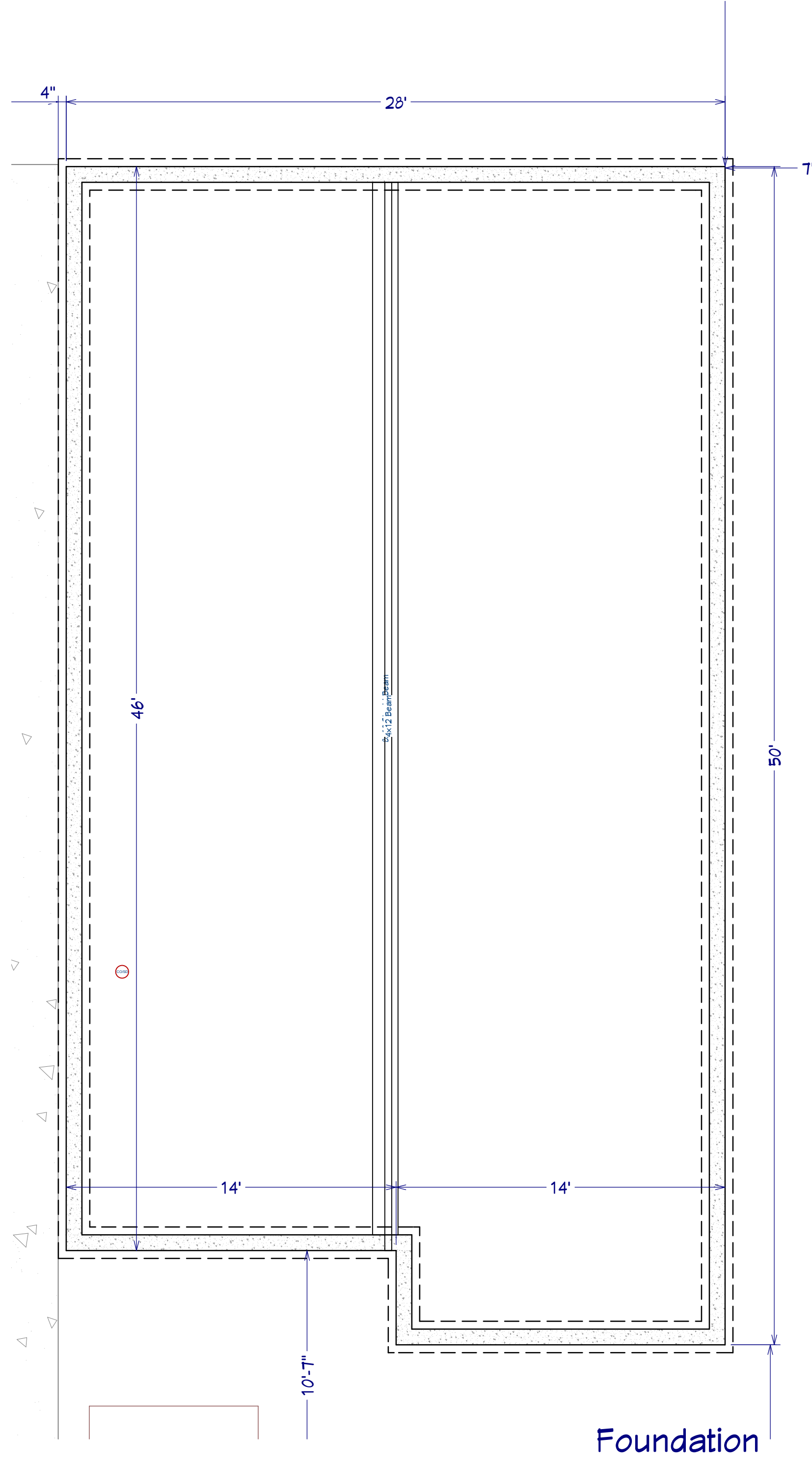
PREPARED FOR:
 FLAGSTONE CONSTRUCTION, LLC
 14-CHATHAM DR. TRUMBULL CT.
 BUILD, RESTORATION & REMODEL.

DRAWINGS PROVIDED BY:
JENHAR ASSOCIATES, LLC
 475-Neutoun TPKE Redding, CT 06896
 Jenhar.associates@gmail.com
 Tel.: (203) 264-6485

DATE:
 9/29/2022

SCALE:

SHEET:
A-1



REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

NEW CONSTRUCTION
 330 PLEASANTVIEW AVE. 2-FAM UNITS.
 350 PLEASANTVIEW AVE. 2-FAM UNITS.
 BRIDGEPORT CT 06605

PREPARED FOR:
 FLAGSTONE CONSTRUCTION, LLC
 14-CHATHAM DR. TRUMBULL CT.
 BUILD, RESTORATION & REMODEL.

DRAWINGS PROVIDED BY:
JENHAR ASSOCIATES, llc
 475-Neutoun TPKE Redding, CT 06896
 jenhara.associates@gmail.com
 Tel.: (203) 264-6465

DATE:

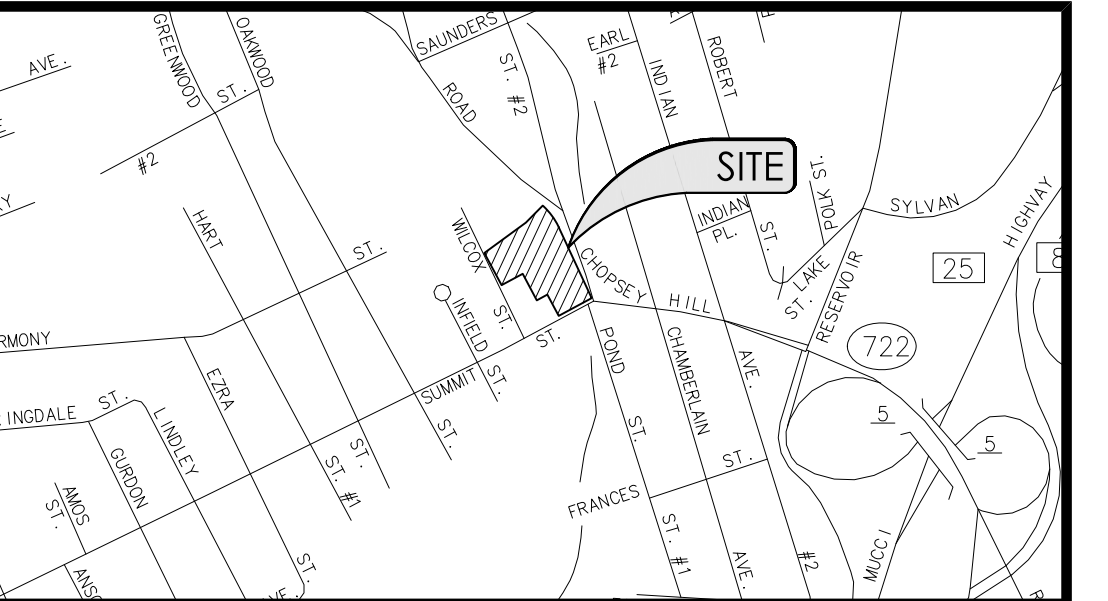
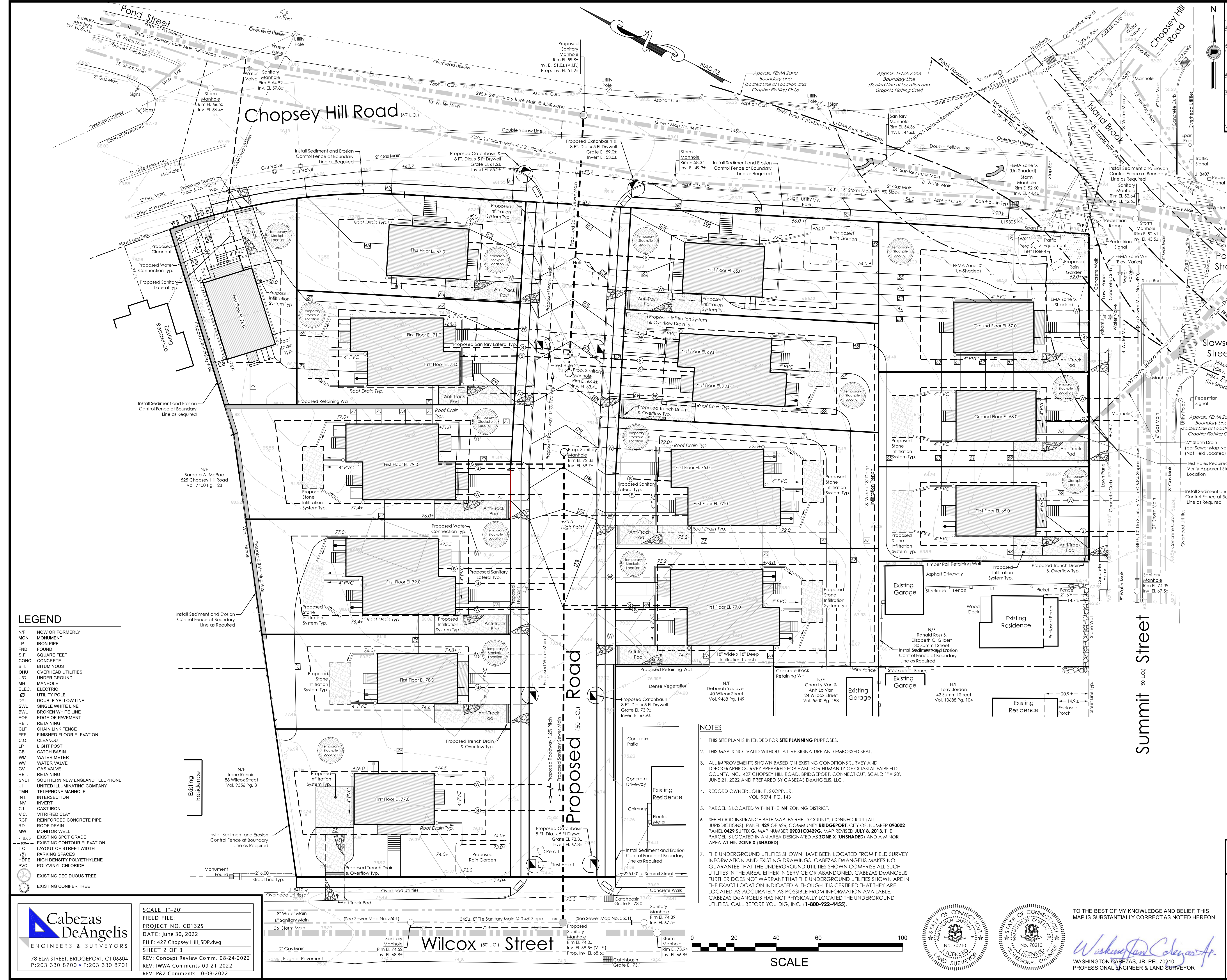
9/29/2022

SCALE:

SHEET:

A-2

FLOORS
1 & 2



N2 Zone Development Standards
House 'B' Building Type

3.100.4. BUILDING LOCATION SEE FIGURE 3.100-B	REQUIRED
MULTIPLE PRINCIPAL BUILDINGS	ALLOWED PER 3.100.10.A
1) LOT WIDTH PER PRINCIPAL BUILDING	45 FT MINIMUM
LOT SIZE	NO MINIMUM
2) PRIMARY STREETWALL	NO MAX FOR 1-UNIT; 50 FT MAX FOR 2-UNIT (MEASURED AT MINIMUM SETBACK ALONG ANY PRIMARY STREET)
3) PRIMARY STREET SETBACK	20 FT MINIMUM; 30 FT MAXIMUM (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3.100.10 FOR ALLOWED ENCROACHMENTS)
4) PORCH, STEPS, BAY ENCROACHMENT	PORCH OR BAY WIDTH OF 16 FT MAX.
5) NON-PRIMARY STREET SETBACK	12 FT MINIMUM
6) SIDE SETBACK	6 FT MIN; MIN 15 FT TOTAL BOTH SIDES;
7) REAR SETBACK	15 FT MIN.
8) SITE COVERAGE	65% (SEE 14.20.7 FOR MEASURING SITE COVERAGE)
3.100.5. PARKING AND ACCESSORY STRUCTURES SEE FIGURE 3.100-C	
1) PARKING AND DRIVEWAY ACCESS	MAX. 9 FT. WIDTH AT PRIMARY STREET LOT LINE; MAX ONE DRIVEWAY PER BUILDING (SEE 8.0 FOR PARKING)
2) ATTACHED GARAGE SETBACK	20 FT MIN. BEHIND PRIMARY FACADE
ALLOWED GARAGE DOOR LOCATION	REAR FACADE, STREET SIDE FACADE
3) SURFACE PARKING AND ACCESSORY STRUCTURE LOCATION	REAR YARD ONLY (SEE 3.170 FOR ACCESSORY STRUCTURES)
STREET SIDE SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPLE BUILDING (SEE 3.170 FOR ACCESSORY STRUCTURES)
SIDE AND REAR SETBACK	3 FT. MIN. (SEE 3.170 FOR ACCESSORY STRUCTURES)
3.100.6. HEIGHT SEE FIGURE 3.100-D	
1) HEIGHT	1 STORY MIN; 2 STORIES MAX. (SEE 14.20.10 FOR MEASURING HEIGHT. SEE 3.100.10 FOR BASEMENT GARAGE ALLOWANCE.)
2) STORY HEIGHT	8 FT. MIN; 9 FT. MAX. (MEASURED FLOOR TO FLOOR)
3) HEIGHT TO EAVES	16 FT. MAX. (HEIGHT TO EAVE IS MEASURED FROM THE FIRST FLOOR TO THE BOTTOM OF THE EAVE. SEE 14.20.10 FOR MEASURING EAVES.)
3.100.7. ROOFS SEE FIGURE 3.100-D	
1) ROOF TYPES	PITCHED (SEE 6.20 FOR ROOF TYPES)
2) TOWER	NOT ALLOWED
3.100.9. ALLOWED USES SEE ARTICLE 4.0 FOR USE DEFINITIONS, SPECIFIC USE LIMITATIONS, AND OTHER USE-RELATED REGULATIONS	
RESIDENTIAL	
NUMBER OF PRINCIPAL UNITS	1 IN HOUSE, 2 WITH SPECIAL PERMIT
NUMBER OF ACCESSORY APARTMENTS	1 IN BACKYARD COTTAGE WITH SPECIAL PERMIT
HOUSEHOLD LIVING	ALLOWED
GROUP LIVING	ALLOWED
SHORT-TERM RENTAL	NOT ALLOWED

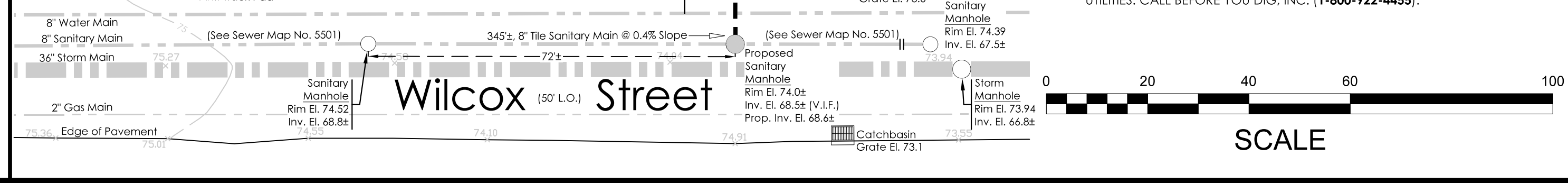
LEGEND

N/F	NOW OR FORMERLY
MON.	MONUMENT
I.P.	IRON PIPE
FND.	FOUND
S.F.	SQUARE FEET
CONC.	CONCRETE
BIT.	BITUMINOUS
OHU	OVERHEAD UTILITIES
UG	UNDER GROUND
MH	MANHOLE
ELEC.	ELECTRIC
U.P.	UTILITY POLE
DYL	DOUBLE YELLOW LINE
SWL	SINGLE WHITE LINE
BWL	BROKEN WHITE LINE
EOP	EDGE OF PAVEMENT
RET.	RETAINING
CLF	CHAIN LINK FENCE
FFE	FINISHED FLOOR ELEVATION
C	CLEANOUT
LP	LIGHT POST
CB	CATCH BASIN
WM	WATER METER
WV	WATER VALVE
GV	GAS VALVE
RET.	RETAINING
SNET	SOUTHERN NEW ENGLAND TELEPHONE
UI	UNITED ILLUMINATING COMPANY
TMH	TELEPHONE MANHOLE
INT	INTERSECTION
INV.	INVERT
C.I.	CAST IRON
V.C.	VITRIFIED CLAY
RCF	REINFORCED CONCRETE PIPE
RD	ROOF DRAIN
MW	MONITOR WELL
E.S.G.	EXISTING SPOT GRADE
E.C.E.	EXISTING CONTOUR ELEVATION
L.O.	LAYOUT OF STREET WIDTH
P	PARKING SPACES
HDPE	HIGH DENSITY POLYETHYLENE
PVC	POLYVINYL CHLORIDE
ET	EXISTING DECIDUOUS TREE
CT	EXISTING CONIFER TREE

- NOTES**
- THIS SITE PLAN IS INTENDED FOR **SITE PLANNING** PURPOSES.
 - THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
 - ALL IMPROVEMENTS SHOWN BASED ON EXISTING CONDITIONS SURVEY AND TOPOGRAPHIC SURVEY PREPARED FOR HABIT FOR HUMANITY OF COASTAL FAIRFIELD COUNTY, INC., 427 CHOPSEY HILL ROAD, BRIDGEPORT, CONNECTICUT. SCALE: 1" = 20'. JUNE 21, 2022 AND PREPARED BY CABEZAS DeANGELIS, LLC.
 - RECORD OWNER: JOHN P. SKOPP, JR. VOL. 9074 PG. 143
 - PARCEL IS LOCATED WITHIN THE **N4** ZONING DISTRICT.
 - SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 429 OF 626, COMMUNITY BRIDGEPORT, CITY OF NUMBER 090002 PANEL 0429 SUPPLX G, MAP NUMBER 09001C0429G, MAP REVISED JULY 8, 2013. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS **ZONE X (UNSHADED)** AND A MINOR AREA WITHIN **ZONE X (SHADED)**.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

Cabezas DeAngelis
ENGINEERS & SURVEYORS
78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

SCALE: 1"=20'
FIELD FILE:
PROJECT NO. CD1325
DATE: June 30, 2022
FILE: 427 Chopsey Hill_SDP.dwg
SHEET 2 OF 3
REV: Concept Review Comm. 08-24-2022
REV: IWA Comments 09-21-2022
REV: P&Z Comments 10-03-2022



TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Washington Cabezas, Jr.
WASHINGTON CABEZAS, JR., PEL 70210
PROFESSIONAL ENGINEER & LAND SURVEYOR

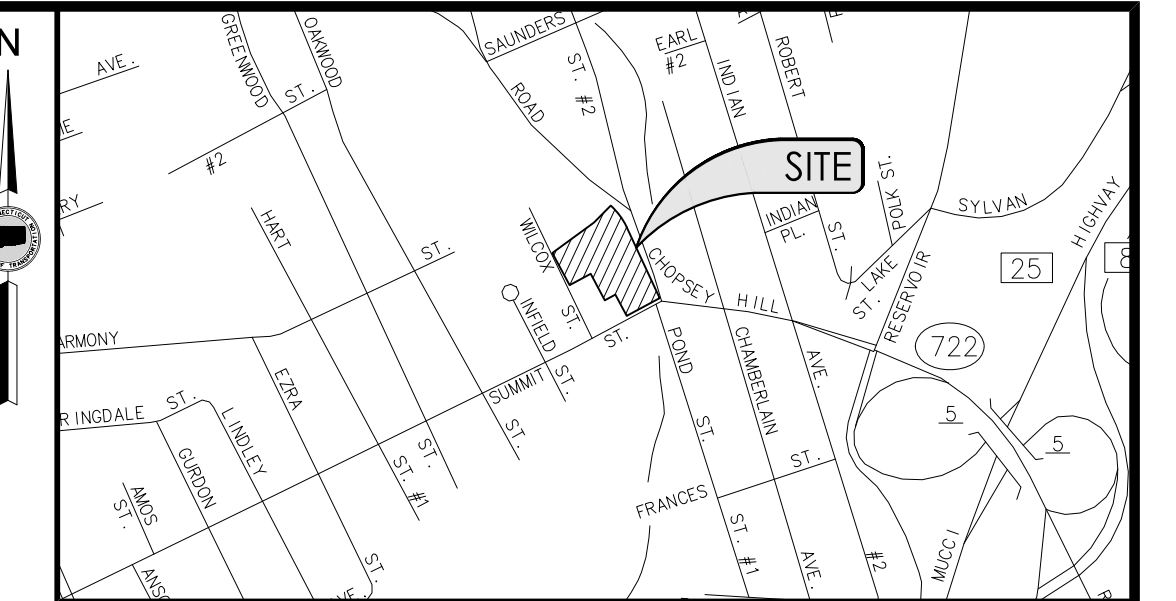
STATE OF CONNECTICUT
PROFESSIONAL ENGINEER
No. 70210

STATE OF CONNECTICUT
PROFESSIONAL LAND SURVEYOR
No. 70210

GRADING, DRAINAGE, UTILITY & SOIL EROSION CONTROL PLAN

- PREPARED FOR -
HABITAT FOR HUMANITY
OF COASTAL FAIRFIELD COUNTY, INC.
427 CHOPSEY HILL ROAD
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 67 | BLOCK 2432 | LOT 38A

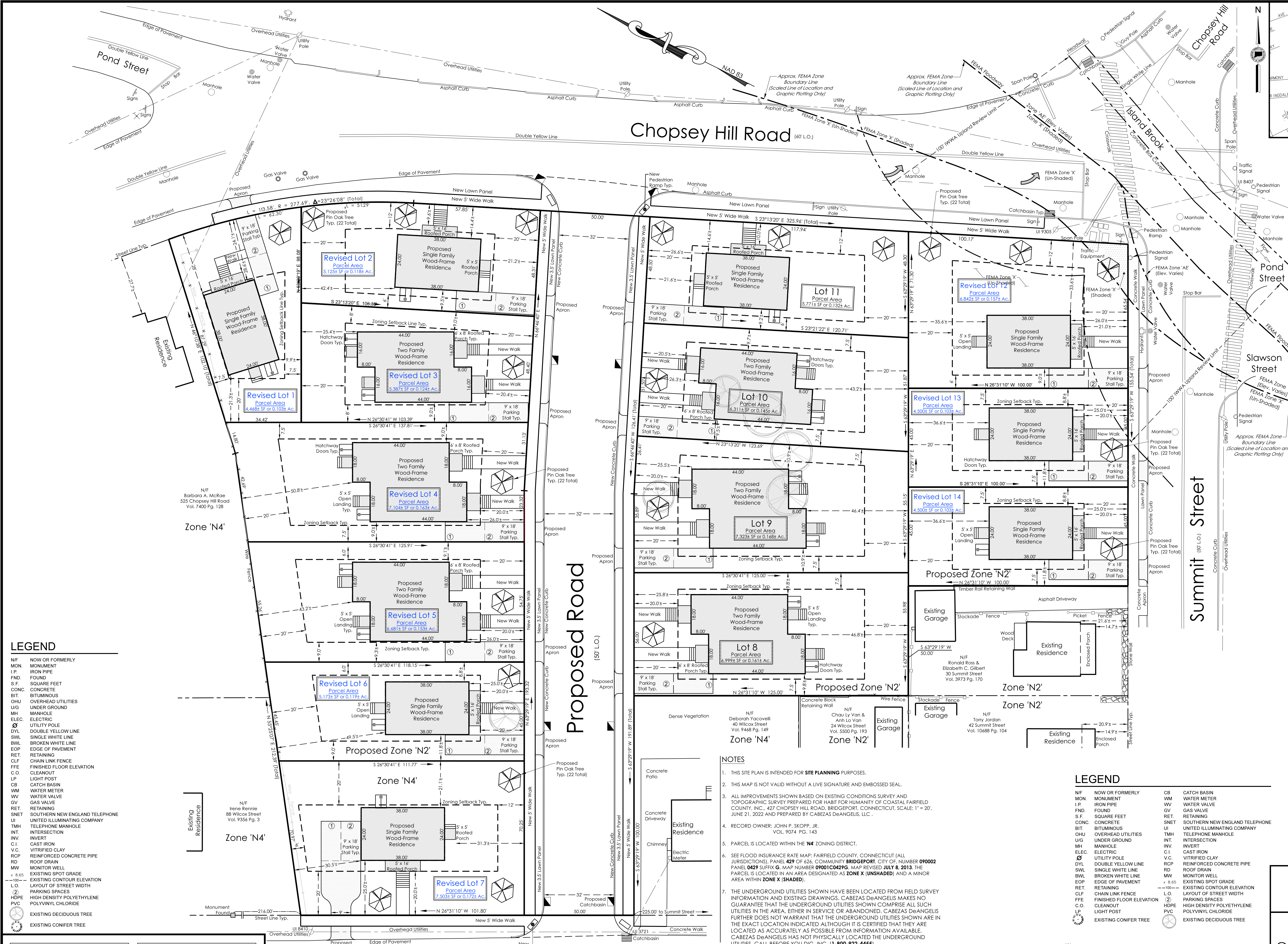
SHEET 2 OF 3
JUNE 30, 2022 WASHINGTON CABEZAS, JR., PE, LS SCALE: 1"=20'



LOCATION MAP
SCALE: 1" = 800'

N2 Zone Development Standards
House 'B' Building Type

3.100.4. BUILDING LOCATION	REQUIRED
3.100.4.1) LOT WIDTH PER PRINCIPAL BUILDING	45 FT MINIMUM
3.100.4.2) PRIMARY STREETWALL	NO MAX FOR 1-UNIT; 50 FT MAX FOR 2-UNIT (MEASURED AT MINIMUM SETBACK ALONG ANY PRIMARY STREET)
3.100.4.3) PRIMARY STREET SETBACK	20 FT MINIMUM; 30 FT MAXIMUM (PREVAILING SETBACKS APPLY. SEE 14.20.6 FOR MEASURING. SEE 3.100.10 FOR ALLOWED ENCROACHMENTS)
3.100.4.4) PORCH, STEPS, BAY ENCROACHMENT	8 FT MAX; PORCH OR BAY WIDTH OF 16 FT MAX
3.100.4.5) NON-PRIMARY STREET SETBACK	12 FT MINIMUM
3.100.4.6) SIDE SETBACK	6 FT MIN; MIN 15 FT TOTAL BOTH SIDES
3.100.4.7) REAR SETBACK	20 FT MINIMUM
3.100.4.8) SITE COVERAGE	65% (SEE 14.20.7 FOR MEASURING SITE COVERAGE)
3.100.5. PARKING AND ACCESSORY STRUCTURES	
3.100.5.1) PARKING AND DRIVEWAY ACCESS	MAX. 9 FT. WIDTH AT PRIMARY STREET LOT LINE; MAX ONE DRIVEWAY PER BUILDING (SEE 8.0 FOR PARKING)
3.100.5.2) ATTACHED GARAGE SETBACK	20 FT MIN. BEHIND PRIMARY FACADE
3.100.5.3) SURFACE PARKING AND ACCESSORY STRUCTURE LOCATION	REAR FACADE, STREET SIDE FACADE
3.100.5.4) STREET SIDE SETBACK	REAR YARD ONLY (SEE 3.170 FOR ACCESSORY STRUCTURES)
3.100.5.5) SIDE AND REAR SETBACK	NO CLOSER TO LOT LINE THAN PRINCIPAL BUILDING (SEE 3.170 FOR ACCESSORY STRUCTURES)
3.100.6. HEIGHT	
3.100.6.1) HEIGHT	1 STORY MIN; 2 STORIES MAX. (SEE 14.20.10 FOR MEASURING HEIGHT. SEE 3.100.10 FOR BASINSET GARAGE ALLOWANCE)
3.100.6.2) STORY HEIGHT	8 FT. MIN; 9 FT. MAX. (MEASURED FLOOR-TO-FLOOR)
3.100.6.3) HEIGHT TO EAVES	16 FT. MAX. (HEIGHT TO EAVE IS MEASURED FROM THE FIRST FLOOR TO THE BOTTOM OF THE GAVE. SEE 14.20.10 FOR MEASURING EAVES.)
3.100.7. ROOFS	
3.100.7.1) ROOF TYPES	PITCHED (SEE 6.20 FOR ROOF TYPES)
3.100.7.2) TOWER	NOT ALLOWED
3.100.9. ALLOWED USES	
SEE ARTICLE 4.0 FOR USE DEFINITIONS, SPECIFIC USE LIMITATIONS, AND OTHER USE-RELATED REGULATIONS.	
RESIDENTIAL	
NUMBER OF PRINCIPAL UNITS	1 IN HOUSE, 2 WITH SPECIAL PERMIT
NUMBER OF ACCESSORY APARTMENTS	1 IN BACKYARD COTTAGE WITH SPECIAL PERMIT
HOUSEHOLD LIVING	ALLOWED
GROUP LIVING	ALLOWED
SHORT-TERM RENTAL	NOT ALLOWED



- LEGEND**
- N/F NOW OR FORMERLY
 - MON MONUMENT
 - I.P. IRON PIPE
 - FND. FOUND
 - S.F. SQUARE FEET
 - CONC. CONCRETE
 - BIT. BITUMINOUS
 - OHU OVERHEAD UTILITIES
 - UG UNDER GROUND
 - MH MANHOLE
 - ELEC. ELECTRIC
 - UTILITY POLE
 - DYL. DOUBLE YELLOW LINE
 - SWL. SINGLE WHITE LINE
 - BWL. BROKEN WHITE LINE
 - EOP. EDGE OF PAVEMENT
 - RET. RETAINING
 - CLF. CHAIN LINK FENCE
 - FFE. FINISHED FLOOR ELEVATION
 - C.O. CLEANOUT
 - LP. LIGHT POST
 - CB. CATCH BASIN
 - WM. WATER METER
 - WV. WATER VALVE
 - GV. GAS VALVE
 - RET. RETAINING
 - SNET. SOUTHERN NEW ENGLAND TELEPHONE
 - UI. UNITED ILLUMINATING COMPANY
 - TMH. TELEPHONE MANHOLE
 - INT. INTERSECTION
 - INV. INVERT
 - C.I. CAST IRON
 - V.C. VITRIFIED CLAY
 - RCP. REINFORCED CONCRETE PIPE
 - RD. ROOF DRAIN
 - MW. MONITOR WELL
 - ESG. EXISTING SPOT GRADE
 - CE. EXISTING CONTOUR ELEVATION
 - L.O. LAYOUT OF STREET WIDTH
 - (1) PARKING SPACES
 - (2) HIGH DENSITY POLYETHYLENE
 - HDPE. HIGH DENSITY POLYETHYLENE
 - PVC. POLYVINYL CHLORIDE
 - (T) EXISTING DECIDUOUS TREE
 - (C) EXISTING CONIFER TREE

- NOTES**
- THIS SITE PLAN IS INTENDED FOR SITE PLANNING PURPOSES.
 - THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND EMBOSSED SEAL.
 - ALL IMPROVEMENTS SHOWN BASED ON EXISTING CONDITIONS SURVEY AND TOPOGRAPHIC SURVEY PREPARED FOR HABIT FOR HUMANITY OF COASTAL FAIRFIELD COUNTY, INC., 427 CHOPSEY HILL ROAD, BRIDGEPORT, CONNECTICUT. SCALE: 1" = 20'. JUNE 21, 2022 AND PREPARED BY CABEZAS DeANGELIS, LLC.
 - RECORD OWNER: JOHN P. SKOPP, JR. VOL. 9074 PG. 143
 - PARCEL IS LOCATED WITHIN THE N4 ZONING DISTRICT.
 - SEE FLOOD INSURANCE RATE MAP: FAIRFIELD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 429 OF 626, COMMUNITY BRIDGEPORT, CITY OF NUMBER 09002 PANEL 0429 SUFFIX G, MAP NUMBER 09001C0429G, MAP REVISED JULY 8, 2013. THE PARCEL IS LOCATED IN AN AREA DESIGNATED AS ZONE X (UNSHADED) AND A MINOR AREA WITHIN ZONE X (SHADED).
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. CABEZAS DeANGELIS MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. CABEZAS DeANGELIS FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH IT IS CERTIFIED THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. CABEZAS DeANGELIS HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL BEFORE YOU DIG, INC. (1-800-922-4455).

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Cabezas DeAngelis
ENGINEERS & SURVEYORS

78 ELM STREET, BRIDGEPORT, CT 06604
P:203 330 8700 • F:203 330 8701

SCALE: 1"=20'
FIELD FILE:
PROJECT NO. CD1325
DATE: June 30, 2022
FILE: 427 Chopsey Hill_SDP.dwg
SHEET 1 OF 3
REV: Concept Review Comm. 08-24-2022
REV: IWWA Comments 09-21-2022
REV: P&Z Comments 10-03-2022

Wilcox (60' L.O.) Street

SCALE: 0 20 40 60 80 100

STATE OF CONNECTICUT
JAMES J. CABEZAS
LICENSED PROFESSIONAL ENGINEER
No. 70210

STATE OF CONNECTICUT
WASHINGTON CABEZAS, JR.
LICENSED PROFESSIONAL SURVEYOR
No. 70210

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

WASHINGTON CABEZAS, JR., PE, PLS
PROFESSIONAL ENGINEER & LAND SURVEYOR

SITE DEVELOPMENT PLAN
PROPOSED 14 LOT SUBDIVISION
AND 'N2' ZONE CHANGE

- PREPARED FOR -
HABITAT FOR HUMANITY
OF COASTAL FAIRFIELD COUNTY, INC.
427 CHOPSEY HILL ROAD
BRIDGEPORT, CONNECTICUT
ASSESSOR'S REFERENCE: MAP 67 | BLOCK 2432 | LOT 38A

SHEET 1 OF 3
JUNE 30, 2022 WASHINGTON CABEZAS, JR., PE, PLS SCALE: 1"=20'